

THE 9

8822 9th Ave SW
Seattle, WA 98106

ADMINISTRATIVE DESIGN REVIEW

Project # | 3025366
Early Design Guidance
July 24, 2019

Architect | Wittman Estes Architecture + Landscape
5628 Airport Way S, Ste. 165
Seattle, WA 98108
206-735-7170

Developer | Hammer & Ink, LLC

Landscape Designer | Wittman Estes Architecture + Landscape

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PROJECT INFORMATION

- 12 residential units
- 12-14 parking spaces
- 12-14 long-term bike storage spaces
- 2 short-term bike parking spaces

SITE INFORMATION

ADDRESS	8822 9th Ave SW
PARCEL NUMBER	7750500001
LOT AREA	13732 ft²
BASE ZONE	LR2
OVERLAY AREAS	none

PROJECT NARRATIVE

This development project strengthens the neighborhood connection with Westcrest Park, while providing well-designed housing options for neighborhood residents. It improves the composition of the streetscape, making the pedestrian experience safer and more enjoyable. The design addresses its immediate context by maintaining privacy between neighbors and enhancing existing outdoor spaces.



PUBLIC OUTREACH

During public outreach, this project was generally approved of. Neighborhood residents stated that greater density was desired in the area. They also appreciated the goal of creating connectivity between 9th Ave, the park, and the adjacent alley. Safety is a concern, and some people felt that this project would create much-needed visibility to the park's perimeter.

PRINTED OUTREACH	
METHOD	DESCRIPTION
High Impact	English/Vietnamese fact sheet or flyer distributed to the residences, apartments, and businesses within an approximately 500 foot radius of the proposed site
documentation	<i>Bilingual informational flyer</i> <i>Map showing area that received the flyer</i>

ELECTRONIC/DIGITAL OUTREACH	
METHOD	DESCRIPTION
Multi-Pronged <i>documentation</i>	Basic project webpage available in both English and Vietnamese <i>Website address and screenshot</i>
Multi-Pronged <i>documentation</i>	Post on West Seattle blog that includes information on how to submit comments directly to the project applicant <i>Blog/newsletter URL and screen shot</i>

IN PERSON OUTREACH	
METHOD	DESCRIPTION
High Impact	Guided weekend tour or site walk. Will invite Westcrest P-Patch, Highland Park Action Committee, Highland Park Improvement Club, Delridge Neighborhoods District Council, Delridge Neighborhoods Development Association, and local residents
documentation	<i>Sign-in sheet from site walk</i> <i>Copy of applicant notes from community site walk</i>

The 9 Seattle – Guided Site Tour

Meeting location: 8822 9th Ave SW, Seattle, WA 98106

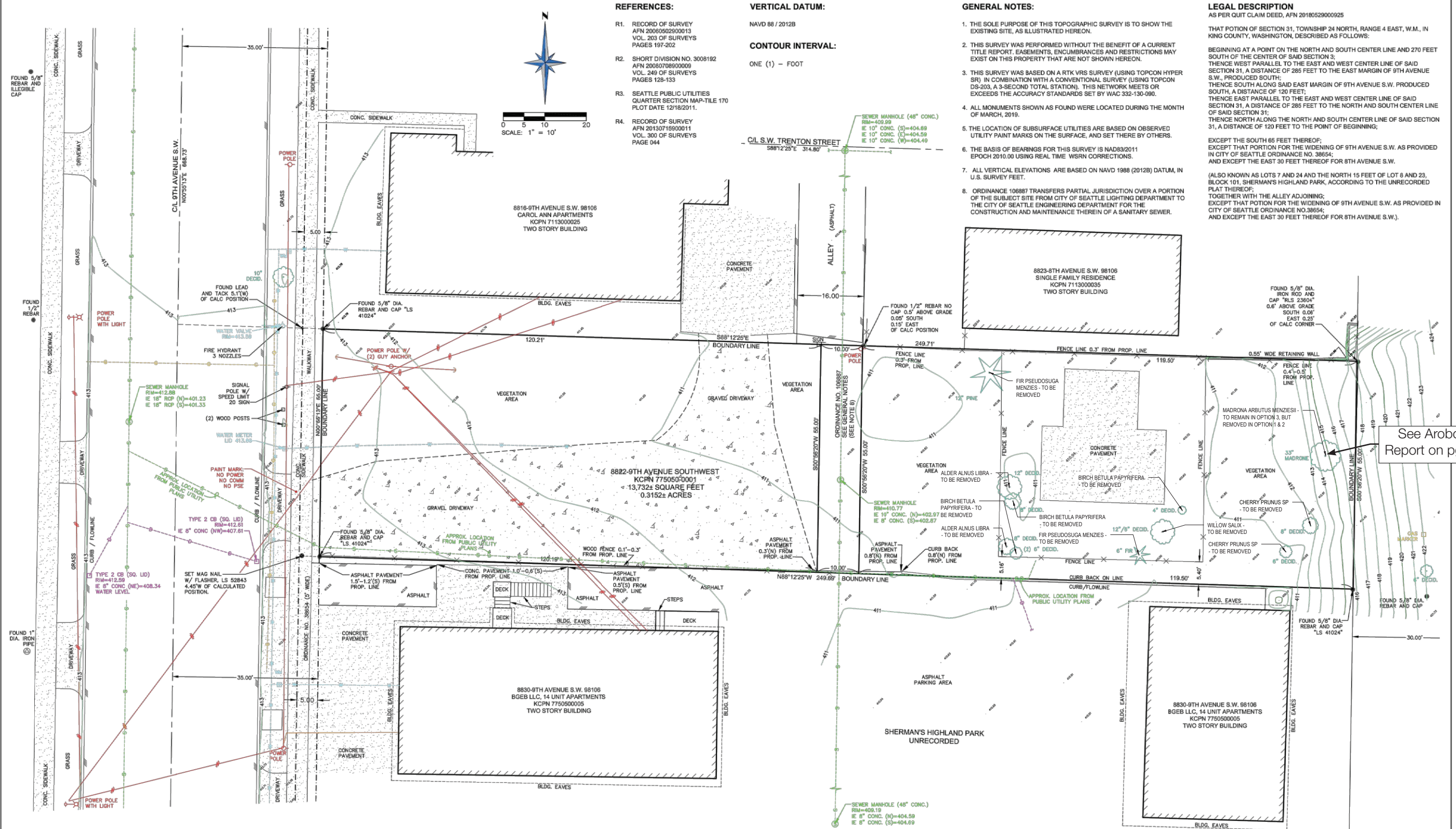
Meeting date: Saturday, Jan. 19, 2019 at 10:00 AM

Please print legibly.

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Note: This information is being collected by Matt Wittman, but may be submitted to the City of Seattle. Therefore, personal information entered on this form may be subject to disclosure to a third-party requestor pursuant to the Washington Public Records Act.

WITHIN THE NE1/4 OF THE SW1/4 OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 04 EAST, W.M., KING COUNTY, WASHINGTON



REFERENCES:

- R1. RECORD OF SURVEY
AFN 2006050200013
VOL. 203 OF SURVEYS
PAGES 197-202
- R2. SHORT DIVISION NO. 3008192
AFN 2008070800009
VOL. 249 OF SURVEYS
PAGES 128-133
- R3. SEATTLE PUBLIC UTILITIES
QUARTER SECTION MAP-TILE 170
PLOT DATE 12/18/2011.
- R4. RECORD OF SURVEY
AFN 2013071500011
VOL. 300 OF SURVEYS
PAGE 044

VERTICAL DATUM:

NAVD 88 / 2012B

CONTOUR INTERVAL:

ONE (1) - FOOT

GENERAL NOTES:

1. THE SOLE PURPOSE OF THIS TOPOGRAPHIC SURVEY IS TO SHOW THE EXISTING SITE, AS ILLUSTRATED HEREON.
2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT, EASEMENTS, ENCUMBRANCES AND RESTRICTIONS MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
3. THIS SURVEY WAS BASED ON A RTK VRS SURVEY (USING TOPCON HYPER SR) IN COMBINATION WITH A CONVENTIONAL SURVEY (USING TOPCON DS-203, A 3-SECOND TOTAL STATION). THIS NETWORK MEETS OR EXCEEDS THE ACCURACY STANDARDS SET BY WAC 332-130-090.
4. ALL MONUMENTS SHOWN AS FOUND WERE LOCATED DURING THE MONTH OF MARCH, 2019.
5. THE LOCATION OF SUBSURFACE UTILITIES ARE BASED ON OBSERVED UTILITY PAINT MARKS ON THE SURFACE, AND SET THERE BY OTHERS.
6. THE BASIS OF BEARINGS FOR THIS SURVEY IS NAD83/2011 EPOCH 2010.00 USING REAL TIME WSRN CORRECTIONS.
7. ALL VERTICAL ELEVATIONS ARE BASED ON NAVD 1988 (2012B) DATUM, IN U.S. SURVEY FEET.
8. ORDINANCE 106887 TRANSFERS PARTIAL JURISDICTION OVER A PORTION OF THE SUBJECT SITE FROM CITY OF SEATTLE LIGHTING DEPARTMENT TO THE CITY OF SEATTLE ENGINEERING DEPARTMENT FOR THE CONSTRUCTION AND MAINTENANCE THEREIN OF A SANITARY SEWER.

LEGAL DESCRIPTION

AS PER QUIT CLAIM DEED, AFN 20180529000925

THAT PORTION OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH AND SOUTH CENTER LINE AND 270 FEET SOUTH OF THE CENTER OF SAID SECTION 31;
THENCE WEST PARALLEL TO THE EAST AND WEST CENTER LINE OF SAID SECTION 31, A DISTANCE OF 265 FEET TO THE EAST MARGIN OF 9TH AVENUE S.W., PRODUCED SOUTH;
THENCE SOUTH ALONG SAID EAST MARGIN OF 9TH AVENUE S.W. PRODUCED SOUTH, A DISTANCE OF 120 FEET;
THENCE EAST PARALLEL TO THE EAST AND WEST CENTER LINE OF SAID SECTION 31, A DISTANCE OF 285 FEET TO THE NORTH AND SOUTH CENTER LINE OF SAID SECTION 31;
THENCE NORTH ALONG THE NORTH AND SOUTH CENTER LINE OF SAID SECTION 31, A DISTANCE OF 120 FEET TO THE POINT OF BEGINNING;

EXCEPT THE SOUTH 65 FEET THEREOF;
EXCEPT THAT PORTION FOR THE WIDENING OF 9TH AVENUE S.W. AS PROVIDED IN CITY OF SEATTLE ORDINANCE NO. 38654;
AND EXCEPT THE EAST 30 FEET THEREOF FOR 8TH AVENUE S.W.

(ALSO KNOWN AS LOTS 7 AND 24 AND THE NORTH 15 FEET OF LOT 8 AND 23, BLOCK 101, SHERMAN'S HIGHLAND PARK, ACCORDING TO THE UNRECORDED PLAT THEREOF;
TOGETHER WITH THE ALLEY ADJOINING;
EXCEPT THAT PORTION FOR THE WIDENING OF 9TH AVENUE S.W. AS PROVIDED IN CITY OF SEATTLE ORDINANCE NO. 38654;
AND EXCEPT THE EAST 30 FEET THEREOF FOR 8TH AVENUE S.W.).

SURVEYED BY: SRW
DRAWN BY: MAGG

CHECKED BY: SRW
APPROVED BY: SRW

DATE	BY	REVISION	CK'D	APPR.

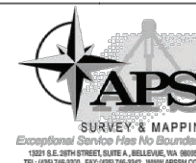


SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF WITTMAN ESTES ARCHITECTURE AND LANDSCAPE IN MARCH, 2019.

5/28/2019

SAMUEL R. WARD, PLS
WASHINGTON STATE LICENSED SURVEYOR
CERTIFICATE NO. 52843



TOPOGRAPHIC SURVEY KCPN 775050-0001, 8822 - 9TH AVENUE SOUTHWEST

SEATTLE	WASHINGTON
DWN. BY: MAGG/SBM	CHKD. BY: SRW
SURV. BY: SRW	JOB NO.: 1366002
DATE: 03/2019	SCALE: 1" = 10'
DWG. NAME: 1366002T.DWG	

SHEET
1
OF
1

Site Address: 8822 9th Ave SW, Seattle WA

Report Prepared by: ArboristsNW LLC
Andrew Baker
International Society of Arboriculture (ISA)
ISA Cert # PN-5726a
ISA Tree Risk Assessor Qualified (TRAQ)

Scope of Work

On 3/6/19 ArboristsNW LLC was hired to perform an ISA Level 2 Basic Assessment on a Madrone (*Arbutus menziesii*) located at the site above.

Methods Used

A Level 2 Basic Assessment is a detailed visual inspection of a tree and it's surrounding site, and a synthesis of the information collected. It is done on the ground level and looks all around the tree from some distance away, and close-up, to consider the crown shape, trunk, roots, branches and the tree's surroundings. Simple tools are sometimes used. In this case a diameter tape and a camera were utilized.

A diameter at breast height (DBH) was taken of the tree with the diameter tape. DBH is determined by measuring the trees trunk at 4.5 ft above grade, where a tree has extra trunks or swelling that interferes with measurement at 4.5 feet above average grade or where a tree tapers below this point, the diameter is measured at the narrowest point below 4.5 feet.

Our Observations

The tree is located on the East side of the property, located on a small rise of about 15 degrees. It has a DBH of 33" and it is 50 ft tall. The canopy is asymmetrical with most of the foliage leaning towards the SW. There are two trunks growing from the base. One trunk is completely dead and has no foliage. In the root base there are two pockets of decay. One pocket has caused some undermining of the tree.

A Discussion of our findings

The main cause for concern is the cavity at the base of the tree. There is decay inside the cavity. Trees build defenses in relation to forces applied to them, one such example is called Compartmentalization Of Diseases in Trees or CODIT. CODIT refers to 4 walls of defense

against decay working in 4 directions. While CODIT can slow and sometimes stop decay, it does not heal the wounds. In the case of this tree the decay is so extensive that it has caused the tree to compartmentalize in such a way that the vessels located in the Cambium or sapwood, which facilitate the movement of nutrients through the tree have become closed off. This is the most likely cause of the dead trunk and the die back in the other.

The location of the decay has allowed the tree to become undermined and this has reduced the stability of the tree, and there are no signs of response growth.

Madrone trees are prone to getting fungi, but their wood is very dense and stable. With proper pruning and management, it might be possible to retain the tree.

