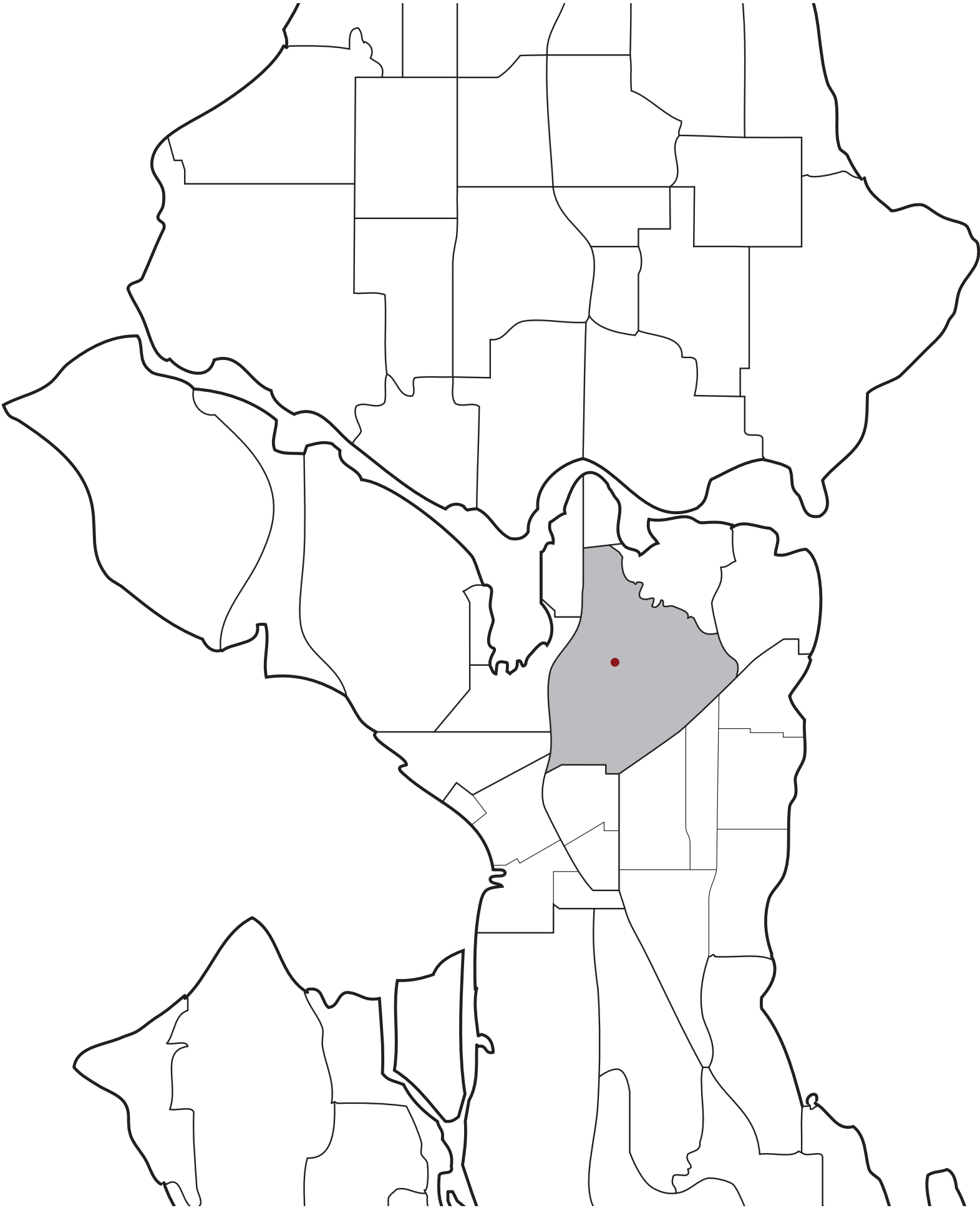


# #3026514

506-520 12TH AVE EAST **EARLY DESIGN GUIDANCE**







ADDRESS

506-520 12TH AVE EAST  
SDCI# 3026514

PROJECT TEAM

OWNER  
ARCHITECT  
LANDSCAPE

Isola Homes  
S+H Works, LLC  
Root of Design  
Terrane

PROJECT INFO

ZONING  
OVERLAYS

LR3  
Capitol Hill Urban Center Village,  
Frequent Transit

LOT SIZE  
FAR  
ALLOWABLE FAR  
PROPOSED FAR  
PROPOSED UNITS  
PARKING STALLS  
BICYCLE PARKING

15,112 sf  
1.4  
21,157 sf  
21,150 sf  
19  
19  
5

PROJECT DESCRIPTION

The proposed development consists of 19 townhouses with 19 parking stalls contained within the structures. The project will be

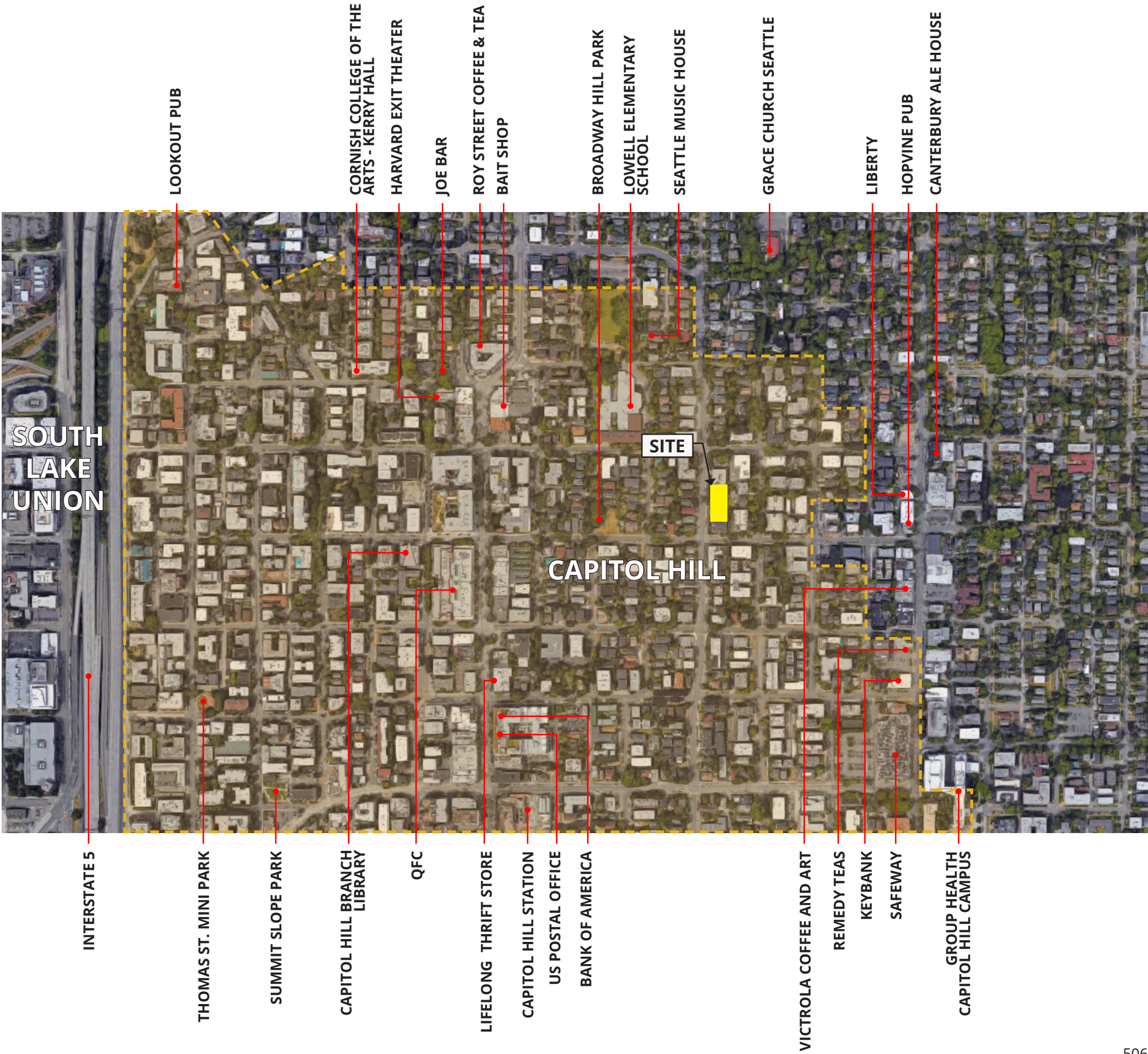
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VICINITY ANALYSIS



Capitol Hill is a vibrant neighborhood in Seattle. It offers the community an outstanding variety of restaurants, shopping, living, and working hubs that make it an attractive destination for residents of all demographics.

The proposed project is located in the central portion of the Capitol Hill Urban Center Village. The site is situated between the Broadway and 15th Ave commercial strips and just north of the Pike/Pine corridor. This site is well served by the new Capitol Hill Transit Center, buses to Downtown Seattle, and Interstate 5.



ZONING

The project is zoned LR3, and all adjacent zoning for several blocks is zoned LR3. The site is within the Capitol Hill Urban Center Village and a little over a block from the Station Area Overlay District. Prominent commercial zones are located at Broadway to the west and 15th Ave to the East.

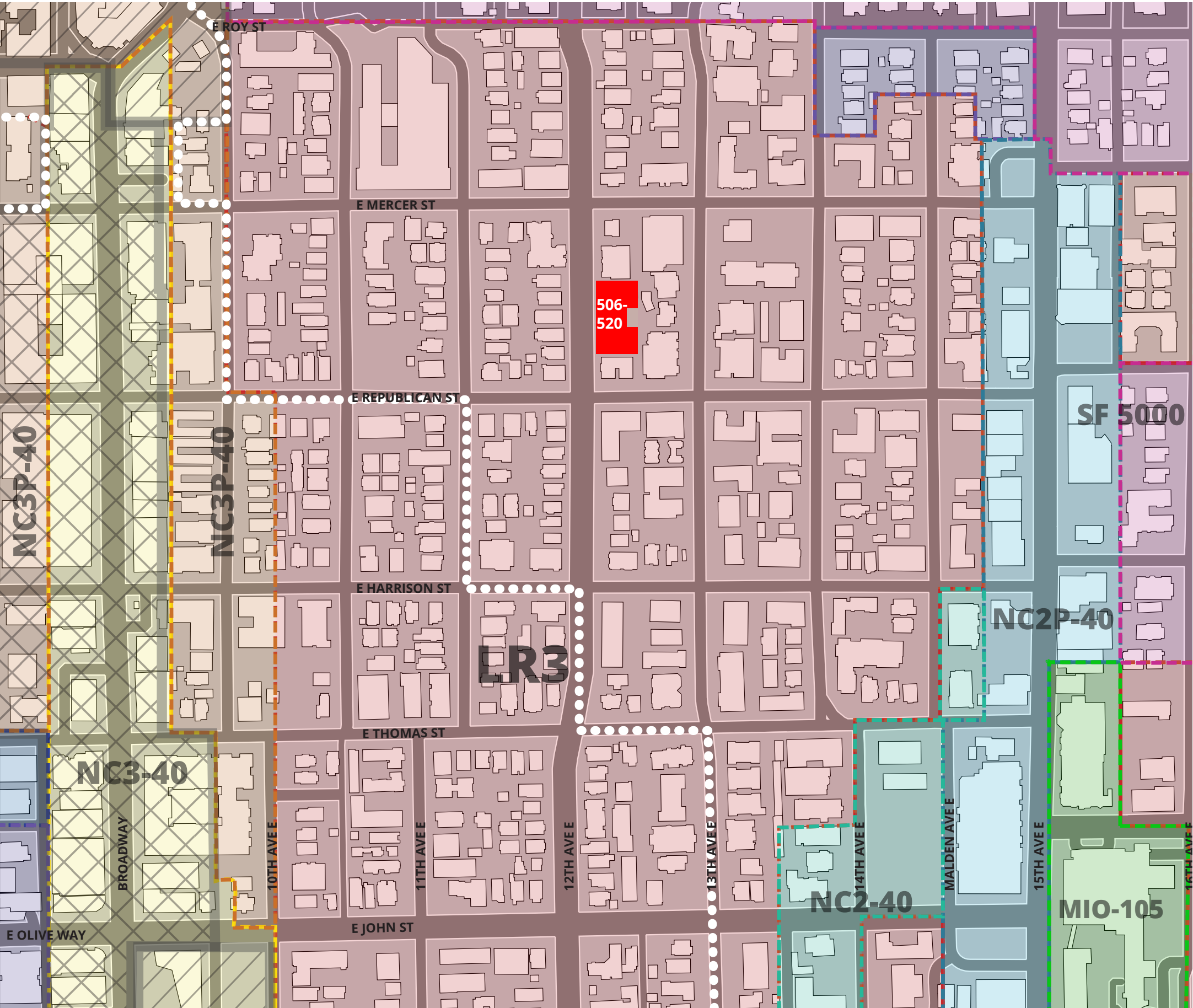
LR3 Zoning: “The LR3 zone provides for a variety of multifamily housing types in existing multifamily neighborhoods of moderate scale. A mix of small to moderate scale multifamily housing is encouraged including apartments, townhouses and rowhouses.” -SDCI Handout

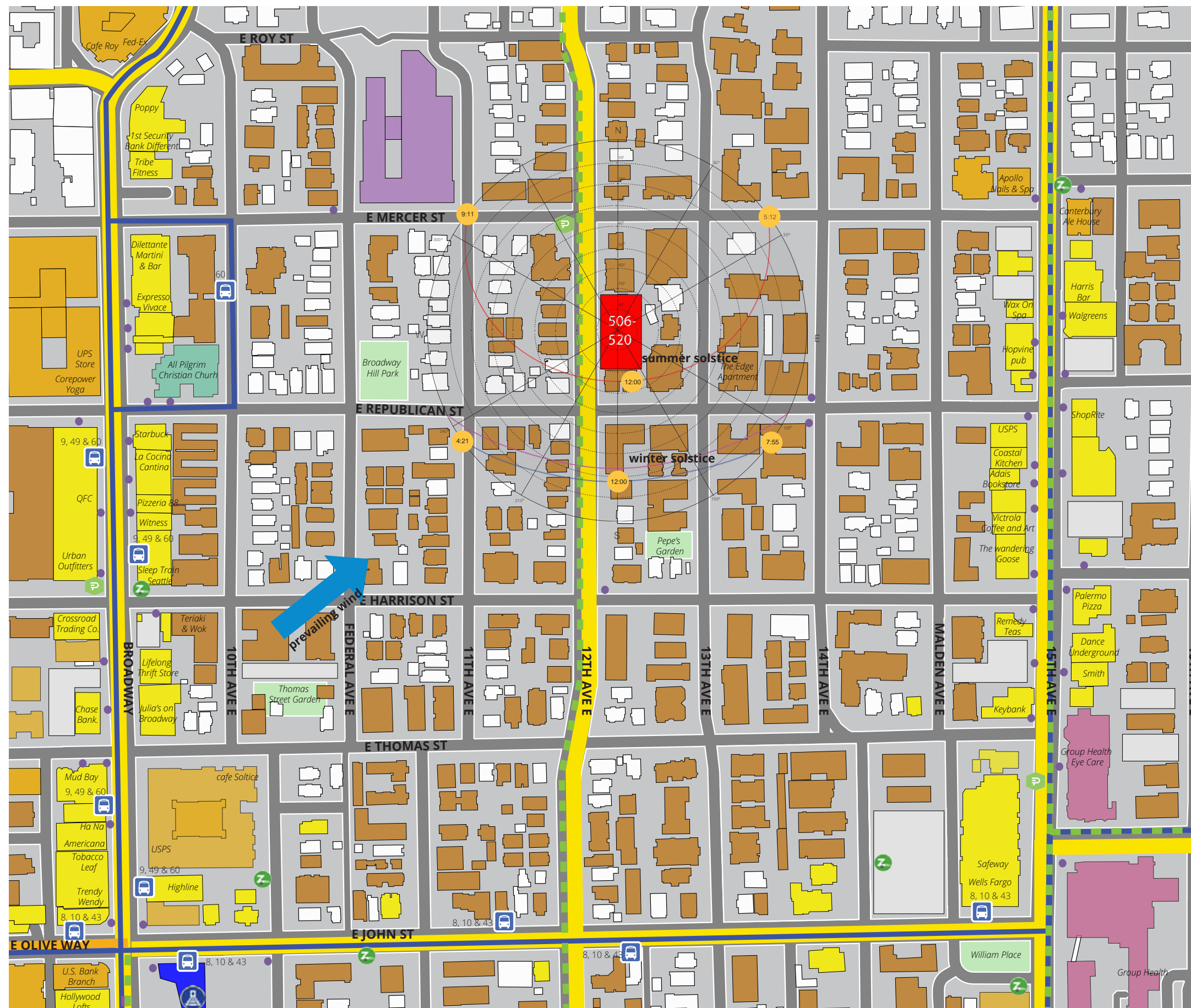
OVERLAYS

- CAPITOL HILL STATION AREA OVERLAY DISTRICT
- ADDITIONAL 25’ HEIGHT PERMITTED SMC 23.47.012.A2
- TRANSIT STATION 85’ HEIGHT LIMIT

ZONING

- MR1
- NC2-40
- NC3-40
- NC3-65
- LR1
- LR3
- MIO-105-NC2-40
- SF 5000





## ADJACENCIES / CIRCULATION

The site is located on 12th Ave E, which is a moderately busy arterial connecting to other arterials. The Capitol Hill Light Rail Station is within five blocks and major bus lines run close by, providing easy access to surrounding neighborhoods.

Adjacent buildings are largely multi-family with a few single-family homes scattered in. The nearest commercial areas are Broadway to the west and 15th Ave to the east.

