



VIEW FROM N 96TH STREET

DESC N96 APARTMENTS

DESIGN RECOMMENDATION REVIEW MEETING

937 N 96TH STREET
SEATTLE, WA 98144

SDCI PROJECT #3025501
RECOMMENDATION MEETING:
MAY 22, 2017



PROJECT TEAM

DESC - DEVELOPER

DESC’s mission is not merely to offer shelter, but to end the homelessness of our community’s most vulnerable people, through an integrated array of clinical services and supportive housing that allows men and women to reclaim their lives and reach their highest potential.

SMR ARCHITECTS - APPLICANT

For over three decades, SMR Architects has been crafting inspired structures where people want to live, learn, work and play. With a focus on the people who ultimately use a building, our structures provide a place for life to happen, they interact with and enrich the neighborhoods in which they’re a part. Our team’s collaborative approach, experience and sustainable philosophy helps us serve both our clients and the community, always putting people first.

- Civil Engineer – Coughlin Porter Lundeen
- Structural Engineer – Coughlin Porter Lundeen
- Landscape Architect – The West Studio
- Mechanical Engineer – Side + Byers
- Electrical Engineer – GLUMAC
- JRS – Building Envelope Consultants
- Geotechnical Engineer – Geotech Consultants, Inc.

PROJECT INFORMATION

TOTAL SQUARE FOOTAGE:
56,140 SF

UNITS:
100 studio units

PARKING:
0 parking stalls required (Aurora Urban Village Overlay)
3 parking stalls provided for staff in above ground garage.

PROJECT DESCRIPTION:
The project will create 100 new, affordable housing units within the Aurora Licton Springs neighborhood. Supportive services and program spaces will be located on level 1 to serve building residents while levels 2-6 will contain residential units. Exterior residential amenity space will be provided in the form of a ground-level courtyard located along N 96th Street.

RELEVANT PROJECTS - DESC



DESC Cottage Grove Apartments



DESC Interbay



DESC Estelle Supportive Housing

RELEVANT PROJECTS - SMR ARCHITECTS



PHG 7th and Cherry



DESC Canaday House



Artspace Mount Baker Lofts



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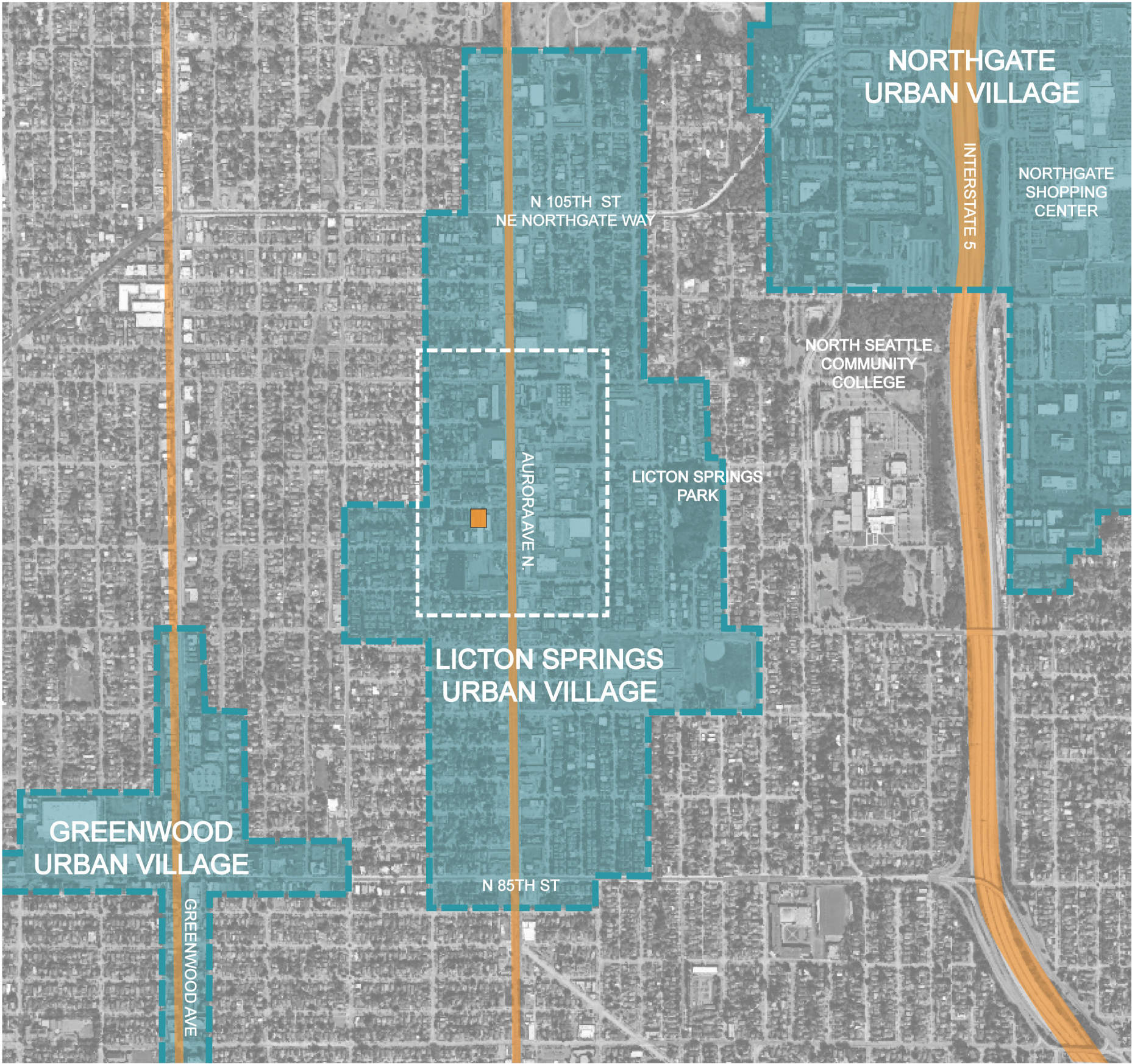
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VICINITY MAP: NEIGHBORHOOD CONTEXT



KEY: VICINITY MAP

- Site
- Main Arterials
- 9 Block Boundary
- Urban Village Boundaries



VICINITY MAP: 9 BLOCK CONTEXT

SITE OPPORTUNITIES

- Zone transition: C2-65 to LR3
- Within Aurora-Licton Springs Urban Village
- Proximity to Licton Springs historical park
- Transit access on Aurora Ave N
- 0 parking required
- Solar access
- Low vehicle traffic on N 96th St.
- Minimal grade change along R.O.W.

SITE CONSTRAINTS

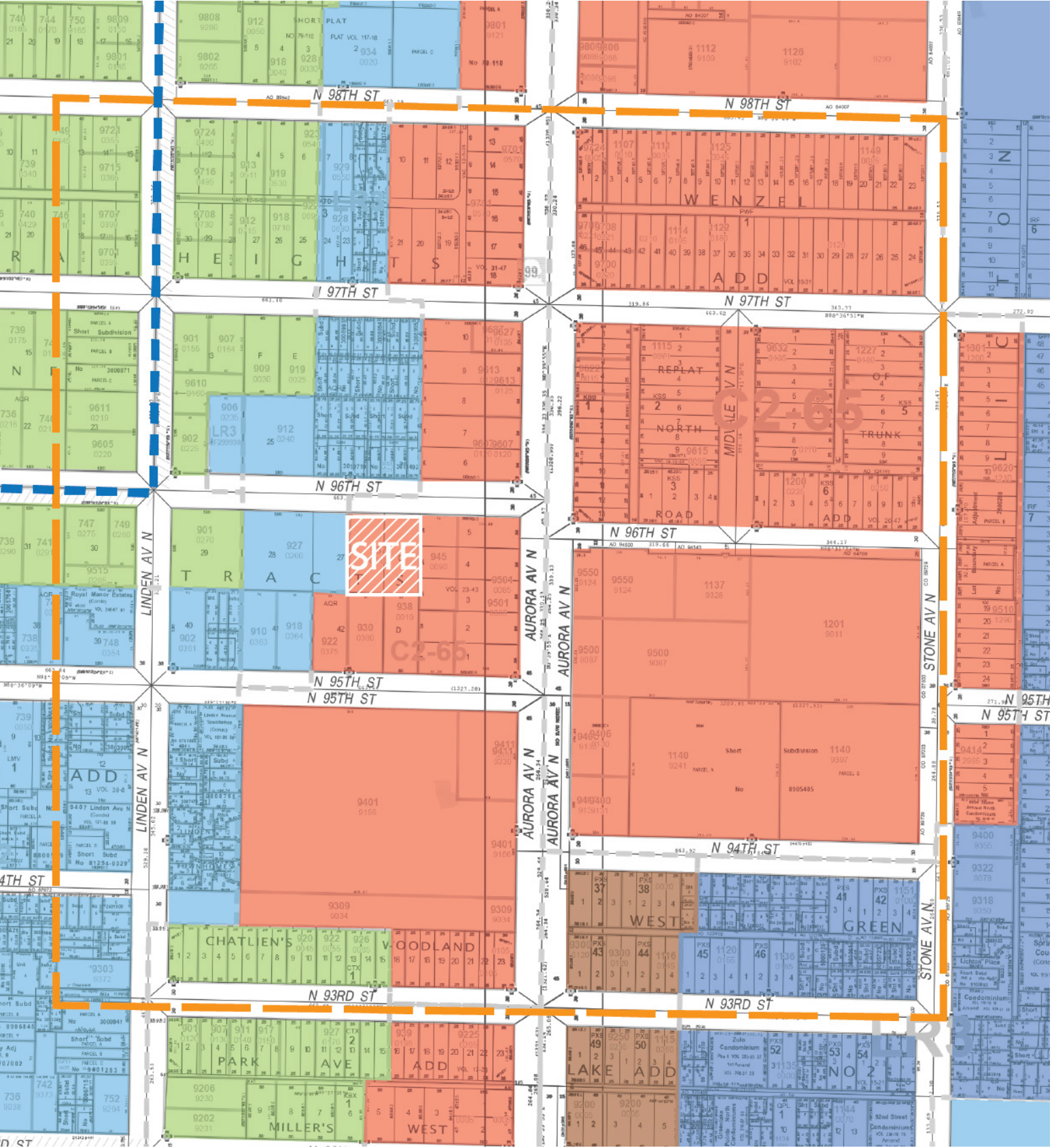
- Zone transition: C2-65 to LR3
- Proximity to auto-repair commercial uses
- High vehicle traffic and noise on Aurora Ave N
- Existing power lines on N 96th St. require 14' setback.
- No alley access to site
- N 96th St. is 25 feet in width
- N 96th St. is not a through street with Aurora Ave N
- No traffic light or pedestrian crosswalk is provided on N 96th St. and Aurora Ave N (N 95th is closest light and crosswalk on Aurora Ave)

KEY: 9-BLOCK VICINITY MAP

- Site
- Non-Arterial Streets
- Arterial Street (Aurora Avenue North)
- Restaurants
- Community Music Center
- Gym
- Intersection with streetlight and crosswalk
- Rapid Ride Bus Stop
- Sun Path



9 BLOCK ZONING



KEY: ZONING

- SF-7200
- SF-5000
- LR1
- LR2
- LR3
- NC3P-40
- C1-40
- C2-65
- C1-65
- Lickton Springs Urban Village Boundary
- 9-Block Boundary



9 BLOCK NEIGHBORHOOD DEVELOPMENT

- 1 Seattle City Light
- 2 Tropico's Breeze
- 3 George's Transmission
- 4 Gourmet Green Collective
- 5 Quiring Monuments
- 6 Asentria Corporation
- 7 Wright Outboard Marine CO.
- 8 Subway
- 9 Puget Sound Energy (North Seattle)
- 10 Golds Gym
- 11 Sound Insurance
- 12 Columbus Motor Inn
- 13 RK Motors
- 14 N 96th St. Townhomes
- 15 Win Don Apartments
- 16 Crown Inn
- 17 NW Jiu Jitsu Academy
- 18 Lantern Brewing
- 19 Axis Auto
- 20 Tamarino Apartments
- 21 Oak Lake Baptist Church
- 22 Aurora Improvement CO.
- 23 Pacific Auto
- 24 Seattle Wine Storage
- 25 Dependable Construction Supply
- 26 Dunn Lumber

KEY: NEIGHBORHOOD BUILDING USES

Site
Single Family Residential
Multi-Family Residential
Retail
Auto Lot
Hotel/Motel
Gym
Light Industrial
Public utility
Parking Lot
Church/Community Center



EDG MASSING OPTIONS



EDG OPTION 1 H scheme w/ two interior courtyards (no departure)

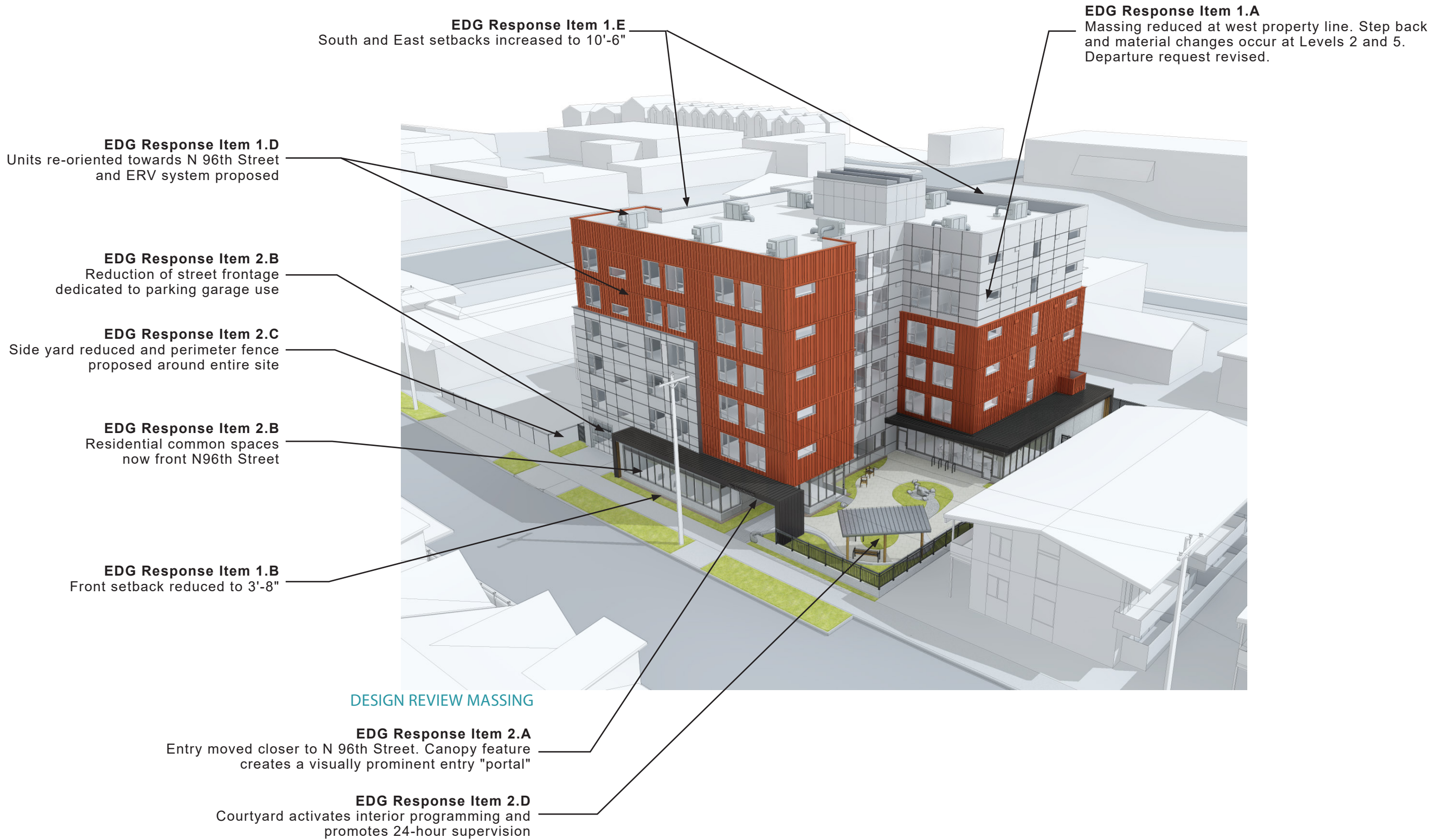


EDG OPTION 2 Bulky L scheme w/ small courtyard (no departure)



EDG PREFERRED OPTION L scheme w/ large courtyard (departure requested at west property line)

SUMMARY OF EDG RESPONSES



EDG RESPONSE

EARLY DESIGN GUIDANCE NOVEMBER 21, 2016

1. MASSING AND RELATIONSHIP TO ADJACENT SITES

THE BOARD DID NOT STATE A SPECIFIC PREFERENCE FOR ONE OF THE PROPOSED MASSING OPTIONS, RATHER THEY DISCUSSED THE MERITS ASSOCIATED WITH EACH OPTION AND AGREED A HYBRID OF OPTIONS 2 AND 3 WOULD BE MOST SUCCESSFUL.