Our Recommendation Options

1. Retain and Manage: Start a regular maintenance program, focusing on removing dead, dying, diseased and damaged wood and branches. Every 1.5 to 2 yrs, have the tree pruned again and observed for any new changes. The residual risk of the tree would be maintained as Moderate
2. Retain, install Structural Support Systems and Manage: Another option could be to install a system of Guy lines (installed to provide anchorage and stabilize leans), Props (these support some leaning trees and branches from below). It will be important to monitor the installs as they can change how loads affect a tree. This would bring the residual risk down to Low.
3. Remove and Replace: The last option would be to remove the tree and to replace it with a healthier specimen. Preferably of the same species, or at least another native tree that will replicate the canopy coverage lost in the removal. Then begin a regular maintenance plan on the new tree. This will bring the residual risk down to Low

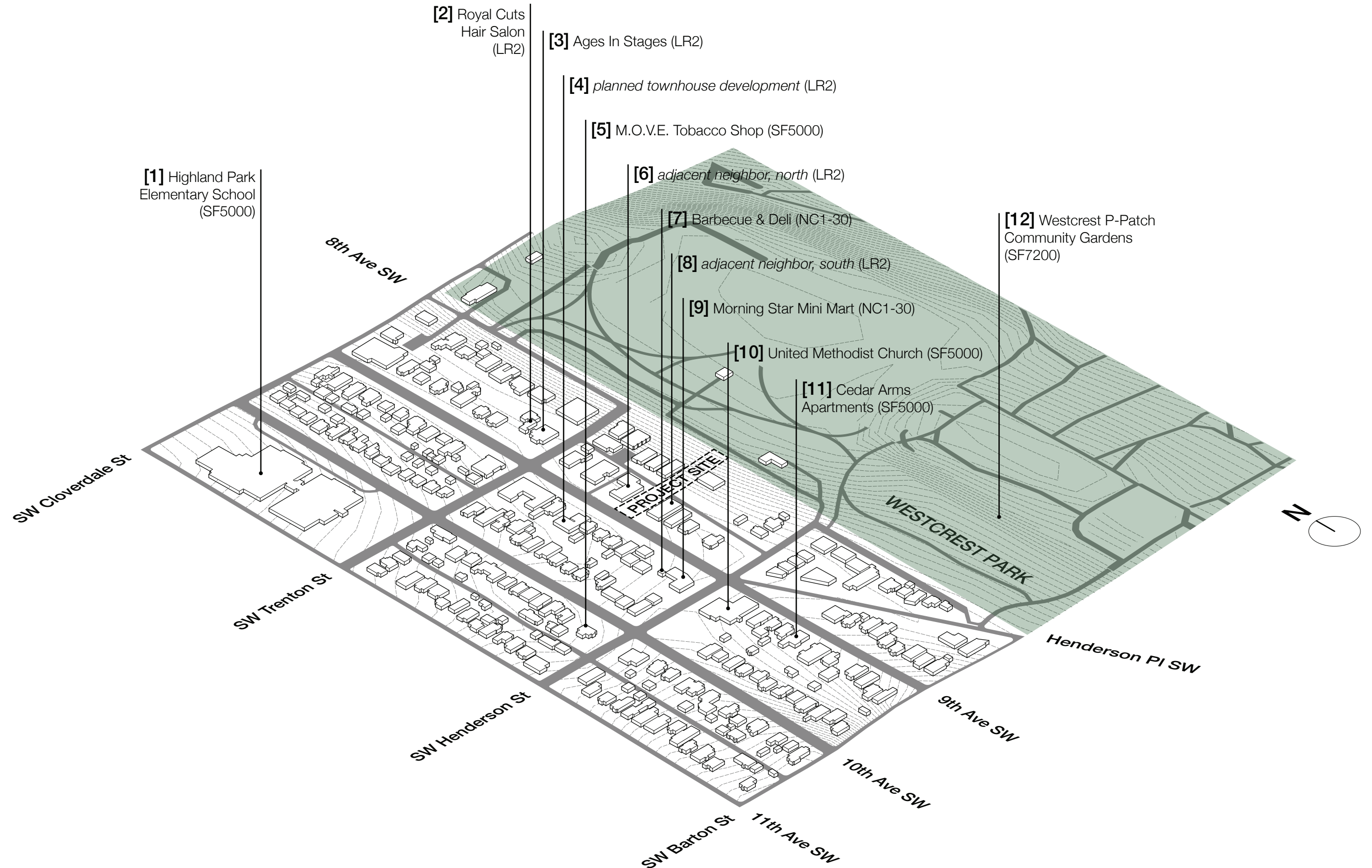
Respectfully submitted



Andrew Baker 3/13/19
ArboristsNW LLC
Andrew@arboristsnw.com
2067792579
International Society of Arboriculture (I.S.A.) Certified
ISA Tree Risk Assessor Qualified (TRAQ)









[1] Highland Park Elementary School | SF5000
 site design prioritizes pedestrian and child safety
 🚲 2 min. bike 🚶 4 min. walk



[2] Royal Cut Hair Salon | LR2
 neighborhood has walkable amenities
 🚲 1 min. bike 🚶 2 min. walk



[3] Ages In Stages | LR2
 site design prioritizes pedestrian and child safety
 🚲 1 min. bike 🚶 2 min. walk



[4] planned 7-townhouse development | LR2
 project contributes to increasing density
 🚲 0 min. bike 🚶 0 min. walk



[5] M.O.V.E. Tobacco Shop | SF5000
 neighborhood has walkable amenities
 🚲 1 min. bike 🚶 3 min. walk



[6] adjacent neighbor, north | LR2
 project increases security for neighbors
 🚲 0 min. bike 🚶 0 min. walk



[7] Barbecue & Deli | NC1-30
 neighborhood has walkable amenities
 🚲 0 min. bike 🚶 1 min. walk



[8] adjacent neighbor, south | LR2
 project enhances site for neighbors
 🚲 0 min. bike 🚶 0 min. walk



[9] Morning Star Mini Mart | NC1-30
 neighborhood has walkable amenities
 🚲 0 min. bike 🚶 1 min. walk



[10] United Methodist Church | SF5000
 neighborhood has community venues
 🚲 1 min. bike 🚶 2 min. walk



[11] Cedar Arms Apartments | SF5000
 project contributes to increasing density
 🚲 1 min. bike 🚶 3 min. walk

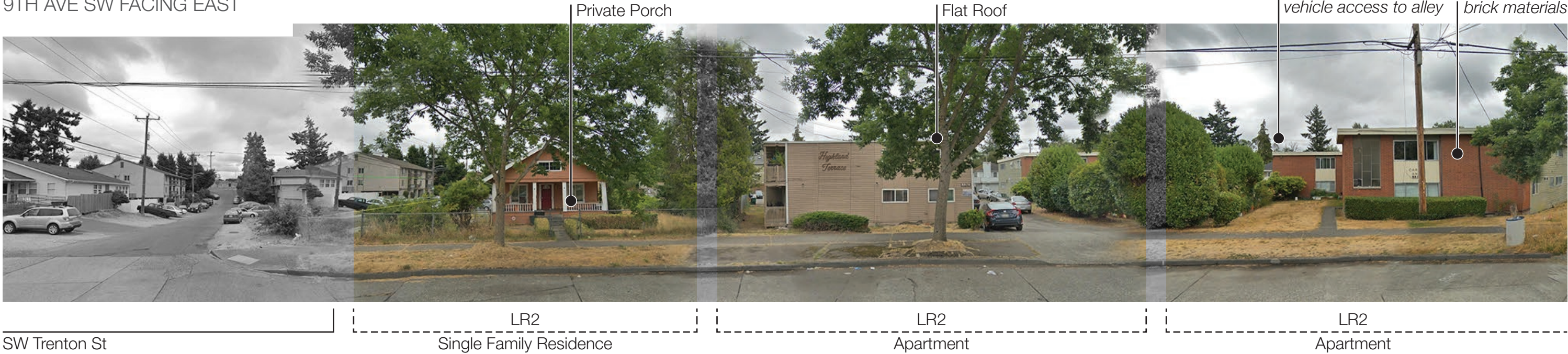


[12] Westcrest P-Patch Garden | SF7200
 neighborhood has community venues
 🚲 2 min. bike 🚶 6 min. walk

9th Ave Townhomes

2.2 Surrounding Uses

9TH AVE SW FACING EAST



9TH AVE SW FACING WEST





Zoning Data

Zoning Classification

LR2

Overlays

None

Environmentally Critical Areas (ECAs)

None

Site Topography

The site slopes down gradually (3.5%) from west to east, levels out at the center, and slopes steeply upward (23%) at the eastern edge.

Other

Design Review Equity Area

FAR (Table A 23.45.517)

FAR Limits for Townhouse Developments: 1.4

(FAR Limit x Lot Square footage)

1.4 x 13,732 sf = **19,224.8 sf max**

Gross areas not included in FAR:

- Balconies, patios, and decks associated with a single dwelling unit
- Ground level walking paths
- Exterior stairways
- Portions of a story that extend no more than 4’ above finished or existing grade

23.45.510

Facade Length (23.45.527.B)

Facade Length for Townhouse Developments

65% of lot length for portions of facades within 15’ of a lot line that is not a rear, street, or alley lot line

Building Width Limit (23.45.527)

Facade Length for Townhouse Developments: 90’

Building Height Limit (Table C 23.45.517)

Structure Height for Townhouse Developments: **40’**

+ 5’ for roof with minimum 6:12 pitch

The ridge of pitched roofs on principal structure may extend up to 5’ above the height limit unless exception 23.45.514.F is used. This exeption provides that height limit is increased 4’ if structure includes a story that is partially below grade.

Rooftop Features (23.45.514.J.2)

Railings, parapets, and planters may extend 4’-0” above the maximum height limit.

Permitted Projections (23.45.518.H)

Stair penthouses and mechanical equipment may extend up to 10’-0” above the maximum height limit.

Setbacks (Table A 23.45.51)

Setbacks Limits for Townhouse Developments:

Front - 7’ average, 5’ minimum

Rear - 7’ average, 5’ minimum

Side - 5’ if building is 40’ or less in length, or 7’ average, 5’ minimum

Amenity (23.45.522)

0.25 x 13,732 sf = **3433 sf**

A minimum of 50% of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of the structure that meets the provisions of subsection 23.45.510.E.5, which may be counted as amenity at the ground level.

Density Limit (Table B 23.45.517)

Denisty Limits for Townhouse Developments:

No Limit

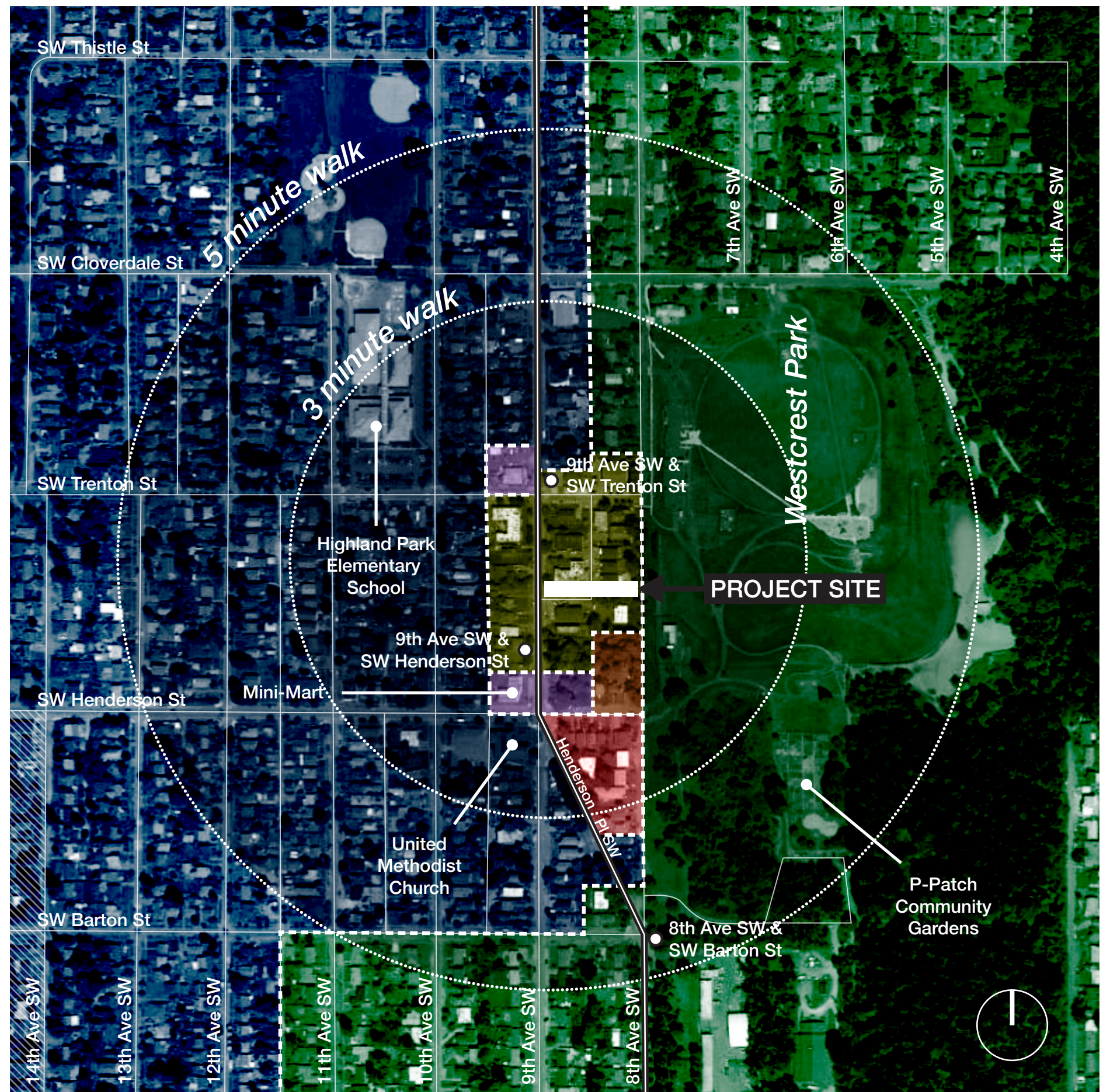




Image A: Photo of Westcrest Park



Image B: Public Space at NW

CS2.A.1 — Urban Pattern and Form

A. LOCATION IN THE CITY AND NEIGHBORHOOD

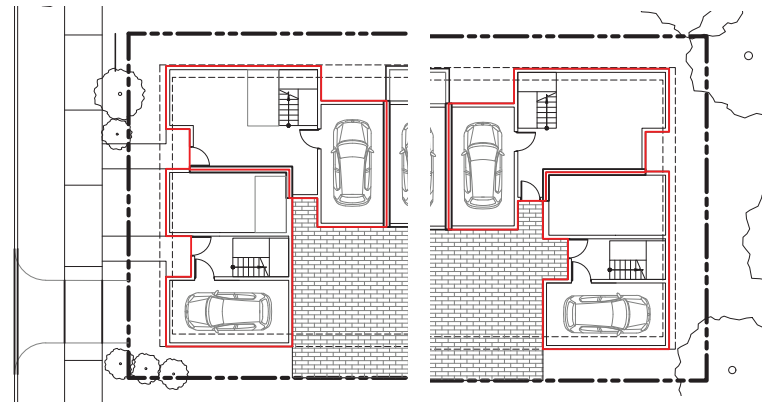
1. Sense of Place

The site design highlights existing neighborhood amenities such as Westcrest Park while strengthening connections between public spaces and pathways. It provides improved access to Westcrest Park, while enhancing the street frontage on both 9th Ave and the adjacent alley.

- Like Image B, our proposal improves the appearance of the block by providing a new public corner that connects to the park. This provides an enhanced public interaction with the street, our building, and the rest of the block.
- Westcrest Park is the major amenity in this neighborhood and creating a sense of place. Currently, the neighborhood is lacking this sense of place. Our proposal reinforces its presence on this block through site design. Our project will continue the vegetation from the park to the streetscape, through planting on the ground level, and planters on balconies on the rooftops.