### TPOLOGY

- PERMITTING / PERMITTED / UNDER CONSTRUCTION
- COMMERCIAL
- MIXED-USE
- MULTI-FAMILY
- INSTITUTIONAL
- OFFICE
- SINGLE FAMILY
- PUBLIC FACILITY
- PARKING

### CIRCULATION

- Walk Score

**93**

Transit Score

**77**

Bike Score

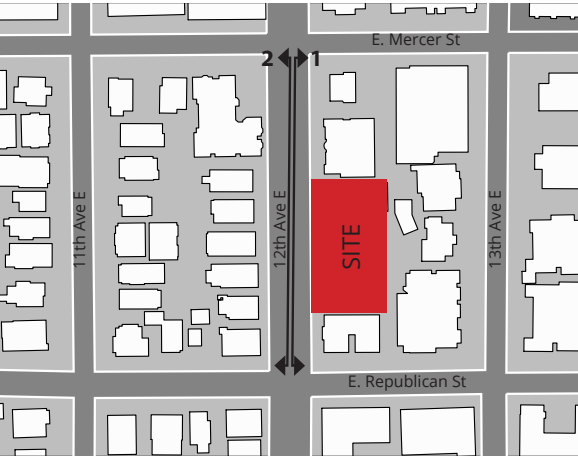
**65**
- MAJOR ARTERIAL
  - MINOR ARTERIAL
  - SHARED BICYCLE LANE
  - TRANSIT ROUTE
  - DESIGNATED BUS STOP
  - ZIPCAR LOCATIONS
  - PRONTO CYCLE SHARE LOCATIONS
  - CITY OWNED BIKE RACKS



1 12TH AVENUE EAST LOOKING EAST



2 12TH AVENUE EAST LOOKING WEST



12TH AVENUE EAST

- 12th Avenue East between East Republican St and East Mercer St consists of a mix of multi-family and single-family buildings.
- The east side of the street is characterized by large rock/landscaped retaining walls, which detracts from the relationship to the street and creates a plinth for the buildings.
- Where windows are visible, they often reflect the interior residential use and hierarchy.
- Roof forms vary - but a strong street wall is reinforced by the consistent height and spacing of the structures.



5 EAST MERCER STREET LOOKING SOUTH



13TH AVE E      7 STORIES  
MULTI-FAMILY      MULTI-FAMILY      12TH AVE E

6 EAST MERCER STREET LOOKING NORTH



12TH AVE E      MULTI-FAMILY      4 STORIES  
MULTI-FAMILY      13TH AVE E

7 EAST REPUBLICAN STREET LOOKING SOUTH



13TH AVE E      4 STORIES  
MULTI-FAMILY      3 STORIES  
MULTI-FAMILY      12TH AVE E

8 EAST REPUBLICAN STREET LOOKING NORTH



12TH AVE E      4 STORIES+ ROOF  
MULTI-FAMILY      5 STORIES  
MULTI-FAMILY      13TH AVE E

**\*NOTE:** ADJACENT CROSS STREETS PROVIDED FOR BETTER ILLUSTRATION OF TOPOGRAPHY ON SITE.



INTENTIONALLY BLANK



# ARCHITECTURAL CONTEXT

The immediate vicinity features single and multifamily residential development of a variety of scales. The buildings reflect how the area has developed over time, resulting in a lack of predominant architectural character. The neighborhood’s response to the topography and parking solutions have also impacted the character of the context.

## SINGLE FAMILY HOUSES

Classic bungalow style; some remain single family residences, others have been subdivided into multifamily units.

Cues include:

- Strong rhythm along street.
- Complimentary landscaping
- Human scaled details



419 12th Ave E



620 12th Ave E

## LATE 20TH CENTURY APARTMENTS

Built in the 1980's & 1990's, these projects reflect the emphasis on variety and articulation.

Cues include:

- Horizontal datums
- Small scale modulation
- Cornices



524 12th Ave E



527 12th Ave E

## EARLY 20TH CENTURY APARTMENTS

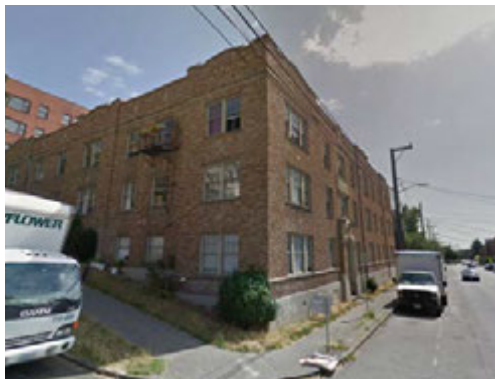
Traditional low-rise walk-ups that are typically situated close to the sidewalk.

Cues include:

- Strong street edge
- Clearly defined entries
- Material detailing



603 12th Ave E



430 12th Ave E

## PARKING

Most sites access their parking from 12th Avenue, directly into private garages or drive-under structures. The frequent curb cuts & auto oriented use detract from the pedestrian experience something to avoid for the project.



611 12th Ave E



624 12th Ave E

## MID 20TH CENTURY APARTMENTS

Typically built as part of the World's Fair boom, these buildings are more eclectic in character.

Cues include:

- Simple massing
- Repetitive window & material palette
- Relationship to grade varies



1111 E Harrison St



1110 E Harrison St

## TOPOGRAPHY

The dramatic change of topography is expressed on the east side of 12th Avenue. Buildings rely on terracing and landscaping to soften the transition down to the sidewalk. The transition solutions separate the structures from the sidewalk - a precedent to avoid.



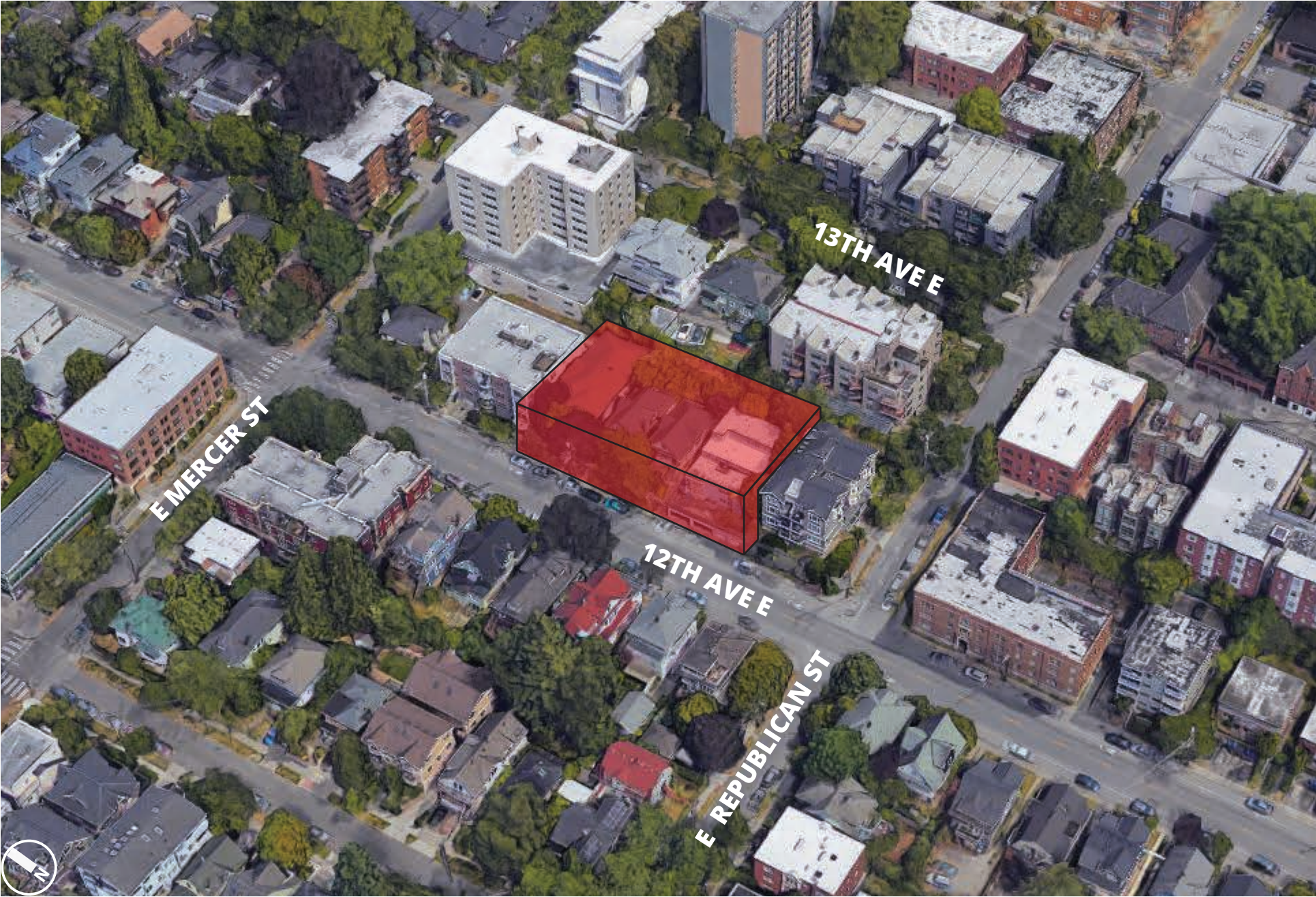
310 12th Ave E (south end)



628 12th Ave E



SITE CONTEXT



AERIAL VIEW



RECENT/PROPOSED DEVELOPMENTS



RECENT/ PROPOSED DEVELOPMENTS



1  
416 12th Ave E



2  
505 11th Ave E ( NK Architects; Permitting) SDCI #3012300



3  
1010 E Republican St (S+H Works; Under Construction) SDCI #3018148



4  
410 10th Ave E (Cone Architecture LLC; Permitting) SDCI #3025122



5  
422 11th Ave E



6  
1305 E. Mercer St



SURVEY

EXISTING CONDITIONS

The site is a combination of four parcels located on the east side of 12th Ave E. Four buildings will be demolished as well as a garage, stairs, and retaining walls. The site has steep slope ECA's in the front and the rear of the site that were created by previous grading. Soil quality on site will require extensive excavation. High voltage lines run along 12th Ave E directly in front of the parcels.

The existing sidewalk will remain. Because of existing retaining walls to the south, SDOT has determined that it is infeasible to realign the sidewalk. Because of the sidewalk condition, the planting strip abuts the property and a 3' dedication is required. Street trees will be planted as if it was a standard planting strip but with more location

LEGAL DESCRIPTION

(PER WARRANTY FULFILLMENT DEED NO. 8604300384) LOT 8, BLOCK 15, SUPPLEMENTAL PLAT OF FRANK PONTIUS ADDITION TO THE CITY OF SEATTLE, AS PER PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 40, RECORDS OF KING COUNTY, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

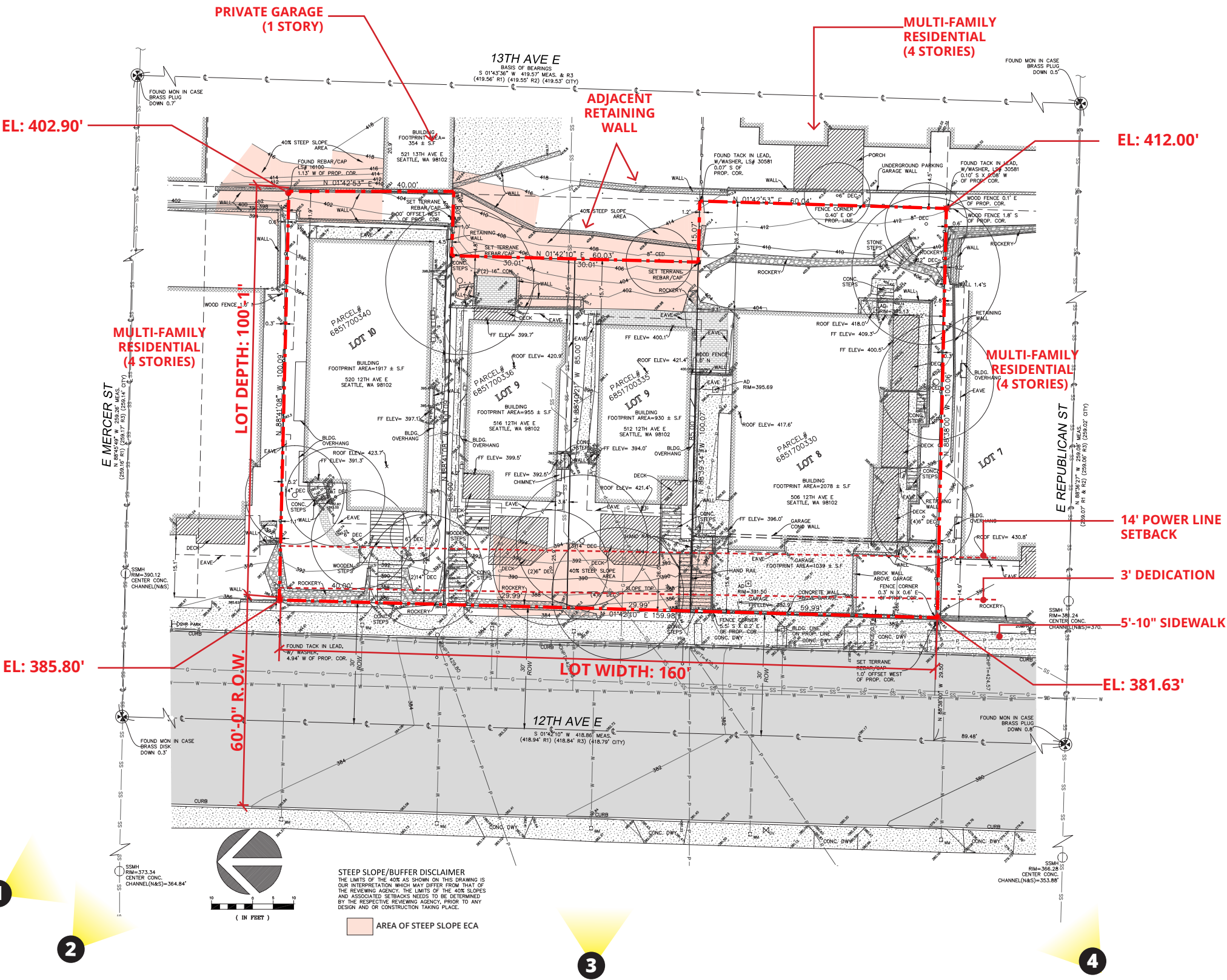
(PER STATUTORY WARRANTY DEED AFN.907200553) THE SOUTH HALF OF THE WEST 85 FEET OF LOT NINE(9), BLOCK FIFTEEN (15), SUPPLEMENTAL PLAT OF FRANK PONTIUS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 40, IN KING COUNTY, WASHINGTON.

(PER STATUTORY WARRANTY DEED AFN. 7909280031) THE NORTH HALF OF THE WEST 85 FEET OF LOT 9, BLOCK 15, SUPPLEMENTAL PLAT OF FRANK PONTIUS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 40, IN KING COUNTY, WASHINGTON.

(PER STATUTORY WARRANTY AFN 7801180945) THE SOUTH 40 FEET OF LOT 10, BLOCK 15, SUPPLEMENTAL PLAT OF FRANK PONTIUS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 40, IN KING COUNTY, WASHINGTON.

EXCEPTIONAL TREES

- Per arborist Steve Cushing report, no exceptional trees are on site.







Looking at the northwest property corner



Looking at the midpoint of property



Looking at the southwest property corner



1

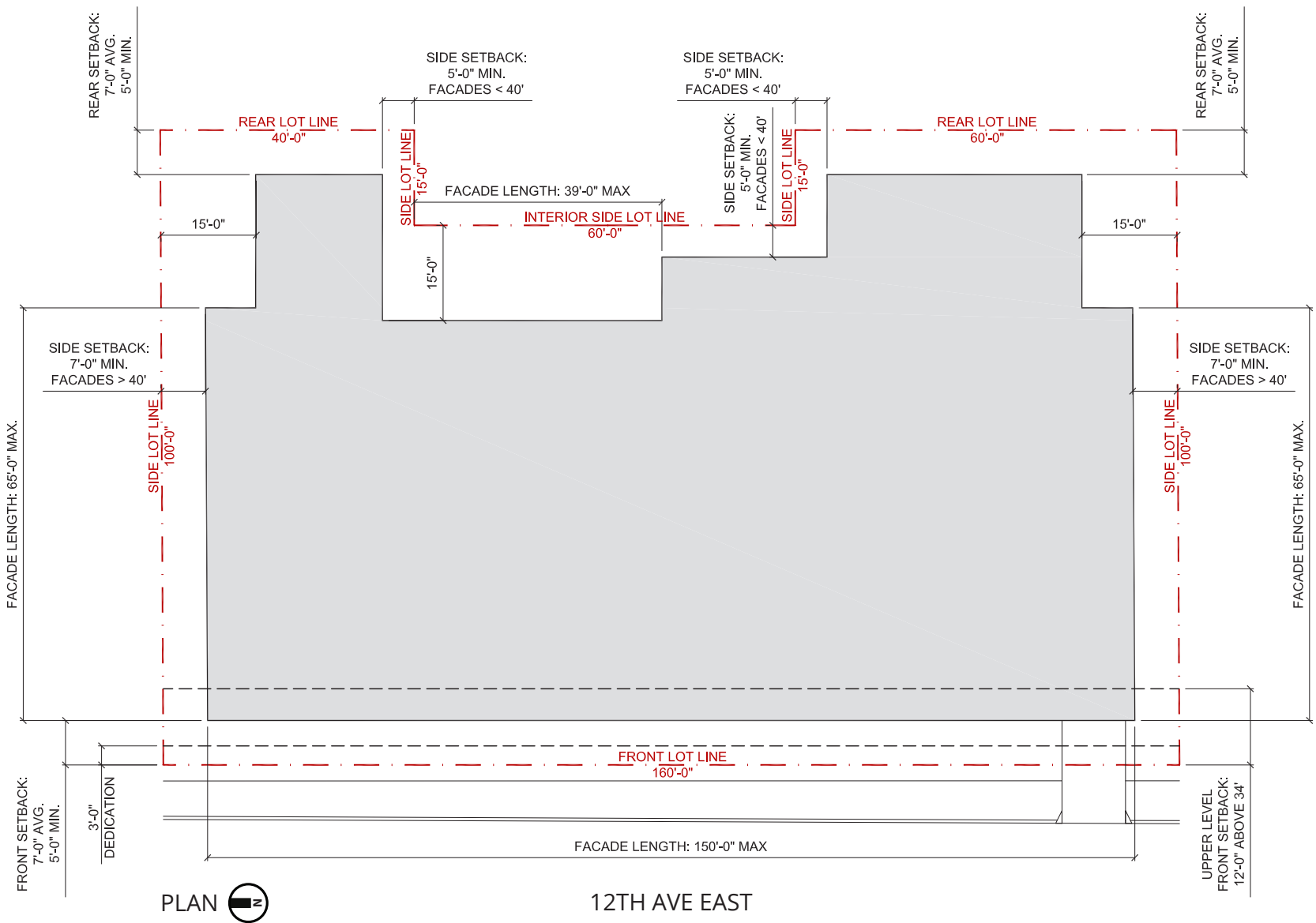


ZONING ANALYSIS

ZONING: OVERLAYS:

