



# DELRIDGE MIXED USE

SEATTLE DESIGN REVIEW BOARD

DESIGN RECOMMENDATION MEETING

8854 DELRIDGE WAY SW | PROJECT #3025313

06.13.2019

DESIGN CONSULTANT

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# PROJECT INFORMATION

## PROJECT DATA

PROJECT ADDRESS:  
8845 Delridge Way SW

SDCI PROJECT NO. 3025313

OWNER:  
1710 Development LLC

DESIGN CONSULTANT:  
Sazei Design Group LLC

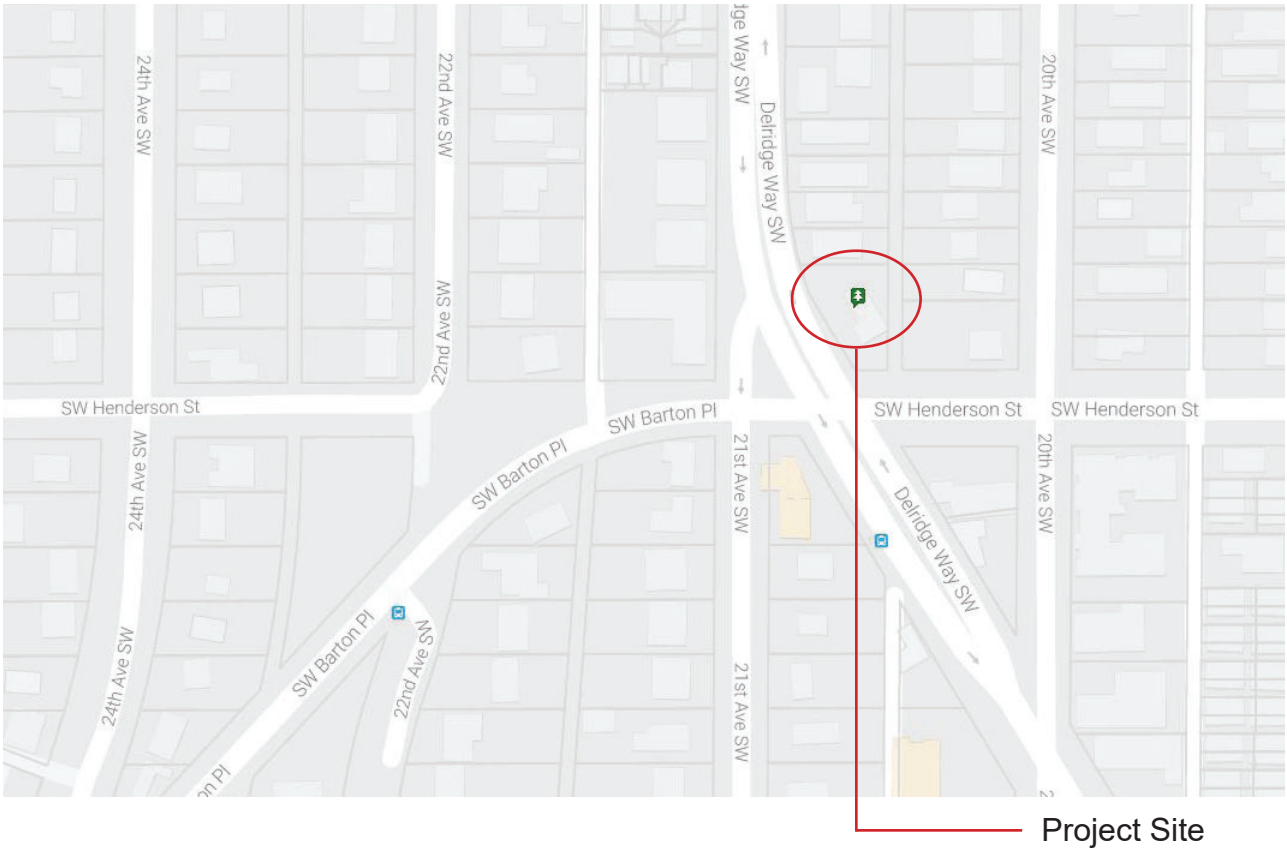
- 32 APARTMENT UNITS
- 14 PARKING STALLS
- 1,150 SF COMMERCIAL SPACE

The proposed project is to construct a new 4-story building over a below grade parking garage level with 32 apartment units, retail (cafe) space, and 14 enclosed parking stalls. The street level floor will feature 2 residential units with entry from the street and elevated from sidewalk, building lobby, and a retail space. Amenities will be located on 2nd level of the building.

The project is located in a C1-40 zone in the WESTWOOD-HIGHLAND PARK (Residential Urban Village) with a large shopping center in proximity and is intended to provide affordable and space-mindful housing for small families and young professionals.

The design behind the project is meant to encourage social interaction among residents as well as incorporate sustainable design in offering affordable housing, promote walkability and connectivity as well as offer strong urban presence to an rapidly developing area.

The preferred design scheme focuses on creating a connection between the pedestrians, tenants, and the community by offering a strong visual and local points of retail and social gathering with easy pedestrian access as well as favorable accommodations for commute reduction.



## PROJECT GOALS

- Provide unique and affordable urban residence.
- Provide a residential project that integrates with the neighborhood.
- Maximize the function of this small site.



PROJECT CONCEPT

PATTERN/RHYTHM - SAWTOOTH

REPETITION → PAUSE → CONTRAST



INSPIRATION

A PATTERN OR RHYTHM CAN BE SIMPLY REPEATED OVER AND OVER, OR IT CAN HAVE A PAUSE AND/OR CONTRAST IN AN EFFORT TO EMPHASIZE THE INITIAL PATTERN OR RHYTHM.

EMBODIMENT



REVIEW SUBJECT	DESIGN REVIEW & RECOMMENDATIONS	DESIGN RESPONSE
MASSING	<ul style="list-style-type: none"><li>Concerns with deviation from the initial review by eliminating sawtooth bays above the commercial space</li><li>Consider bringing back sawtooth patters over commercial space</li><li>Concerned with height and bulk at North Facade ground level.</li><li>Consider eliminating solid concrete parapet</li></ul>	<ul style="list-style-type: none"><li>Returned to the original design of the sawtooth bay with mild refinement to better support the initial concept of pattern &amp; rhythm variation</li><li>Partial sawtooth pattern in facade over commercial space</li><li>Solid concrete parapet was redesigned to reduce bulk</li></ul>
STREETSCAPE	<ul style="list-style-type: none"><li>Update B&amp;W landscape plans and show street trees as required per Land Use Code</li><li>Landscape plan must depict locations of all plantings and species</li></ul>	<ul style="list-style-type: none"><li>Updated landscape plan outlines detailed planting locations and street trees</li></ul>
SAFETY & SECURITY	<ul style="list-style-type: none"><li>Concerns with openings into the garage areas from the North Facade ground level. No noise, odor buffer</li><li>Further consideration of layered approach for facade treatment is needed</li><li>North Facade GL design should inform East Facade GL design</li><li>Review North Facade and its relationship to the adjacent property. Provide privacy study</li><li>Concerns with safety and security along the alley. Eliminate areas of possible shelter. Design appears unchanged from last review</li></ul>	<ul style="list-style-type: none"><li>Openings into the garage were replaced with indentations in concrete wall to complement sawtooth geometry and provided ornate areas for climbing plants support.</li><li>North facade and East facade support overall design concept</li><li>Privacy study provided for the North facade and adjacent property</li><li>Alley access to the main level garage entry have been redesigned to accommodate earlier privacy concerns</li></ul>
MATERIALITY	<ul style="list-style-type: none"><li>Consider returning to a more restrained material pallet to eliminate visual clutter</li><li>Materials treatment should relate to the sawtooth pattern</li><li>Fiber-cement boards should articulate reveals supporting the sawtooth pattern</li><li>Fiber-cement should age well in direct sunlight at south facade.</li><li>Identify all individual materials used</li><li>Concern with transition from brick to fiber-cement</li></ul>	<ul style="list-style-type: none"><li>More simplified materials pattern was developed</li><li>Geometric FCB panels pattern as well as concrete indentations patterns at North and East faced have been implemented</li><li>FCB boards have been chosen to have composition to contain color pigment in the panels to age better in bright sun exposures</li><li>Materials key included at every elevation</li></ul>
ADDITIONAL DESIGN ELEMENTS	<ul style="list-style-type: none"><li>Additional information relating to the facade composition, secondary elements, architectural and mechanical detailing is needed. Provide visual examples.</li><li>Garage doors design depiction to be included and identified in drawings</li></ul>	<ul style="list-style-type: none"><li>Details and visual examples provided for the requested elements</li><li>Garage door details and specs provided</li></ul>



1. MASS

At the time of EDG, the Board was supportive of the sawtooth massing concept. It appears one of the sawtooth bays has been eliminated at the ground-level, and the office space expanded into this location. It also appears the upper-level sawtooth bays have been eliminated above the commercial space.

Staff is concerned that this revised design deviates from the mass previously reviewed and supported by the Board. Consider maintaining the upper-level sawtooth bays above the commercial space at a minimum. Otherwise, provide an explanation as to why these changes occurred and how they evolved out of the Board's earlier guidance, as well as an updated architectural concept in the draft Recommendation packet.

Staff questioned the deep vertical reveals between the southern-most ground-level studio unit and the commercial space and in the southwest corner. Consider simplifying the angles of the recess in a manner consistent with the overall architectural concept.



FRONT/DELRIDGE - MASSING VIEW



SIDE/HENDERSON - MASSING VIEW

RESPONSE:

- Returned to the original design of the sawtooth bay with mild refinement to better support the initial concept of pattern & rhythm variation
- Partial sawtooth pattern in facade over commercial space
- Solid concrete parapet was redesigned to reduce bulk



2. NORTH FACADE AT GROUND LEVEL

At the time of EDG, the Board was concerned with the treatment of the concrete at the ground-level, particularly along the north property line. It appears the project has incorporated openings with decorative metal trellises. Staff is concerned that openings into the garage do not provide a sensitive transition due to noise, odor, etc. Staff suggests further consideration of a layered approach involving textured concrete, green screens, and native, shade tolerant vining vegetation that provides greenery year round. The resolution of the north ground-level façade should inform the design of the east ground-level façade.