Image C: Engaging the street



CS2.B.2 — Urban Pattern and Form

B. ADJACENT SITES, STREETS, AND OPEN SPACES

2. Connection to the Street

The site augments the alley visually, and provides a distinctive cap on the street. Vehicle access is from alley and the existing curb cut will be removed. This allows our design to engage the street the entire width of site. The design improves the appearance of the street frontage on 9th Ave while minimizing the visibility of on-site parking.

- Like Image C, vehicle parking is concealed within the cluster of housing itself, allowing the street to provide visual interest, safety sightlines, and community connections through visual engagement.
- Balconies and porches strengthen the human connection to the street by creating inviting occupiable space along its edges. These features strengthen the sense of community along 9th Ave.



Image D: Benefits of private and public spaces

PL1.A.2 — Connectivity

A. NETWORK OF OPEN SPACES

2. Adding to Public Life

The pedestrian experience is enhanced by landscape design and lighting. Added density on this lot makes the area feel safer and more inviting.

- Image D illustrates the benefits of private entries, balconies, and ground-level recessed porches, which are design elements of our preferred scheme.
- The site design also creates a nice pedestrian connection between 9th Ave and the alley. Planters, pavers, and gardens soften the site's edges and contribute positive, useful open spaces to the block.



Image E: Integration of pedestrians and drive aisles

PL1.B.1 — Connectivity

B. WALKWAYS AND CONNECTIONS

1. Pedestrian Infrastructure

The site design facilitates pedestrian access between 9th Ave and the adjacent apartments while creating a shortcut to Westcrest Park. These enhancements to the existing network of pathways will be an asset to residents.

- Image E illustrates on-site circulation that is inviting due to sensitive selection of materials and articulation of facades. Our proposal uses warm materials like pavers and brick to create friendly spaces.
- Street-facing townhomes have private walkways and entries, strengthening the pedestrian connection to the sidewalk. Connections to the sidewalk are limited to pedestrian paths, while vehicular access is diverted to the alley.

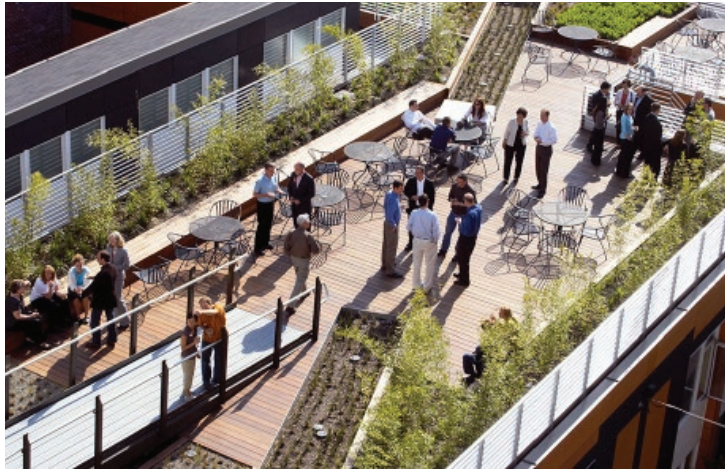


Image F: Community interaction through rooftop amenities

PL2.B.1 — Walkability

B. SAFETY AND SECURITY

1. Eyes on the Street

Balconies, landscape lighting, and greater density make this now-abandoned lot feel safer to pedestrians and residents, promoting stewardship. It increases visibility to interstitial spaces such as the alley and back of lot, providing natural surveillance to these isolated zones.

- Image F shows a positive human response to roof terraces/gardens. These territorial outdoor spaces are private, while increasing visibility of occluded areas like the back of lot, park, and alley.
- The design provides a gradient of surveillance with a variety of outdoor spaces at multiple levels, creating many lines of sight for added security.

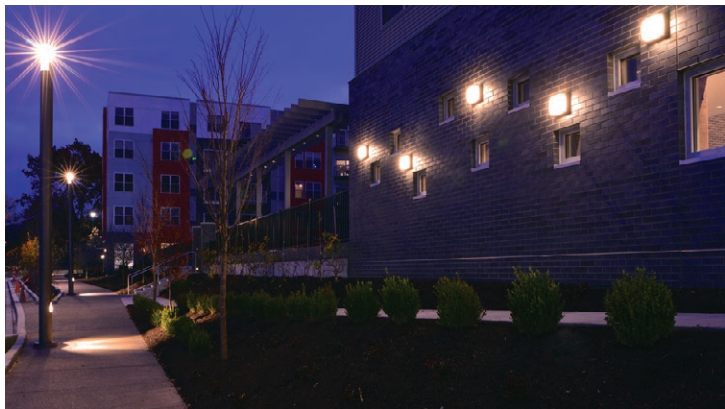


Image G: Community interaction through rooftop amenities

PL2.B.2 — Walkability

B. SAFETY AND SECURITY

2. Lighting for Safety

Safety through lighting will be a specific priority for this site through pathway illumination, pedestrian and entry lighting, and security lights within interstitial zones.

- Image G the importance of appropriate lighting on sidewalks, buildings, and paths. Like this photo, the landscape and building design will provide elegant and sufficient lumen levels at all lighting scales.
- The drive aisle, entry porches, pedestrian walkways, and landscape areas will be designed for maximum safety, functionality, and visual interest.



Image H: Concealed parking for greater street presence

DC1.C.2 — Project Uses and Activities

C. PARKING AND SERVICE USES

2. Visual Impacts

The large volume of parking required on the site is concealed within the mass of the buildings. Street-facing townhomes block the view of the driveway and garages from pedestrians.

- Image H shows a design that successfully establishes a strong street presence, while relegating vehicular access linearly, with minimal street impact. Cars and utilities access the site from the alley.



Image I: Textures of material palette

DC4.A.1 — Exterior Elements and Finishes

A. BUILDING MATERIALS

1. Exterior Finish Materials

Buildings will be constructed with durable / high-quality materials.

- Like Image I, the buildings will use brick, high-quality fiber cement board, natural wood, and steel.
- These materials provide texture, pattern, and high quality detailing that both refers back to the character of the neighborhood while enhancing the context with visually interesting and durable choices.

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LINEAR - OPTION 1
(1 DEPARTURE)



Linear bar organization

One unit type mirrored back-to-back

Each unit has private garage, entry, and rooftop

Facades are articulated on all sides

Private roof terraces, balconies, and porches

Private outdoor spaces on north side of units

Vehicle access from alley

1 exceptional tree to be removed and replaced per Arborist recommendation. See page 7.



WINGS - OPTION 2
(NO DEPARTURES)



Linear organization, mirrored

Two unit types and orientations

Each unit has private garage, entry, and rooftop

Unit design maximizes daylighting and privacy

Private roof terraces, balconies, and porches

Middle units are well day-lit

Vehicle access from alley

1 exceptional tree to be removed and replaced per Arborist recommendation. See page 7.



CLUSTER - OPTION 3
(PREFERRED WITH NO DEPARTURES)



Interlocking unit organization

Five unit types and multiple orientations

Each unit has a carport or garage, entry, and rooftop

Unit design maximizes daylighting and privacy

Private roof terraces, lower decks, and balconies

Articulated facades maximize daylighting

Vehicle access from alley

1 exceptional tree to remain



Street View from 9th Ave



Aerial View



View from Westcrest Park Looking West



View from Westcrest Park Looking Southwest



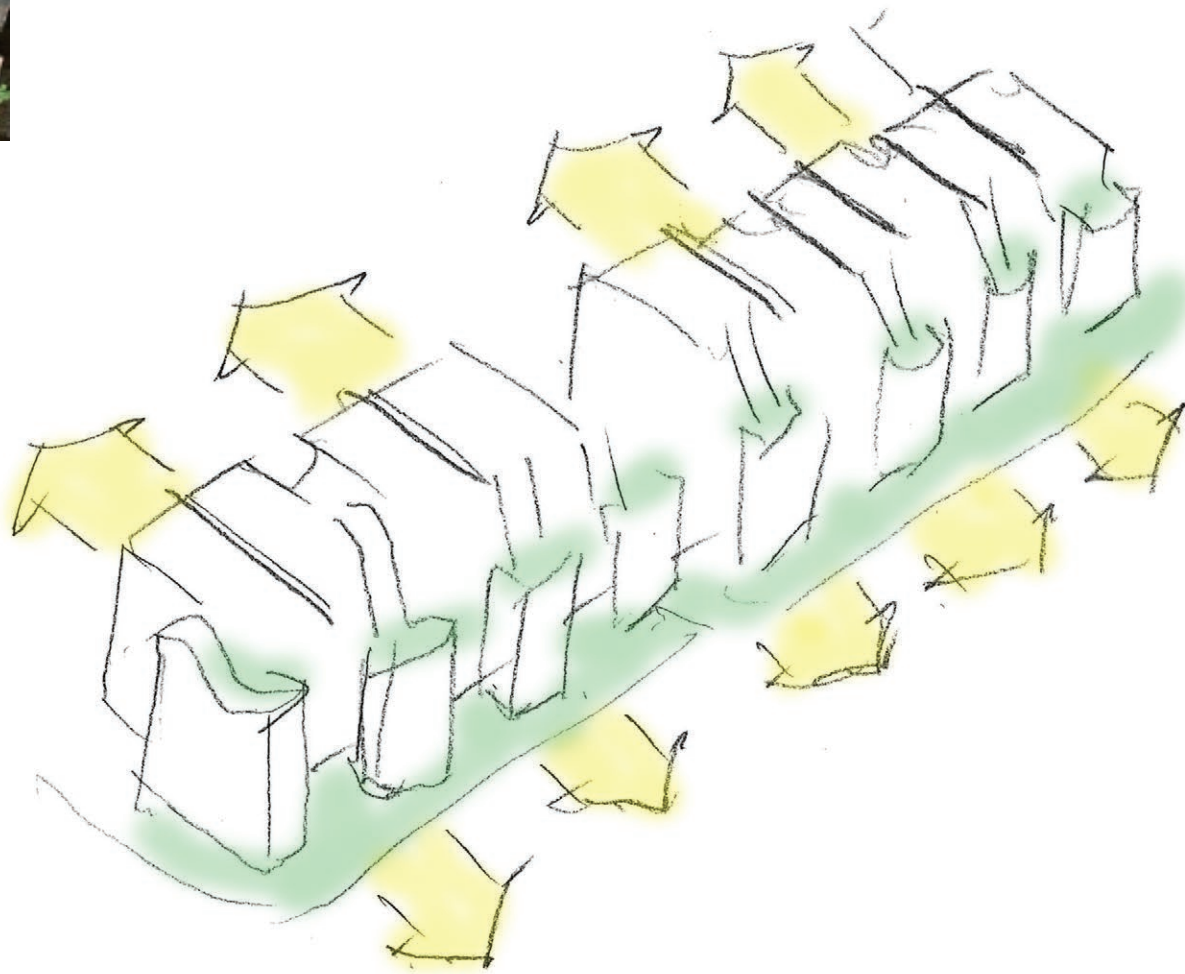
Rooftop gardens



Multilevel outdoor spaces



Linear unit organization



LINEAR (OPTION 1) SUMMARY -

FAR (Table A 23.45.517
1.4 x 13,732 sf = **19,224.8 gsf max**

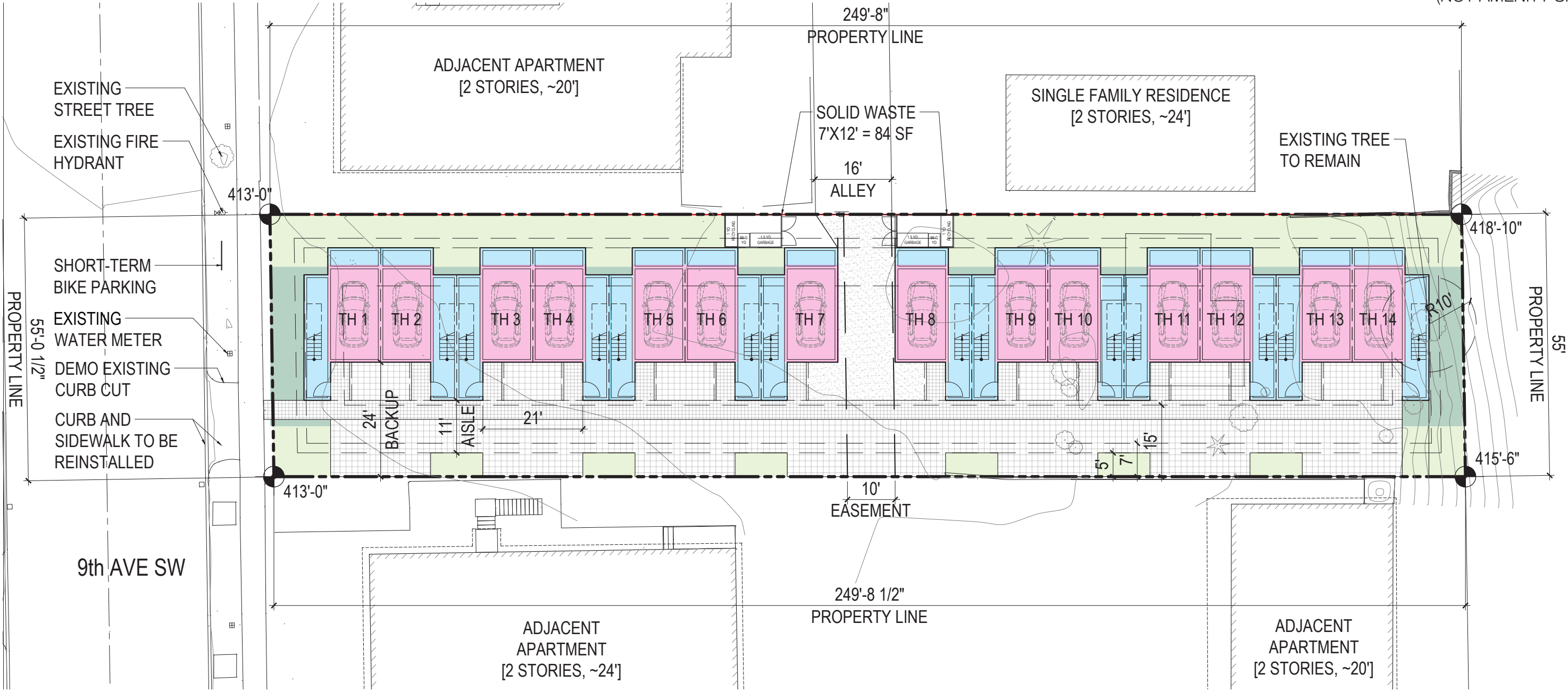
14 TOWNHOMES

TOTAL GSF = 17,262 gsf
(14) Townhomes @ 1233 gsf

Amenity (23.45.522)
Required: 0.25 x 13,732 sf = **3,433 sf**
Provided: Ground (1,004 sf) + Roof (3,924 sf) = **4,928 sf**

