



223 12th Avenue East

Recommendation Packet | East Design Review Board | SDCI Project #3025863 | November 08, 2017

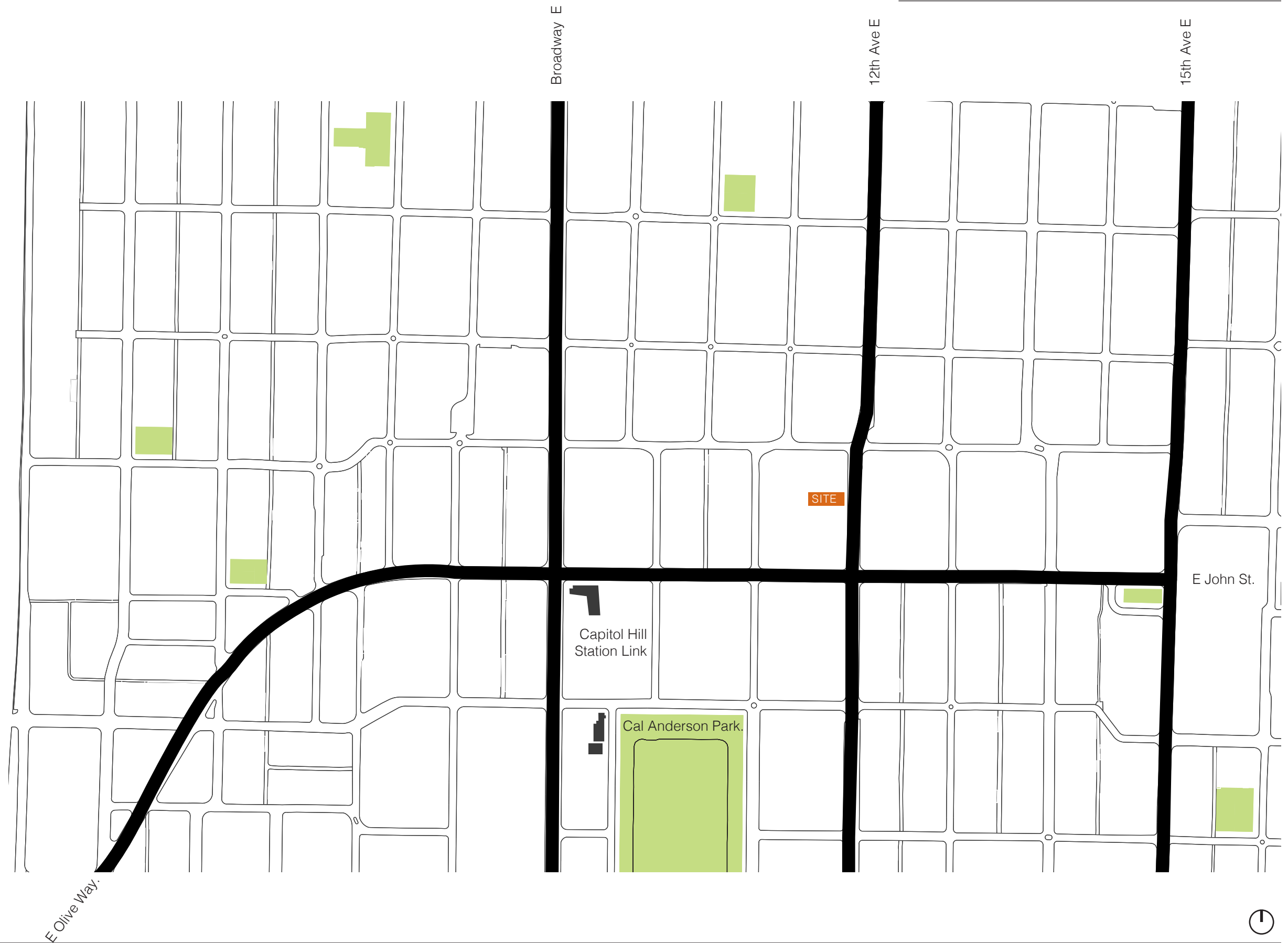
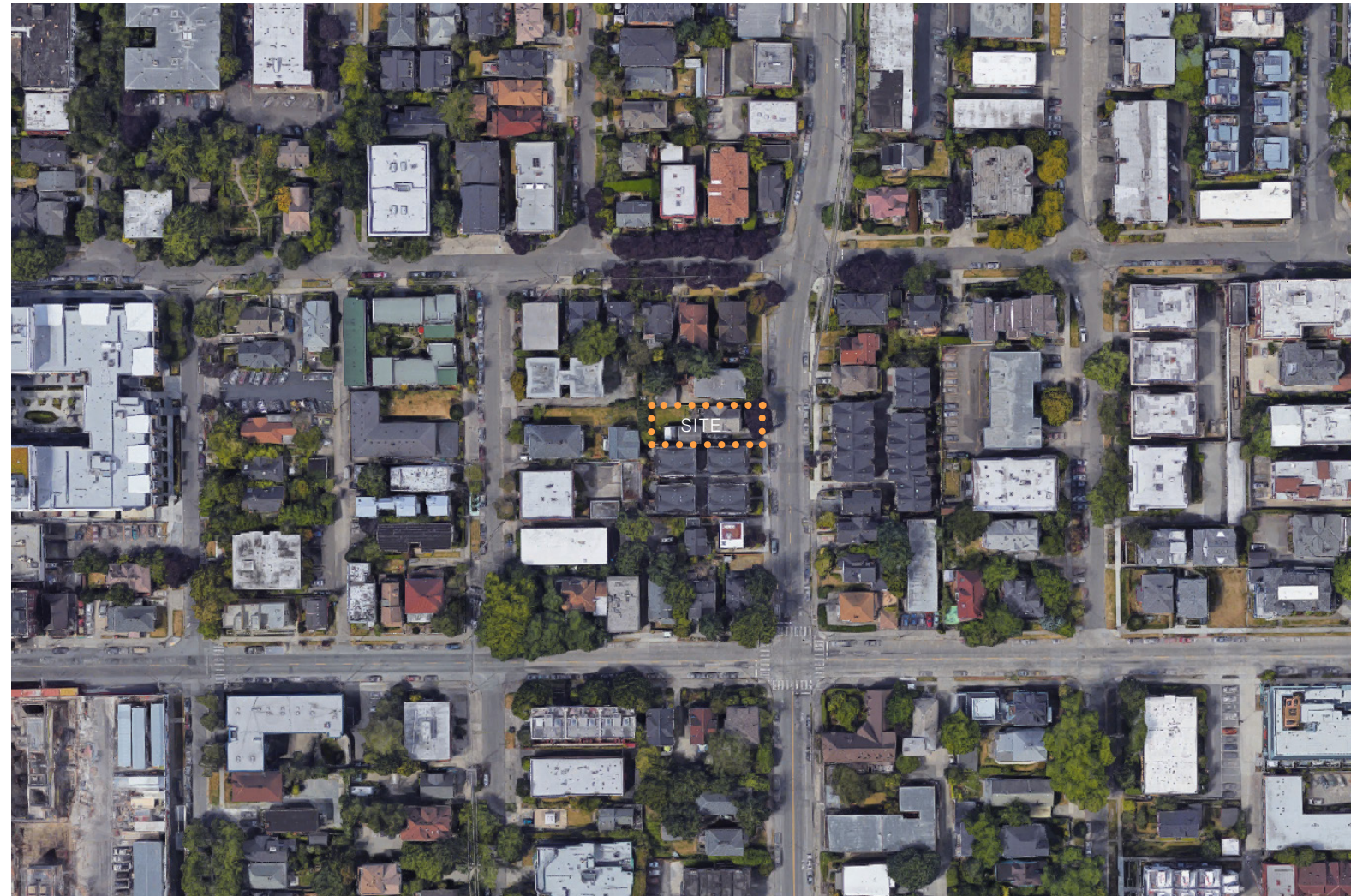


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10th Ave E

Federal Ave E

11th Ave E

12th Ave E

13th Ave E

14th Ave E

E Thomas St

E John St

E Republican St



OBJECTIVES

Design and construct a four story residential building with 19 small efficiency dwelling units and 3 one-bedroom units. Existing structure to be demolished.

Number of Units 22

Number of Parking Spaces 0

Number of Bike Parking Spaces 22

Sustainability
Achieve a 4-Star Built Green certification.
Provides a 15% Improvement over the Seattle Energy Code.

TEAM

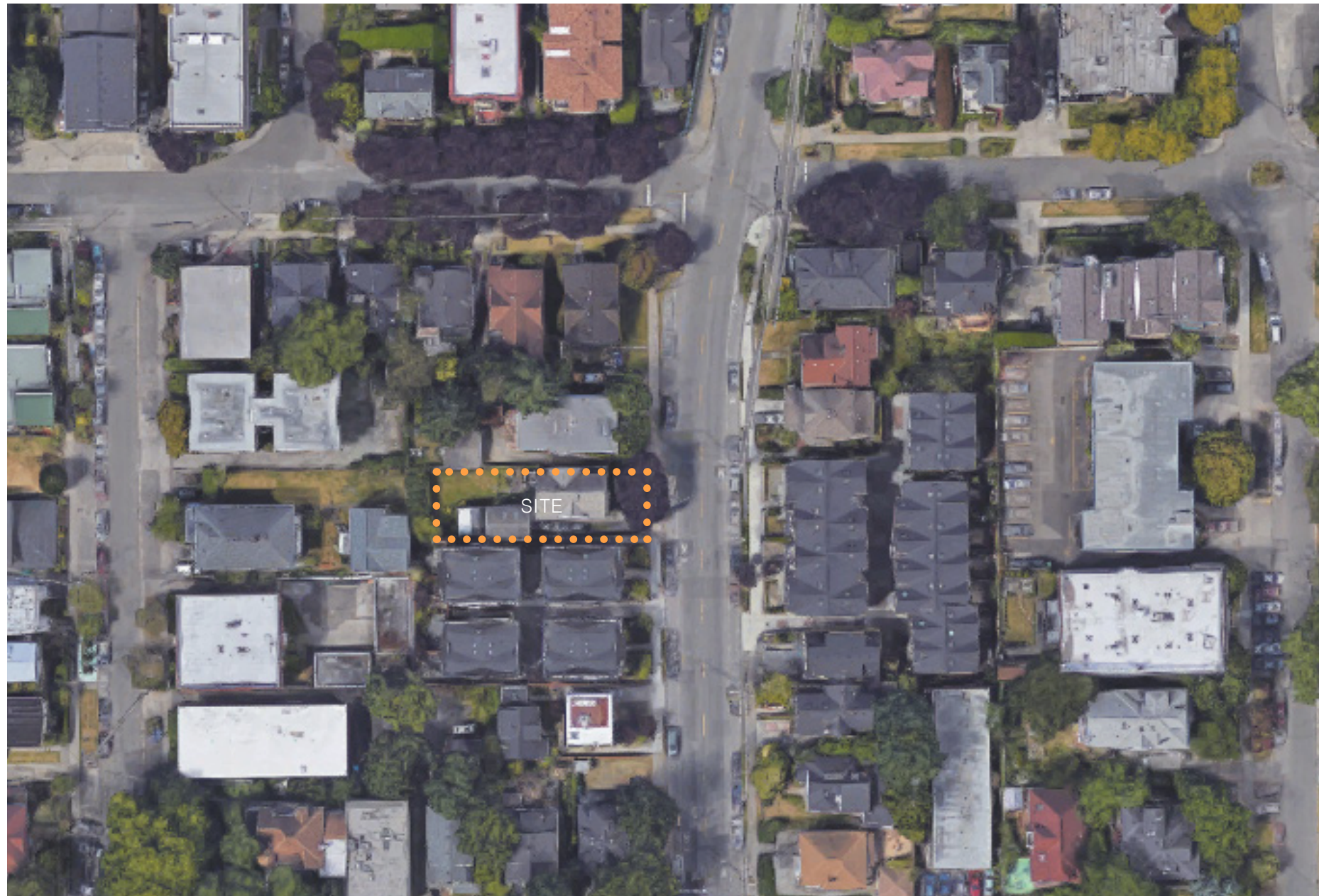
ARCHITECT b9 architects

DEVELOPER 233 LLC

STRUCTURAL Malsam Tsang

GEOTECHNICAL Pangeo Inc.

LANDSCAPE Root of Design



E Thomas St

11th Ave E

12th Ave E

13th Ave E



APPLICATION FOR EARLY DESIGN GUIDANCE

PART I: Contact Information

- 1. Property Address 223 12th Ave. E.
- 2. Project number 3025863
- 3. Additional related project number(s): N/A
- 4. Owner/Lessee Name 233 LLC
- 5. Contact Person Name Bradley Khouri
 - Firm b9 architects
 - Mailing Address 610 2nd Avenue
 - City State Zip Seattle, WA 98104
 - Phone 206.297.1284
 - Email address office@b9architects.com
- 6. Applicant's Name Bradley Khouri
 - Relationship to Project Architect
- 7. Design Professional's Name Bradley Khouri
 - Email address bgk@b9architects.com
- Aleman
 - Project Designer Brian Johnson / David
 - Email address brian@b9architects.com
david@b9architects.com
 - Address 610 2nd Avenue
 - Phone 206.297.1284

PART II: Site and Development Information

- 1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

The existing site is located mid-block on 12th Ave. E in Capitol Hill. The site's topography descends from east to west. The existing triplex structure will be demolished and removed.
- 2. Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.

The lot is zoned LR3 and located within the Capitol Hill Urban Center Village.
- 3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

The immediate neighborhood is residential and consists of various housing typologies, predominantly apartment buildings, townhomes and single family homes. The majority of buildings are older, established and traditional, with some modern buildings adjacent and across the street from the proposal. The development of more contemporary projects is in process within the immediate neighborhood.

Adjacent zones include Neighborhood Commercial to the east and west (at 15th Ave. E. and Broadway E. respectively) and Single Family to the north. Additionally, Cal Anderson Park is two blocks south of the site.
- 4. Please describe the applicant's development objectives, indicating types of desired uses, structure height (approx), number of residential units (approx), amount of commercial square footage (approx), and number of parking stalls (approx). Please also include potential requests for departure from development standards.

The following proposal is for a residential apartment building consisting of approximately 22 units with a mixture of studios and one-bedrooms units; no parking is provided. Approximate structure height is 44', per SMC 23.45.514A and F.

The three design alternatives represent a design exploration and evolution, resulting in a preferred scheme that is contextual in its volume and street engagement; deferential in relation to neighboring buildings; and innovative in its entry experience, courtyard space, building modulation, materiality, and negotiation of old and new within a rich architectural landscape.

Departures requested.

- 1. Facade Length departure required on the north side property line.*
- 2. Facade Length departure required on the south side property line.*
- 3. Setback separation departure required on the front property line.*

SUMMARY OF GUIDANCE

MASSING

Board Recommendation

The Board was generally supportive of the preferred massing Option 3 in terms of height, bulk and scale, as this option gives a much more dynamic feel to the site than the other two options. Board members agreed that Option 3 presents a dynamic solution to what otherwise could have been a block design. The Board also agreed that Option 3 was the best approach in reducing impacts to the adjacent properties. Board member further stated that this option is also the best solution in terms of setbacks. Finally, the Board verbalized that they liked how all of the units were aligned to receive southern light exposure and appreciate how each unit had more than one exterior wall. (CS2-B, CS2-D, DC2-D)

The Board expressed concern that the see through open stair configuration could be impacted by weather conditions as residents in the rear units would have to go outside to gain access to their units. The Board suggested that as the project progresses, the applicant should consider extending the overhead protection as mitigation. (CS2-3, PL2-C, DC2-D)

Summary Response

- The board was supportive of the massing presented at the Early Design Guidance meeting.
- The design has evolved maintaining the approach to massing elements.
- All residential units have southern exposure and at least two exterior walls.
- The proposed plan is still very dynamic resulting from the initial support of the board for the departures requested at EDG.
- The exterior walkway/stair remains at the center of the site and is used to reduce the overall mass of the proposed structure.
- It is generally oriented with its open side to the north. This protects it from the predominant wind and weather (which comes from the southwest in Seattle) on all floors.
- The exterior walkway/stair area is covered from above by the next floor up and the roof of the structure to maintain a pleasant space for residents.
- The interior elevator/stair penthouse provides an indoor route to the roof deck.

Design Guidelines Supported - CS1.B.2, CS1.C.2, CS2.B.3, CS2.D.5, CS2.D, DC2.D

Capitol Hill Supplemental Guidelines Supported - CS2.3



STREETSCAPE

Board Recommendation

The Board was generally supportive of the street oriented 'living (entertainment) room' at ground level. The Board liked this placement as they did not feel that a living unit along 12th Ave would be appropriate. The Board liked the planter located in front of the entertainment room that helps in creating a sense of privacy while still engaging with the street. (CS2-B, CS2-I, PL2-I-i)

The Board felt that as the project design evolves, the applicant should work towards activating the entertainment space in a thoughtful manner. (PL1-C, DC1-A-1, DC3-B)

The Board noted that the service area should be configured in a manner that provides an opportunity for overflow activity from the 'living room' to the outside areas. (PL3-B, DC3-I)

Summary Response

- The community room ("living room") has been located off of the lobby and faces the sidewalk and 12th Avenue E. The board agreed that this was a great location for this space as a residential unit would not be appropriate here.
- Accommodates small groups or one or two people seeking internet access to a place for study and entertainment.
- Oriented to engage the streetscape of 12th Avenue.
- Open the community room to the sidewalk for the full width of the facade.
- Results from decision to shift egress stair away from street facing facade.
- Also results in residential units across the entire facade above the first floor.
- The improvements to the front facade and sidewalk outweigh the desire for windows to the west and south for the community room.
- Orientation of the stair at the interior of the site results in no windows permitted to the south and west of the community room due to an egress corridor adjacent to the exterior walls.