RESPONSE:

EAST ELEVATION - proposed screen doors facing the alley are metal ornamental screens that allow for security, eliminate areas or unwanted refuge, as well as provide visual and aesthetic appeal for the alleyway. Additionally, concrete depressions and metal screens for shade tolerant wall climbing plants have been provided to improve the blank concrete wall facade.

NORTH ELEVATION - concrete wall depressions and metal screens are added along the North wall to provide aesthetic appeal. This design also connects the concrete wall treatment design at the East alley elevation.



EAST ELEVATION - GARAGE & PARKING DOOR DESIGN



NORTH ELEVATION - CONCRETE WALL TREATMENT

2. NORTH FACADE AT GROUND LEVEL

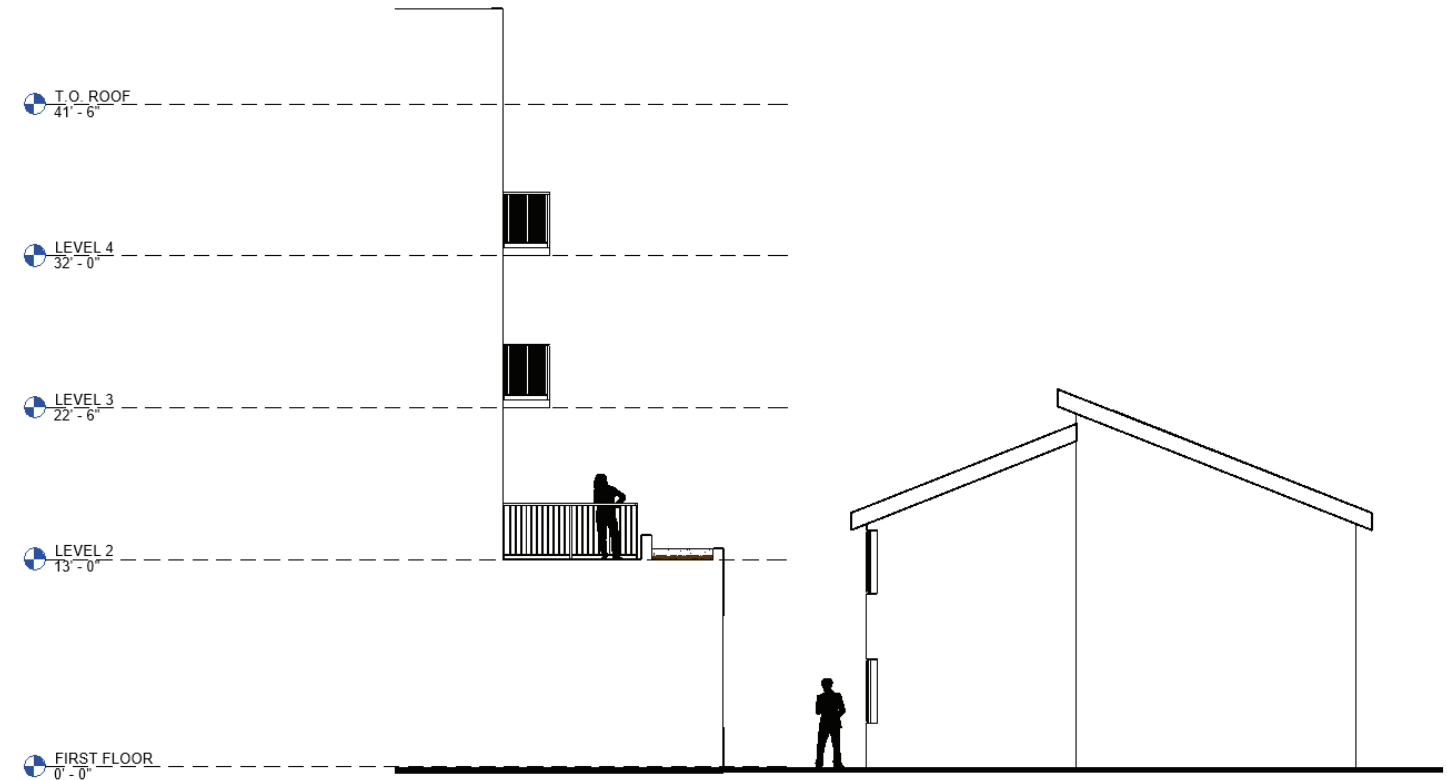
Staff is also concerned about the perceived height of the ground-level. The Board had also requested additional information regarding the design of the ground-level of the north façade and relationship to the adjacent residential structure. Please provide a privacy study depicting window overlap of the windows/openings on the north elevation of the proposed development and on the south elevation of the adjacent site; provide a street elevation that depicts the west elevation of the proposed development and adjacent site; and include the foot print of the adjacent structure in the site plan. Please include these graphics in the draft Recommendation Packet.



ADJACENCY SITE PLAN



ADJACENT WINDOW OVERLAP DIAGRAM



ADJACENCY STUDY - ELEVATION A-A

RESPONSE:

Privacy study diagrams show the adjacency of the North lot line building to the proposed structure North facing elevation and its overlap in respect to window openings. The setback on Level 2 deck as well as the greenery and plantings along the concrete wall of the proposed building provide sufficient visual and auditory buffer, as well as aesthetic appeal.



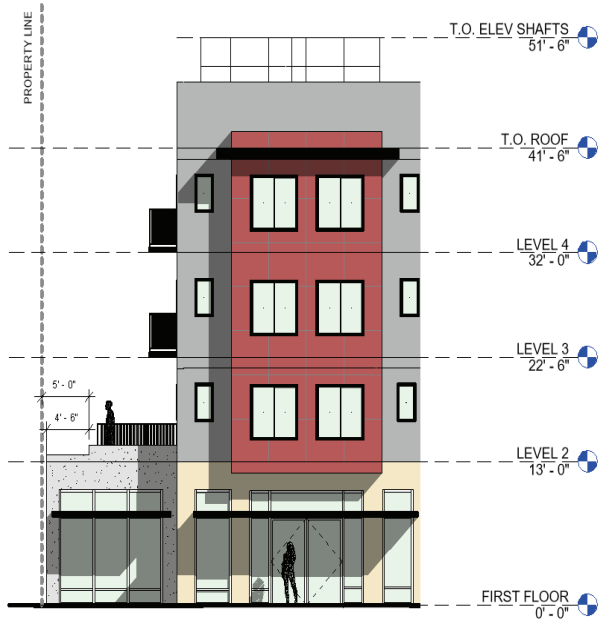
3. UPPER LEVEL SETBACKS

At the time of EDG, the Board had appreciated that the required upper-level setbacks were respected. It appears the height of the ground-level with the solid parapet is about 16-feet, although its difficult to confirm since dimensions are not provided. The design, as proposed, may require a departure. Per SMC 23.47A.014.E.1.a, decks with open railings are allowed within a required setback, but are not permitted within 5-feet of a residential zone. Consider eliminating the solid concrete parapet, which would reduce height and bulk impacts, and creating smaller private decks pulled back 5-feet from the property line. These smaller decks could be surrounded by green roof.

RESPONSE:

Upper level North facing patio have been recessed 5 feet from the property line to meet the requirements set by the Board. The recessed area at upper level has been dedicated for green roof. Solid parapet has been reduced in height because of the setback and new step design allows for a smoother transition between the areas as well as eliminating the bulk impact.

No departure will be required for this design.





4. ALLEY PARKING & VEHICULAR ACCESS

At the time of EDG, the Board was concerned about safety and security along the alley, particularly the ground-level parking area and garage access. The design should eliminate areas that may be used as shelter by non-residents. It appears the design of the ground-level alley façade is unchanged. Please further develop your designs in response to this guidance, and include additional information in the draft Recommendation Packet.

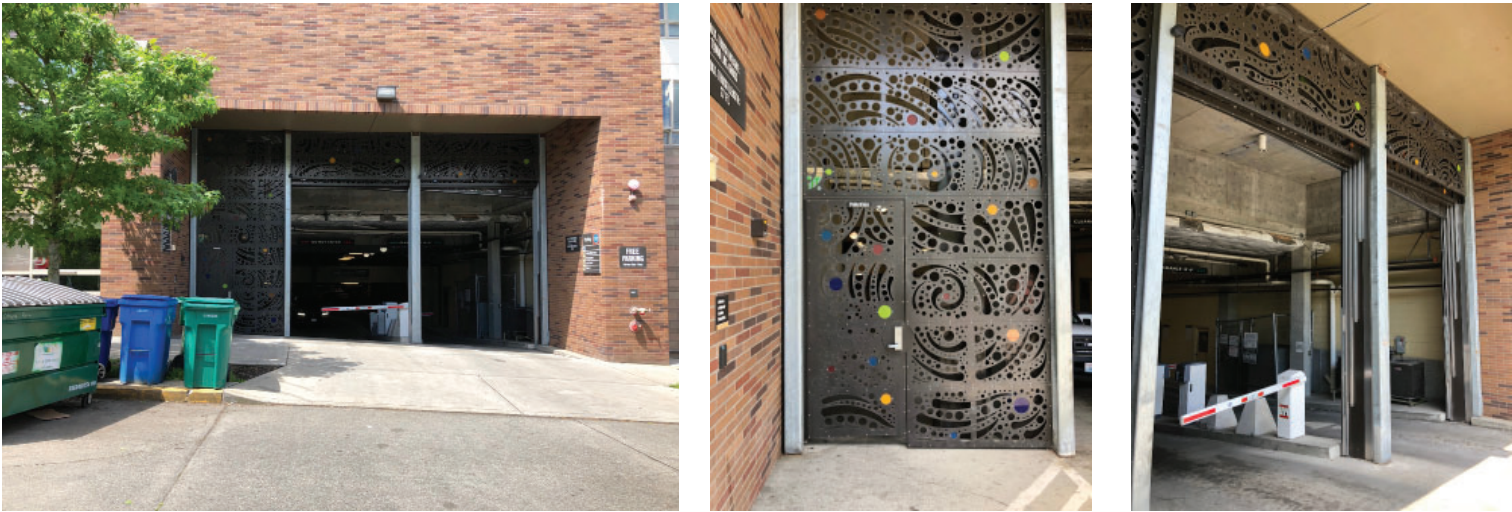
The Board had also requested additional graphics depicting the design of the ground-level alley-accessed parking spaces, its relationship to the alley and overall design, and how the space is intended to function. Please include these graphics in the draft Recommendation Packet.