1 DEPARTURES
Max Building Width

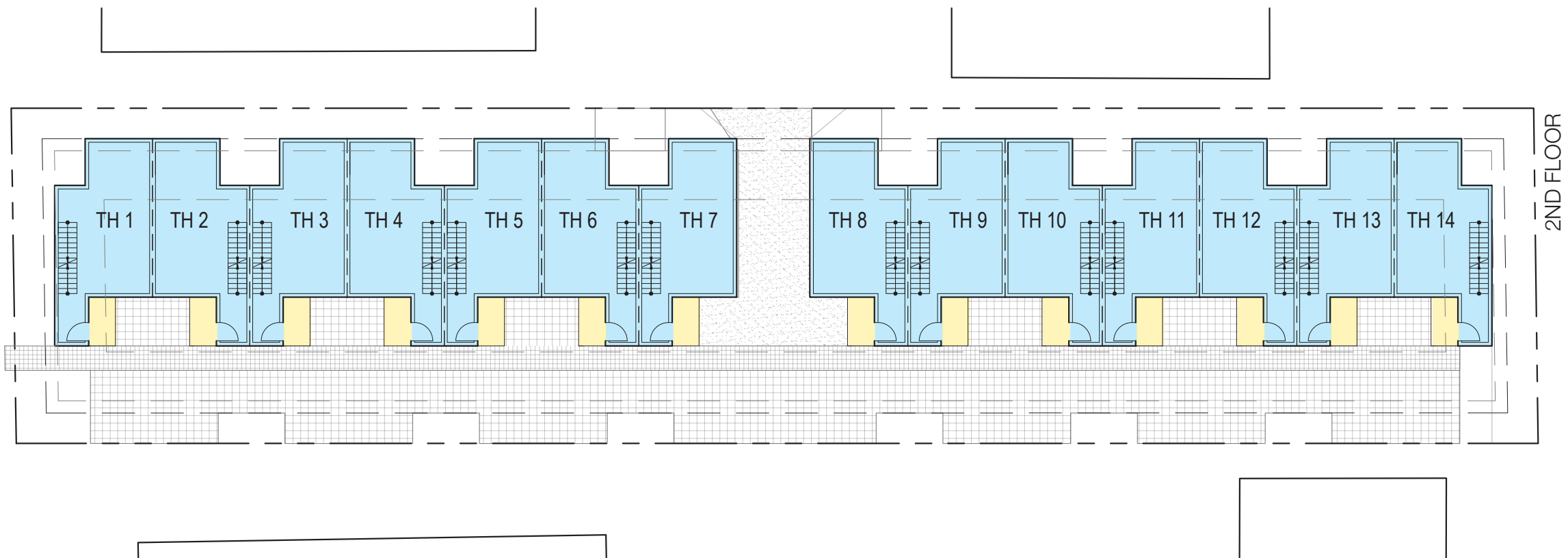
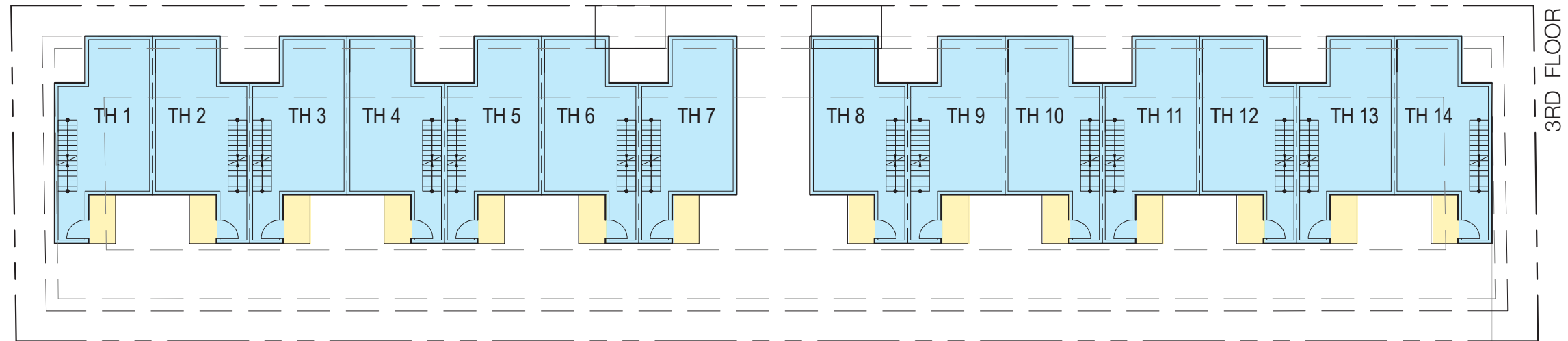
- PEDESTRIAN WALKWAY
- PERMEABLE PAVERS
- CARPORT
- GARAGE
- INDOOR
- AMENITY
- OPEN GREEN SPACE (NOT AMENITY SF)



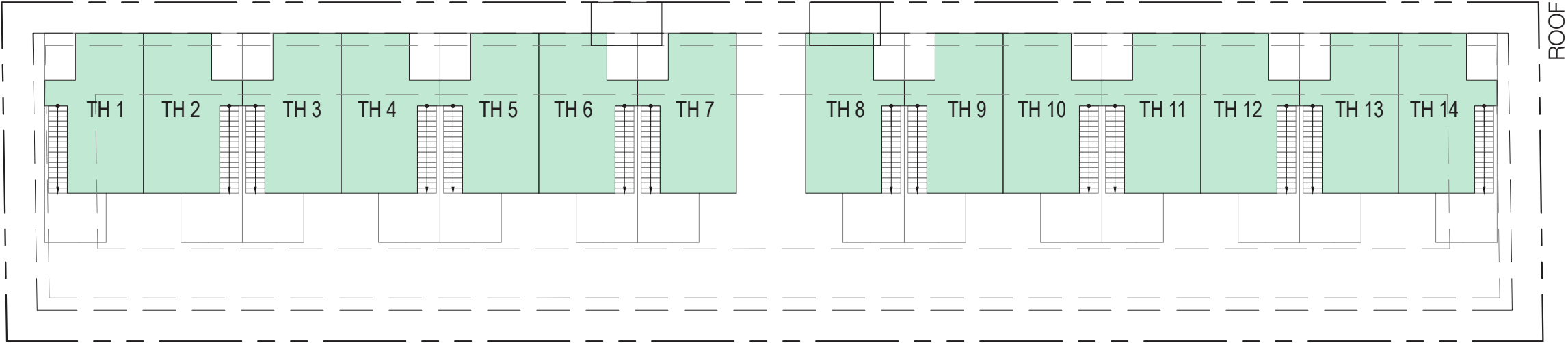
4.2 Linear: Option 1 — Site + First Floor Plan - 3/64" = 1'-0"

9th Ave Townhomes

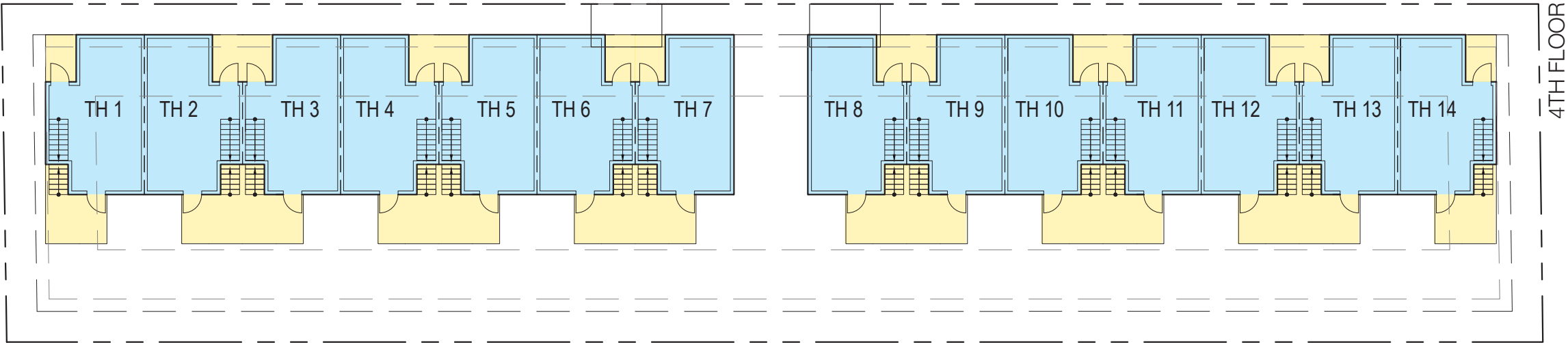
- INDOOR
- BALCONY
- AMENITY (ROOF)

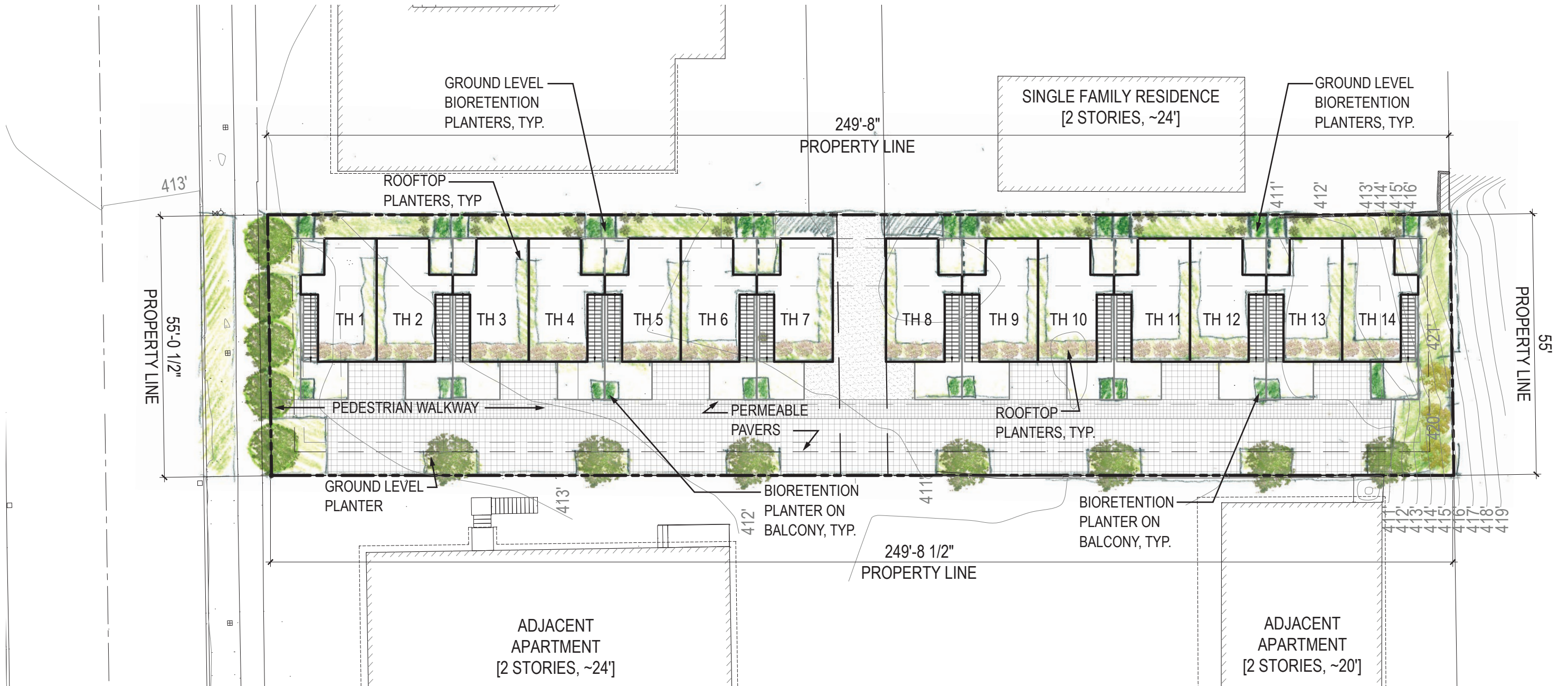


- INDOOR
- BALCONY
- AMENITY (ROOF)



ROOF AMENITY = 3,924GSF



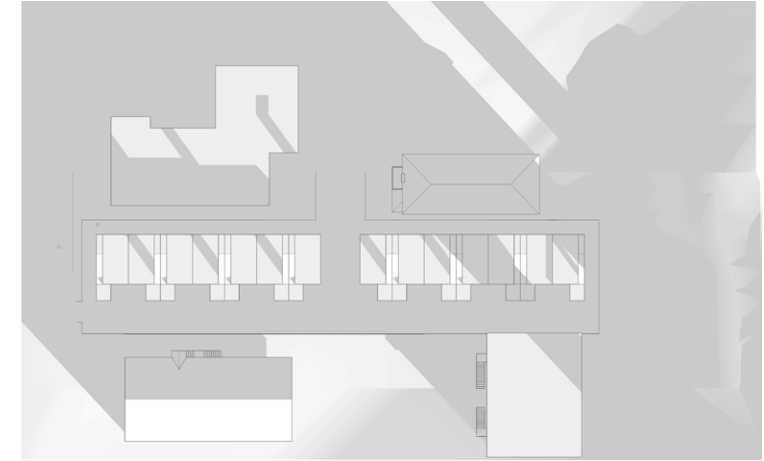
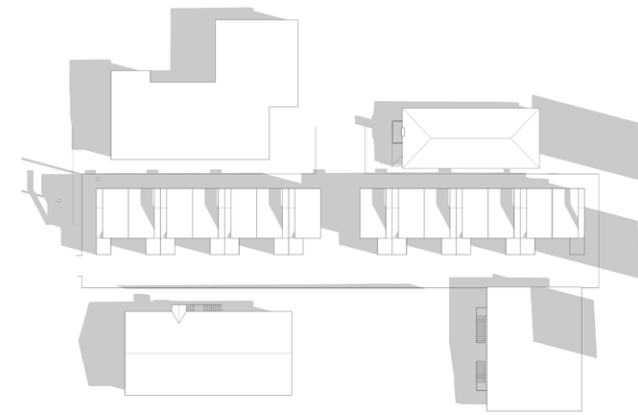
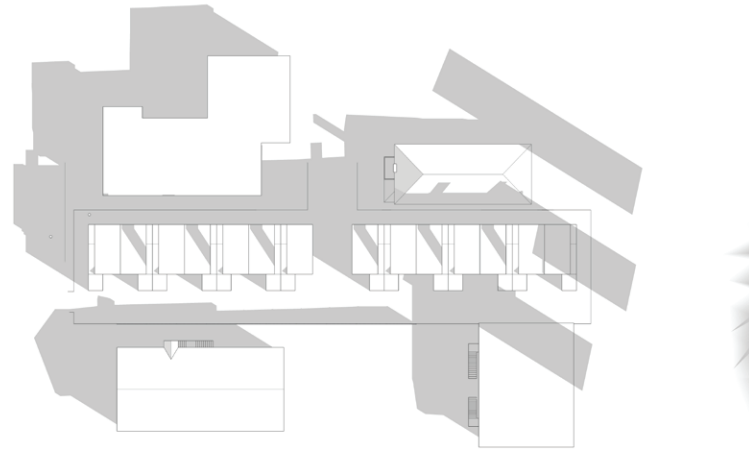


