



**YESLER TERRACE
BLOCK 5 | BLDG A**

EAST DESIGN REVIEW BOARD

DESIGN RECOMMENDATION MEETING

209 12TH AVE S | PROJECT #3026743

05.30.2018

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PROJECT INFORMATION

Project Data & Goals **04**
Concept **06**

EDG GUIDANCE & RESPONSE SUMMARY

EDG Guidance & Response Overview **08**
EDG Response Massing Overview Diagram **09**

ITEMIZED EDG RESPONSE

1. Massing, Height, Bulk, and Scale **10**
2. Streetscapes, Frontage Edges, and Entries **16**
3. Safety and Security **25**
4. Water Management **26**
5. History of the Site **27**
6. Vehicular Access **31**
7. Materials, Character, and Appearance **32**

EXTERIOR DESIGN

Elevations and Renderings **34**

LIGHTING & SIGNAGE

Signage **44**
Lighting **46**

LANDSCAPE

Landscape Concepts **48**

DEPARTURES

Departure #1 **57**
Departure #2 **58**

APPENDIX

Complete EDG Responses **60**
Zoning Summary **62**
Survey Map **64**
Development Data **65**
City Context & Transit **66**
Surrounding Uses **67**
Solar Analysis **68**
Floor plans **69**

PROJECT INFORMATION - BLOCK 5/ BUILDING A

PROJECT DATA

PROJECT ADDRESS:

209 12TH AVE S

SDCI PROJECT #:

3026743 - BUILDING A

RELATED PROJECT #: 3028954 - BUILDING B

For the purpose of this packet, Phase 1 will be referred to as Building A. Building A & B are completely independent. Construction, parking levels, residential levels, amenities, mechanical and utilities will not be shared between the two buildings.

OWNER :

SEATTLE TENTH, LLC

ARCHITECT:

ANKROM MOISAN ARCHITECTS

LANDSCAPE ARCHITECT:

SITE WORKSHOP

335 UNITS APPROX.

198 PARKING STALLS APPROX.

72,000 COMMERCIAL GSF APPROX.

In 2006, the Seattle Housing Authority initiated the redevelopment of Yesler Terrace following four guiding principles established by a Citizen Review Committee: Social Equity, Economic Opportunity, Environmental Stewardship and Sustainability, and One-for-One Replacement Housing. With Yesler Terrace, SHA and the City of Seattle intend to build a model community that emphasizes increased density and economic diversity.

New streetscapes, bike and pedestrian paths, hill climbs and parks are key features of the new plan. Street adjustments include the removal of Spruce Street and the creation of Fir Street west of Broadway. The new master plan includes replacement low-income housing, market rate housing and neighborhood improvements.



SITE CONDITION:

CHANGE IN HEIGHT FROM HIGHEST TO LOWEST POINT OF THE SITE =

49'-0"

AVERAGE SLOPE OF SITE =

OVER 8%



1. PROVIDE MARKET RATE AND AFFORDABLE HOUSING FOR THE YESLER TERRACE NEIGHBORHOOD

The proposed development seeks to provide new market rate & affordable housing units in two phased buildings. The project design goals are closely aligned with the objectives of the Yesler Terrace Master Planned Community Design Guidelines. Our goal is to provide a diverse range of housing options that respond to the unique topography of the site, provide spaces that cultivate community engagement, and reinforce the existing urban framework.



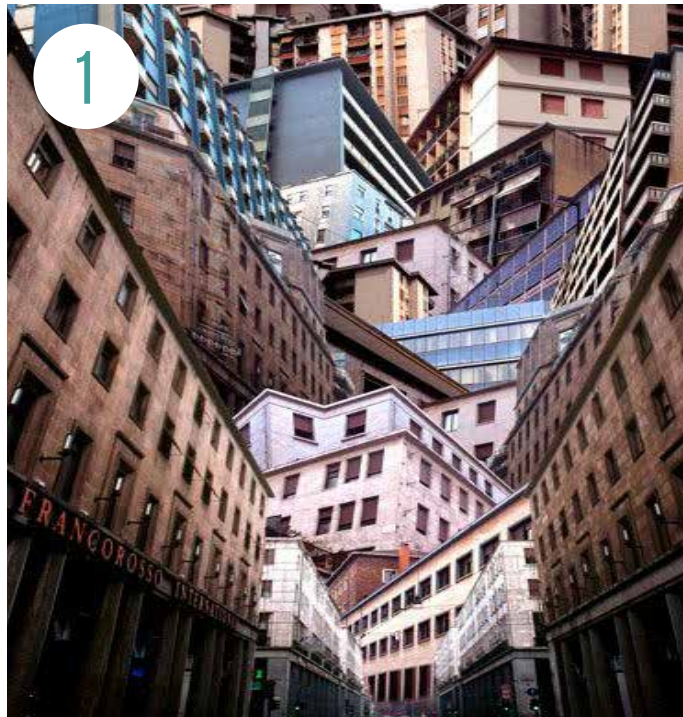
2. CREATE AN INVITING RESIDENTIAL SCALE

The Yesler Terrace Master Plan includes up to 4,500 new residential units. One of the top design priorities is to provide a distinctly residential scale and character to the new development. Beyond the required zoning setbacks, inviting residential scale is created with the inclusion of stoops, patios, additional setbacks, height variation, building modulation, balconies, extensive planting, pedestrian-sensitive street design, and minimizing vehicular impact on site.

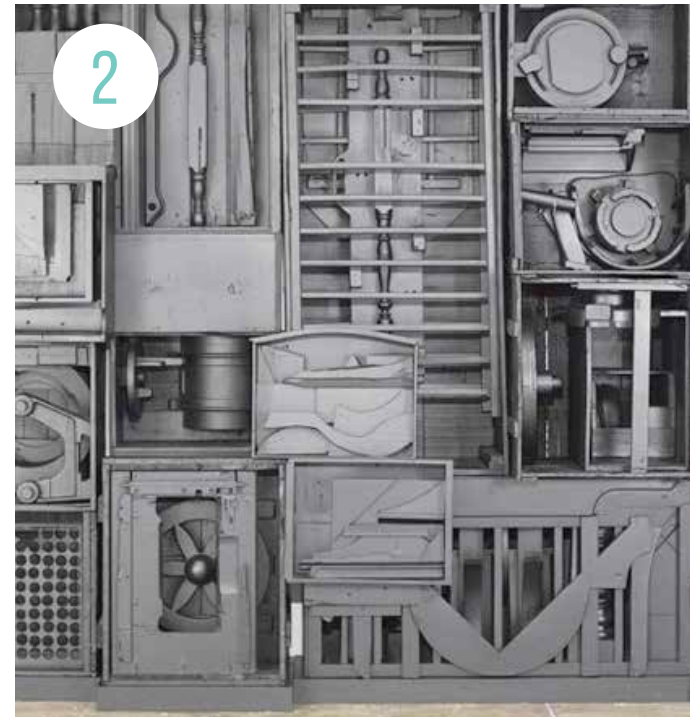


3. HONOR THE UNIQUE HISTORY OF THE YESLER TERRACE COMMUNITY WITH A NOD TO THE FUTURE

Yesler Terrace was Washington’s first public housing community and the first racially integrated public housing development in the United States. We firmly believe the diversity of people, languages, cultures, and religions enhance and enliven the future of the site. The success of the planned development is contingent on the continued diversity of cultural perspectives and identities. We seek to create spaces that celebrate and support both individual expression and community engagement.



MASSING



TEXTURE

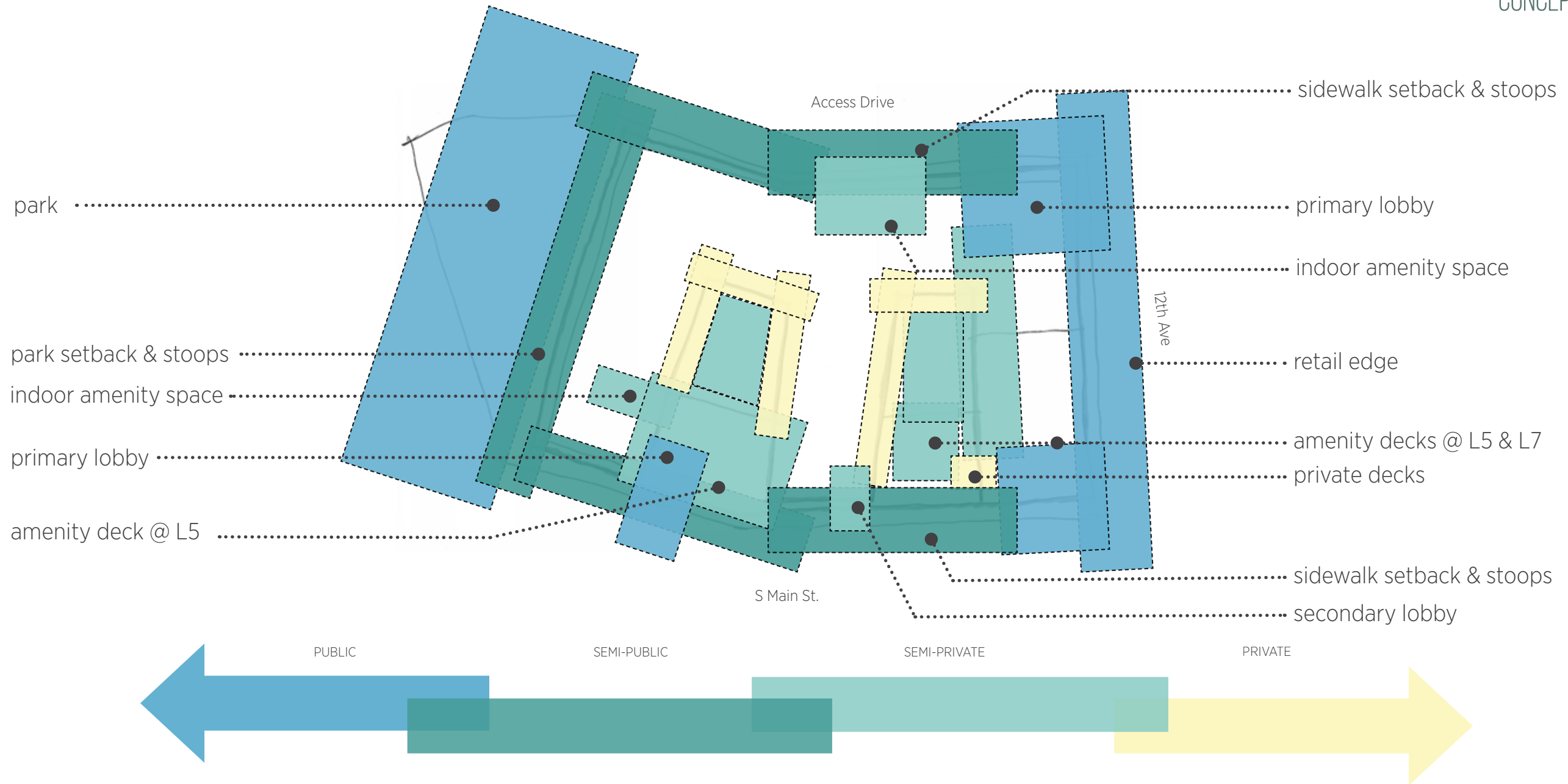


SURFACE

COLLAGE TECHNIQUE

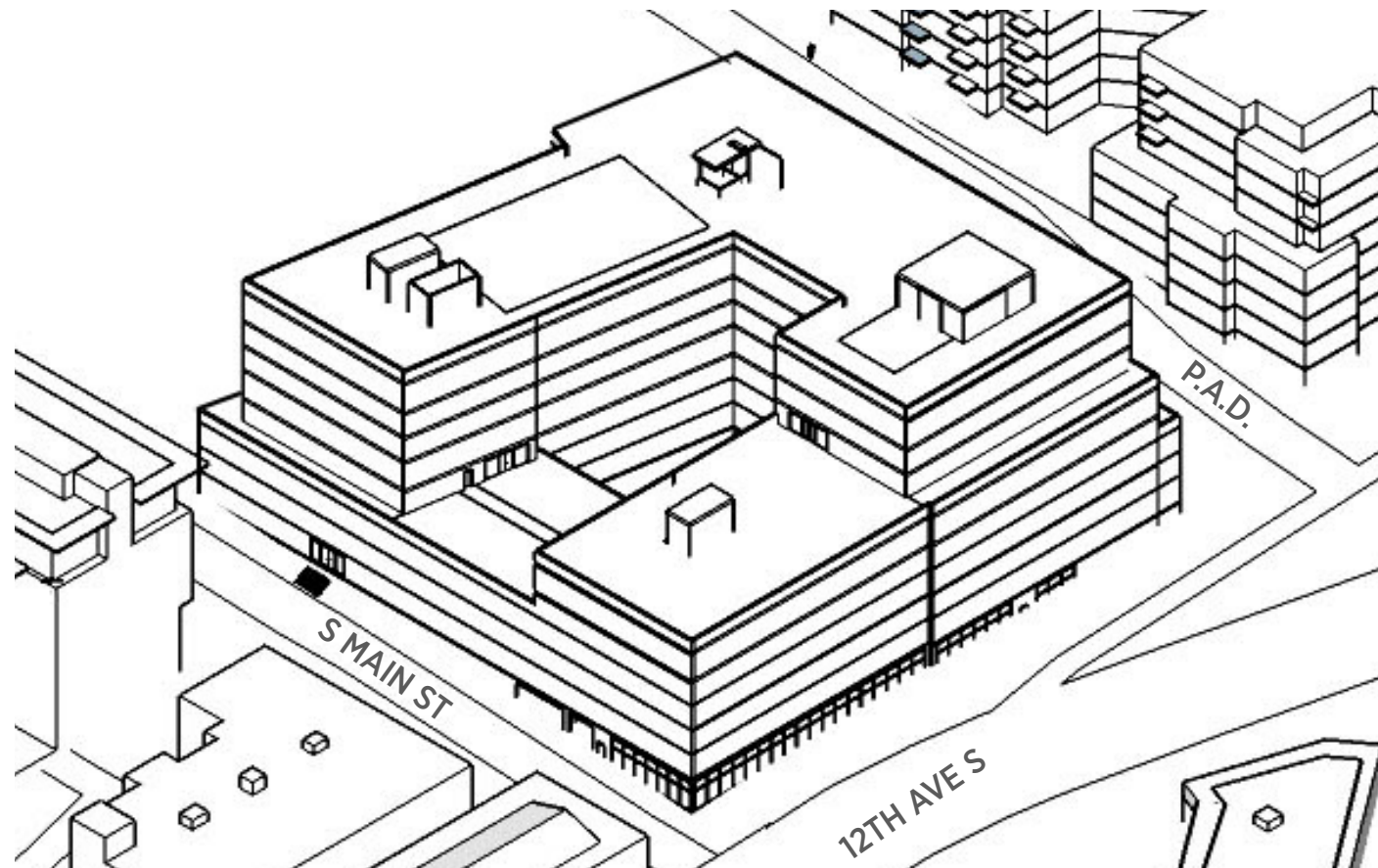


**PRECEDENT
INSPIRATION**

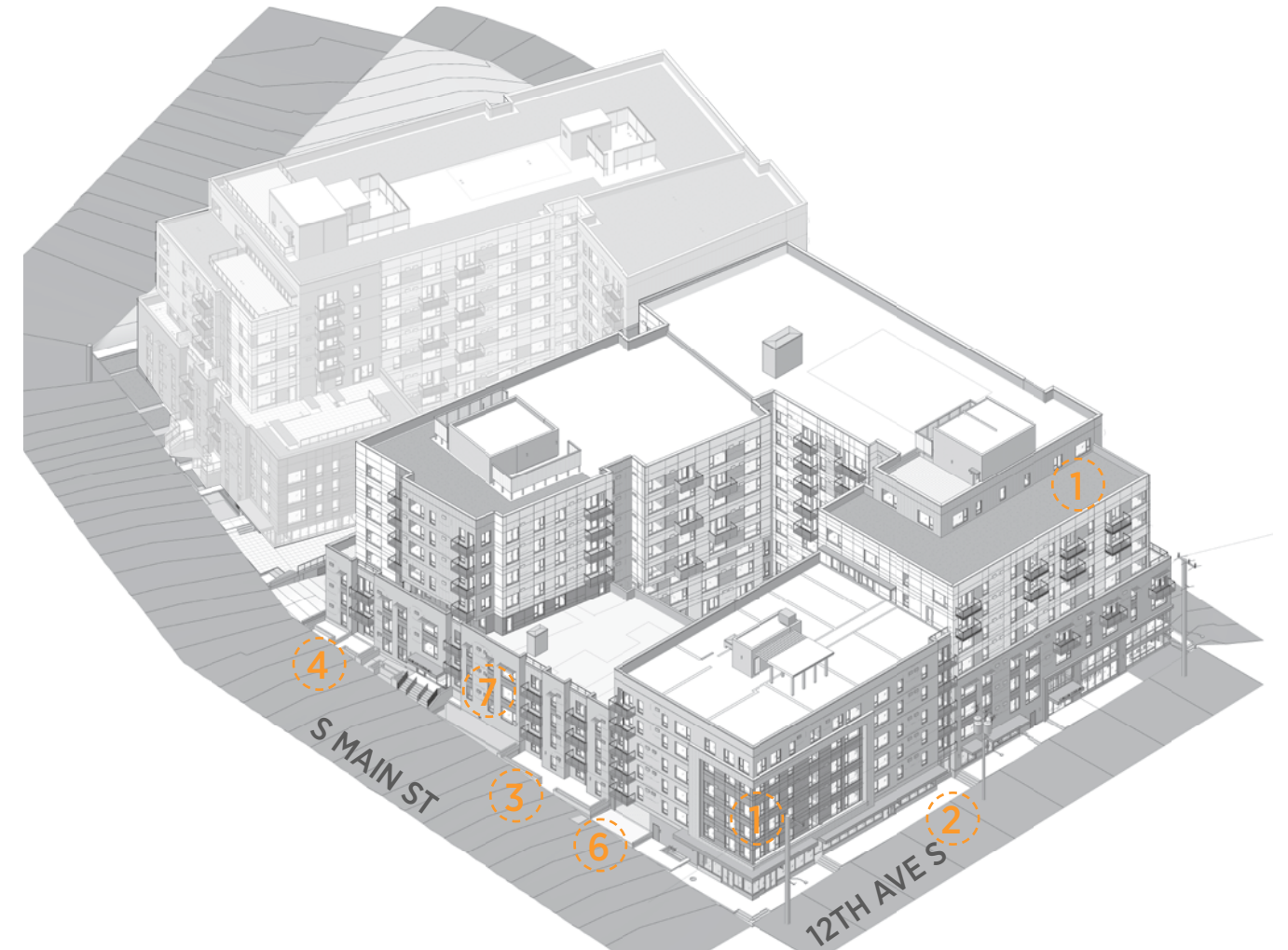


GUIDANCE THEME	BOARD GUIDANCE	DESIGN RESPONSE	APPLICABLE DESIGN GUIDELINES
1. MASSING OPTIONS, HEIGHT, BULK AND SCALE	<ul style="list-style-type: none"> a. Massing changes on 12th ave b.iii. Access drive frontage MUP Comment (not board guidance): SE corner alternative 	<ul style="list-style-type: none"> Massing on 12th is lowered and setback Facade on 12th is setback 1 foot from the brick base Vertical gasket reveal added Design options provided at SE corner 	<ul style="list-style-type: none"> CS2 Urban Pattern and Form PL1 Connectivity PL2 Walkability PL3 Street Level Interaction DC2 Architectural Concept
2. STREETScape, FRONTAGE, EDGES AND ENTRIES	<ul style="list-style-type: none"> a. Minimize residential lobby frontage and rearrange the ground floor with more active uses along street edge b. Maximize retail space and flexibility for varied retail uses d. Provide direct entries, “stoop walk” along access drive. 	<ul style="list-style-type: none"> Revised lobby layout Flexible retail spaces provided with multiple entries along 12th “Stoop Walk” along access drive is provided, creating community across steep topography 	<ul style="list-style-type: none"> CS1 Natural Systems and Site Features CS2 Urban Pattern and Form CS3 Architectural Context and Character PL1 Connectivity PL2 Walkability PL3 Street Level Interaction DC1 Project Uses and Activities
3. SAFETY & SECURITY	<ul style="list-style-type: none"> The Board agreed the design should incorporate CPTED principles. Maximize number of residential units accessed from grade. 	<ul style="list-style-type: none"> Multiple CPTED principles will be implemented into the project: Eyes on the street, Lighting, Territoriality, Activity Support Entries at grade maximized 	<ul style="list-style-type: none"> PL2 Safety and security
4. WATER MANAGEMENT	<ul style="list-style-type: none"> Explore natural water features and storm-water planters to create visual interest for site drainage. 	<ul style="list-style-type: none"> Bioretention provided to add visual interest near sidewalk area 	<ul style="list-style-type: none"> CS1 Natural Systems and Site Features
5. HISTORY OF THE SITE	<ul style="list-style-type: none"> Design should be developed to respond to the historic and cultural context. Integrate art in a meaningful way Work with neighborhood groups to address the diversity of the site. 	<ul style="list-style-type: none"> Working with local artists and Urban Artworks on the mural design, community room and gate focusing on the main mission of this building (3) Community outreach meetings have taken place 	<ul style="list-style-type: none"> PL1 Connectivity CS3 Historical/ Cultural References
6. VEHICULAR ACCESS	<ul style="list-style-type: none"> Board supported preferred driveway locations along S Main St Portions of parking structure that are visible above grade along street front should be completely masked or designed to be visually interesting 	<ul style="list-style-type: none"> All parking is below-grade Unique landscaping added to surround visible parking entry Sight triangle, mirrors and landscaping provided near parking entries 	<ul style="list-style-type: none"> DC1 Project Uses and Activities
7. MATERIALS, ARCHITECTURAL CHARACTER AND APPEARANCE	<ul style="list-style-type: none"> Board approved of the high quality materials, in particular the masonry Board supported the general intent to provide similar but different materials for the two phases Present the design intent for both phases with larger side by side elevations and additional renderings 	<ul style="list-style-type: none"> High-quality materials provided All street-level facades provide 70%+ high-quality materials Same materials will not touch between buildings A & B to avoid time-gap issue 	<ul style="list-style-type: none"> DC4 Exterior Elements and Finishes

EDG PREFERRED MASSING



DRB REVISED MASSING



- 1** MASSING OPTIONS, HEIGHT, BULK AND SCALE
 MASSING AT NE CORNER ALONG 12TH AVE LOWERED TO 8 LEVELS
 EDGE OF UPPER MASSING IS 1 FT SETBACK FROM THE BRICK BASE
 SE CORNER - DESIGN OPTIONS
- 2** STREETScape, FRONTAGE, EDGES AND ENTRIES
 REVISED LOBBY LAYOUT
 FLEXIBLE RETAIL SPACES
 "STOOP WALK"
- 3** SAFETY & SECURITY
 CPTED PRINCIPLES IMPLEMENTED
 ENTRIES AT GRADE MAXIMIZED
- 4** WATER MANAGEMENT
 BIoretention PROVIDED NEAR SIDEWALK AREAS TO PROVIDE
 VISUAL INTEREST
- 5** HISTORY OF THE SITE
 WORK WITH LOCAL ARTISTS/URBAN ARTWORKS ON MURAL
 COMMUNITY OUTREACH MEETINGS
- 6** VEHICULAR ACCESS
 ALL PARKING BELOW-GRADE
 UNIQUE LANDSCAPING AT PARKING ENTRY
- 7** MATERIALS, ARCHITECTURAL CHARACTER
 AND APPEARANCE
 HIGH QUALITY MATERIALS
 NO SAME MATERIALS TOUCHING BETWEEN BUILDINGS

1. MASSING HEIGHT BULK AND SCALE

BOARD GUIDANCE:

EDG 1 meeting for Building A “the majority of the Board supported Massing Option C for both Phase 1 and 2.” (Buildings A & B)

Both Sites: “The Board approved of the strong proposed street wall articulation but had concerns with how the upper tower volumes met the podium. The Board recommended examining the connection to the base and noted that this condition presented an opportunity to differentiate the two phases, potentially by grounding the tower volume. If the tower volumes remained as an upper massing volume, the Board recommended expanding the height and depth of the upper setback in order to have it be legible from a pedestrian level. (CS2, PL3, DC2)

RESPONSE:

The tower masses on Building A (Phase I) are consistently treated as an upper massing volume. Where these upper tower masses occur, the towers are set back 7'-0" from the base mass. At the residential lobby entry along 12th, the brick ends at Level 5 and is setback 1' with a change of material to break this mass and continue the brick language around the base. See EDG 1 and revised sections on this page.

At EDG 2 on Building B (Phase II) the massing at the North facade is pushed out and expressed as a vertical element. The revised massing engages to the street level by ‘grounding the tower volume.’ It breaks up the long facade and serves as a hinge-point massing that differentiates the two buildings.