RESPONSE:

Ground level parking area as well as the trash receptacle room have been added custom perforated screen doors. The screens at the parking area will be open during business hours and will close after hours and accessible through the screen gate door. Gated and secured entry will eliminate areas of potential unwanted shelter as well as add visual interest to the open spaces. Garage entrance door will have similar panels that will be roll-up.

Similarly proposed custom door images are provided for reference as implemented design.



CUSTOM METAL OVERHEAD DOORS

5. MATERIALITY

At the time of EDG, the proposed material palette was more restrained. Staff is concerned that the increased number and variety of materials results in visual clutter and differs from what the Board was initially shown. Consider simplifying the material palette.

Please note, the Board had also noted the materials treatment should relate to the sawtooth massing concept and overall architectural expression. Consider how the cedar siding wraps the corner onto the south facade of each sawtooth bay. Please continue to develop the material palette in response to this guidance.

Please identify all individual materials, including cladding, balconies, windows, doors, etc., by type and color in the color elevations. Include all material reveals. It would be helpful if you provided a labeled materials legend on each sheet.

At the time of EDG, the Board had noted that - if used - fiber cement panels should be intentionally composed with an articulated pattern of reveals that relate to the overall architectural expression. As requested by the Board, please depict all material reveals in elevations and include details of material transitions in the draft Recommendation packet. This will also need to be depicted in the plan set.

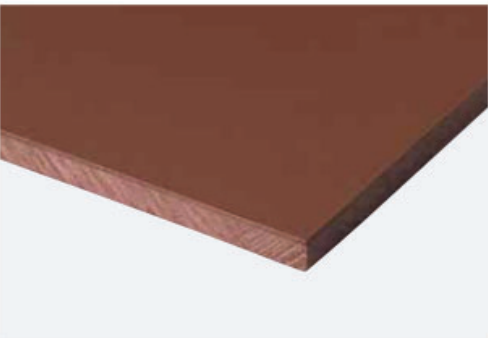
Staff is concerned about the transition from brick to fiber cement panel. Indicate the depth of the transition and consider incorporating unique brick detailing at the transition.

The Board had also noted that if fiber cement panels are used, the material should be treated to age well in direct sunlight. Please explain how you have responded to this concern in the draft Recommendation packet.

RESPONSE:

- New material board has been developed to more accurately reflect the initial materials selection presented at the first EDG meeting.
- Materials treatment for the FCB panels is proposed to be geometric and reflective of the sawtooth concept. The cedar siding placement has been updated to wrap around the edge of the bay to further highlight the sawtooth pattern of the facade.
- Individual materials have been identified in colored elevations as noted.
- Fibercement panels have been placed in a geometric pattern to highlight and complement strong geometric concept of sawtooth pattern repeat. All reveals have been updated as shown on elevations.
- Transition from cultured stone to fibercement panels on same plane only happens at connection of FCP lap siding, which provided a smooth connection between horizontal planks and stone veneer.
- Proposed FCB panels are manufactured with color pigment mixed in at the time of panel manufacturing, which eliminated additional painting labor as well as making color more lasting and resistant to UV fading and color damage from the elements. FCB panels manufacturer is Cembrit or similar.

Cembrit Solid



The special thing about Cembrit Solid boards is that they're the same colour all the way through. Each of the core colours is matched with a full-coverage painted surface in vibrant yet resilient colours. This means if you choose Cembrit Solid boards to provide a facade with a particular colour, every board will feature that colour on every surface and edge, and with the same colour on the edges of any cut-outs or drilled holes.



IRONWORK



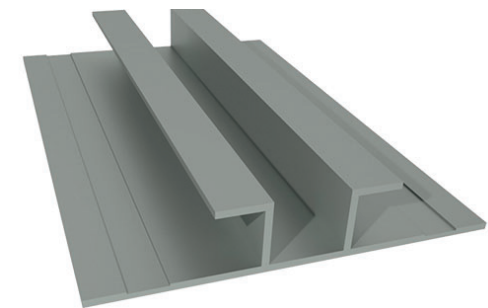
(A)  
Proposed metal balcony railing design



(B)  
Proposed metal railing at patio access area



(C)  
Proposed metal awning at retail and public entrances



(D)  
Fibercement Board reveal channels





■ UPDATED ELEVATIONS



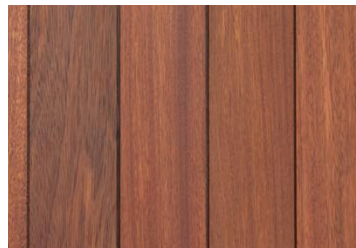
1 Fiber-cement Cembrit solid color panels, UV/fade resistant



2 Fiber-cement Cembrit solid color panels, UV/fade resistant



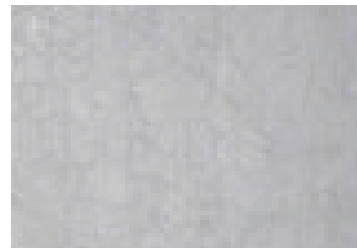
3 Fiber-cement Lap siding, painted



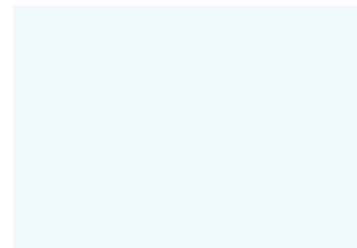
4 Clear cedar vertical siding



5 Cultured stone veneer



6 Exposed concrete



7 Residential window glass - UV blocking



8 Tinted reflective glazing at commercial level



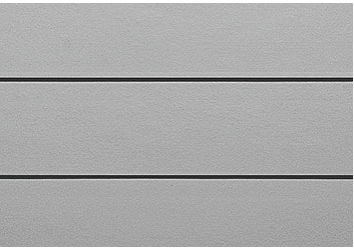
REAR (EAST) ELEVATION



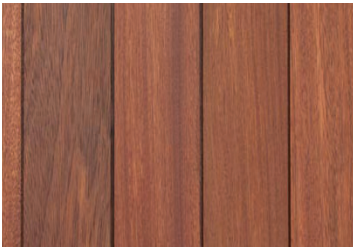
1 Fiber-cement  
Cembrit solid  
color panels,  
UV/fade resistant



2 Fiber-cement  
Cembrit solid  
color panels,  
UV/fade resistant



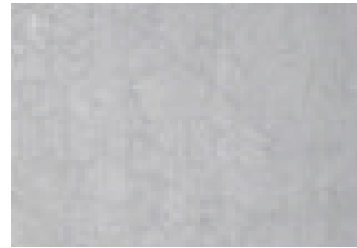
3 Fiber-cement  
Lap siding, painted



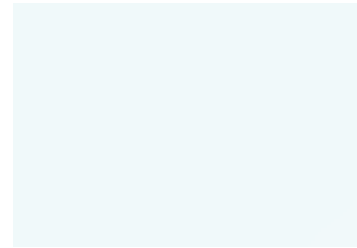
4 Clear cedar vertical  
siding



5 Cultured stone  
veneer



6 Exposed concrete



7 Residential window  
glass - UV blocking



8 Tinted reflective  
glazing at commer-  
cial level



■ UPDATED ELEVATIONS



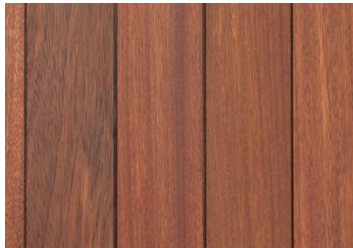
① Fiber-cement Cembrit solid color panels, UV/fade resistant



② Fiber-cement Cembrit solid color panels, UV/fade resistant



③ Fiber-cement Lap siding, painted



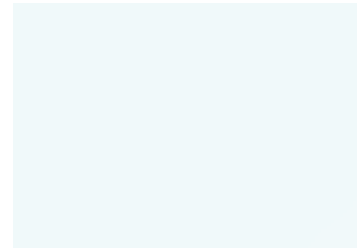
④ Clear cedar vertical siding



⑤ Cultured stone veneer



⑥ Exposed concrete

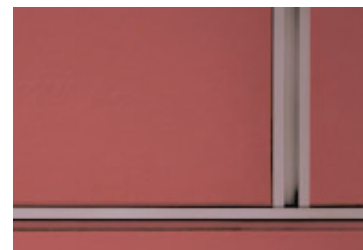


⑦ Residential window glass - UV blocking



⑧ Tinted reflective glazing at commercial level





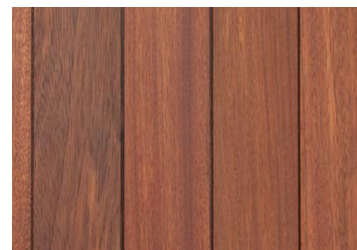
① Fiber-cement  
Cembrit solid  
color panels,  
UV/fade resistant



② Fiber-cement  
Cembrit solid  
color panels,  
UV/fade resistant



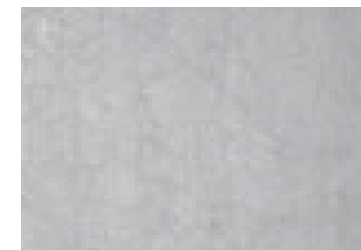
③ Fiber-cement  
Lap siding, painted



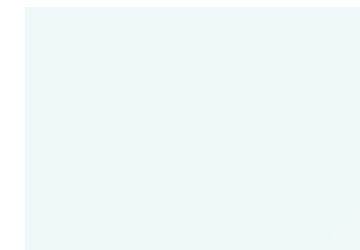
④ Clear cedar vertical  
siding



⑤ Cultured stone  
veneer



⑥ Exposed concrete



⑦ Residential window  
glass - UV blocking



⑧ Tinted reflective  
glazing at commer-  
cial level





STREET VIEW PERSPECTIVE - LOOKING SOUTH OF DELRIDGE





STREET VIEW PERSPECTIVE - LOOKING NORTH OF DELRIDGE



6. DESIGN ELEMENTS

At the time of EDG, the Board had requested additional information pertaining to the façade composition, secondary elements, and materiality at the Recommendation phase. Include vents, downspouts, mechanical systems, louvers, etc. in drawings in the draft Recommendation packet and MUP plans. Include precedent images of balconies, trellises, etc.

The Board had supported the proposed use of a perforated roll up garage door. It is unclear what type of garage door is proposed in the plans. Please call out.

RESPONSE:

Concept images for the facade composition details have been provided.