LR3  
CAPITOL HILL URBAN CENTER VILLAGE, FREQUENT TRANSIT

SMC	Code	Definition
SMC 23.45.504		<b>PERMITTED USES</b> Residential Use permitted outright.
SMC 23.45.510.B,E SMC 23.58D.004		<b>FLOOR AREA RATIO</b> - 1.2 or 1.4 allowed. * 1.4 FAR allowed with Green Building Standard and parking requirements.
SMC 23.45.512.A		<b>DENSITY LIMITS</b> - 1/1,600 or no limit with Green Building Standard and parking requirements.
SMC 23.45.514.		<b>HEIGHT</b> - Base height limit of 30' above average grade. - Parapets, railings etc. may extend 4' above the allowed height limit. - Any Structure with a green roof that covers at least 50% of the surface of the roof may gain an additional 2' of height above the allowed height limit. - Stair penthouses may extend 10' above the allowed height limit.
SMC 23.45.518. A,F,L		<b>SETBACKS</b> - Front: 7' average; 5' minimum. - Rear: 7' average; 5' minimum. - Side: 5' minimum for facades <40' in length or 7' average, 5' minimum for facades >40' in length. - 10' minimum required separation between principal structures. - Upper level setback: 12'>34' in height from front lot line.
SMC 23.45.522.A. 1,2,3,5		<b>AMENITY AREA</b> - 25% of total lot area shall be provided as amenity area. - 50% of total amenity area shall be provided at the ground level. - Amenity area at ground level may be provided as either private or common space. - Common Amenity: minimum 250 sf, 10' min. dimension, accessible to all units.
SMC 23.45.524.		<b>LANDSCAPING</b> - 0.60 Green Factor required. - Street trees are required.
SMC 23.45.527.A,B		<b>STRUCTURE WIDTH/FACADE LENGTH</b> - Width of principal structures shall not exceed 150'. - Maximum combined length of all portions of facades within 15' of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.
SMC 23.45.534		<b>LIGHTING AND GLARE</b> - Exterior lighting shall be shielded and directed away from adjacent properties.
SMC 23.54.015		<b>REQUIRED PARKING</b> - No vehicular parking required (Urban Center Village + Frequent Transit). - Bicycle Parking: 1 space per 4 units.
SMC 23.54.040		<b>SOLID WASTE &amp; RECYCLING</b> - One 2'x6' solid waste storage area per unit.



CITY WIDE & CAPITOL HILL GUIDELINES

CS1: NATURAL SYSTEMS AND SITE FEATURES

B.1,2 SUNLIGHT AND NATURAL VENTILATION:

The proposed structure(s) are oriented lengthwise north-south in order to allow daylight to penetrate the site. Each unit will have both an east and west exposure to maximize daylight exposure and ventilation.

C.1,2 TOPOGRAPHY:

The project site is sloped up and away from the street. Due to poor soil and a previously excavated section of the site, the site will be leveled and the proposed units will respond to the raised topography at the rear and sides of the site.

CS2: URBAN PATTERN AND FORM

A.2 ARCHITECTURAL PRESENCE:

The area immediately surrounding the project site has a variety of architectural styles & scales. The proposal maintains and reinforces the existing street line, strengthening the developing character of the area.

B.2 CONNECTION TO THE STREET:

The proposed design will engage the street with ‘stoops’ at each street facing unit. These elements will help enhance street activity, create visual interest, and increase right of way surveillance, or ‘eyes on the street’, at all times of the day.

C.2 MID-BLOCK SITES:

The proposed structure will reinforce the emerging street edge along 12th Ave E and create a more urban response in the growing Capitol Hill Urban Center Village area.

CAPITOL HILL GUIDELINE I. STREETScape COMPATIBILITY:

The project will enhance the sidewalk and R.O.W. experience of 12th Ave E, adding additional trees and landscaping to the street. The vehicle entry point will be minimized and softened by landscaping and walkways.\

CAPITOL HILL GUIDELINE III. HEIGHT, BULK, AND SCALE COMPATIBILITY:

The surrounding area is comprised of a mix of building types from a wide array of time periods. Careful attention has been taken to make sure the scale of the buildings is similar to surrounding buildings. The eclectic nature of 12th Ave lends itself to a unique design, but one that maintains and strengthens the residential character of the neighborhood.

CS3: ARCHITECTURAL CONTEXT AND CHARACTER

A.2,4 CONTEMPORARY DESIGN AND EVOLVING NEIGHBORHOODS:

The immediate neighborhood has a variety of architectural styles & scales. Extensive development has occurred in recent years, and this mix of scale and development provide opportunity for a contemporary design.

PL1: CONNECTIVITY

B.3 PEDESTRIAN AMENITIES:

Each street facing unit will have an entry ‘stoop’, which will activate and engage the street for a more urban experience. In addition, a wide pedestrian walkway and amenity area will face the street, further enlivening the streetscape.

C.1 SELECTING ACTIVITY AREAS:

The majority of the common amenity area is located on the east portion of the site and will have ample southern exposure.

PL2: WALKABILITY

A.2 ACCESS CHALLENGES:

A generous access court is provided along 12th Ave E, providing a clear view of access for the units at the east of the site.

B.1,3 EYES ON THE STREET:

Each of the west facing units provides an entry ‘stoop’, with front doors and living areas facing the right of way. This provides increased street engagement and enlivens the street while also maintaining privacy for the residents.

C.3 PEOPLE-FRIENDLY SPACES:

The entry ‘stoops’ will be carefully designed to integrate with overhead weather protection, and architectural elements, landscaping, and quality materials.

CAPITOL HILL GUIDELINE II. PEDESTRIAN OPEN SPACES AND ENTRANCES:

The entry ‘stoops’ will enhance the pedestrian experience along 12th Ave E, and reinforce the street rhythm.

PL3: STREET LEVEL INTERACTION

A.1 DESIGN OBJECTIVES – INDIVIDUAL ENTRIES:

West facing units will be designed to accentuate each individual entry, but will also tie together aesthetically to create a consistent expression.

B.1 SECURITY AND PRIVACY:

The unit entries throughout the project will combine massing modulation, overhead weather protection, and careful material and landscape choices to create an intimate and safe entry point. Steps, signage, and landscaping will create a clear delineation between public and private space.

PL4: ACTIVE TRANSPORTATION

C.3 TRANSIT CONNECTIONS:

The project site is adjacent to multiple transit connections such as the 49, 43, 10, and 8 buses, and light rail. Recent bike infrastructure improvements on Broadway and 12th Ave E, and on-site interior bike storage encourage bike commuting.

DC1: PROJECT USES AND ACTIVITIES

A.1,4 VISIBILITY:

Unit entries are located along the right of way to the greatest extent possible.

B.1 ACCESS LOCATION AND DESIGN:

The driveway entrance is minimized and combined with a landscaped walkway to soften its visual impact.

C.1 BELOW-GRADE PARKING:

The primary vehicular circulation is buried in the slope and is hidden by the surrounding units.

CAPITOL HILL GUIDELINE II. SCREENING OF DUMPSTERS, UTILITIES, AND SERVICE AREAS:

Trash areas are located within individual units and taken to the street for pickup by the homeowners.

DC2: ARCHITECTURAL CONCEPT

A.2 REDUCED PERCEIVED MASS:

Massing modulation and material composition help break down the bulk of the units into smaller pieces. The balance of repetition and façade articulation reduce the visual impact of the project while enhancing the street edge.

B.1 FAÇADE COMPOSITION:

The project will design the units at the east with as much care as the units facing west. The material choices will reflect visibility but will be in character with the design as a whole.

D.1 HUMAN SCALE:

The entry stoops on the west unit will be articulated at a human scale with steps, landscaping, and fine grained architectural features.

DC3: OPEN SPACE CONCEPT

B.2 MATCHING USES TO CONDITIONS:

The amenity areas of the project take advantage of the site’s topography in order to lift the spaces up for more light and air exposure. Private amenity areas will complete a high functioning interior/exterior relationship.

C. 2 AMENITIES AND FEATURES:

A variety of amenity and landscaped spaces will be provided at the street, rear yard, and rooftops.

DC4: EXTERIOR ELEMENTS AND FINISHES

A.1 BUILDING MATERIALS:

The project will be constructed of durable, attractive materials that will be properly detailed, taking into account both large and small scale relationships. Proposed materials include a mix of brick and board-and-batten siding.

C.1,2 LIGHTING:

Lighting along the R.O.W., as well as in driveway and access areas, will provide safety and visibility for residents and pedestrians. Lighting will integrate with landscaping to avoid glare.

D TREES, LANDSCAPING, AND HARDSCAPE MATERIALS:

Landscaping will be responsive to climate, existing context, and maintenance requirements. It will be designed to provide texture, protection, and privacy.

CAPITOL HILL GUIDELINE II. EXTERIOR FINISH MATERIALS:

The finish materials will be compatible with the character and historical precedent of the neighborhood.

SCHEME A: CODE COMPLIANT

3 BUILDINGS  
19 UNITS  
19 PARKING STALLS  
21,157 GFA

- POSITIVE
- Continuous strong street edge.
  - Formal rowhouse typology along street edge.
  - Simplified construction.
  - No departures required.
  - 1:1 parking ratio.

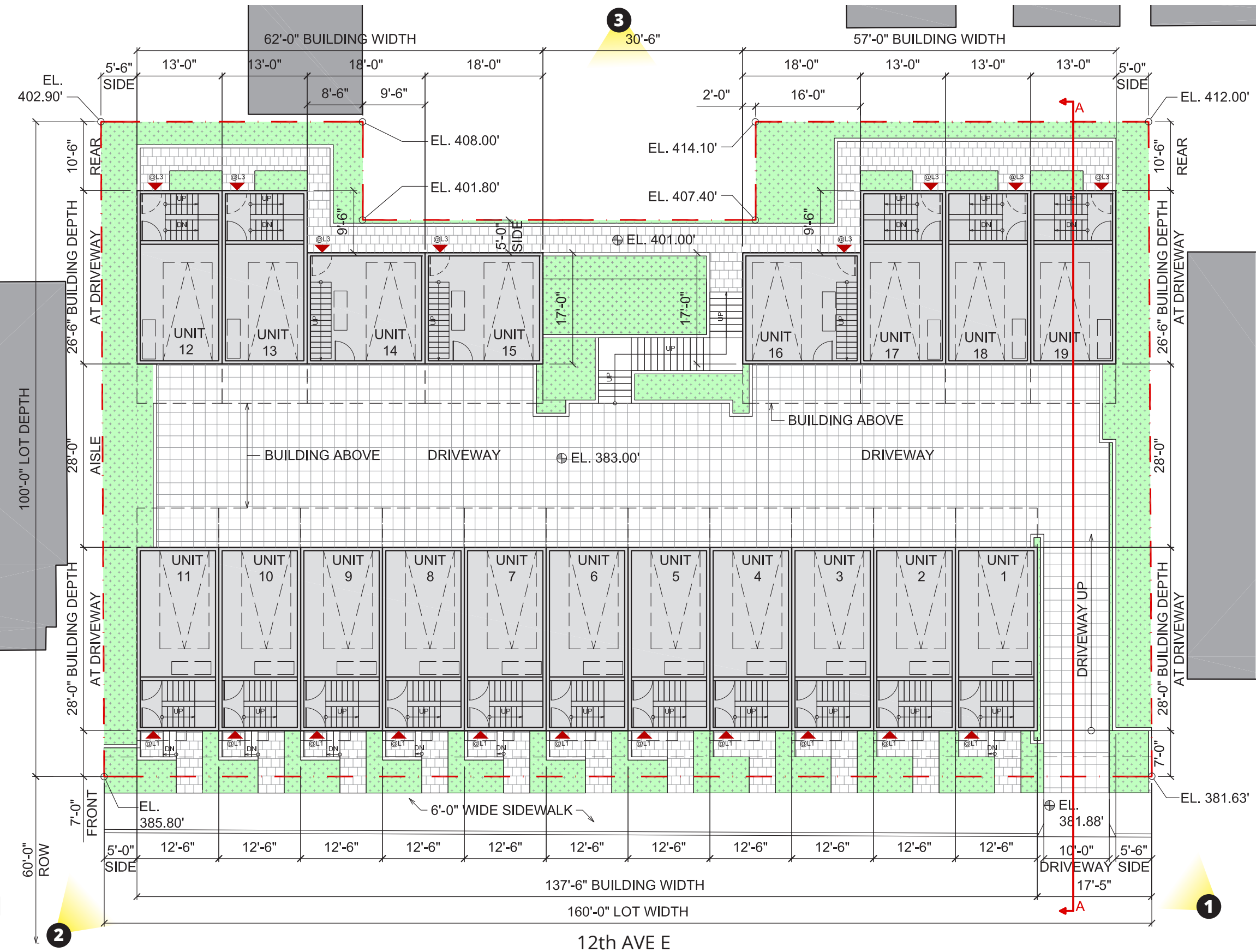
- NEGATIVE
- Continuous massing creates a scale wider than surrounding buildings.
  - Walkway goes through driveway.
  - Longer pedestrian path to rear units.
  - Minimum rear setback.

- RESIDENTIAL
- ROOF DECK
- LANDSCAPING
- PRIMARY UNIT ENTRANCE

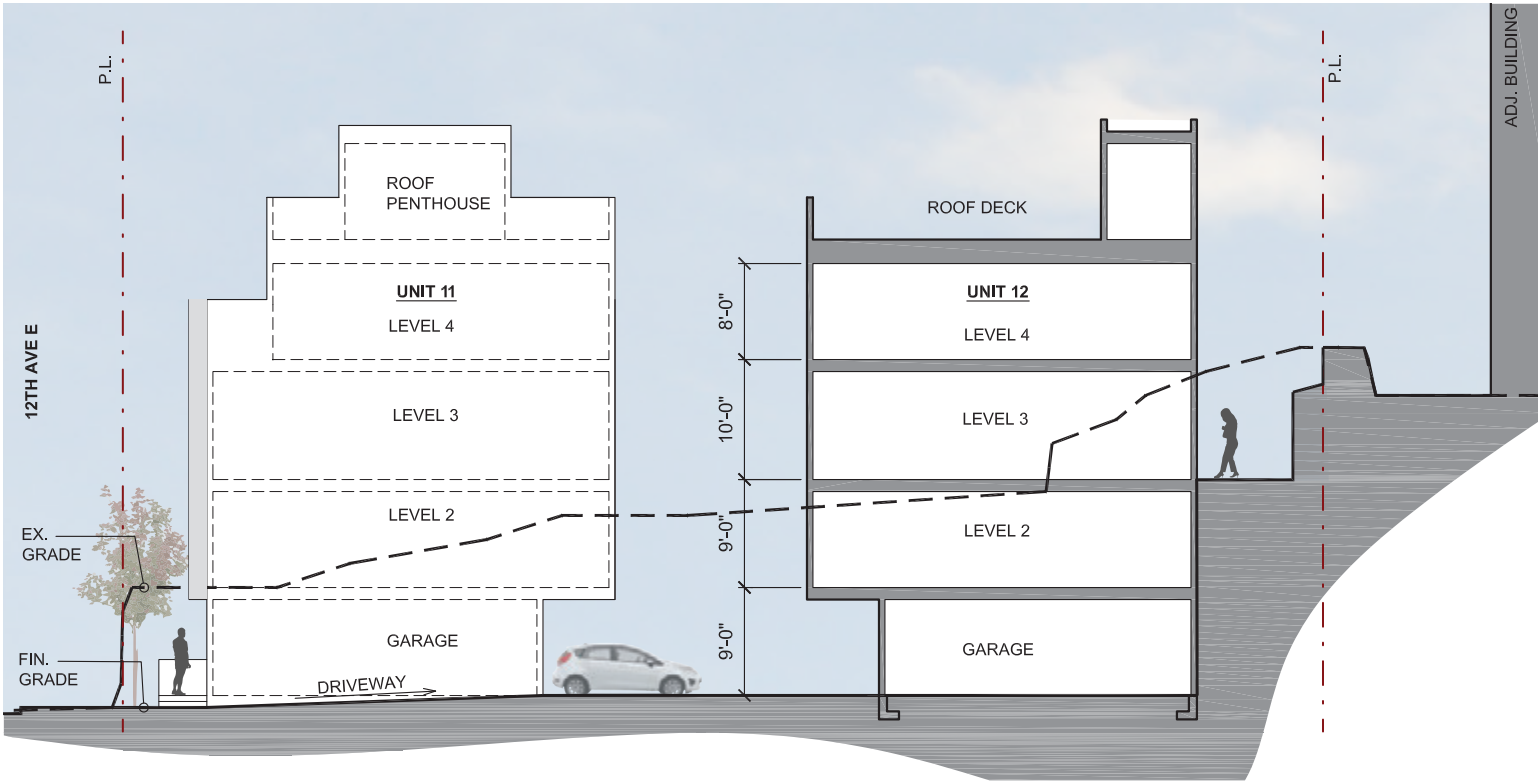
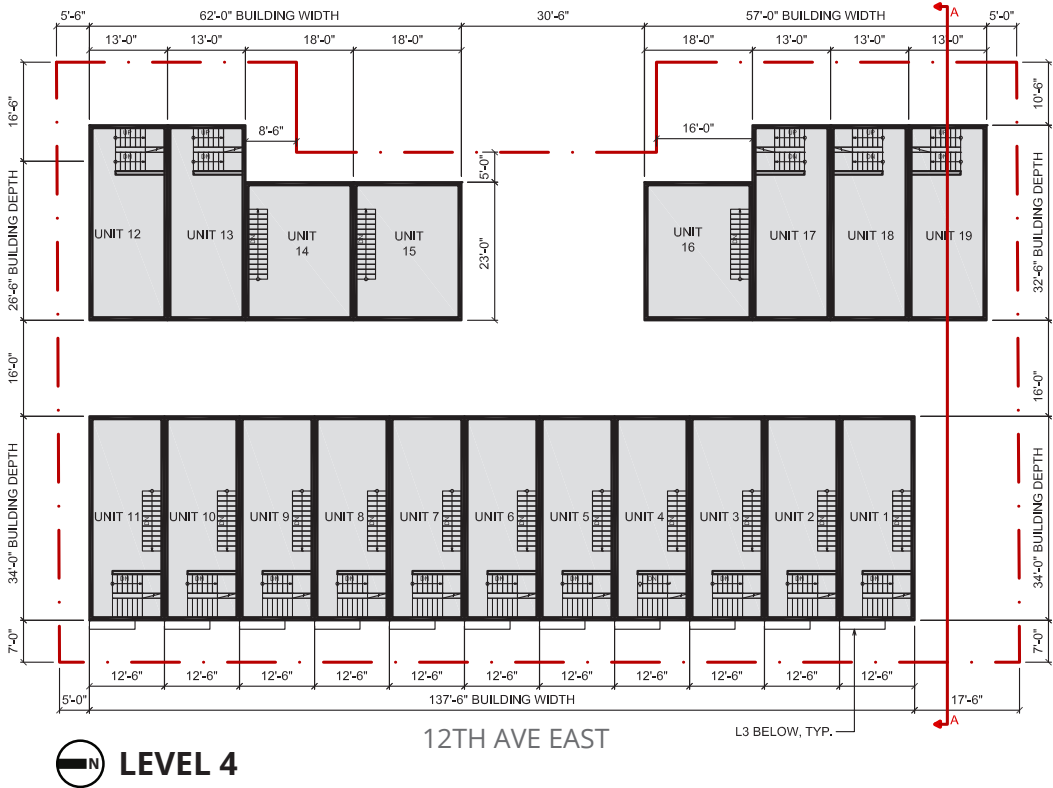