Design Guidelines Supported - CS2.B.2, DC1.A.1, DC2.E

Capitol Hill Supplemental Guidelines Supported - CS2.I, PL2.I.i



SUMMARY OF GUIDANCE

AMENITY AND COURTYARD

Board Recommendation

The Board liked the views to the north courtyard from the ground level pass-through and felt that it could become an interesting space that could be a usable area in conjunction with the visual component of the open stair. The Board also appreciated the small scale trees and shrubs used as a buffer between the neighbor's property to the west. (CS2-B, PL1-C, DC3-B)

The Board verbalized that at the next meeting, they would like to know details regarding the pavers, landscaping and other elements to get a feel of what the might be like and how it might be used. (DC1-II, DC2-D-2, DC4-I, DC4-A)

The Board would also like a better understanding of how the north courtyard and south courtyard are in relationship to the entertainment area and trash area worked and wanted to the material details and the possibility for more landscaping. The Board said that they wanted to see renderings and perspectives of these spaces to get a better feel how these spaces will be used. The Board also wanted to see a view from the sidewalk through the common area specifically as well as better clarity of the front of the building at the ground floor level. (PL2-I-I, PL3, DC1-II)

Summary Response

- The amenity area/courtyard strategy has evolved slightly since EDG.
- The presence of groundwater on site resulted in a shallower excavation to reduce construction impacts from the shallow water below grade.
- As a result, the space at the rear of the site has been developed to provide a shared patio to complement the courtyard internal to the project. The patio is accessible via a ramp from the courtyard and a gate from the sidewalk.
- This strategy provides a variety of outdoor spaces at grade for the residents.
- Both spaces will feature a mix of planters or landscape and hardscape.
- In addition a large roof top deck is provided with several sitting areas oriented to the south and west.

Design Guidelines Supported - CS2.B, PL1.C, DC3.B, DC2.D.2
Capitol Hill Supplemental Guidelines Supported - PL3



LANDSCAPE

Board Recommendation

The Board supported the overall approach to the landscaping elements and verbalized support for the interesting landscape design that is not specifically designed to be occupied. The Board liked that there will be small glimpses of landscape seen through the open pass-through space. (DC1-A4, DC3-B)

The Board expressed that they would like to see more connectivity from the common indoor space to the first courtyard and side sidewalk if possible and noted interest in the opportunity to provide landscaping in the vicinity of the trash area. (DC1-A-2, DC1-II, DC3-B)

Summary Response

- A robust landscape design includes a new planting strip adjacent to the right-of-way, a planter outside the indoor community room, several planters in the central courtyard, and a robust landscape plan for the rear 15 feet of the site to create a green buffer to the western neighbor.
- As noted in our response under Streetscape, additional transparency is not feasible to the south and west of the indoor community room due to building code requirements for egress. There is abundant transparency at the center of the site in the courtyard and the exterior walkways for residents and opens the community room to the sidewalk for the full width of the facade.

Design Guidelines Supported - DC1.A.4, DC3.B
Capitol Hill Supplemental Guidelines Supported - DC3.II5

MATERIAL

Board Recommendation

The Board generally agreed with the scale of materials to be used on the exterior of the project. (DC4-A, DC4-I)

The Board advocated for the use of materials that have texture, scale and potential for shadow lines while stating that materials should be elegant and as well as understated. (DC4-I, DC4-A, DC2-D, DC4-II)

The Board stated that proportionally the windows seemed small and there might an opportunity to explore the massing of the front entry bump out and its relationship to window placement and sizing. DC4-I, DC4-II

Summary Response

To add scale to the structure, this modern design approach uses durable materials in a manner consistent with the neighborhood.

- Clad in various sizes and tones of fiber cement board to create a mix of textures and surfaces.
- 12th Avenue facade includes a variety of colors and materials to delineate uses and openings.
- Areas of wood siding highlight the entry from 12th Avenue E.
- Windows have been enlarged in response to the Board guidance.
- Modulation has been added at the 12th Avenue facade to better articulate the building entry and add more visual interest and scale to the facade. An additional departure has been requested for this massing projection.

Design Guidelines Supported - DC2.D, DC4.A
Capitol Hill Supplemental Guidelines Supported - DC4.I, DC4.II



MASSING



View Looking Southwest

- The board was supportive of the massing presented at the Early Design Guidance meeting.
- The design has evolved maintaining the approach to massing elements.
- All residential units have southern exposure and at least two exterior walls.
- The proposed plan is still very dynamic resulting from the initial support of the board for the departures requested at EDG.
- The exterior walkway/stair remains at the center of the site and is used to reduce the overall mass of the proposed structure.
- It is generally oriented with its open side to the north. This protects it from the predominant wind and weather (which comes from the southwest in Seattle) on all floors.
- The exterior walkway/stair area is covered from above by the next floor up and the roof of the structure to maintain a pleasant space for residents.
- The interior elevator/stair penthouse provides an indoor route to the roof deck.

Design Guidelines Supported - CS1.B.2, CS1.C.2, CS2.B.3, CS2.D.5, CS2.D, DC2.D

Capitol Hill Supplemental Guidelines Supported - CS2.3



View Looking Southwest at EDG



Aerial View Looking Northwest



Aerial View Looking Northwest at EDG

STREETSCAPE

- The community room (“living room”) has been located off of the lobby and faces the sidewalk and 12th Avenue E. The board agreed that this was a great location for this space as a residential unit would not be appropriate here.
- Accommodates small groups or one or two people seeking internet access to a place for study and entertainment.
- Oriented to engage the streetscape of 12th Avenue.
- Open the community room to the sidewalk for the full width of the facade.
- Results from decision to shift egress stair away from street facing facade.
- Also results in residential units across the entire facade above the first floor.
- The improvements to the front facade and sidewalk outweigh the desire for windows to the west and south for the community room.
- Orientation of the stair at the interior of the site results in no windows permitted to the south and west of the community room due to an egress corridor adjacent to the exterior walls.



View looking Northwest

Design Guidelines Supported - CS2.B.2, DC1.A.1, DC2.E
Capitol Hill Supplemental Guidelines Supported - CS2.I, PL2.I.i



View Looking Northwest at EDG



Street View looking Northwest

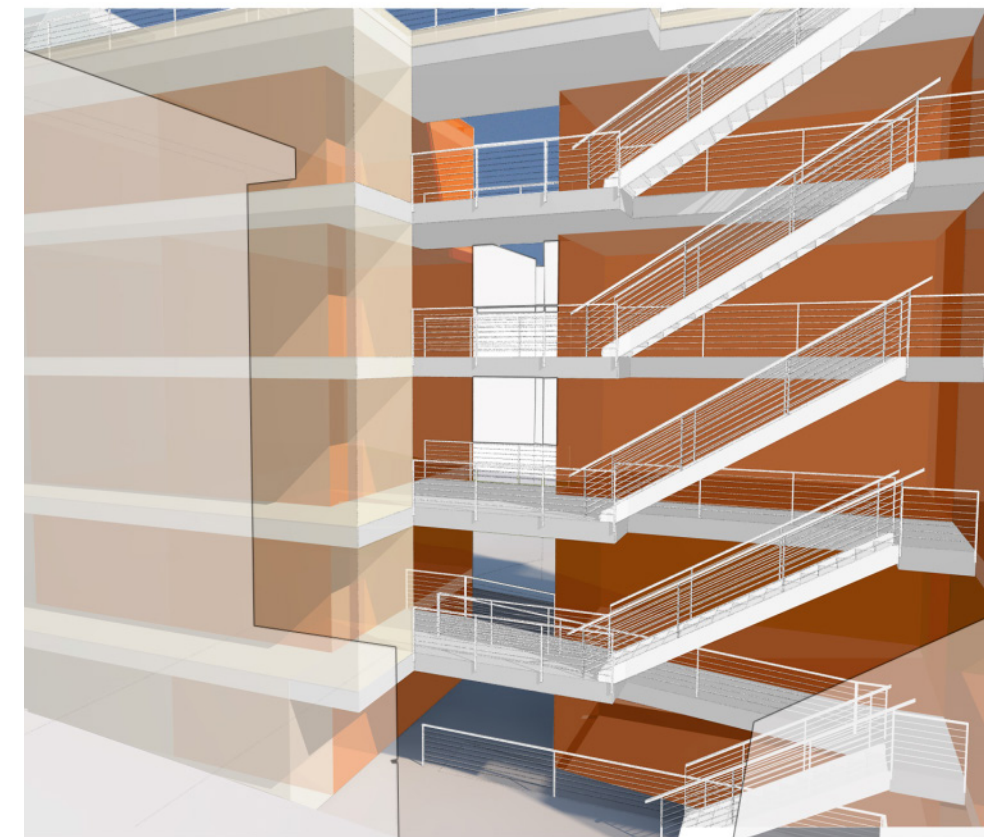
AMENITY AND COURTYARD

- The amenity area/courtyard strategy has evolved slightly since EDG.
- The presence of groundwater on site resulted in a shallower excavation to reduce construction impacts from the shallow water below grade.
- As a result, the space at the rear of the site has been developed to provide a shared patio to complement the courtyard internal to the project. The patio is accessible via a ramp from the courtyard and a gate from the sidewalk.
- This strategy provides a variety of outdoor spaces at grade for the residents.
- Both spaces will feature a mix of planters or landscape and hardscape.
- In addition a large roof top deck is provided with several sitting areas oriented to the south and west.

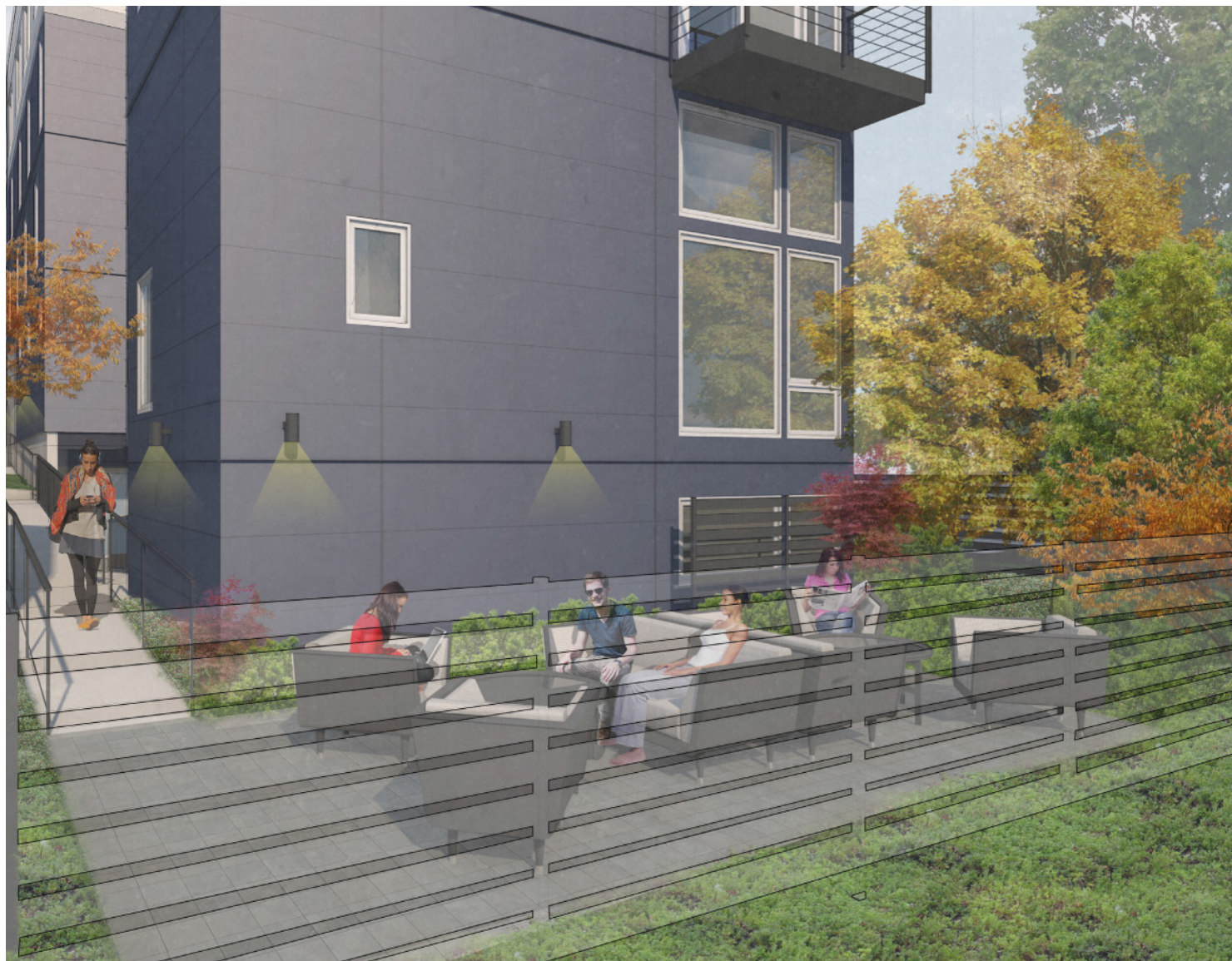
Design Guidelines Supported - CS2.B, PL1.C, DC3.B, DC2.D.2
Capitol Hill Supplemental Guidelines Supported - PL3



Aerial View Looking Southeast



Aerial View Looking Southeast at EDG



Courtyard View Looking Southwest



Amenity Area Looking Southeast

MATERIALS

To add scale to the structure, this modern design approach uses durable materials in a manner consistent with the neighborhood.

- Clad in various sizes and tones of fiber cement board to create a mix of textures and surfaces.
- 12th Avenue facade includes a variety of colors and materials to delineate uses and openings.
- Areas of wood siding highlight the entry from 12th Avenue E.
- Windows have been enlarged in response to the Board guidance.
- Modulation has been added at the 12th Avenue facade to better articulate the building entry and add more visual interest and scale to the facade. An additional departure has been requested for this massing projection.