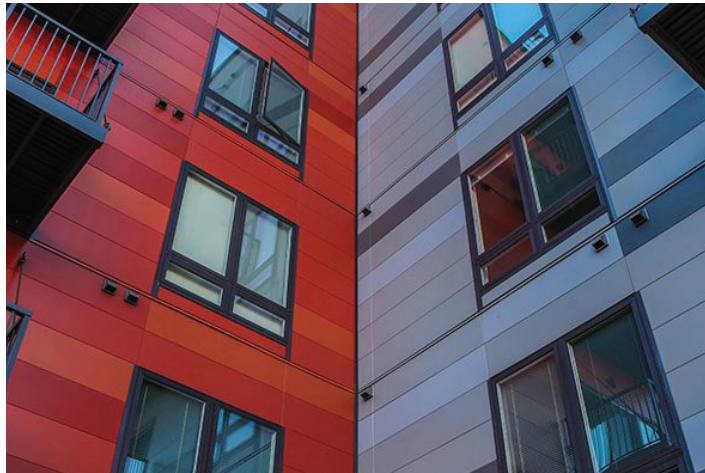
Cedar plank to FCB panels transition at the entry to the street level units with unit numbers



Balcony railings design



Street entry unit entry and Level 2 deck/patio railing design



Vents placement at CFB horizontal panels



Gutter design at FCB



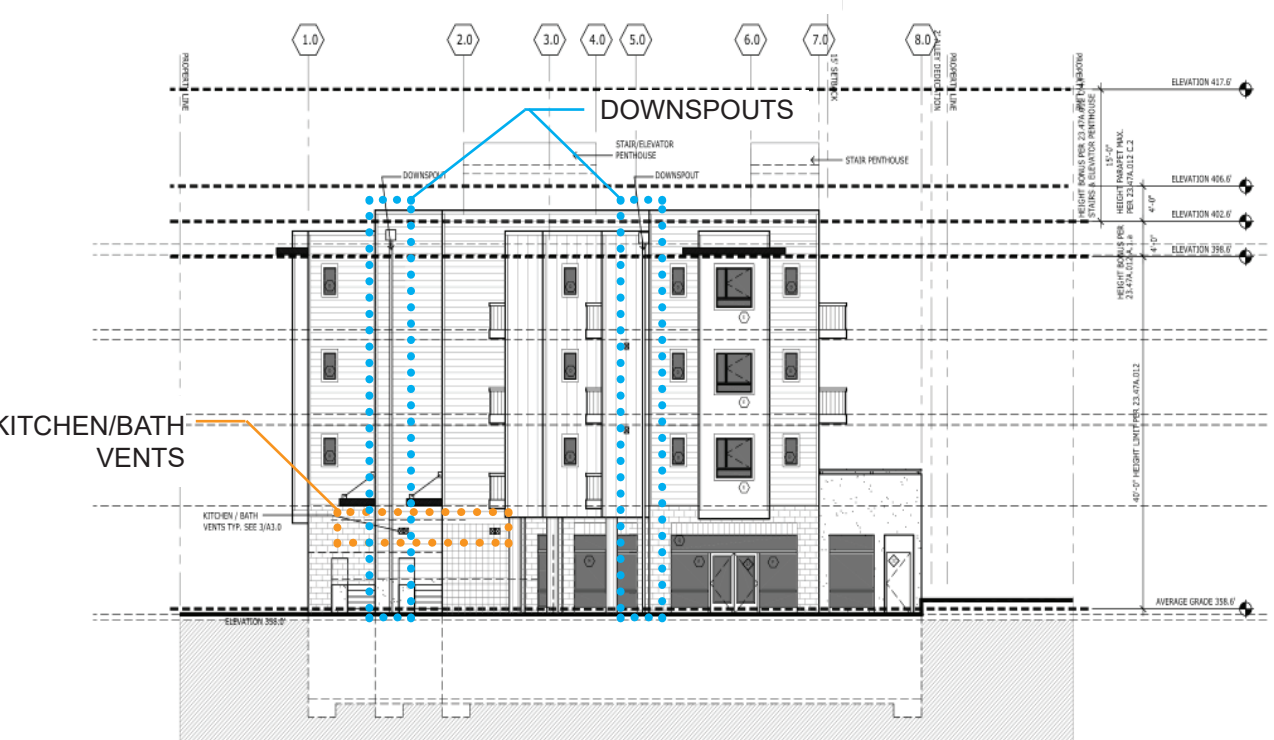
Metal awning over commercial entry and main units entry



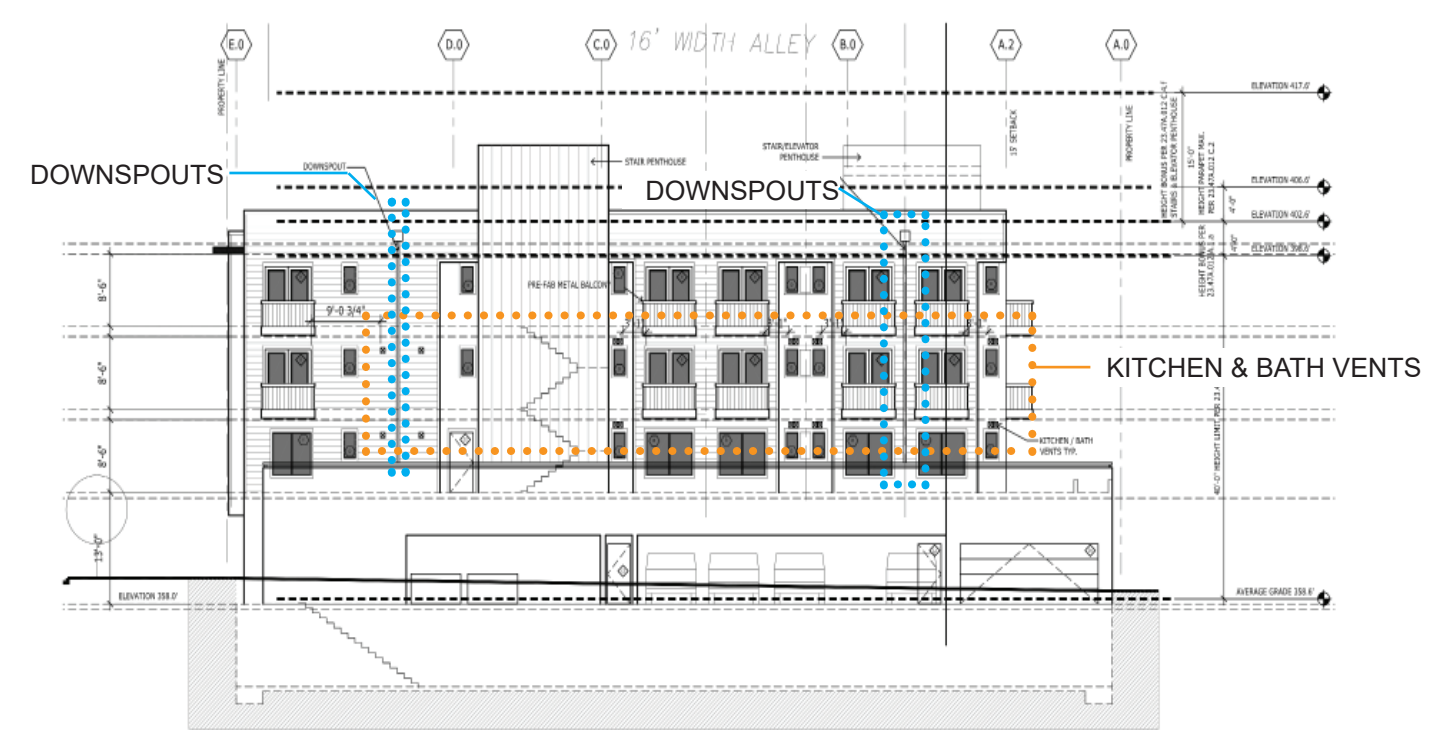
VENTING AND DRAINAGE DESIGN



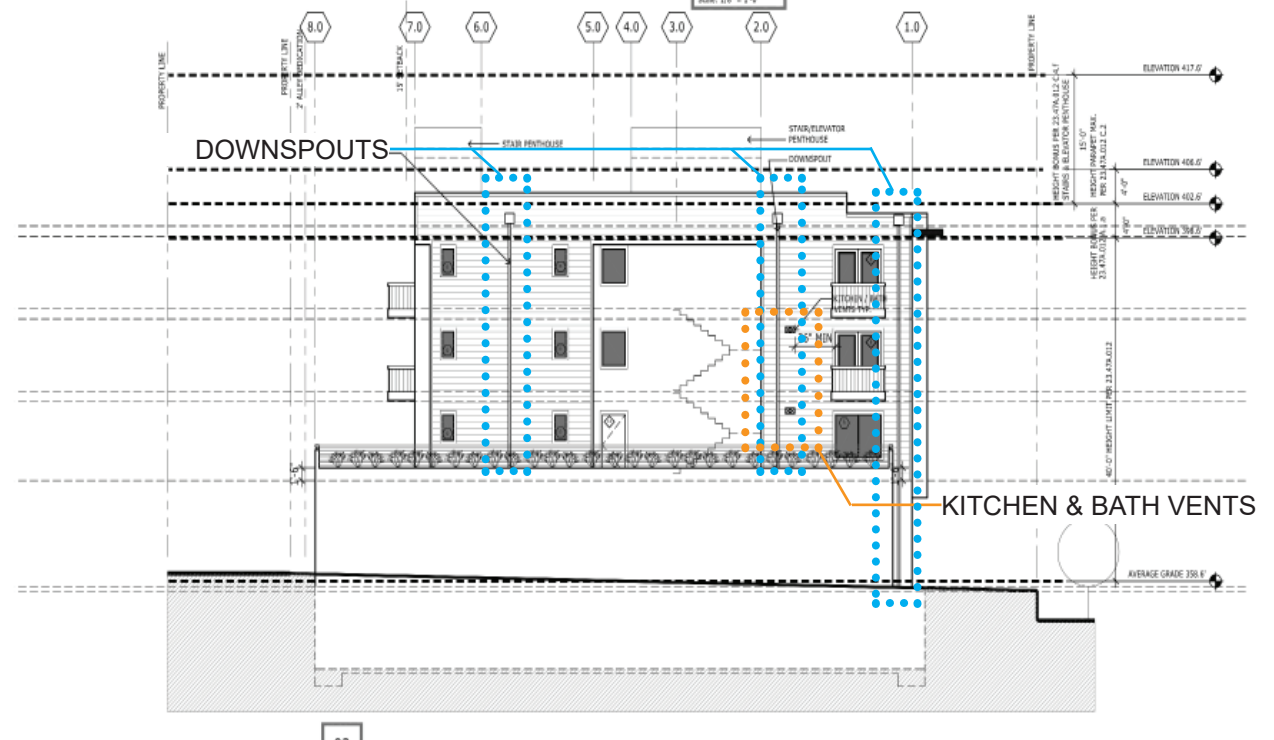
01 West Elevation



02 South Elevation



01 East Elevation



02 North Elevation





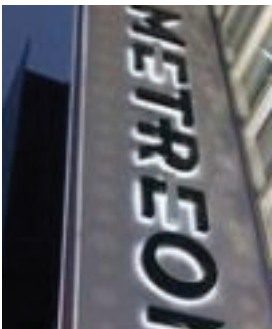




CANOPY MOUNTED METAL SIGN



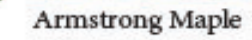
CANOPY MOUNTED METAL SIGN



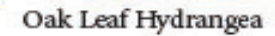
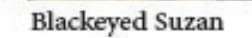
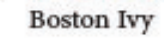
VERTICAL NEON SIGN