RELEVANT GUIDELINES:

CS2 Urban Pattern and Form:

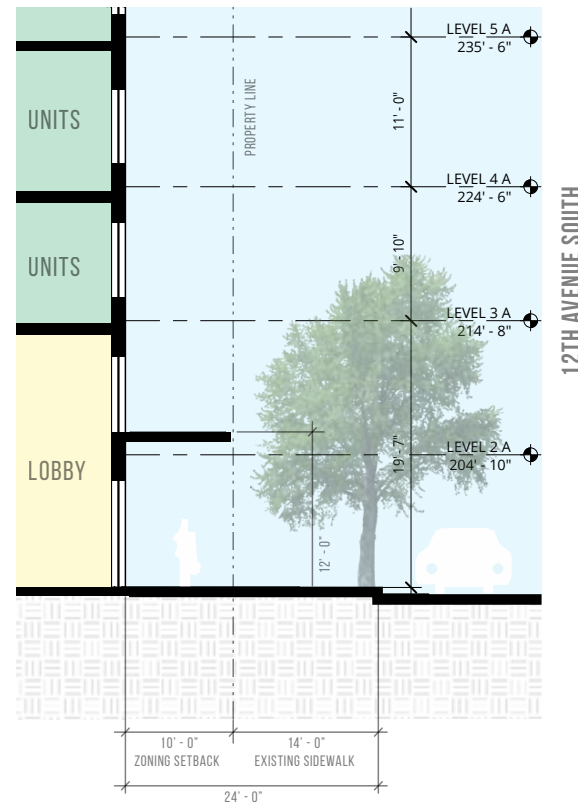
Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

PL3 Street Level Interaction

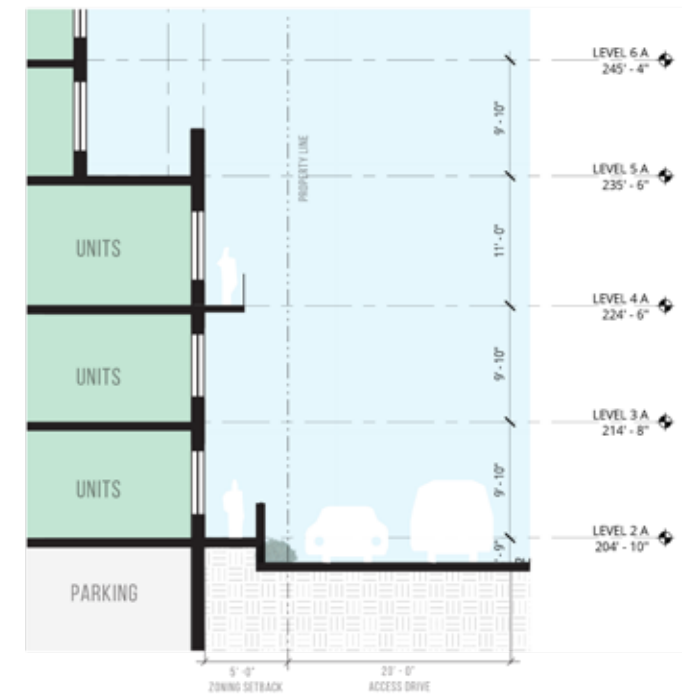
Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

DC2 Architectural Concept:

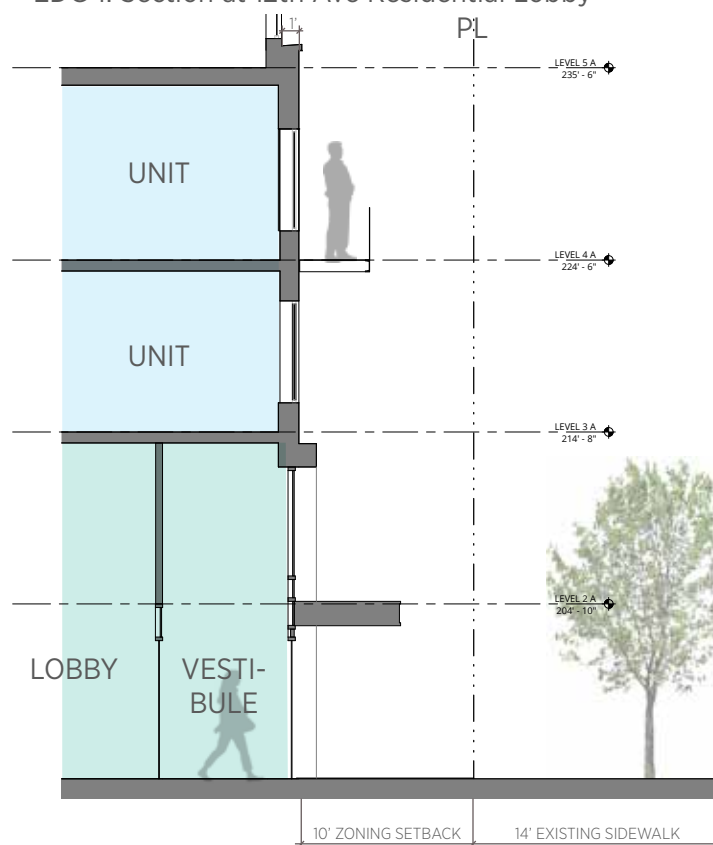
Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.



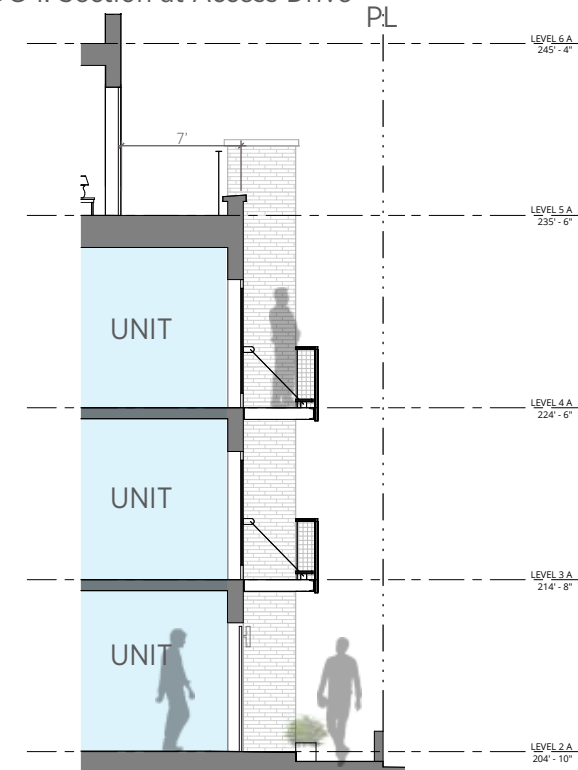
EDG 1: Section at 12th Ave Residential Lobby



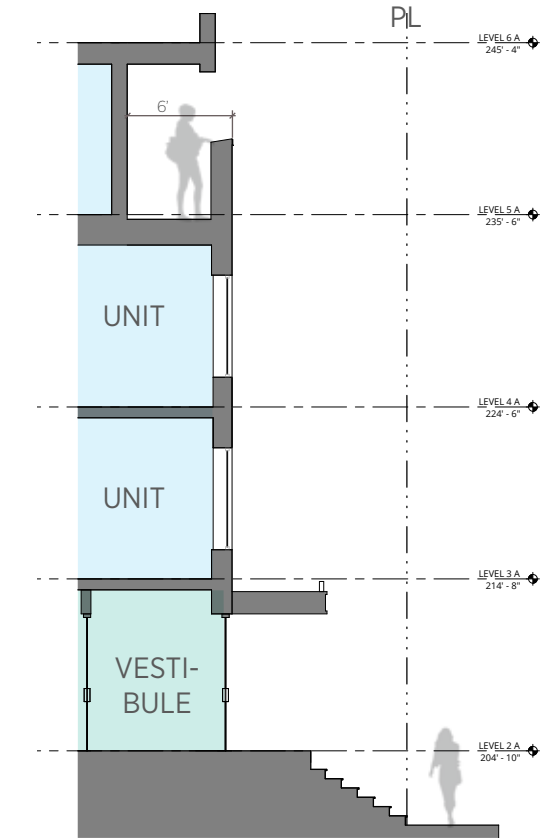
EDG 1: Section at Access Drive



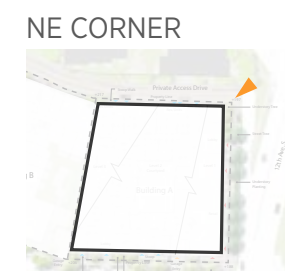
1 DRB Bldg A: Section at 12th Ave Residential Lobby



2 DRB Bldg A: Section at Access Drive



3 DRB Bldg A: Section at Main St Residential Lobby



MUP - SE CORNER STUDY

MUP LAND USE COMMENT:

The multiple plane changes & materials cladding at the SE corner does not yet appear to have an entirely clear logic. The future building form will be highly visible at this location and warrants further exploration of a facade composition concept. Provide an alternate which simplifies plane and material changes to few deliberate areas. The resulting design should express the form, plane changes and secondary design features with a well integrated expression. Provide pedestrian level renderings/sketches with more detail.

SE CORNER - OPTION 1 (ORIGINAL):

The wood-look panels are projecting 1'-0" on both South and East to create a "floating wood box" expression. The projected "wood box" responds to the "floating" wood projection at the end of the west massing.

The lower portion of the SE corner is highlighted by the charcoal fiber-cement panels. It is setback 6" from the siding to create a nice modulation for material change. It anchors to the retail corner at street level.

ORIGINAL DESIGN: OPTION 1



VIEW FROM SE CORNER



S MAIN ST

SOUTH ELEVATION



12TH AVE

EAST ELEVATION

OPTION 2



VIEW FROM SE CORNER

SE CORNER - OPTION 2:

The second option revises the “wood box” to a horizontal expression along 12th Ave to respond to the faster pace elevation. The “wood box” is expanded to 2 stories to better match the scale of the corner massing. The wood-like panel portion is 8” proud of the siding and the charcoal fiber-cement panels are inset by 6” to create a nice modulation for the material change.



S MAIN ST

SOUTH ELEVATION



12TH AVE

EAST ELEVATION

MUP - SE CORNER STUDY

SE CORNER - OPTION 3:

The third option keeps the horizontal expression along 12th Ave to respond to the faster pace elevation. The “wood box” is extended as a frame down to the retail to encapsulate the entire corner, creating a beacon on the prominent intersection. The wood-like panel portion is 8” proud of the siding and the charcoal fiber-cement panels are inset by 6” to create a nice modulation for the material change.

OPTION 3



VIEW FROM SE CORNER



SOUTH ELEVATION



EAST ELEVATION



2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES

BOARD GUIDANCE:

a. Both sites: For the lobby spaces along 12th Ave S and S Main st, the Board recommended minimizing the frontage dedicated to these functions and rearranging the ground floor with more active uses along the street edge.

RESPONSE:

The ground floor lobby space along 12th Ave in Building A has been redesigned with the more active uses along the street edge. The offices, package room and mailboxes have been pushed towards the back of the space to provide for a more open amenity workspace, Uber waiting areas and gathering space for tenants. This is a suggestion of the active uses that could take place - subject to minor changes as the design progresses but the uses will remain active at the storefront.

RELEVANT GUIDELINES:

CS2-B2 Connection to the Street

Identify opportunities for the project to make a strong connection to the street and public realm.

PL1-B Walkways and Connections

Connect on-site pedestrian walkways with existing public and private pedestrian connections within and outside the project.

PL2-B3 Street Level Transparency

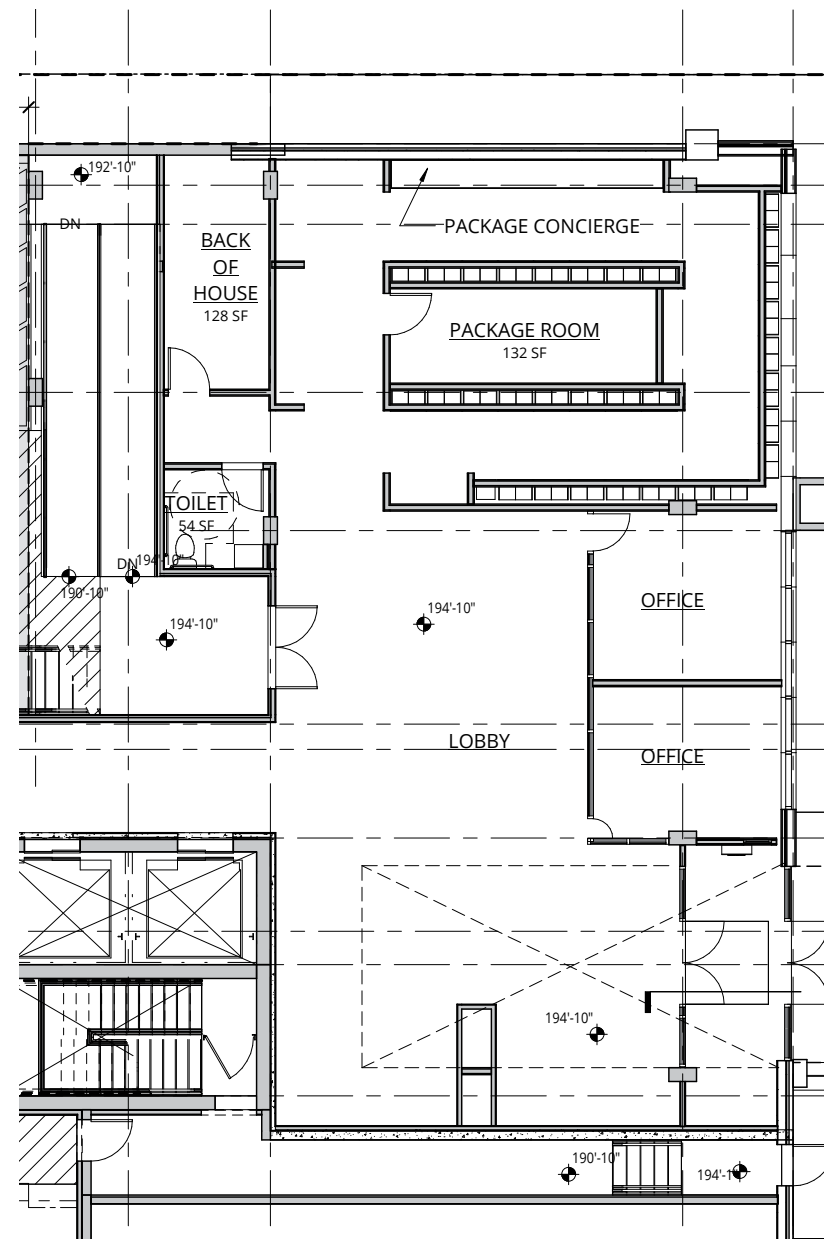
Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL3-C Retail Edges

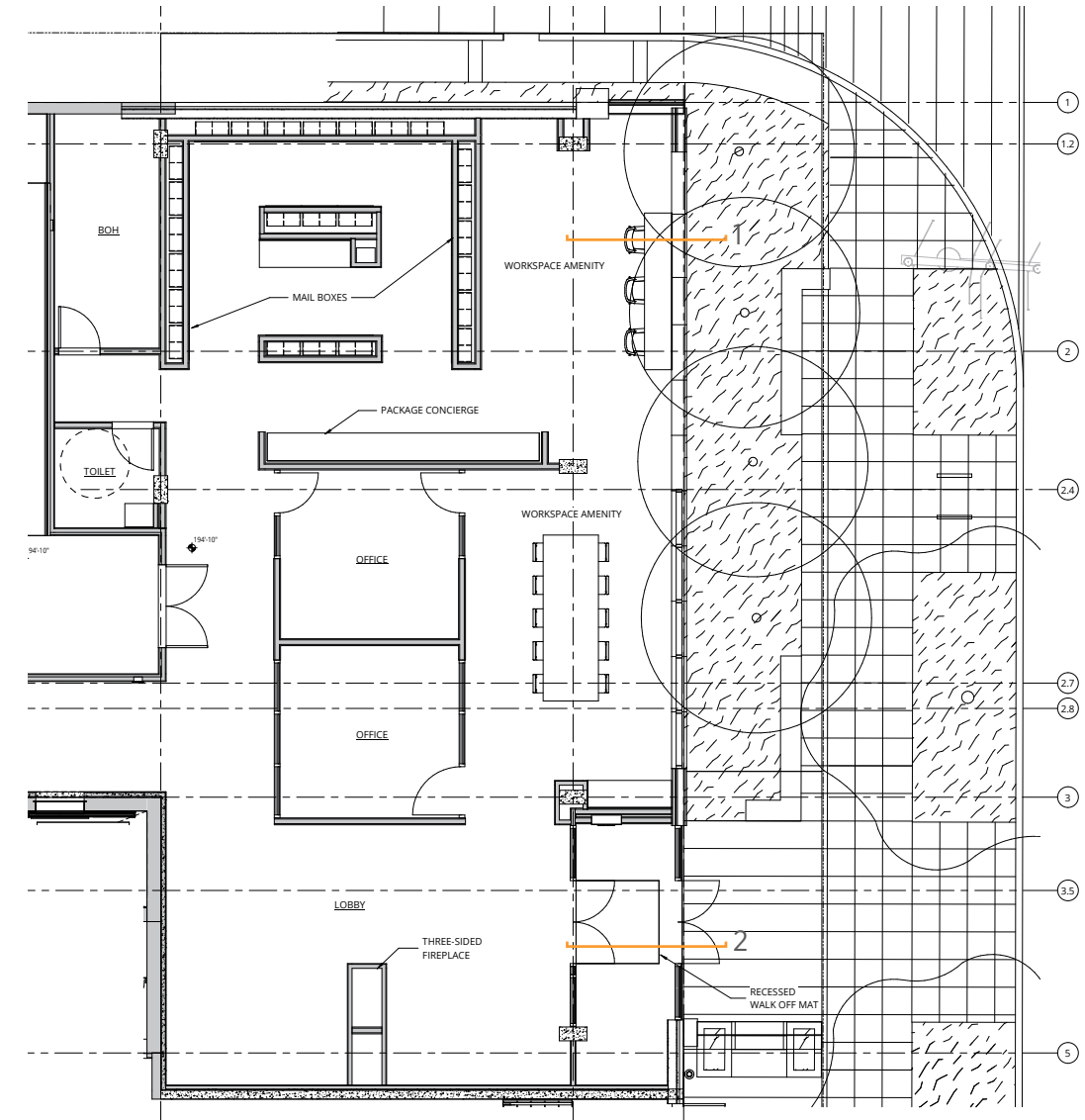
Engage passersby with opportunities to interact visually with the building interior using glazing and transparency. Create multiple entries where possible and make a physical and visual connection between people on the sidewalk and retail activities in the building.

DC1-A Arrangement of Interior Uses

Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front.



LOBBY LAYOUT AT EDG ⓘ



REVISED LOBBY LAYOUT AT DRB - POSSIBLE LAYOUT OPTION ⓘ

2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES

BOARD GUIDANCE:

b. Phase 1 (Bldg A): The Board agreed the design should maximize retail space and flexibility for varied retail uses to continue the vibrancy of Little Saigon. To encourage a lively street front, the Board recommended extending the retail along 12th Ave S.

RESPONSE:

The retail has been maximized as much as possible to still allow for the required residential lobby program requirements. This has allowed for multiple retail entries along 12th Ave and one retail entry wrapping around Main St. Possible demising locations have been drawn showing the ability to host a number of small retailers, continuing the trend of the Little Saigon neighborhood.

RELEVANT GUIDELINES:

CS2-B2 Connection to the Street

Identify opportunities for the project to make a strong connection to the street and public realm.

CS3-A Emphasizing Positive Neighborhood Attributes

In neighborhoods where architectural character is evolving or otherwise in transition, explore ways for new development to establish a positive attitude and desirable context for others to build up on in the future.

PL1-B Walkways and Connections

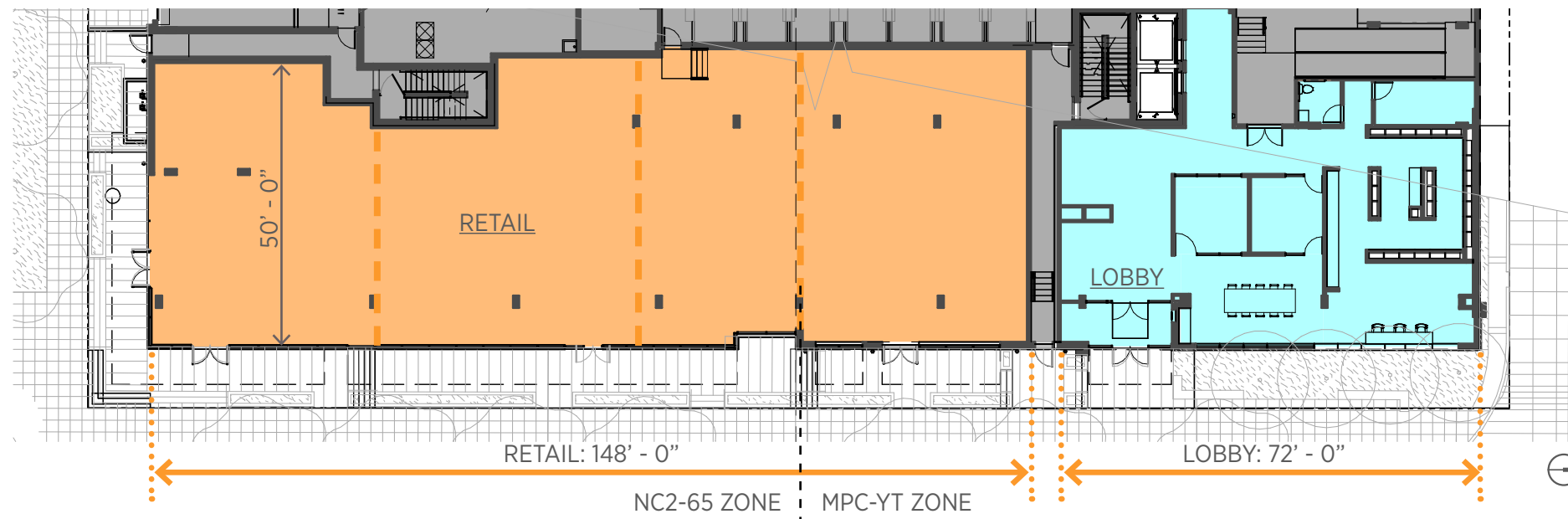
Connect on-site pedestrian walkways with existing public and private pedestrian connections within and outside the project.