Design Guidelines Supported - **DC2.D, DC4.A**

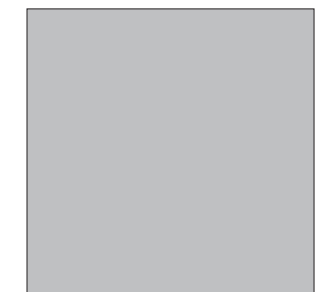
Capitol Hill Supplemental Guidelines Supported - **DC4.I, DC4.II**



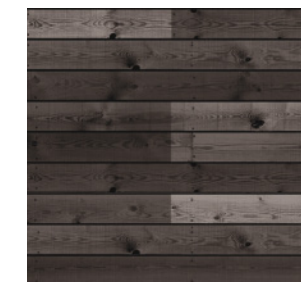
1. CEMENT BOARD
BM 2129-30
BLUE NOTE



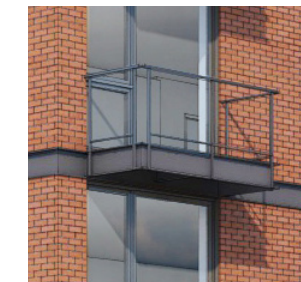
2. CEMENT BOARD
SW 7065
ARGOS



3. CEMENT BOARD
SW 7066
GRAY MATTERS



4. WOOD SIDING
CABOT STAIN
SEMI-TRANSPARENT
COLORED BLACK

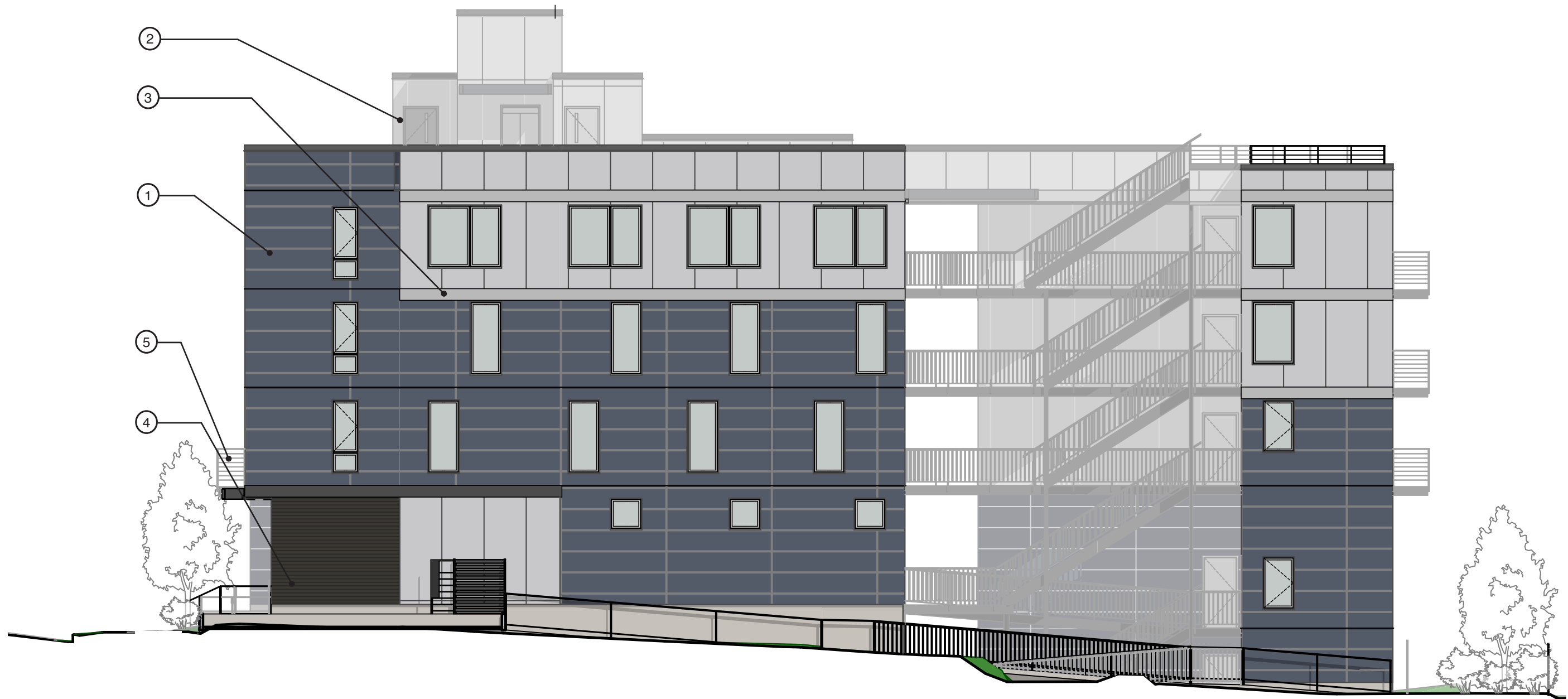


5. POWDER COATED STEEL
MATTE BLACK



6. POWDER COATED STEEL
MATTE BLACK

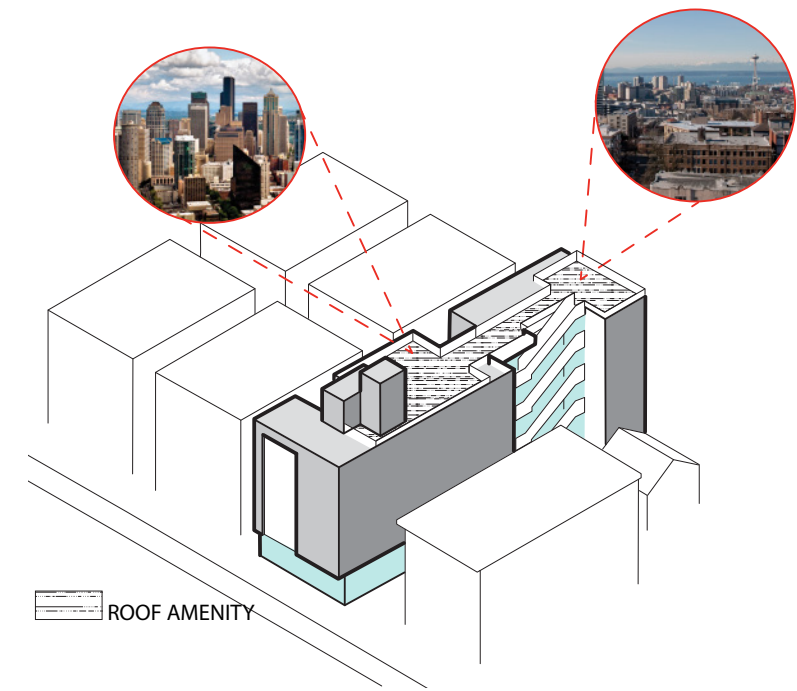
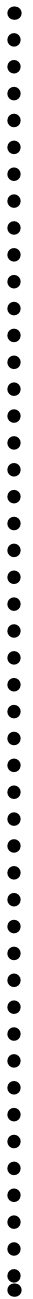
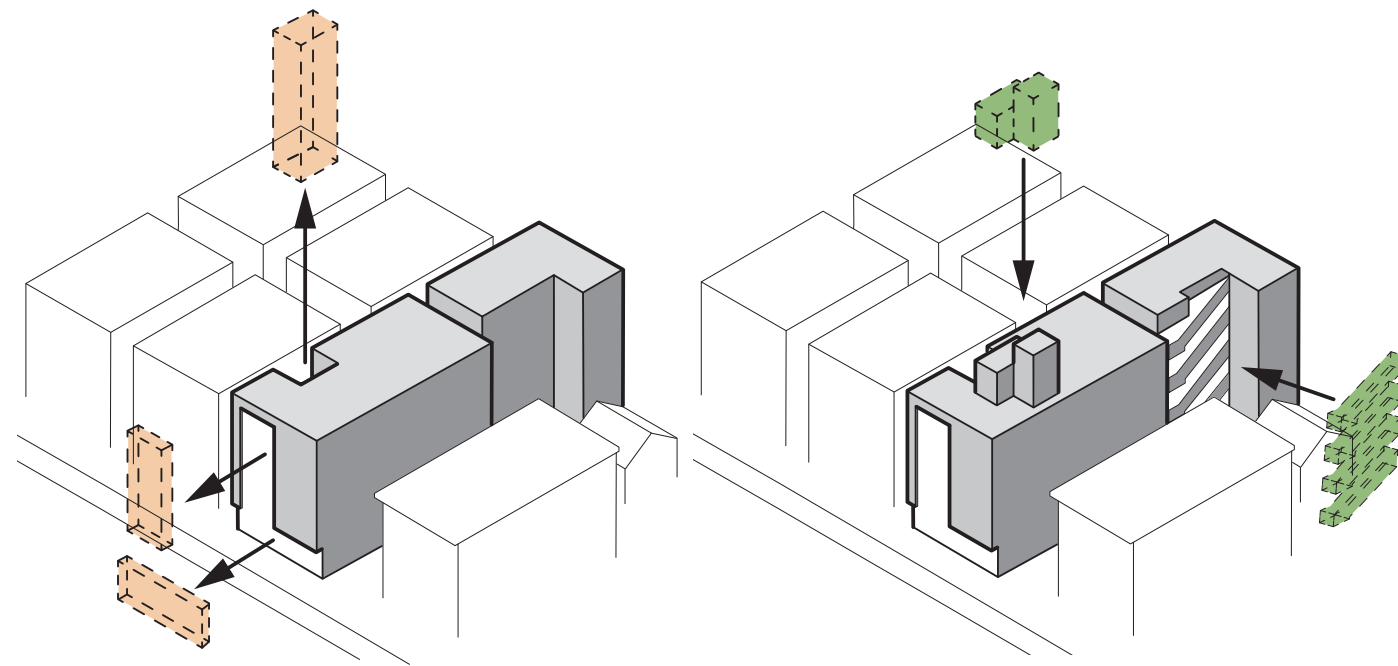
East Rendered Elevation