A. The Board was in support of the L-shaped massing options as it is an effective zone transition, however, the Board did not support the rationale for the requested departure which would reduce the side setback. It is unclear how the requested departure results in a design that better meets the intent of the guidelines and promotes respect for adjacent sites. (CS2-D-3, CS2-D-4)

Response:

- The building has been reconfigured to provide a better transition to the adjacent residential apartments to the west. The large massing transition shown at EDG now occurs at level 2 (CS2-D-3), reducing the departure request. A smaller step back occurs at level 5 in conjunction with a material transition to further break up the bulk of the building and respond to the scale and proportions of adjacent structures (CS2-D-4). Refer to the departure request on page 26 for additional information on how the departure better meets the intent of the design guidelines.

B. The Board suggested minimizing the front setback to better engage with the street and pedestrian realm. (CS2-D)

Response:

- The front setback has been reduced to 3'-8" (9'-0" shown at EDG) to better engage with the N 96th St. pedestrian realm.

C. The Board supported the facade modulation as proposed in Option 2, particularly the rear facade, as it better responds to adjacent sites and breaks up the building mass. (CS2-D-3, CS2-D-4)

Response:

- Additional modulation has been incorporated into the facade design that responds to the existing height and width proportions of adjacent buildings. Material changes and smaller detailed articulations (sunshades, infill panels at windows) also relate the building to human scale.

D. Responding to public comment, the Board agreed that the layout of residential units should better respond to adjacent site conditions and anticipate future development. Further consideration should be given to adjacent uses as it impacts the arrangement of interior uses, for instance, where proposed unit windows are facing blank walls and how the design shall respond to odors from the adjacent brewery to the south. (DC1-A-4, DC2-B-2)

Response:

- The north stack of units are now oriented towards N 96th Street to create a better front facade presence and reduce the number of windows facing blank walls of the adjacent properties. In addition, where units are facing south and east, the property line setbacks have been increased to 10'-5" (6'-0" shown at EDG) to create a greater buffer between the proposed building and the existing adjacent structures.
- In addition to the increased setbacks, an ERV system is proposed for the project which will direct unit intake and exhaust vertically to the roof, rather than horizontally through the exterior wall. Therefore, no trickle vents will be placed within unit windows, further reducing odor and noise concerns from the adjacent properties.

E. The Board was concerned with the 6-foot rear setback as the amount of glazing that can be achieved at 6-feet is minimal. Furthermore, the Board was concerned about future development on neighboring sites which may block access to light and create quality of life concerns for units along the rear facade. At the Recommendation phase, the Board would like to see window studies that explore the relationship of the proposed development to adjacent sites. (CS1-B-2, DC2-B-1)

Response:

- Where units are facing the south and east property lines, the setback has been increased to 10'-5" (6'-0" shown at EDG) to provide better access to light and increase quality of life within the units. This configuration will allow for up to 45% of glazing within these facades.

2. ENTRIES, STREET LEVEL USES AND SAFETY

THE BOARD DISCUSSED SAFETY AND SECURITY CONCERNS AS THEY PERTAIN TO BUILDING ENTRIES, THE COURTYARD, SETBACKS, AND LOCATION OF SERVICES.

A. In agreement with public comment, the Board was concerned with the recessed front door and felt that an entry closer to the street would create a stronger connection with the pedestrian realm. The Board requested further study of relocating the entry closer to the street as a means to activate the street and pedestrian realm. (PL3-A, DC1-A-1)

Response:

- Upon further study, the primary entry elements have been revised to provide a clear and identifiable entry which is visually connected to the street. The main entry has been shifted north to engage with N 96th street. Additionally, the black canopy feature along N 96th street returns to the ground plane to frame a entry 'portal' within the building mass.

B. The Board supported the programming of common spaces along the street as proposed in Option 2 to activate the street frontage and promote safety through “eyes on the street”. (PL2-B, DC1-A-1, DC1-A-4)

Response:

- The common space organization from EDG Option 2 has been incorporated into the current scheme along N 96th St. Lounge and office space fronting N 96th St. activate the streetscape and provide additional ‘eyes on the street’ by the building's tenants and staff.

C. In agreement with public comment, the Board was concerned about the open appearance of the courtyard, as proposed in Option 3. However, the Board agreed safety concerns could be mitigated with proper lighting,

landscaping, low fencing and by promoting eyes on the courtyard with 24-hour staff. The Board was similarly concerned with spaces created by the side and rear setbacks, as well as the long driveway and side walkway, and would like to see further study of the treatment of these spaces to reconcile safety and security concerns. (PL2-B, DC1-A-1, DC1-A-4, DC4-C-1)

Response:

- The long driveway and side walkway at the east property line have been omitted. In addition to ground floor windows, low plantings and site features allow for eyes on the exterior spaces by DESC’s 24-hour staff and provide a visual connection across the entire courtyard. As is typical for DESC projects, security cameras, monitored by DESC staff, will provide additional visual surveillance of exterior spaces within the site boundaries.
- To control site access, fencing will be provided along all four property lines and raised planters will further deter access to side and rear yards. Furthermore, low fencing and plantings along the north property line will direct site traffic through a single point of entry with a visual connection to the interior reception desk. Ample exterior lighting will also be incorporated into the landscaping design to maintain a safe environment at all times. A more detailed lighting plan will be presented during the Recommendation Meeting.

D. The Board encouraged activation of the courtyard through the programming of adjacent ground-level interior spaces. The Board supported the program/courtyard relationship as proposed in Option 3 because the interior uses create a strong connection and promote eyes on the courtyard space. The Board would like to see this relationship carried over in a hybrid massing option at the Recommendation phase. (PL2-B, DC1-A-1, DC1-A-2, DC1-A-4, DC4-D)

Response:

- The desired program/courtyard relationship has been maintained to provide a strong connection between interior and exterior spaces, and promote 24-hour supervision of the courtyard. A large common room occupied by building tenants has direct access to the exterior courtyard to

encourage daytime use. The staff reception, occupied by DESC's 24-hour staff, has direct lines of sight across the entire courtyard, providing constant visual surveillance at all times.

E. In agreement with public comment, the Board was concerned about the parking garage entry as proposed in Option 3 as it is a prominent feature on the street-facing facade, fails to activate the street and limits visibility where eyes on the street is a priority concern. If a hybrid massing option continues to include a parking garage, the Board was in support of the garage as proposed in Option 2 as it creates a stronger street frontage and more visible street frontage. (PL2-B, DC1-B-1, DC1-C-2)

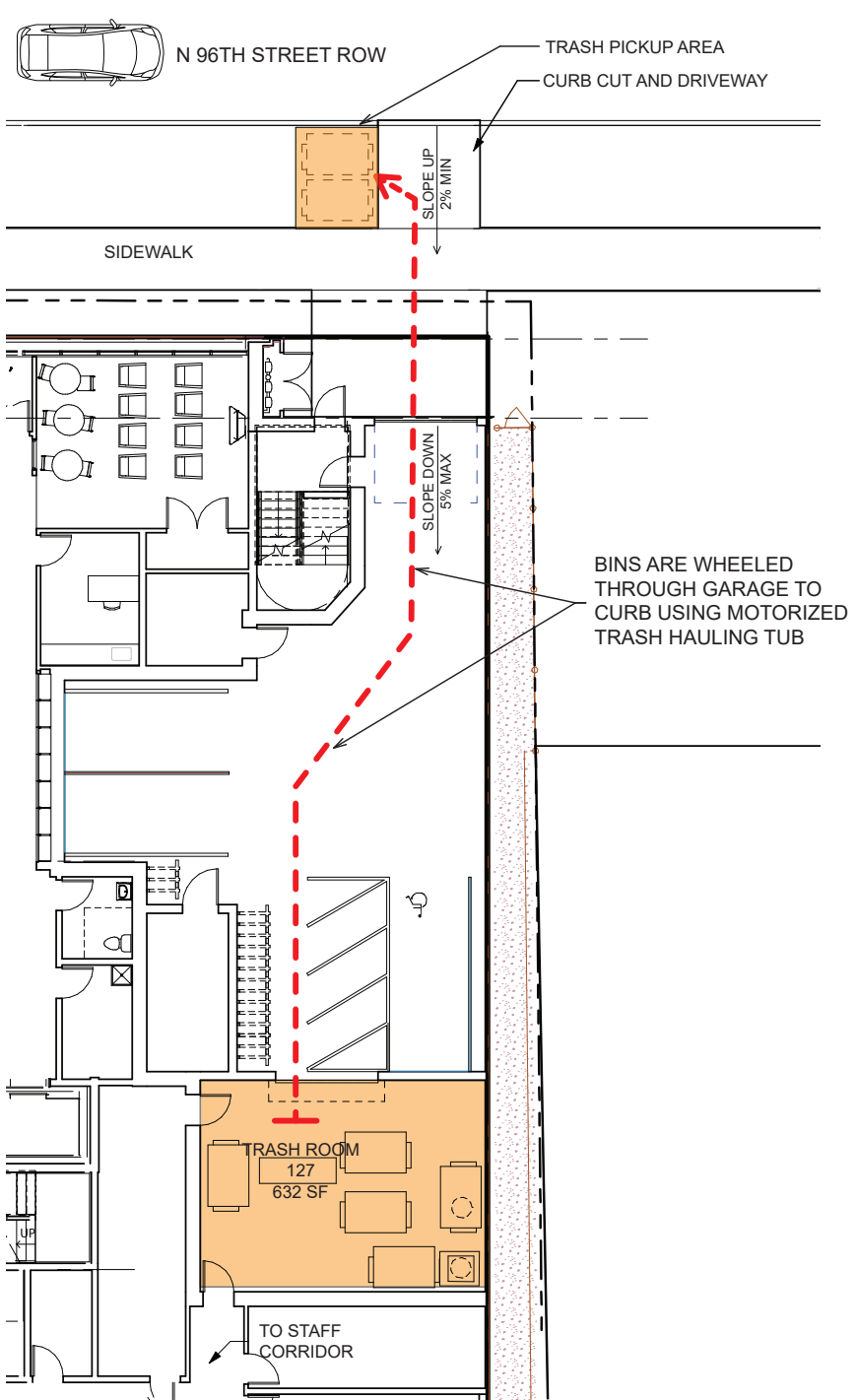
Response:

- The revised parking garage design has expanded upon the desirable aspects of the EDG Option 2 scheme which reduced the amount of street frontage occupied by parking to 13'-10" of the frontage (25'-9" shown at EDG). Residential common areas and offices are now located along most of the north facade as noted in response to item 2.B.

F. The Board requested further study of the trash and utility room locations. The Board suggested these services be located closer to the street to provide accessibility and minimize side yard spaces which may foster unwanted congregation. The reconfiguration of trash and utility rooms should be considered with any changes to the proposed parking garage. (DC1-B-1)

Response:

- The current scheme fences and reduces the size of the east side yard to alleviate safety concerns. The trash and utility rooms are accessed through the garage to limit the street frontage occupied by service and utility spaces.
- Building staff will use a motorized cart to tow the dumpsters through the parking garage and park them on the dedicated concrete pad adjacent to the curb cut along N 96th St. After trash pickup, the dumpsters will be towed back to the trash room. See adjacent Trash Pick-up Diagram



Item 2-F: Trash Pick-up Diagram

DESIGN GUIDELINES

CS1 URBAN PATTERN AND FORM

B. SUNLIGHT AND NATURAL VENTILATION

(2) Daylight and Shading:

The building massing and placement on site has been carefully studied to ensure shading on adjacent sites is minimized while interior residential units receive ample daylight. The L-shaped building massing casts minimal shadows on the residential apartment building to the west of the site. To ensure the proposed residential units receive substantial daylight, the building setback has been increased to 10'-6" (6'-0" shown at EDG) at the south and east property lines, allowing for up to 45% glazing in these areas.

CS2 URBAN PATTERN AND FORM

D. HEIGHT, BULK, AND SCALE

(3) Zone Transitions:

The site is located on the border between residential zoning to the west and commercial zoning along Aurora Ave to the east. As a result, the L-shaped building is sited along the southern and eastern property lines in order to reduce the perceived massing relative to the adjacent residential properties. The building massing also steps down and a large landscaped courtyard is included to provide a further buffer as the site transitions to the LR-3 residential zone.

(4) Massing Choices:

The building design addresses the transition to a Low-Rise zone in multiple ways. The massing steps down in height on the ground floor and is differentiated from the overall massing by a canopy detail to scale the project to the adjacent low-rise apartment buildings. The project is also scaled to adjacent buildings through smaller articulations and massing definitions such as the material transition between metal and fiber cement siding.

PL2 WALKABILITY

B. SAFETY AND SECURITY

(1) Eyes on the Street:

The street-level uses have been revised since the EDG to provide more residential amenity spaces and offices along

North 96th Street to increase the presence of eyes on the street. The reception area has also been relocated to allow for a direct line of site to a majority of the street frontage by DESC's 24-hour staff.