SPRING/FALL EQUINOX

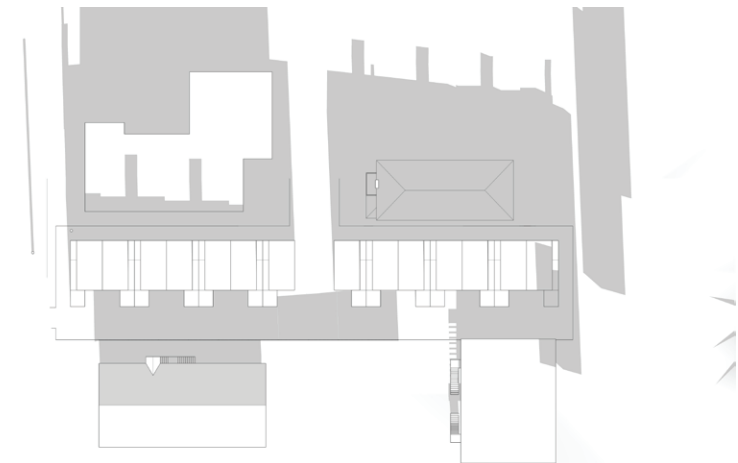
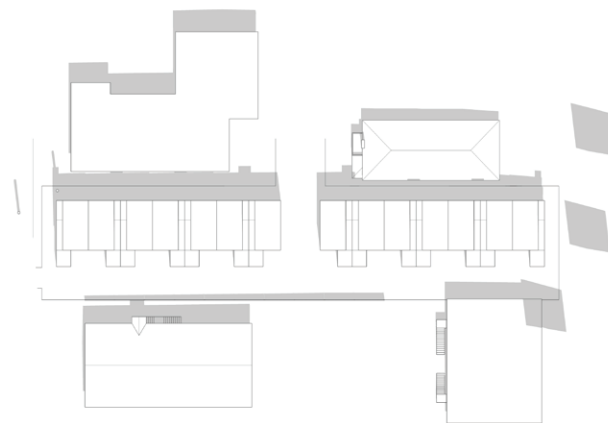
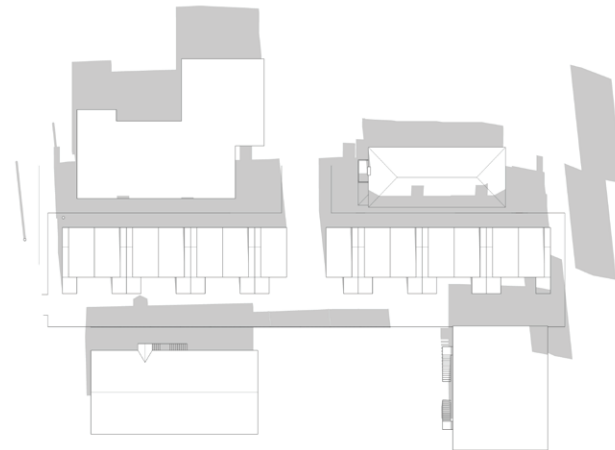
SUMMER SOLSTICE

WINTER SOLSTICE

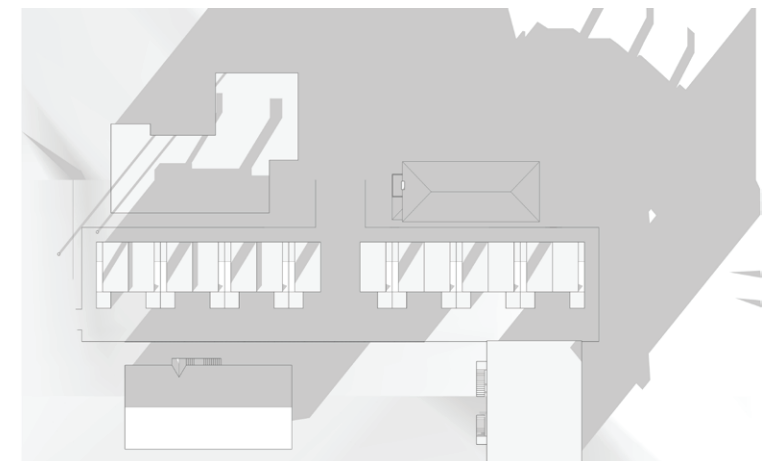
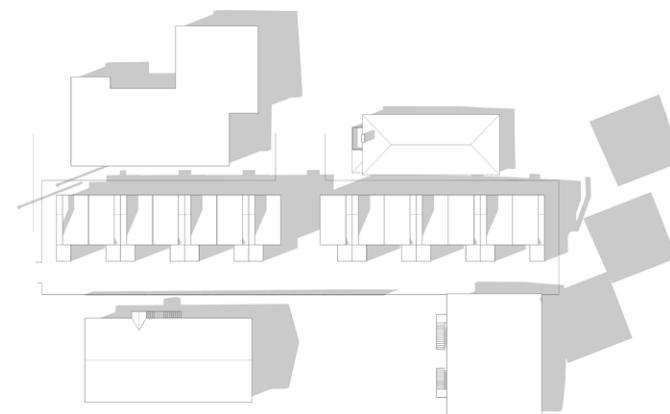
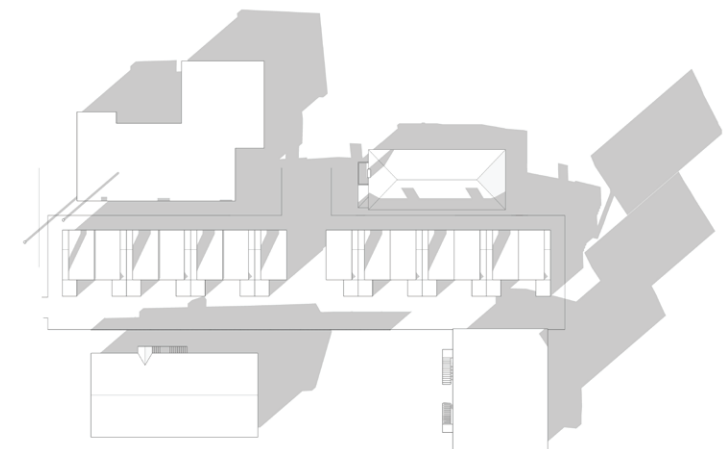
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Street View from 9th Ave



Aerial View



View from Westcrest Park Looking West



View from Westcrest Park Looking Southwest



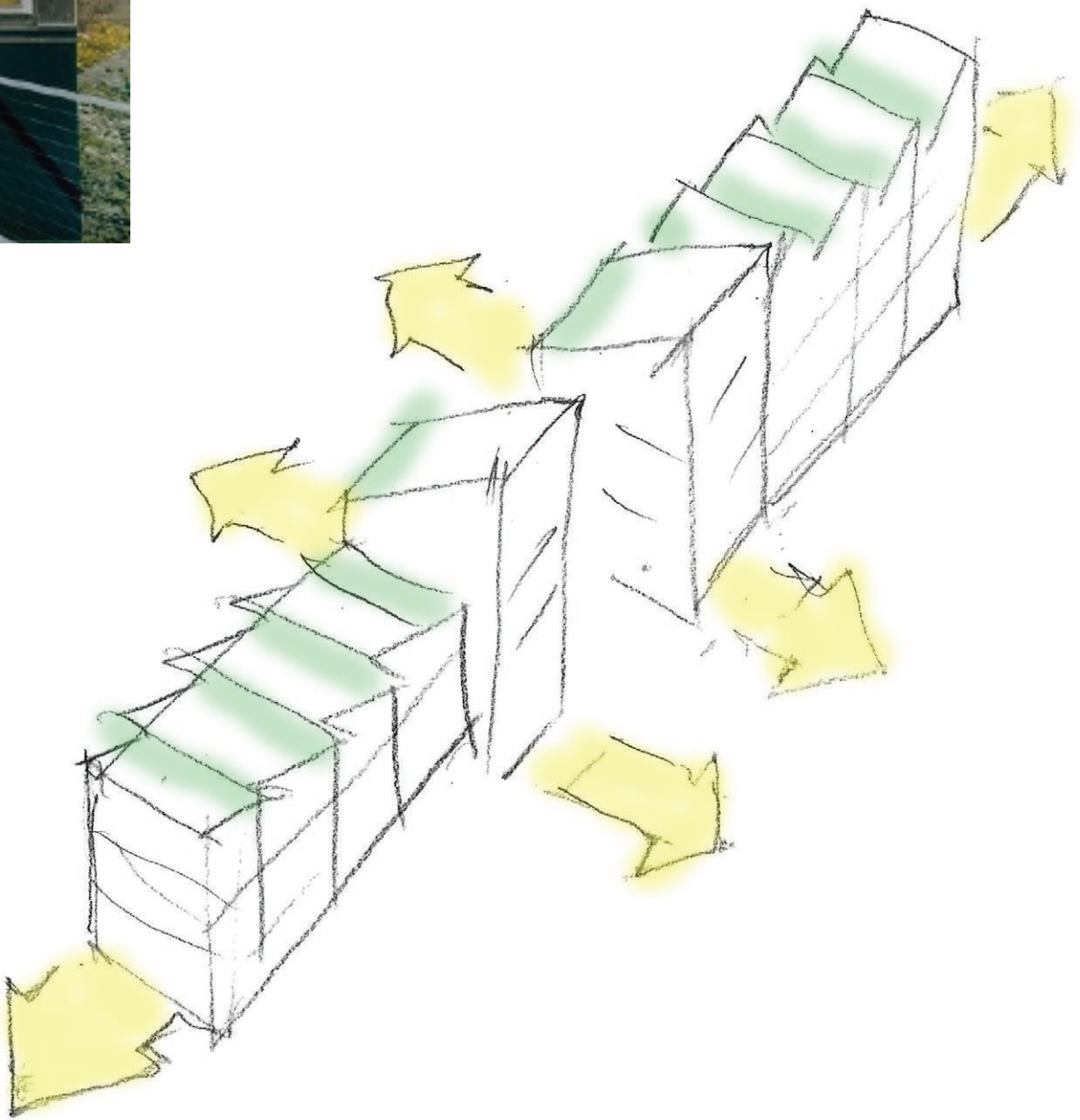
Clerestory and elevated living space



Private roof terraces



Sawtooth roof form



WINGS (OPTION 2) SUMMARY -

FAR (Table A 23.45.517
1.4 x 13,732 sf = **19,224.8 sf max**

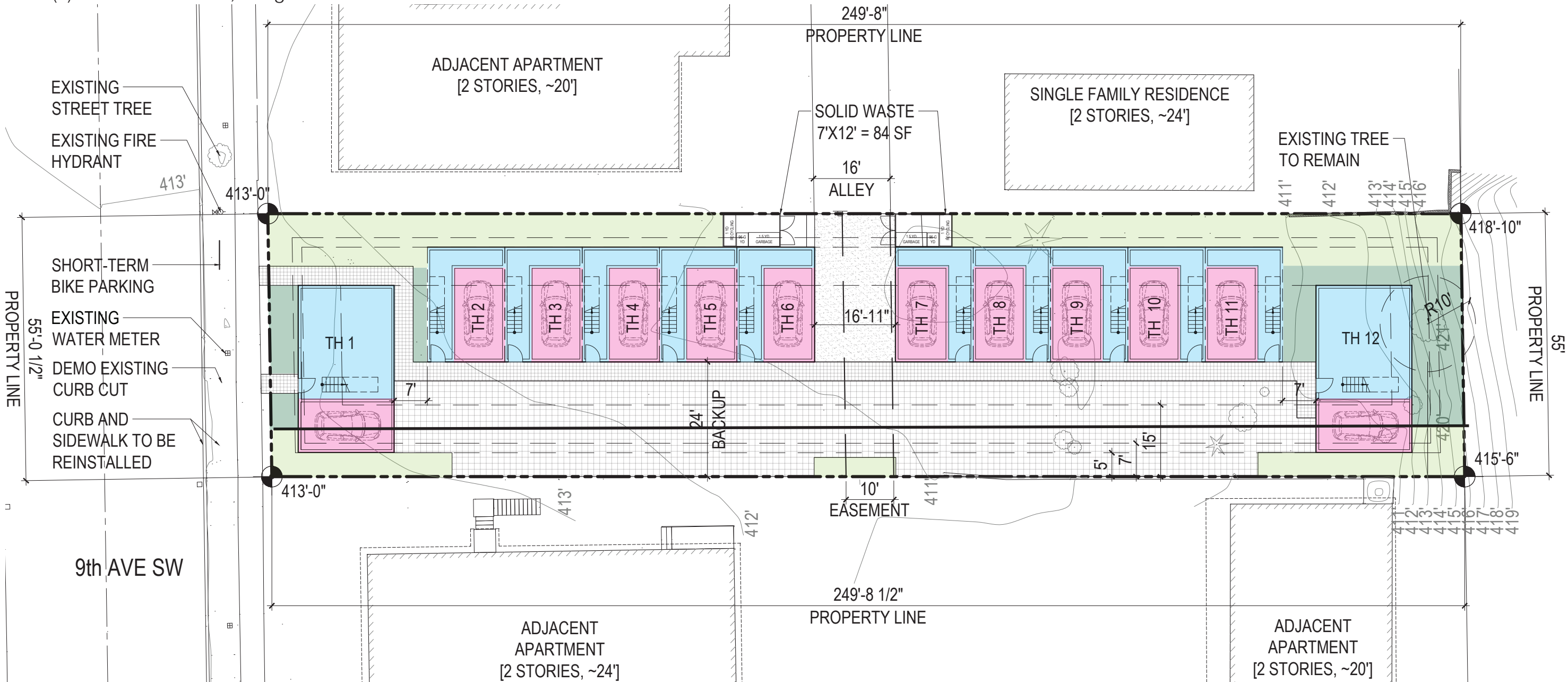
12 TOWNHOMES

TOTAL GSF =16,324 gsf
(12) Townhomes @ 1,166 gsf
(2) Townhomes @ 2,332 gsf

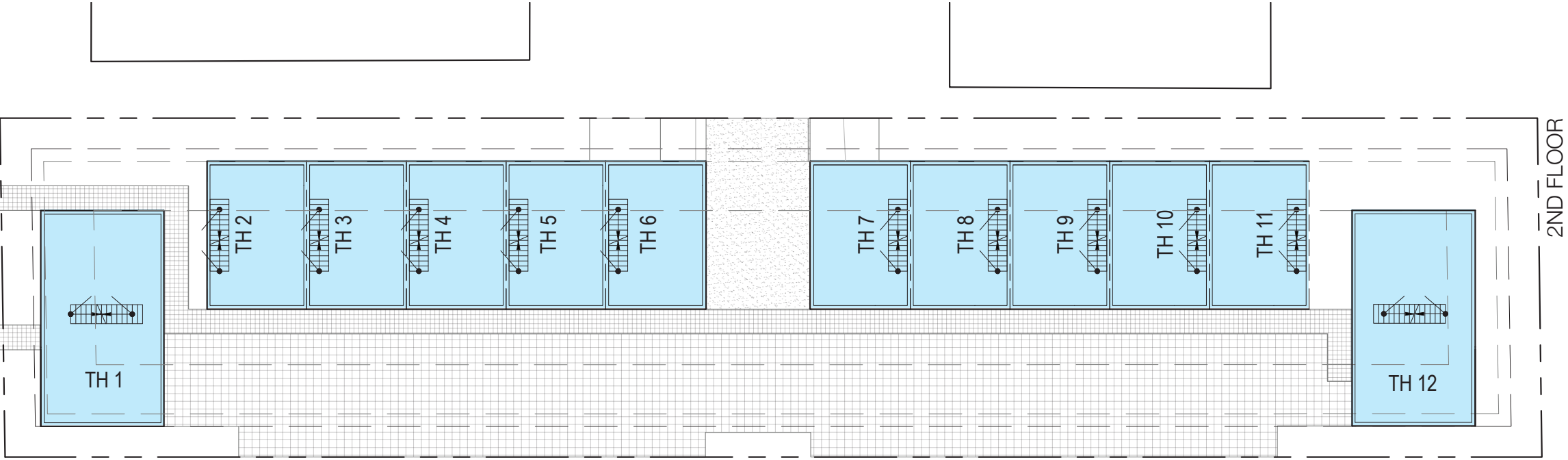
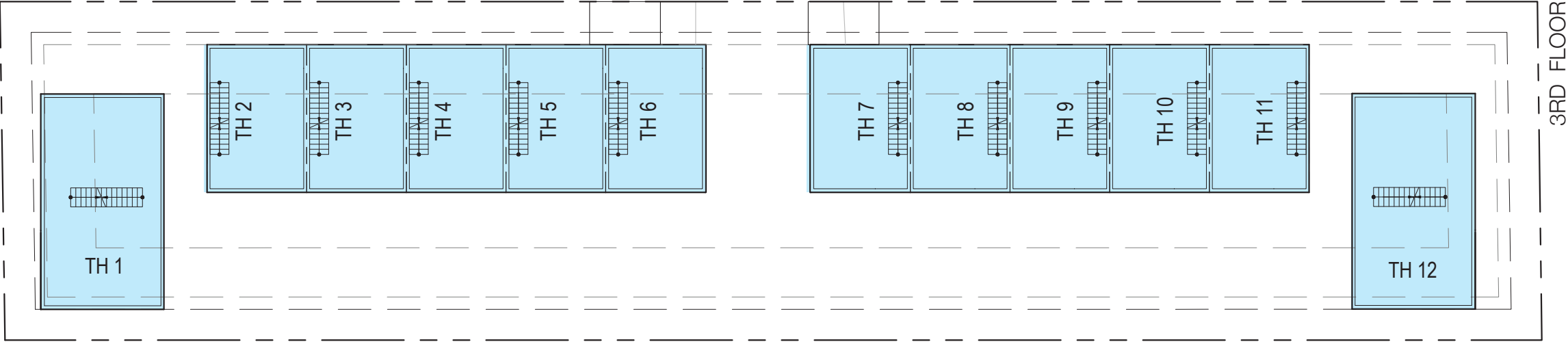
Amenity (23.45.522)
Required: 0.25 x 13,732 sf = **3,433 sf**
Provided: Ground (1758 sf) + Roof (1281 sf) = **3,039 sf**