PL2-B3 Street Level Transparency

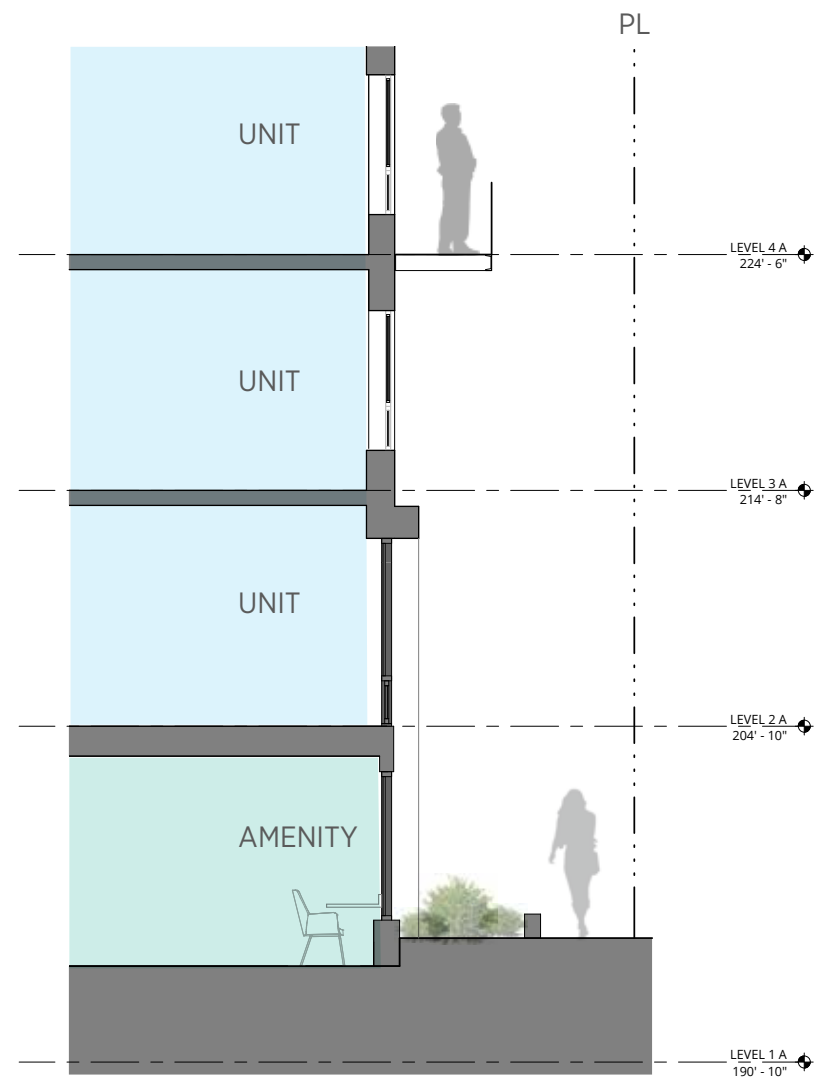
Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL3-C Retail Edges

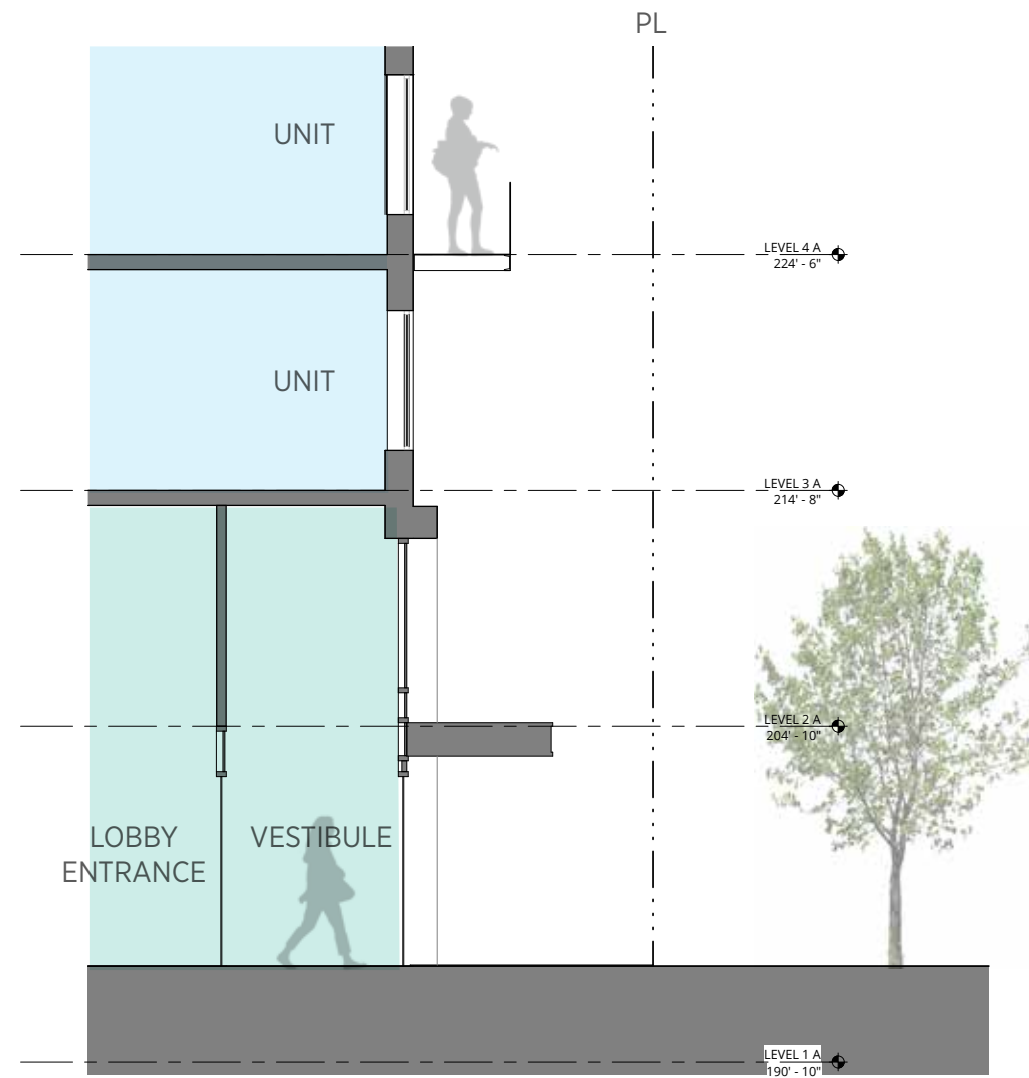
Engage passersby with opportunities to interact visually with the building interior using glazing and transparency. Create multiple entries where possible and make a physical and visual connection between people on the sidewalk and retail activities in the building.



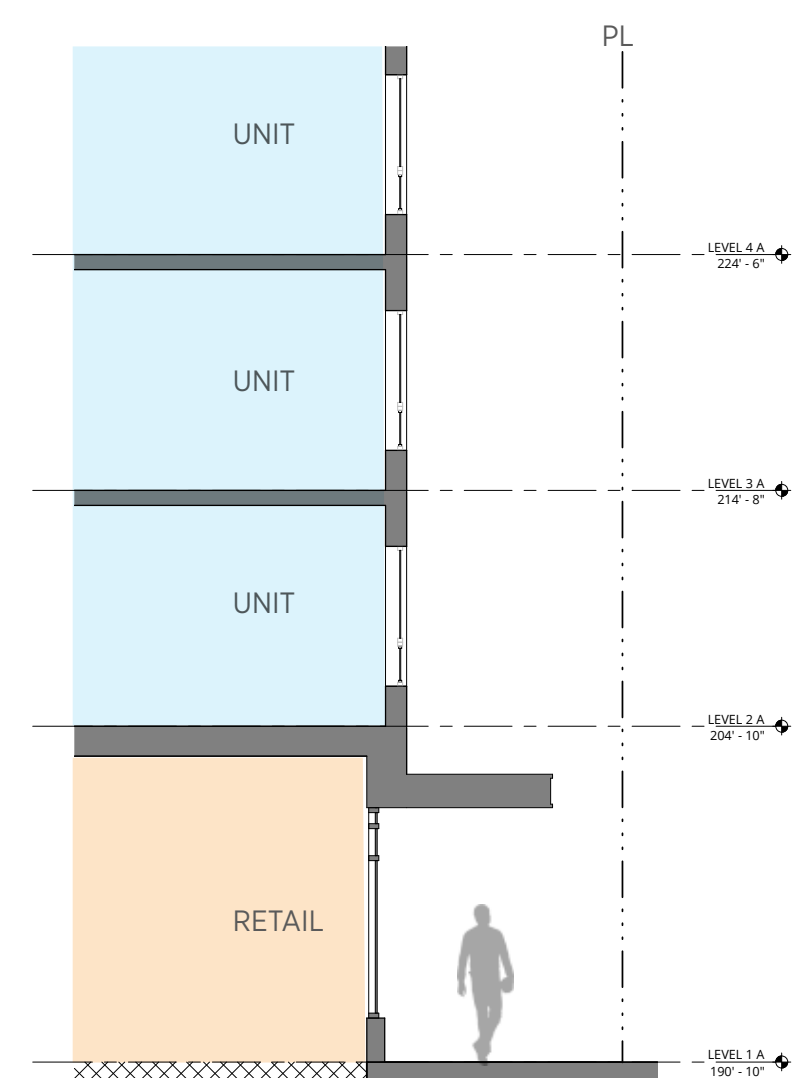
2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES



1 RESIDENTIAL LOBBY SECTION @ 12TH AVE



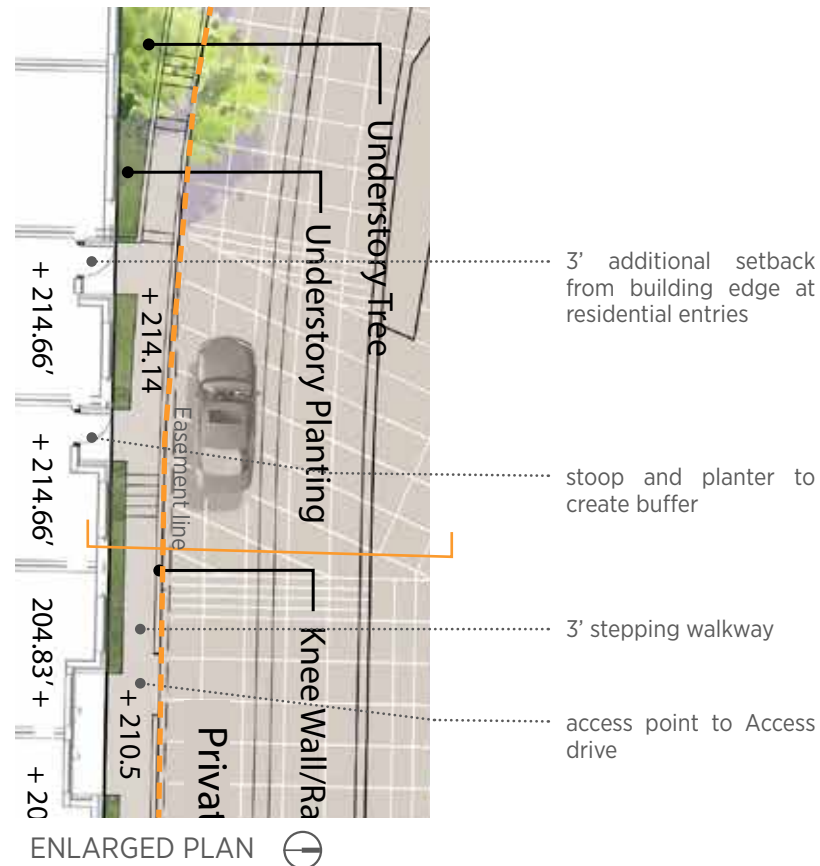
2 RESIDENTIAL LOBBY ENTRANCE SECTION @ 12TH AVE



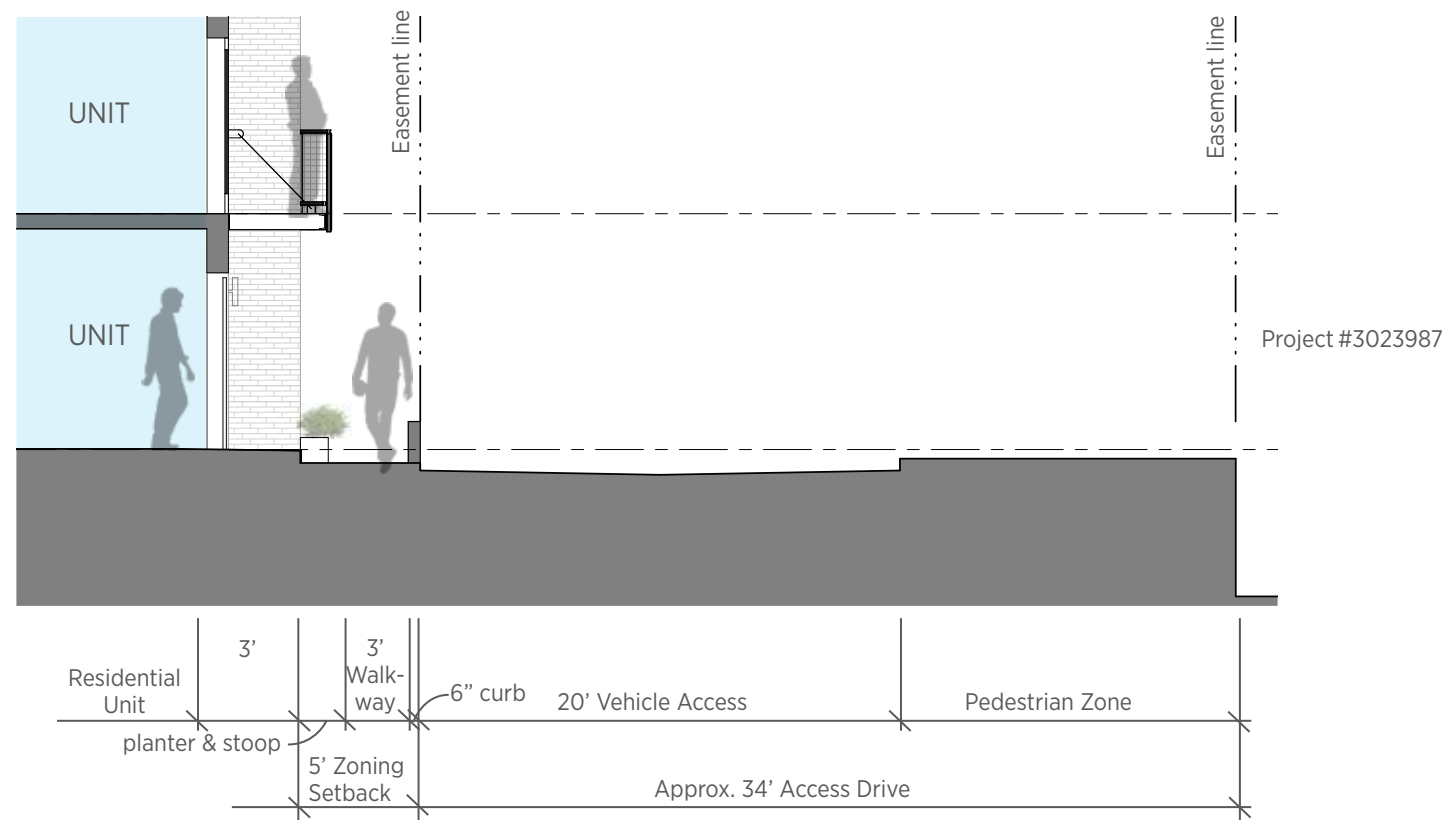
3 RETAIL SECTION @ 12TH AVE



NORTH ELEVATION



ENLARGED PLAN



2. STREETSCAPES, FRONTAGE EDGES, AND ENTRIES

BOARD GUIDANCE:

d. EDG 1: Both Phases: The Board stressed the importance of encouraging pedestrian interaction along the access drive and strongly recommended including direct entries or patios buffered from the vehicular area.

c. EDG 2: For the access drive frontage, the Board strongly supported the proposed alternate with direct entries and shared circulation space, referred to as the “stoop walk.”

RESPONSE:

As discussed in EDG 2, the “stoop walk” has been continued along the Access Drive at Building A. The residential entries along the stoop walk have been maximized, with 5 entries spread across the Building A Access Drive frontage. There will be several points of pedestrian access onto the stoop walk based on the topography.

The stepping walkway mitigates the slope and is accessible by the public. The planters, stoops and the 3' stepping walkway provide a nice transition from private to public area. Residential entries are setting back an additional 3' from the face of building to enhance the transition.

RELEVANT GUIDELINES:

CS2-B2 Connection to the Street:

Identify opportunities for the project to make a strong connection to the street and public realm.

PL1-A Network of Open Spaces

Design the building and open spaces to positively contribute to a broader network of open spaces throughout the neighborhood.

PL1-B Walkways and Connections

Connect on-site pedestrian walkways with existing public and private pedestrian connections within and outside the project.

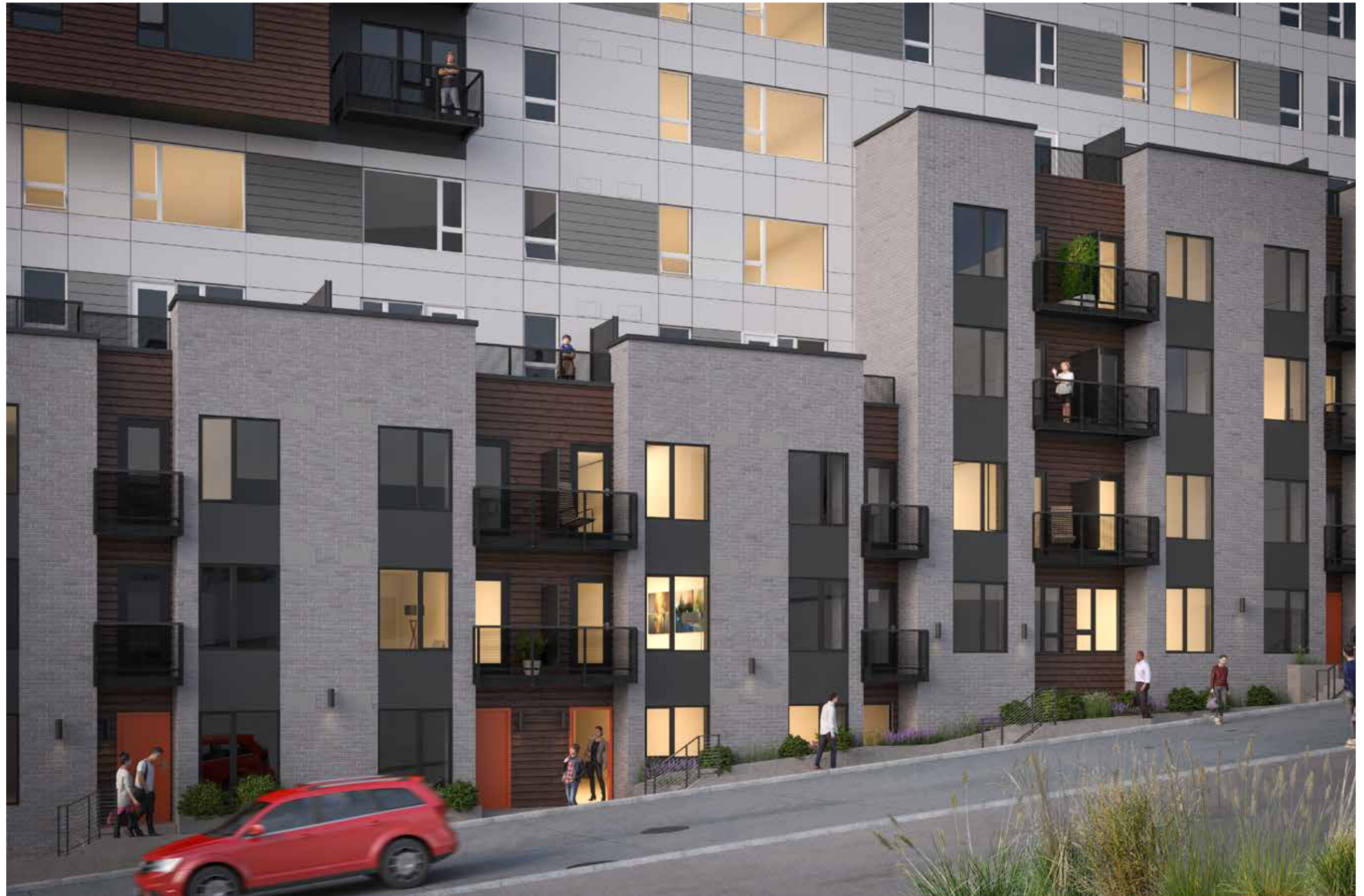
PL3 Street Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

PL3-B Residential Edges

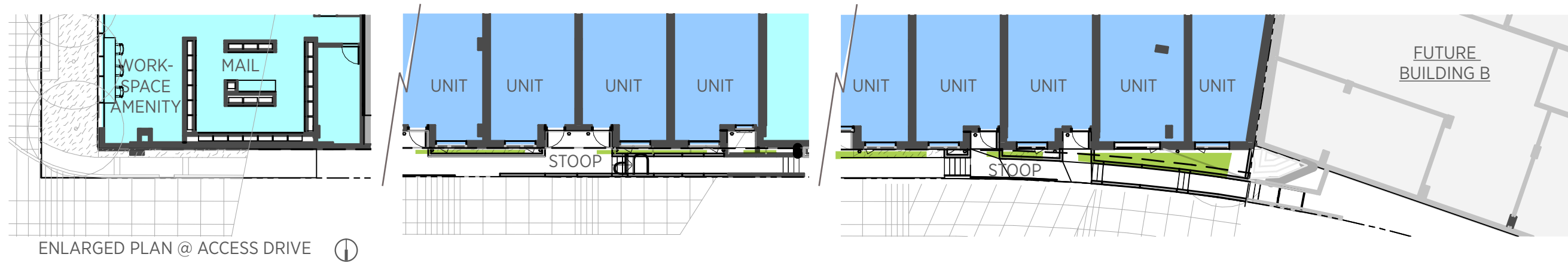
Ground level Residential: Consider providing a greater number of transition elements and spaces, and identify the transition from public sidewalk to private residence.

2. STREETSAPES, FRONTAGE EDGES, AND ENTRIES



ACCESS DRIVE





NORTH ELEVATION

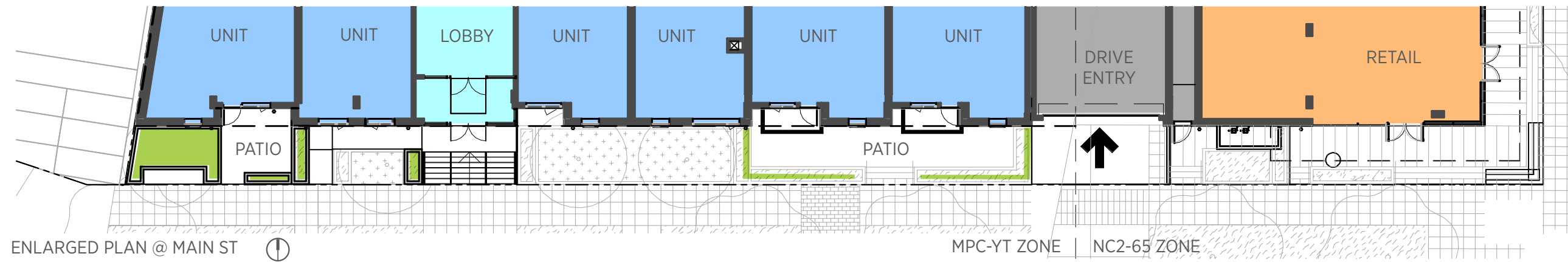
2. STREETSCAPES, FRONTAGE ENTRIES, AND ENTRIES