SITE / STREET LEVEL PLAN

SCALE: 1/16" = 1'-0"



**SCHEME A: CODE COMPLIANT**  
SCALE: 1/32" = 1'-0"



**SECTION A**  
SCALE: 1/16" = 1'-0"



SCHEME A: CODE COMPLAINT



1 PERSPECTIVE LOOKING AT SOUTHWEST CORNER



2 PERSPECTIVE LOOKING AT NORTHWEST CORNER



3 AERIAL LOOKING WEST



4 AERIAL LOOKING AT NORTHEAST CORNER

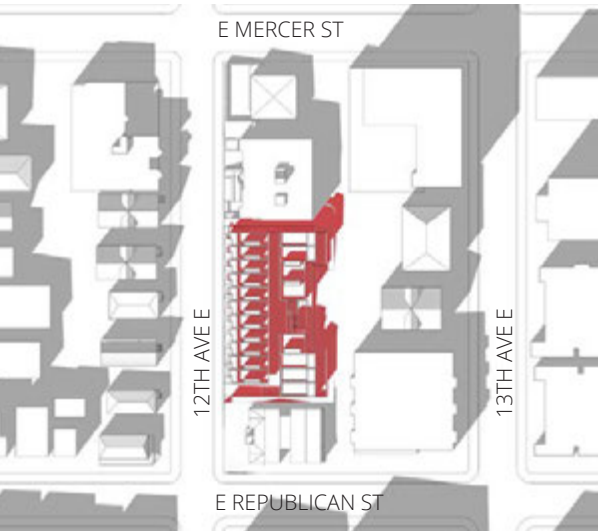
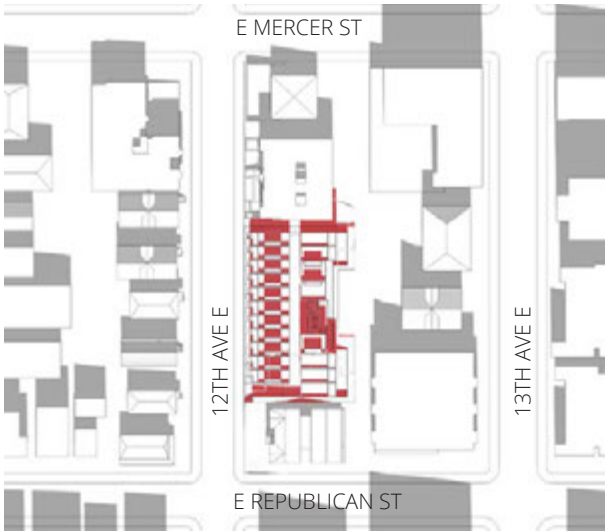
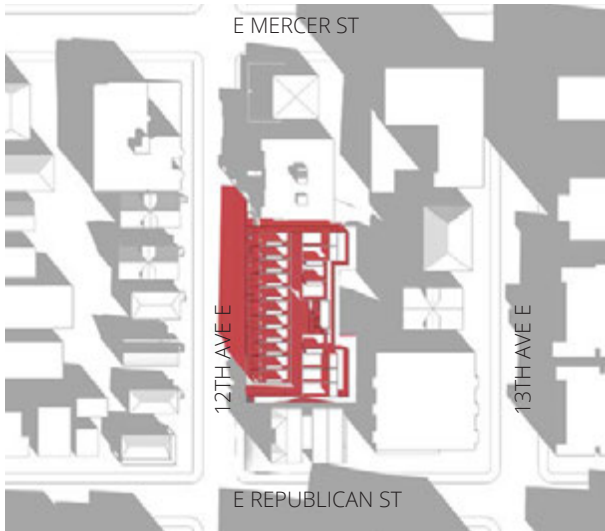


SCHEME A: DEPARTURES

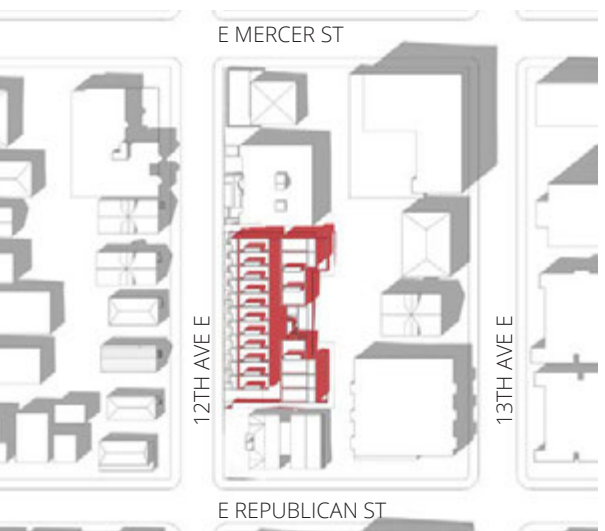
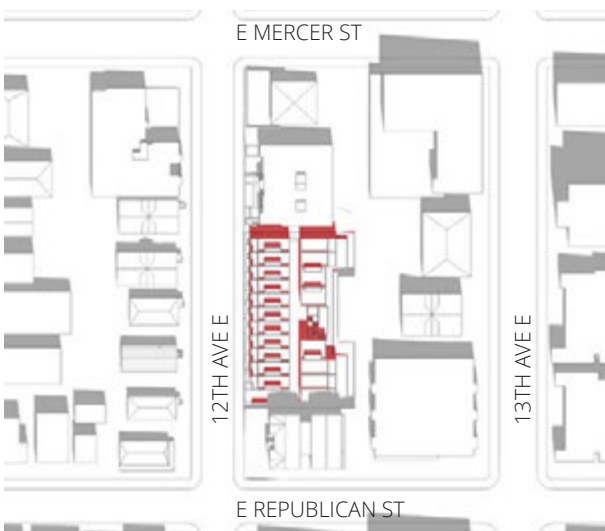
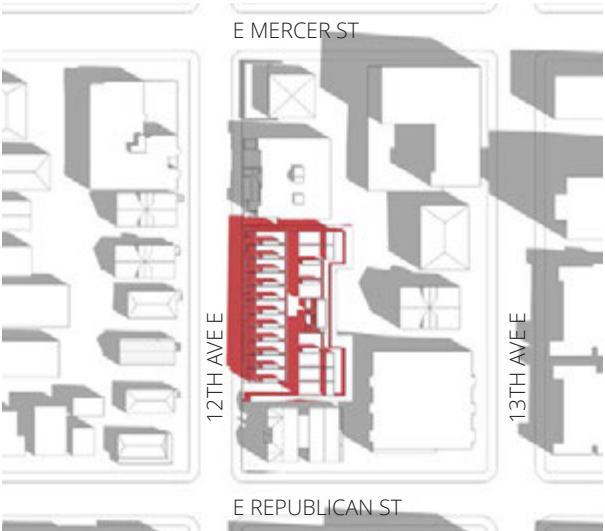
No Departures requested

SCHEME A: SUN PATH/SHADOW STUDY

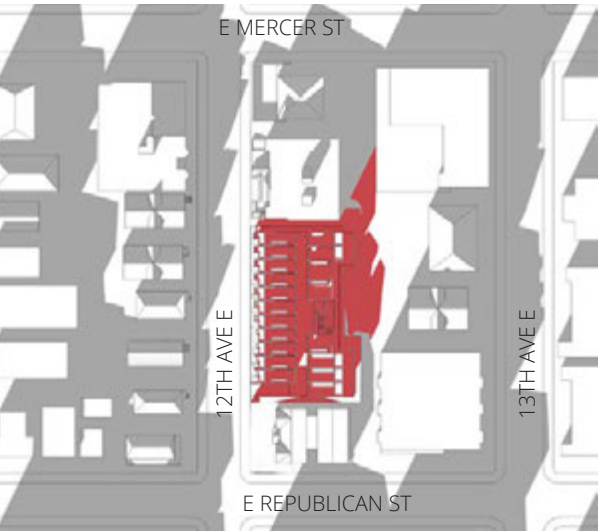
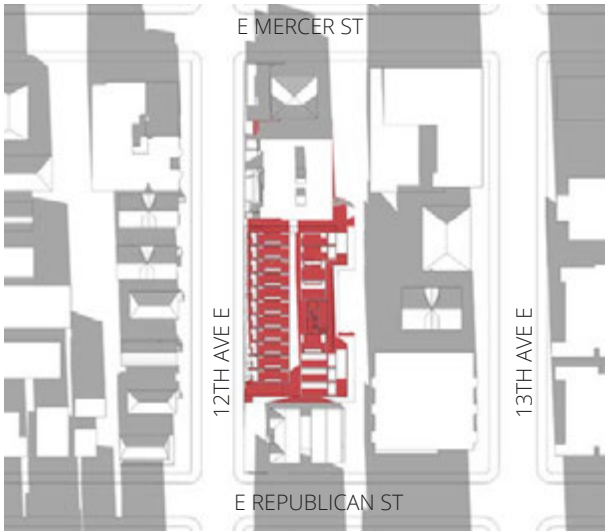
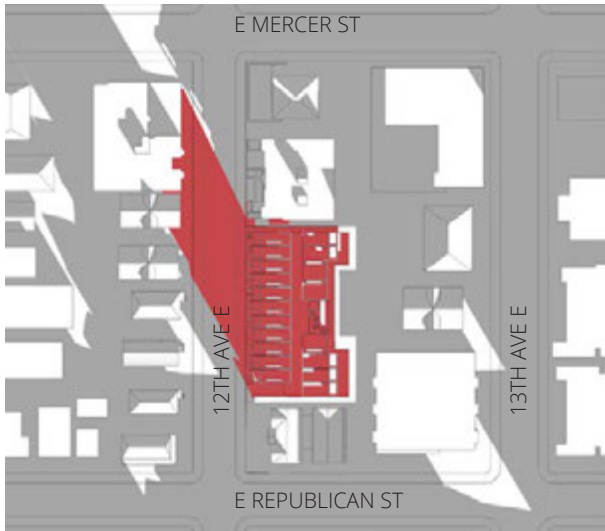
SPRING / FALL EQUINOX



SUMMER SOLSTICE



WINTER SOLSTICE



SCHEME B

4 BUILDINGS  
19 UNITS  
18 PARKING STALLS  
21,157 GFA

- POSITIVE**
- Large mix of unit types and orientations.
  - Differentiation of auto-court spaces.
  - Large rear setback at north portion of lot.

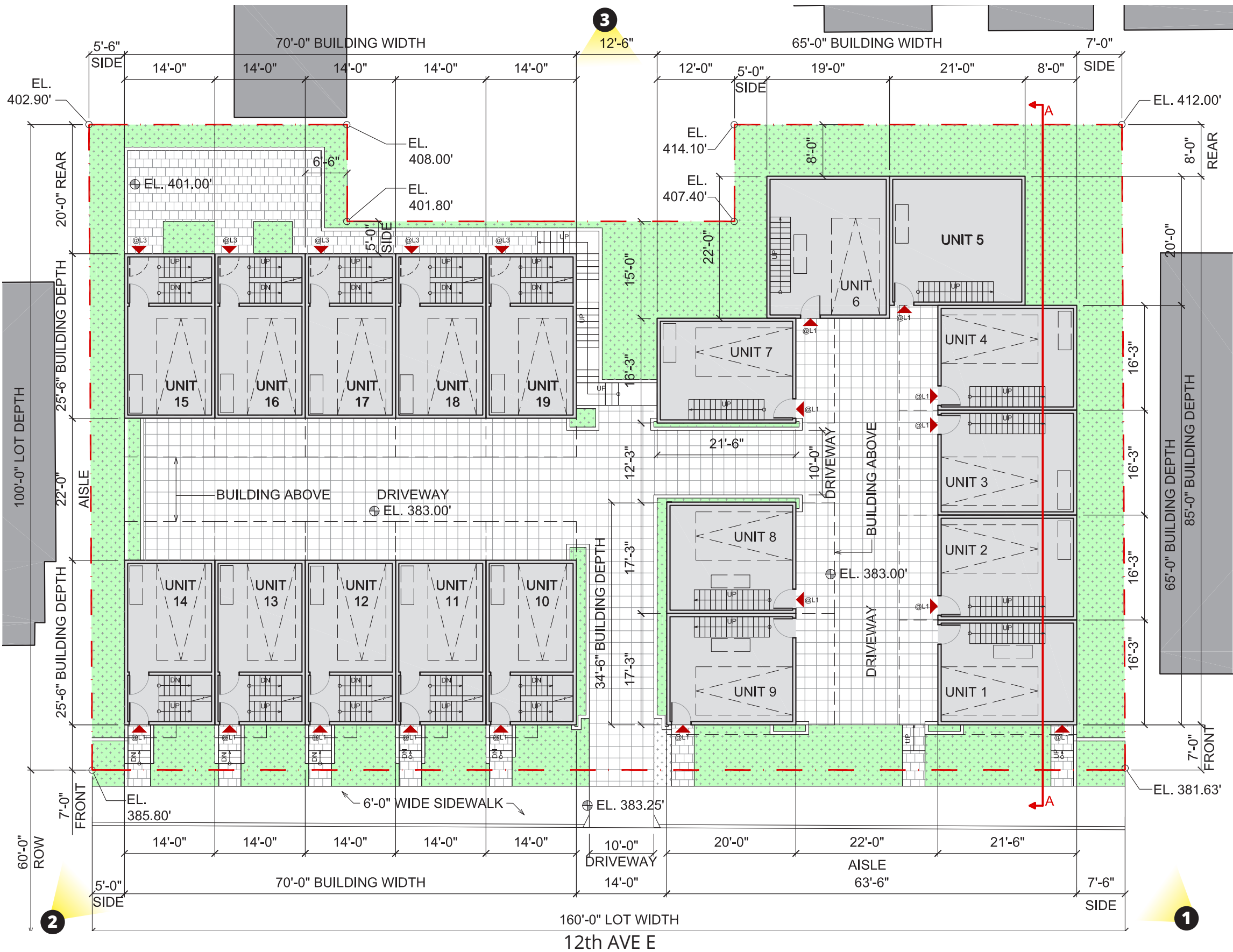
- NEGATIVE**
- Walkway goes through driveway.
  - Meandering walkway to access units.
  - Limited units face the street.
  - Units face N-S creating privacy concerns.
  - Departures required.
  - Parking is less than a 1:1 ratio.