(2) Lighting for Safety:

To address safety concerns, ample lighting will be incorporated into the entire site, including the entry sequence, courtyard area, street frontage and side/rear yards. Additionally, the building layout was specifically designed for the site to be monitored by DESC's 24-hour staff directly and via security cameras located throughout the site. A site safety plan on page 30 demonstrates the high attention paid to safety in the courtyard and overall design.

(3) Street-Level Transparency:

The ground level spaces fronting N 96th St will have large storefront windows allowing for transparency into the adjacent communal spaces and lobby. The courtyard will incorporate reasonable site lines across the site without major obstructions. A transparent metal picket fence will also provide security while maintaining visibility into the site.

PL3 STREET LEVEL INTERACTION

A. ENTRIES

(1) Design Objectives:

In addition to moving the reception area closer to the street, the primary building entry has been highlighted by a canopy detail that wraps the street front common area and returns to the ground, creating an entry 'portal'. This frame is scaled to the overall massing and detailed to highlight the entry sequence through integrated lighting, signage, landscaping, material application and site furniture. The frame comes to the ground within the raised planter beds to provide a continuous design language and clearly define the site.

(2) Ensemble of Elements:

The entry sequence has been thoughtfully developed as an ensemble of elements. The entry frame highlights the primary entry from N 96th St. This frame is clad in wood slats and has integrated linear lighting which extends back to the entry door. This special slatted pattern is also applied to the ground plane through scored concrete paving to clearly identify the entry path. Site landscaping and furniture will also reinforce this language within the entry portal.

DC1 PROJECT USES AND ACTIVITIES

DC1-A ARRANGEMENT OF INTERIOR USES

(1) Visibility:

The interior layout has been carefully designed to increase visibility along N 96th Street. The entry lobby and reception area are directly visible from the street and the front setback has been kept to a minimum. Programmatically, residential common areas and staff offices have been placed along N 96th St to provide additional 'eyes on the street'.

(2) Gathering Places:

The building layout maximizes interior and exterior gathering spaces by locating residential amenity spaces around the large, landscaped courtyard. Site furniture and a circular pathway promote use of the courtyard by DESC's residents. As the entry is a common gathering space for DESC projects, the entry is highlighted by a framed portal while the door is setback from the street to reduce sidewalk congestion and provide a single access point to the courtyard and building.

(3) Flexibility:

The ground-level interior spaces are open with few partitions, allowing for a flexible and multi-purpose use. An interior-exterior connection between spaces also permits the building to evolve over time and adapt the use and programming of these spaces. The ground floor spaces will also have direct view and connection to N 96th St and the courtyard.

(4) Views and Connections:

To maximize views and connections to exterior spaces, residential common areas are located adjacent to the exterior courtyard and N 96th St. while back-of-house spaces are located at the south and east sides of the building.

DC1-B VEHICULAR ACCESS AND CIRCULATION

(1) Access Location and Design:

To reduce pedestrian-vehicle conflicts, vehicle access for delivery and staff parking is located on the east side of the building, separate from the pedestrian access on the west side of the site.

DC1-C PARKING AND SERVICE USES

(1) Visual Impacts:

To minimize the visibility of parking from the street and neighboring buildings, the staff parking stalls are located within the building. Since the EDG presentation, the amount

of street frontage dedicated to parking use has been reduced to 13'-10" (25'-9" shown at EDG). The driveway width and curb cut are also 10'-0" wide to further limit the visual impact of parking on the streetscape.

DC2 ARCHITECTURAL CONCEPT

DC2-B ARCHITECTURAL AND FACADE COMPOSITION

(1) Facade Composition:

Through multiple iterations and studies, the facade composition has been carefully considered as a whole. A change in plane and different material application, define well proportioned massings within the entire building composition that scale to the neighborhood. These elements wrap around to all facades and are reinforced by different detailing, window infill panels, and sunshade applications.

(2) Blank Walls:

Blank walls are avoided in the overall massing by the material application of metal siding with a varied texture. At level 1 blank walls, the fiber cement reveal pattern is carried down to the ground floor through scored concrete to break up the facade and visually tie the overall building massing together.

C3 OPEN SPACE CONCEPT

DC3-B OPEN SPACE USES AND ACTIVITIES

(1) Meeting User Needs:

The proportion and design of each open space has been iteratively designed with DESC's staff to ensure it meets the needs of users. The central courtyard has multiple smaller programmed areas, and a continuous circular pathway promotes exercise for DESC's older clientele.

(2) Matching Uses to Conditions:

The courtyard is designed to provide flexibility for changing environmental conditions by providing integrated seating through an undulating concrete seat wall at both covered and uncovered areas. Specifically placed site furniture and features create smaller, more private, gathering places throughout the courtyard.

(3) Connections to Other Open Space:

The large open courtyard is oriented towards the NW corner of the site to connect with the western setback and provide ample buffer to the adjacent apartment building.

The courtyard will also be visually connected to the sidewalk landscaping which ties into the neighborhood's green-space design.

(4) Multifamily Open Space:

The site landscaping has been specifically designed to encourage physical activity by incorporating a continuous circular pathway to promote exercise for DESC's older clientele. Smaller, private areas with seating encourage social interaction in covered and uncovered locations, and provide a variety of gathering destinations.

DC4 EXTERIOR ELEMENTS AND FINISHES

DC4-C LIGHTING

(1) Functions:

The building will be monitored by DESC's 24-hour staff and adequate site lighting is an important feature needed to ensure safety and security. Lighting is incorporated into the overall design to emphasize the architectural concept and highlights the main entry through linear fixtures integrated into the wood board soffit at the canopy.

DC4-D TREES, LANDSCAPE, AND HARDSCAPE MATERIALS

(1) Choice of Plant Materials:

The landscape material palette has been carefully chosen to reinforce the overall design. Site specific native plantings have been located based on solar access and blooming seasons to bring interest in different areas of the site throughout the year.

(2) Hardscape Materials:

The hardscape material palette has been designed to enhance exterior areas of the site. A slatted scoring pattern is located at the entry to complement architectural features and guide visitors to the main entry door. The courtyard paving pattern is interrupted by an undulating exposed concrete finish which highlights the flow of storm water into the center planting area.

(4) Place Making:

The landscape design emphasizes place-making through the large courtyard which features a cohesive design language of undulating seat wall, soft edging treatment and organic forms, inspired by flowing water of nearby Licton Springs.

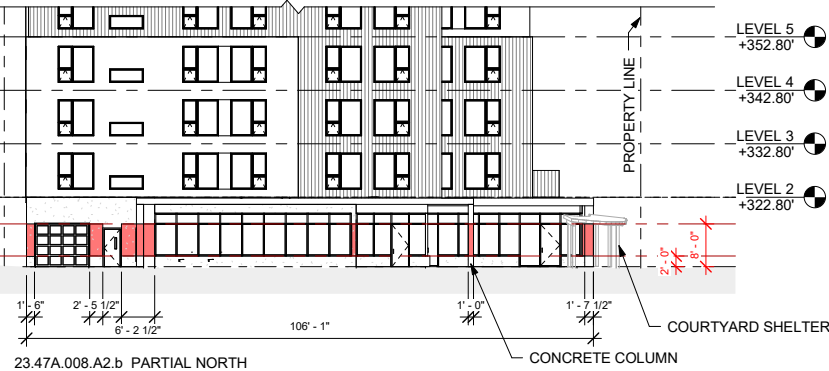
Address: 937 N. 96th Street
Parcel #: 0263000015
Lot Size: 16,213 sf. 0.372 Acres. Zoning: C2-65
Overlay: Aurora – Licton Springs Residential Urban
Village Pedestrian: N/A ECA: None

23.47A.006 CONDITIONAL USES

- A conditional use is proposed for the site.
- Residential use is not proposed adjacent to an industrial area or device that has the potential to adversely affect the residents.

23.47A.008 STREET-LEVEL DEVELOPMENT USES

A.2b. In C zones with residential uses blank segments of the street-facing facade between two (2) feet and eight (8) feet above the sidewalk may not exceed twenty (20) feet in width. The total blank facade may not exceed 40 percent of the street frontage. Total blank facade of street frontage is 13%.



A.3. Street-level street-facing facade shall be located within 10 feet of the lot line unless sidewalks, plazas or approved landscaped or open spaces are provided.

D.1. At least one of the street-level street-facing facades containing a residential use must have a visually prominent pedestrian entry. A visually prominent entry is provided on N 96th St through canopy articulation and the framed entry 'portal'.

23.47 A.012. STRUCTURE HEIGHT

- A.** Maximum height is 65 feet. Proposed structure height is 63'-0".
- C.2.** Open railings and parapets may extend up to 4 feet above the otherwise applicable height limit.

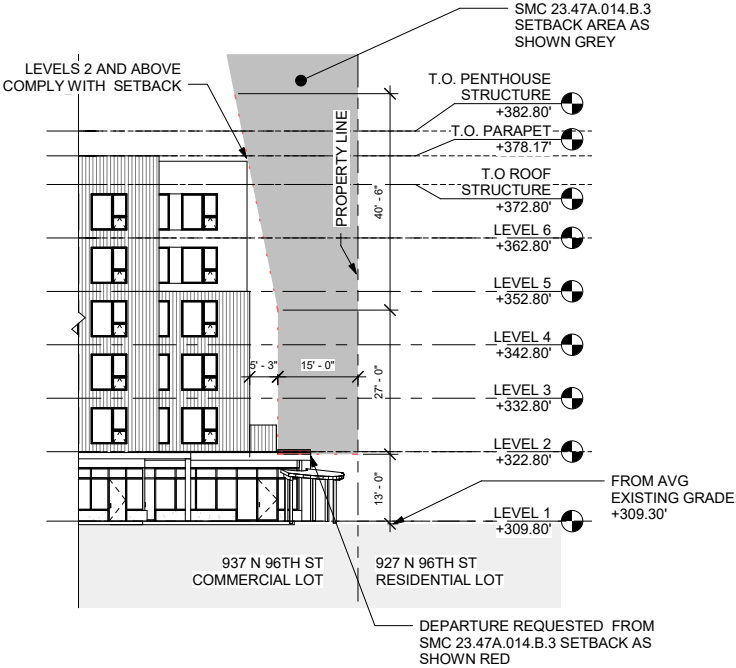
23.47A.013. FLOOR AREA RATIO

B. Per Table A Row 1: FAR for single purpose residential in a 65 foot height limit zone is 4.25.

Building area: 56,140 SF / Lot area:16,213 SF = **3.46 FAR Proposed**

23.47A.014. SETBACK REQUIREMENTS

- B.1a.** 15 foot triangular setback is required where a lot abuts the intersection of a side and front lot line of a residentially zoned lot.
- B.3.** For a structure with more than one dwelling unit, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone. The required setback is fifteen (15) feet for portions of structures above thirteen (13) feet in height to a maximum of forty (40) feet. For each portion of a structure above forty (40) feet in height, additional setback at the rate of two (2) feet of setback for every ten (10) feet by which the height of such portion exceeds forty (40) feet.



- B.5.** No entrance, window, or other opening is permitted closer than five (5) feet to a residential zone.
- C.** A minimum five (5) foot landscaped setback may be required per section 23.47A.016.

23.47 A.024. RESIDENTIAL AMENITY AREAS

- A.** Residential amenity areas are required in an amount equal to five (5) percent of the total gross floor area in residential use, except as otherwise specifically provided in this chapter. Gross floor area, for the purposes of this subsection, excludes areas used for mechanical equipment and accessory parking.
- B.** Standards for Amenity Area: All residents shall have access to the amenity area, the residential amenity areas may not be enclosed, common recreational areas must have a minimum horizontal dimension

of at least ten (10) feet, and no common recreational area can be less than two hundred and fifty (250) square feet. The ground floor external courtyard provides 2,509 sqft (5%) of amenity area.

23.47A.032. PARKING LOCATION AND ACCESS

B.1b. Within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use. The street level parking is separated by a common lounge and egress stair.

23.54.10. REQUIRED PARKING

A. Per SMC 23.54.020.F.2.a: No minimum requirement for residential uses in commercial zones within urban villages, if the residential use is located within 1,320 feet of a street with frequent transit service. E-Line bus stop on Aurora Ave is 518 ft away from site and meets this requirement.

23.54.030. PARKING SPACE STANDARDS

A.4.a. Accessible parking spaces shall not be less than 8 feet wide and shall have an adjacent access isle not less than 5 feet wide. Van-accessible parking spaces shall have an adjacent access isle not less than 8 feet wide.

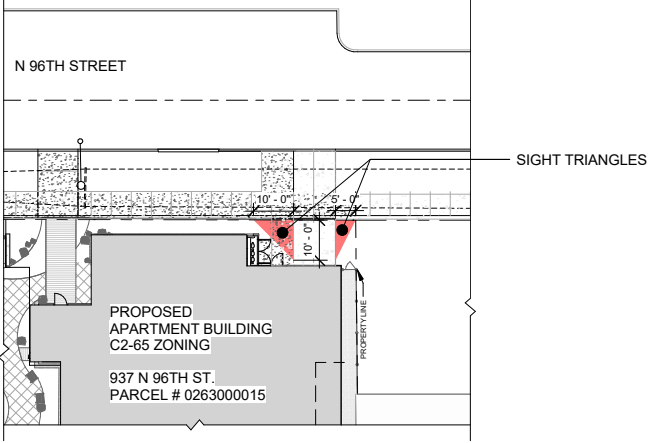
A.4.b. At least one barrier-free space shall have a minimum length of 19 feet.

B.1. When five or fewer parking spaces are provided, the minimum required size shall be a medium space.

D.1.a. Driveways less than 100 feet long that serve 30 or fewer spaces shall be a minimum of 10 feet in width for one-way or two-way traffic.

G.1. Sight Triangle. For driveways less than 22 feet wide, a sight triangle on both sides of the driveway shall be provided and kept clear of obstruction for a distance of 10 feet from the intersection of the driveway and the sidewalk.

G.4. When the driveway is less than 10 feet from the lot line it may be reduced to 5 feet.