NO DEPARTURES

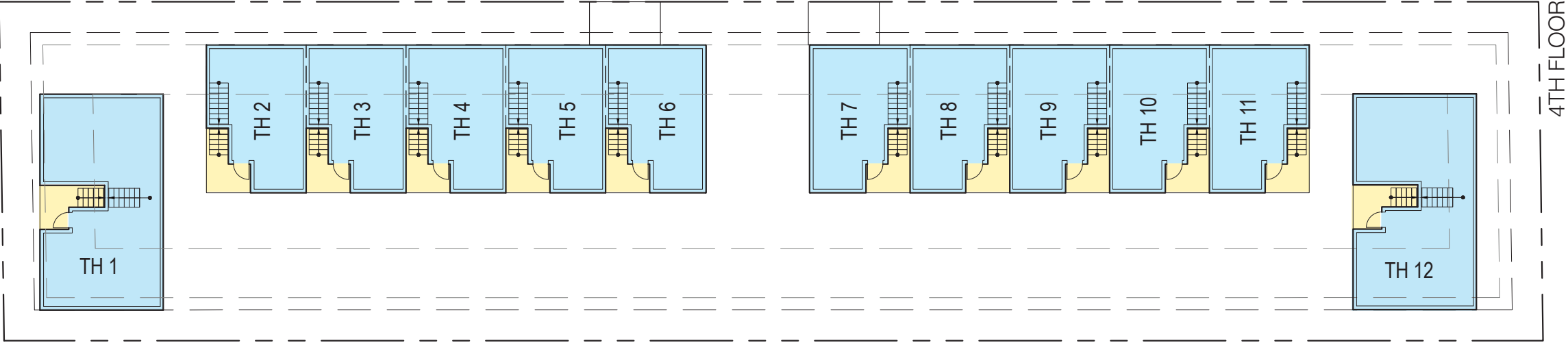
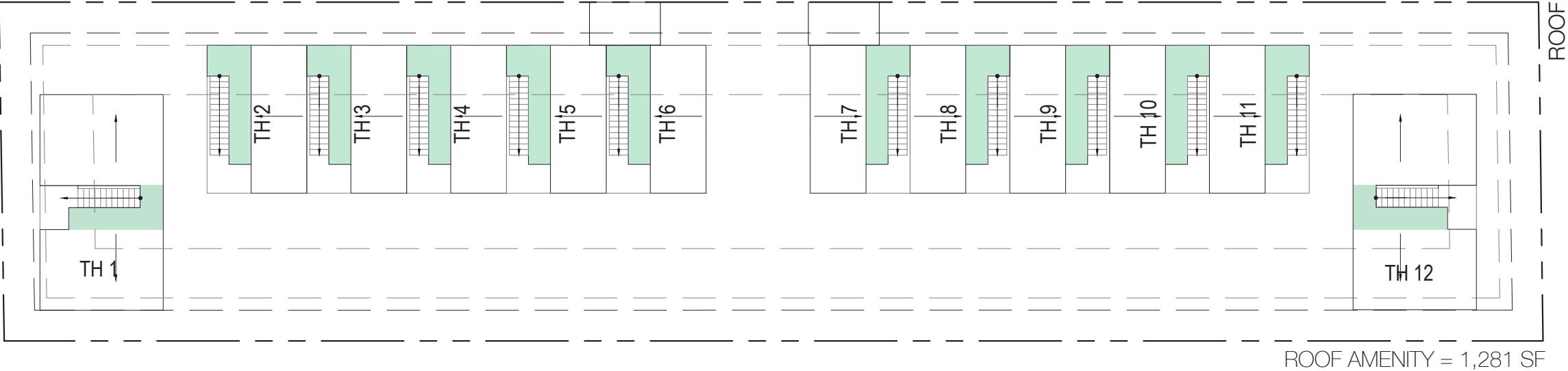
- PEDESTRIAN WALKWAY
- PERMEABLE PAVERS
- CARPORT
- GARAGE
- INDOOR
- AMENITY
- OPEN GREEN SPACE (NOT AMENITY SF)

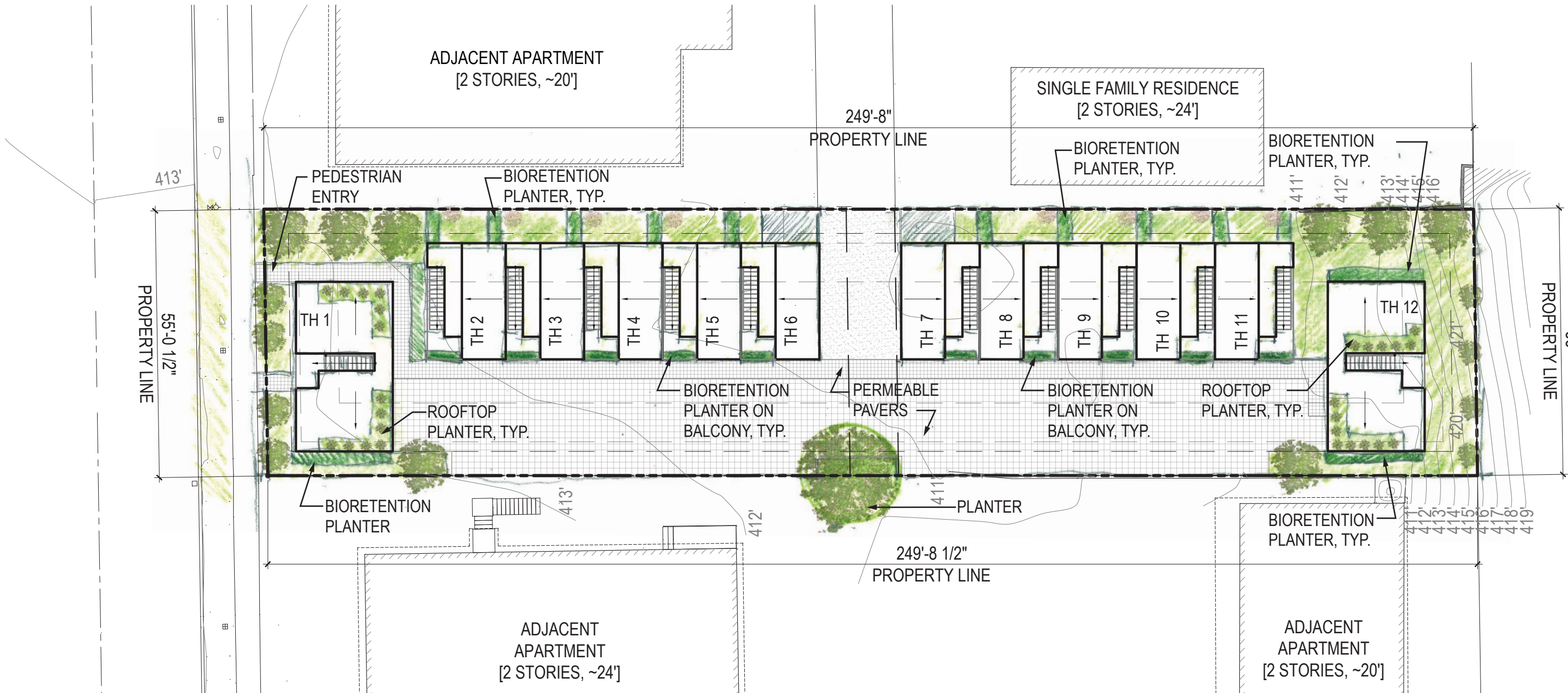


- INDOOR
- BALCONY
- AMENITY (ROOF)



- INDOOR
- BALCONY
- AMENITY (ROOF)



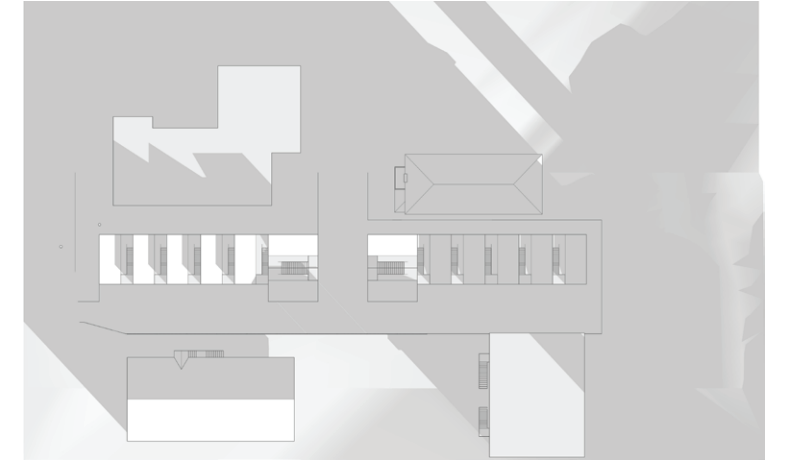
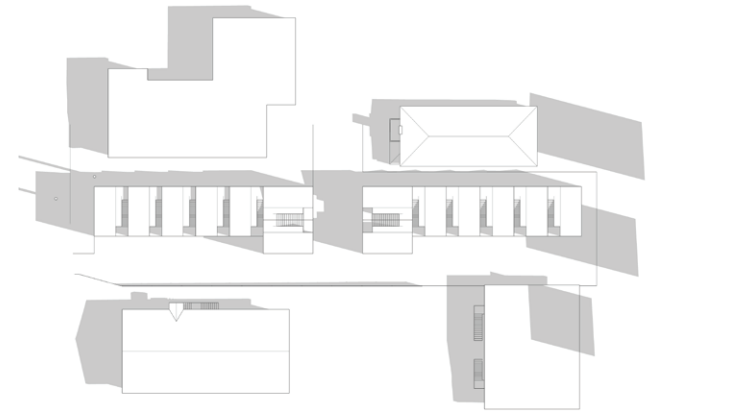
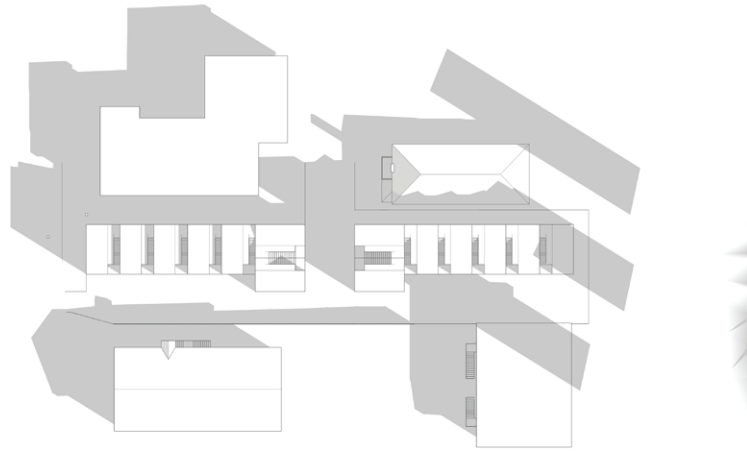


SPRING/FALL EQUINOX

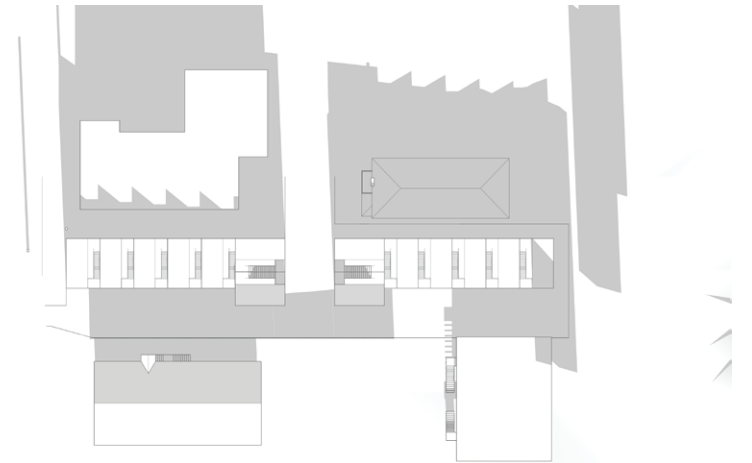
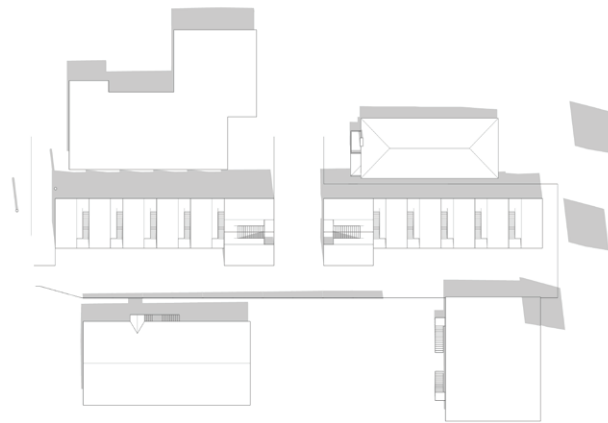
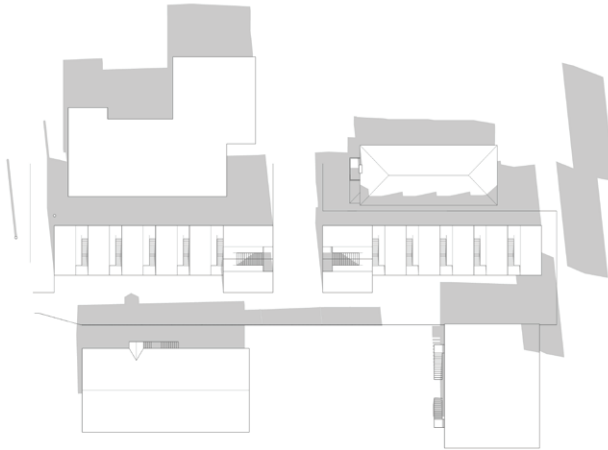
SUMMER SOLSTICE