S MAIN ST

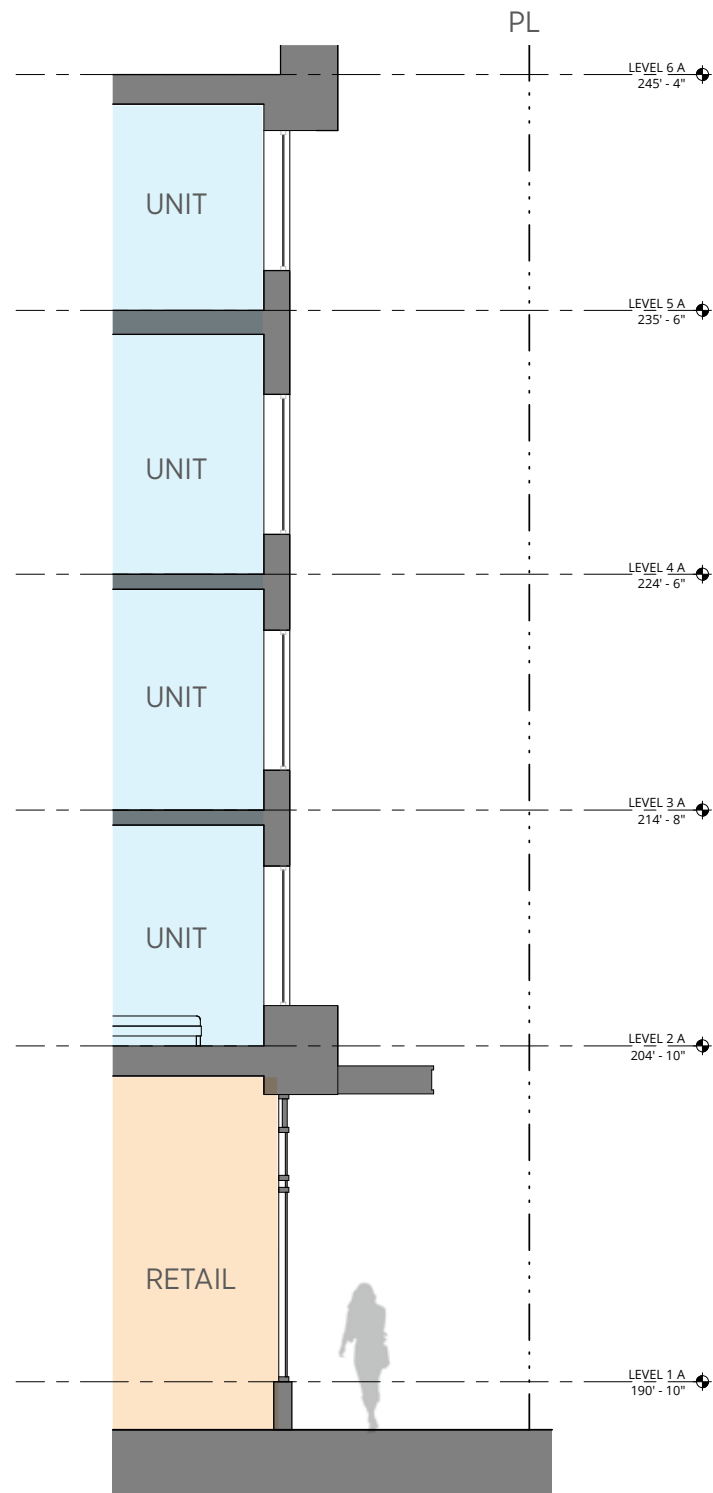


2. STREETSCAPES, FRONTAGE ENTRIES, AND ENTRIES

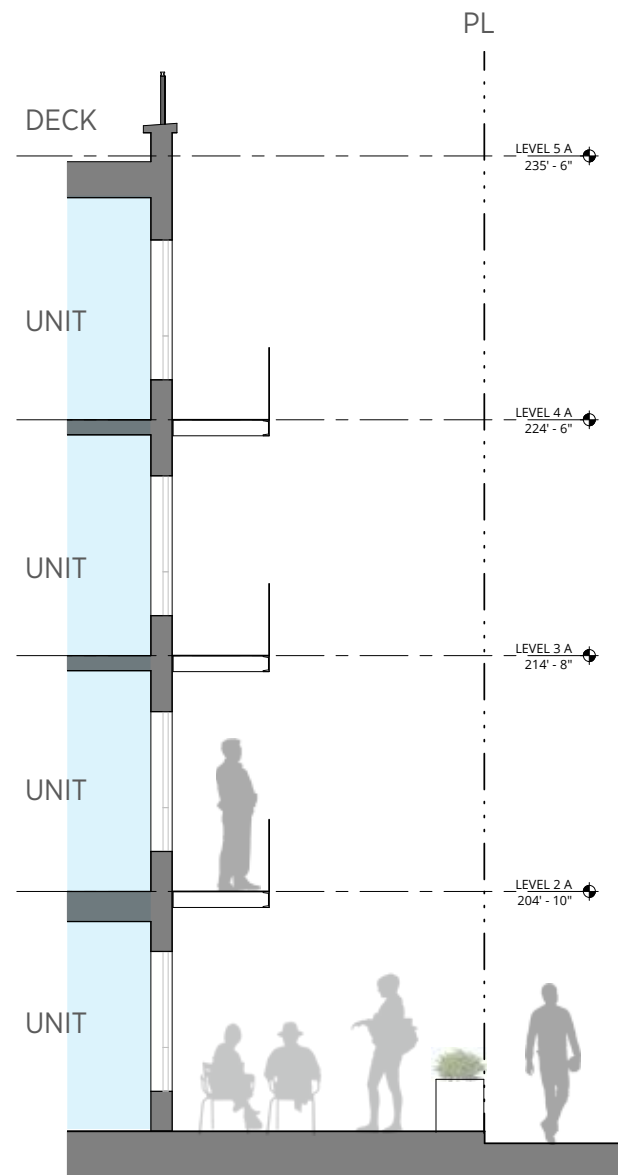


SOUTH ELEVATION

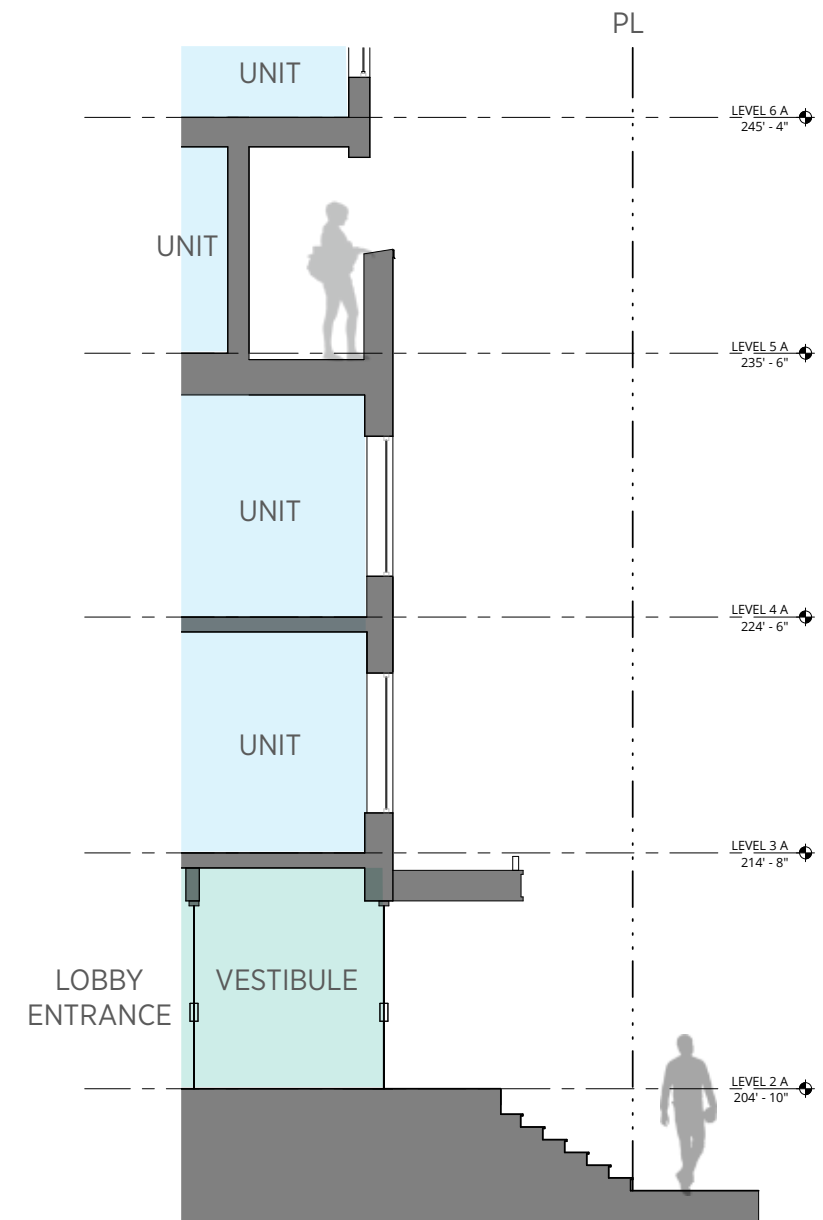
2. STREETSCAPES, FRONTAGE ENTRIES, AND ENTRIES



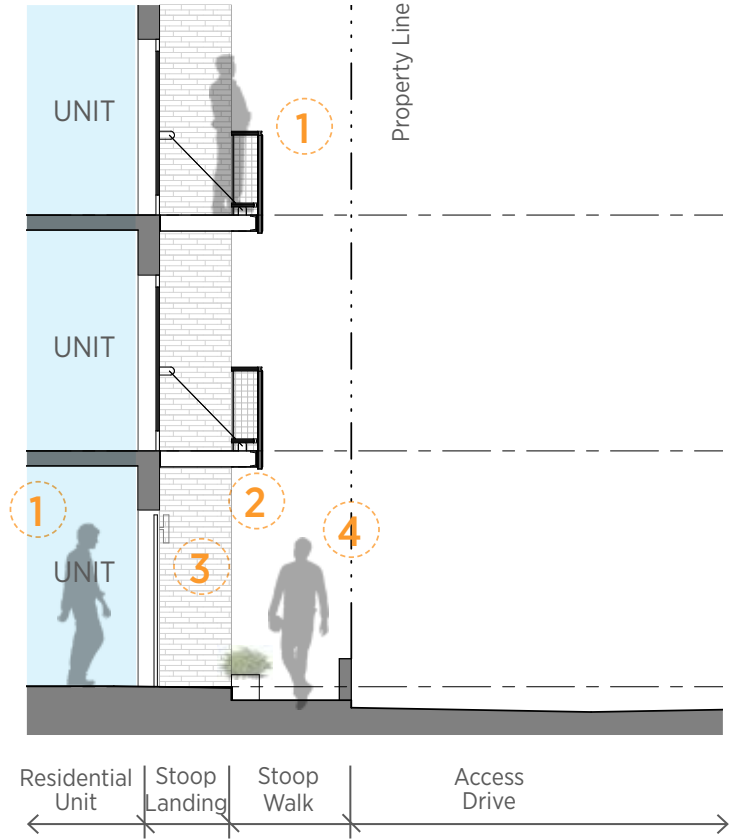
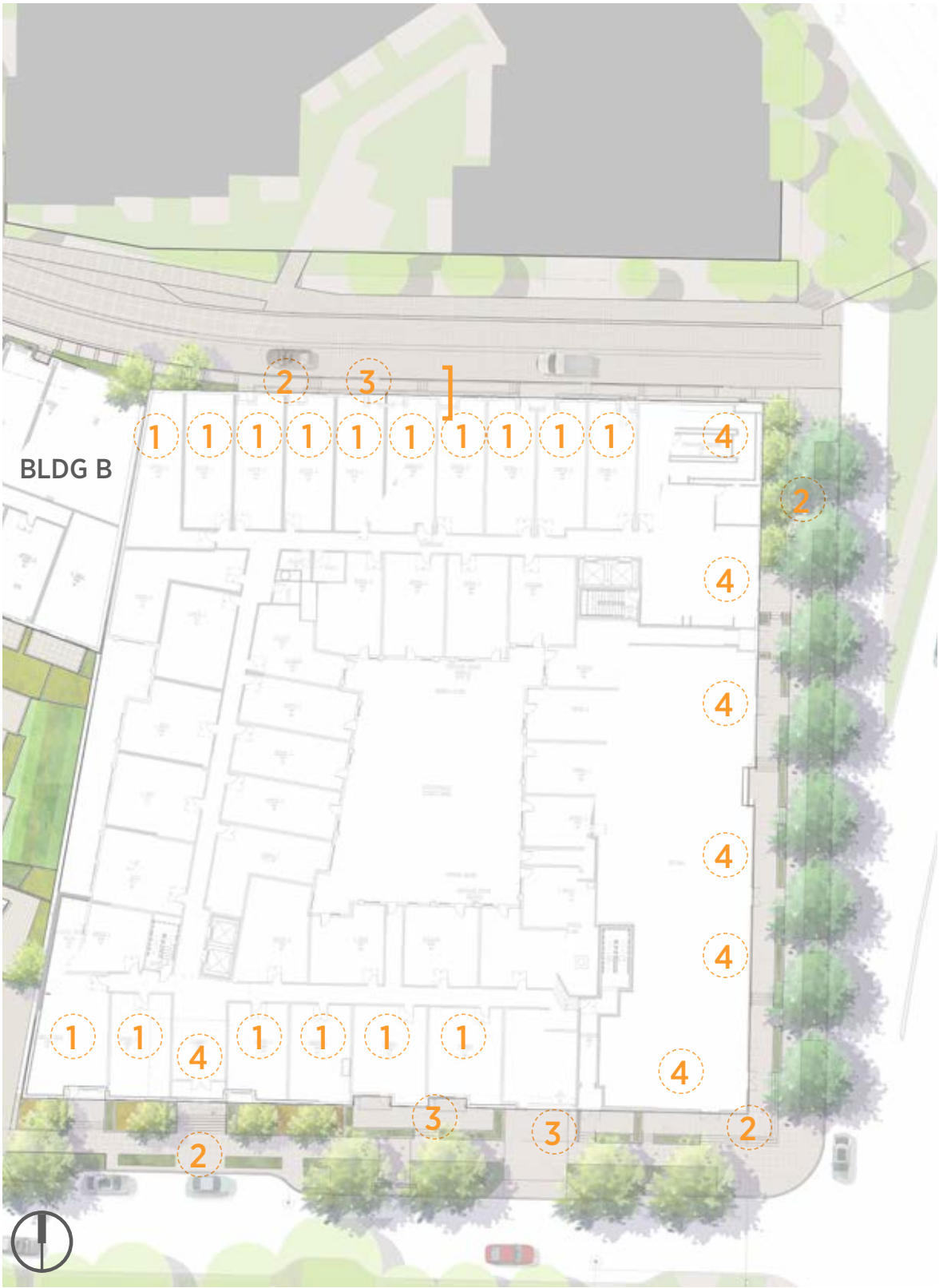
1 RETAIL SECTION @ MAIN ST



2 UNIT PATIO SECTION @ MAIN ST



3 SECONDARY LOBBY ENTRANCE SECTION @ MAIN ST



SECTION AT STOOP WALK ALONG ACCESS DRIVE
 CPTED principles will be applied to all building edges typically.

BOARD GUIDANCE:

EDG 1: Both Sites: Related to the access drive, the Board acknowledged that safety and security are important considerations for both sites to create a safe and comfortable walking environment. The Board agreed the design should incorporate CPTED principles, consistent with the Yesler Terrace Design Guidelines, which recommended “eyes on the street” and maximizing the number of ground related residential entries.

EDG 2: For the access drive frontage, the Board strongly supported the proposed alternate with direct entries and shared circulation space, referred to as the “stoop walk.” The Board agreed the design appropriately incorporates CPTED principles, which recommended “eyes on the street” and maximizing the number of ground-related residential entries, addresses safety concerns and better meets the intent of the access drive to function as a woonerf.

RESPONSE:

The following CPTED principles will be applied to the project:

- ① Eyes on the street from residents + activity on ground plane (stoop entrances, retail)
- ② Sufficient lighting along street and pedestrian access drive
- ③ Territoriality - clear designation between public and private areas. See-through screening, low fencing or hedges
- ④ Activity support - appealing to pedestrian use

RELEVANT GUIDELINES:

PL2-B Safety and Security

1. Eyes on the street:
 Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows balconies and street-level uses.

2. Lighting for Safety:
 Provide lighting at sufficient lumen intensities and scales, including pathway illumination, pedestrian and entry lighting, and/or security lights.

3. Street-Level Transparency:
 Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways. Choose semi-transparent rather than opaque screening.

4. WATER MANAGEMENT



ON-GRADE PLANTER



CIP CONC. PLANTER WALL



CIP CONC. PLANTER WALL



BOARD GUIDANCE:

EDG 1: Both Sites: The Board recommended thoroughly exploring natural water features and storm water planters into project design, to create visual interest for site drainage.

RESPONSE:

Bioretention planters will be incorporated into the project at locations indicated. The design will create visual interest to the sidewalk environment.

RELEVANT GUIDELINES:

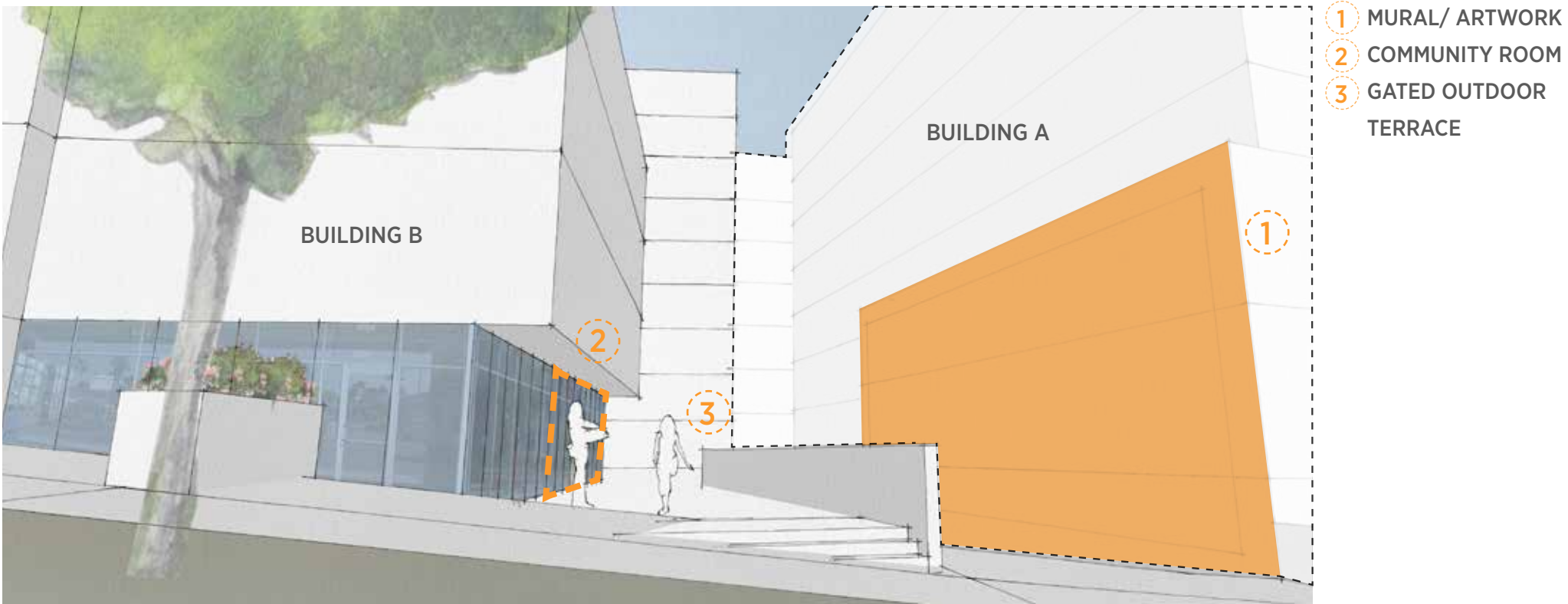
CS1-E Water

1. Natural Water Features:

If the site includes any natural water features, consider ways to incorporate them into project design, where feasible.

2. Adding Interest with Project Drainage:

Use project drainage systems as opportunities to add interest to the site through water-related design elements. Features such as trees, rain gardens, bioswales, green roofs, fountains of recycled water, and/or water art installations can create movement and sound, air cooling, focal points for pedestrians, and habitats which may already be required to manage on-site stormwater and allow reuse of potable water for irrigation.



BOARD GUIDANCE:

EDG 1: Both Sites: The Board agreed the design approach should be further developed to respond to the historic and cultural context, consistent with the Yesler Terrace Design Guidelines. The Board recommended integrating art in a meaningful way and encouraged working directly with the neighborhood groups for inspiration on how to address the history and diversity of the site.

RESPONSE:

Three community outreach meetings to various groups have been completed since the last EDG meeting. The design team has received feedback and inputs from the local neighborhood groups.

A mural/ artwork will be proposed on the west wall of Building A. This will be a collaborative work between the design team and three local artists. The mural will be painted by Urban Artworks. The theme will combine the historical and cultural reference of Yesler Terrace and be cohesive with the mission of the building:

- Create a deep sense of home within a highly desirable building.
- Be part of a neighborhood transformation and the cornerstone between Yesler Terrace and the rest of the city.
- Provide a vibrant platform for inspiration, growth and stability.

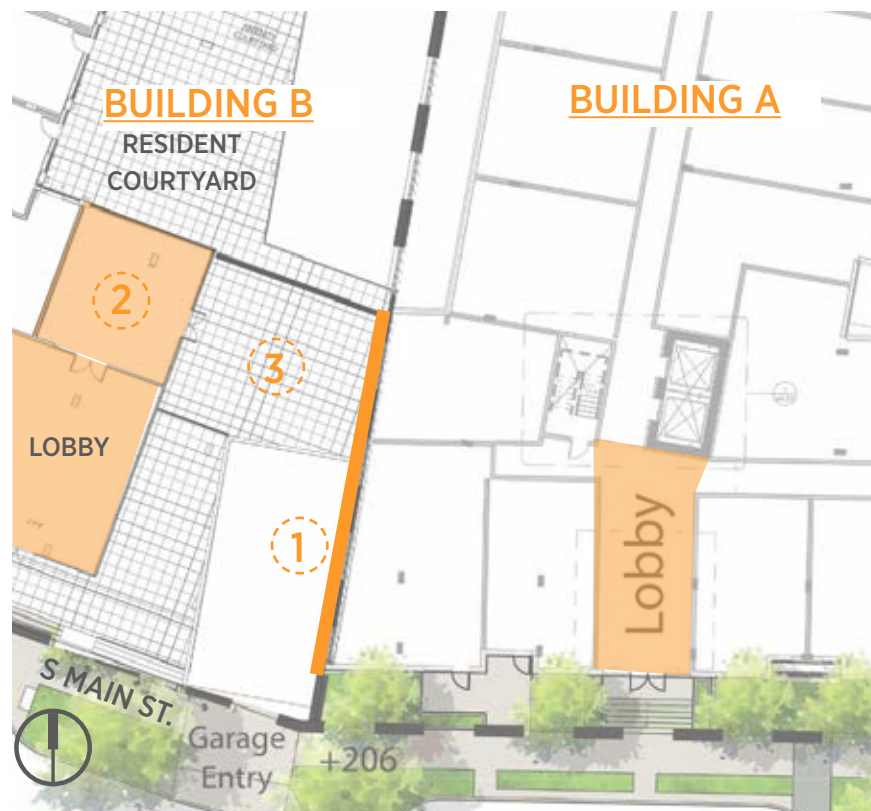
In the revised design of Building B a community room and an outdoor terrace are proposed next to the mural. Both of the spaces will be open to the public for rental use at office hours. A complimentary mural will be incorporated into the Building B community center and the courtyard gate.

RELEVANT GUIDELINES:

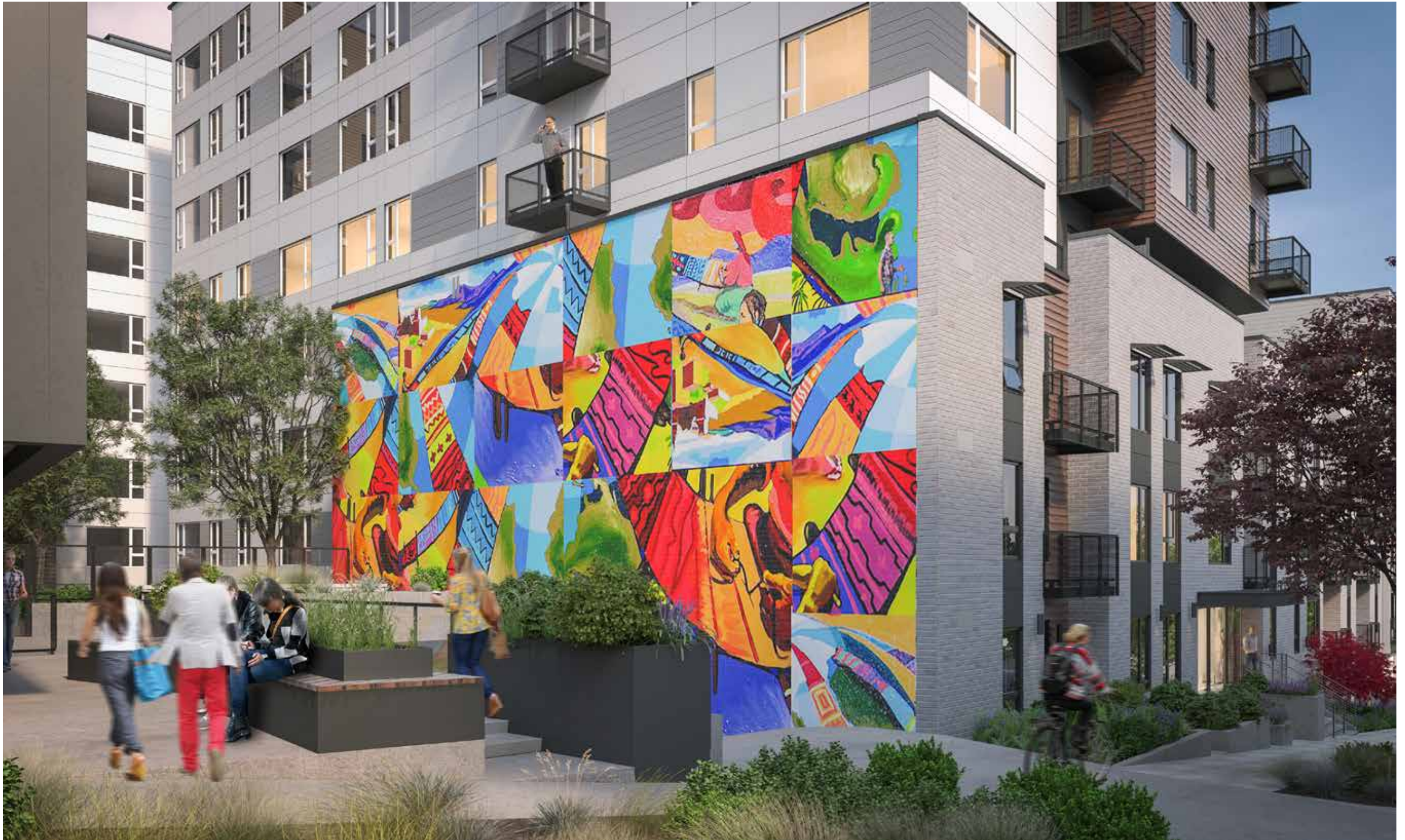
PL1 Connectivity
Adding to Public Life: Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life.

CS3-B-1 Placemaking:
Explore the history of the site and neighborhood as a potential placing-making opportunity. Look for historical and cultural significance, using neighborhood groups and archives as a resources.

CS3-B-2 Historical / Cultural References:
Throughout the site, reference the history and unique cultural mix of Yesler Terrace.