BIRDS EYE VIEWS



NORTHWEST CORNER



NORTHEAST CORNER

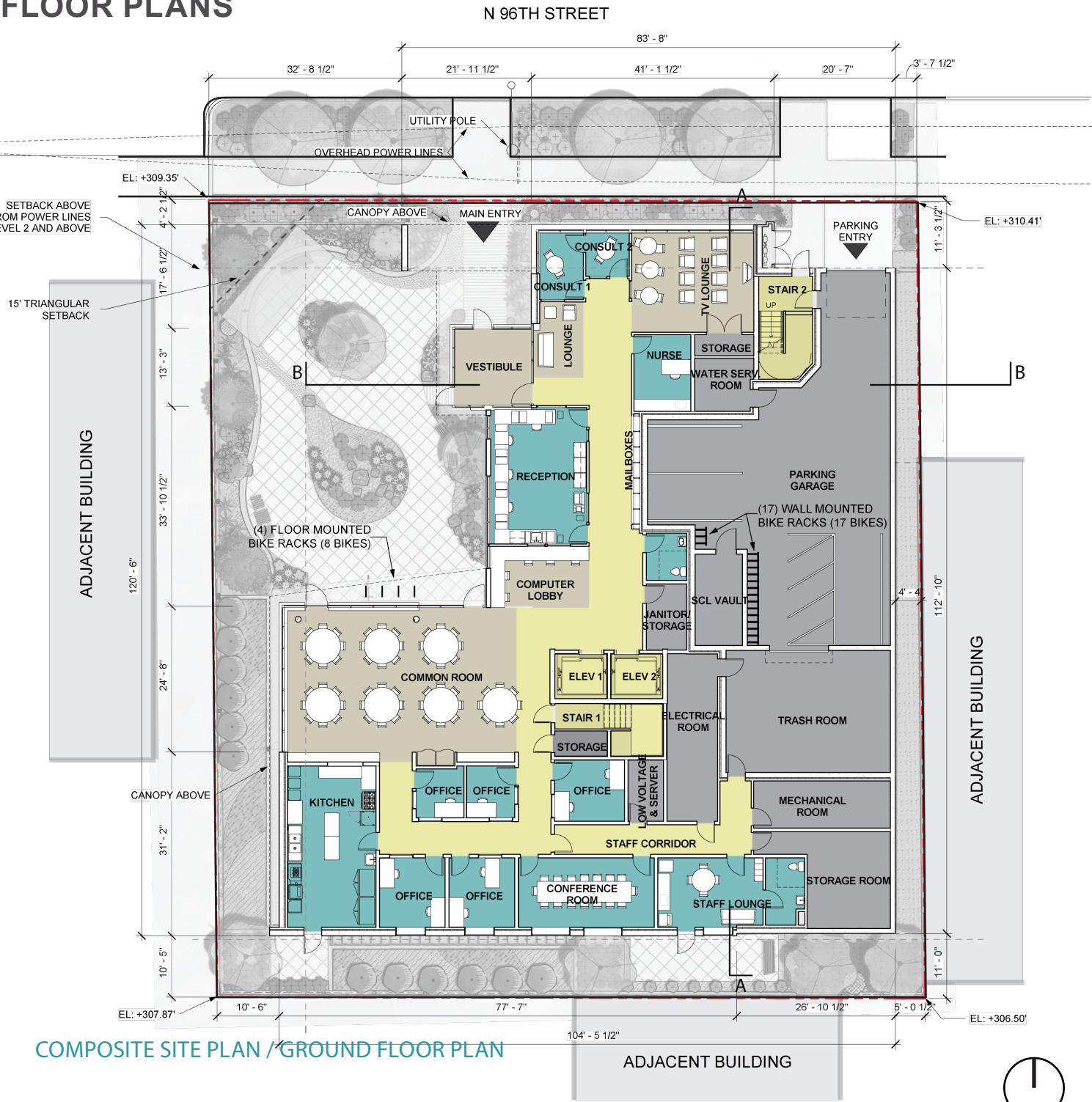


SOUTHEAST CORNER



SOUTHWEST CORNER

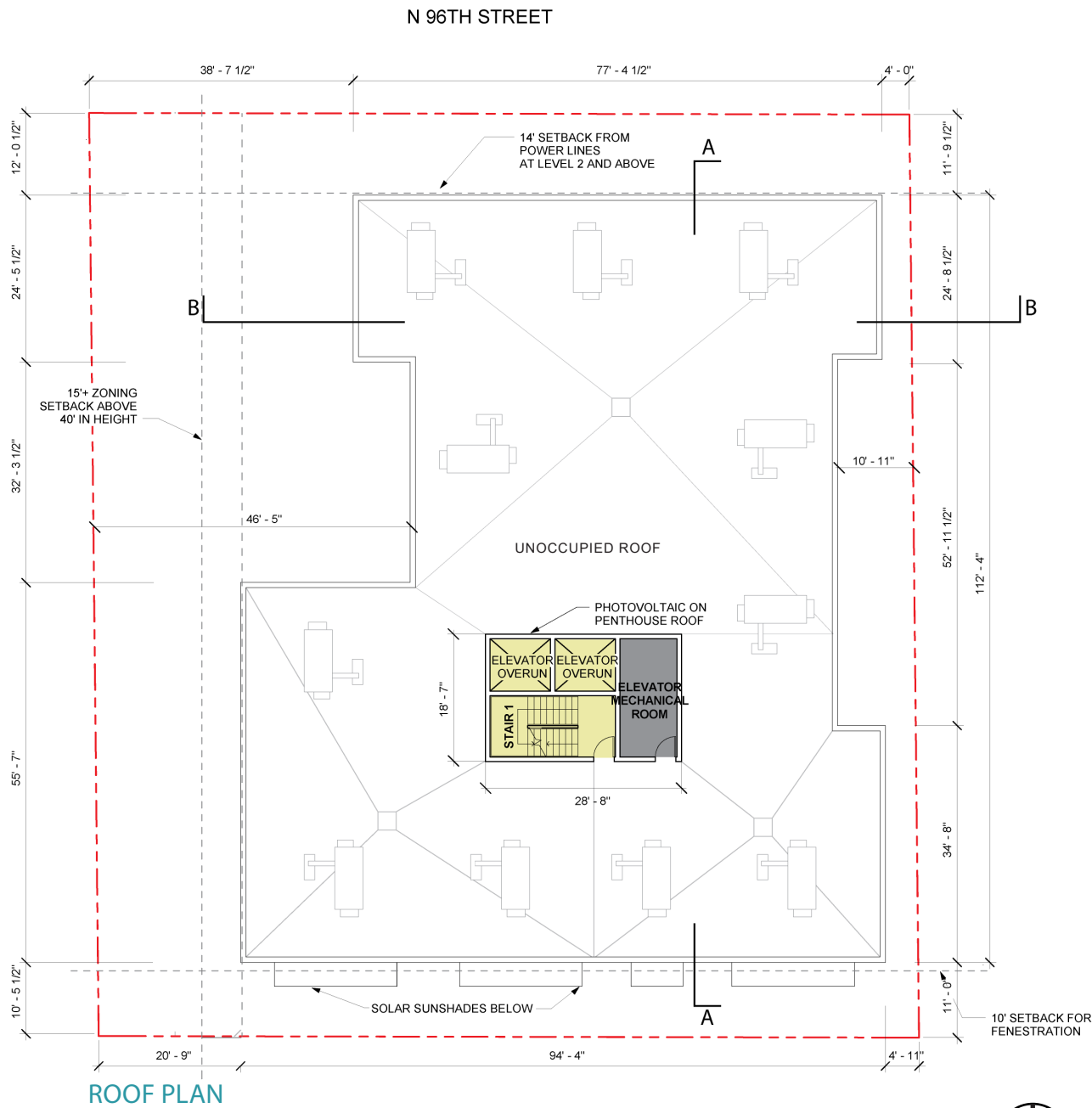
FLOOR PLANS



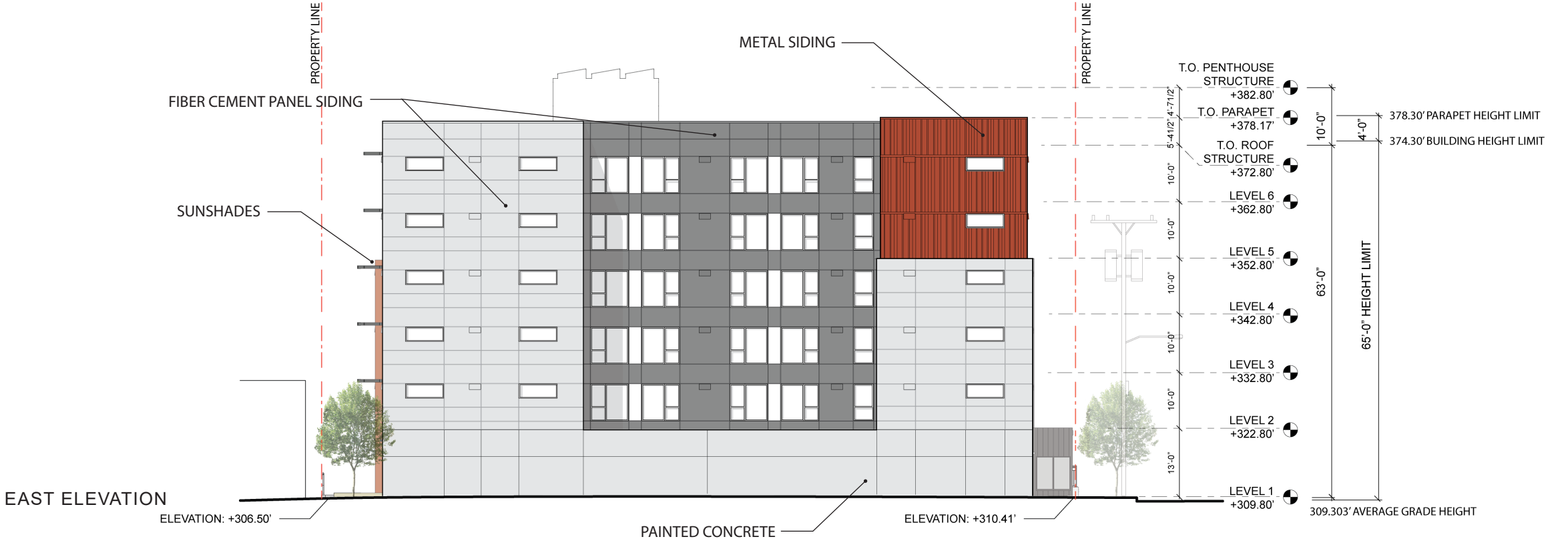
KEY: USES

RESIDENTIAL COMMON AREA	CIRCULATION	UNITS
STAFF SPACES	MECHANICAL AND UTILITY	LAUNDRY

FLOOR PLANS



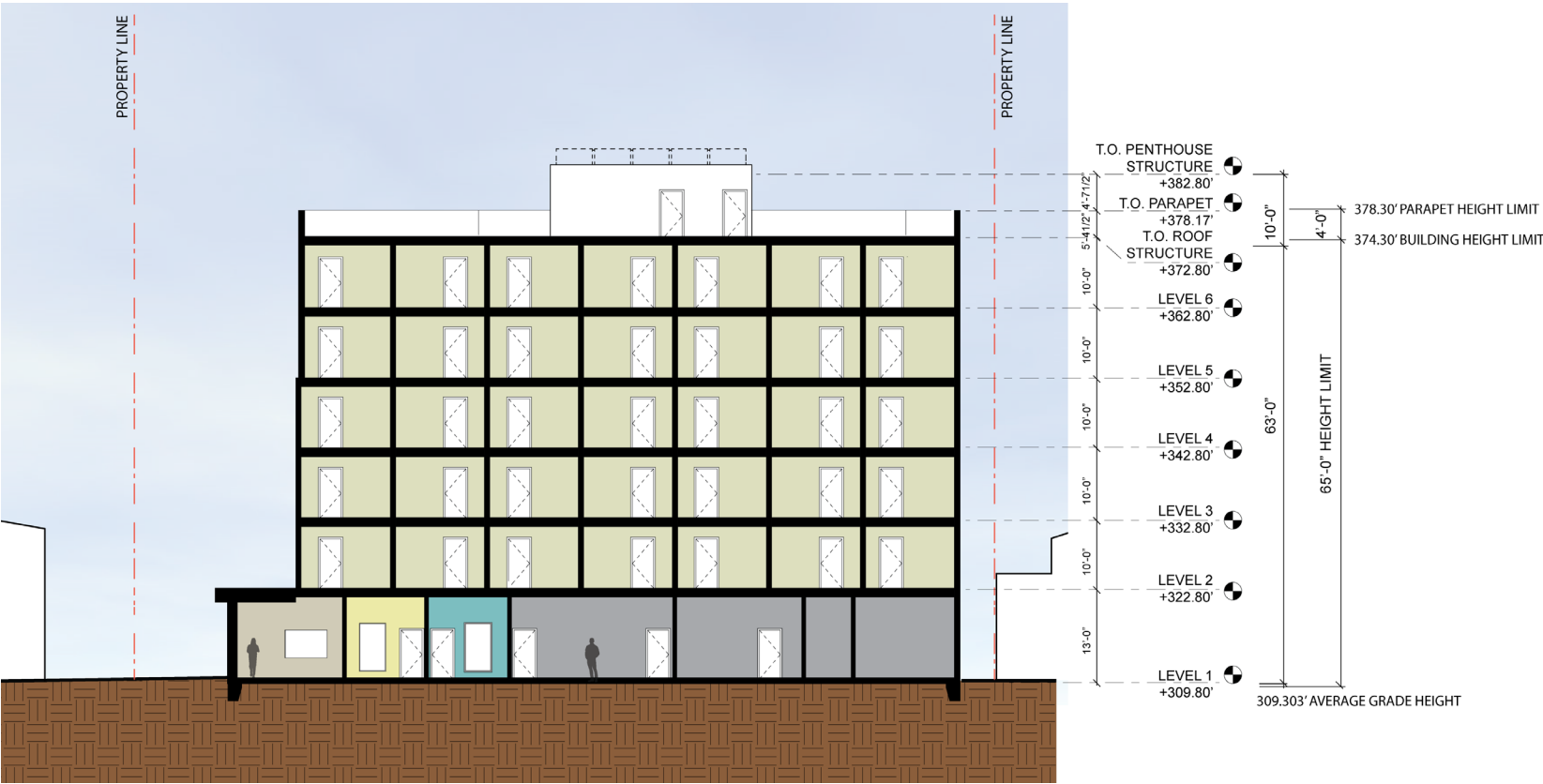
ELEVATIONS



ELEVATIONS



SECTIONS



KEY: USES

- RESIDENTIAL COMMON AREA
- STAFF SPACES
- UNITS
- CIRCULATION
- MECHANICAL AND UTILITY

MATERIALS PALETTE



1



METAL SIDING
(COOL COLONIAL RED)

2



CEMENT PANEL SIDING
(ASHLAND SLATE)

3



CEMENT PANEL SIDING
(COBBLESTONE PATH)

4



CEMENT PANEL SIDING
(WHITE, TO MATCH
VINYL WINDOW)

5



PAINTED CONCRETE
WITH REVEALS
(LIGHT GRAY)

6



SUNSHADE
(DARK GRAY)

7



STANDING SEAM ROOF
(COOL MATTE BLACK)

8



WOOD SLAT
(STAINED)

9



ALUMINUM
STOREFRONT
(DARK BRONZE)