- RESIDENTIAL
- ROOF DECK
- LANDSCAPING
- PRIMARY UNIT ENTRANCE

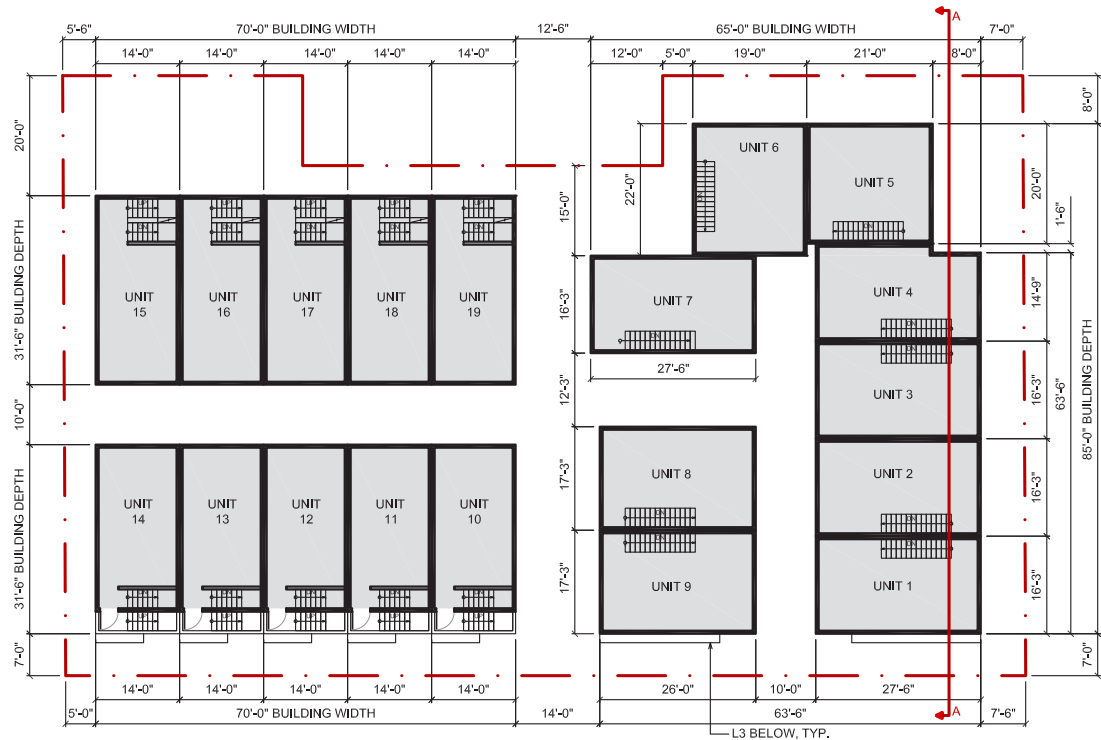


SITE / STREET LEVEL PLAN

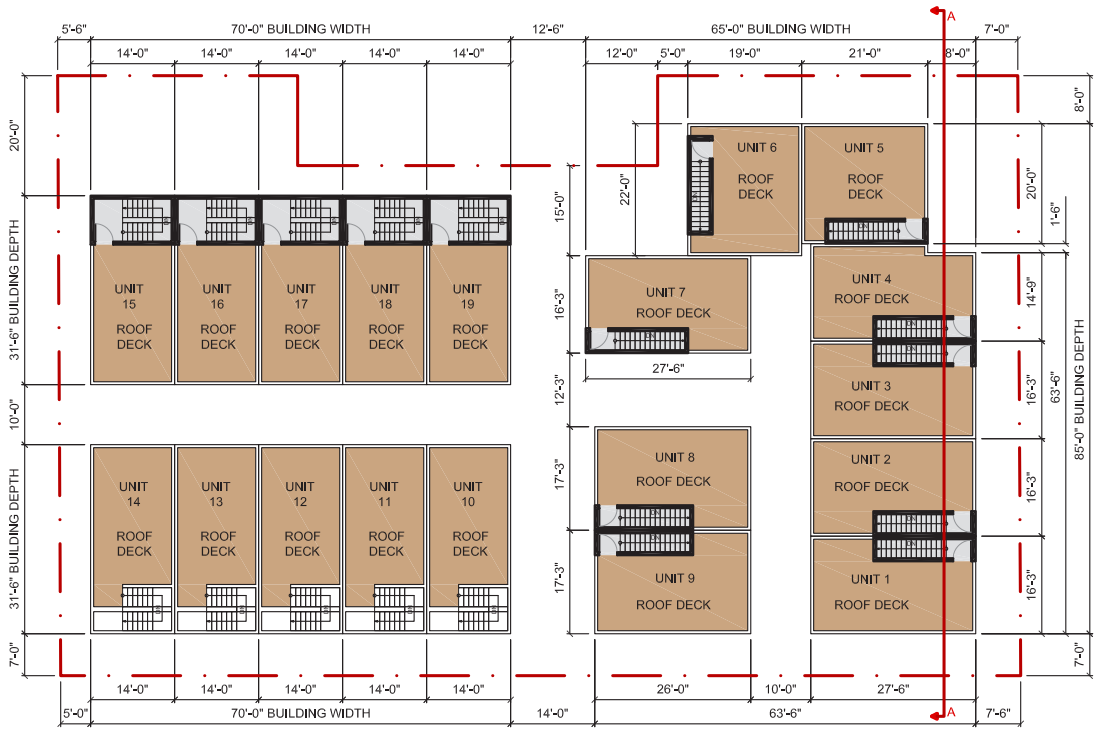
SCALE: 1/16" = 1'-0"



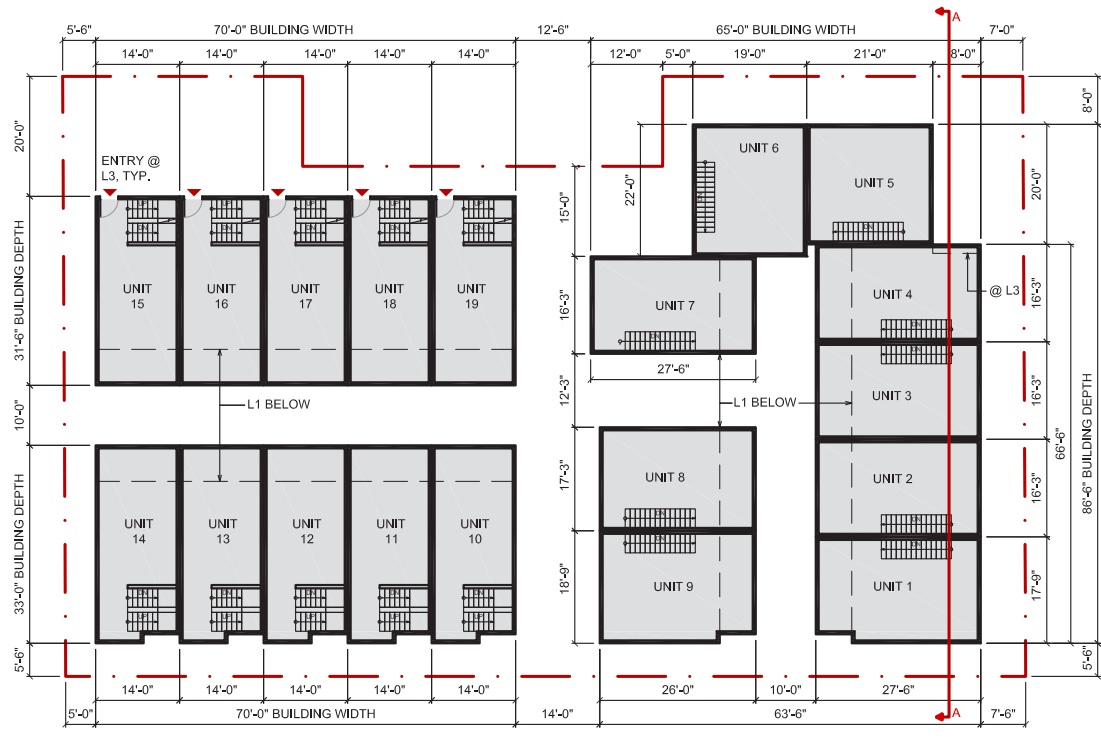
**SCHEME B**  
SCALE: 1/32" = 1'-0"



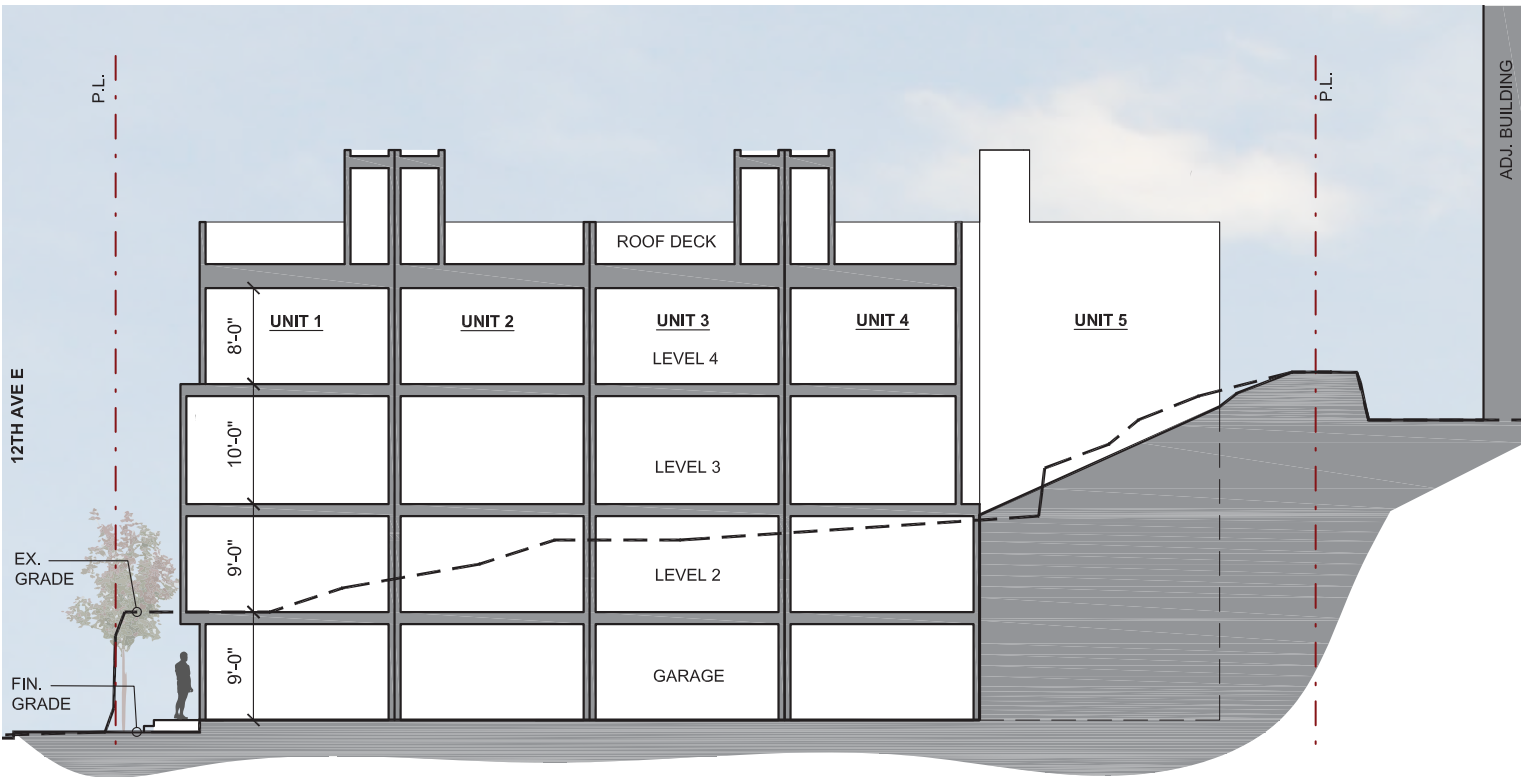
**LEVEL 4**



**ROOF**



**LEVEL 2/3**



**SECTION A**  
SCALE: 1/16" = 1'-0"



SCHEME B



1 PERSPECTIVE LOOKING AT SOUTHWEST CORNER



2 PERSPECTIVE LOOKING AT NORTHWEST CORNER



3 AERIAL LOOKING WEST

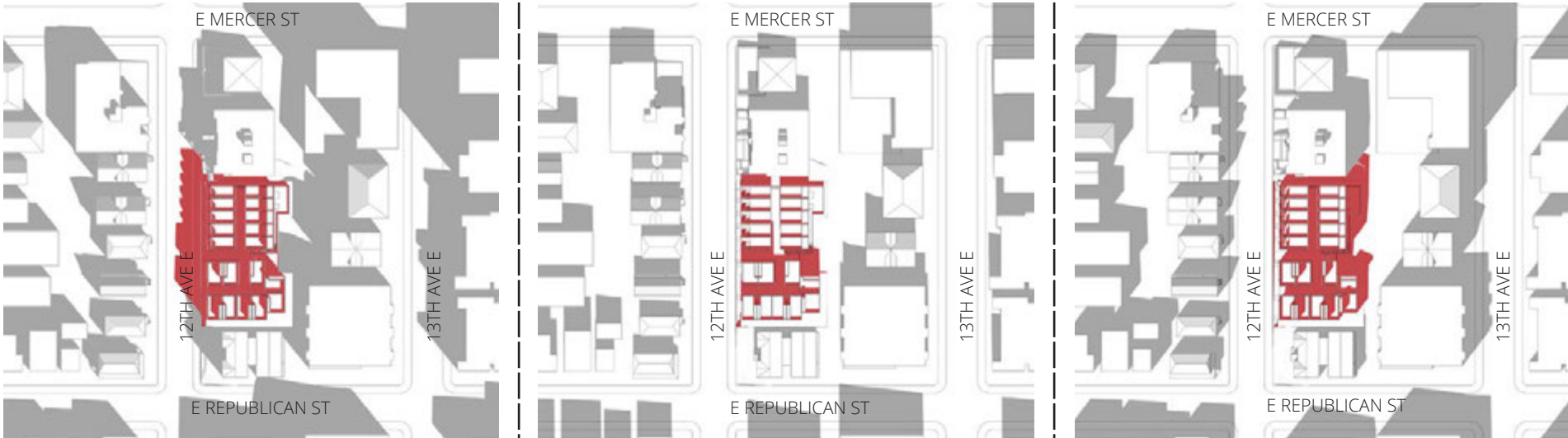


4 AERIAL LOOKING AT NORTHEAST CORNER

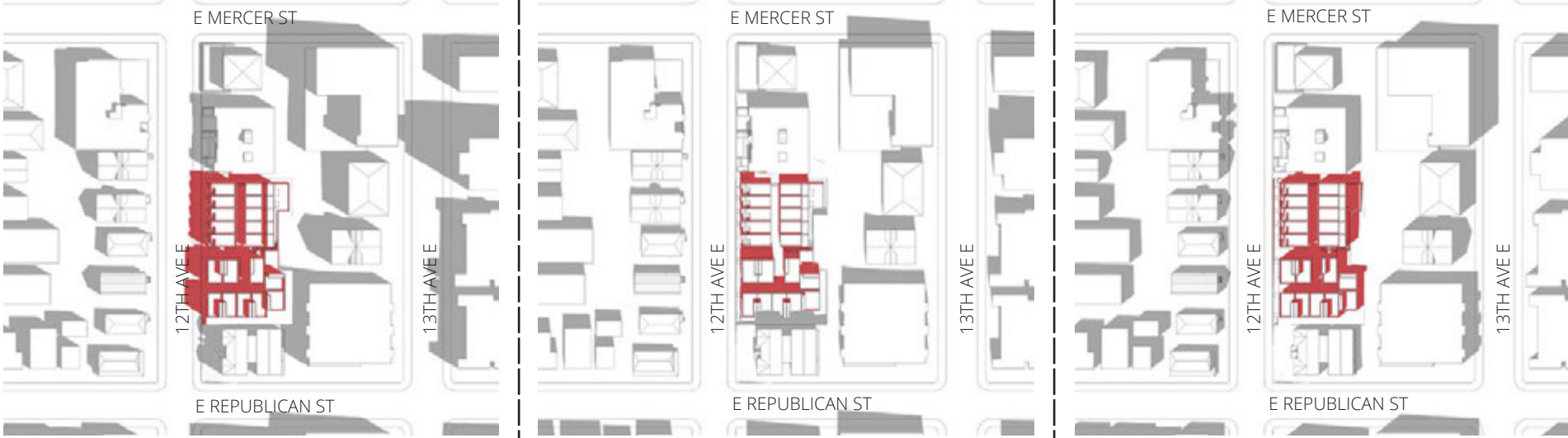


SCHEME B: SUN PATH/SHADOW STUDY

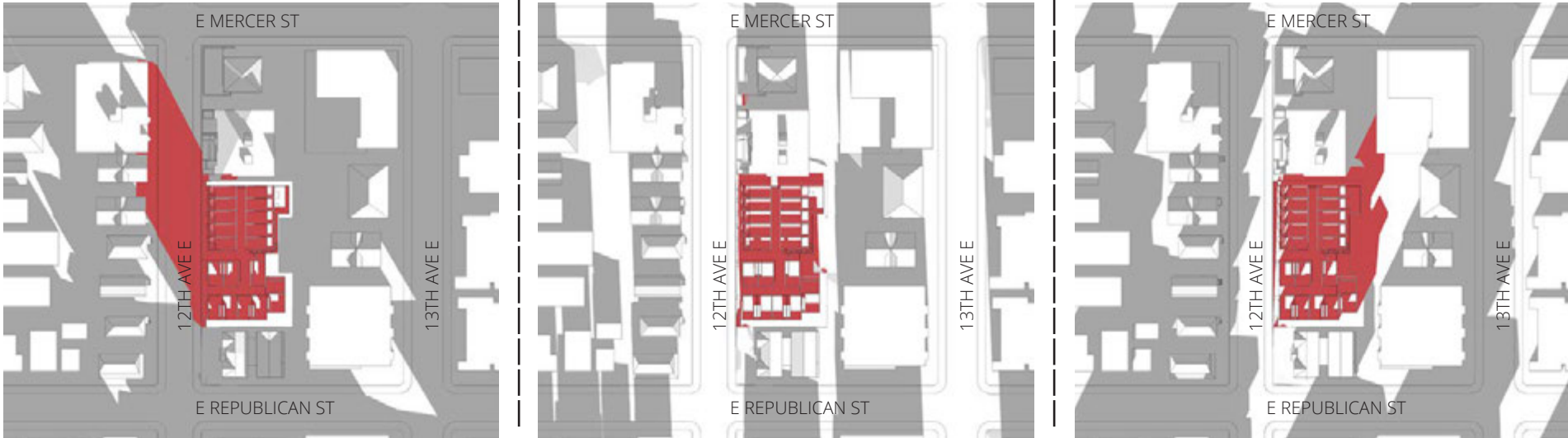
SPRING / FALL EQUINOX



SUMMER SOLSTICE



WINTER SOLSTICE



WEST ELEVATION

SCHEME B: DEPARTURES

1 DEPARTURE: FRONT UPPER LEVEL SETBACK  
SMC 23.45.518.L - FRONT UPPER LEVEL SETBACK IN LR3 ZONE

**REQUIRED:** 12'-0" setback above 34'-0" on street lot lines.  
**PROPOSED:** 7'-0" at south structures, 10'-8" at north structures.