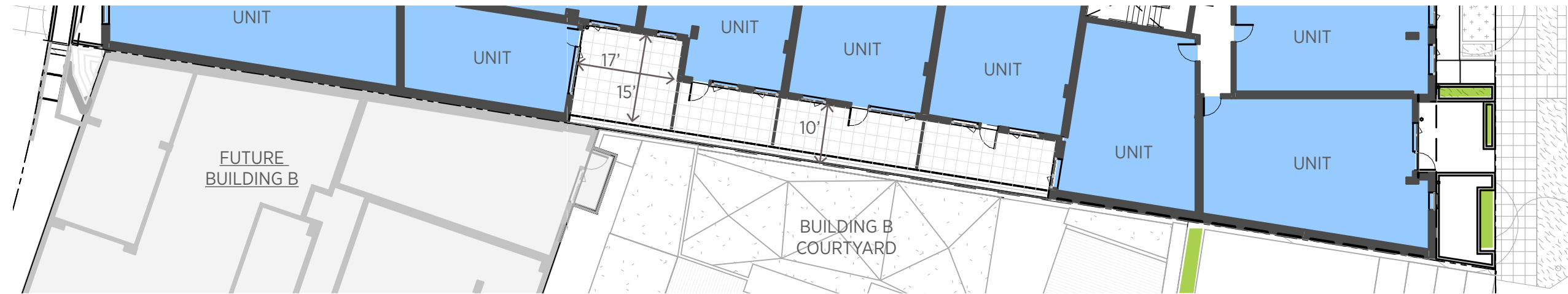


5. HISTORY OF THE SITE



WEST COURTYARD





ENLARGED PLAN @ WEST COURTYARD



WEST ELEVATION

5. HISTORY OF THE SITE

COMMUNITY OUTREACH MEETINGS

Three community outreach meetings to various groups have been completed since the last EDG meeting.

YESLER TERRACE COMMUNITY COUNCIL PRESENTATION 1.9.2018

- Open House
- Design discussions/explanations



SEATTLE CHINATOWN INTERNATIONAL DISTRICT PRESERVATION AND DEVELOPMENT AUTHORITY PRESENTATION (SCIDpda) 1.25.2018

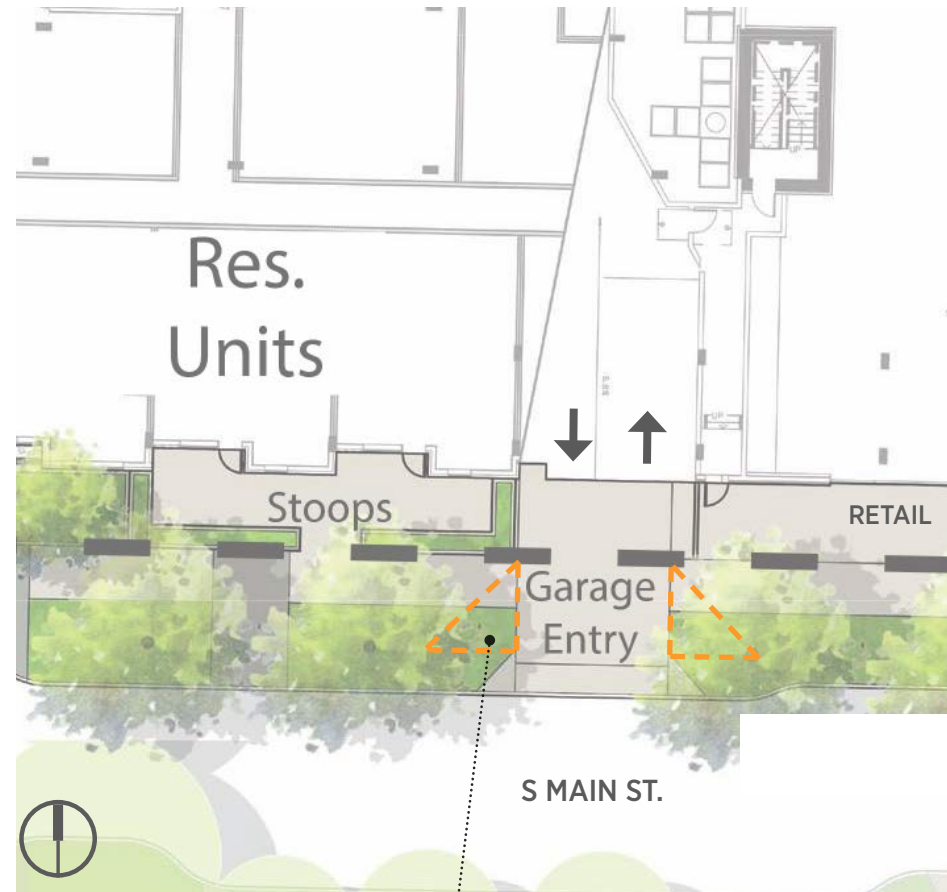
- Unit size discussions
- Park Design



YESLER TERRACE CITIZEN REVIEW COUNCIL PRESENTATION 5.10.2018

- Complementary of design
- Discussed Yesler Terrace standard site furnishings
- Security - CPTED Principles





DRIVE ENTRY ALONG MAIN ST

- High visibility of pedestrians for safety
- Street level residential entry to the West for eyes on the street
- Landscape screening around gas meter location

10' X 10' Sight triangle provided on the exit side of garage entry for pedestrians' safety.

BOARD GUIDANCE:

EDG1: Both Sites: The Board agreed that the preferred driveway locations along South Main St. for both sites appear to be the best options, given the topography and the opportunity to bring additional pedestrians through the access drive. In order to address the Design Guidelines, any parts of the parking structure that are visible above the grade along the street front should be completely masked, designed to be visually interesting, relate to the pedestrian environment and detailed for passive surveillance.

RESPONSE:

All parking structures are below grade. Mural wall is proposed next to the Building B parking entry for aesthetic. There will be landscaping and mirrors near the parking entry to provide a visually interesting and safe environment.

RELEVANT GUIDELINES:

DC1-B Vehicular Access and Circulation

Emphasize use of the sidewalk for pedestrians, and create safe and attractive conditions for pedestrians, bicyclists, and drivers.

DC1-C

Locate parking below grade wherever possible. Reduce the visual impacts of parking lots, parking structures, entrances, and related signs and equipment as much as possible.



GARAGE DOOR MATERIAL



LANDSCAPE SCREEN CONCEPT

7. MATERIALS, ARCHITECTURAL CHARACTER AND APPEARANCE

BOARD GUIDANCE:

EDG 1: Both Sites: The Board approved of the cladding and material response for the intersection at South Main St. and Boren and strongly supported the high quality materials indicated, in particular the masonry. The Board noted that the Yesler Terrace Design Guidelines have specific guidance for material quality and that the project should be consistent with the relevant Design Guidelines. The Board also supported the general intent to provide similar but different materials for the two phases. The Board recognized that the buildings may be built separately and agreed material selection should factor in a large time gap between construction. For the next meeting, the Board requested presenting the design intent for both phases with larger side by side elevations and additional renderings.

EDG 2: The Board supported the high quality materials proposed, in particular the masonry and the combination horizontal and vertical texture to provide an additional layer of detail. Although the Board approved of the design intent, the Board observed the large amount of fiber cement proposed and noted the range of quality between fiber cement panel products. The Board indicated cladding that would be acceptable that includes a thicker panel depth and potentially integral color. The Board agreed samples were needed to determine if the wood-look fiber cement panel would qualify as a higher quality material, consistent with the Yesler Terrace Design Guidelines and requested photographs of built precedents.

RESPONSE:

Buildings A and B maintain a coherent design. Each building is unique by itself but belongs to the same family. This will be achieved by applying similar/same materials but with different details, different proportion/ scale of materials, different patterns, different accent colors, different brick modules etc. Facades and materials of Buildings A and B will be designed holistically so that they are interconnected, yet unique. Like materials will no longer be touching between Buildings A and B, minimizing the material time-gap issue. All street-level facades in Building A maintain 70%+ preferred materials.

The following high-quality materials will be provided for both Building A and Building B:

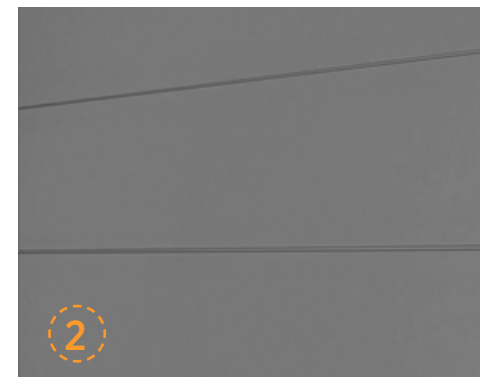
- Masonry
- Woodtone Fiber Cement Lap Siding
- 5/8" Painted Fiber Cement Shiplap
- 7/16" Painted Fiber Cement Panel
- High-transparency Storefront
- Vinyl windows
- Accent colors

A physical materials board will be provided at Recommendation Meeting.

BUILDING A MATERIALS



WOODTONE FIBER CEMENT LAP SIDING - SMOKEY ALDER



FIBER CEMENT SHIPLAP - P3



12" BRICK - 'PLATINUM' NORMAN COURSING



RAILING - BLACK METAL MESH



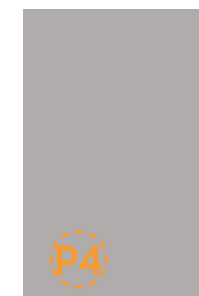
FIBER CEMENT



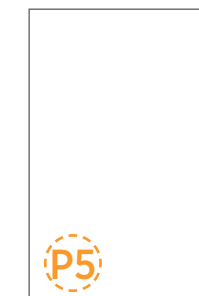
FIBER CEMENT



FIBER CEMENT



FIBER CEMENT



FIBER CEMENT



ACCENT COLOR



BLACK METAL/STOREFRONT



VINYL WINDOW - BLACK



VINYL WINDOW - WHITE

7. MATERIALS, ARCHITECTURAL CHARACTER, AND APPEARANCE

RELEVANT GUIDELINES:

DC4-A Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.



WOODTONE PRODUCT USED AT THE ELEANOR APARTMENTS, RAVENNA

'SIMILAR BUT DIFFERENT'



BUILDING A MATERIAL SCHEME



BUILDING B MATERIAL SCHEME

EXTERIOR DESIGN

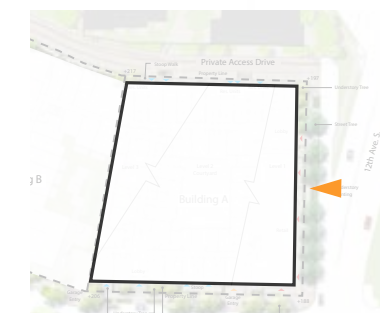


SOUTH ELEVATION

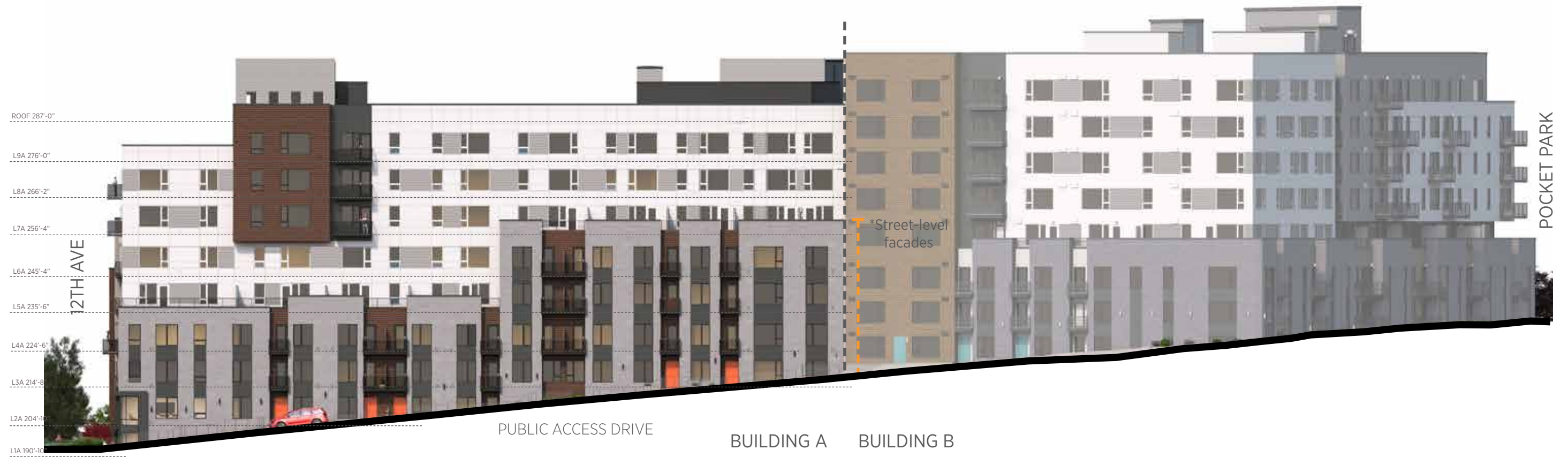




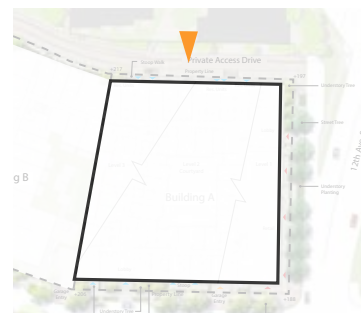
EAST ELEVATION



EXTERIOR DESIGN

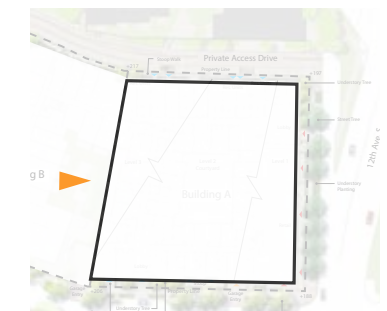


NORTH ELEVATION



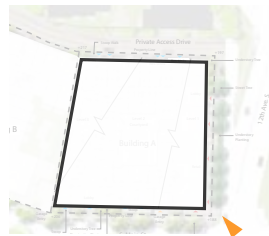


WEST ELEVATION





SE CORNER





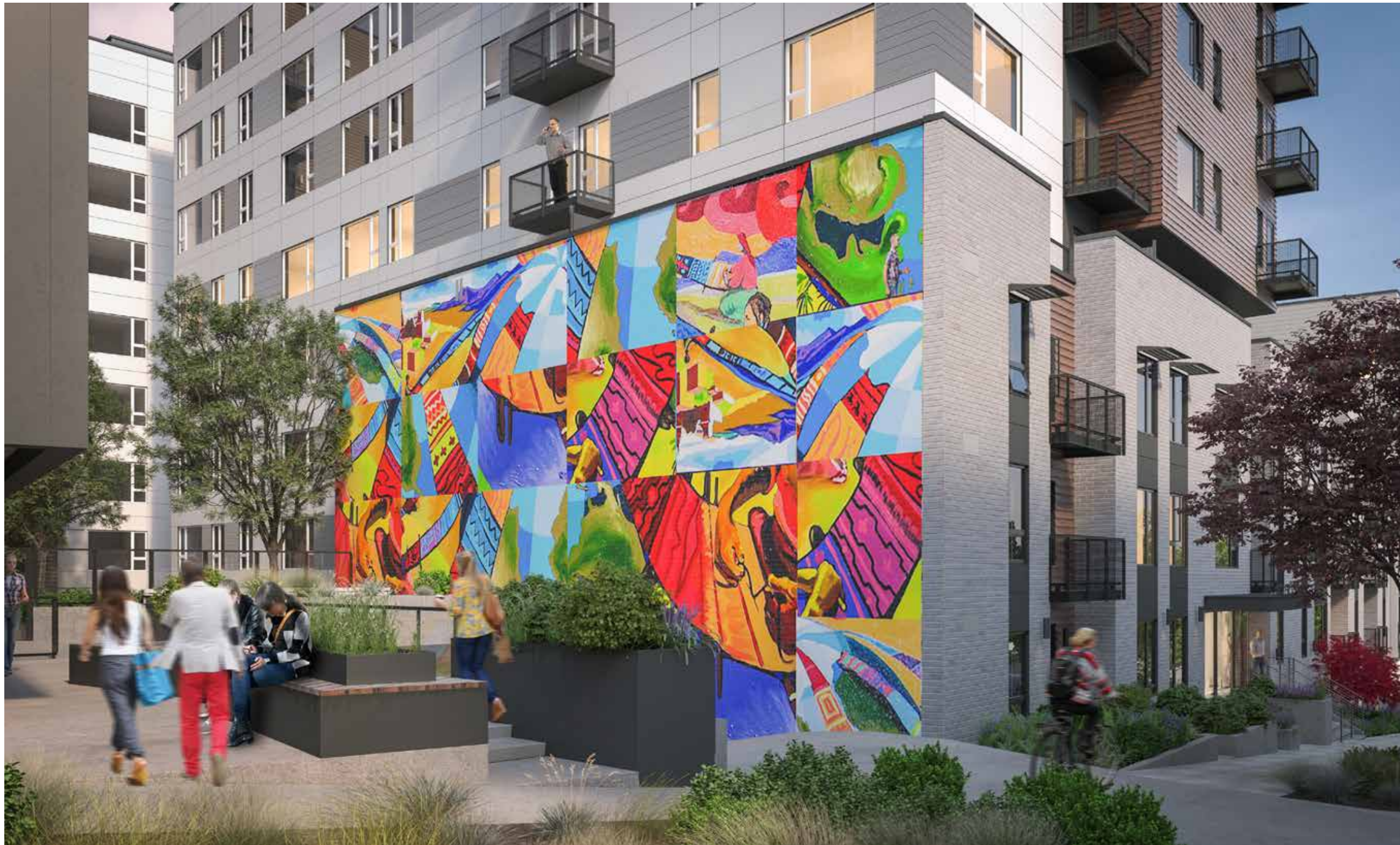
SE CORNER





S MAIN ST





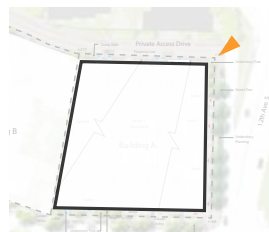
WEST COURTYARD

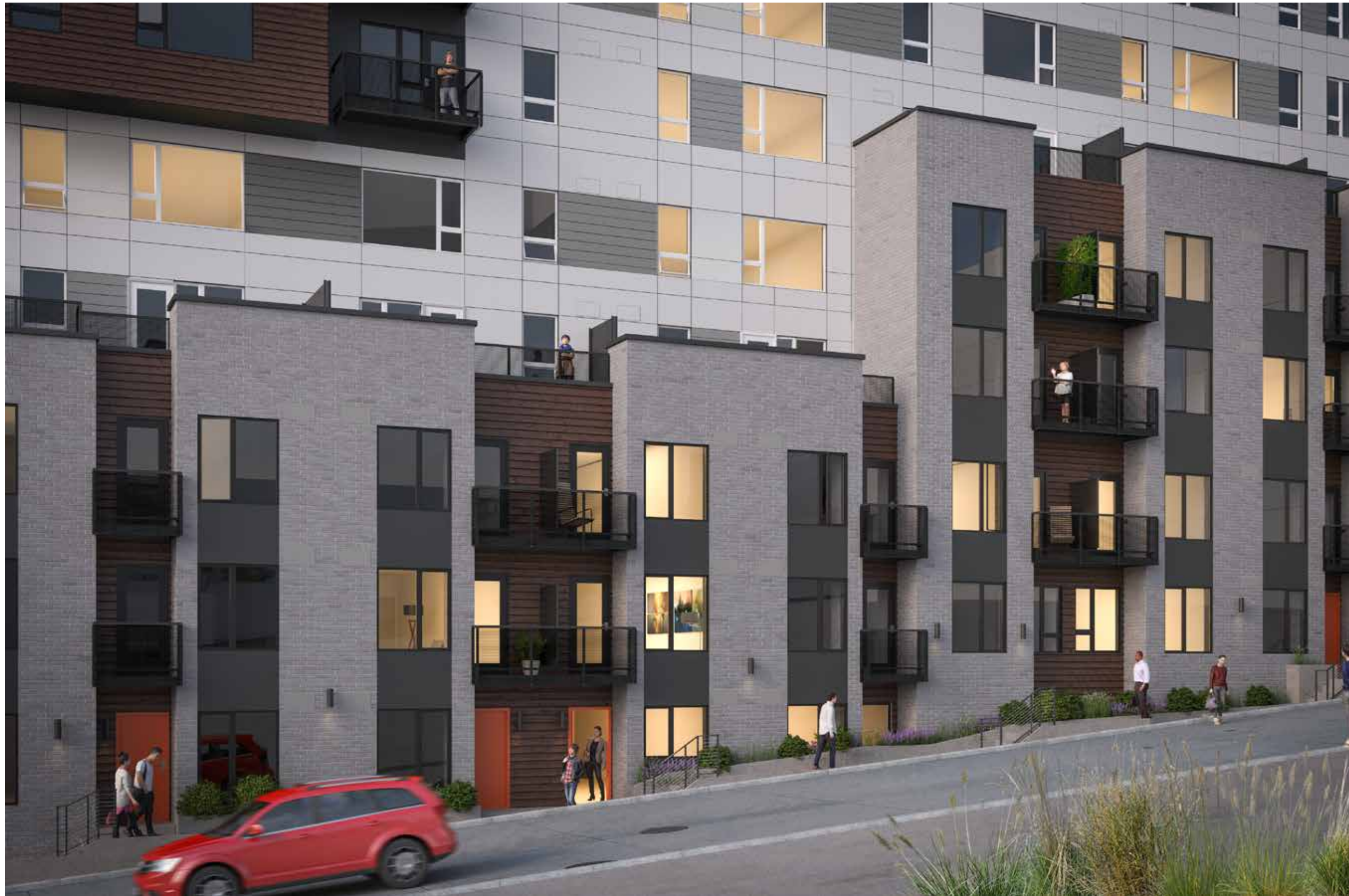


EXTERIOR DESIGN

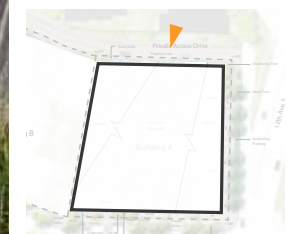


NE CORNER





ACCESS DRIVE



SIGNAGE



- 1 BLADE SIGN UNDER OR ABOVE CANOPY
- 2 3D LETTERS MOUNTED TO TOP OR UNDERSIDE OF CANOPY
- 3 WALL MOUNTED SIGNAGE



EAST ELEVATION



SOUTH ELEVATION



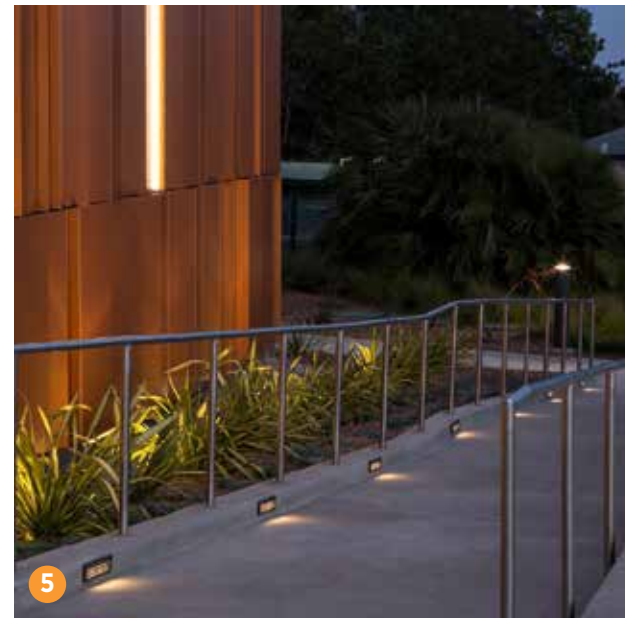
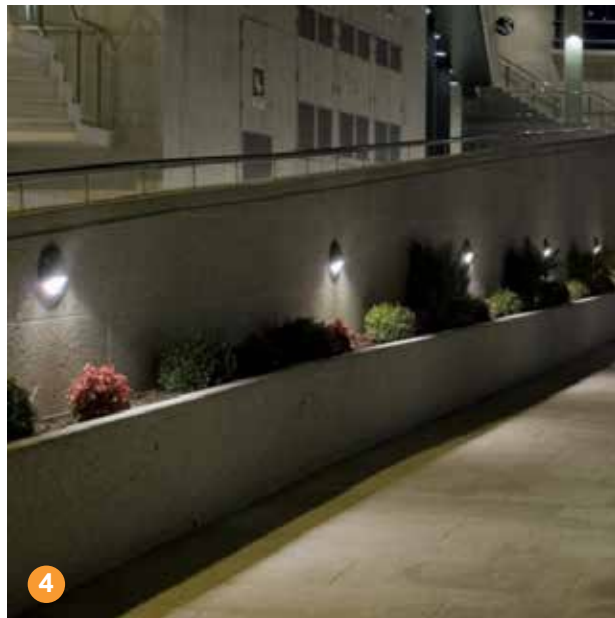
SE CORNER - BUILDING SIGNAGE LOCATION OPTIONS



NE CORNER - BUILDING SIGNAGE LOCATION OPTIONS










GROUND LEVEL LIGHTING PLAN



- 1 CYLINDER WALL SCONCE
- 2 CANOPY LIGHTING AT RETAIL
- 3 RECESSED LED STRIP LIGHTING BEHIND ENTRY ELEMENT
- 4 TYPICAL STEP/WALL LIGHTS
- 5 STEP/WALL LIGHTS AT STOOP WALK