WINTER SOLSTICE

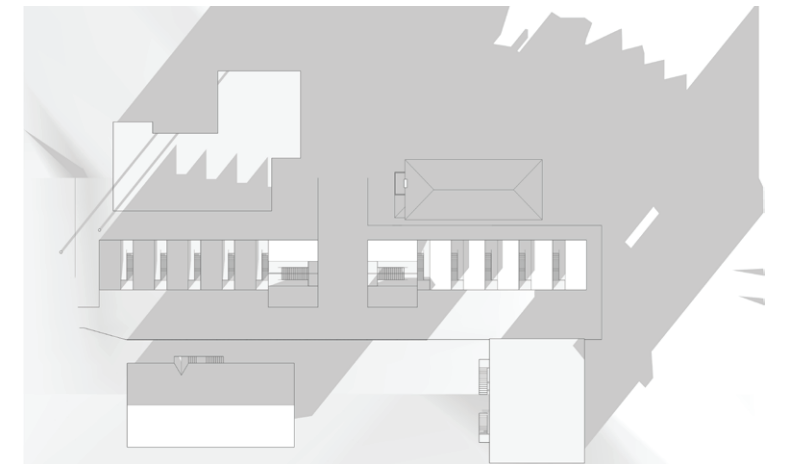
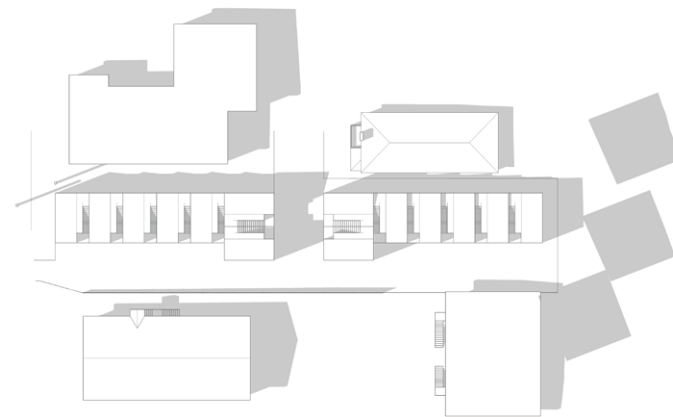
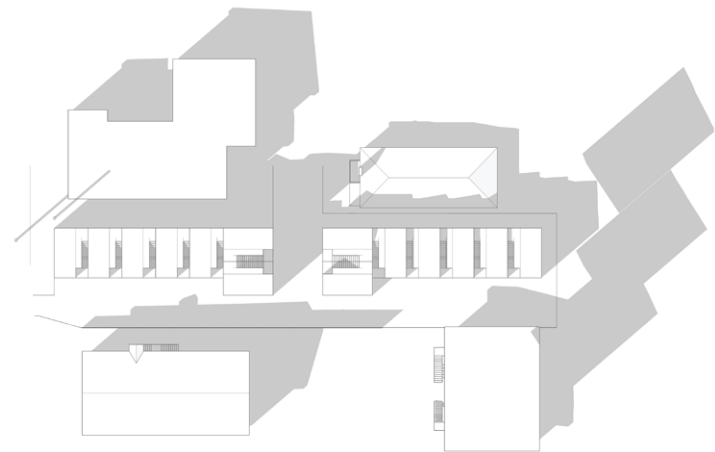
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Street View from 9th Ave



Aerial View



View from Westcrest Park Looking West



View from Westcrest Park Looking Southwest



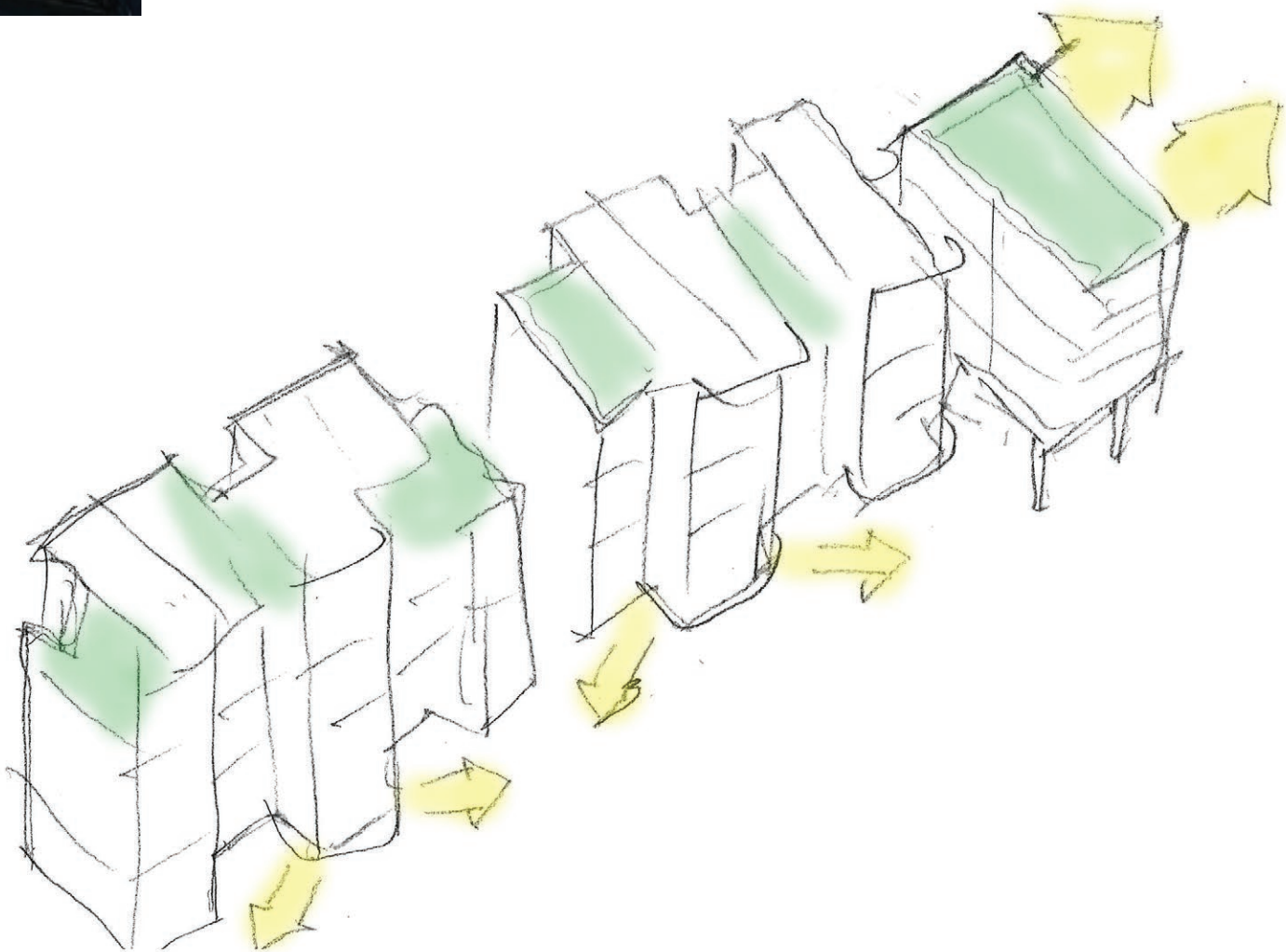
Material translucency



Multi-level outdoor spaces



Several window types



CLUSTER (OPTION 3) SUMMARY -

FAR (Table A 23.45.517
1.4 x 13,732 sf = **19,224.8 sf max**

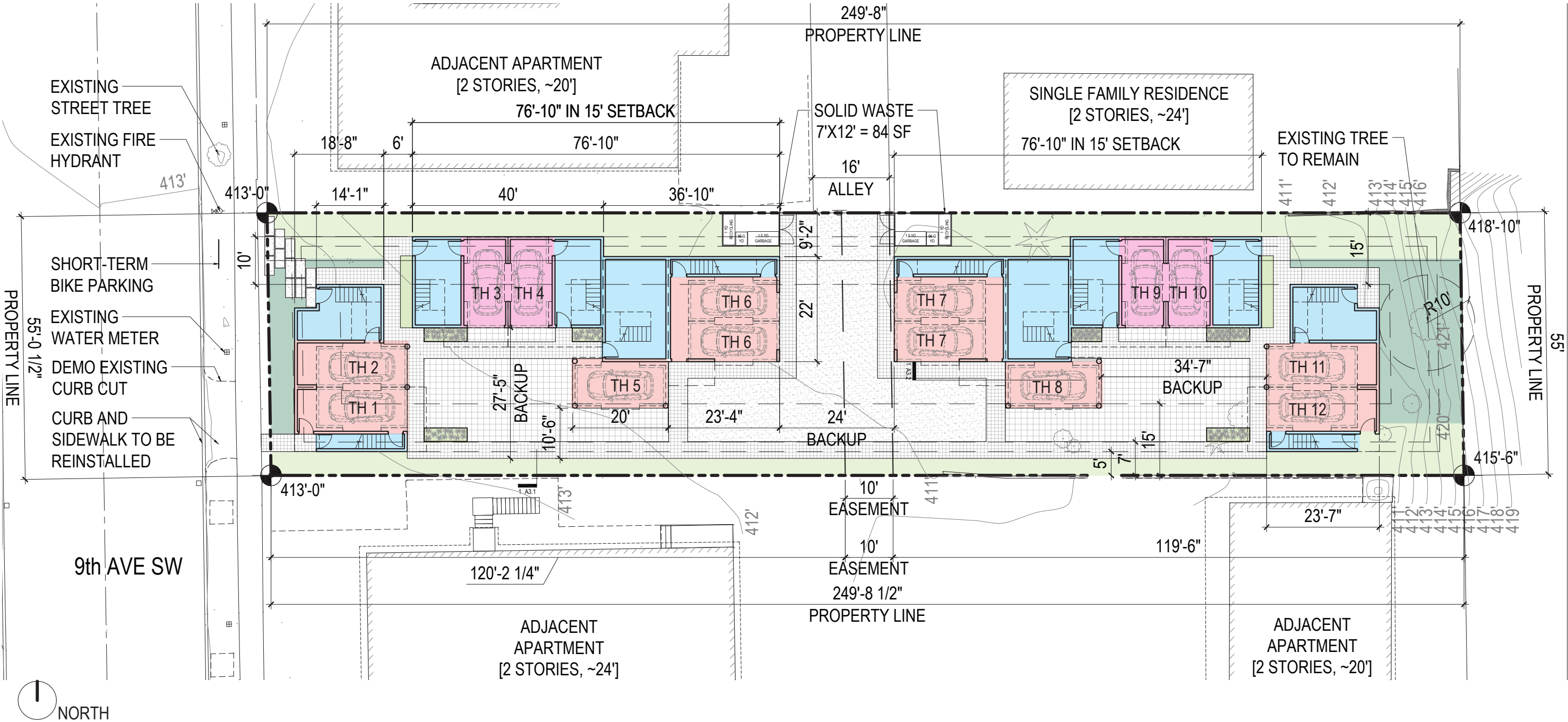
12 TOWNHOMES

- TOTAL GSF =16,346 gsf**
- (2) Townhomes @ 1,011 gsf
 - (2) Townhomes @ 1,123 gsf
 - (2) Townhomes @ 1,453 gsf
 - (2) Townhomes @ 1,542 gsf
 - (2) Townhomes @ 1,589 gsf
 - (2) Townhomes @ 1,455 gsf

Amenity (23.45.522)
Required: 0.25 x 13,732 sf = **3,433 sf**
Provided: Ground (1235 sf) + Roof (4316 sf) = **5,551 sf**

NO DEPARTURES

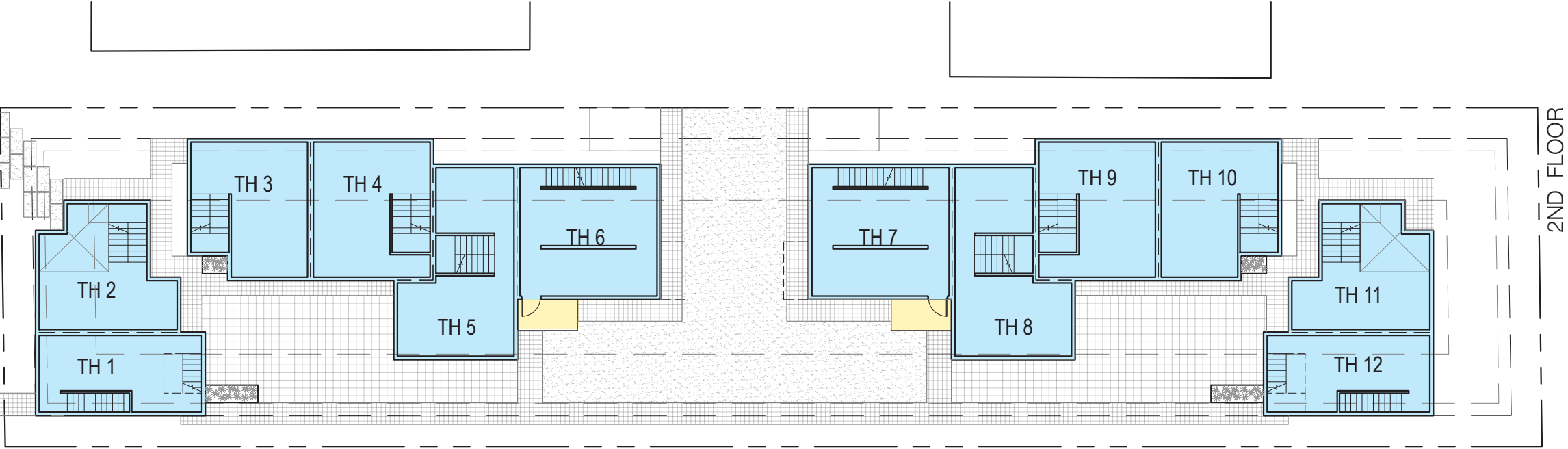
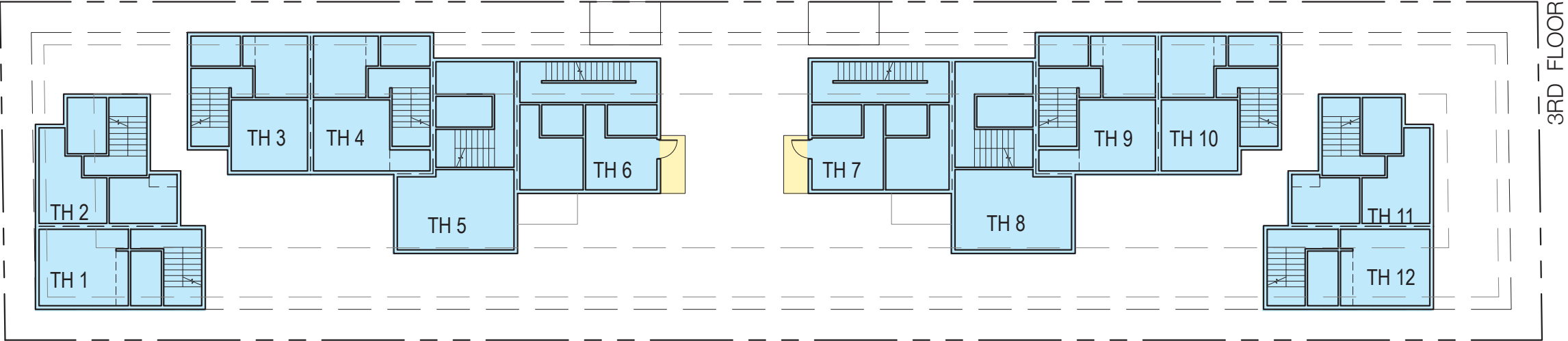
- PEDESTRIAN WALKWAY
- PERMEABLE PAVERS
- CARPORT
- GARAGE
- INDOOR
- AMENITY
- OPEN GREEN SPACE (NOT AMENITY SF)