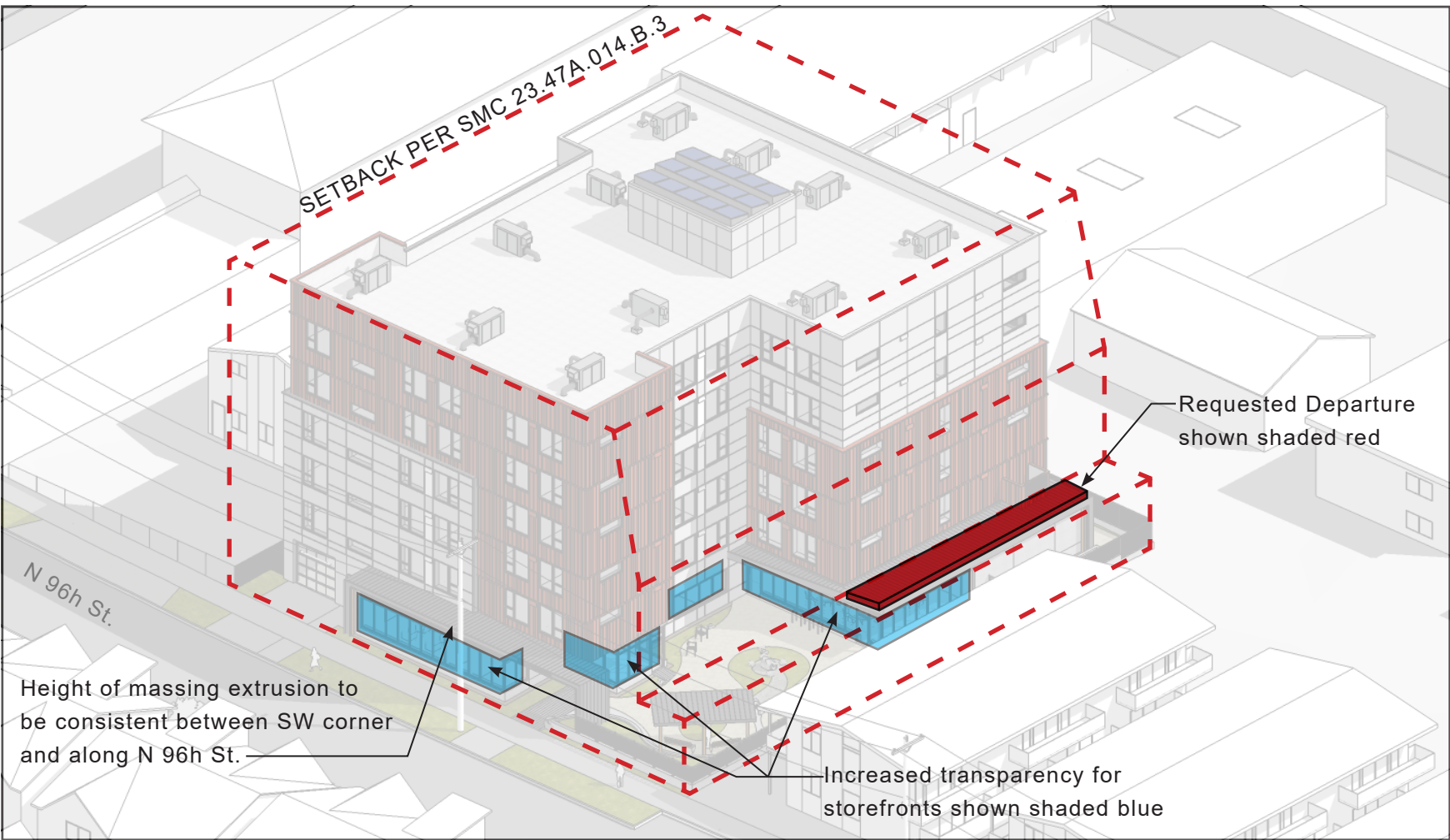
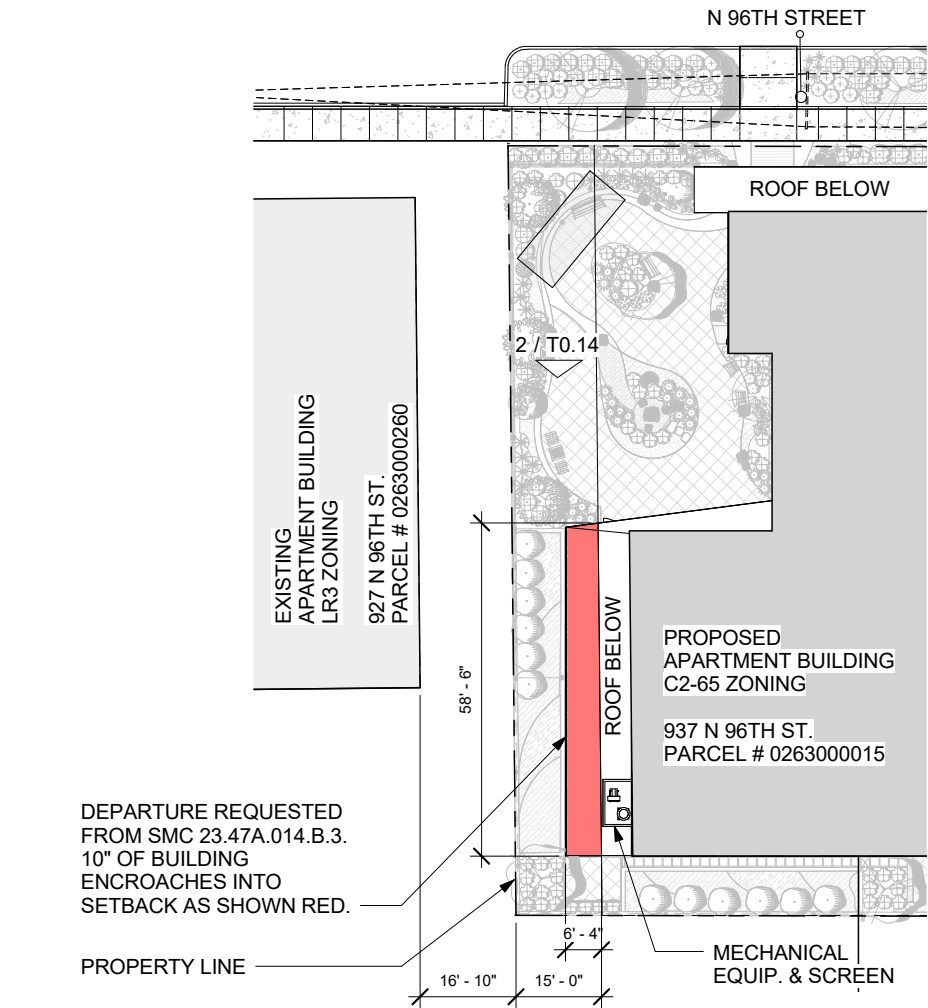
10



VINYL WINDOWS
(WHITE)

REQUESTED DEPARTURE #1

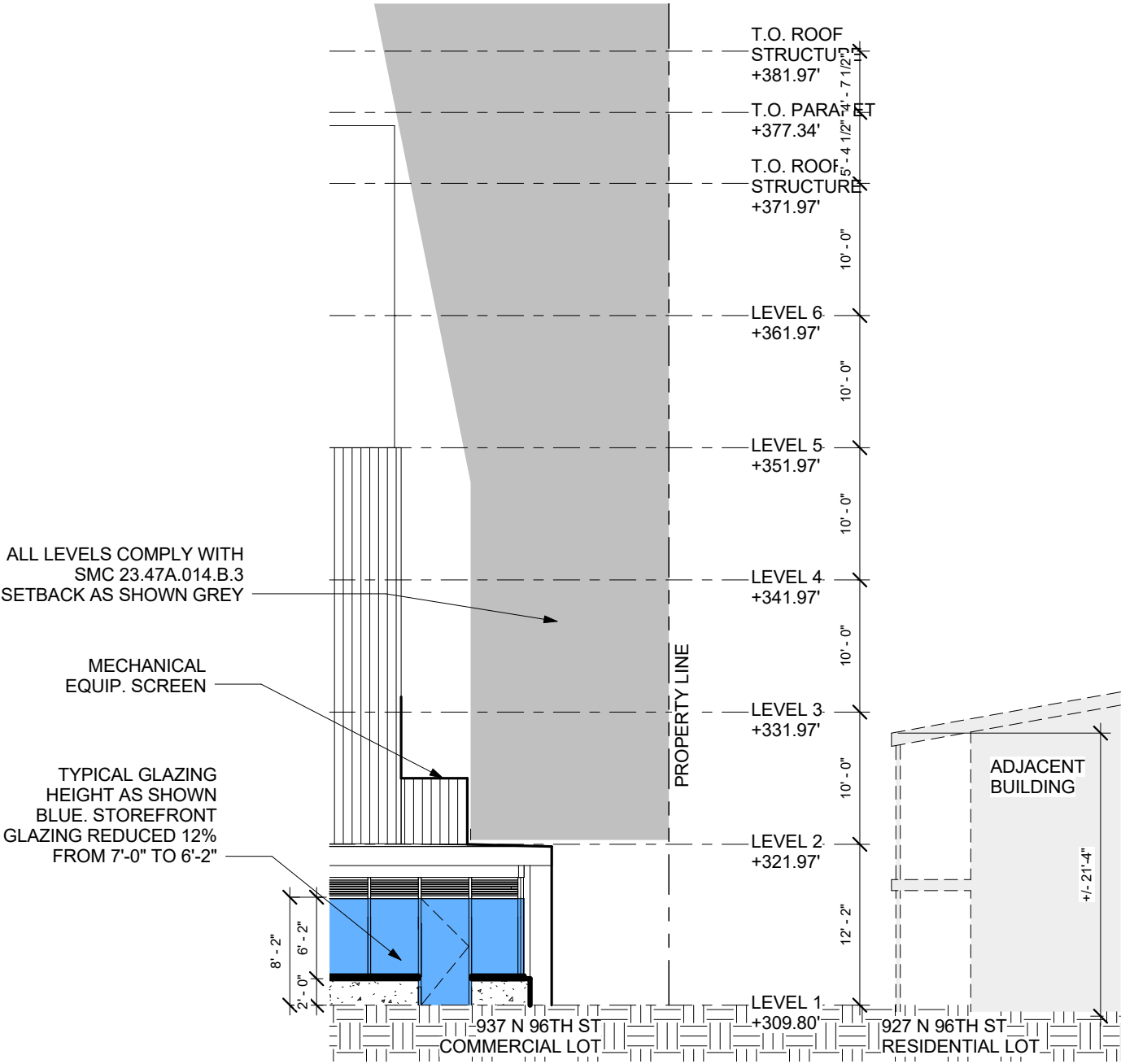
CODE REQUIREMENT	DEPARTURE REQUEST	HOW DEPARTURE BETTER MEETS DESIGN GUIDELINES
<p>SMC 23.47A.014.B.3 A setback is required along any rear or side lot line that abuts a lot in a residential zone or that abuts a lot that is zoned both commercial and residential if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot, as follows:</p> <p>A. Ten feet for portions of structures above 13 feet in height to a maximum of 65 feet; and B. For each portion of a structure above 65 feet in height, additional setback at the rate of 1 foot of setback for every 10 feet by which the height of such portion exceeds 65 feet (exhibit B for 23.47A.014).</p>	<p>At the west property line, the applicant proposes to increase the floor to floor height of the first floor, encroaching into the maximum 13 foot height setback for:</p> <p>10" Above 13'-0" setback height for a width of 6'-4" and length of 58'-6".</p>	<p>During EDG, site safety and 'eyes on the street' were a major concern of the design review board and public. The goal of the departure request is to allow for a greater floor to floor height of the first floor, resulting in more storefront glazing and ground floor transparency. A 10" increase of glazing area would result in 12% more ground floor transparency while the encroachment represents only 0.05% of the total building massing.</p> <ol style="list-style-type: none">1. This would create a safer environment by providing more 'eyes of the street' (PL2-B-1) and would also improve the street-level transparency (PL2-B-3) along N 96th street.2. The top of structure is below setback height, only rooftop features (insulation, membrane etc.) is encroaching, which is typically allowed for height restrictions. (SMC 23.47A.012.C.2)3. The 13'-0" floor to floor height proposed at level 1 would typically be a minimum requirement for non-residential ground floors in NC zones. (SMC 23.47A.008.B.4)4. Continuity in height between the massing extrusion at the SW corner and along N 96th St. is important to create a datum and enhance the overall facade composition (DC2-B-1).5. The departure also represents a 9.6% increase in interior ceiling height, from 8'-8" to 9'-6".