**JUSTIFICATION:**  
Eliminating the front upper level setback creates a consistent architectural form along the street. The project is already set back for power line clearances, additional setbacks will erode the street wall, is not in keeping with the existing fabric, and is not a good precedent for the neighborhood. Additionally, the project already includes articulation along the frontage that is reducing the perceived height of the structures.

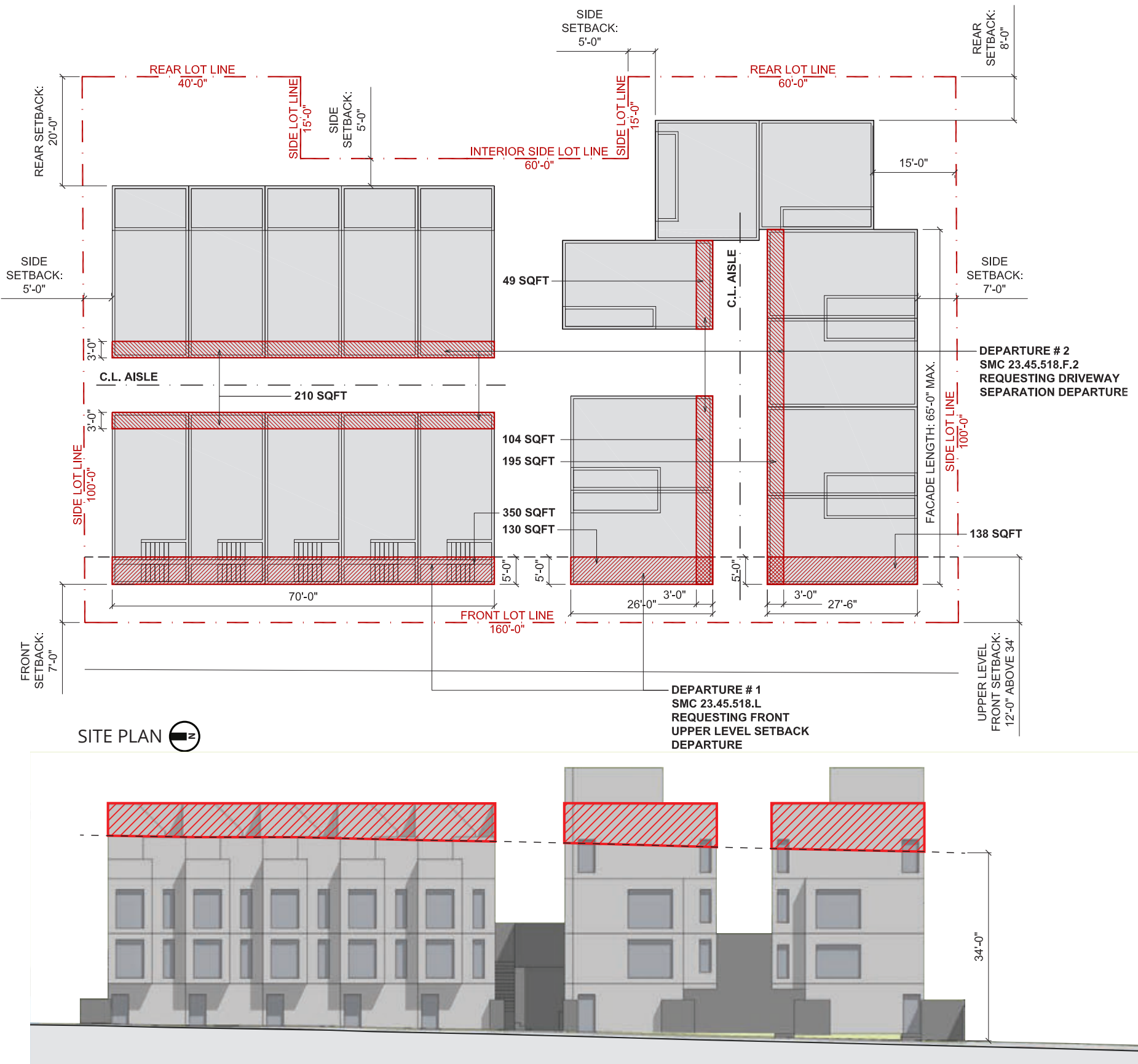
**PRIORITY GUIDELINES**  
**CS2:** Capitol Hill Guideline III: height, bulk, and scale compatibility  
**PL2:A.2:** Access Challenges  
**DC2:A.2:** Reduced Perceived Mass

2 DEPARTURE: DRIVEWAY OVERHANG  
SMC 23.45.518.F.2 - DRIVEWAY SEPARATION IN LR3 ZONE

**REQUIRED:** 3'-0" max projection into separation  
**PROPOSED:** 6'-0" projection into separation

**JUSTIFICATION:**  
The requested departure reduces the paved parking area at grade, and allows for greater landscaped yards and patios around the perimeter of the site. The required separation between the buildings also further buries the northeast units, and increases the complexity of the site circulation. The orientation of the north buildings will allow more sunlight between the buildings. Although the south buildings have a different orientation, the driveway is visually open to the street, allowing more sunlight in and visual relief. The fenestration of the courtyard facing units can be organized to mitigate privacy issues.

**PRIORITY GUIDELINES**  
**CS1:C.1,2:** Topography  
**CS3:C.1:** Selecting Amenity Areas  
**DC1:B.1:** Access Location and Design  
**DC2.B.1:** Facade Composition  
**DC3:B.2,C.2:** Matching Uses to Conditions, Amenities, and Features



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SCHEME C: PREFERRED

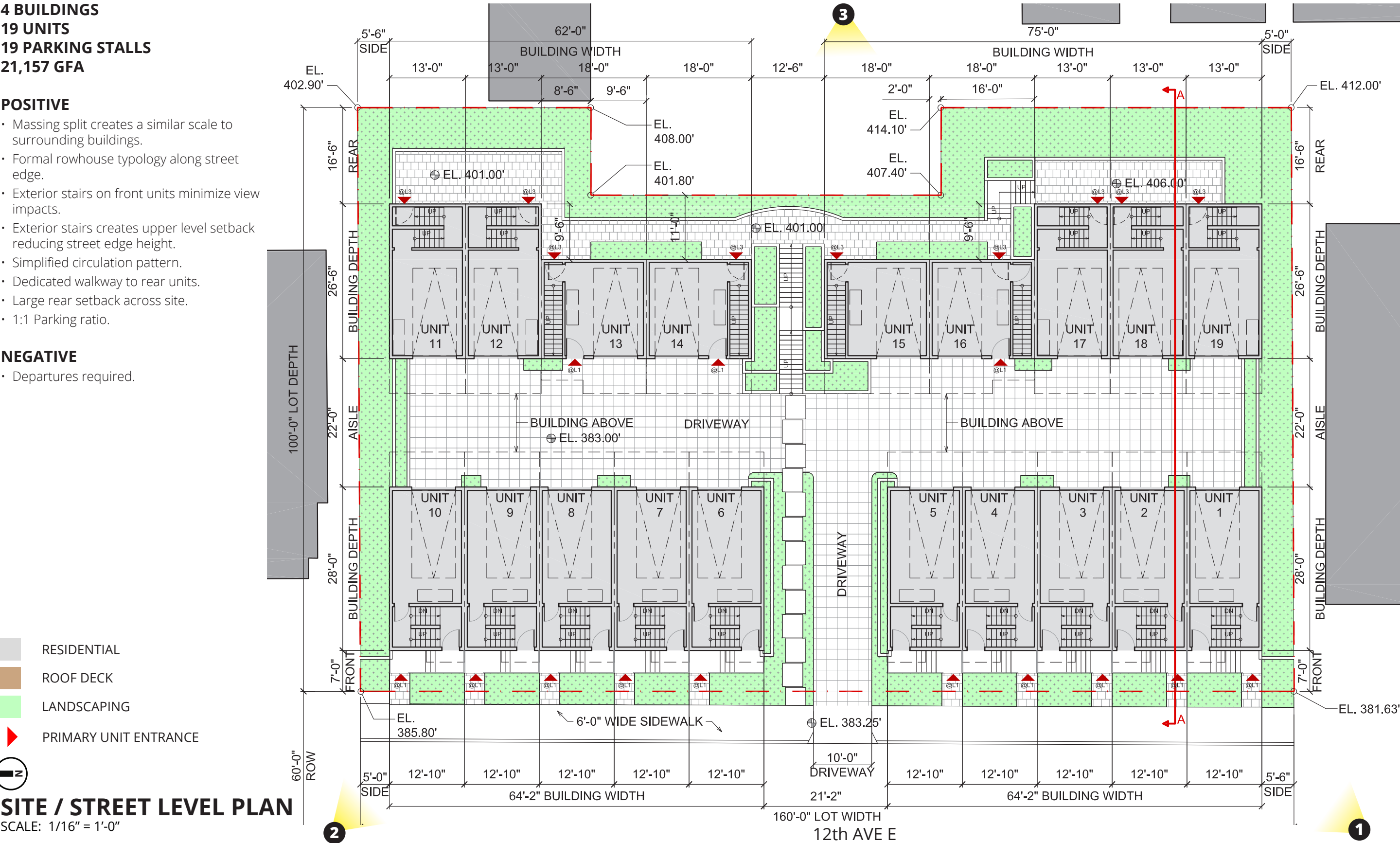
4 BUILDINGS  
19 UNITS  
19 PARKING STALLS  
21,157 GFA

POSITIVE

- Massing split creates a similar scale to surrounding buildings.
- Formal rowhouse typology along street edge.
- Exterior stairs on front units minimize view impacts.
- Exterior stairs creates upper level setback reducing street edge height.
- Simplified circulation pattern.
- Dedicated walkway to rear units.
- Large rear setback across site.
- 1:1 Parking ratio.

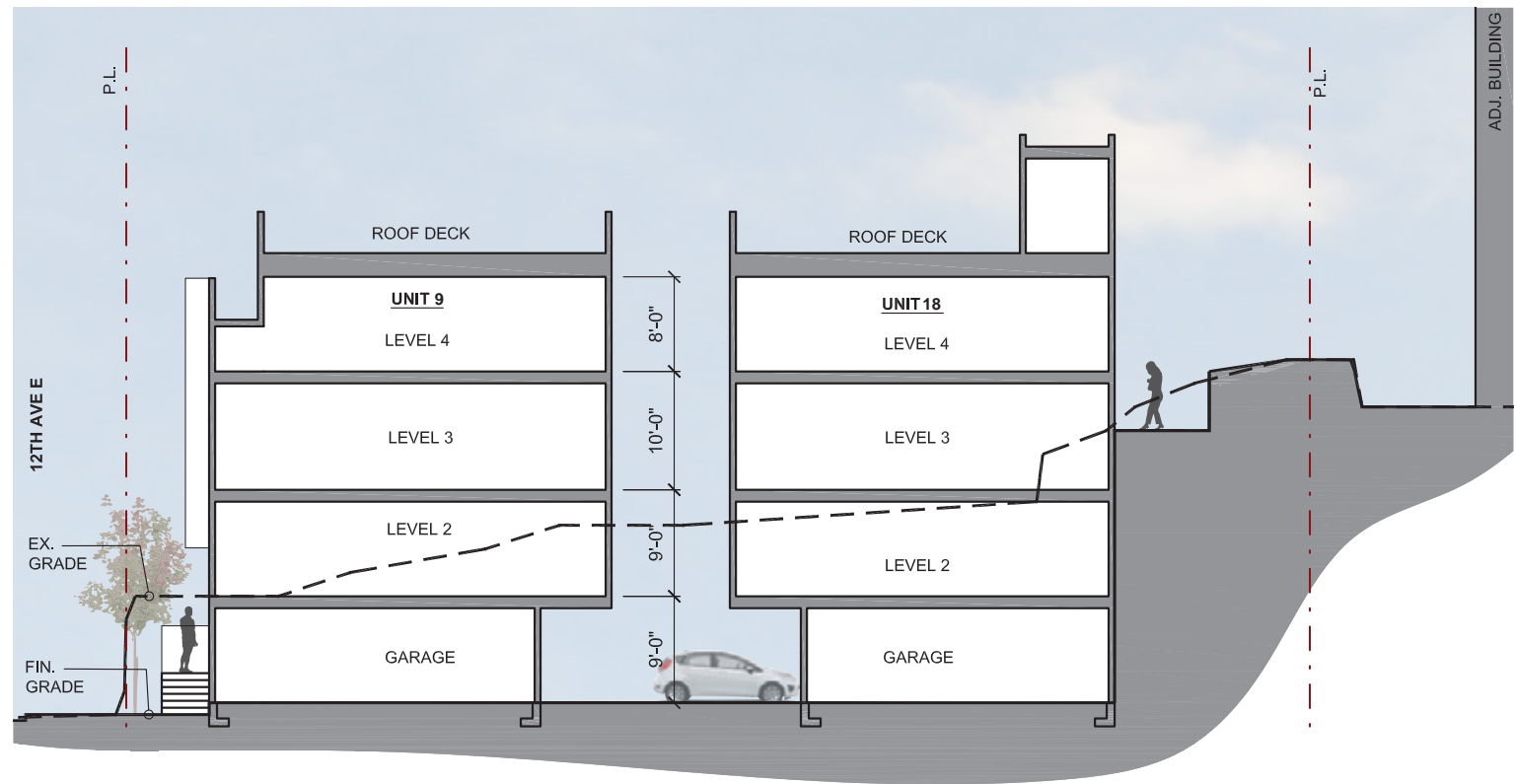
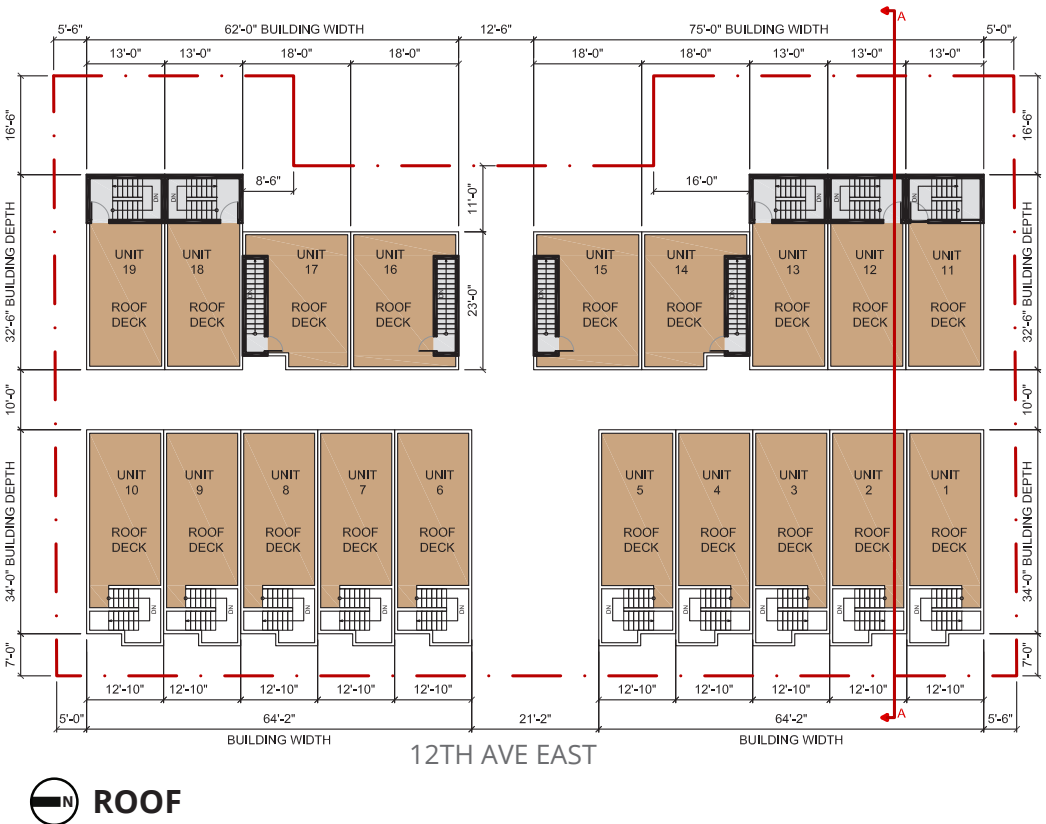
NEGATIVE

- Departures required.