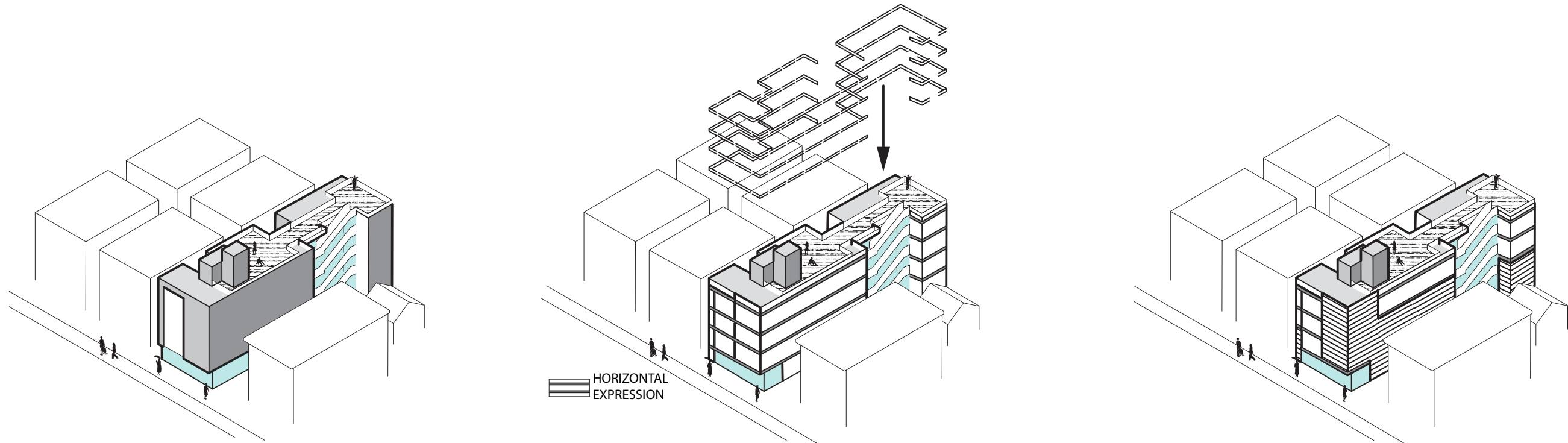
South Rendered Elevation

DESIGN EVOLUTION

← Design proposal at EDG meeting Design proposal evolution since EDG meeting →

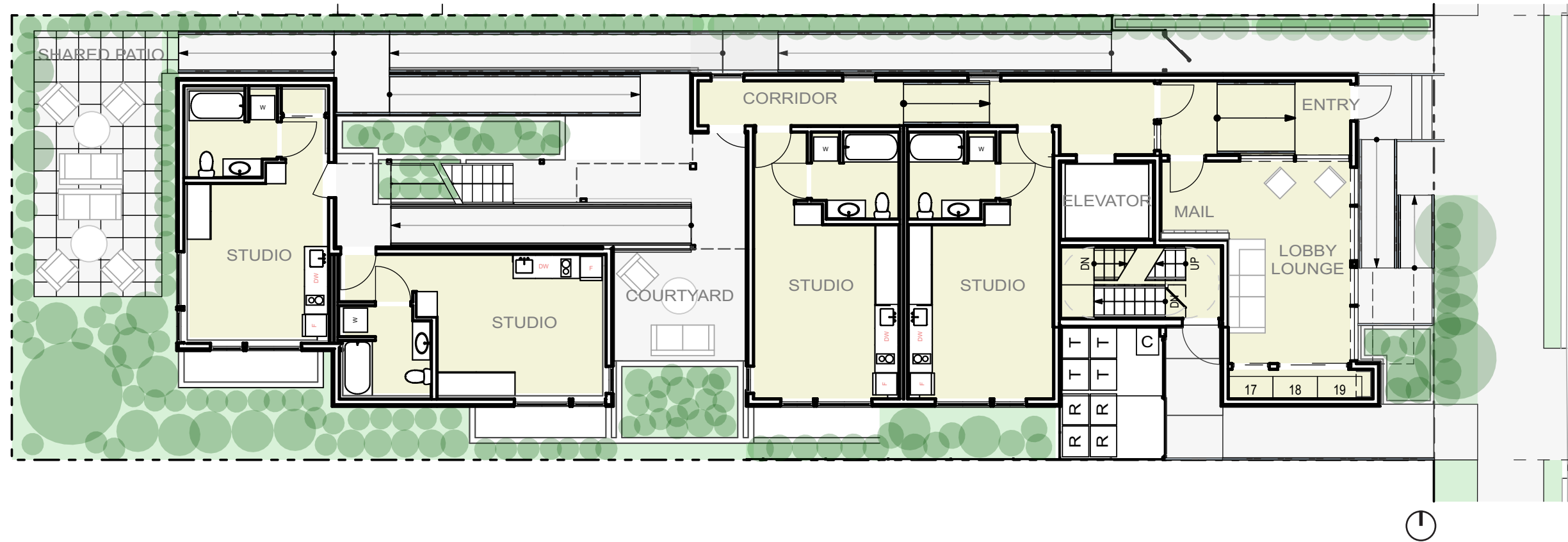


DESIGN EVOLUTION

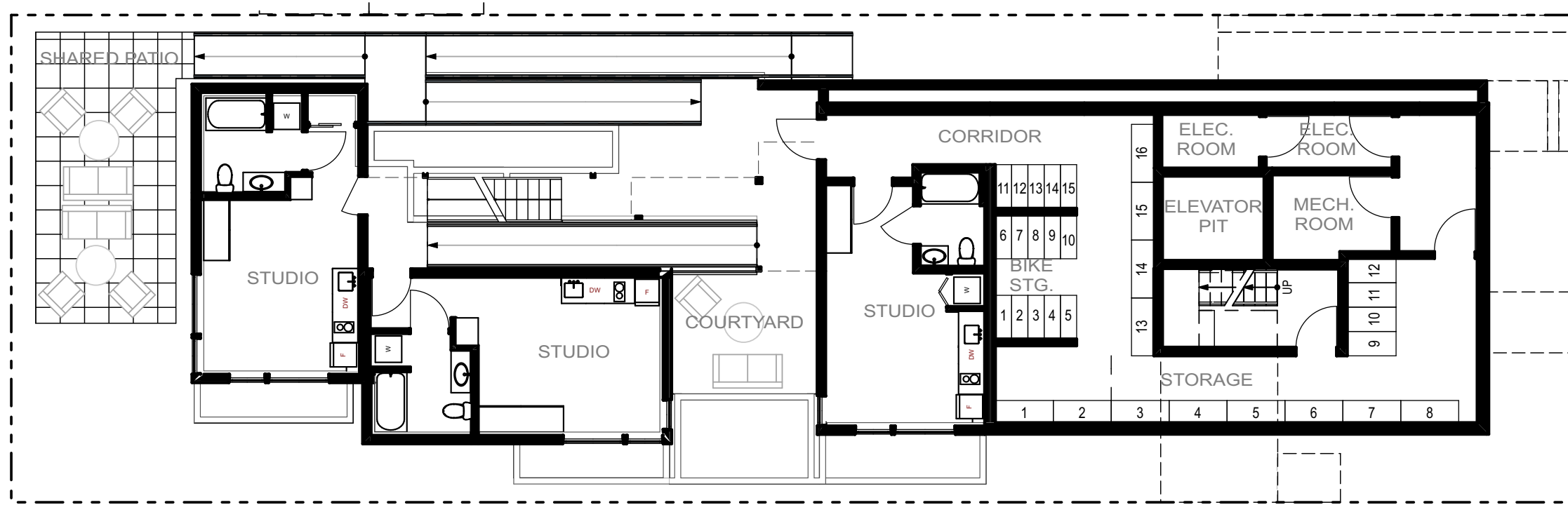


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SITE PLAN

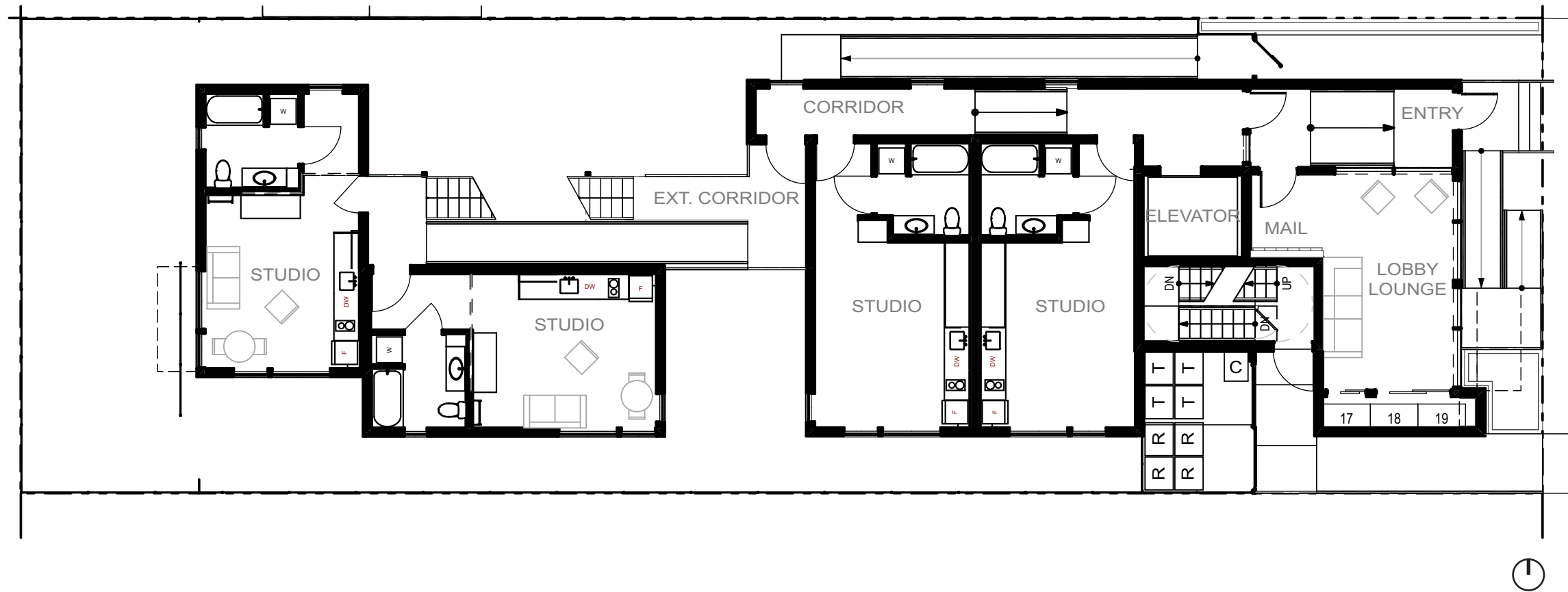


Composite Site Plan

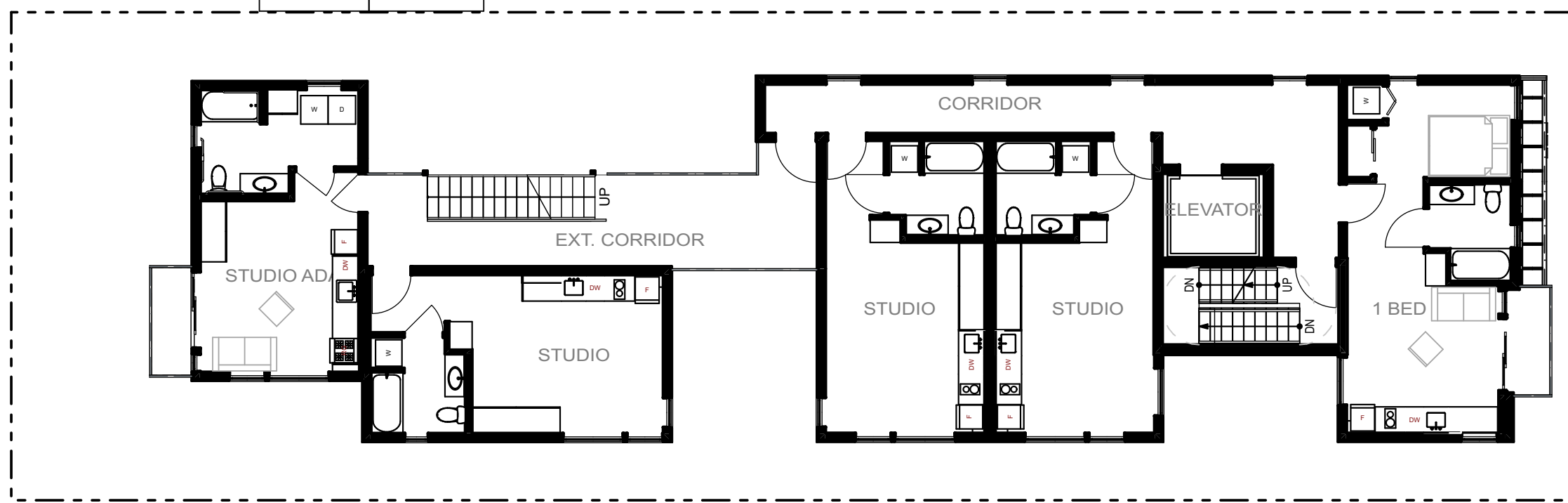


Basement Floor Plan

FLOOR PLANS

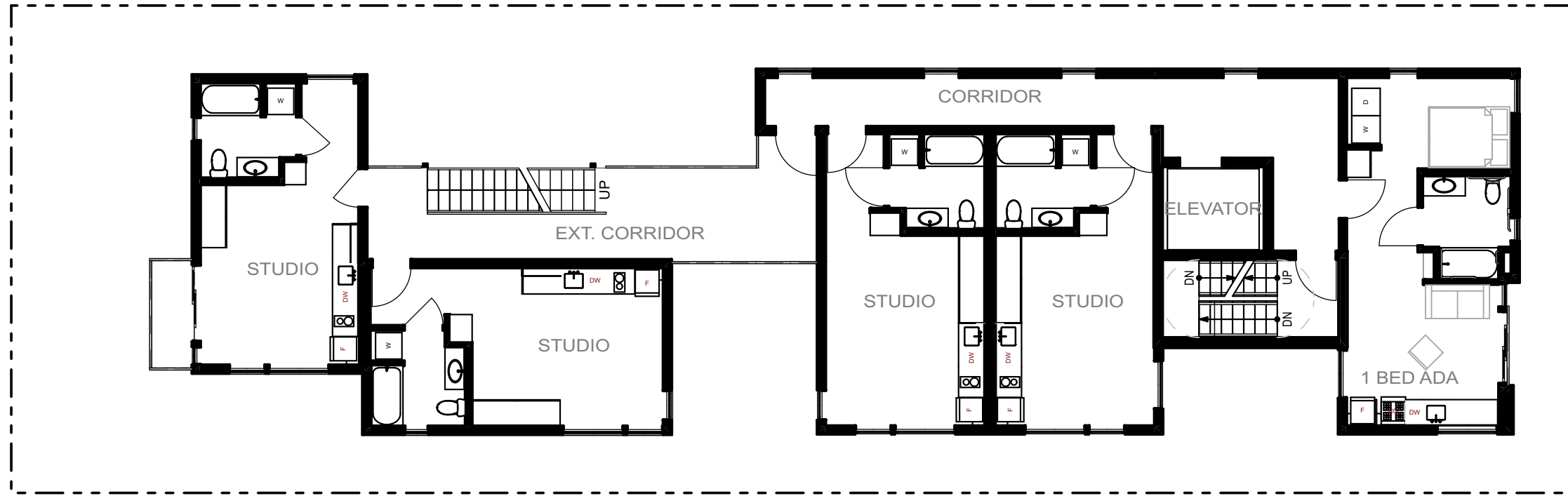


First Floor Plan

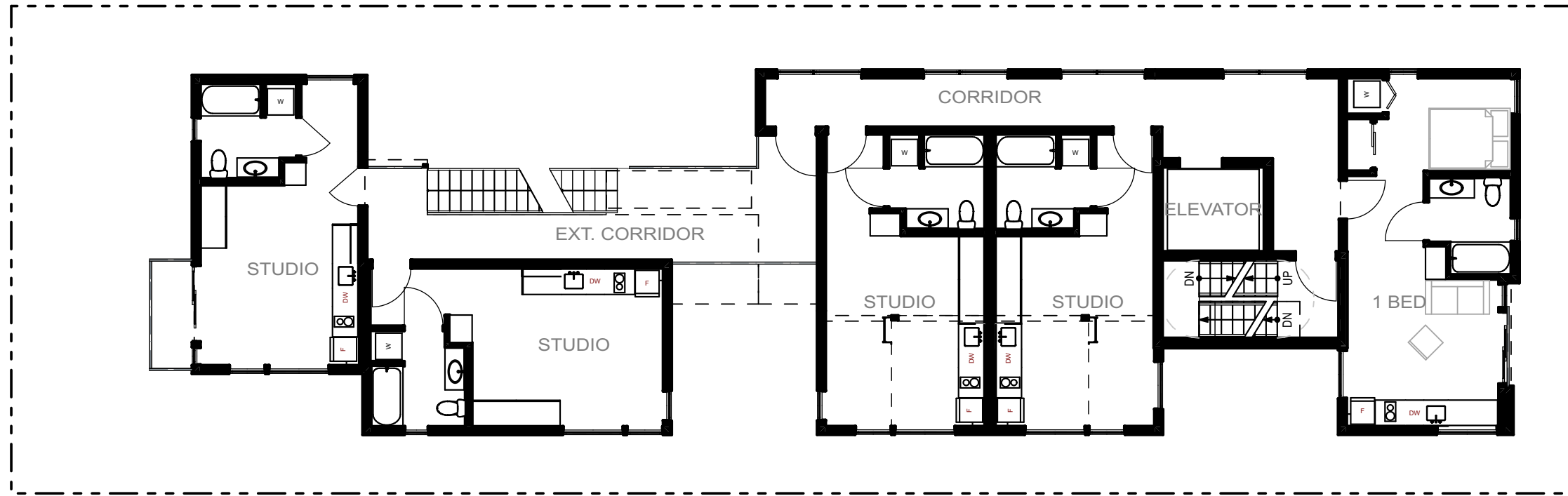


Second Floor Plan

FLOOR PLANS

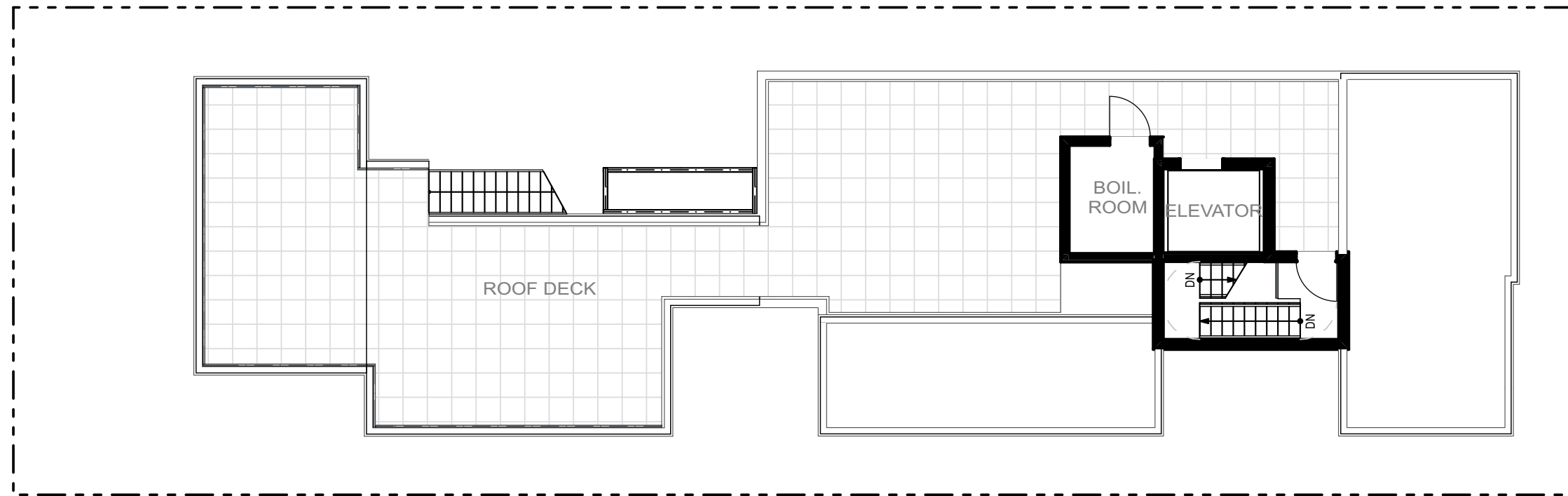


Third Floor Plan

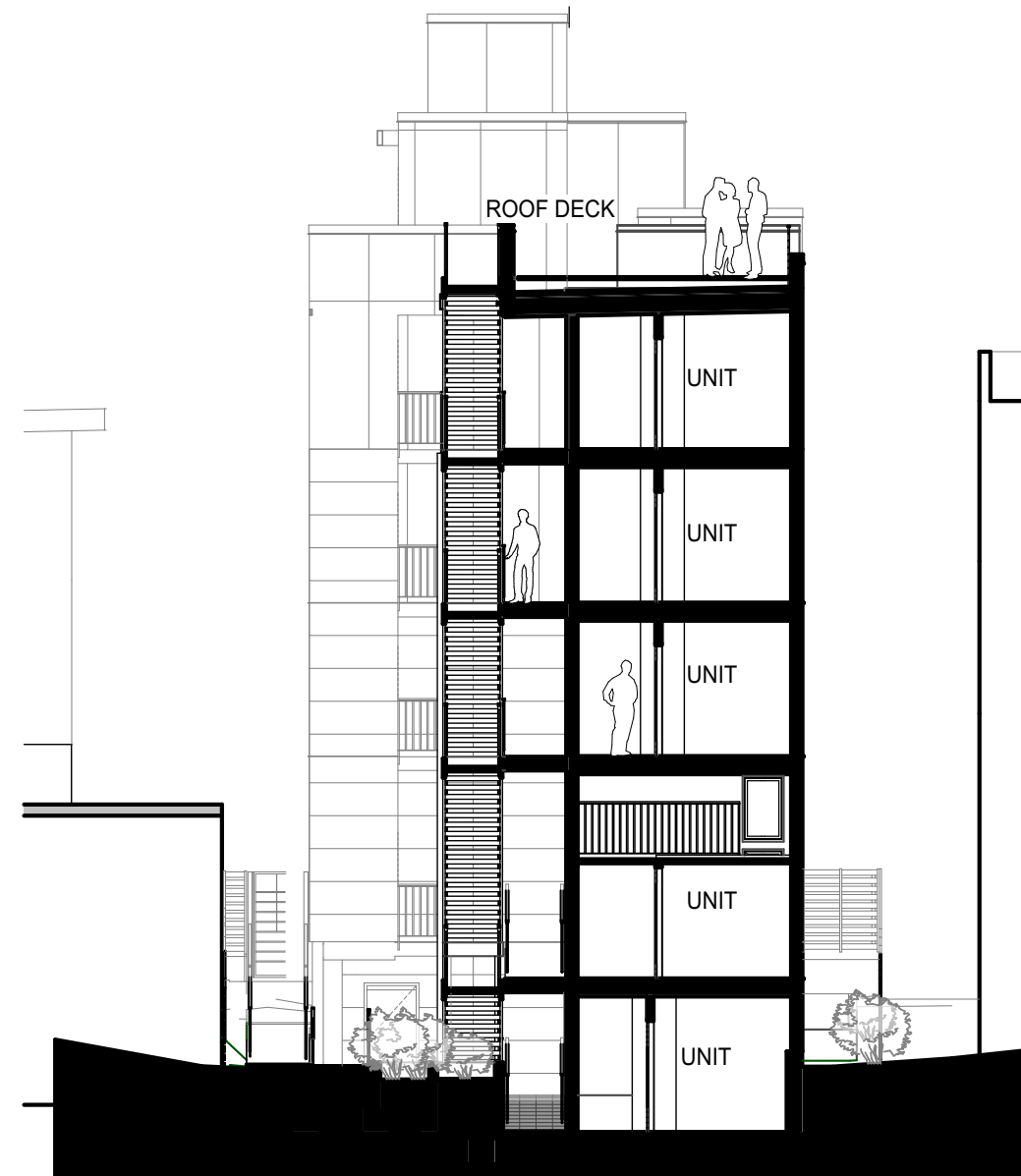
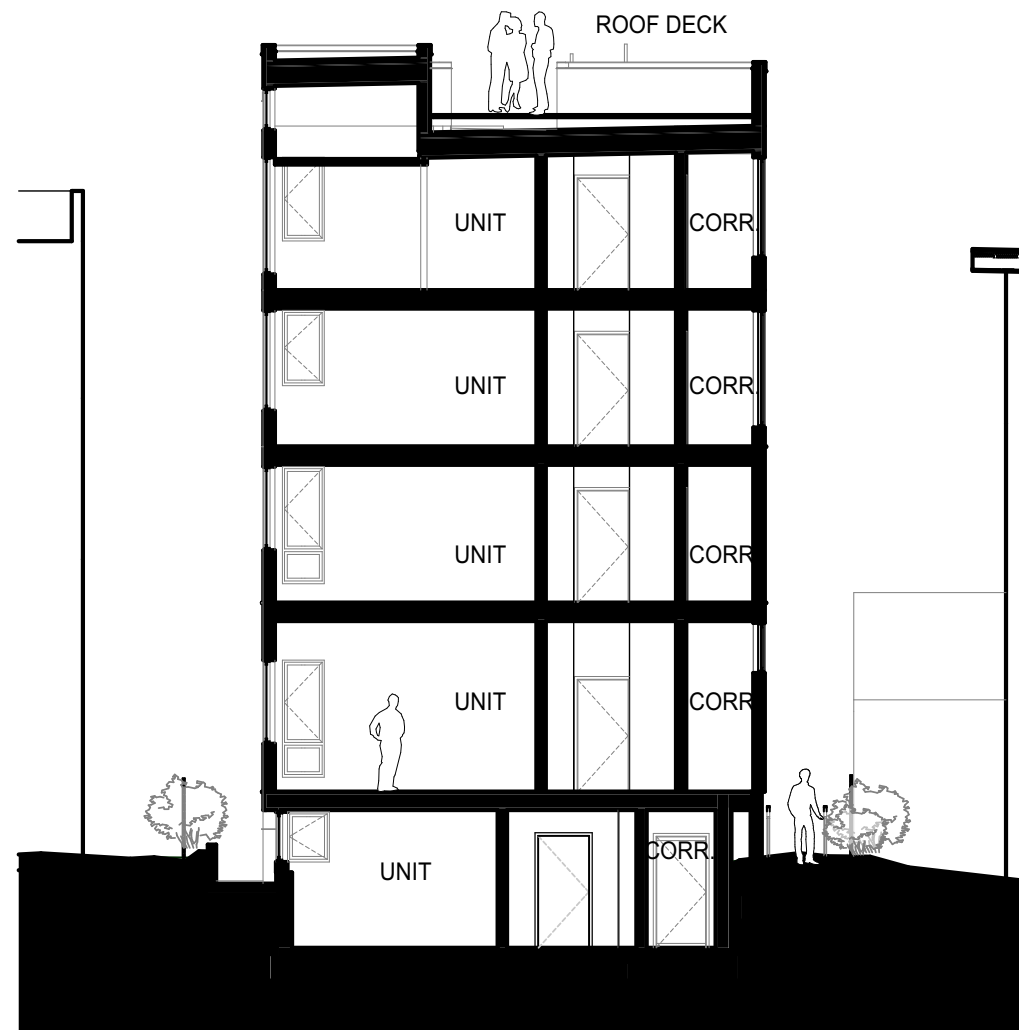