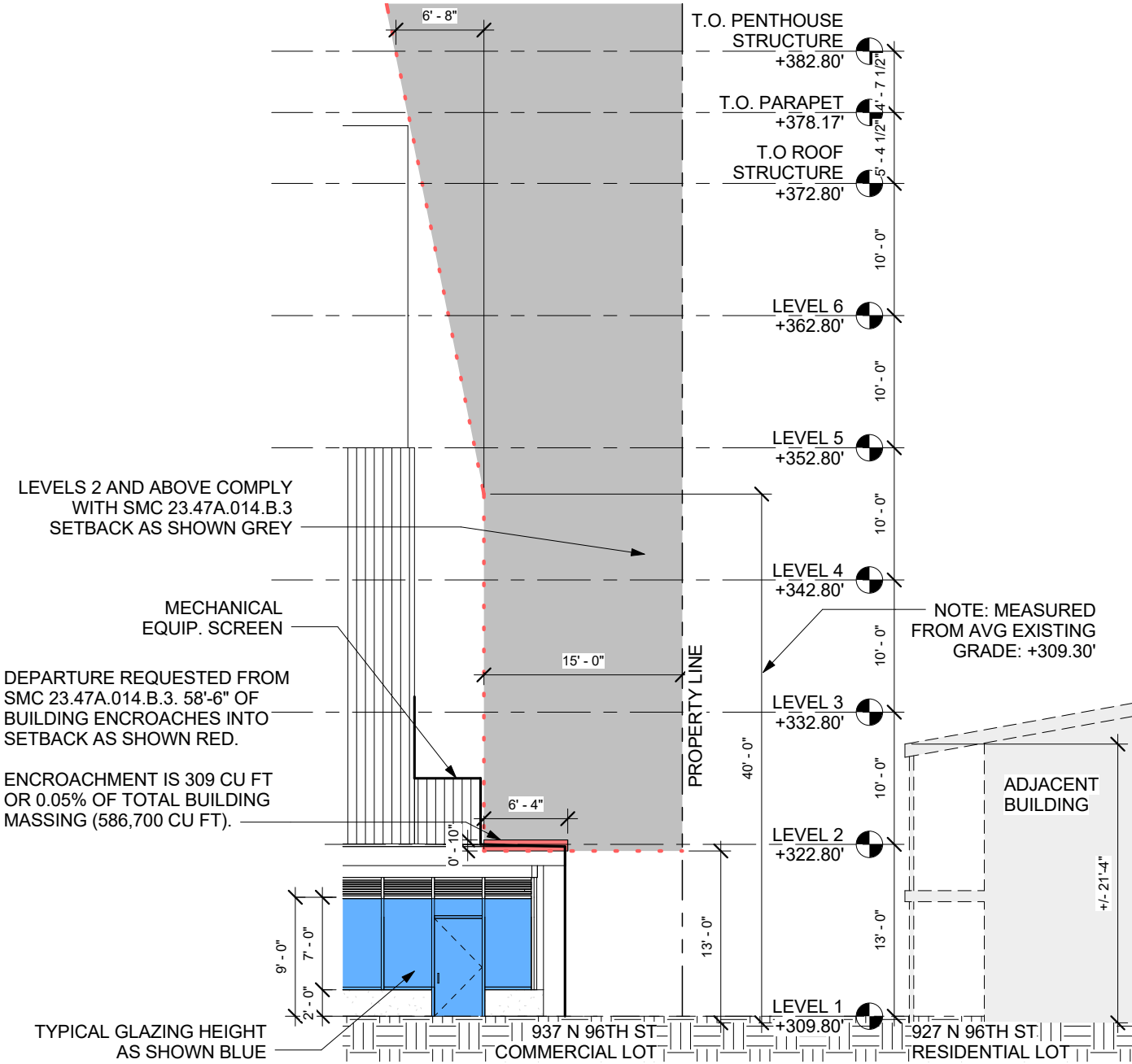
PLAN VIEW OF DEPARTURE

DIAGRAM OF DEPARTURE - AXON OF NORTH WEST CORNER

REQUESTED DEPARTURE #1

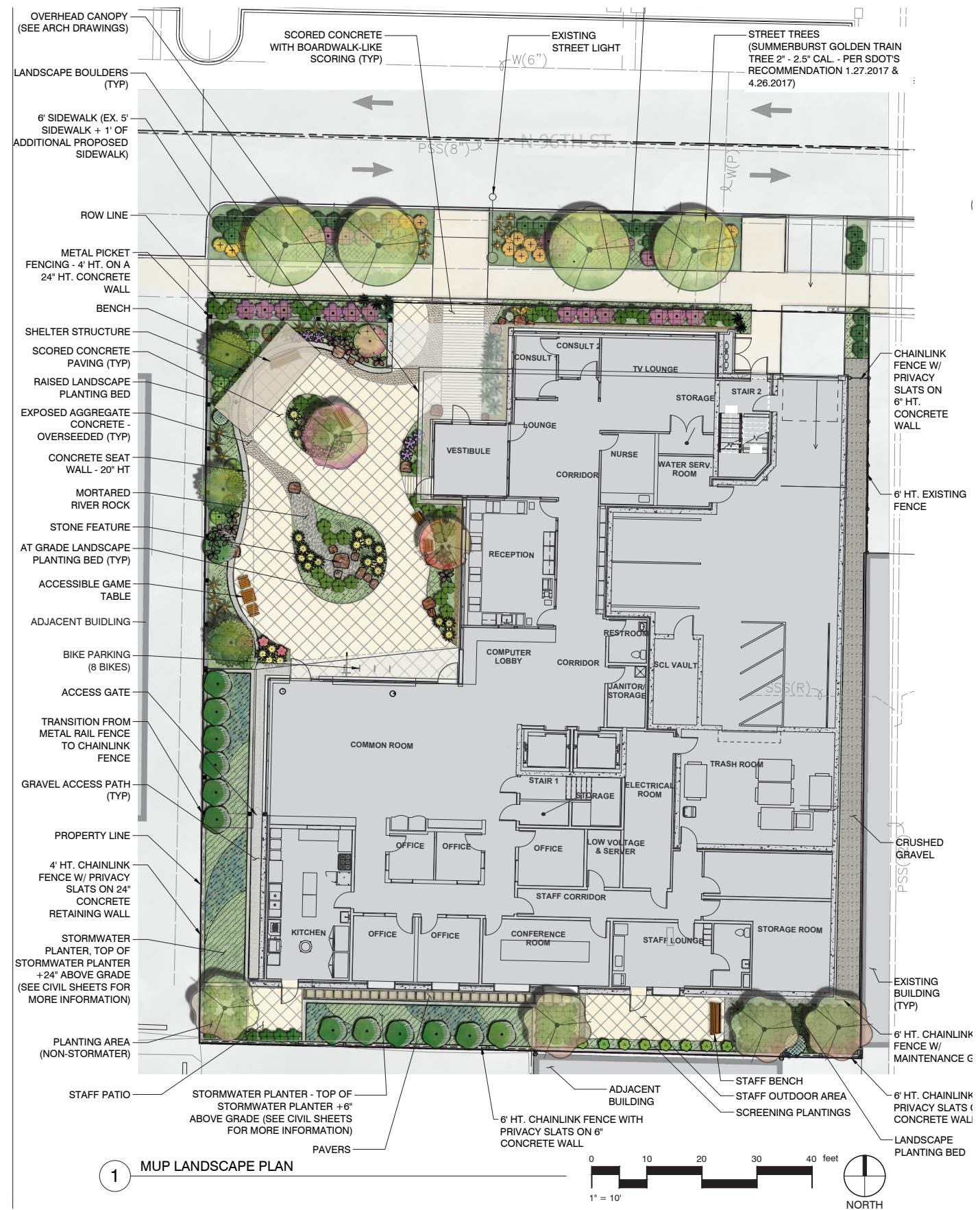


CODE COMPLIANT ALTERNATIVE



PROPOSED CONDITION

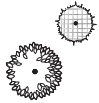
24



PLANT AND MATERIAL PALETTE

PLANT SCHEDULE

EVERGREEN TREES



BOTANICAL NAME / COMMON NAME

CUPRESSUS MACROCARPA 'WILMA GOLDCREST' / WILMA GOLDCREST CYPRESS

MAGNOLIA GRANDIFLORA 'TEDDY BEAR' / TEDDY BEAR SOUTHERN MAGNOLIA

SMALL DECIDUOUS TREES



BOTANICAL NAME / COMMON NAME

ACER CIRCINATUM / VINE MAPLE

AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / 'AUTUMN BRILLIANCE' SERVICEBERRY

CERCIS CANADENSIS / EASTERN REDBUD

STREET TREES



BOTANICAL NAME / COMMON NAME

KOELREUTERIA PANICULATA 'JFS-SUNLEAF' / SUMMERBURST GOLDEN RAIN TREE

GRASSES



BOTANICAL NAME / COMMON NAME

CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS ^

CAREX MORROWII / JAPANESE SEDGE

PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS

LARGE DECIDUOUS SHRUBS



BOTANICAL NAME / COMMON NAME

CORNUS SANGUINEA 'MIDWINTER FIRE' / BLOOD-TWIG DOGWOOD ^

RIBES SANGUINEUM / RED FLOWERING CURRANT ^

LARGE EVERGREEN SHRUBS



BOTANICAL NAME / COMMON NAME

FARGESIA NITIDA 'JIUZHAIGOU' / RED CLUMPING BAMBOO ^

GARRYA ELLIPTICA / COAST SILKTASSEL ^

PERENNIALS/FERNS



BOTANICAL NAME / COMMON NAME

BLECHNUM SPICANT / DEER FERN

DICENTRA FORMOSA / WESTERN BLEEDING-HEART

HELLEBORUS ORIENTALIS / LENTEN ROSE

LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE' / HIDCOTE BLUE LAVENDER

POLYSTICHUM MUNITUM / WESTERN SWORD FERN ^

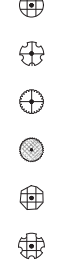
SMALL DECIDUOUS SHRUB



BOTANICAL NAME / COMMON NAME

SPIRAEA JAPONICA 'WALBUMA' / MAGIC CARPET SPIREA ^

SMALL EVERGREEN SHRUB



BOTANICAL NAME / COMMON NAME

EUONYMUS FORTUNEI 'TRICOLOR' / WINTERCREEPER ^

GAULTHERIA SHALLON / SALAL ^

PIERIS JAPONICA 'LITTLE HEATH' / LITTLE HEATH LILY OF THE VALLEY ^

PINUS MUGO 'MOPS' / MUGO PINE ^

PRUNUS LAUROCERASUS 'MOUNT VERNON' / MOUNT VERNON LAUREL ^

RHODODENDRON X 'BLOOM-A-THON' LAVENDAR / REBLOOMING AZALEA ^

LOW GROUND COVERS



BOTANICAL NAME / COMMON NAME

GAULTHERIA PROCUMBENS / WINTERGREEN

THYMUS PRAECOX 'MINUS' / DWARF CREEPING THYME

PERENNIALS / BULBS



BOTANICAL NAME / COMMON NAME

GALANTHUS ELWESII / GIANT SNOWDROP

GALIUM ODORATUM / SWEET WOODRUFF

STORMWATER PLANTER



BOTANICAL NAME / COMMON NAME

CAREX OBNUPTA / SLOUGH SEDGE ^

JUNCUS PATENS / CALIFORNIA GRAY RUSH ^

^ PLANT REACHES 24" OR GREATER AT MATURITY

EVERGREEN TREE



MAGNOLIA
GRANDIFLORA
'TEDDY BEAR'

SMALL DECIDUOUS TREES



ACER CIRCINATUM



AMELANCHIER X
GRANDIFLORA
AUTUMN BRILLIANCE



CERCIS
CANADENSIS

STREET TREE



KOELREUTERIA
PANICULATA
'JFS-SUNLEAF'

GRASSES



CALAMAGROSTIS
X ACUTIFLORA
'KARL FORESTER'



CAREX
MORROWII



PENNISETUM
ALOPECUROIDES
'HAMELN'

LARGE DECIDUOUS SHRUBS



CORNUS
SANGUINEA
'MIDWINTER FIRE'



RIBES
SANGUINEUM

LARGE EVERGREEN SHRUBS



FARGESIA NITIDA
'JIUZHAIGOU'



CUPRESSUS
MACROCARPA
'WILMA
GOLDCREST'



GARRYA
ELLIPPTICA

SMALL DECIDUOUS SHRUB



SPIRAEA JAPONICA
'WALBUMA'

SMALL EVERGREEN SHRUBS



EUONYMUS FORTUNEI
'TRICOLOR'



GUALTHERIA SHALLON



PIERIS JAPONICA
'LITTLE HEATH'



PINUS MUGO '
MOPS'



PRUNUS LAUROCERASUS '
MOUNT VERNON'



RHODODENDRON X
'BLOOM-A-THON'

LOW GROUND COVERS



GUALTHERIA PROCUMBENS



THYMUS PRAECOX
'MINUS'

PERENNIALS/BULBS



GALANTHUS ELWESII



GALIUM ODORATUM

STORMWATER PLANTER



JUNCUS PATENS



CAREX OBNUPTA

PERENNIALS/FERNS



BLECHNUM SPICANT



DICENTRA FORMOSA



HELLEBORS ORIENTALIS



LAVANDULA ANGUSTIFOLIA '
HIDCOTE BLUE'



POLYSTICHUM MUNITUM

THERAPEUTIC ENTRY COURTYARD - PLANTING PALETTE

LANDSCAPE



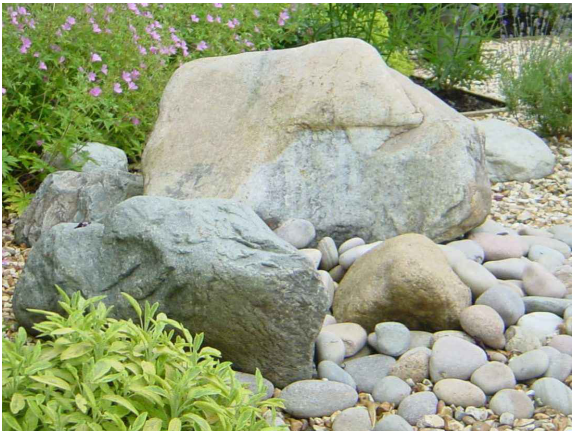
SCORED C.I.P. CONCRETE



EXPOSED AGGREGATE



C.I.P. CONCRETE WITH BOARDWALK-LIKE SCORING



STONE FEATURE W/ MORTARED RIVER ROCK



CONCRETE SEATWALL



BENCH (6' LENGTH, 4' LENGTH AND CHAIR)*

* FURNISHINGS COLOR PALETTE: METAL TO BE BLACK/DARK GREY AND WOOD OR WOODLIKE MATERIAL TO BE REDWOOD OR WALNUT COLORED



CHESS TABLE*



SHELTER STRUCTURE



STORMWATER PLANTER - HT. VARIES



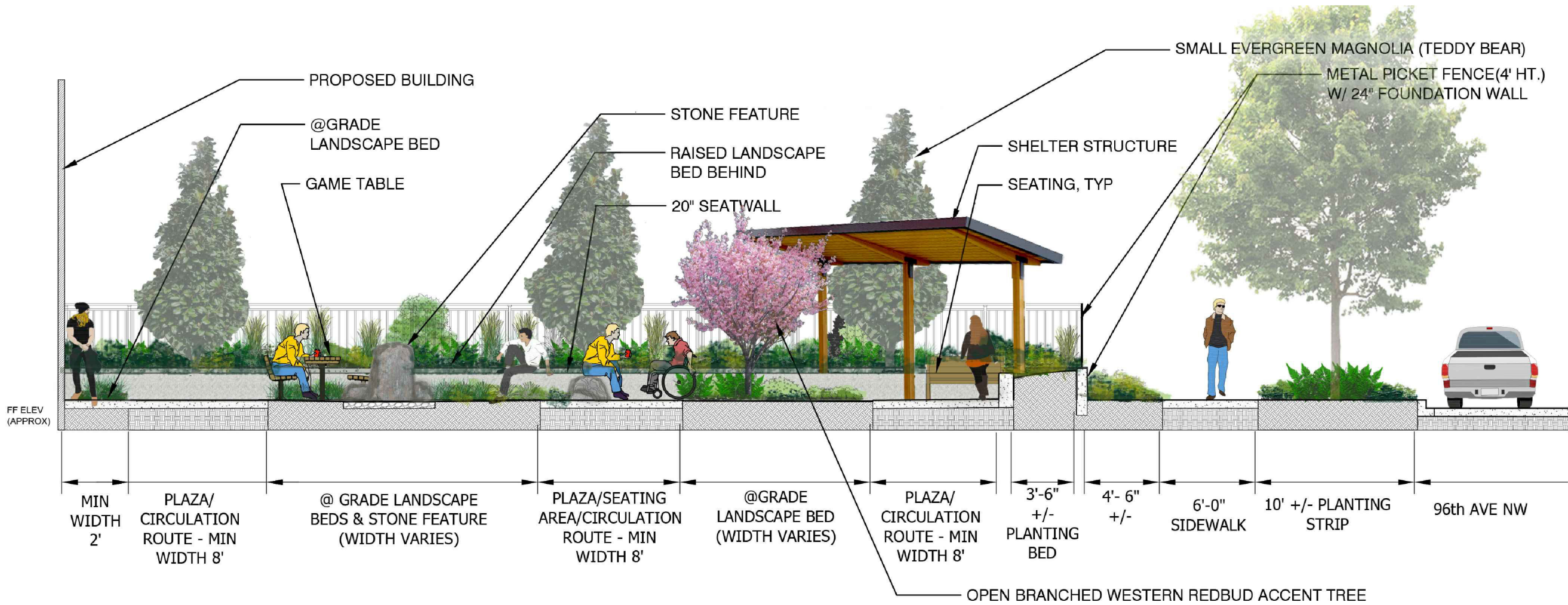
METAL RAIL FENCING - BLACK
(4' FENCE ON A 24" CONCRETE WALL)