11



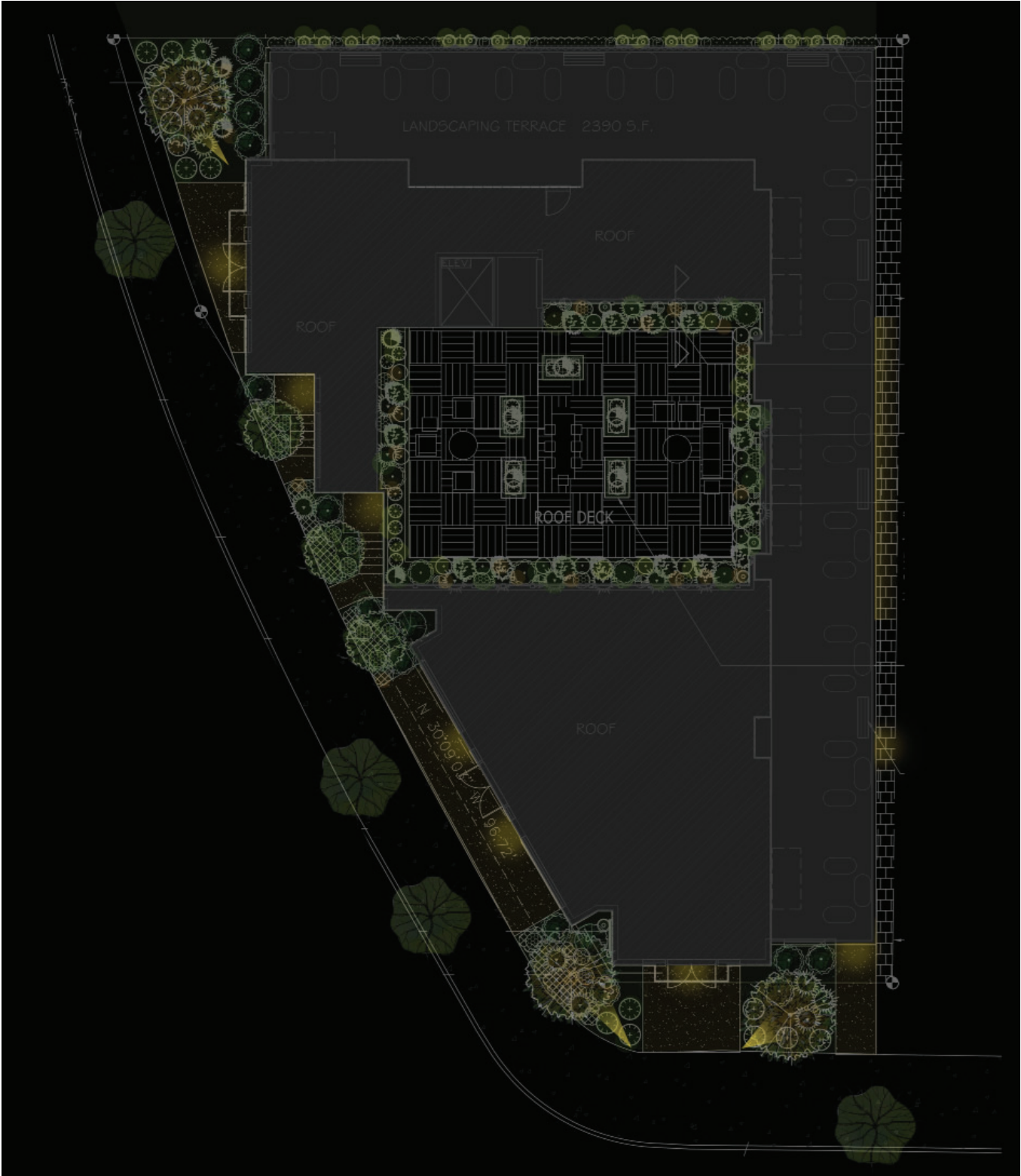
### Jack Spratt Flax



**Kinninnick**







EXTERIOR WALL  
LIGHTING



EXTERIOR AMBIANT /  
CEILING MOINT



GROUND BASE LIGHTING  
FOR VEGETATION

DESIGN DEPARTURE

23.47A.008 STREET-LEVEL DEVELOPMENT STANDARDS B.3

Depth provisions for new structures or new additions to existing structures. Non-residential uses shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level street-facing facade.

RESPONSE:

Currently, our proposal has a depth of 26.8’ measured from Henderson and a depth of 27.8’ measured from Delridge with some portions along Henderson under the 15’ minimum. Consequently, we are seeking a Design Departure to satisfy this requirement.

The rational for this departure is as follows:

The concept brought forward at the Early Design Guidance meeting was a Zig-Zag façade along the street sides of the building facing Henderson and Delridge because of the triangular shaped lot.

In an effort to maximize this Zig-Zag concept the points of the Zig-Zag at the two Residential Levels have been pushed to the property line (see Diagram 2). The Commercial Level however has been set back slightly to provide some relief for pedestrians from the busy street by creating a modest plaza space. This in turn also provides protection from the weather as pedestrians approach the building (see Diagram 1). We also feel setting the commercial level back from the street gives the building more of a human scale. This recessed entry makes the building more approachable and less imposing. We have included some oversized columns to support the Residential Levels above to provide an added architectural detail and also act as a buffer to the street for the commercial space. To meet the commercial depth requirement would could push the commercial level out to the same plane as the residential levels above but feel this would not be as elegant solution.

COMMERCIAL DEPTH CALCULATION:

DELRIDGE: 43.83’ overall length of commercial space

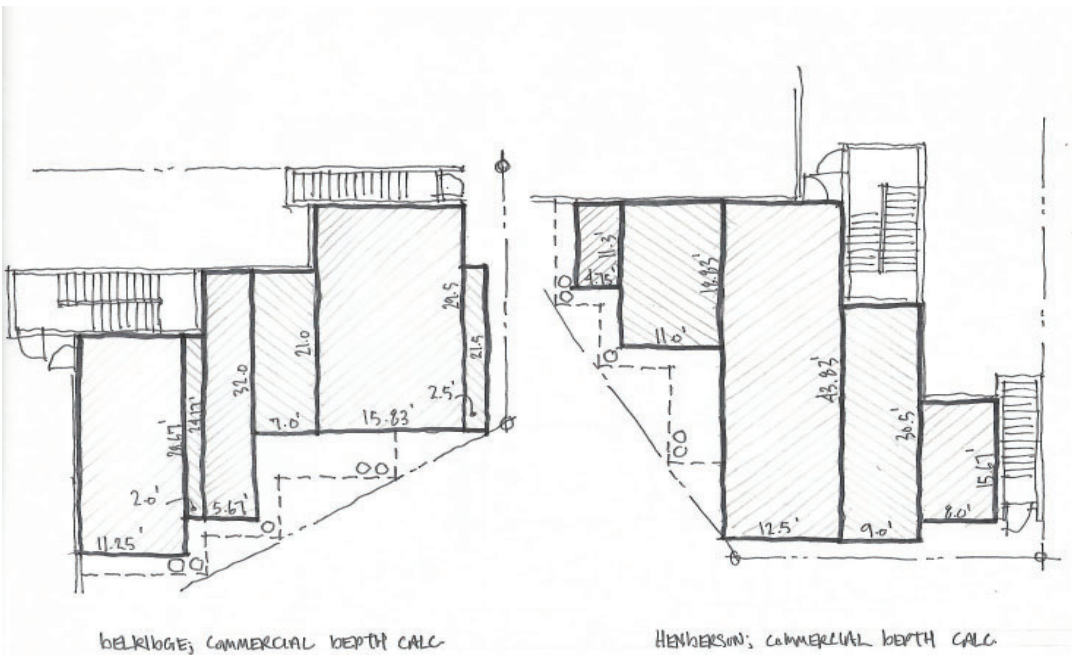
Length:		Depth:	
11.25’	= 25.7%	x	28.67’ 7.4
2.0’	= 4.6%	x	24.17’ 1.1
5.67’	= 12.9%	x	32.0’ 4.1
7.0’	= 16.0%	x	21.0’ 3.4
15.83’	= 36.1%	x	29.5’ 10.6
2.5’	= 5.7%	x	21.5’ 1.2

43.83’ 100.00% 27.8’ Average

HENDERSON: 45.33’ overall length of commercial space

Length:		Depth:	
8.0’	= 17.7%	x	15.67’ 2.8
9.0’	= 19.9%	x	30.5’ 6.1
12.5’	= 27.6%	x	13.81’ 12.1
11.0’	= 24.3%	x	18.83’ 4.6
4.75’	= 10.5%	x	11.33’ 1.2