Fourth Floor Plan

FLOOR PLANS

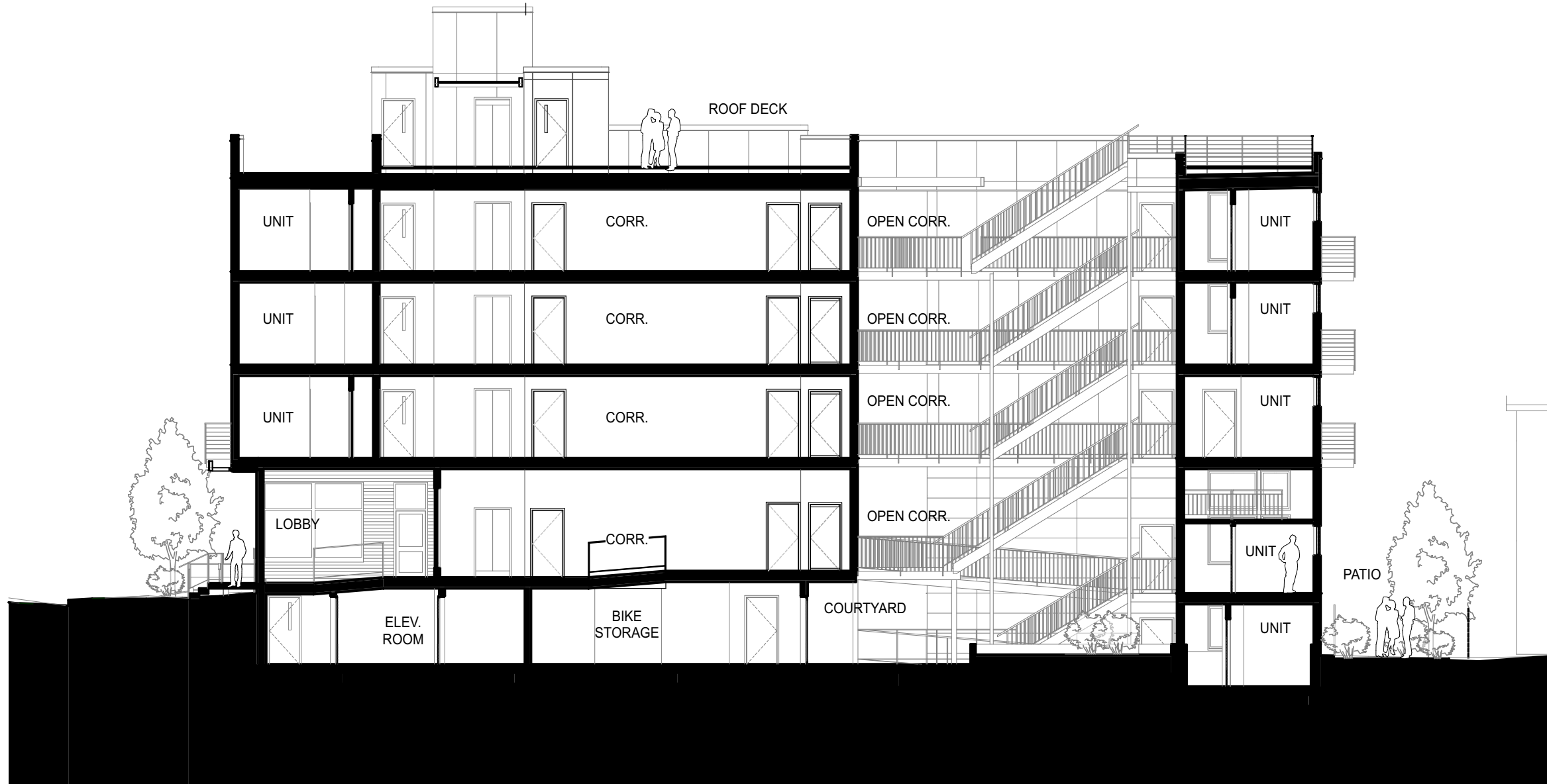


Roof Deck Plan



Transverse Sections

BUILDING SECTIONS

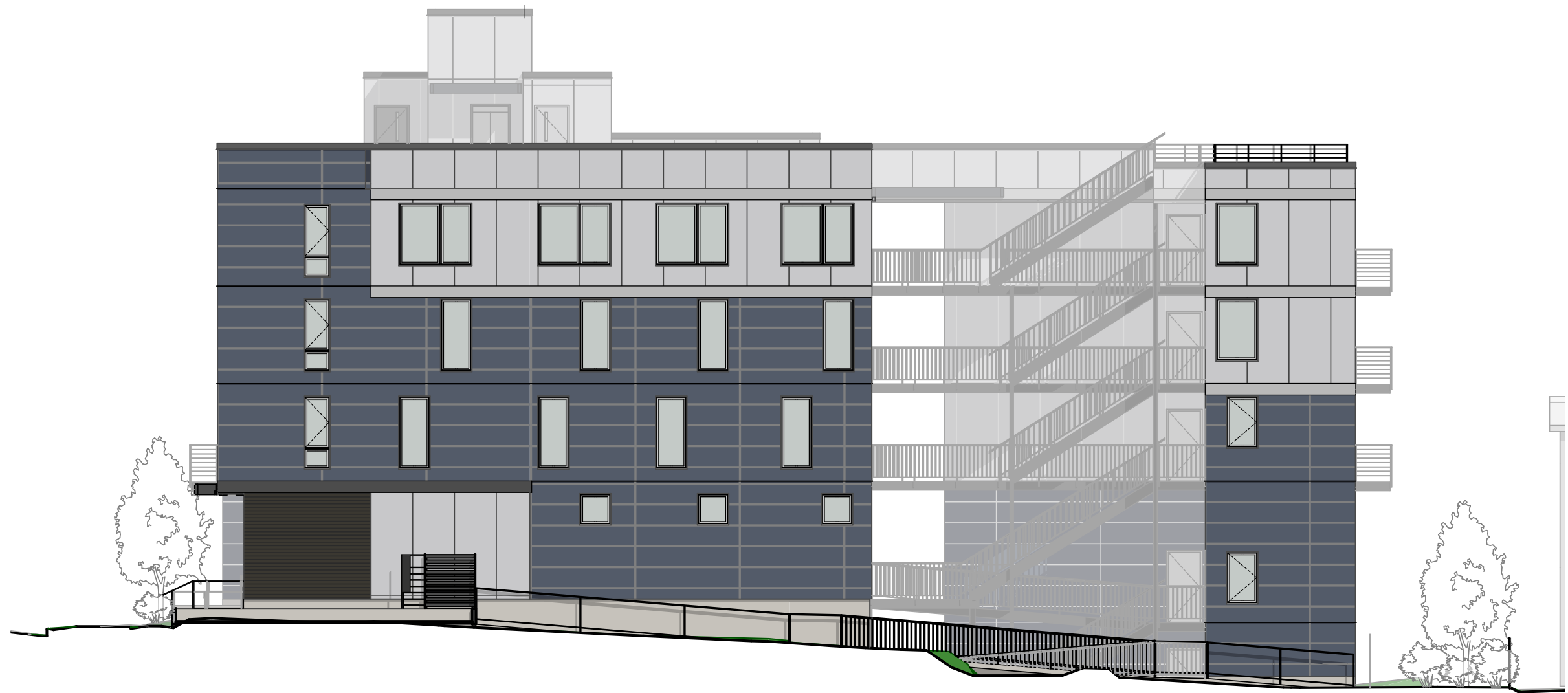


Longitudinal Section



East Rendered Elevation

RENDERED ELEVATIONS



South Rendered Elevation



West Rendered Elevation

RENDERED ELEVATIONS



South Rendered Elevation

STREET CONNECTION



Building signage location

The community room ("living room") has been located off of the lobby and faces the sidewalk and 12th Avenue E.

Proposed large planter has been located between the proposed structure and the right of way to provide a level of privacy without creating a visual barrier.

Street view Looking South

WASTE STORAGE

Gate to trash area to be black powder-coated steel.



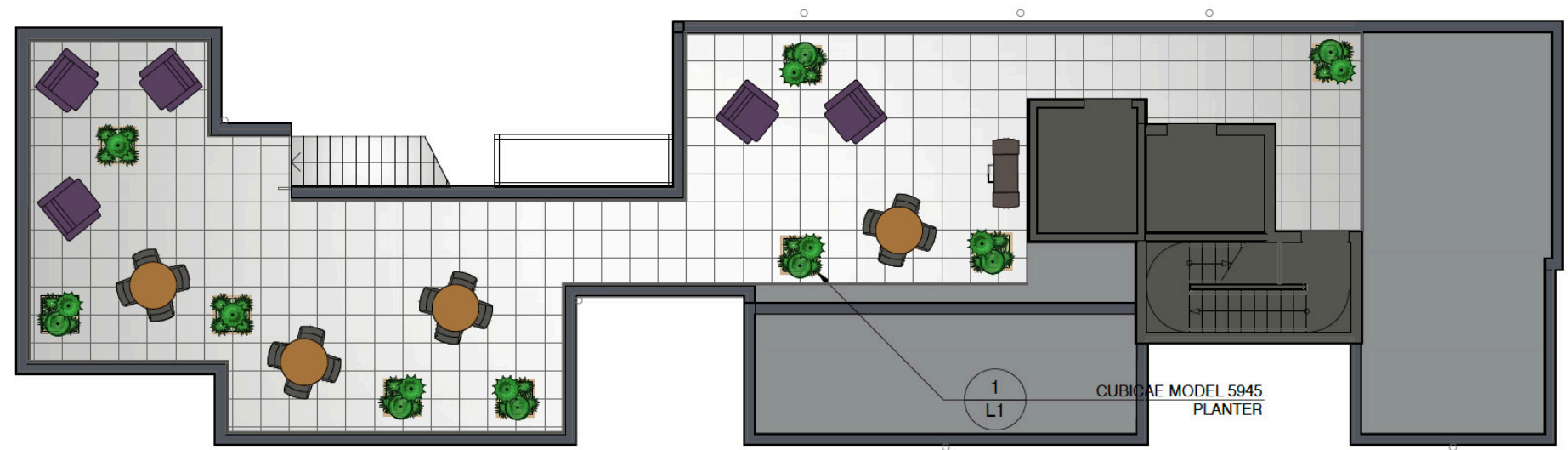
Street View looking Northwest

LANDSCAPE

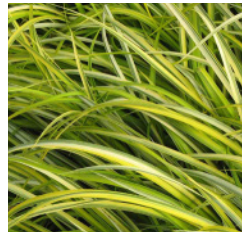
A robust landscape design includes a large planter adjacent to the right-of-way, several planters in the central courtyard, and a robust landscape plan for the rear 15 feet of the site to create a green buffer to the western neighbor. Shifting the egress stair away from street-facing facade, a design feature of the design alternative supported by the Design Review Board, provides residential units across the entire facade above grade and opens the community room to the sidewalk for the full width of the facade.

This orientation and location combined with egress requirements of the Building Code, prevents the inclusion of any windows to the south and west. We believe that the benefits to the street facade and sidewalk environment outweigh the desire for windows through the community room into the site.

Design Guidelines Supported - DC1.A.4, DC3.B
Capitol Hill Supplemental Guidelines Supported - DC3.II5.



LANDSCAPE



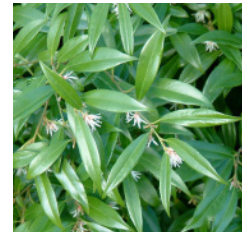
Acorus gramineus



Cornus Alba



Dryopteris-erythrosora



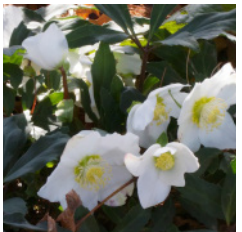
Dwarf sweet



Fatsia Japonica



Gaultheria Shallon



Helleborus



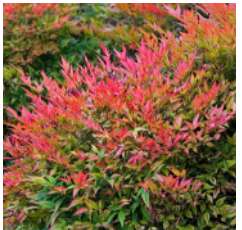
Ice Dance Carex



Ilex crenata



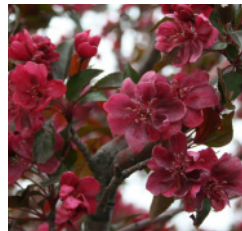
Mahonia Aquifolium



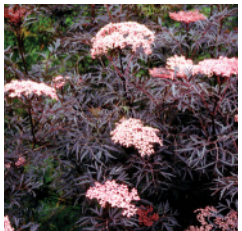
Nandia Domestica



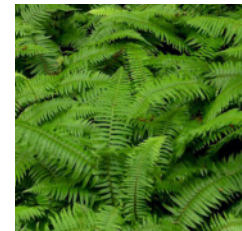
Prunus "Mnt Vernon"