STREETSCAPE SITE PLAN




- Legend**
-  Sidewalk Paving: Standard CIP concrete pavement, no color, 2x2 saw cut scoring
 -  Pedestal Paving
 -  Understory Planting
 -  Bioretention Planting
 -  Retail Entry
 -  Residential Entry
 -  Garage Entry



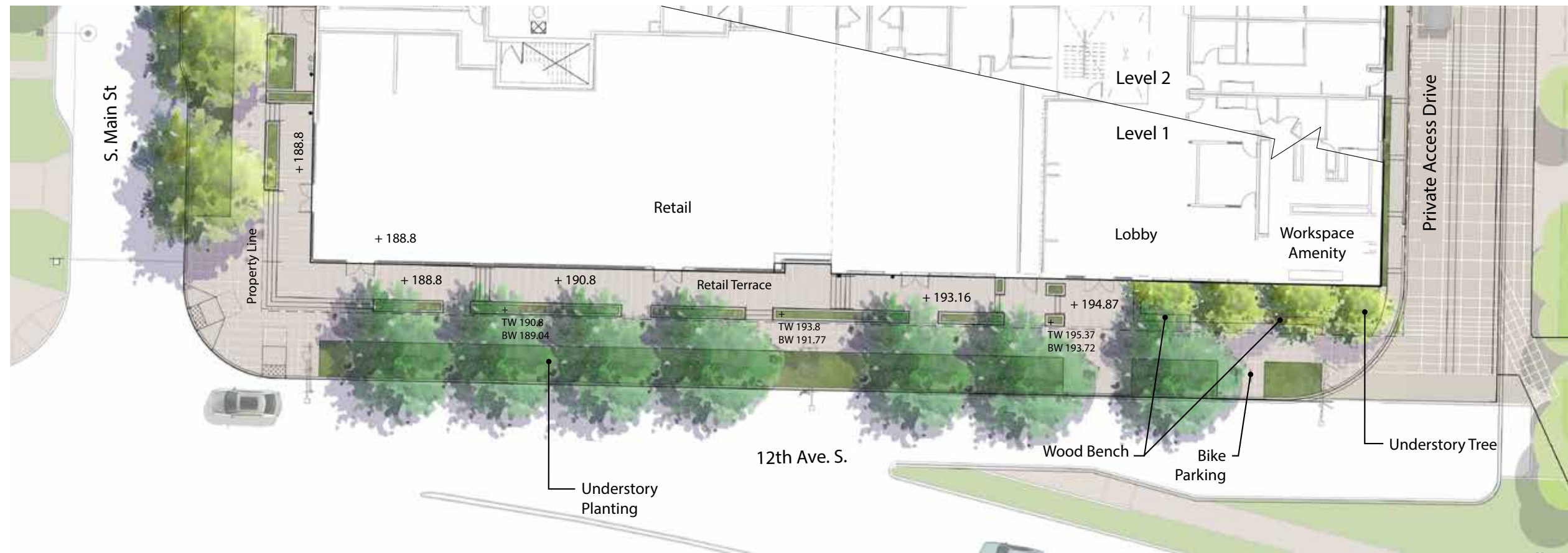
S. MAIN ST. ENLARGEMENT PLAN





Legend

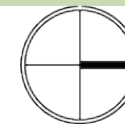
-  Sidewalk Paving:
Standard CIP concrete
pavement, no color, 2x2 saw
cut scoring
-  Understory Planting
-  Bioretention Planting

12TH AVE S. ENLARGEMENT PLAN





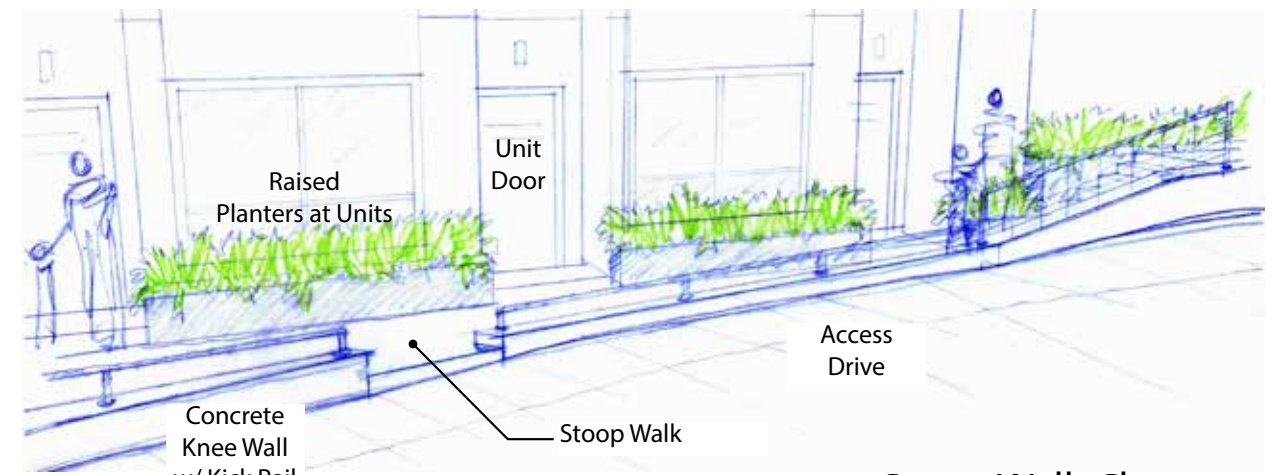
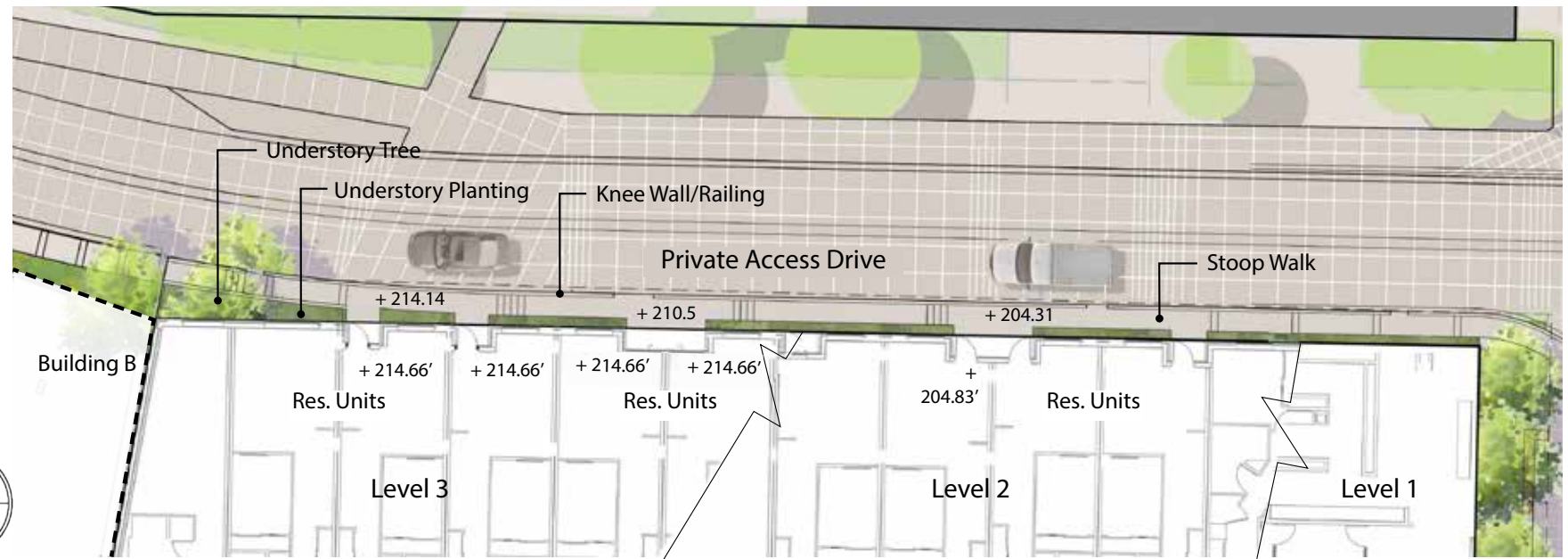
Legend

-  Sidewalk Paving:
Standard CIP concrete
pavement, no color, 2x2 saw
cut scoring
-  Understory Planting



PRIVATE ACCESS DRIVE ENLARGEMENT PLAN

- Legend**
-  Sidewalk Paving: Standard CIP concrete pavement, no color, 2x2 saw cut scoring
 -  Understory Planting



Stoop Walk Character

STREETSCAPE MATERIALS

MATERIALS



Sidewalk Paving



Planter Wall



Bioretention Planter Wall



Bike Racks



Wood Bench



Seat Wall + Wood Bench

PROPOSED STREET TREES



Quercus rubra
(S Main St.)
Red Oak

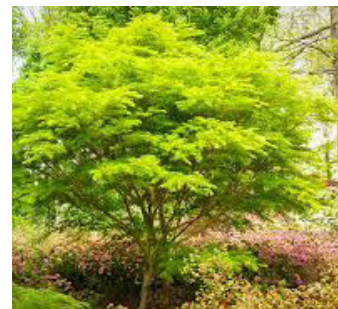


Nyssa sylvatica
(S Main St.)
Black Tupelo



Gymnocladus dioicus
(12th Ave S)
Kentucky coffeetree

PROPOSED UNDERSTORY TREES



Acer circinatum
Vine Maple

UNDERSTORY PLANT MIX



Vaccinium glauco-album
Himalayan Huckleberry



Blechnum penna-marina
Alpine Water Fern



Allium sp.
Allium



Sesleria autumnalis
Autumn Moor Grass

BIORETENTION PLANT MIX



Pachysandra axillaris
Windcliff Fragrant Pachysandra



Spiraea japonica 'Little Princess'
Japanese Spirea



Polystichum polyblepharum
Tassel Fern



Epimedium grandiflorum
Bishop's Hat

STREETSCAPE MATERIALS



CONCRETE PLANTER






METAL PLANTER

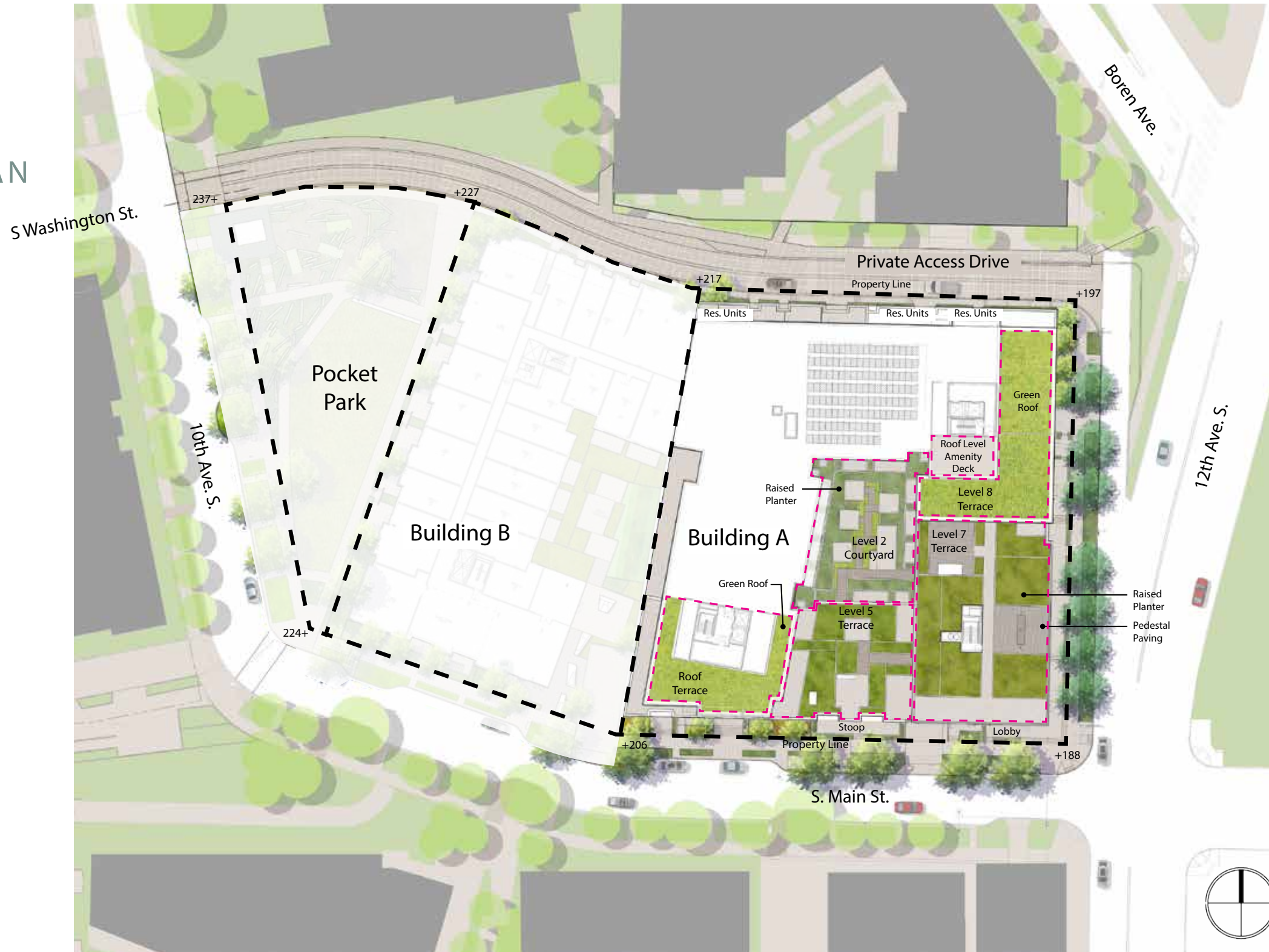


STOOP ENTRY

TERRACE AND ROOFDECK PLAN

Legend

-  Pedestal Paving
-  Raised Planter
-  Green Roof



TERRACE AND ROOFDECK MATERIALS

MATERIALS



PEDESTAL PAVING



DECORATIVE COBBLE



RAISED PLANTERS



METAL EDGING

PLANTS



Poa cita
Silver Tussock



Carex dipsacea
Autumn Sedge



Allium sp.
Allium



Sedum spp.
Green Roof Sedum Mix

DEPARTURES SUMMARY

DEPARTURE #	REQUIREMENT	REQUEST	APPLICABLE DESIGN GUIDELINES
1	<p>23.75.140.J.2</p> <p><i>Porches, balconies, and decks may project a maximum of 6 feet into required setbacks, provided that no portion of the porch, balcony, or deck is closer than 2 feet from the boundary. Overhead weather protection may project a maximum of 2 feet beyond the edge of a porch, balcony, or deck.</i></p>	<p>Provide patios for residential access which project beyond 6 feet into the required setback. Edge of patios are 2ft minimum away from a boundary line. The departure request occurs at the ground level patios along the South facade, Main St.</p>	<p>PL2 Safety & Security - Eyes on the street PL3 Residential Frontage DC3 Building-Open Space relationship</p>
2	<p>23.75.140.J.3</p> <p><i>Cornices, eaves, gutters, roofs, and other forms of weather protection may project a maximum of 4 feet beyond the building façade into required setbacks.</i></p>	<p>Provide canopies along 12th Ave S, extending 6 feet beyond the facade into the required setback.</p>	<p>PL2 Walkability PL3 Street-level interaction - Frontage DC2 Human Scale</p>

REQUIREMENT:

SMC 23.75.140.J.2

Porches, balconies, and decks may project a maximum of 6 feet into required setbacks, provided that no portion of the porch, balcony, or deck is closer than 2 feet from the boundary. Overhead weather protection may project a maximum of 2 feet beyond the edge of a porch, balcony, or deck.

REQUEST:

Provide patios for residential access which project beyond 6 feet into the required setback. Edge of patios are 2ft minimum away from a boundary line. The departure request occurs at the ground level patios along the South facade, Main St.



JUSTIFICATION & RELEVANT GUIDELINES:

Extending the edge of patios and decks from 6 ft. maximum into the setback to 8' into the setback will better promote safety and security at street level, by providing "eyes on the street" closer to the sidewalk.

The extended decks encourage use of the deck areas by providing more usable area to residents, which will help in activating the street level and providing interaction with the sidewalk. The layered transition from private to public spaces is consistent with the building-open space relationship in the design guidelines. The sidewalk environment will be more lively and safe. The following design guidelines will be enhanced:

PL2 Safety and Security - Eyes on the street:

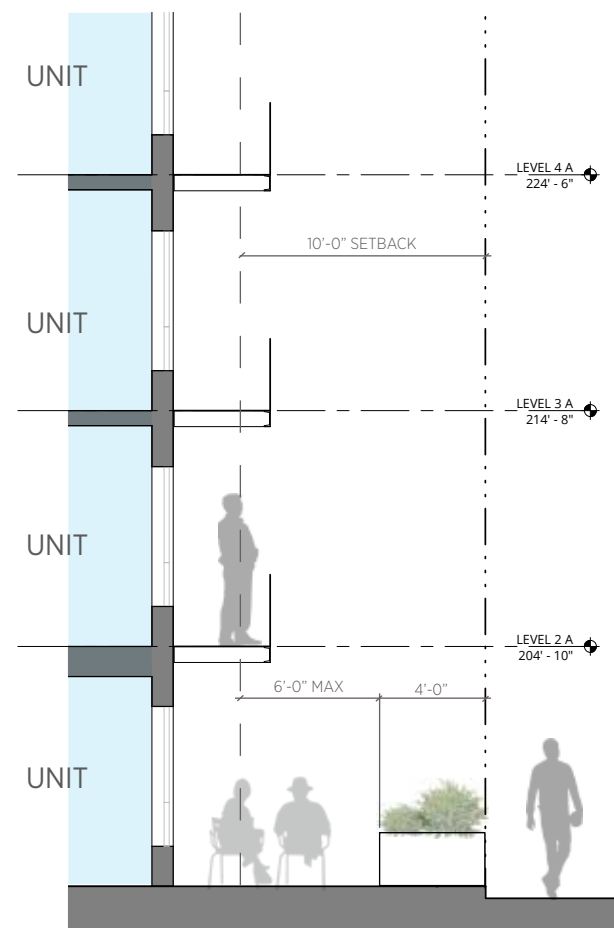
Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.

PL3 Street Level Interaction - Residential Frontage :

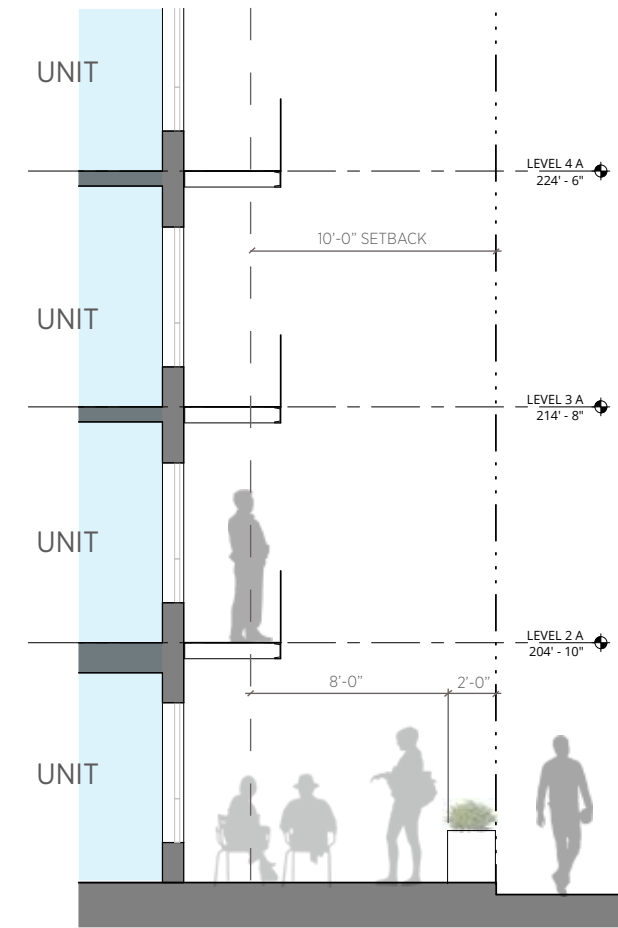
Encourage human interaction and activity at the street-level with clear connections to the building edges.

DC3 Building-Open Space relationship:

Integrate patios with building design, and with adjacent semi-private or public open spaces, to support the functions of the development



CODE COMPLIANT
UNIT PATIO SECTION @ MAIN ST



DEPARTURE
UNIT PATIO SECTION @ MAIN ST

DEPARTURE 2 - STRUCTURE IN REQUIRED SETBACK

REQUIREMENT:

23.75.140.J.3

Cornices, eaves, gutters, roofs, and other forms of weather protection may project a maximum of 4 feet beyond the building façade into required setbacks.

REQUEST:

Provide canopies above the residential lobby and retail entries along the 12th ave facade and wrapping the corner at Main St, extending 6 feet beyond the facade into the required setback.

JUSTIFICATION & RELEVANT GUIDELINES:

Extending the canopy from the 4 ft. maximum limit to 6 ft. will improve the weather protection at the setback area along street level. It encourages the pedestrian activity on street level.

The extended canopy adds depth to the facade, creates visual interest and a nice human scale at the street level. This also allows for the canopies along 12th to have a consistent depth with the NC2-65 zone at the corner of Main and 12th. This will provide a better pedestrian experience and help activate the street level uses.

The following design guidelines will be enhanced:

PL2 Weather protection - Create a safe and comfortable walking environment:

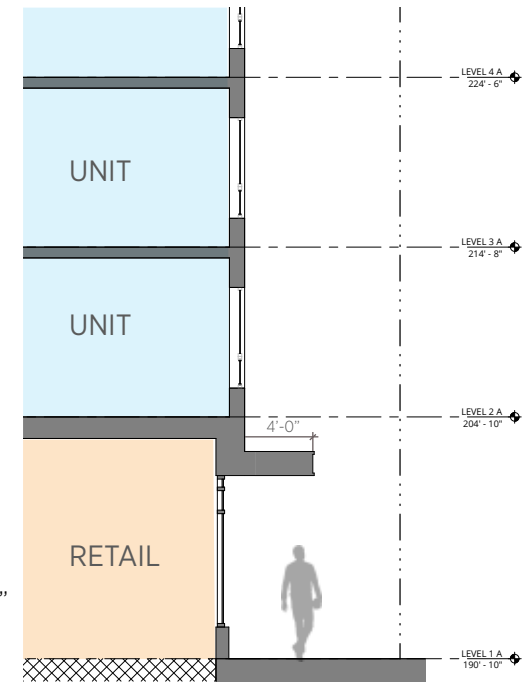
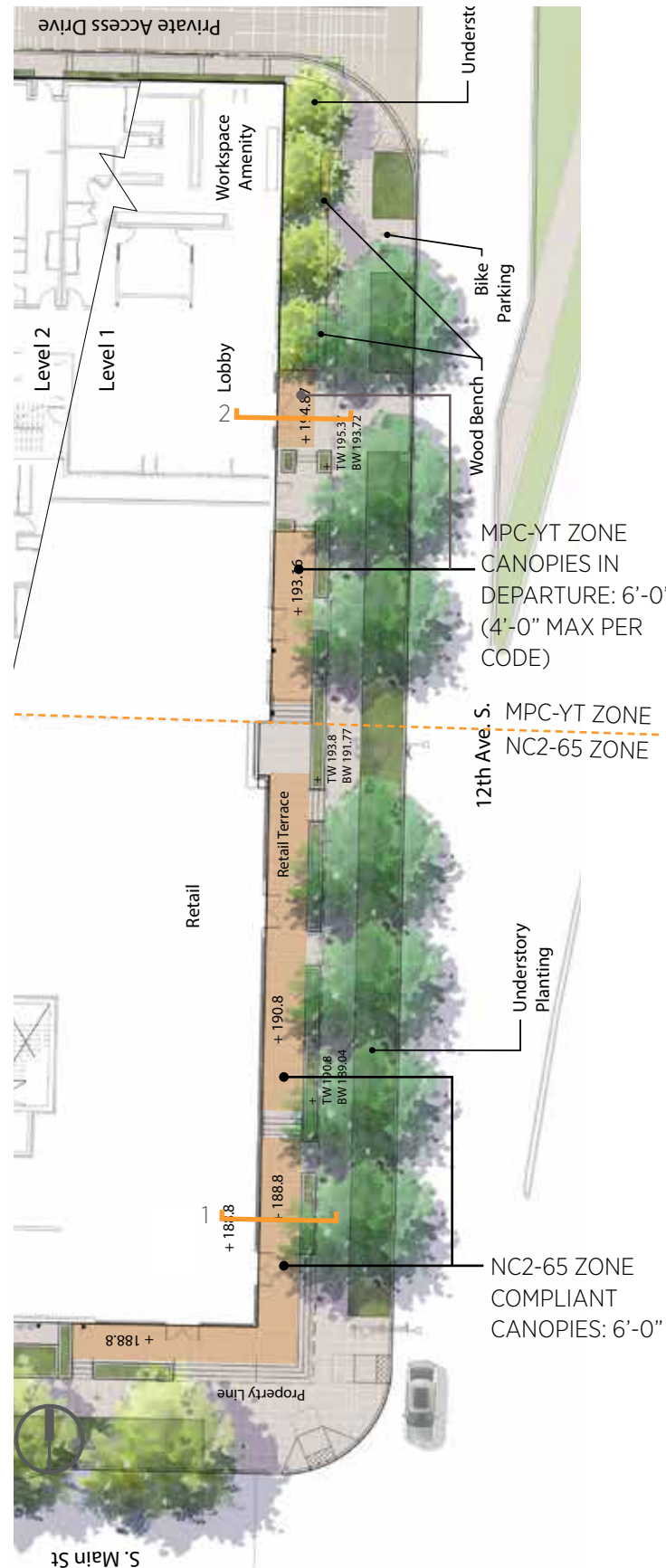
Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activity such as entries, retail uses, and transit stops. Address changes in topography as needed to provide continuous coverage the full length of the building, where possible.