**SCHEME C: PREFERRED**  
SCALE: 1/32" = 1'-0"



**SECTION A**  
SCALE: 1/16" = 1'-0"

SCHEME C: PREFERRED



1 PERSPECTIVE LOOKING AT SOUTHWEST CORNER



2 PERSPECTIVE LOOKING AT NORTHWEST CORNER



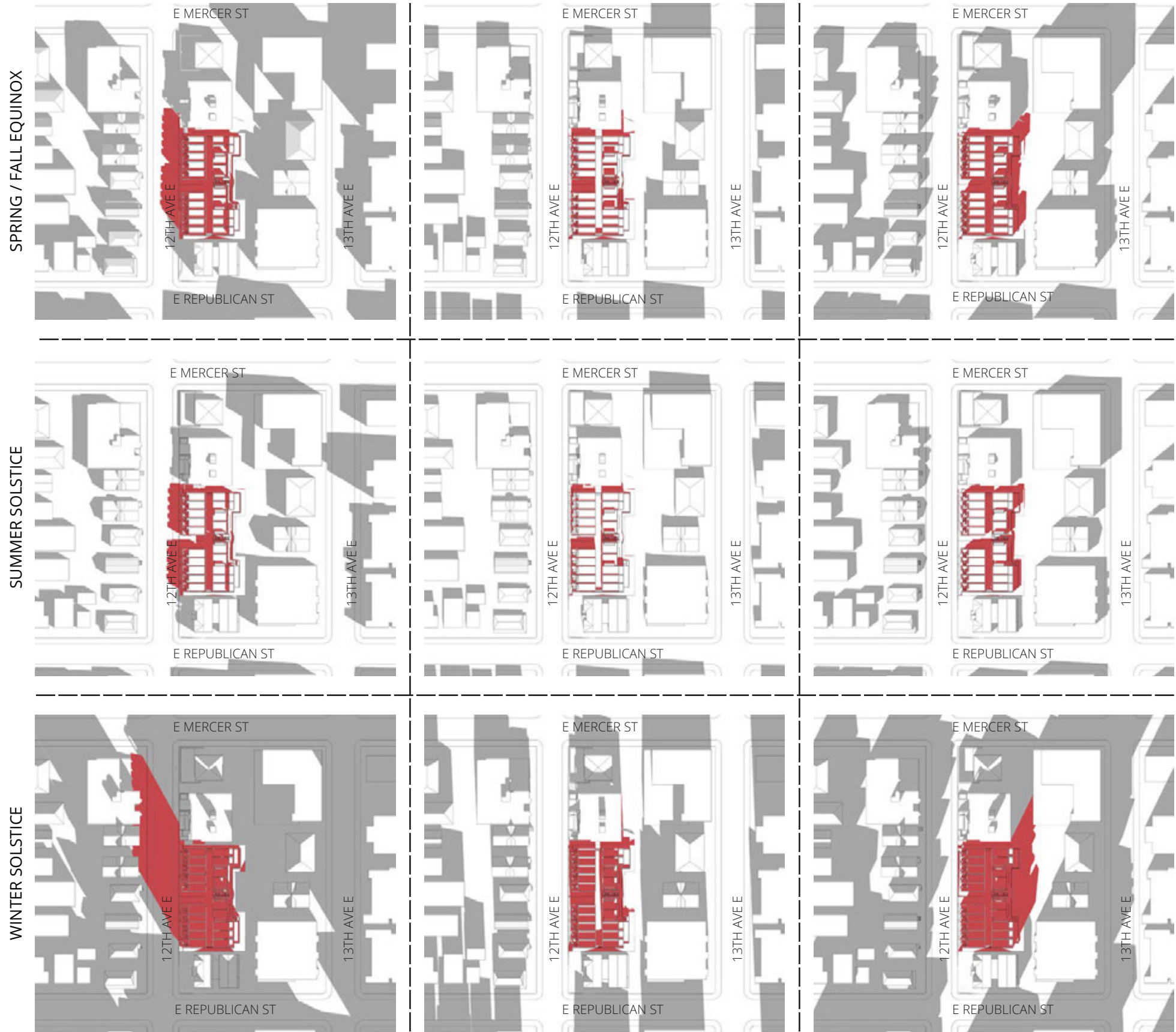
3 AERIAL LOOKING WEST



4 AERIAL LOOKING AT NORTHEAST CORNER



SCHEME C: SUN PATH/SHADOW STUDY



SCHEME C: DEPARTURES

1 DEPARTURE: FRONT UPPER LEVEL SETBACK  
SMC 23.45.518.L - FRONT UPPER LEVEL SETBACK IN LR3 ZONE  
REQUIRED: 12'-0" setback above 34'-0" on street lot lines.  
PROPOSED: 10'-8"

**JUSTIFICATION:**  
Eliminating the front upper level setback creates a consistent architectural form along the street. The project is already set back for power line clearances, additional setbacks will erode the street wall, is not in keeping with the existing fabric, and is not a good precedent for the neighborhood. Additionally, the project already includes articulation along the frontage that is reducing the perceived height of the structures.

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CS2:Capitol Hill Guideline III: height, bulk, and scale compatibility  
PL2:A.2: Access Challenges  
DC2:A.2: Reduced Perceived Mass  
DC2.B.1: Facade Composition

2 DEPARTURE: DRIVEWAY OVERHANG  
SMC 23.45.518.F.2 - DRIVEWAY SEPARATION IN LR3 ZONE  
REQUIRED: 3'-0" max projection into separation  
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**JUSTIFICATION:**  
The requested departure reduces the paved parking area at grade, and allows for greater landscaped yards and patios around the perimeter of the site. The required separation between the buildings also further buries the east units, and increases the complexity of the site circulation. The orientation of the buildings will allow more sunlight into the site. The fenestration of the courtyard facing units can be organized to mitigate privacy issues.

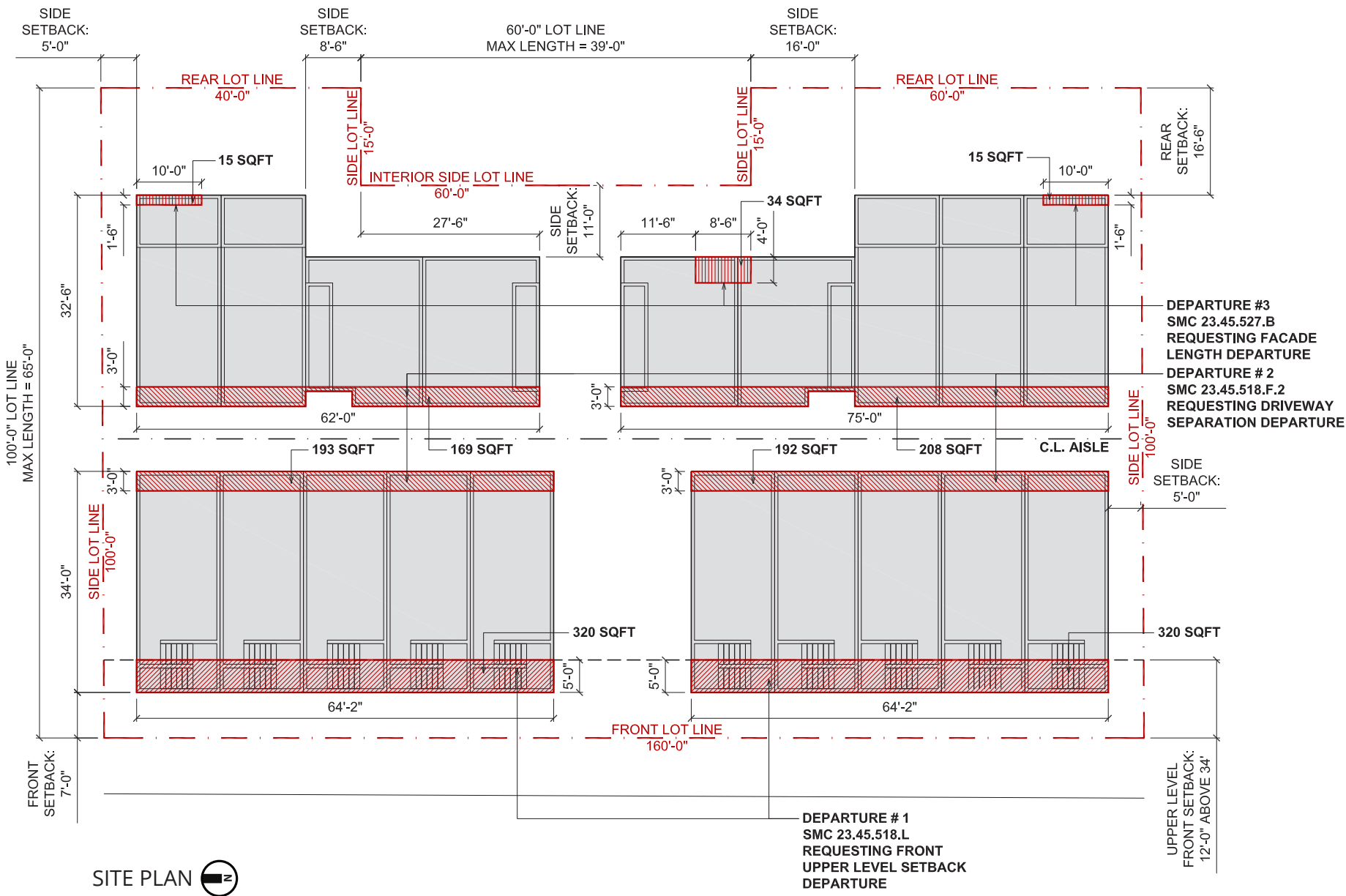
- PRIORITY GUIDELINES**  
CS1:C.1,2: Topography  
CS3:C.1: Selecting Amenity Areas  
DC1:B.1: Access Location and Design  
DC2.B.1: Facade Composition  
DC3:B.2,C.2: Matching Uses to Conditions, Amenities, and Features

3 DEPARTURE: FACADE LENGTH DEPARTURE  
SMC 23.45.527.B - FACADE LENGTH IN LR3 ZONE  
A REQUIRED: 39'-0" at rear/side lot line  
PROPOSED: 47'-6" total facade length

B REQUIRED: 65'-0" at side lot lines  
PROPOSED: 66'-6" at side lot lines  
**JUSTIFICATION:**

The unique property line shape yields an interior side lot line where there is experientially a rear lot line. The requested departure allows for an efficient site design and contributes to the cohesiveness of the composition along the rear façade. The proposed setback along the façade exceeds the minimum required, further mitigating the impact of the departure. Along the north & south property lines, the requested departure allows for a cohesive architectural composition. The contributing façade length is broken up over two buildings, reducing the perceived bulk impact. The rear yards in these locations exceeds the minimum required, and both the rear & side yards will be heavily landscaped to buffer the edge.

- PRIORITY GUIDELINES**  
CS1:B.1,2: Sunlight and Natural Ventilation  
CS2:B.2: Existing Site Features  
PL2: Walkability: Capitol Hill Guideline III: Pedestrian Open Spaces and Entrances  
DC3:B.2: Matching Uses to Conditions



SITE PLAN



WEST ELEVATION

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SCHEME SUMMARY

SCHEME A: CODE COMPLIANT

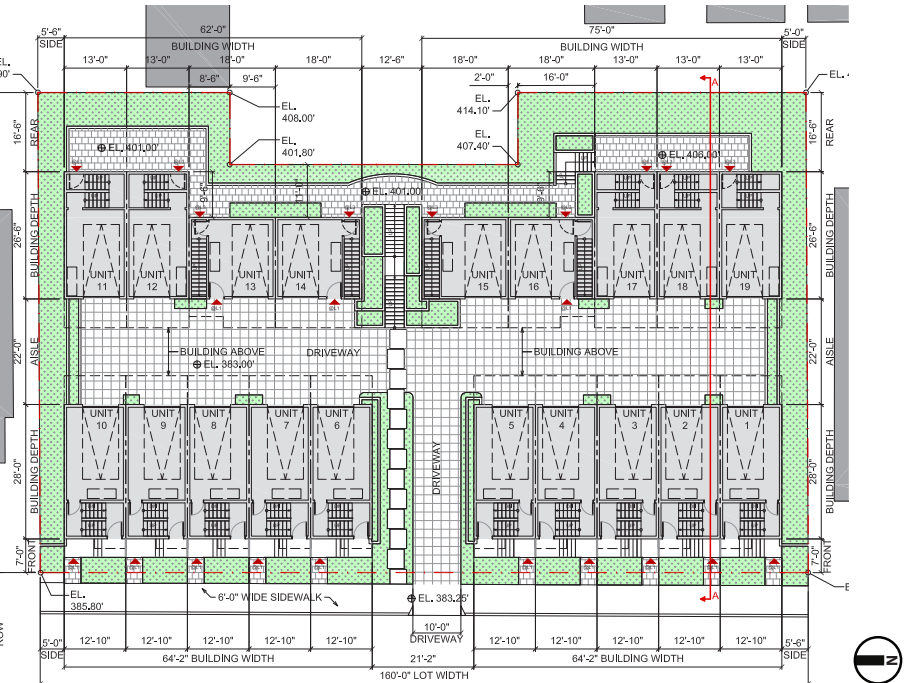
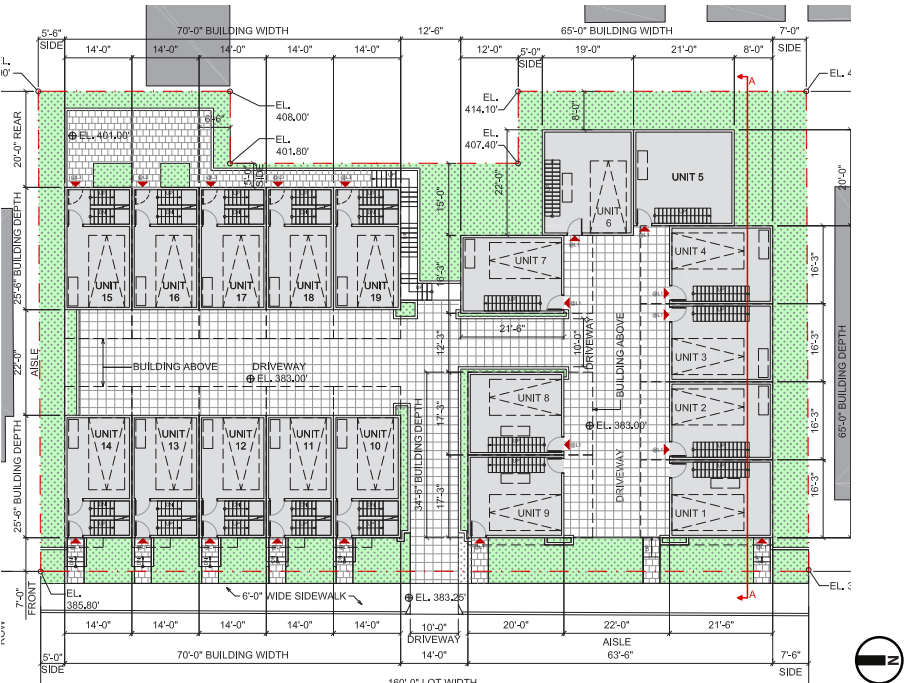
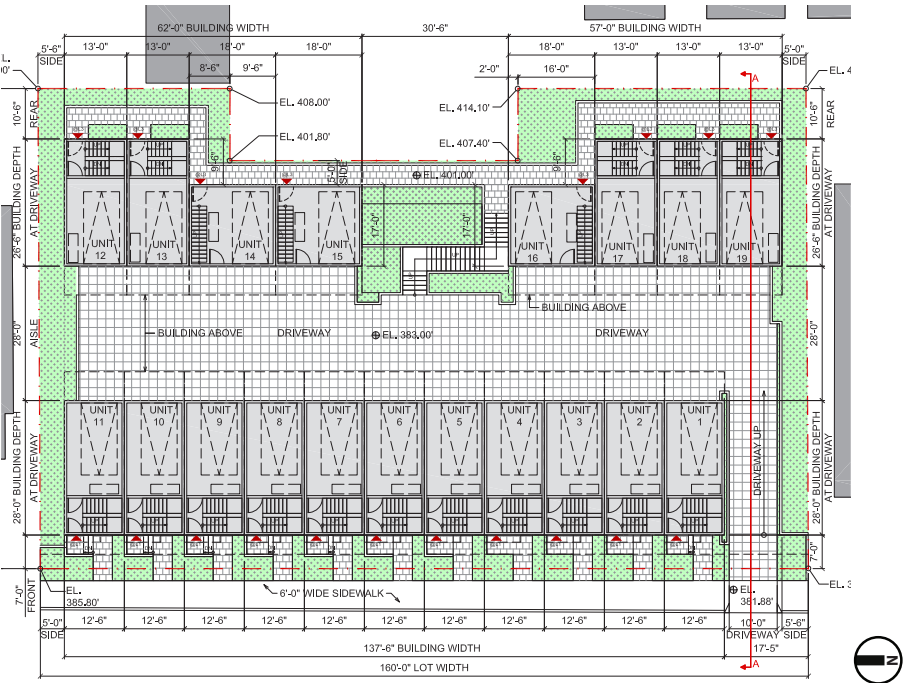
SCHEME B

SCHEME C: PREFERRED

PERSPECTIVE



SITE PLAN



POSITIVE

- Continuous strong street edge.
- Formal rowhouse typology along street edge.
- Simplified construction.
- No departures required.
- 1:1 parking ratio

NEGATIVE

- Continuous massing creates a scale wider than surrounding buildings.
- Walkway goes through driveway.
- Longer pedestrian path to rear units.
- Minimum rear setback.

POSITIVE

- Large mix of unit types and orientations.
- Differentiation of auto-court spaces.
- Large rear setback at north portion of lot.

NEGATIVE

- Walkway goes through driveway.
- Meandering walkway to access units.
- Limited units face the street.
- Units face N-S creating privacy concerns.
- Departures required.
- Parking is less than a 1:1 ratio.

POSITIVE

- Massing split creates a similar scale to surrounding buildings.
- Formal rowhouse typology along street edge.
- Exterior stairs on front units minimize view impacts.
- Exterior stairs creates upper level setback reducing street edge height.
- Simplified circulation pattern.
- Dedicated walkway to rear units.
- Large rear setback across site.
- 1:1 Parking ratio.

NEGATIVE

- Departures required.

SCHEME B

SCHEME C: PREFERRED

1 DEPARTURE: FRONT UPPER LEVEL SETBACK  
SMC 23.45.518.L - FRONT UPPER LEVEL SETBACK IN LR3 ZONE

**REQUIRED:** 12'-0" setback above 34'-0" on street lot lines.  
**PROPOSED:** 7'-0" at south structures, 10'-8" at north structures.