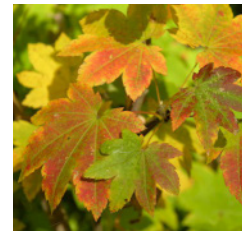
Red Barron



Sambucus nigra



Sword Fern

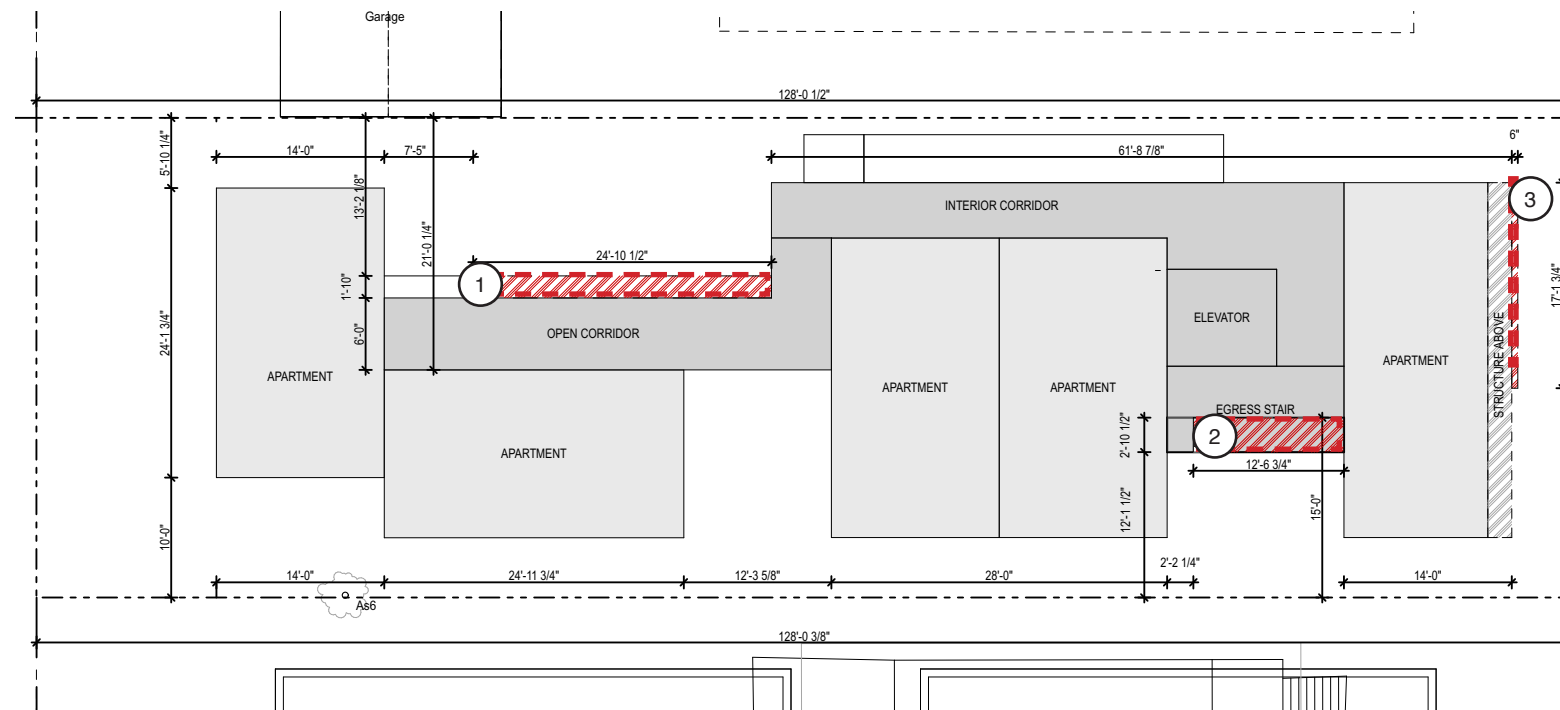


Vine Maple

DEPARTURES SUMMARY

ITEM	CODE SECTION	REQUIRED	PROVIDED	AMOUNT OF DEPARTURE	JUSTIFICATION	SUPPORTED DESIGN GUIDANCE
1	NORTH SIDE FAÇADE LENGTH SMC 23.45.527.B.1	THE MAXIMUM COMBINED LENGTH OF ALL PORTIONS OF FACADES WITHIN 15 FEET OF A LOT LINE THAT IS NEITHER A REAR LOT LINE NOR A STREET OR ALLEY LOT LINE SHALL NOT EXCEED 65 PERCENT OF THE LENGTH OF THAT LOT LINE, EXCEPT AS SPECIFIED IN SUBSECTION 23.45.527.B.2.	REQUIRED 83'-2" MAXIMUM IN NORTH FAÇADE. 113'-3 1/4" PROPOSED FAÇADE; 1'-10" DEPARTURE FOR 24'-10 1/2" LENGTH; 75'-9" PROPOSED WITHIN 13'-2" OF THE NORTH SIDE LOT LINE	1'-10" DEPARTURE FOR 24'-10 1/2" LENGTH FROM 15 FOOT TO 13'-2" DISTANCE AT NORTH SIDE FAÇADE LENGTH	THE INCREASE IN FAÇADE LENGTH ALONG THE NORTH SIDE OF THE PROPERTY RESULTS FROM A DESIRE TO REDUCE THE OVERALL MASSING OF THE PROPOSAL BY INTRODUCING A STRAIGHT RUN EXTERIOR STAIR AND WALKWAY. THIS RESULTS IN A MORE VARIED MASSING ALONG THE NORTH SIDE OF THE PROPOSAL. THE NORTH WALL OF THE PROPOSED STRUCTURE IN THIS LOCATION PROVIDES A 21-FOOT SETBACK TO THE NORTH PROPERTY LINE AND WOULD NOT CONTRIBUTE TO THE FAÇADE LENGTH CALCULATION IF NOT FOR THE EXTERIOR STAIR AND WALKWAY. THE AVERAGE SIDE SETBACK IS 7.5 FEET, GREATER THAN THE REQUIRED AVERAGE SETBACK OF 7 FEET	CS1.B SUNLIGHT AND VENTILATION; CS2.D HEIGHT, BULK, & SCALE; CS.2.B ADJACENT SITES, STREETS, AND OPEN SPACES, CS2.C RELATIONSHIP TO BLOCK; PL1.A NETWORK OF OPEN SPACES; PL1.B WALKWAYS AND CONNECTIONS; DC2.A MASSING; DC2.B ARCHITECTURAL FAÇADE COMPOSITION, DC2.C SECONDARY ARCHITECTURAL FEATURES; DC2.D SCALE AND TEXTURE; DC3.A BUILDING-OPEN SPACE RELATIONSHIP; DC3.B OPEN SPACES USES AND ACTIVITIES; DC3.C DESIGN CAPITOL HILL SUPPLEMENTAL: CS2 HEIGHT, BULK AND SCALE; PL2 HUMAN SCALE; PERSONAL SAFETY AND SECURITY; PL3 HUMAN ACTIVITY
2	SOUTH SIDE FAÇADE LENGTH SMC 23.45.527.B.1	THE MAXIMUM COMBINED LENGTH OF ALL PORTIONS OF FACADES WITHIN 15 FEET OF A LOT LINE THAT IS NEITHER A REAR LOT LINE NOR A STREET OR ALLEY LOT LINE SHALL NOT EXCEED 65 PERCENT OF THE LENGTH OF THAT LOT LINE, EXCEPT AS SPECIFIED IN SUBSECTION 23.45.527.B.2.	REQUIRED 83'-2" MAXIMUM IN SOUTH FAÇADE. 113'-3 1/4" PROPOSED FAÇADE; 2'-10 1/2" DEPARTURE FOR 12'-6 3/4' LENGTH; 80' 11 3/4" PROPOSED WITHIN 14'-1" OF THE SOUTH SIDE LOT LINE	2'-10 1/2" DEPARTURE FOR 12'-6 3/4' LENGTH FROM 15 FOOT TO 14' 1" DISTANCE AT SOUTH SIDE FAÇADE LENGTH	THE INCREASE IN FAÇADE LENGTH ALONG THE SOUTH SIDE OF THE PROPERTY RESULTS FROM A DESIRE TO PROVIDE A MORE VARIED MASSING APPROACH WITH SMALLER SECTIONS OF WALL. IN RESPONSE TO THIS APPROACH THERE IS A SECTION OF THE FAÇADE THAT IS LOCATED 10 FEET FROM THE SOUTH PROPERTY LINE AT THE REAR OF THE SITE. THE AVERAGE SIDE SETBACK IS 8.5 FEET, GREATER THAN THE REQUIRED AVERAGE SETBACK OF 7 FEET.	CS1.B SUNLIGHT AND VENTILATION; CS2.D HEIGHT, BULK, & SCALE; CS.2.B ADJACENT SITES, STREETS, AND OPEN SPACES, CS2.C RELATIONSHIP TO BLOCK; PL1.A NETWORK OF OPEN SPACES; PL1.B WALKWAYS AND CONNECTIONS; DC2.A MASSING; DC2.B ARCHITECTURAL FAÇADE COMPOSITION, DC2.C SECONDARY ARCHITECTURAL FEATURES; DC2.D SCALE AND TEXTURE; DC3.A BUILDING-OPEN SPACE RELATIONSHIP; DC3.B OPEN SPACES USES AND ACTIVITIES; DC3.C DESIGN CAPITOL HILL SUPPLEMENTAL: CS2 HEIGHT, BULK AND SCALE; PL2 HUMAN SCALE; PERSONAL SAFETY AND SECURITY; PL3 HUMAN ACTIVITY
3	SETBACKS AND SEPARATIONS SMC 23.45.518	FRONT SETBACK REQUIRED SEPARATION IN APARTMENTS IS 5 FEET MINIMUM FOR THE LR ZONES ARE SHOWN IN TABLE A 23.45.518.	REQUIRED 5'-0" MINIMUM IN FRONT FAÇADE. 4'-6" PROPOSED	6" DEPARTURE FOR 17'-6 3/8" AT THE THREE UPPER LEVELS ONLY.	THE REDUCTION IN THE MINIMUM FRONT SETBACK IS TO ALLOW FOR MODULATION OF THE STREET-FACING FAÇADE. IT ALLOWS FOR A BREAK IN MATERIAL AND ADDS DEPTH AND VISUAL INTEREST TO THE FAÇADE. THE GROUND FLOOR PROVIDES A 5-FOOT CODE COMPLIANT SETBACK.	DC2.A MASSING; DC2.B ARCHITECTURAL AND FAÇADE COMPOSITION; DC2.C SECONDARY ARCHITECTURAL FEATURES; CAPITOL HILL SUPPLEMENTAL: CS2 HEIGHT, BULK AND SCALE; PL2 HUMAN SCALE

DEPARTURES DIAGRAMS



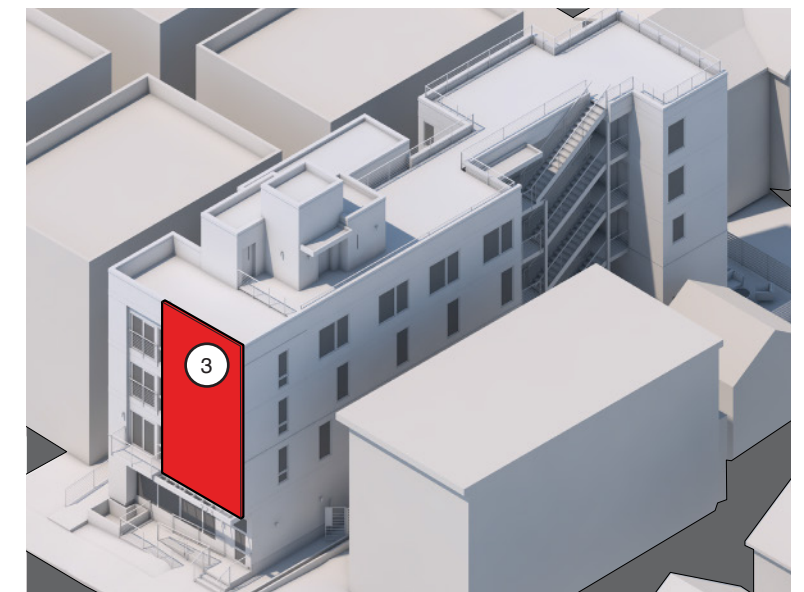
Departure Plan



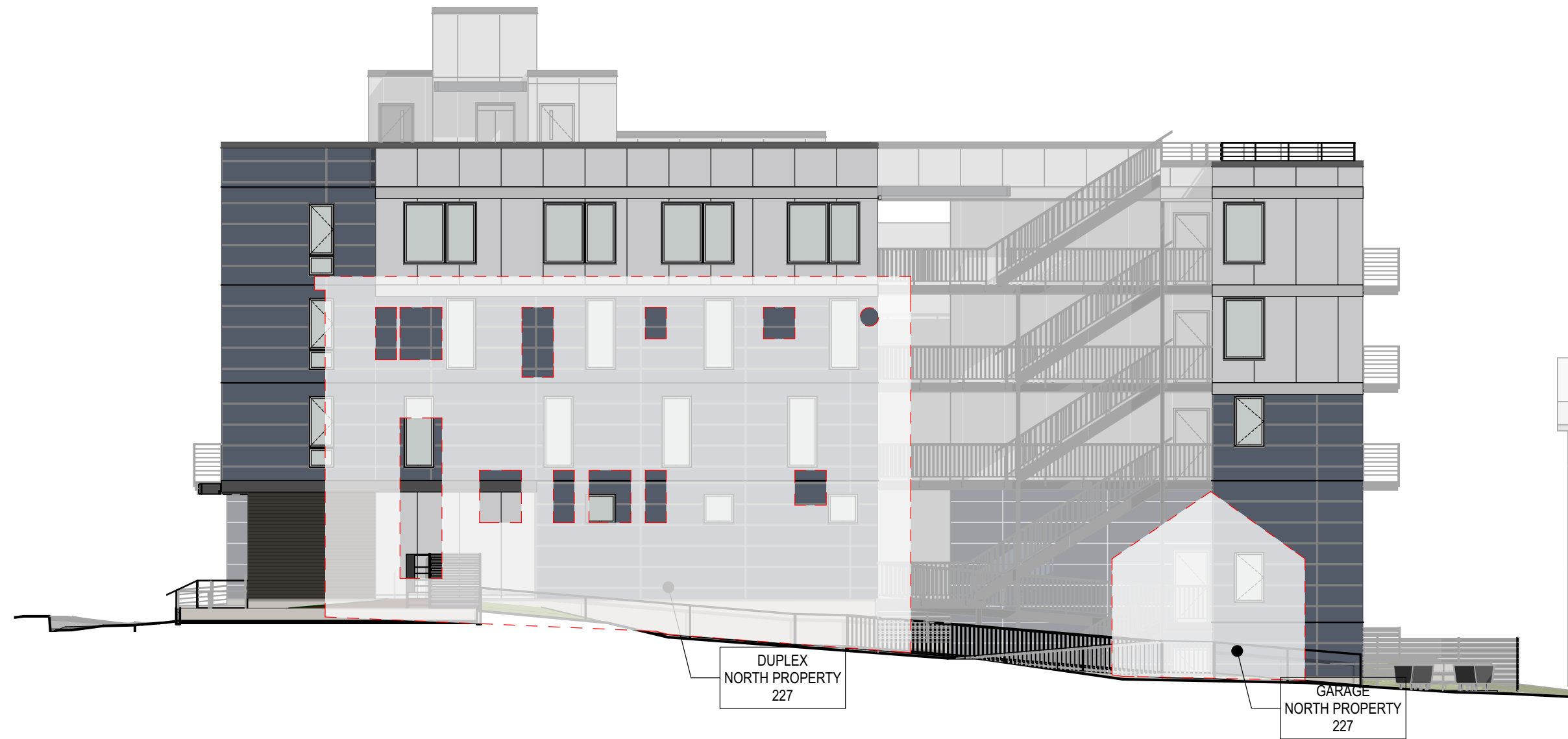
Departure 1 View



Departure 2 View



Departure 3 View



North Privacy Elevation

PRIVACY ELEVATIONS



South Privacy Elevation

SHADOW STUDIES

MARCH

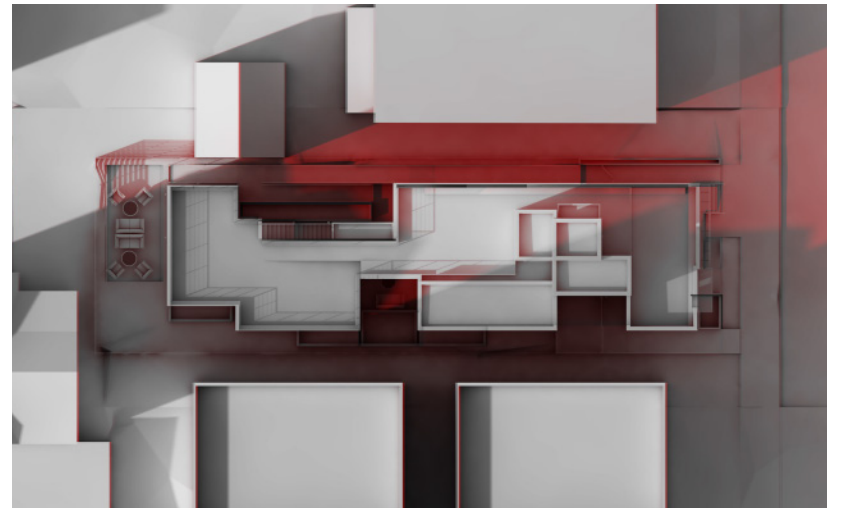
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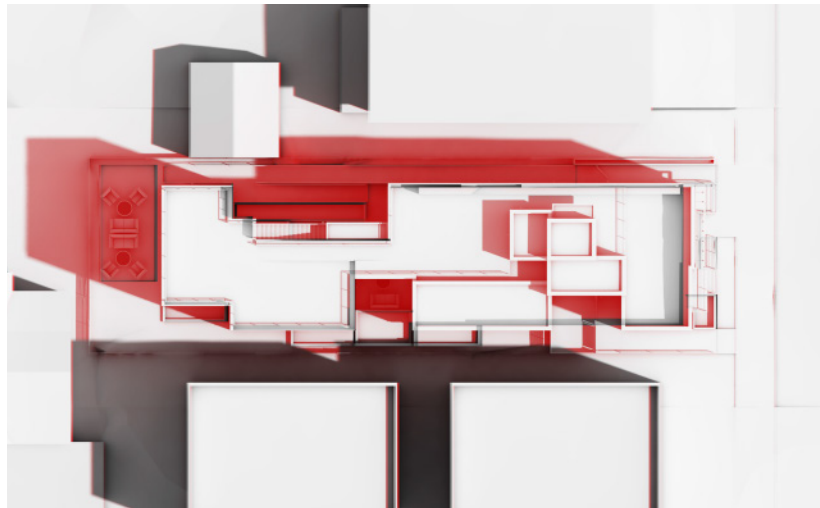


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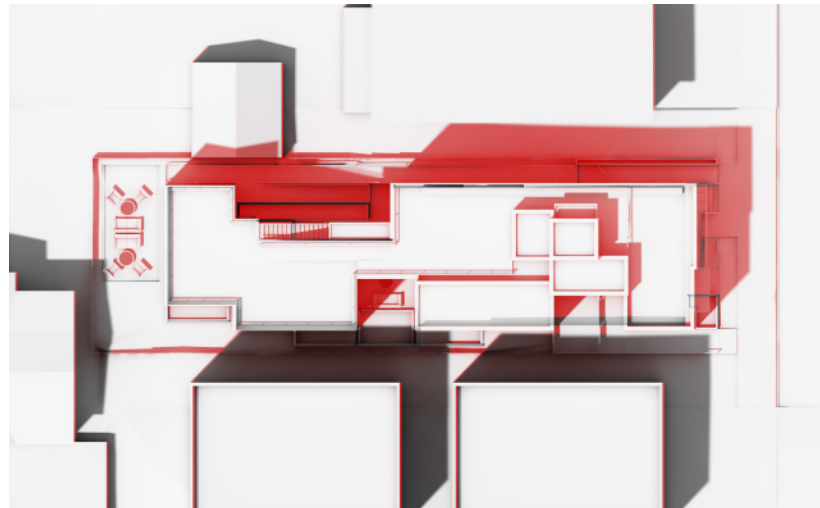