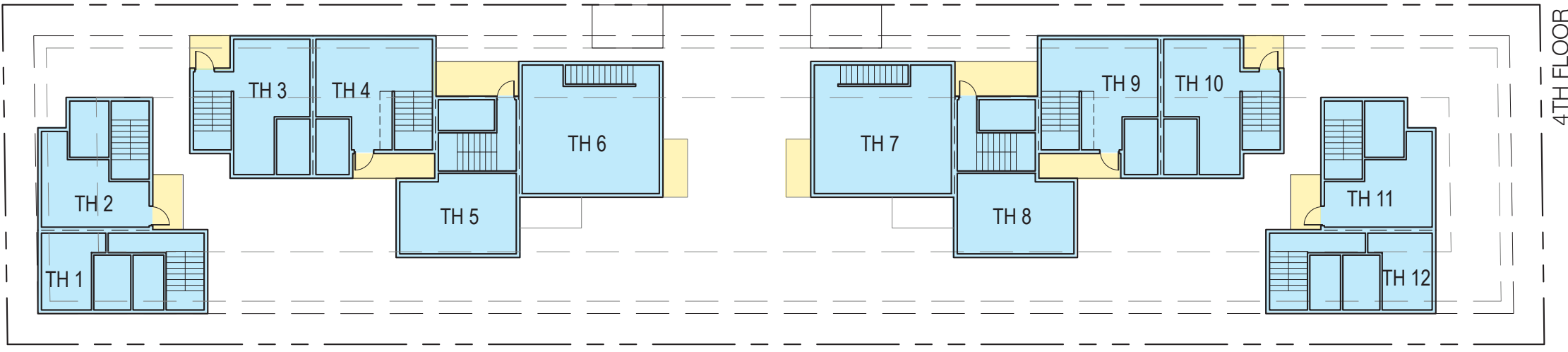
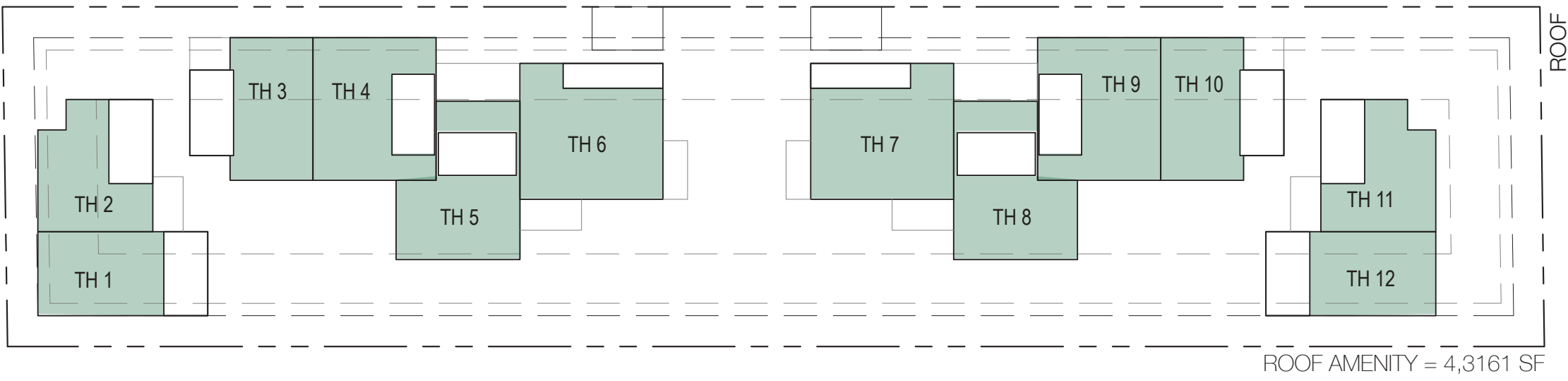
4.4 Cluster: Option 3 — Site + First Floor Plan - 3/64" = 1'-0"

9th Ave Townhomes

- INDOOR
- BALCONY
- AMENITY (ROOF)



- INDOOR
- BALCONY
- AMENITY (ROOF)

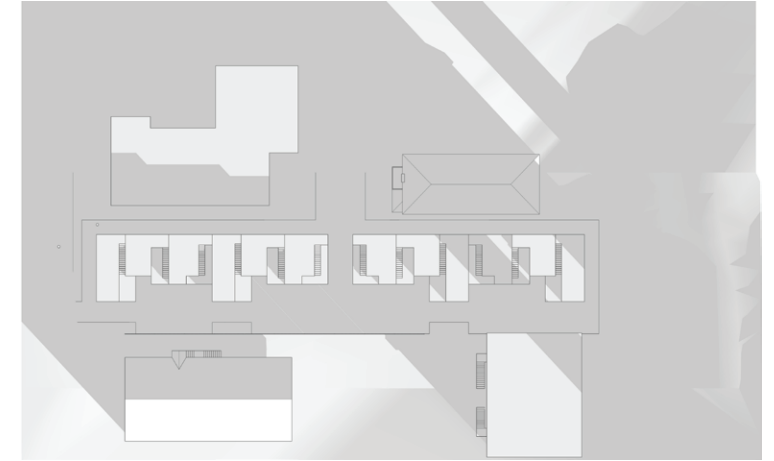
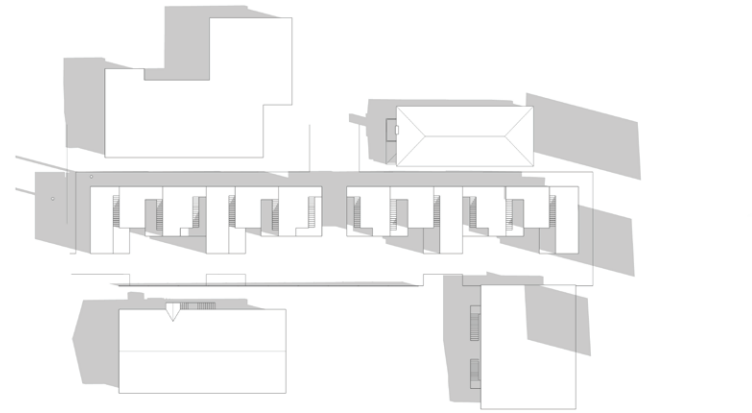
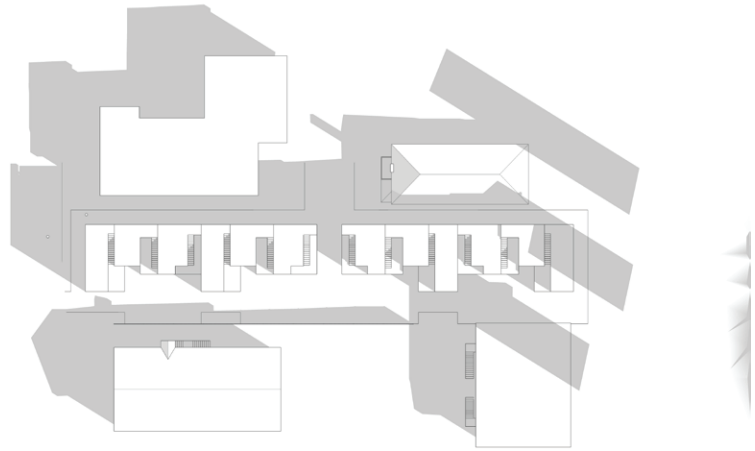


SPRING/FALL EQUINOX

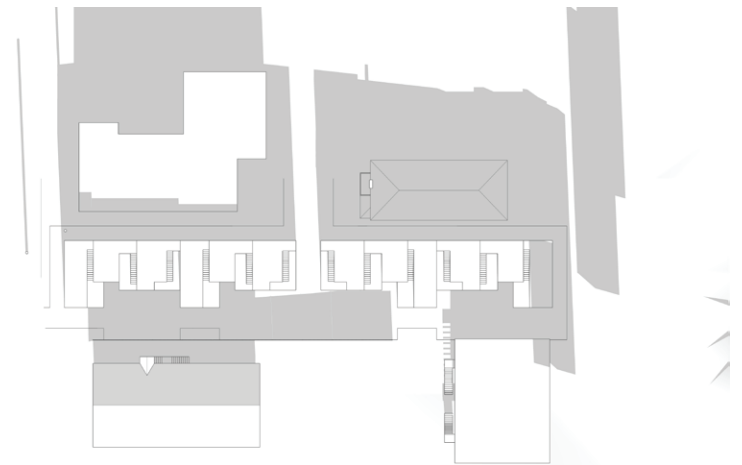
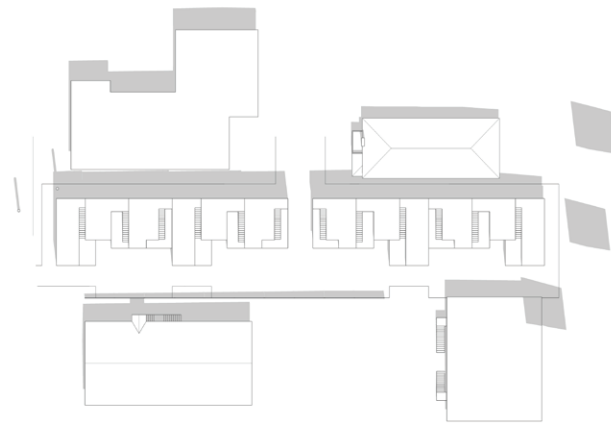
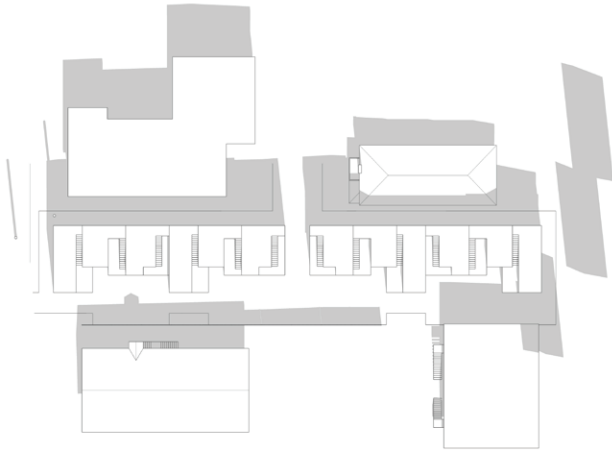
SUMMER SOLSTICE

WINTER SOLSTICE

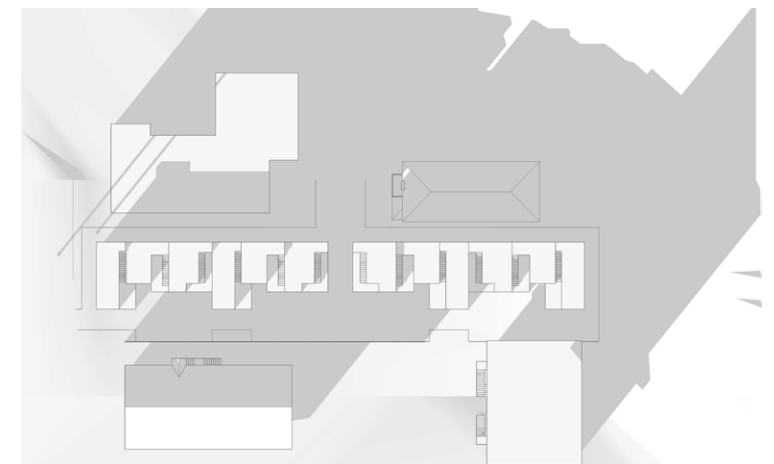
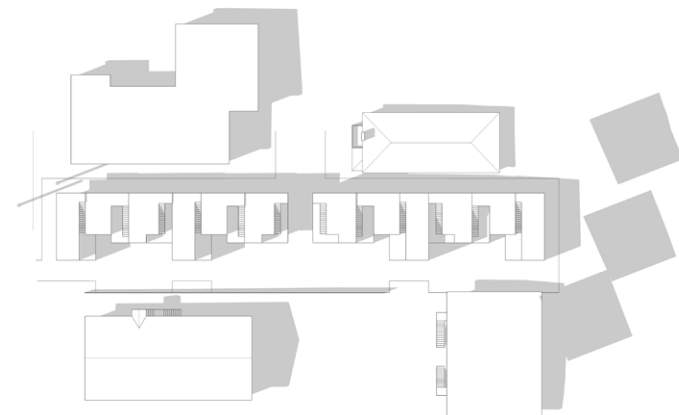
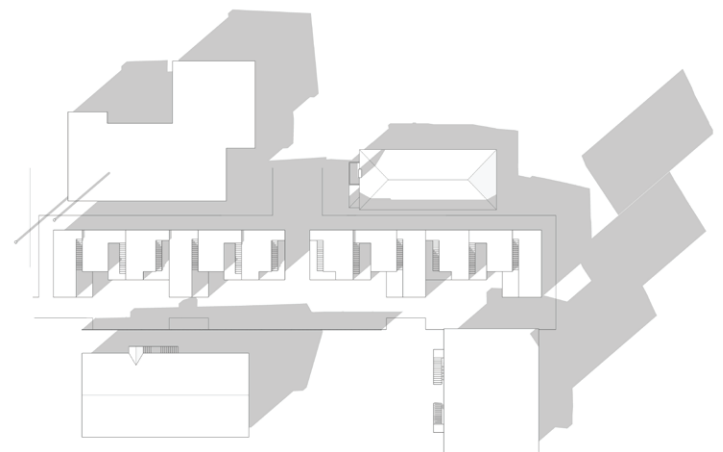
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DEPARTURE FOR LINEAR - MASSING OPTION 1
MAX BUILDING WIDTH

CODE SECTION

23.45.527.A (Table A)

CODE REQUIREMENT

90 ft max Structure Width

PROPOSED DESIGN

Each Building is 111'-9" ft

DESIGN GUIDELINE

CS1.B.2

Maximize daylight in interior spaces through design of the structure

REASON

The proposed design has an increased structure width so that all the units can all be located on the north portion of the project site. The location of the buildings on the southern adjacent property will block some of the daylight if the units are not moved to the north side.