CHAINLINK FENCE W/ PRIVACY SLATS - BLACK
HT. OF FENCE AND WALL VARIES PER PLAN



LANDSCAPE SCHEME



1 SECTION/ELEVATION THROUGH CENTRAL COURTYARD - LOOKING WEST

DESIGN REVIEW | MAY 22, 2017 | SDCI #3025501 | SMR ARCHITECTS | 937 NORTH 96TH STREET | DESC N96 SUPPORTIVE HOUSING

SCHEMATIC LIGHTING PLAN AND FIXTURES

FIXTURE A: Linear Canopy Light



FIXTURE B: Wall Mounted Linear Wall Sconce and Wall Washer



FIXTURE C: Embedded Seat Wall Landscape Light



LIGHTING PLAN

FIXTURE D: Bollard Lighting



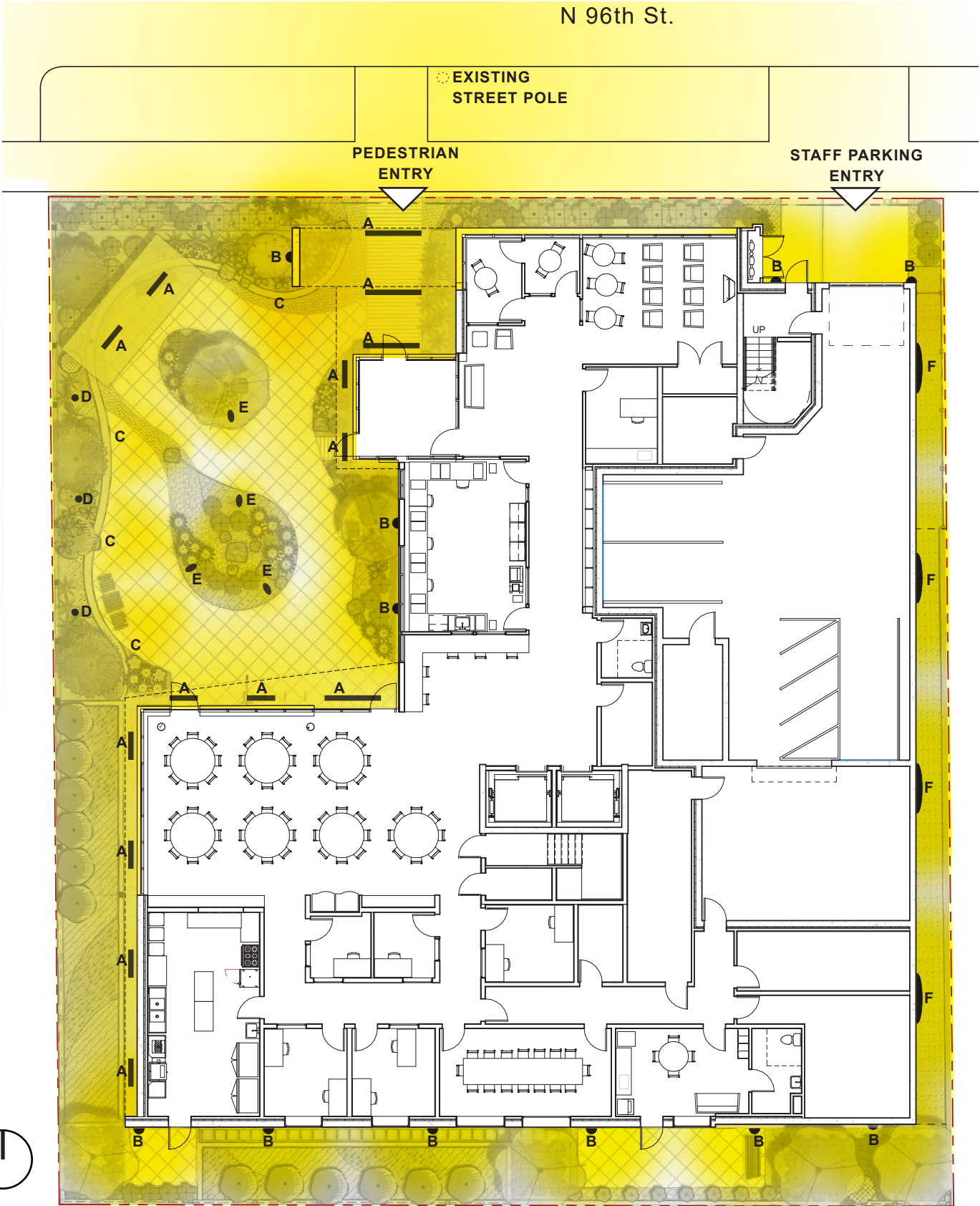
FIXTURE E: Feature Lighting



FIXTURE F: Security Flood Light

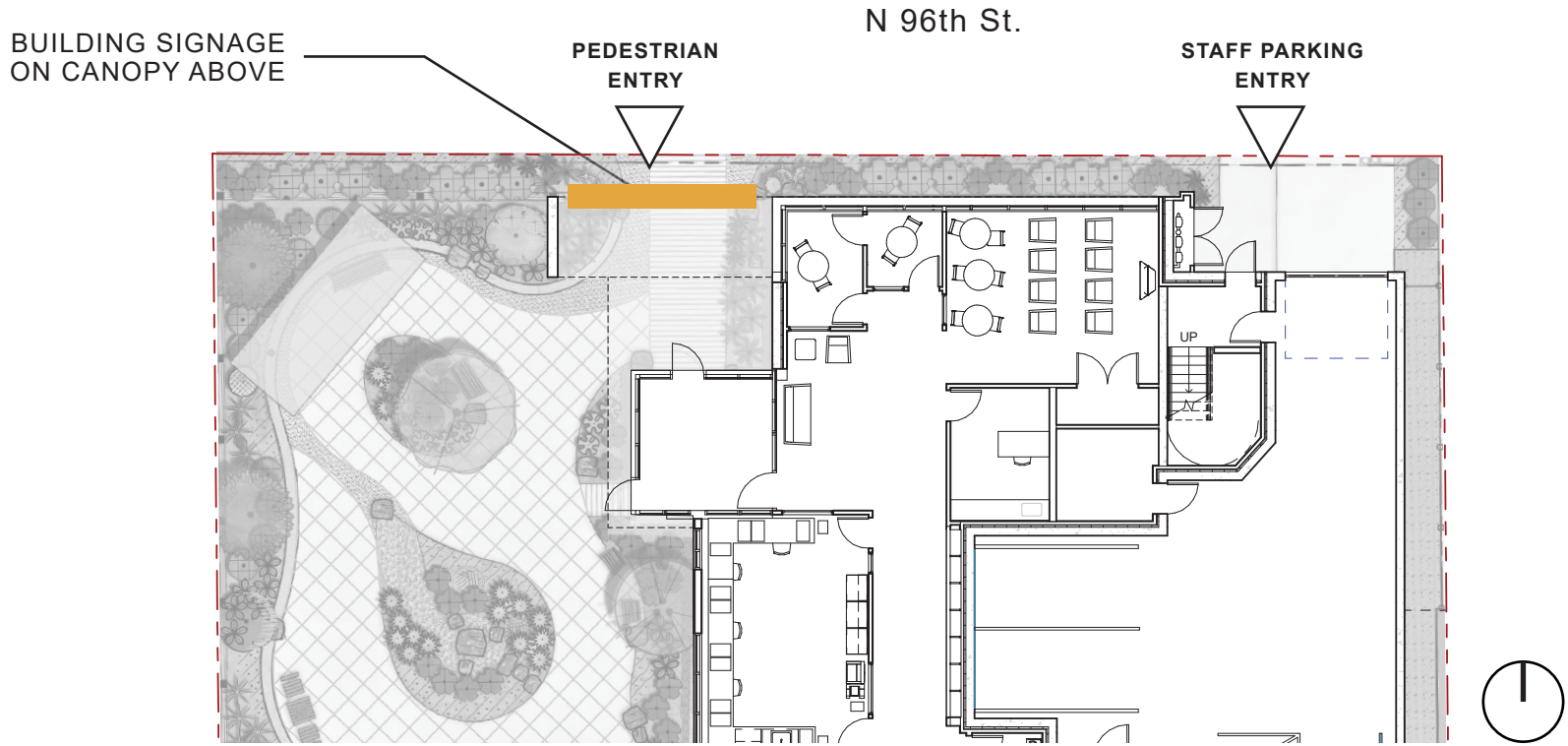


*Actual fixtures to be determined, images for design intent only



LIGHTING PLAN

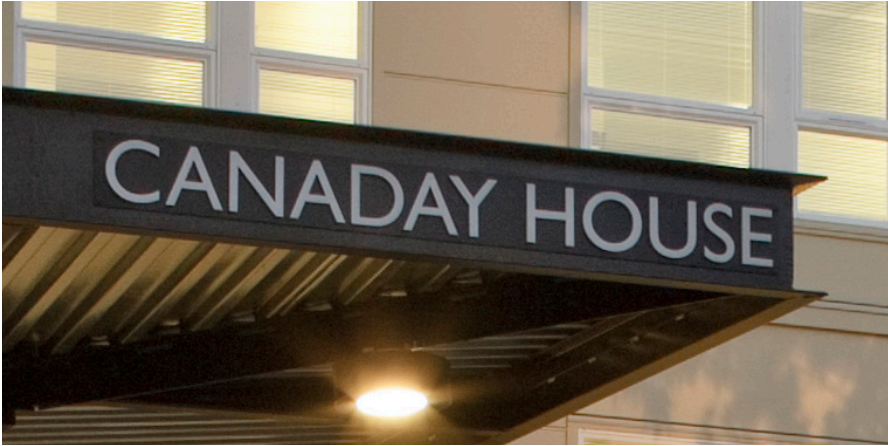
SIGNAGE PLAN



PARTIAL SIGNAGE PLAN

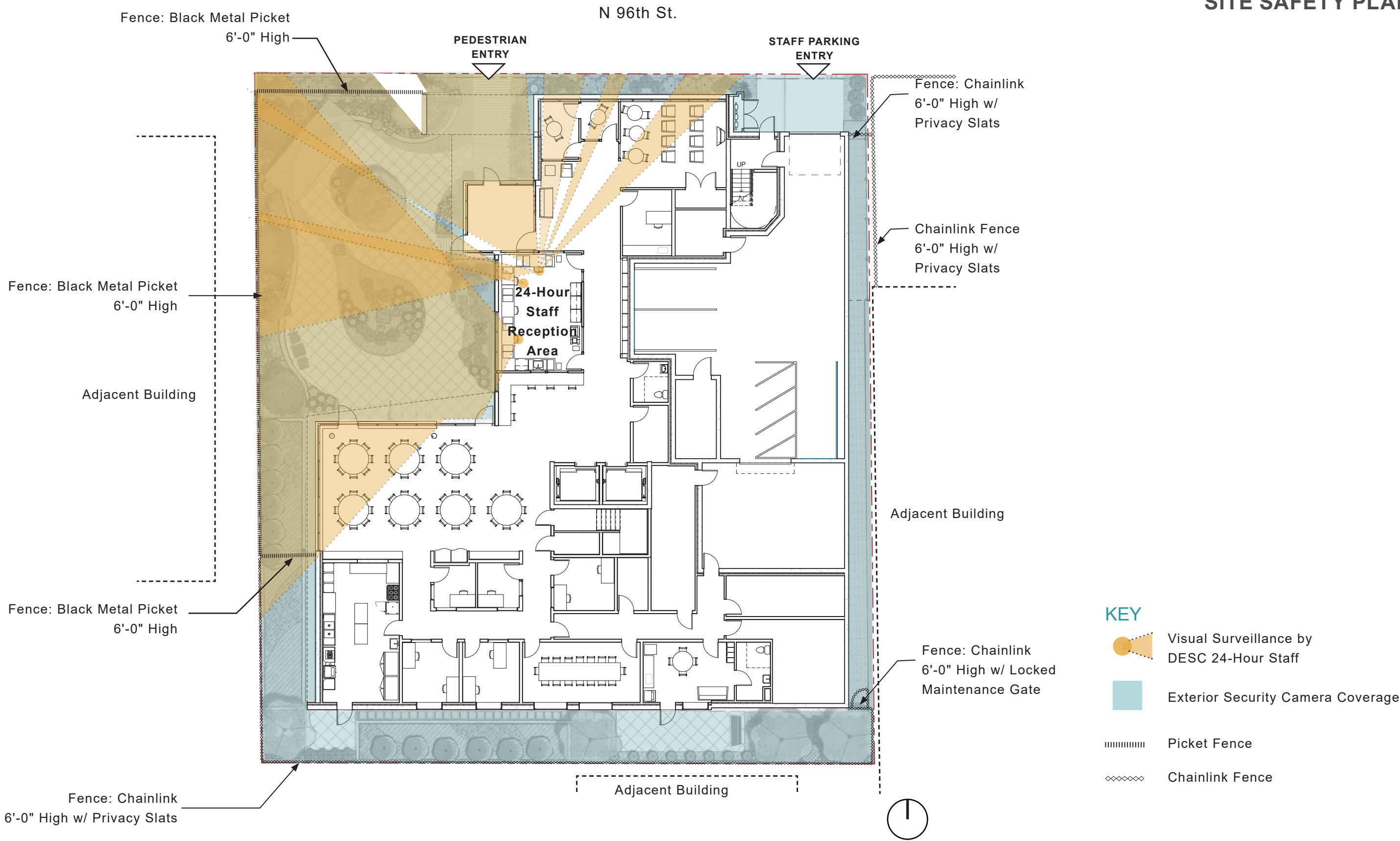


ENTRY SEQUENCE WITH SIGNAGE

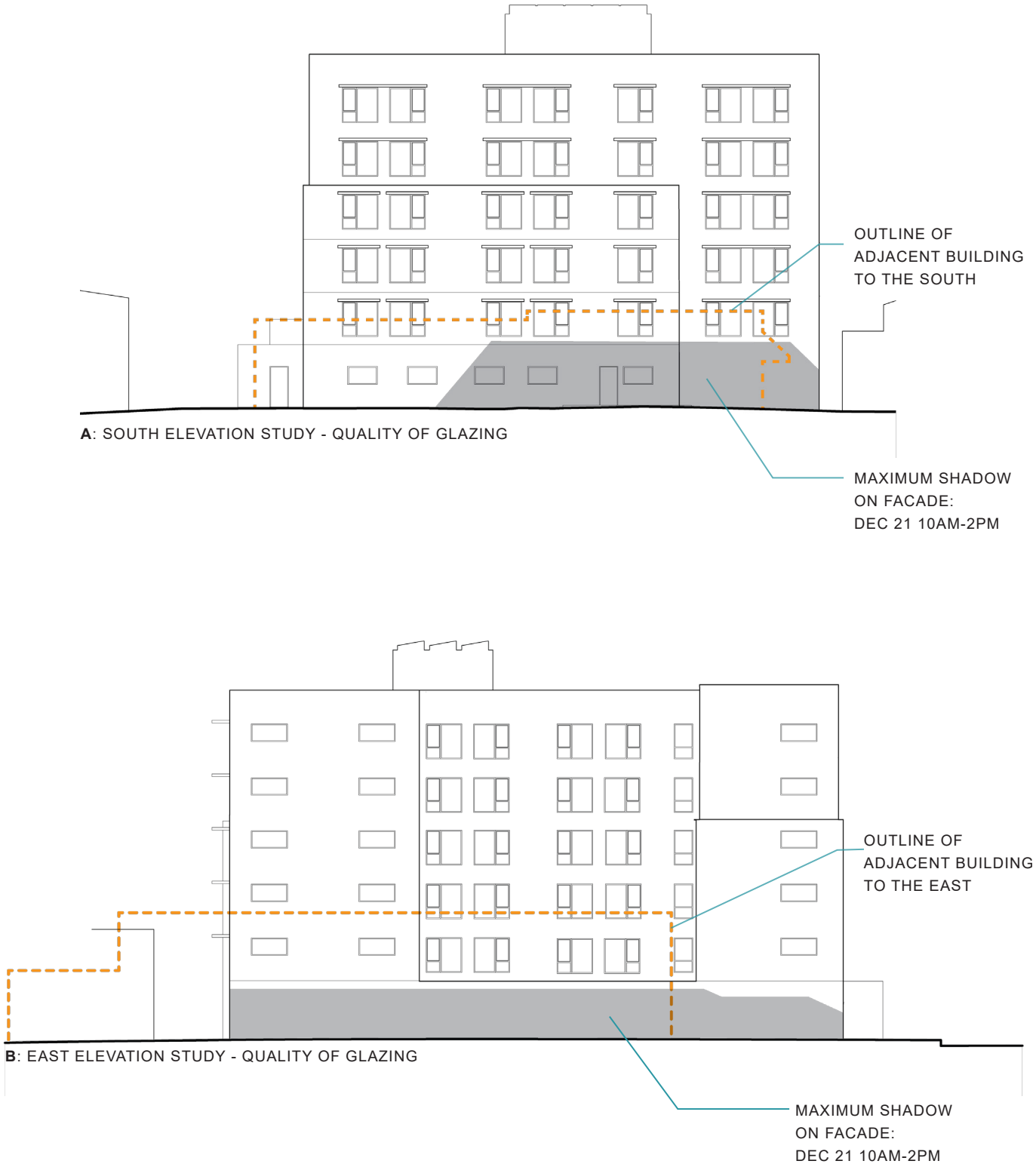


EXAMPLE SIGNAGE

SITE SAFETY PLAN



BUILDING SETBACK STUDY





SOLAR STUDY

VIEW FROM N 96TH LOOKING SW



VIEW FROM N 96TH LOOKING SOUTH



COURTYARD VIEW LOOKING SOUTH



COURTYARD VIEW LOOKING NORTH



SIDE & REAR YARD VIGNETTES



VIEW FROM STAFF PATIO (SOUTH YARD)



VIEW FROM ADJACENT APARTMENT BUILDINGS TO THE WEST

STREETSCAPE VIGNETTES



VIEW FROM N 96TH SIDEWALK LOOKING WEST



VIEW FROM N 96TH SIDEWALK LOOKING EAST

NEIGHBORHOOD VIGNETTES

VIEW FROM N 95TH ST



VIEW FROM N 95TH ST



VIEW FROM AURORA AVE NORTH



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SDCI #3025501 | SMR ARCHITECTS | DESIGN REVIEW | MAY 22, 2017

DESC N96 SUPPORTIVE HOUSING | 937 NORTH 96TH STREET

SCHEMATIC MATERIAL TRANSITIONS AND DETAILS

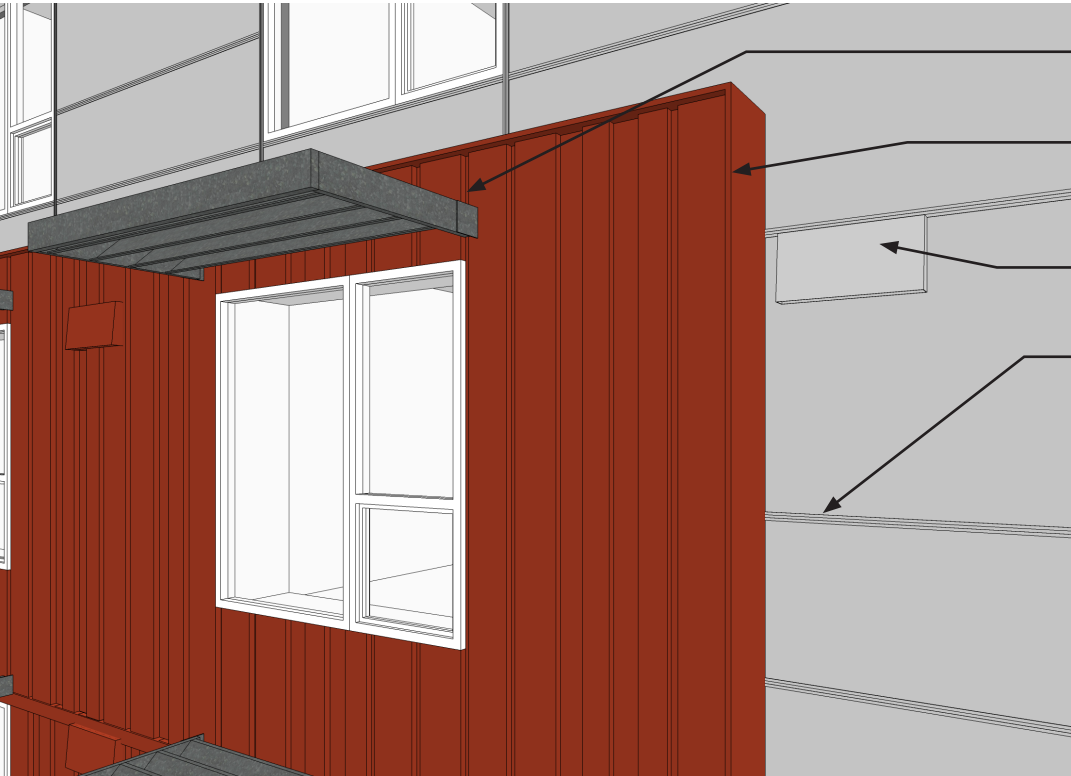


STOREFRONT AND CANOPY RETURN AT N 96TH ST

- Building signage integrated into canopy design
- Wood cladding at canopy soffit and wall returns
- Linear lighting is integrated into wood cladding and extends to entry door to highlight entry sequence
- Paving scoring to match wood cladding to reinforce entry sequence