JUNE

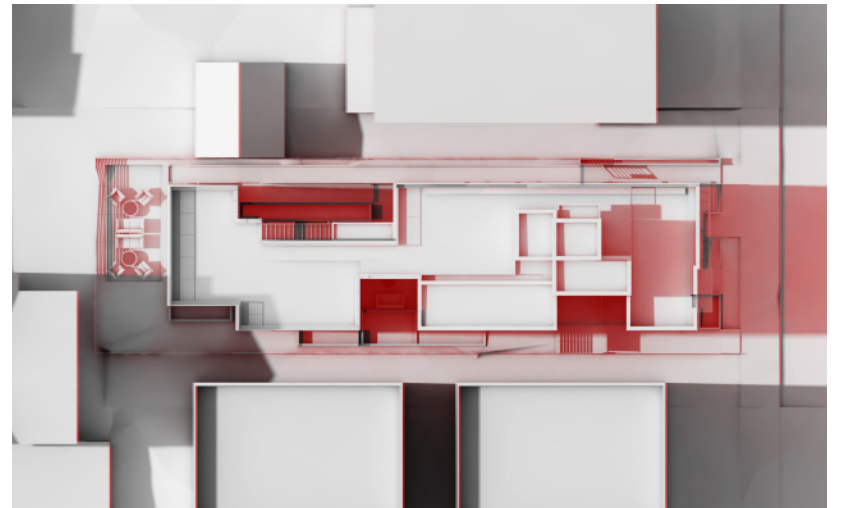
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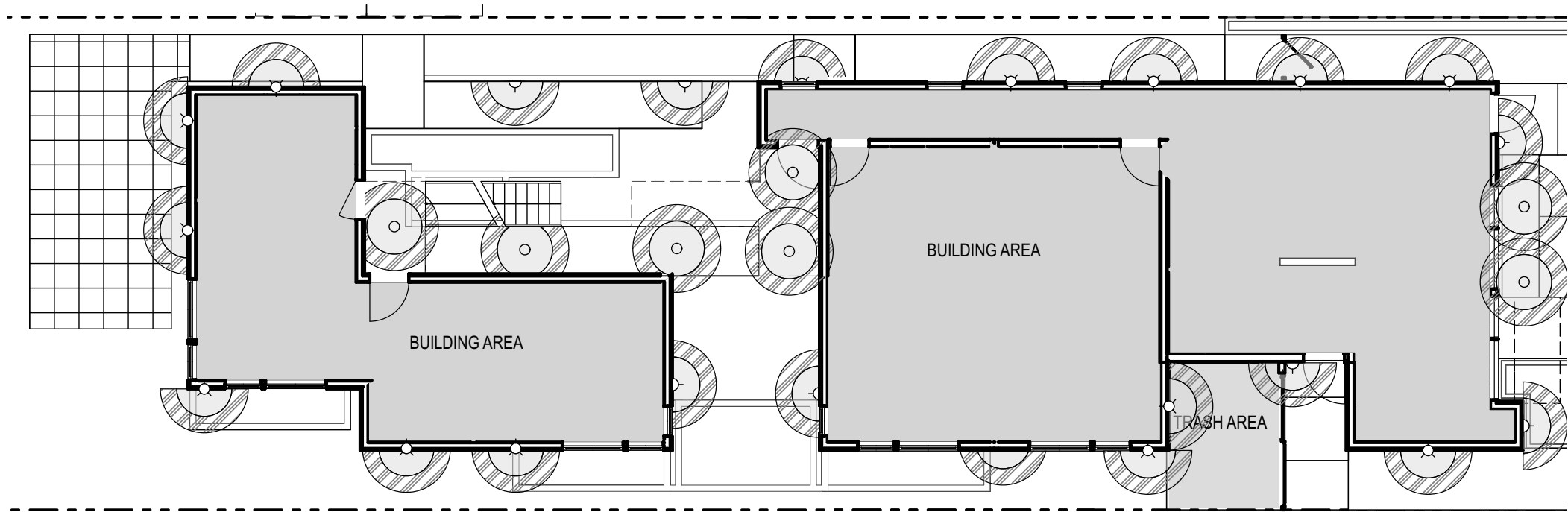
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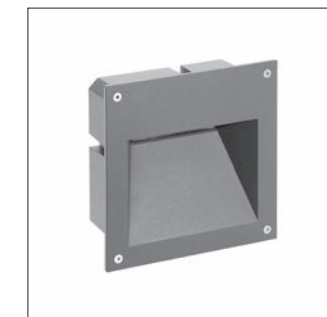
LIGHT AND GLARE PLAN



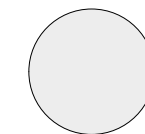
OUTDOOR JELLY JAR LIGHT AT ENTRY DOOR, W/ BAFFLE TO LIGHT DOWN ONLY.



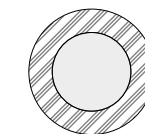
SOFFIT LIGHT



OUTDOOR WALL/TREAD LIGHT, AUTOMATIC ON AT DARK, w/ BAFFLE TO LIGHT DOWN ONLY. FENCE PREVENTS SPILLAGE ON ADJACENT PROPERTY



LIGHT CONE



LIGHT CONE FOR FIXTURE W/ PHOTO CELL

Light and Glare Plan

AERIAL VIEWS



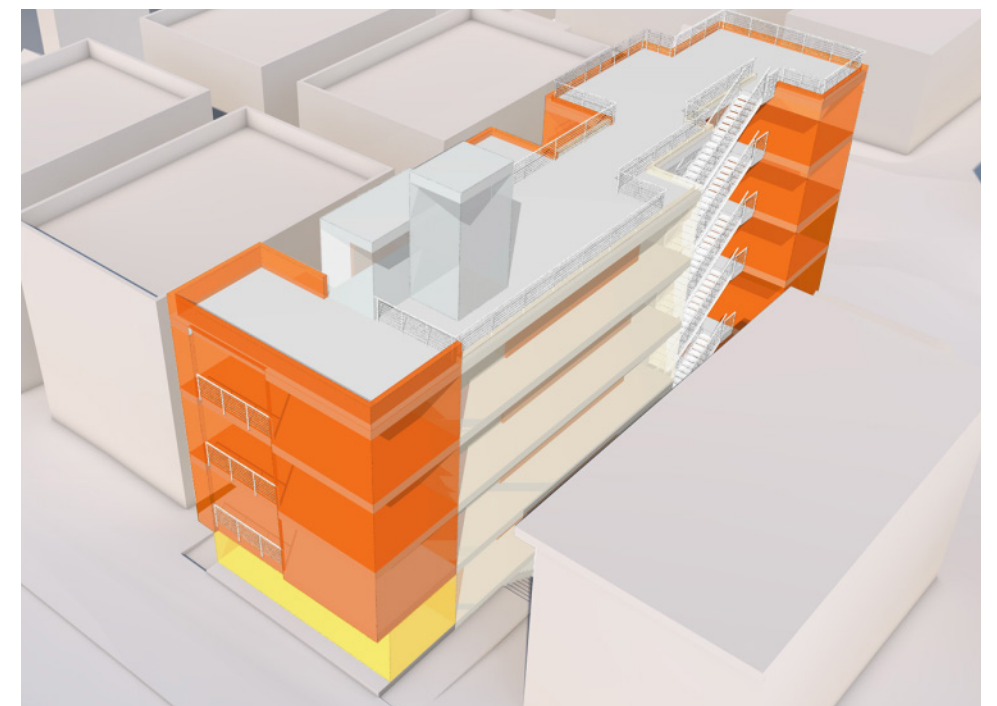
Aerial View Looking Northwest



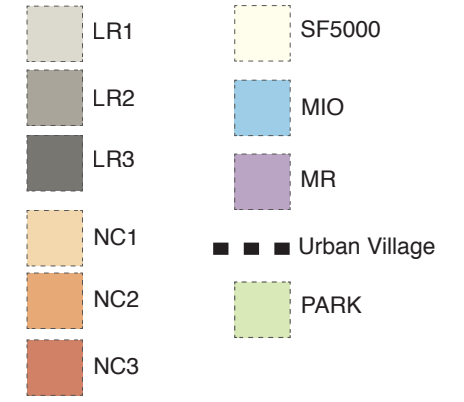
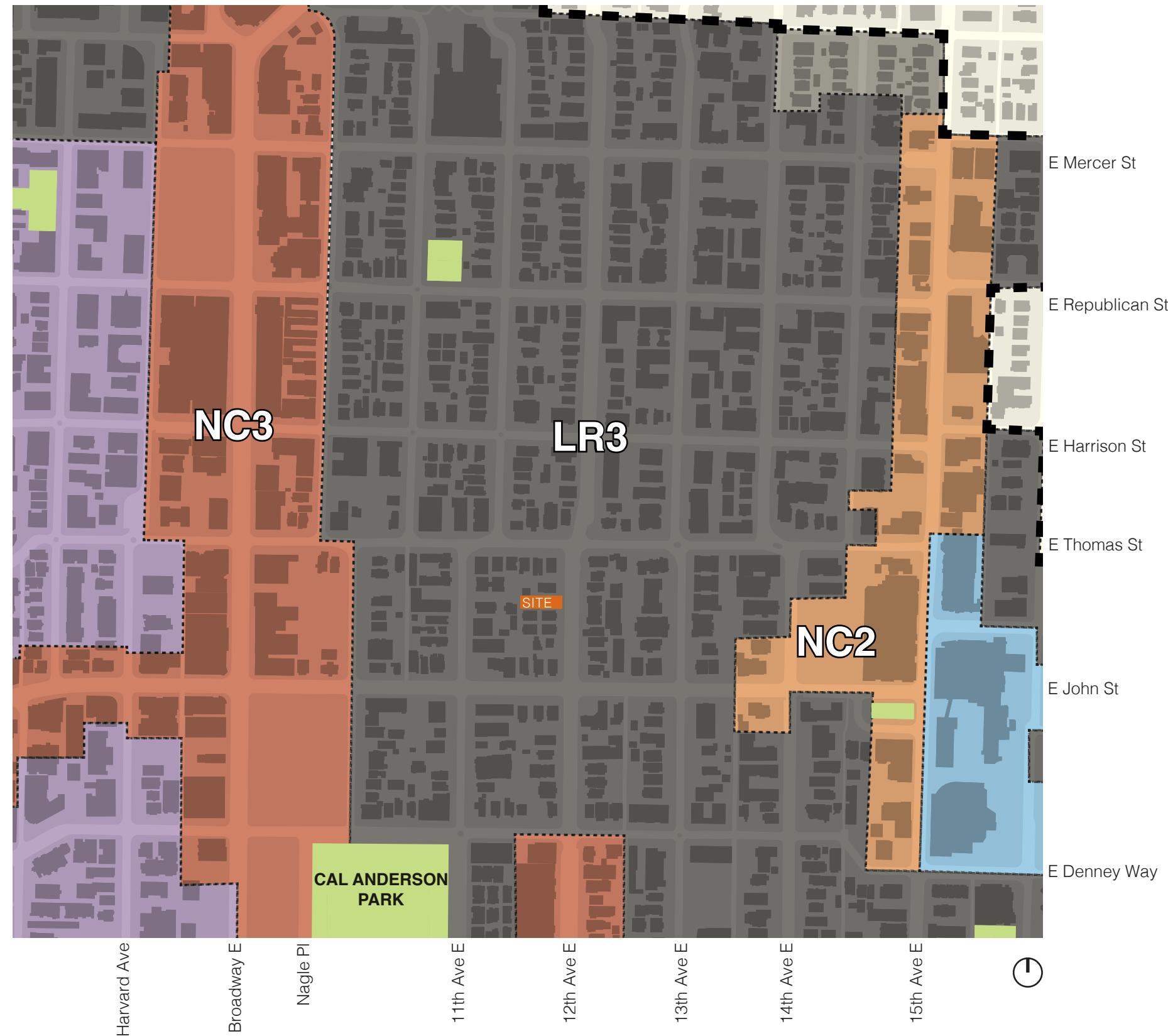
Aerial View Looking Northwest at EDG



Aerial View Looking Southwest



Aerial View from Northeast at EDG



ADDRESS
223 12th Ave E

PARCEL #
600350-1565

LEGAL DESCRIPTION
The south 40 feet of lot 9, block 53, John H. Nagle's 2nd addition to the city of Seattle, according to the plat thereof, recorded in volume 5 of plats. page 67 records of King county, Washington.

LOT SIZE
5,120 SF

ZONE
LR3

URBAN VILLA OVERLAY
Capitol Hill Urban Center

SEPA
Review Required

ZONING SUMMARY

23.45.504 PERMITTED USES:

- Residential use permitted outright.

23.45.510 FLOOR AREA RATIO:

- $2.0 \times 5,120 = 10,240$ square feet allowable for projects that meet the standards of SMC 23.45.510.C
- Underground stories and portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, are exempt from FAR limits.

23.45.512 DENSITY LIMITS:

- Density limits do not apply for apartment developments that meet the standards of SMC 23.45.510.C

23.45.514 STRUCTURE HEIGHT:

- For apartment developments located in zone LR3 and within Urban Centers, the height limit is 40 feet.
- Uses in LR3 zones, the applicable height limit is increased 4 feet above the height shown on Table A for 23.45.514 for a structure that includes a story that is partially below-grade,

23.45.518 SETBACKS AND SEPARATIONS:

- Front Setback – 5 feet minimum
- Rear Setback – 15 minimum without alley
- Side Setback – 7 feet average and 5 feet minimum
- Separations - 10 feet minimum separation between principal structures

23.45.522 AMENITY AREA:

- The required amount of amenity area is equal to 25 percent of the lot area.
- A minimum of 50 percent of the required amenity area shall be provided at the ground area.
- For apartments, amenity area at ground level is to be provided as common space.

23.45.524 LANDSCAPING STANDARDS:

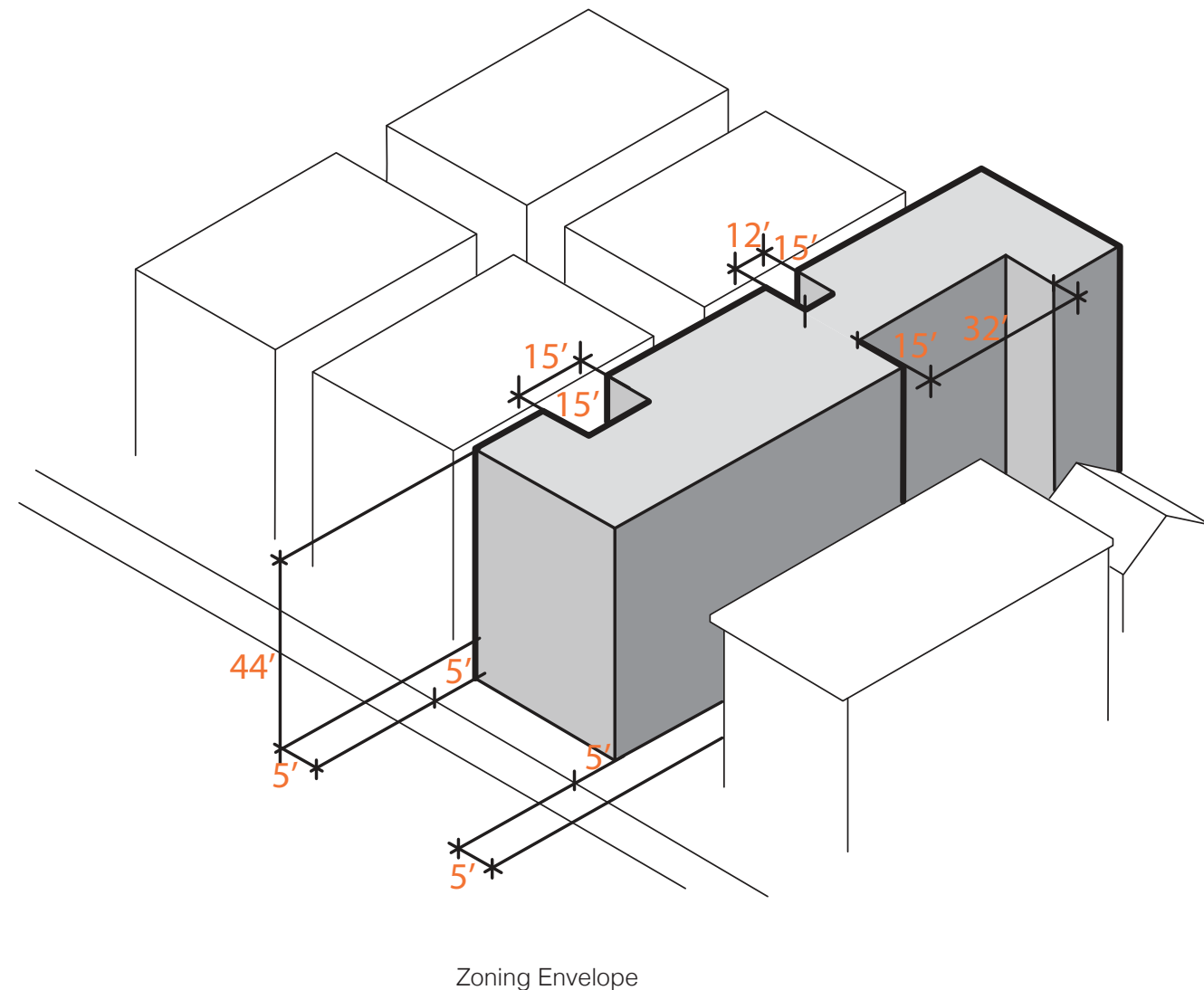
- Landscaping shall achieve a green factor score of 0.6 or greater.