PL3 Street Level Interaction - Residential Frontage :

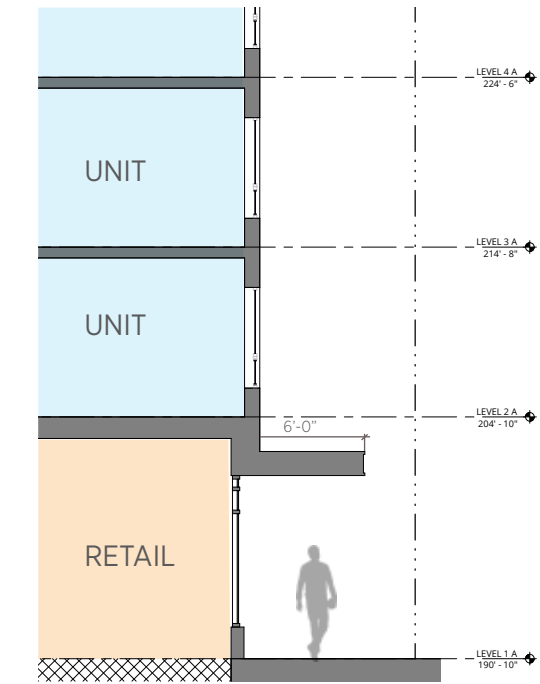
Encourage human interaction and activity at the street-level with clear connections to the building edges.

DC2 Secondary architectural features:

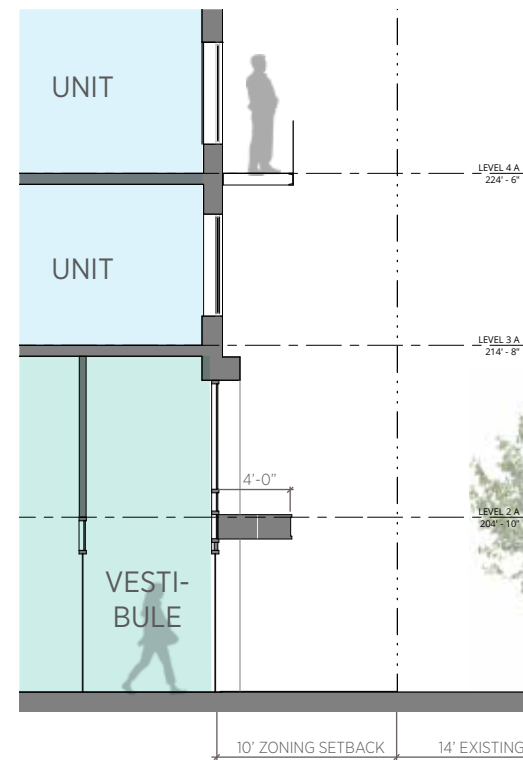
Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the facade design. Add detailing at the street level in order to create interest for the pedestrian and encourage active street life and window shopping (in retail areas).



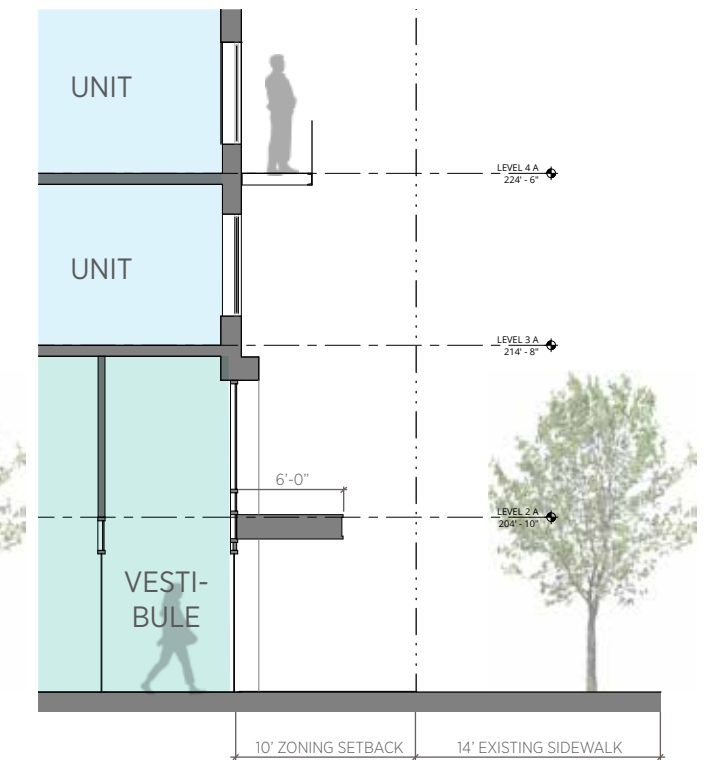
1 CODE COMPLIANT
RETAIL SECTION @ 12TH AVE



1 DEPARTURE
RETAIL SECTION @ 12TH AVE



2 CODE COMPLIANT
SECTION @ 12TH AVE RESIDENTIAL LOBBY



2 DEPARTURE
SECTION @ 12TH AVE RESIDENTIAL LOBBY

APPENDIX

1. MASSING OPTIONS, HEIGHT, BULK AND SCALE

EDG 1: Massing Options, Height Bulk and Scale: The Board discussed the strengths of the different massing options for both sites and strongly supported the at-grade open space shown in Options A and B and the response to the site and topography shown in Option C. The majority of the Board supported Massing Option C for both Phase 1 and 2 but also agreed that additional massing articulation and different scales of modulation is needed to diminish the appearance of one long building. The Board recommended that Phase 1 move forward to MUP application, while the Phase 2 return for another meeting in response to the guidance provided.

a. Both Sites: The Board approved of the strong proposed street wall articulation but had concerns with how the upper tower volumes met the podium. The Board recommended examining the connection to the base and noted that this condition presented an opportunity to differentiate the two phases, potentially be grounding the tower volume. If the tower volumes remained as an upper massing volume, the Board recommended expanding the height and depth of the upper setback in order to have it be legible from a pedestrian level. (CS2, PL3, DC2)

b. Phase 2: The Board struggled with the lack of clarity for the Phase 2 Massing Option C and requested the following development and information be provided for the next meeting:

i. The Board was concerned with the courtyard depth, proportion, function and lack of pedestrian access. In order to enhance light, air and access, the Board recommended providing a direct connection between the courtyard and the street by pulling apart the two buildings to reveal the courtyard. The Board considered this as an option for large scale modulation. The Board also requested landscape information for the interior courtyard. (CS2, PL3, DC2-A, DC2-B, DC2-C)

ii. The Board supported the massing for the upper stories shown in the model and recommended further developing the articulation, large scale modulation and separation along S Main St to diminish the appearance of one long building when considered with Phase 1. (CS2, PL3, DC2-A, DC2-B, DC2-C)

iii. The Board requested additional information for the access drive frontage and the pocket park frontage and recommended revising each to provide a strong public edge and better meet the Yesler Terrace Design Guidelines. (CS2-B2, PL1-A, PL1-B, PL2-A, PL2-B, PL3)

EDG 2: Massing and Height Bulk and Scale: c. The Board strongly supported the proposed deep balconies as they create shadows and depth along the facades.

2. STREETScape, FRONTAGE, EDGES AND ENTRIES

EDG 1: Streetscape, Frontage Edges and Entries: The Board gave guidance for the design development in response to the different frontages.

a. Both Sites: For the lobby spaces along 12th Ave S and S Main St, the Board recommended minimizing the frontage dedicated to these functions and rearranging the ground floor with more active uses along the street edge. Related to the lobby along S Main St, the Board struggled with the relationship to grade and requested sections for the next meeting. (CS2-B2, PL1-B, PL2-B3, PL3-C, DC1-A)

b. Phase 1: The Board agreed the design should maximize retail space and flexibility for varied retail uses to continue the vibrancy of Little Saigon. To encourage a lively street front, the Board recommended extending the retail along 12th Ave S. (CS2-B2, CS3-A, PL1-B, PL2-B3, PL3-C)

c. Phase 2: For the residential frontage facing the pocket park, the Board recommended developing each entry to read as a front door and requested more information illustrating the relationship between the individual units and pocket park. The Board also encouraged designing a path that is “discovered”, mindful of the boundary with the pocket park. Related to the entry sequence, the Board agreed that minor below grade changes could work with the design, provided that low landscaping successfully eases the grade change. (CS1-B2, PL1-A, PL1-B, PL2-A, L2-B, PL3-B)

d. Both Phases: The Board stressed the importance of encouraging pedestrian interaction along the access drive and strongly recommended including direct entries or patios buffered from the vehicular area. The Board supported the residential expression of Phase 1 along S Main St and encouraged development of a similar condition along the access drive. The Board also recommended revising a similar condition along the access drive to better meet the Yesler Terrace Design Guidelines, by either providing a shared circulation space, in the spirit of a woonerf, or incorporating an additional setback to create a buffer for the residential outdoor spaces. (PL3)

EDG 2: Streetscape, Frontage Edges, Entries, Safety and Security: The Board supported the overall development and gave guidance on the revised access drive frontage and the pocket park frontage.

c. For the access drive frontage, the Board strongly supported the proposed alternate with direct entries and shared circulation space, referred to as the “stoop walk.” The Board agreed the design appropriately incorporates CPTED principles, which recommended “eyes on the street” and maximizing the number of ground-related residential entries, addresses safety concerns and better meets the intent of the access drive to function as a woonerf. (PL2-B, PL3)

3. SAFETY & SECURITY

EDG 1: Both Sites: Related to the access drive, the Board acknowledged that safety and security are important considerations for both sites to create a safe and comfortable walking environment. The Board agreed the design should incorporate CPTED principles, consistent with the Yesler Terrace Design Guidelines, which recommended “eyes on the street” and maximizing the number of ground related residential entries.

EDG 2: For the access drive frontage, the Board strongly supported the proposed alternate with direct entries and shared circulation space, referred to as the “stoop walk.” The Board agreed the design appropriately incorporates CPTED principles, which recommended “eyes on the street” and maximizing the number of ground-related residential entries, addresses safety concerns and better meets the intent of the access drive to function as a woonerf.

4. WATER MANAGEMENT

***EDG 1: Both Sites:** The Board recommended thoroughly exploring natural water features and storm water planters into project design, to create visual interest for site drainage.*

5. HISTORY OF THE SITE

***EDG 1: Both Sites:** The Board agreed the design approach should be further developed to respond to the historic and cultural context, consistent with the Yesler Terrace Design Guidelines. The Board recommended integrating art in a meaningful way and encouraged working directly with the neighborhood groups for inspiration on how to address the history and diversity of the site.*

***EDG 2:** The Board approved of the addition of a mural and the intent to work directly with the community and a local artist for the art development to address the history and diversity of the site. (PL1, CS3-B)*

6. VEHICULAR ACCESS

***EDG 1: Both Sites:** The Board agreed that the preferred driveway locations along South Main St. for both sites appear to be the best options, given the topography and the opportunity to bring additional pedestrians through the access drive. In order to address the Design Guidelines, any parts of the parking structure that are visible above the grade along the street front should be completely masked, designed to be visually interesting, relate to the pedestrian environment and detailed for passive surveillance.*

7. MATERIALS, ARCHITECTURAL CHARACTER AND APPEARANCE

***EDG 1: Both Sites:** The Board approved of the cladding and material response for the intersection at South Main St. and Boren and strongly supported the high quality materials indicated, in particular the masonry. The Board noted that the Yesler Terrace Design Guidelines have specific guidance for material quality and that the project should be consistent with the relevant Design Guidelines. The Board also supported the general intent to provide similar but different materials for the two phases. The Board recognized that the buildings may be built separately and agreed material selection should factor in a large time gap between construction. For the next meeting, the Board requested presenting the design intent for both phases with larger side by side elevations and additional renderings.*

***EDG 2:** The Board supported the high quality materials proposed, in particular the masonry and the combination horizontal and vertical texture to provide an additional layer of detail. Although the Board approved of the design intent, the Board observed the large amount of fiber cement proposed and noted the range of quality between fiber cement panel products. The Board indicated cladding that would be acceptable that includes a thicker panel depth and potentially integral color. The Board agreed samples were needed to determine if the wood-look fiber cement panel would qualify as a higher quality material, consistent with the Yesler Terrace Design Guidelines and requested photographs of built precedents.*

ZONING SUMMARY

SITE INFORMATION - MPC-YT

Parcels: 9822000410, 9822000360, 9822000350, 9822000370, 9822000340, 9822000380, 9822000330, 9822000390, 9822000320, 9822000400, 9822000310

Cross Streets: 12th Ave. S & S. Main St.
10th Ave & S. Washington St.

Zoning: MPC-YT

Overlay District: None

Street Classification: There are no principal pedestrian streets or pedestrian designated zones requiring street level uses.

Approximate elevation change across site: 46'

No Landmark structures are on site; SEPA review completed

DETAILED ZONING - MPC-YT

SMC 23.75.050 PERMITTED USES

- Residential Uses are permitted outright

SMC 23.75.080 STREET-LEVEL USES

- A. Nonresidential uses are not allowed to occupy, in the aggregate, more than 20% of the total street-level street-facing facades along S. Washington Street.

SMC 23.75.090 NONRESIDENTIAL FLOOR AREA LIMITS

- A.2. Combined floor area for all other nonresidential uses shall not exceed 150,000sf.

SMC 23.75.100 BUILDING HEIGHT

- 85ft height limit for non-highrise structures. (160ft for high-rise structures)

SMC 23.75.110 ROOFTOP FEATURES

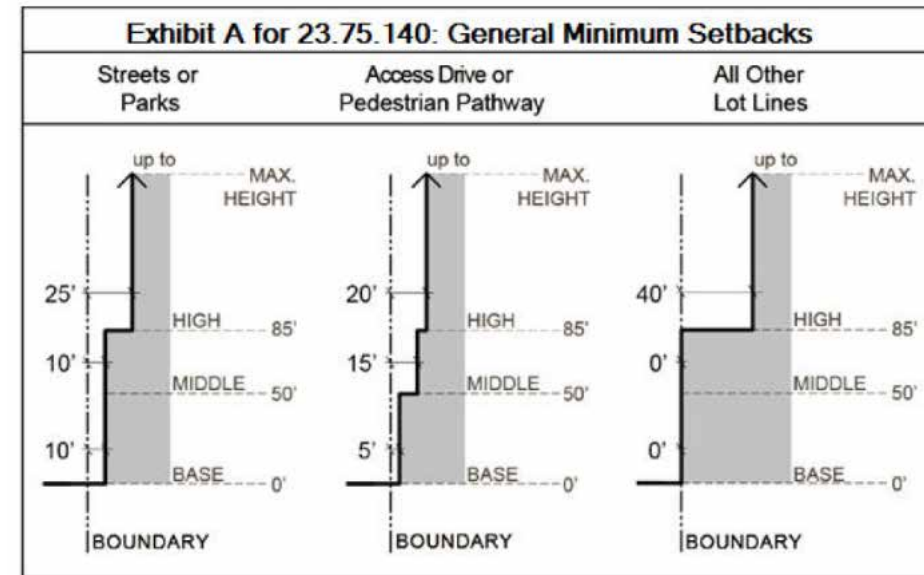
- B. Open railings, planters, skylights, clerestories, parapets and firewalls may extend 4ft above height limit.
- C. Rooftop solar collectors may extend 10ft above height limit.
- D. Stair penthouses and mechanical equipment can extend 15ft above height limit.
- E.2. Elevator penthouse may extend 25ft above height limit.

SMC 23.75.130 MAXIMUM WIDTH OF REGULATED FACADE

- limited to 240ft

SMC 23.75.140 SETBACKS AND PROJECTIONS

- A.1.a. Required setbacks per Exhibit A where no special setback condition identified per Exhibit C.
- Access Drive: South Washington St.
- Streets or Parks: South Main St, 10th Ave, and 12th Ave.



SMC 23.75.140.J - STRUCTURES IN REQUIRED SETBACKS

- For residential uses in structures subject to required setbacks from a street or park open to the public, bay windows and other portions of structures containing enclosed space may project a maximum of 4 feet into required setbacks, provided that the projection does not exceed 30 feet in width, and provided that no portion of the projection is closer than 2 feet from the boundary.
- Porches, balconies, and decks may project a maximum of 6 feet into required setbacks, provided that no portion of the porch, balcony, or deck is closer than 2 feet from the boundary.

SMC 23.75.150 RESIDENTIAL AMENITY AREA

- Amenity space equivalent to 5% of the res. gross area shall be provided, no more than 50% of which shall be enclosed.
- B.4. Areas open to the public easement do not qualify as required amenity areas.

SMC 23.75.170 STREET-LEVEL DEVELOPMENT STANDARDS

- (between 18 inches and 12ft above finish grade at the base of the facade).
- B.2. Blank segments may not exceed 15ft in width (up to 30ft of blank segment can be allowed by the Director as Type I decision).
 - C.2. At least 20% of the facade area shall consist of doors and/or transparent windows. For live-work units abutting street-level facade, at least 50% of the facade area shall consist of doors and/or transparent windows.
 - J.3. Cornices, eaves, gutters, roofs, and other forms of weather protection may project a max. of 4' beyond the building facade into required setbacks.

SMC 23.75.180 PARKING

- No minimum parking requirements.
- Maximum parking requirements per Table A 23.75.180.
- I. 1.a. Access for parking is not allowed within 40ft of the curb line of an intersection.
- I.1.b. Access for parking is not allowed within 20ft of a structure corner that includes a regulated facade on one or both sides.
- I.2. Each access drive is required to include a dedicated pedestrian area long at least one side of the drive. Min. 6ft of walking surface along the length of the drive, separated by a raised curb, bollards, landscaping or textured paving details.

SMC 23.53.025 ACCESS EASEMENT STANDARDS

- D.1. Easement width shall be min. 32 ft.
- D.2. The easement shall provide a surface roadway min. 20ft in width (in MPC-YT zone).
- D.4. A turnaround shall be provided unless the easement extends from street to street.



SITE INFORMATION - NC2-65

Parcels: 8591900215

Address: 225 12th Ave. S

Cross Streets: 12th Ave. S & S. Main St.

- Zoning: NC2-65
- Urban Village: First Hill Urban Center Village
- Overlay District: None
- Street Classification: There are no principal pedestrian streets or pedestrian designated zones requiring street level uses.
- Approximate elevation change across site: 46'
- No Landmark structures are on site.

DETAILED ZONING - NC2-65

SMC 23.47A.005 Street-level Uses

- C.1. In all NC and C zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations: c. Within a zone that has a height limit of 85 feet or higher
- D. In pedestrian-designated zones the locations of uses are regulated as follows: m. Sales and services; c. Eating and drinking establishments; do not apply.

SMC 23.471.008 Street-level Development Standards

- B. Non-residential street-level requirements, Transparency: a. Sixty percent of the street-facing facade between 2' and 8' above the sidewalk shall be transparent. The width of a driveway at street level, not to exceed 22'.
- 4. Non-residential uses at street-level shall have a floor-to-floor height of at least 13'.
- C.4.b. The covered area shall have a minimum width of 6 feet
- C.4.d. The lower edge of the overhead weather protection shall be a minimum of 8' and a maximum of 12' above the sidewalk for projections extending a maximum of 6'. For projections extending more than 6' from the structure, the lower edge of the weather protection shall be a minimum of 10' and a maximum of 15' above the sidewalk.
- D.1. At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry.

SMC 23.47A.012 Structure Height

- C.2. Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets, and firewalls may extend as high as the highest ridge of a pitched roof permitted by subsection 23.47a.012.b or up to 4' above the otherwise applicable height limit, whichever is higher.
- C.7. The rooftop features listed in this subsection shall be located at least 10' from the north lot line unless a shadow diagram is provided that demonstrates locating such features within 10' would not shade property to the north on Jan 21st at noon more than a structure built to maximum permitted height and FAR.

SMC 23.47A.013 Floor Area Ratio

- Total FAR permitted for all uses on a lot that is occupied by a mix of uses is 4.75. Minimum FAR = 2

SMC 23.47A.014 Setback requirements

- The side and rear lot line of the NC2-65 lot is abutting the MPC-YT Zone, Which is not a residential zone. This section and setback requirements do not apply.

SMC 23.47A.024 Amenity Areas

- A. Amenity areas are required in an amount equal to 5% of the total gross floor area in residential use (excludes areas used for mechanical equipment and accessory parking). For the purposes of this subsection, Bioretention facilities qualify as amenity areas.
- B.2. Amenity areas shall not be enclosed
- B.4 Common amenity areas shall have a minimum horizontal dimension of 10', and no common amenity area shall be less than 250 sf in size.

SMC 23.47A.032 Parking Location and Access

- A.1A. Access to parking shall be from the alley if the lot abuts an alley improved to the city standards (23.53.030.C) If alley access is infeasible, the Director may allow street access.

SMC 23.54.015 Required Parking | Cars

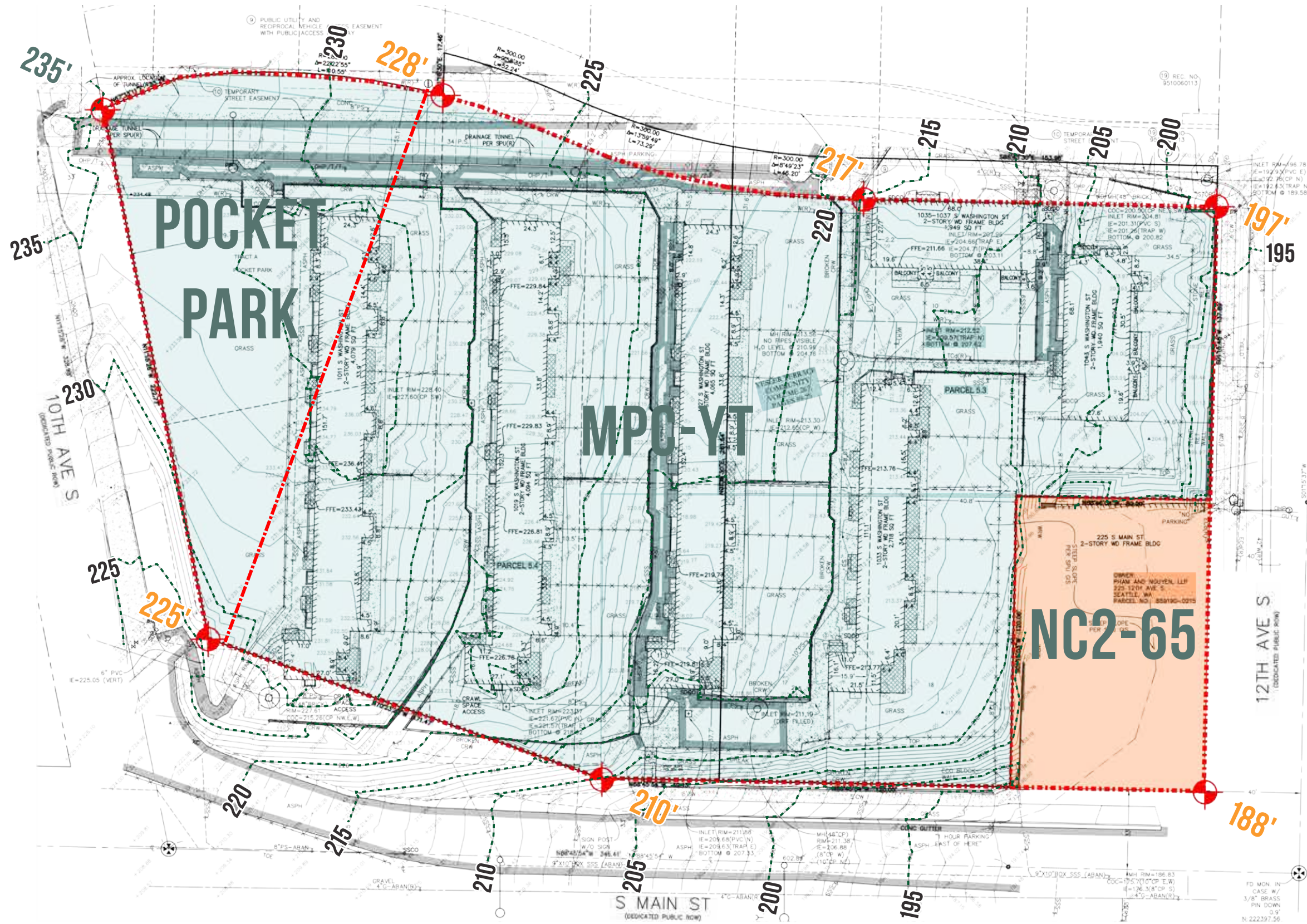
- J. Non-residential uses (retail) in urban center (First Hill Urban Center) = No minimum requirement
- L. All residential uses in urban centers = No minimum requirement

SMC 23.54.015 Required Parking | Bicycles

- A.1 - Eating and drinking establishments: Short-term = 1 per 2,000 sf | Long-term = 1 per 12,000 sf.
- A.6 - Sales and Services general: Short-term = 1 per 2000 sf | Long-term = 1 per 12,000sf.
- D.2 - Multi-family structures: Short-term = None | Long-term = 1 per 4 dwelling units or 0.75 per small efficiency dwelling unit.