45.33’ 100.00% 26.8’ Average





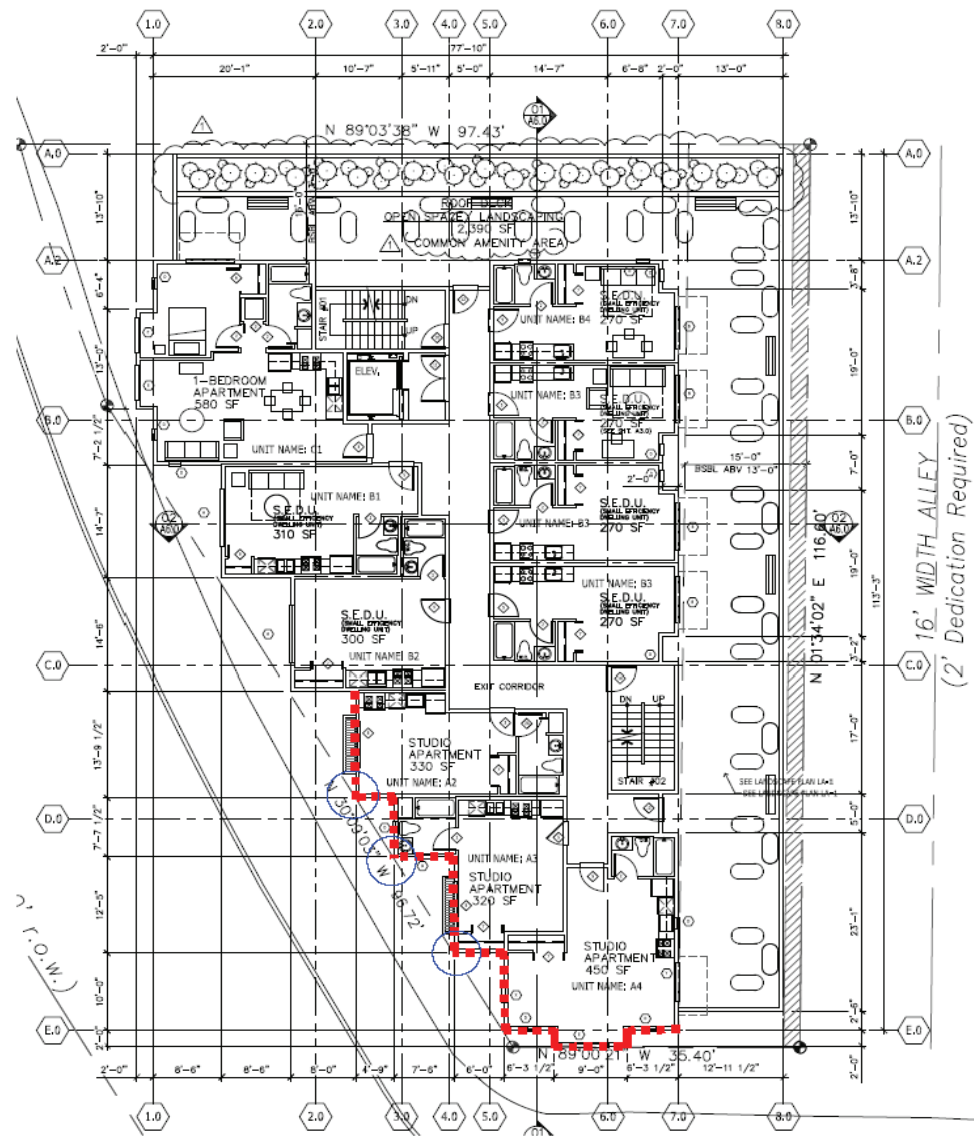


Diagram 02; Residential Floor Plan

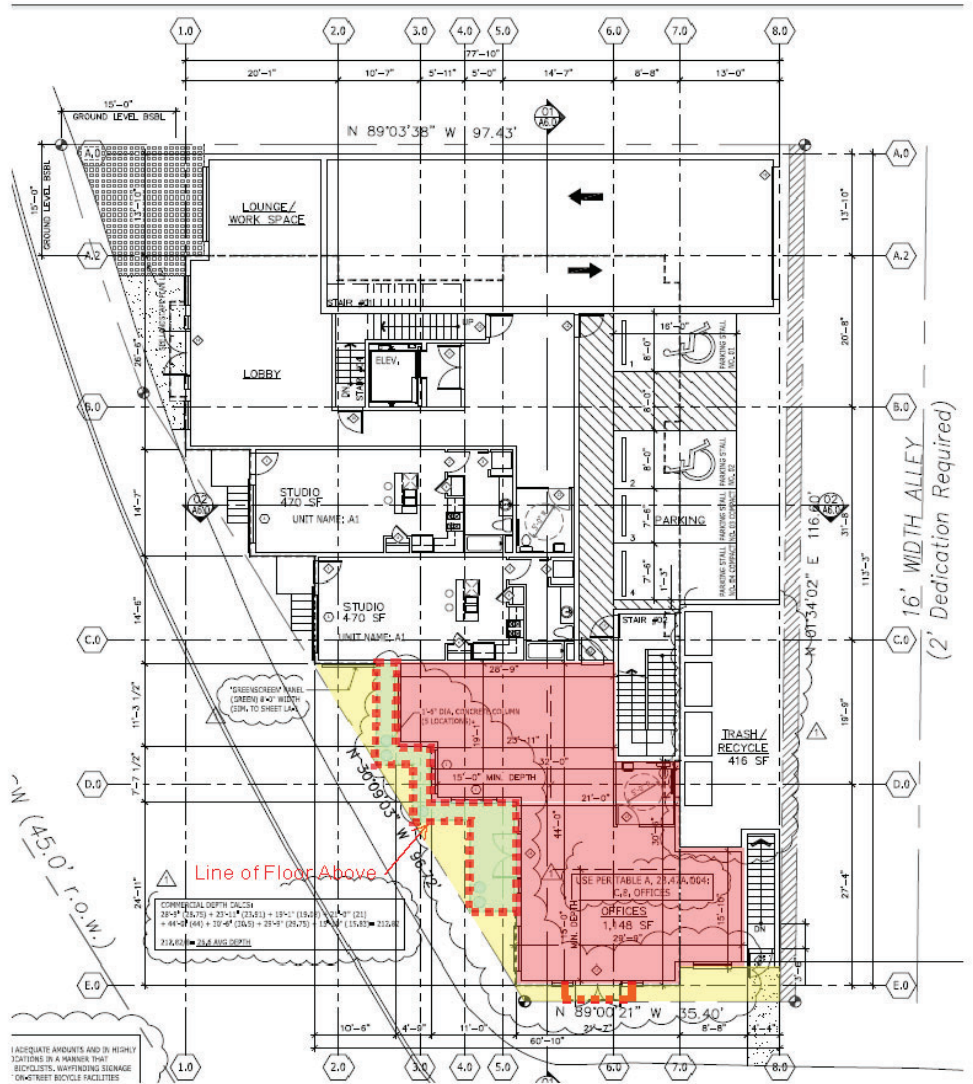


Diagram 01; Commercial Floor Plan

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# APPENDIX - ZONING SUMMARY

## SITE INFORMATION - C1-40

PARCEL NO.	789980-0530
ZONING:	C1-40
URBAN CENTER:	Westwood Highland Park
LOT AREA:	8,204 SF

## DETAILED ZONING

### SMC23.47A.004 - PERMITTED USE

All permitted uses are allowed as a principal use or as an accessory use. Exceptions are cemeteries, animal shelters & kennels, theaters, high-impact uses, heavy manufacturing, youth services, jails, airports, heliports, railroad switchyards, power plants, sewage treatment and solid waste treatment facilities. In all NC zones and C zones live-work units are permitted outright subject to the provisions of Title 23.

### SMC23.47A.005 - STREET LEVEL USES

Delridge Way SW is assigned as principal pedestrian street if site is located withing a pedestrian-designated zone.

In pedestrian-designated zones, live-work units shall not occupy more than 20 percent of the street-level street-facing facade along designated principal pedestrian streets listed in subsection 23.47A.005.D. Except where expressly treated as a residential use, live-work units shall be deemed a nonresidential use.

### SMC23.47A.008 - STREET-LEVEL DEVELOPMENT STANDARDS

Street-level street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.

Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent. For purposes of calculating the 60 percent of a structure's street-facing facade, the width of a driveway at street level, not to exceed 22 feet, may be subtracted from the width of the street-facing facade if the access cannot be provided from an alley or from a street that is not a designated principal pedestrian street.

### SMC23.47A.012 - STRUCTURE HEIGHT

Allowed maximum structure height: 40'.

Proposed Height: 42'

The height of a structure may exceed the otherwise applicable limit by up to 4 feet, subject to subsection 23.47A.012.A.1.c, provided the following: A floor-to-floor height of 13 feet or more is provided for non-residential uses at street level;

### SMC23.47A.013 - FLOOR AREA RATIOS

Total FAR permitted for all uses on a lot that is occupied by a mix of uses, (provided that the FAR limit for either all residential uses or the FAR limit for all non-residential uses shall not exceed the FAR limit of 3) is 3.25

### SMC23.47A.014 - SETBACKS

A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone. The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front lot line and the side lot line abutting the residentially zoned lot. The third side connects these two sides with a diagonal line across the commercially-zoned lot.

### SMC23.54.015 - BICYCLE PARKING

Required: retail space/short term use - 1 per 2,000sf

Required: 0.75 per small efficiency unit or 1 per 4 dwelling units.

Provided: at street level parking garage and on lower level

### SMC23.54.015 - PARKING

Residential use: 1 space per 2 small-efficiency dwelling units.

No. of stalls required: 14

Retail/Sales use: 1 space per 250sf of retail (1,025 sf proposed)

Provided parking: 14 stalls

Access to parking level is from street alleyway, ADA parking located at street level parking garage.

No parking is required for all residential uses in commercial and multifamily zones within urban villages that are not within urban center or the Station Area Overlay District, if the residential use is located within 1,320 feet of a street with frequent transit service, measured as the walking distance from the nearest transit stop to the lot line of the lot containing the residential use.

The property is located on Bus Route 60/120/125 within 160ft of bus stop located at Delridge Way SW & SW Henderson St. Bus lines provide direct connection to nearest Urban Village Shopping Center as well as Downtown Areas.

Route 60/Broadway Seattle runs 4:47am - 1:30am, departing every 10-20min.

Route 128/South-center runs 5:07am - 11:52pm, departing every 30 min.

### SMC23.54.40 - SOLID WASTE & RECYCLING

Minimum 375sf of shared storage space required for 26-50 dwelling units.

Additional 41sf for commercial use. Shared trash is acceptable, but separate residential and commercial recycling are required.

Provided: 527sf

### SMC23.47A.24 - AMENITY AREA

Amenity areas are required in an amount equal to 5% of the total gross floor area in residential use. Amenity areas shall not be enclosed.