**JUSTIFICATION:**  
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**DC2:A.2:** Reduced Perceived Mass

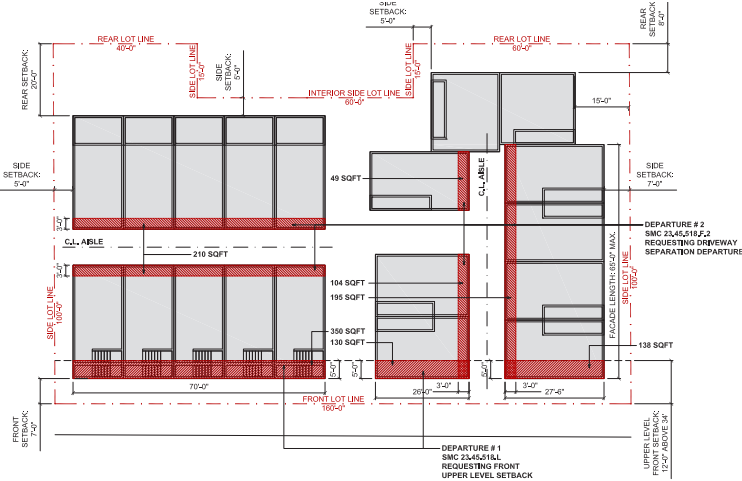
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**REQUIRED:** 3'-0" max projection into separation  
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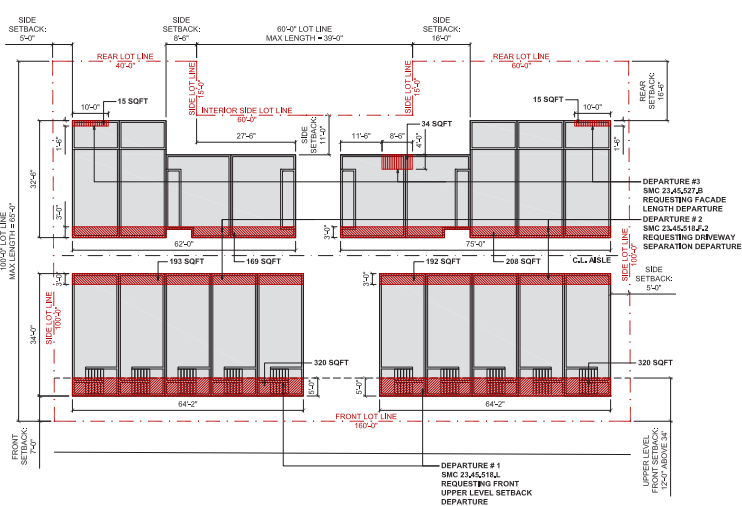
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**DC3:B.2,C.2:** Matching Uses to Conditions, Amenities, and Features

SCHEME B: DIAGRAM



SCHEME C: DIAGRAM



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SMC 23.45.518.L - FRONT UPPER LEVEL SETBACK IN LR3 ZONE

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SMC 23.45.527.B - FACADE LENGTH IN LR3 ZONE

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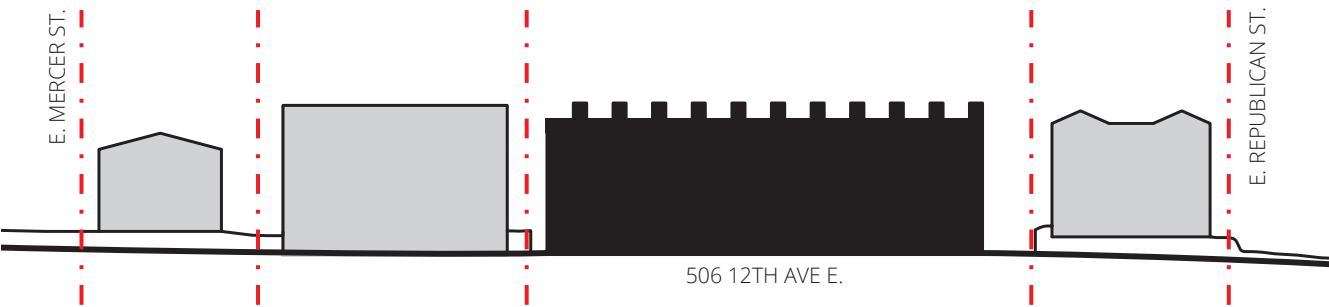
**B REQUIRED:** 65'-0" at side lot lines  
**PROPOSED:** 66'-6" at side lot lines

**JUSTIFICATION:**  
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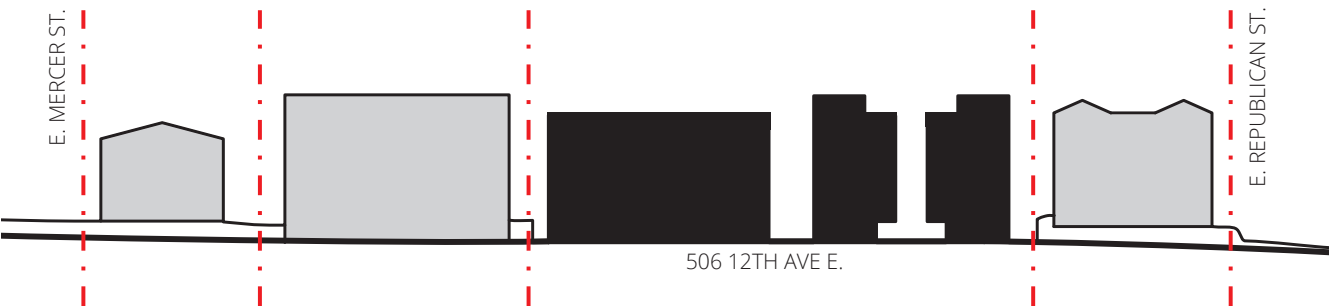
**PRIORITY GUIDELINES**  
**CS1:B.1,2:** Sunlight and Natural Ventilation  
**CS2:B.2:** Existing Site Features  
**PL2:** Walkability: Capitol Hill Guideline III: Pedestrian Open Spaces and Entrances  
**DC3:B.2:** Matching Uses to Conditions

CONCEPT DEVELOPMENT: STREET RHYTHM



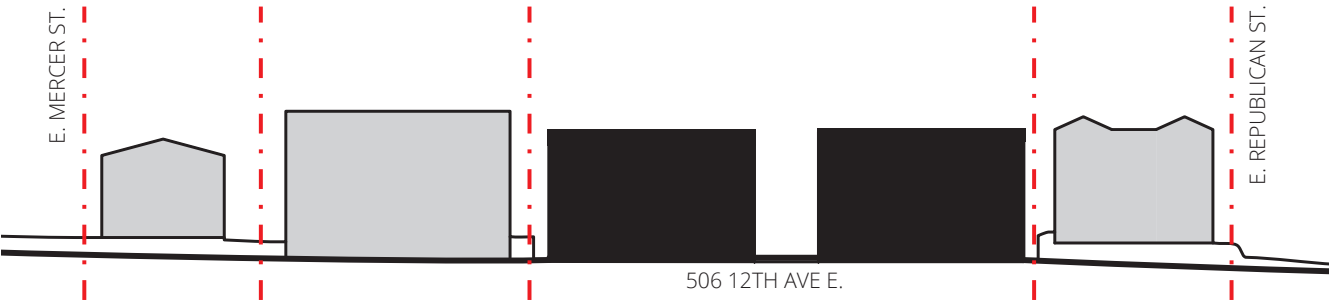
SCHEME A

The code compliant scheme features a mass that is significantly wider than adjacent buildings. While it creates a strong street edge and reads as continuous rowhouses it is out of scale with adjacent buildings.



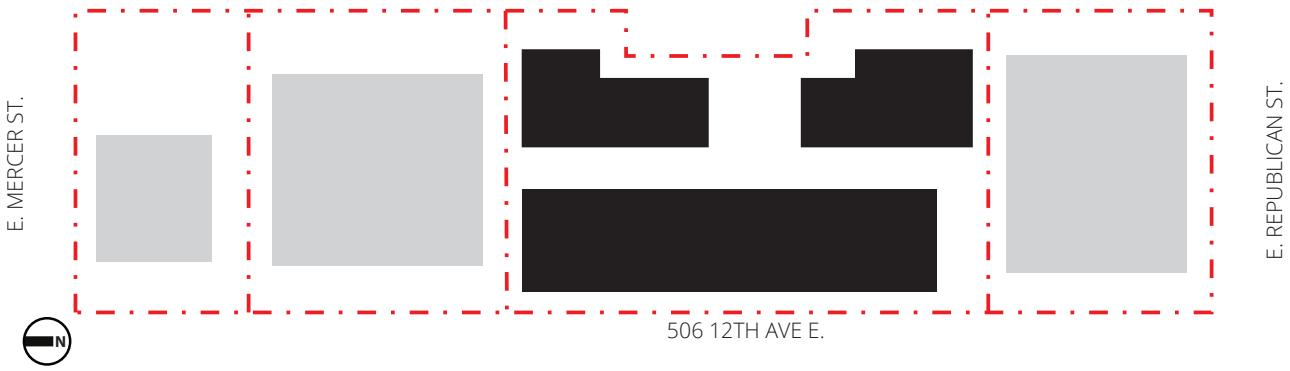
SCHEME B

Scheme B breaks down the width of Scheme A into one wider building and two townhouse scale buildings. While reducing the frontage impact, it is broken down too much, creating a discontinuity in the rhythmic street edge.

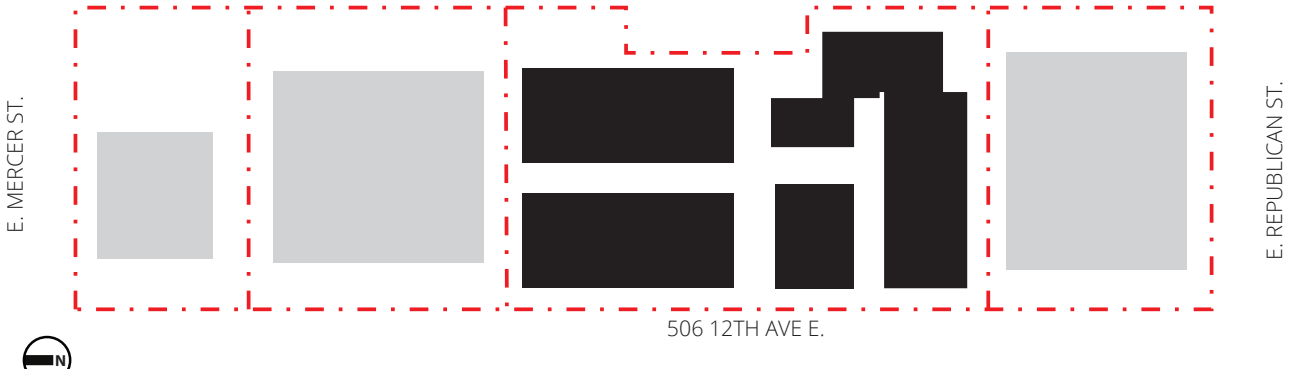


SCHEME C

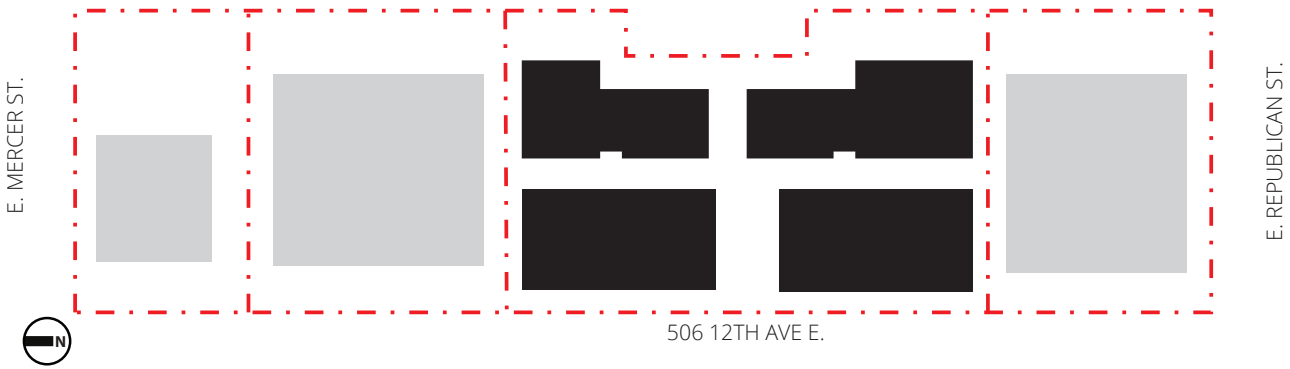
The preferred scheme re-establishes the strong street edge and creates two equal masses of a similar scale to the adjacent buildings. The two buildings function as mirrored twins, establishing a formal language for the rowhouse typology. The equal portions establish a rhythm that will be seen in the overall composition.



The organization for the site and entry point is very clear. However, the long facade is too strong an edge.



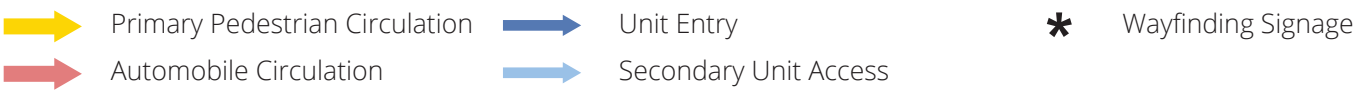
The proportion of the elements are appropriate in context. However, the irregularity of the form creates a chaotic organization that lacks hierarchy.



The proportion and rhythm of the elements respond well to context. The organization is clear on the site and the axial arrangement establishes a clear hierarchy.



CONCEPT DEVELOPMENT: SITE CIRCULATION





CONCEPT DEVELOPMENT: ARCHITECTURAL CHARACTER



- The preferred scheme establishes potential for a strong architectural concept and expression:
- Strong repeating rowhouse form, with transparency to the street and visible entries (CS2:B.2, PL1:B.3, PL2:C.3).
  - Massing articulation and material composition clearly delineate each unit and re-enforce the repetitive pattern (CS2:C.2, CAP. HILL 1, DC2:B.1).
  - Varying rooflines and material detailing emphasize rhythm and respond to residential character of neighborhood.
  - Clear expression of individual unit entries and primary site access.
  - Opportunity for high quality material texture at grade.



WHITE BRICK: MODERN/TRADITIONAL



BLACK WINDOWS/CONTRAST



BOARD AND BATTEN SIDING



LIGHTING AND SIGNAGE





**The relationship to the street sets a precedent for new developments along 12th Ave E:**

- Entry stoops create a strong relationship to the sidewalk.
- Lighting, signage, railings, paving and landscaping provide a fine-grained scale texture (PL2:C.3, DC2:D.1).
- Landscaping integrates into the entry sequence, while buffering units from the sidewalk.
- Massing articulation reduces bulk of building to smaller human scale (DC2:A.2, D.1).
- Composition of elements creates clearly defined entries that are still part of a cohesive architectural expression.



ROOF DECKS



ENTRY PLAZA



ENTRY STOOPS



TERRACED PLANTING



CONCEPT DEVELOPMENT: LANDSCAPE PLAN

PLANT SCHEDULE			
TREES	BOTANICAL NAME	SIZE	
	Acer griseum Paperbark Maple Street Tree	2' Gal	
	Prunus x hillieri 'Spine' Spine Cherry Street Tree	2' Gal	
SHRUBS	BOTANICAL NAME	SIZE	
	Calluna vulgaris 'Wickwar Flame' Wickwar Flame Heather	1 gal	
	Carex morrowii 'Ice Dance' Ice Dance Japanese Sedge	1 gal	
	Cornus alba 'Saucoultii' Goldenleaf Dogwood	3 gal	
	Ilex crenata 'Sky Pencil' Sky Pencil Japanese Holly	20" Ht min	
	Libertia peregrinans New Zealand Fls	1 gal	
	Lonicera pileata 'Mass Green' Mass Green Honeysuckle	2 gal	
	Pieris japonica 'Broun's Beauty' Lily of the Valley Bush	3 gal	
	Spiraea japonica 'Firelight' Firelight Spirea	2 gal	
	Taxus x media 'H.M. Eddie' H.M. Eddie Yew	3'-5' Ht	
	Viburnum plicatum tomentosum 'Mariesii' Mariesii Double File Viburnum	3 gal	
SHADE PLANTS	BOTANICAL NAME	SIZE	
	Aceris gramineus 'Gigan' Golden Variegated Sweetflag	1 gal	
	Hakonechloa macro 'Aureola' Golden Variegated Hakonechloa	1 gal	
	Hydrangea quercifolia Oakleaf Hydrangea	3 gal	
	Liriope muscari 'Big Blue' Big Blue Lilyturf	1 gal	
	Mahonia surfractata 'Soft Caress' Mahonia Soft Caress	2 gal	
	Osmorhiza heterophyllus 'Goshiki' Goshiki Holly	2 gal	
	Rhododendron x 'Ramapo' Ramapo Rhododendron	3 gal	
GROUND COVERS	BOTANICAL NAME	SIZE	SPACING
	Arctostaphylos uva-ursi 'Vancouver Jade' Kinkikinkik	1 gal	24" o.c.



RENDERED  
LANDSCAPE PLAN



PLANTING PALETTE



GOSHIKI-HOLLY



PAPERBACK MAPLE



GOLDEN VARIEGATED  
HAKONECHLOA



VANCOUVER JADE  
KINNIKINNICK



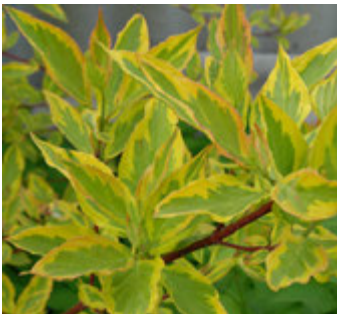
BROUWERS BEAUTY  
JAPONICA



WICKWAR FLAME HEATHER



ICE DANCE SEDGE



GOLDEN DOGWOOD



SPIRE CHERRY



JAPANESE FOREST GRASS



SNOW QUEEN HYDRANGEA



LIBERTIA



RHODODENDRON



BIG BLUE LILYTURF



LONICERA MOSS



MAHONIA - SOFT CARESS

HARDSCAPE CONCEPTS



LANDSCAPED STAIRWAY



PLAZA



CASCADING PLANTING



STAIR DETAIL





## RECENT WORK



ISOLA HOMES/SHW

## SHW RECENT WORK



ISOLA HOMES/SHW