- Entry 'portal' inter-links with landscaping seat wall to tie building massing with courtyard landscaping and provide street level continuity
- Hardscape required in this area due to egressing requirements



BUILDING ENTRY SEQUENCE



MATERIAL TRANSITION AT SOUTH FACADE: METAL TO FIBER CEMENT

- Prefinished sunshade at south facade
- Prefinished metal return, color to match metal siding
- Sheet metal vent shroud, color to match adjacent siding
- Typical fiber cement reveal
- Concrete seat wall
- Exposed aggregate concrete paving
- Mortar-set river rock



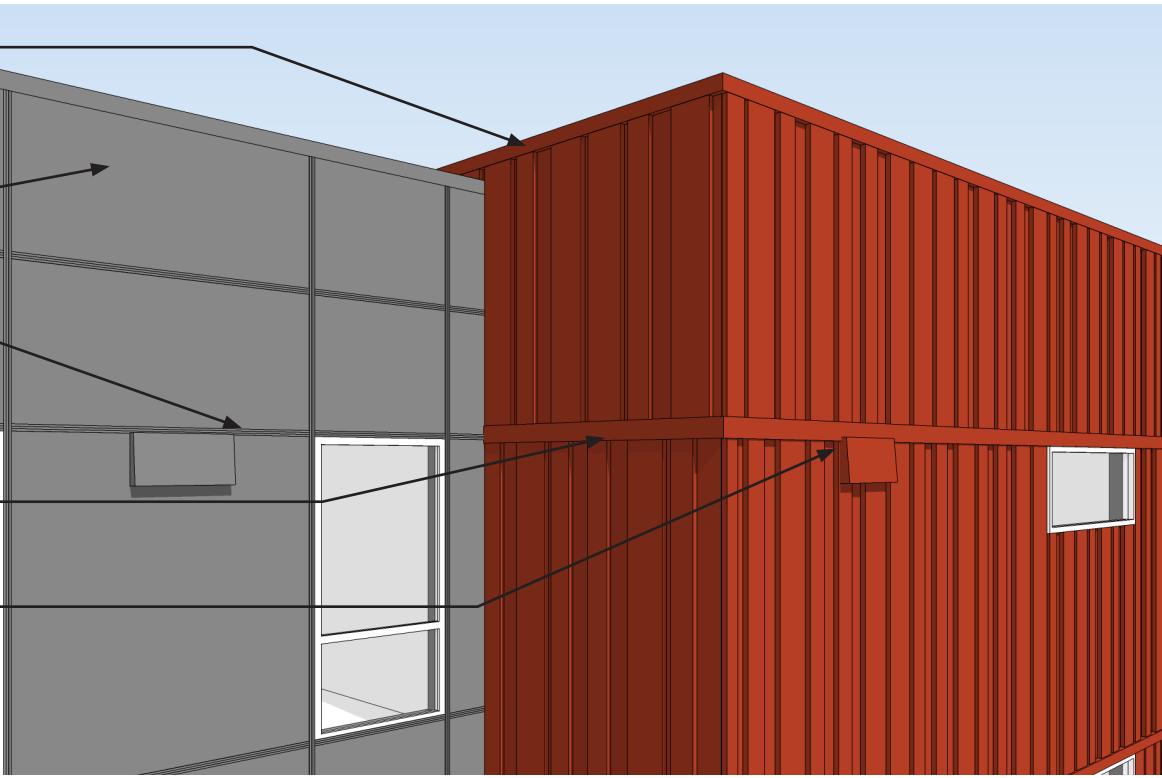
COURTYARD VIEW

SCHEMATIC MATERIAL TRANSITIONS AND DETAILS

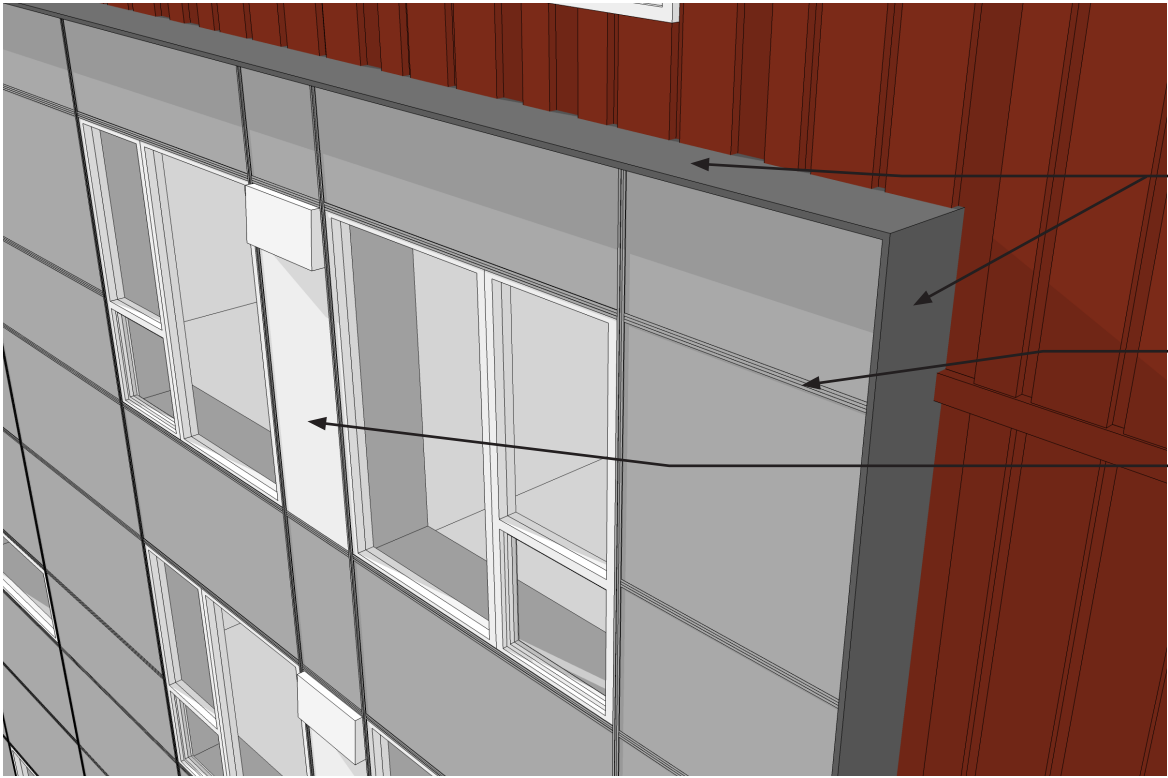


INTERIOR CORNER & FIBER CEMENT MATERIAL TRANSITION

- Prefinished coping cap to match siding color typ.
- Parapet lowered at facades with fiber cement siding
- Typical fiber cement reveal to align with window openings
- Typical thru-wall flashing at metal facade
- Sheet metal vent shroud, color to match adjacent siding
- Prefinished cap flashing at material transitions, color: "Cobblestone Path"



INTERIOR CORNER MATERIAL TRANSITION & PARAPET DETAILING



GANGED WINDOWS & FIBER CEMENT MATERIAL TRANSITION

- Continuous sunshades at ganged windows in fiber cement siding
- Prefinished metal return and cap flashing at material transitions, color: "Cobblestone Path"
- Typical fiber cement reveal to align with window openings
- Ganged window design at fiber cement siding. Fiber cement infill panel to match window color
- Prefinished cap flashing at material transitions, color to match metal siding
- Individually mounted sunshades at metal siding



WINDOW/SUNSHADE TREATMENT AT FIBER CEMENT AND METAL SIDING

SUPPLEMENTAL INFORMATION



Due to egress requirements,
exit-only gate may be required
along N 96th St.

Design team is waiting for SDCI
determination.

Potential open metal picket
gate to match fence design
language.

POTENTIAL ALTERNATE STREET FRONTAGE FENCE DESIGN