16,778 sf GFA x.05	=839sf
Provided unenclosed at Level 2	=2,390sf

Amenities area divided into private decks and common outside areas and rooftop garden. Private deck access for units on Level 2 floor facing East and are separated by planter dividers. Common area deck spaces accessible for all tenants and available for private reservations, accessed from Level 2 corridor facing North deck entrance and East deck entrance.

Rooftop access also provides additional amenities space that includes lounge areas, community garden and BBQ area. Rooftop rain garden provides water conservation to satisfy storm drainage and rainwater diversion BMP providing a sustainable building environment.

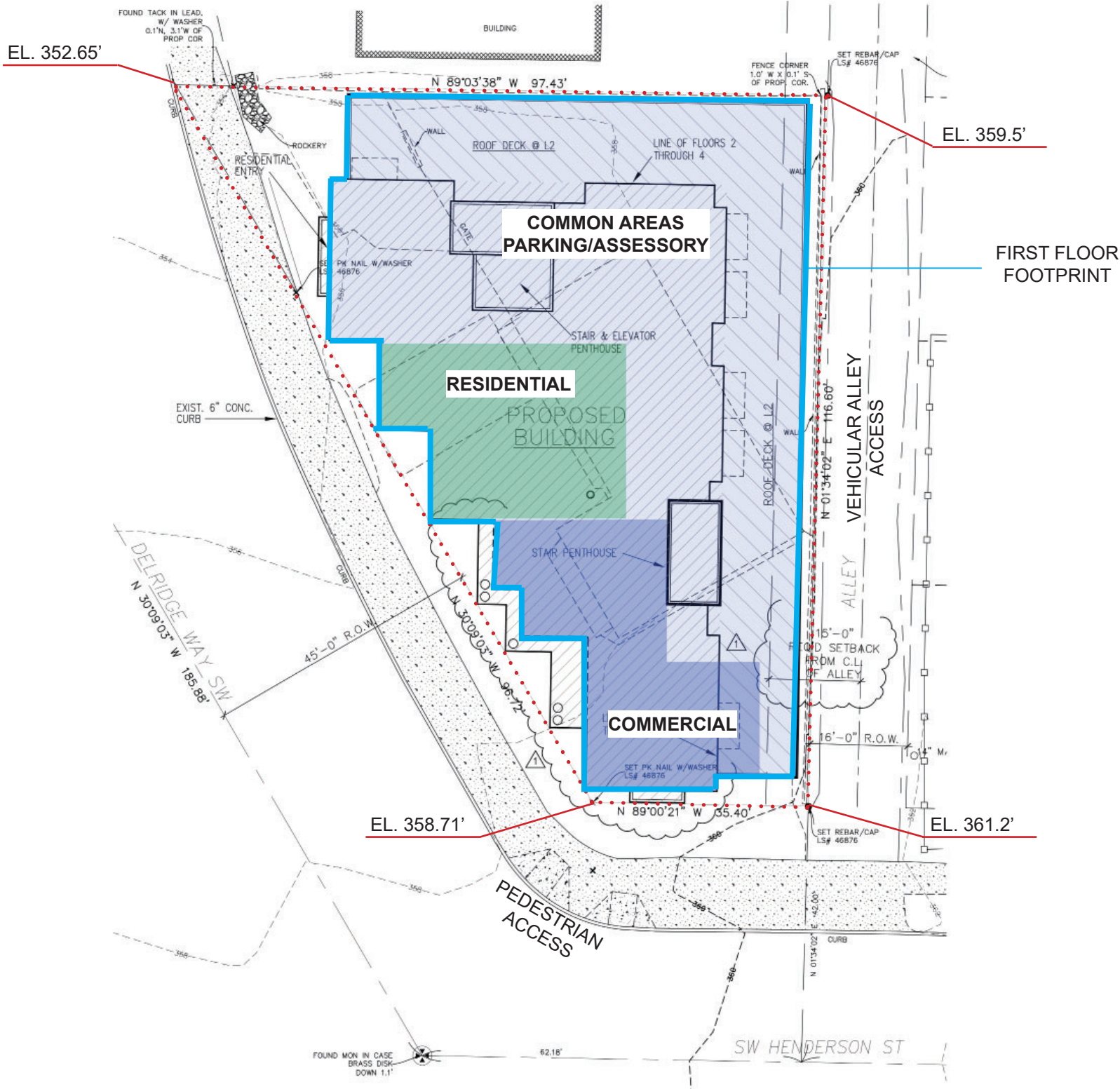




LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED AFN 20160520001315) LOTS 13, 14 AND 15, BLOCK 4 OF SOUTHWEST SEATTLE ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 20 OF PLATS, PAGE 93, IN KING COUNTY, WASHINGTON.

EXCEPT THAT PORTION CONVEYED TO THE CITY OF SEATTLE FOR STREET PURPOSES BY DEEDS RECORDED SEPTEMBER 26, 1968 UNDER RECORDING NOS. 6412213 AND 6412222, RECORDS OF KING COUNTY, WASHINGTON.



PER SURVEY THERE ARE NO TREES OR OTHER VEGETATION ON THE PROPERTY



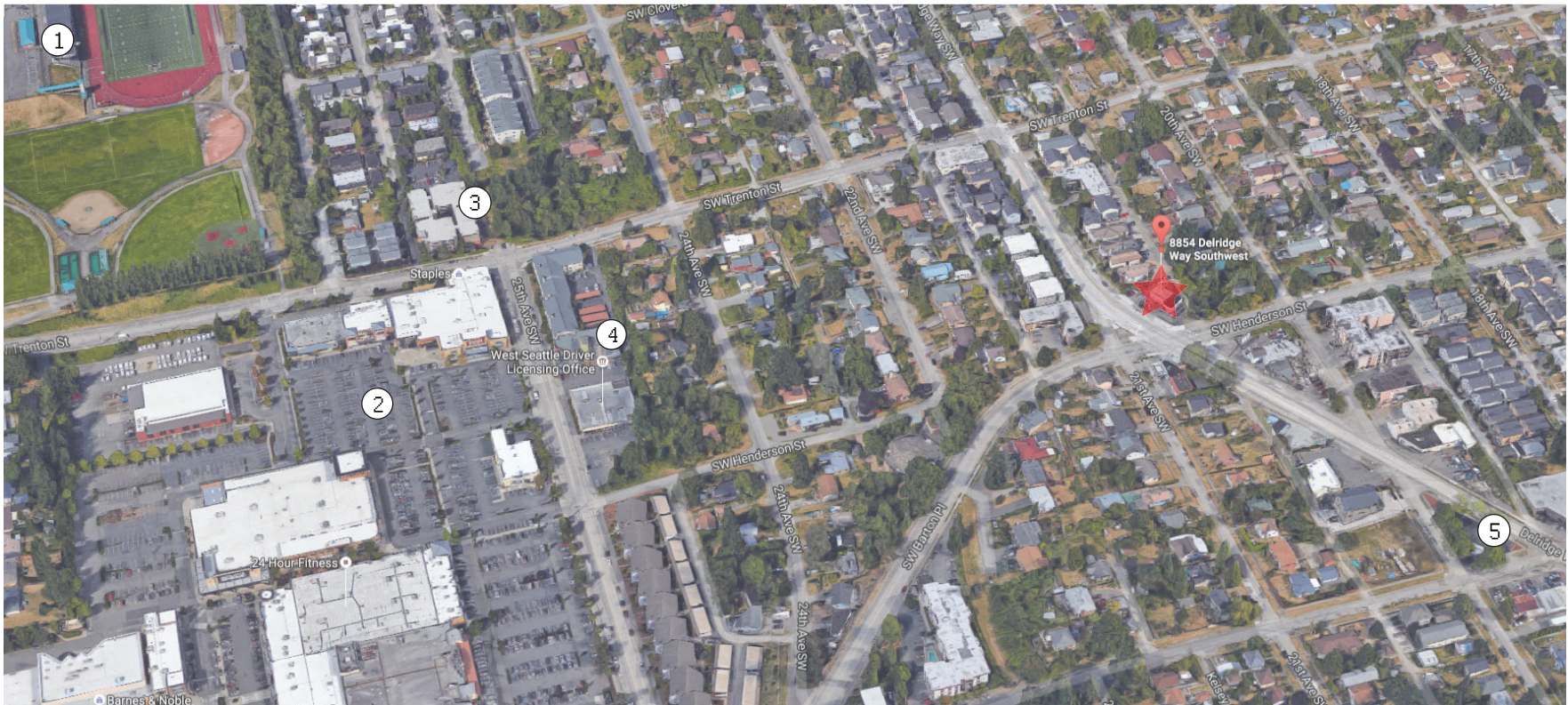


VICINITY MAP



STREET VIEW FROM SOUTH

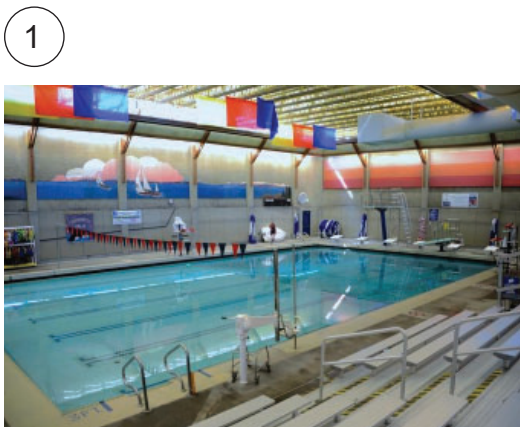




ADJACENT USES

**ADJACENT USES**  
Residential neighborhood from the south and east sides of the property.  
Gas station located across the intersection from proposed site.  
Local convenience store located several blocks away.  
Large shopping mall is located walking distance away from the proposed site, allowing for convenient travel distance to large consumer retailers, a gyms, financial centers, grocery store, post office, as well as popular fast food establishments.

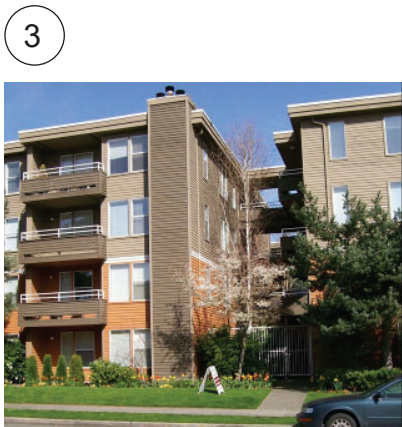
**OPPORTUNITIES**  
Street-side retail area on the main level is attractively exposed to pedestrian as well as motorized traffic. Proposed coffee shop tenant, such as a Starbucks or other choice retailer, will encourage neighborhood resident in community involvement by providing a spaces to gather and socialize.