SMC 23.54.035 Loading Berth Requirements and Space Standards

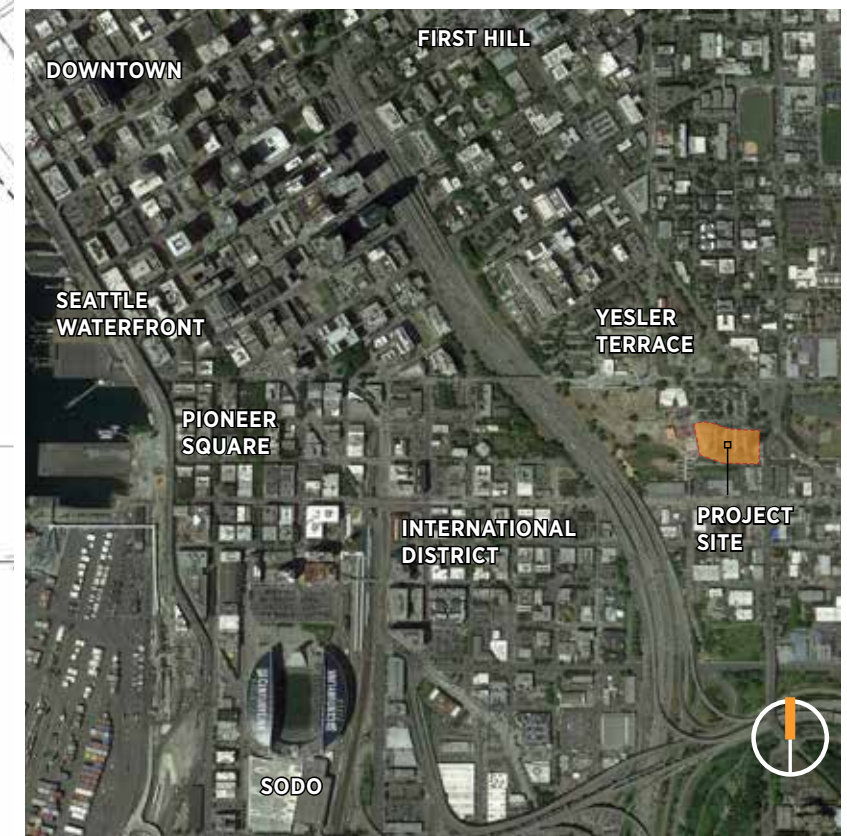
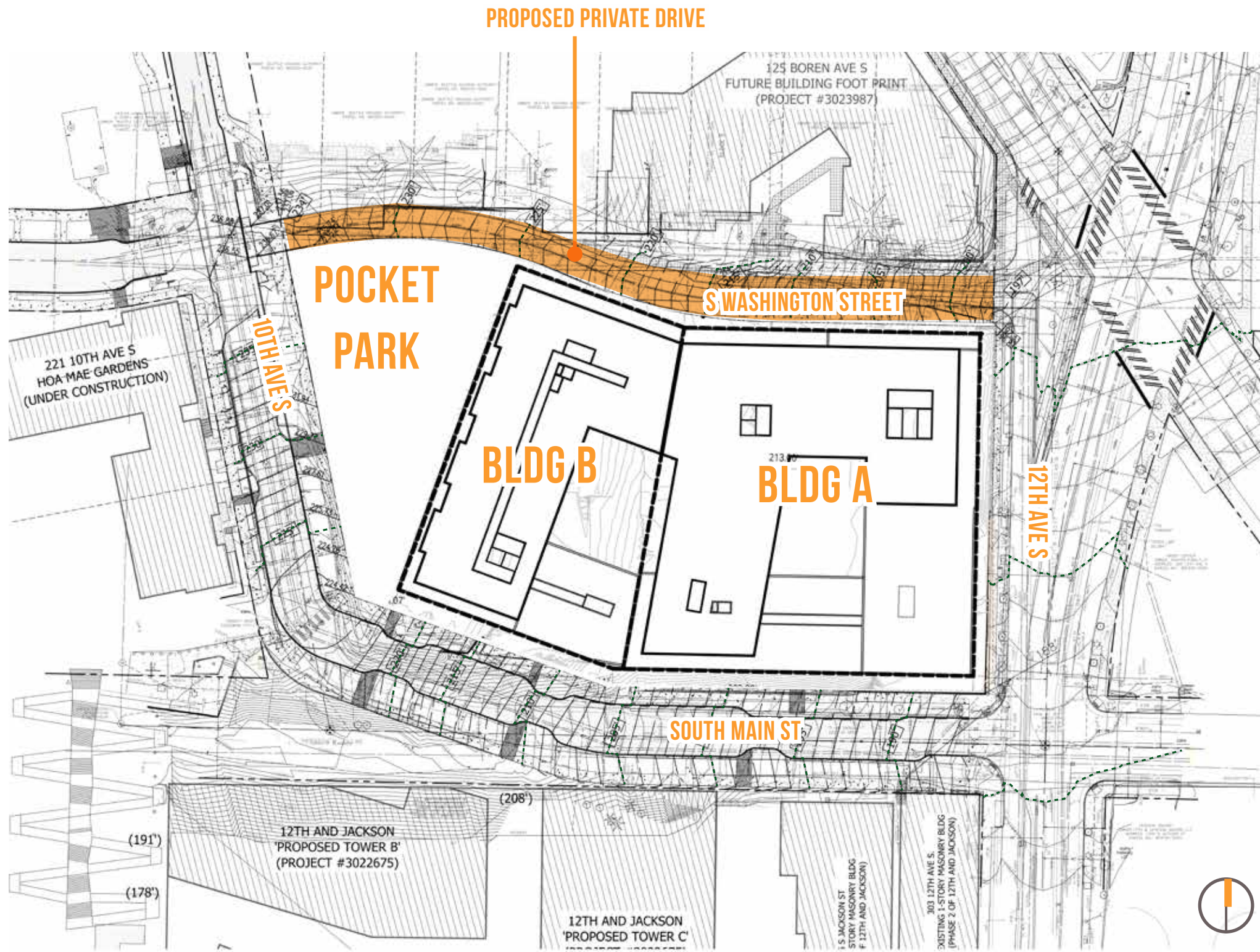
- B.2. Exception to loading requirements; within the MPC-YT zone, loading berth requirements may be waived or modified if the Director finds, after consultation with and approval by the Director of Transportation, that the number of loading berths in Table A for 23.54.035 is not required and that the modified number will be sufficient.
- Table A 23.54.035 - Personal and household retail sales and services, eating and drinking establishments = medium demand = less than 10,000 sf = 0 loading berth required.



DEVELOPMENT DATA - BUILDINGS A + B

The proposed project is -510 apartment units between two phases of development:

- Building A (Phase I) - 318 apartment units, 174 parking stalls, Approximately 6,000sf retail
- Building B (Phase II) - 192 apartment units, 108 parking stalls
- -16,700 sf Pocket Park (to be approved by the Seattle Design Commission)
- Buildings A and B are completely independent. Construction, parking levels, residential levels, amenities, mechanical, and utilities will not be shared between the two buildings.



BICYCLE CIRCULATION DIAGRAM



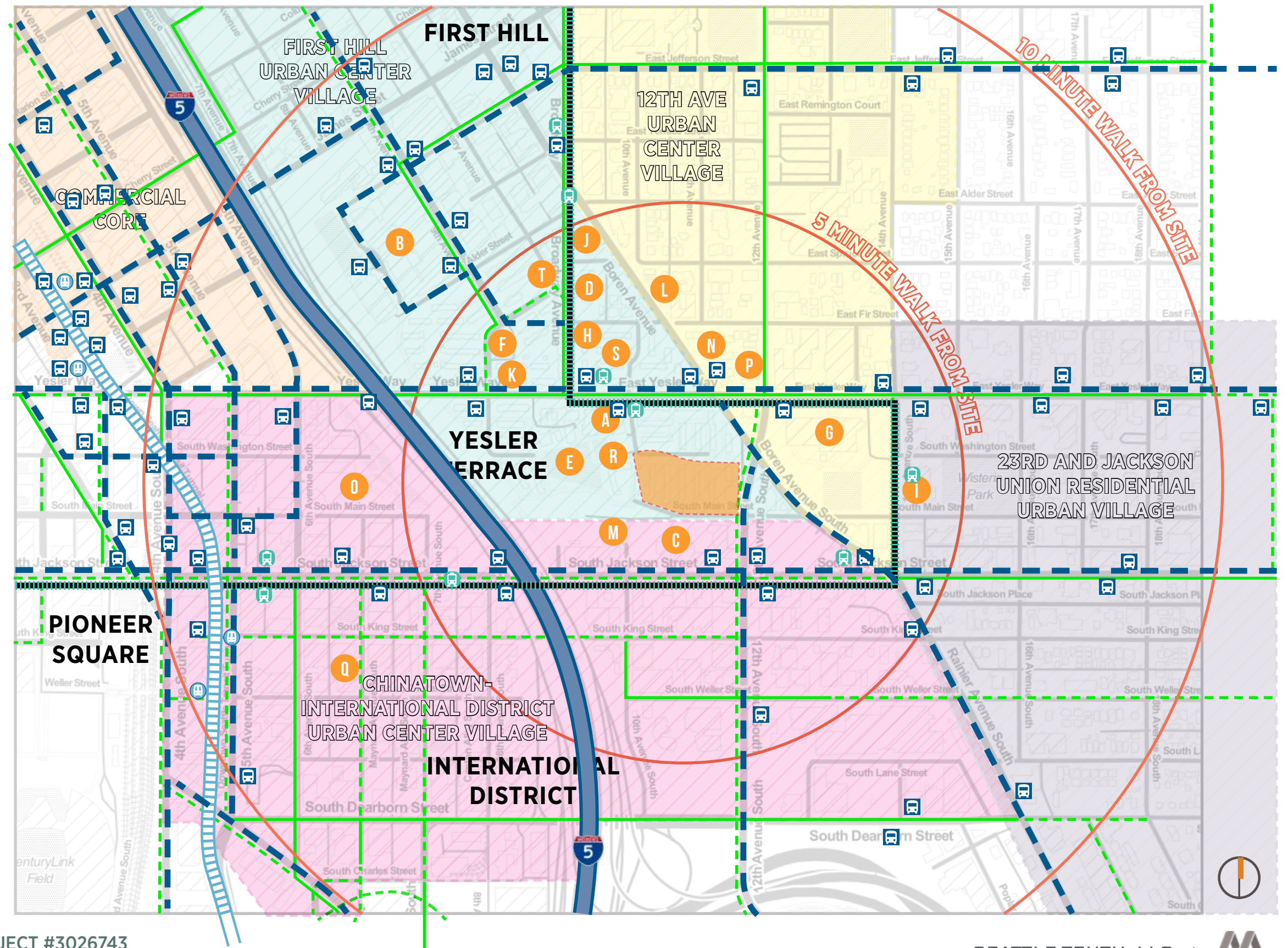
(Yesler Terrace Master Planned Community Design Guidelines, 2012.)

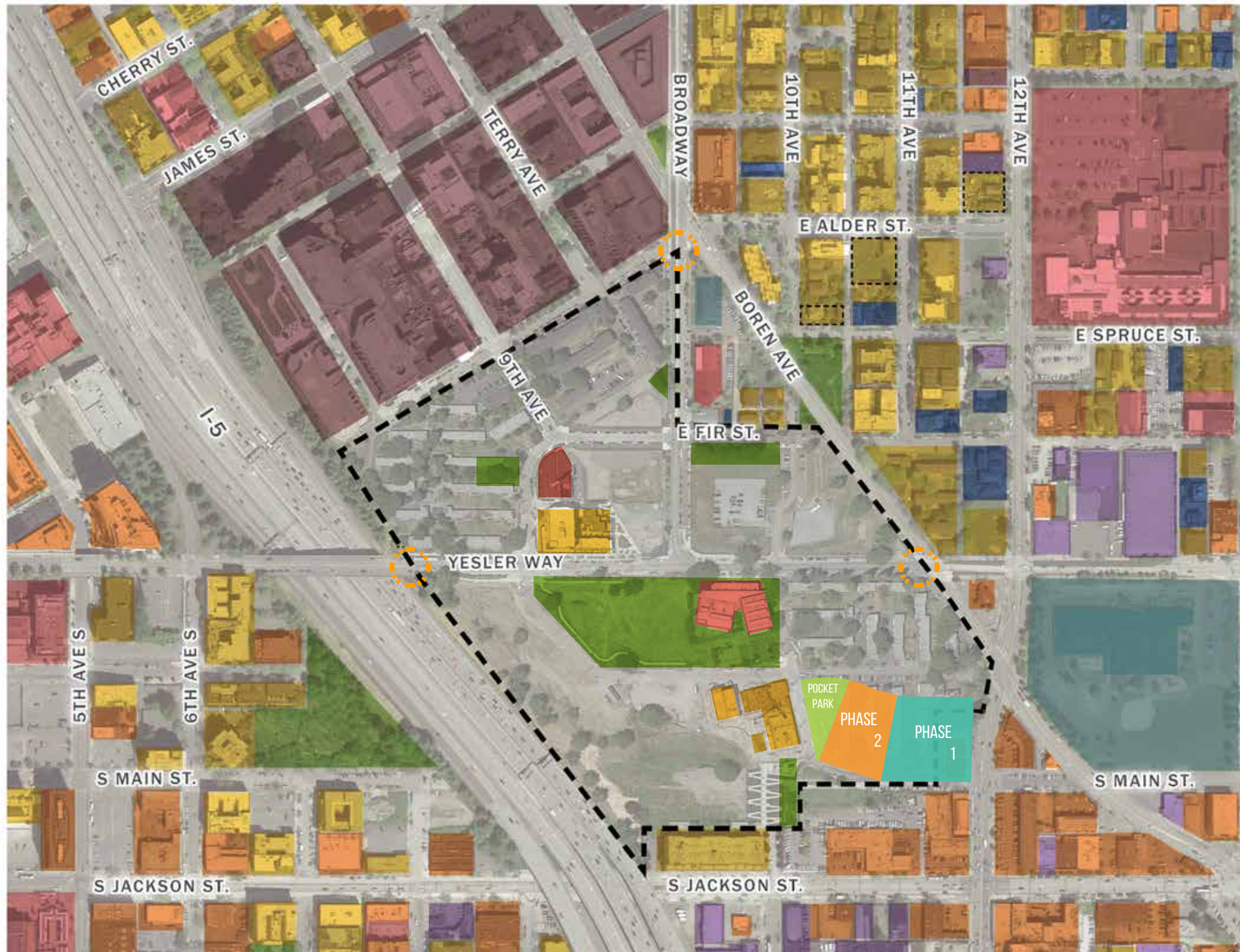
NEIGHBORHOOD GATEWAYS



(Yesler Terrace Master Planned Community Design Guidelines, 2012.)

- TRAILS
- BICYCLE-FRIENDLY ROADS
- BUS STOP
- BUS ROUTES
- STREETCAR STOP
- STREETCAR LINE
- LIGHT RAIL STOP
- LIGHT RAIL LINE
- INTERSTATE





- Recreation / Open Space
- Multifamily / Mixed-Use Residential
- Commercial / Retail / Office
- Civic / Religious
- Medical
- Industrial / Warehouse / Storage
- Institution / Education
- Single Family Residential
- Yesler Terrace Master Planned Community
- Yesler Neighborhood Gateways

SOLAR ANALYSIS

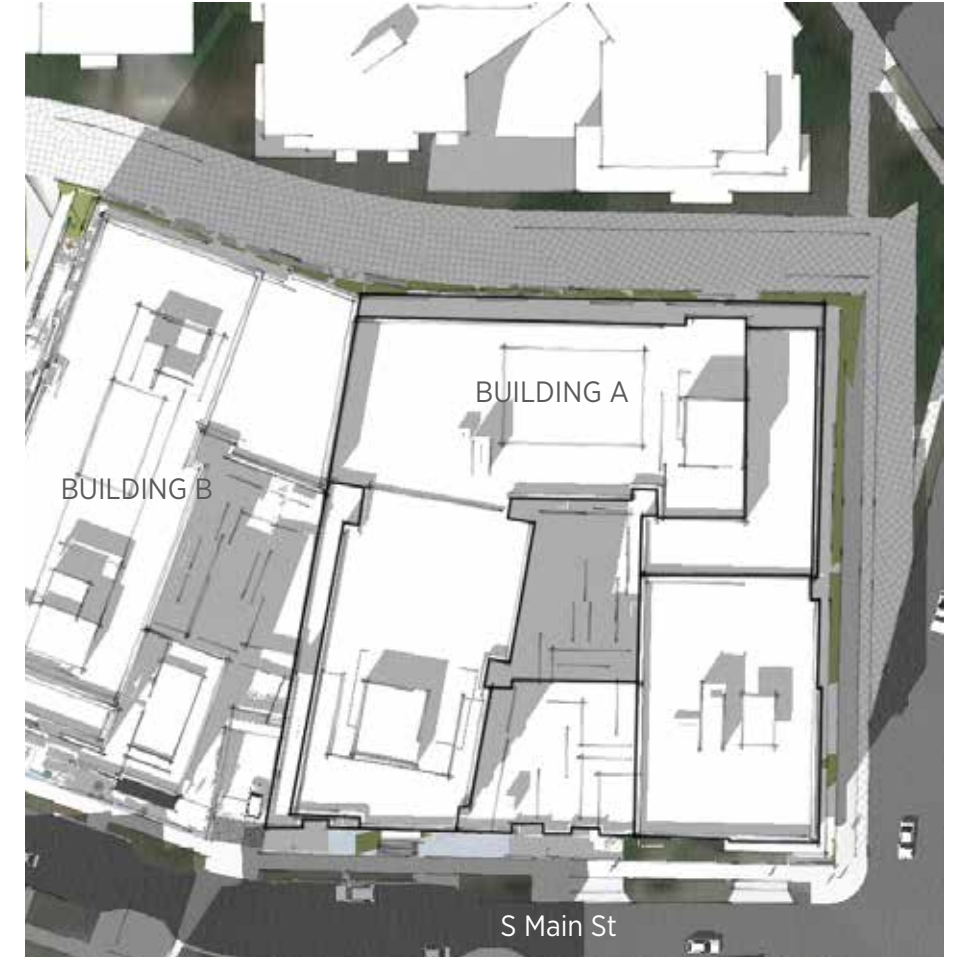
The revised massing maximizes daylight into the courtyard most of the time in a year, especially in summer.



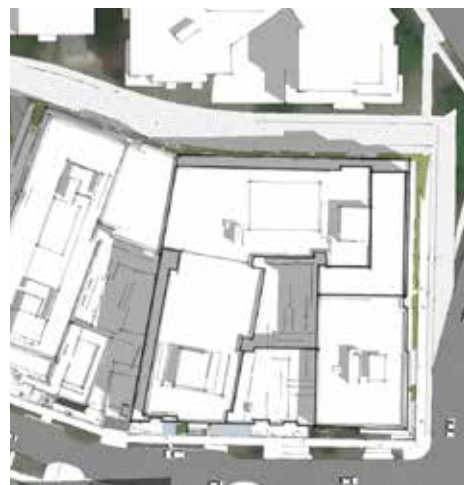
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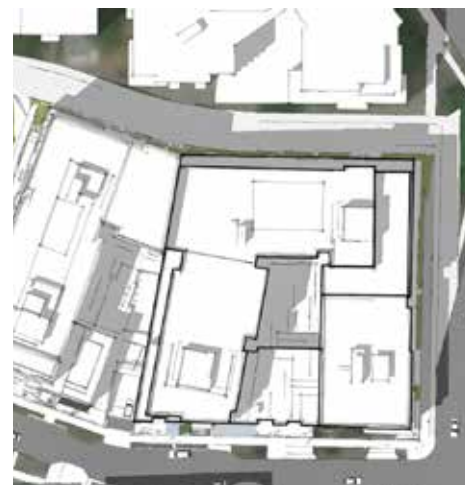
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JUNE 21 - 10AM



JUNE 21 - 12N



JUNE 21 - 2PM



DEC 21 - 10AM

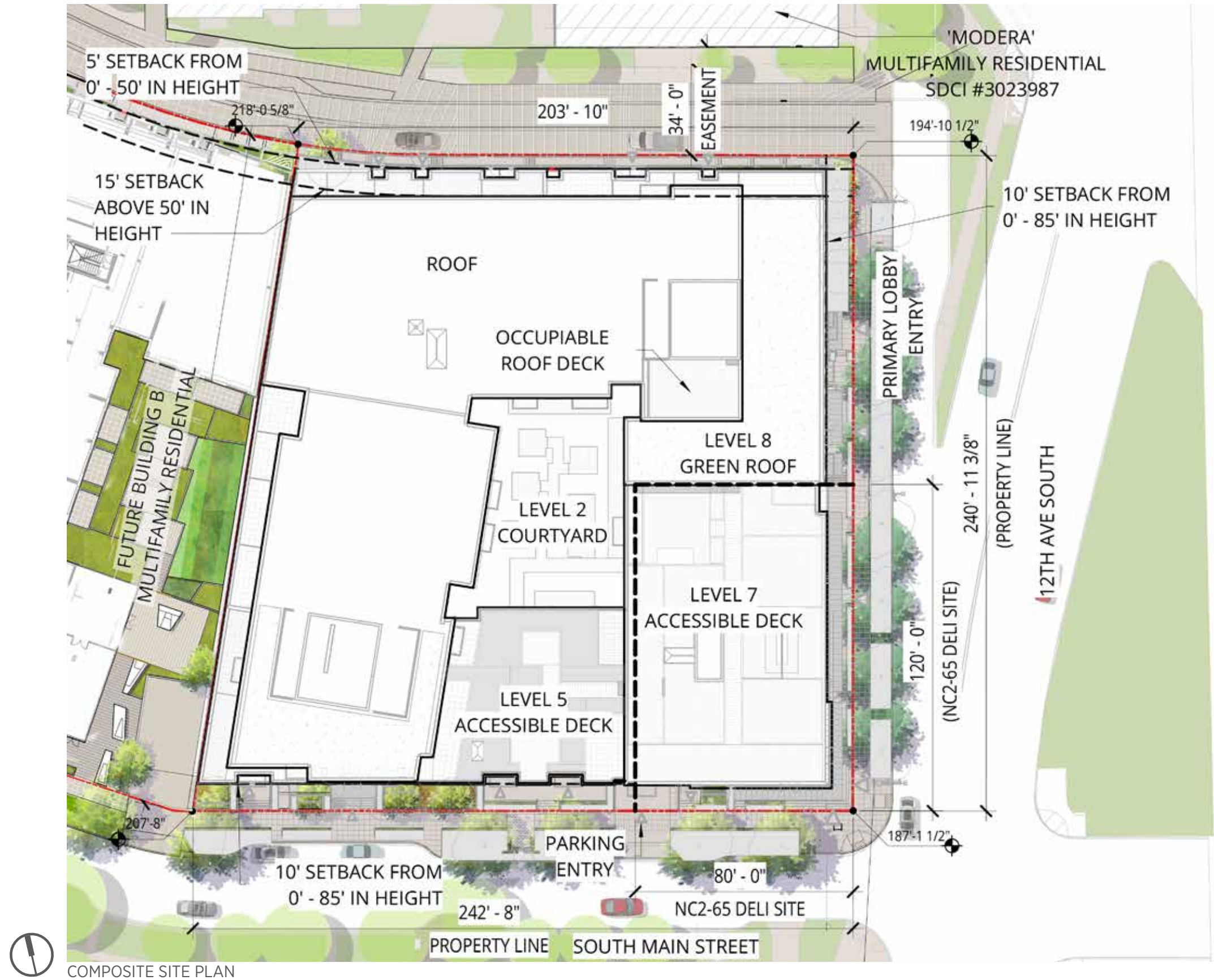


DEC 21 - 12N



DEC 21 - 2PM





COMPOSITE SITE PLAN