23.45.527 STRUCTURE WIDTH AND FAÇADE LENGTH:

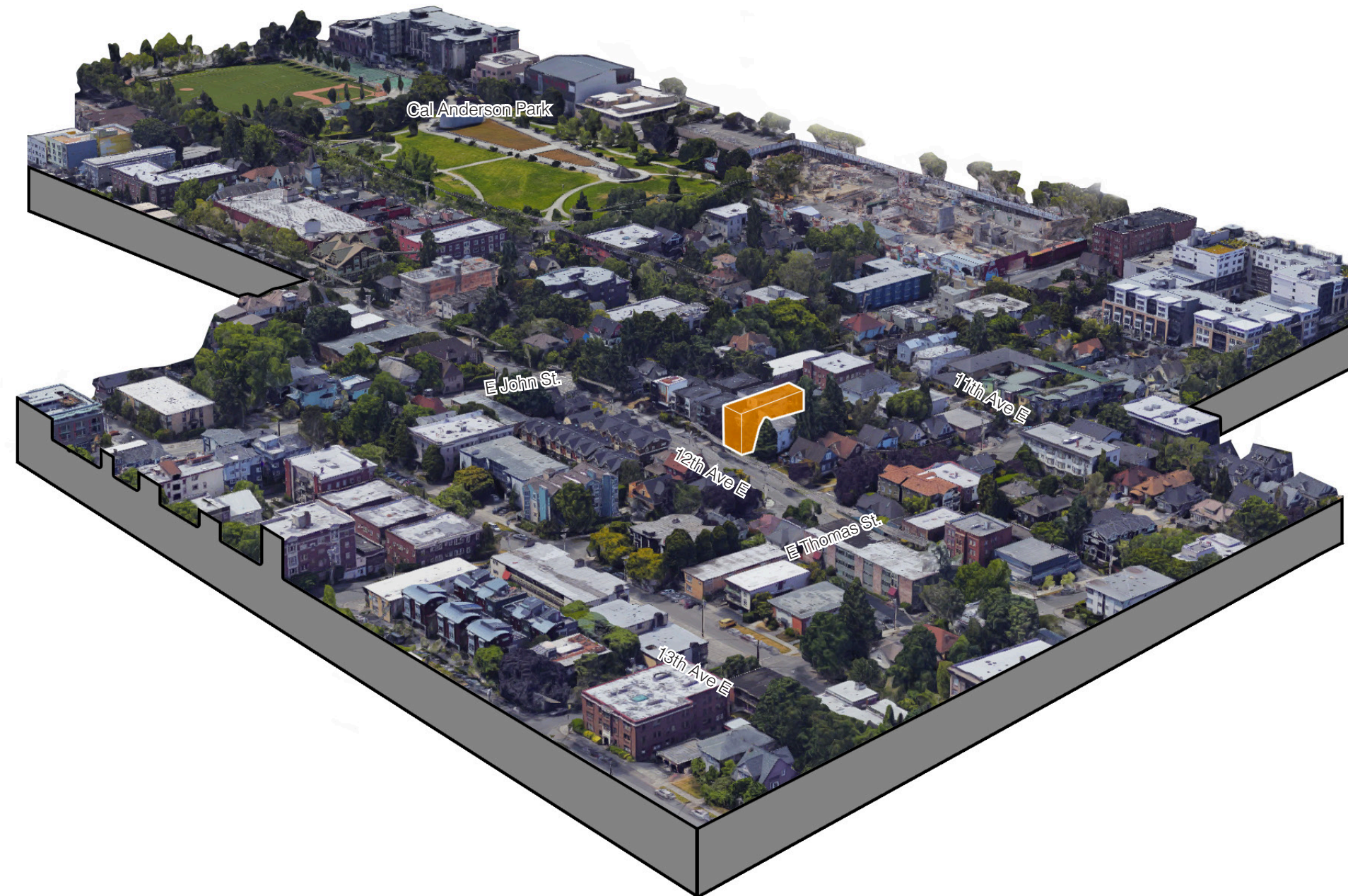
- For apartment developments located in zone LR3 and within Urban Centers, the maximum structure width is 150 feet.
- The maximum combined façade length within 15 feet of a lot line that is neither a rear lot line, a street, or an alley shall not exceed 65 percent of the length of that lot line.

23.54.040 SOLID WASTE:

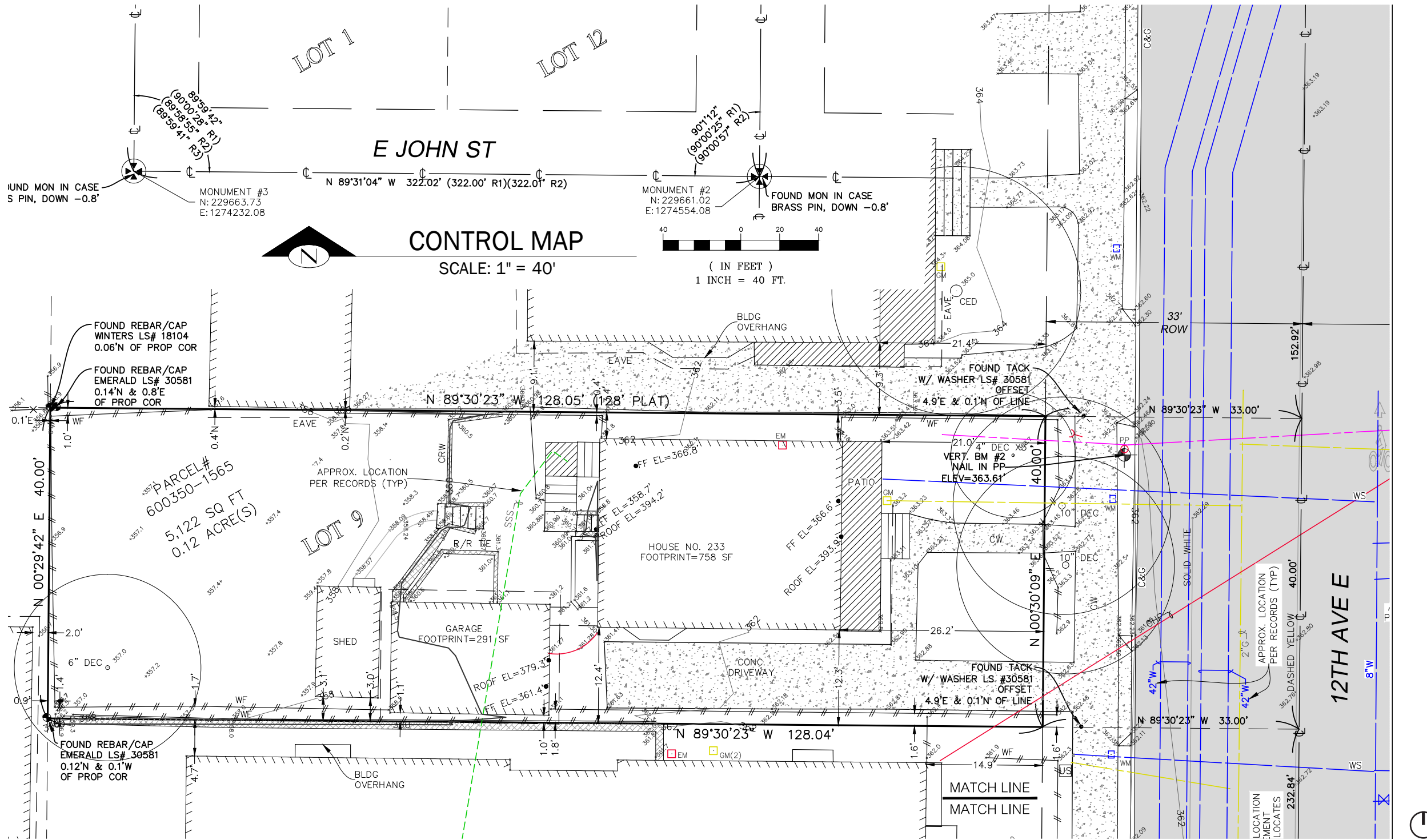
- For developments containing 16-25 dwelling units, the minimum area for solid waste storage is 225 square feet.
- The minimum horizontal dimension of required storage space is 12 feet.



NEIGHBORHOOD CONTEXT

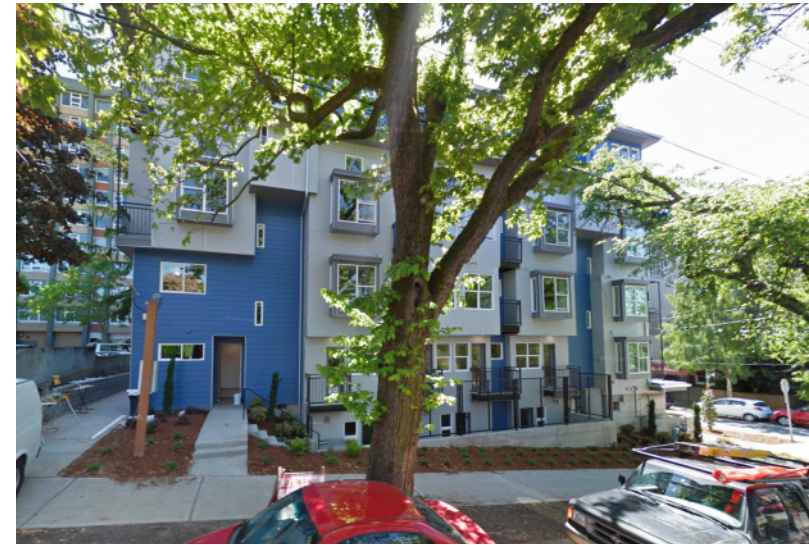


SITE SURVEY





① Sola 24 Apartments
109 12th Ave. E.
Built: 2014, 11 Units



② Ilaria Apodments
1305 E. Mercer St
Built: 2014, 60 units



⑦ 209 12th Ave E. Single Family
Built: 2007, 8 Units



⑧ 219 12th Ave E. Townhouse
Built: 2008, 8 Units

ARCHITECTURAL CONTEXT



The architectural context in the neighborhood around this site is well-established. The immediate neighborhood is dense with multifamily residential buildings of varying architectural character.

Single family homes range from iconic gabled homes (see #9), to traditional craftsman, to uniquely eccentric. A majority of such single family homes have defined the neighborhood since the early 20th century.

Apartment buildings also define the neighborhood, although embody a wider range of age and character.

Buildings at this larger scale vary. More recent apartment and townhome buildings that mimic classical details (gables, trim, lap siding, symmetry) are also a part of this landscape (11).

Lastly, there is significant contemporary development in the neighborhood, both recently finished and in process (2, 3, 4). These buildings are often a composition of rectilinear volumes, sided with wood, colorful panel, or brick. All of the above creates a context that is deeply layered, and continuing to evolve.



③ The Townhouse Apartments
Built: 1963, 9 Units



④ Mercer Rowhouses
Built: 2016, 5 Units



⑤ 414 12th Ave E, Townhouse
Built: 2016, 10 Units



⑥ 12th and Roy Apartments
Built: 1926, 21 Units



⑨ Single Family Residence
Built: 1902



⑩ 1806 12th Ave E, Apartments
Built: 2014,



⑪ 224 12th Ave E, Townhouses
Built: 2009,



⑫ 1729 12th Ave E, Roosevelt Apartments
Built: 1925,



① View of site looking Northwest on 12th Ave. E.



② View of site looking Northwest on 12th Ave. E.



③ View of site looking East to 12th Ave. E.



④ View of site looking West.



⑤ View of site looking East to 12th Ave. E.

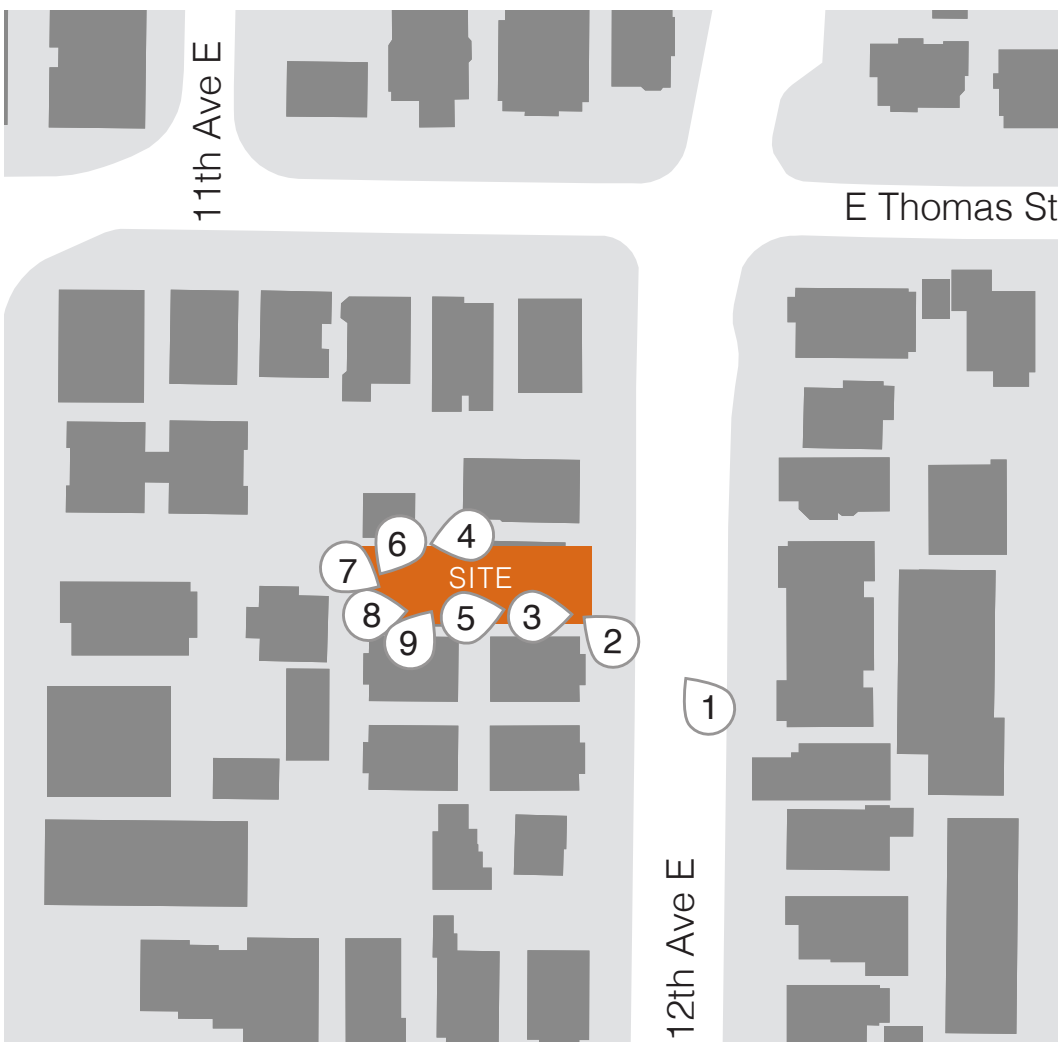
EXISTING CONDITIONS

The site, approximately 40 feet wide by 128 feet deep, currently contains multi-story multi-family structure with a detached garage. All existing structures will be demolished and removed.

The site is bounded on three sides by multi-family structures. The site's topography descends from east to west, approximately 6 feet. Without an alley, all physical access is from the street to the east.

The proposed design solutions respond to the site's topography and adjacent structures. A series of design iterations explore methods of varying the massing to maximize modulation and access to light and air, important on this narrow site.

The site is located on the west side of 12th Avenue E, a half block south of E John Street. The site has fantastic access to neighborhood parks and is located approximately 2 blocks north of Cal Anderson Park 6 blocks south of Volunteer Park.



①



⑥ View of site looking Southwest.



⑦ View of site looking South.



⑧ View of site looking East.



⑨ View of site looking Northeast.

COMPLETED WORK b9 ARCHITECTS



Townhomes at 416 19th Avenue E



Rowhouses at 90 E Newton Street



Townhomes at 1818 E Yesler Way



Shared courtyard at 1818 E Yesler Way



Townhomes at 208 18th Avenue E



Townhomes at 414 12th Avenue E



Rowhouses at E Mercer St

PROJECTS IN PROGRESS b9 ARCHITECTS



Lot J apartments by b9 architects in Ballard



Apartment building by b9 architects in Capitol Hill



Apartment building by b9 architects in 12th Ave E



View showing courtyard and entry.



View showing street facade and entry



View showing courtyard entry