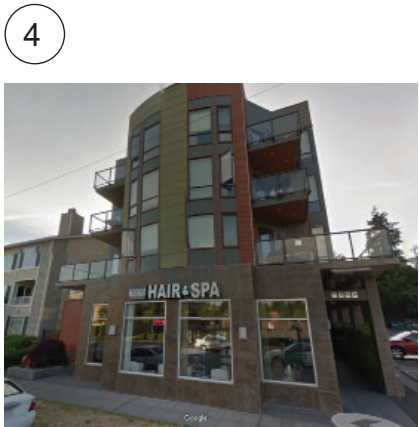
SOUTHWEST POOL



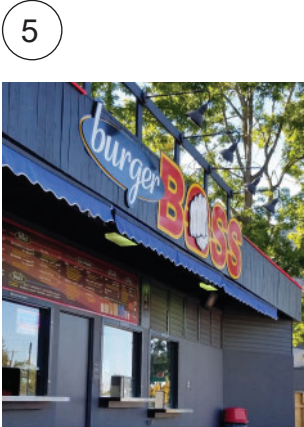
WESTFIELD SHOPPING PLAZA



WESTFIELD COURT APTS



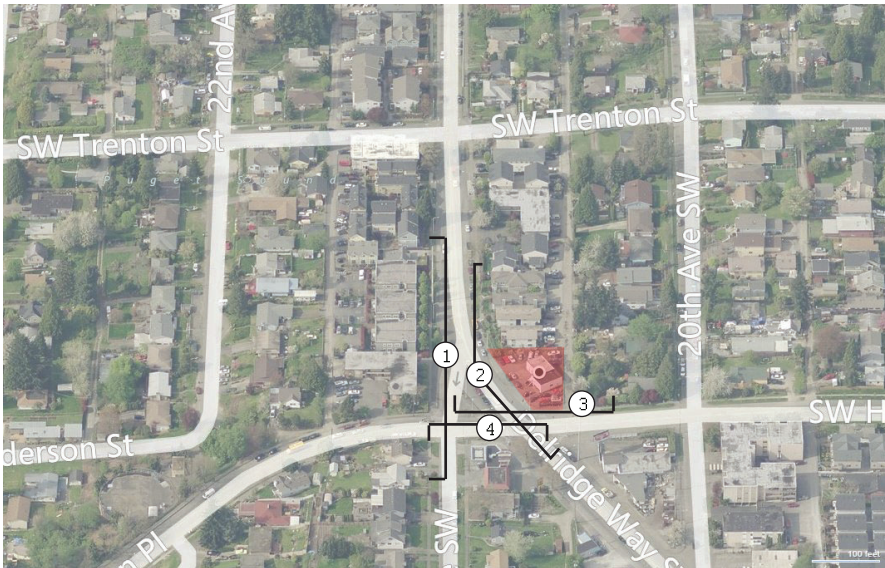
NEW MIXED USE



BURGER BOSS



STREET VIEWS



1 DELRIDGE WAY/ 21ST AVE - LOOKING WEST

Project Site



2 DELRIDGE WAY- LOOKING EAST





3 HENDERSON STREET - LOOKING NORTH



4 HENDERSON STREET - LOOKING SOUTH



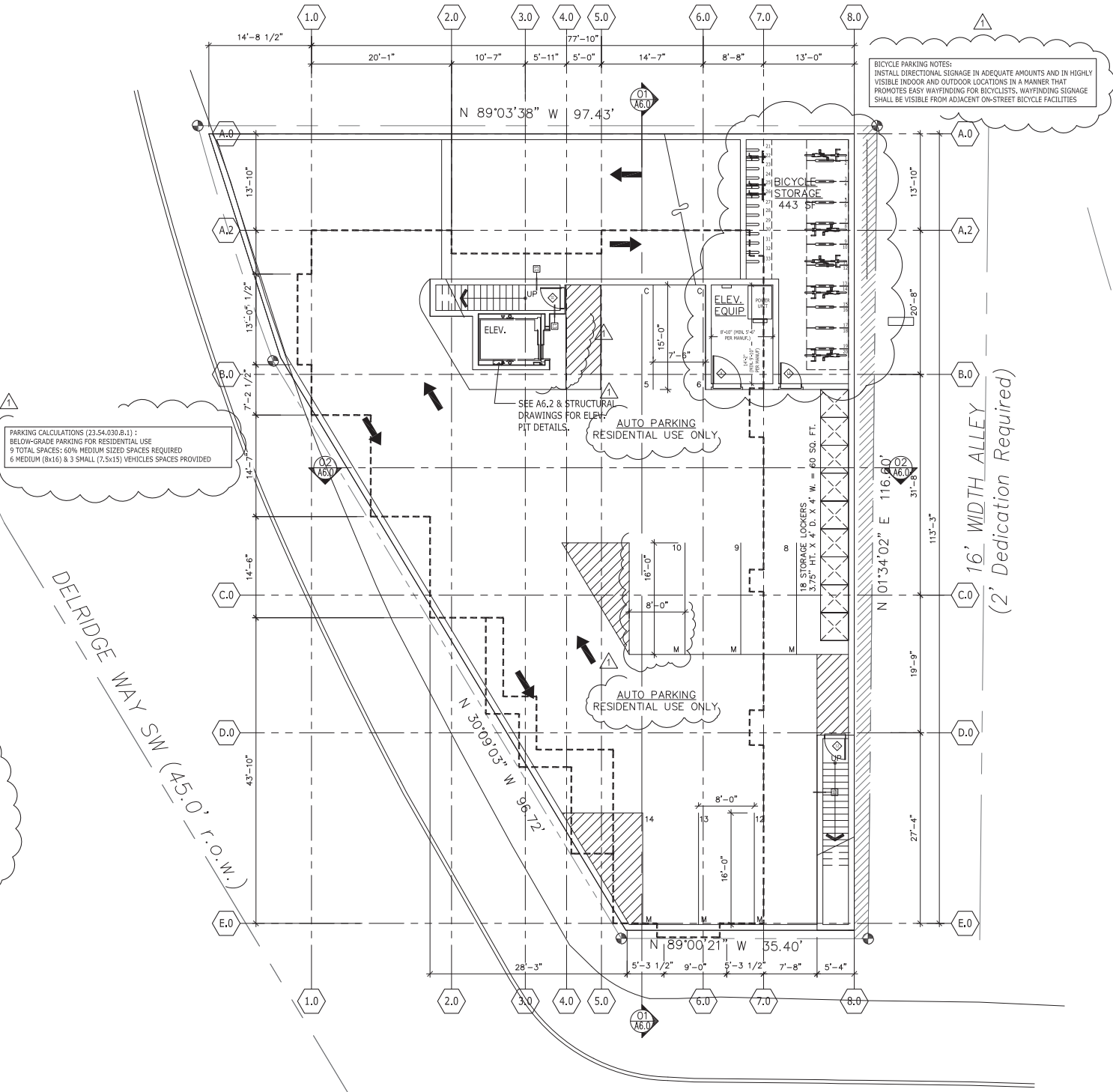
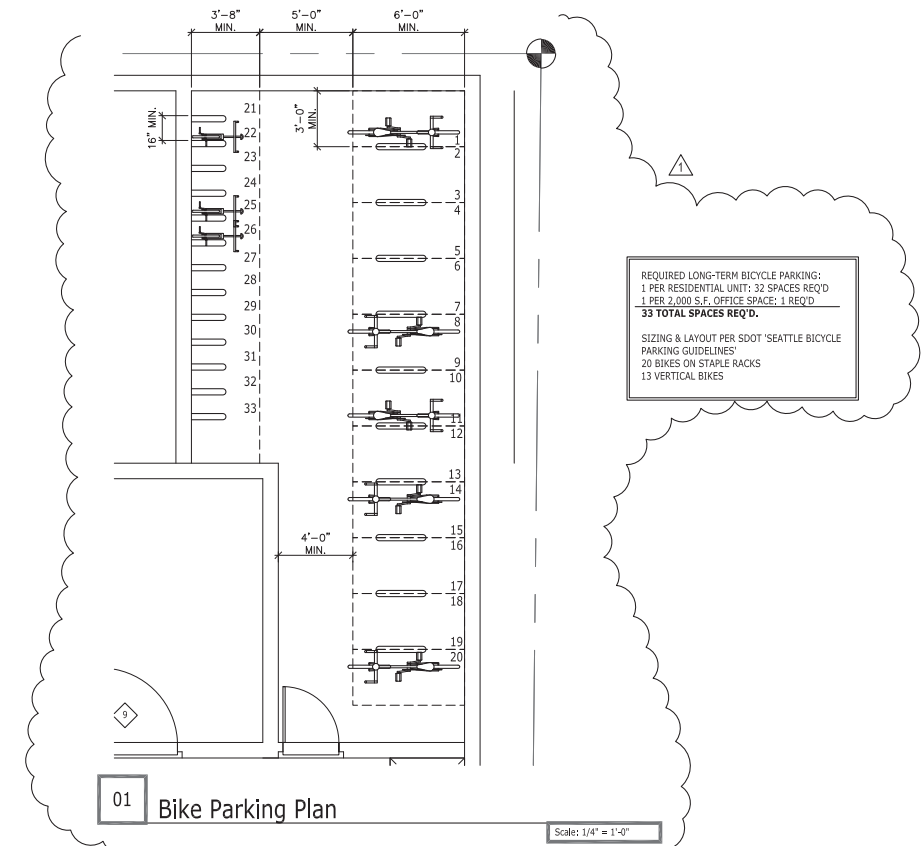
I.B.C. 2012 SEC. 711.5 FIRE-RESISTANCE RATING.  
FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING OR SLEEPING UNITS IN OCCUPANCIES IN R-1, HOTEL OCCUPANCIES, R-2 AND I-1 SHALL BE OF MINIMUM ONE-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION.  
  
I.B.C. 2012 SEC. 711.4 CONTINUITY.  
THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED.

I.B.C. 2012 SEC. 1207.2 AIR-BORNE SOUND.  
WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 (45 IF FIELD TESTED)... THIS REQUIREMENT SHALL NOT APPLY TO DWELLING UNIT ENTRANCE DOORS...  
  
I.B.C. 2012 SEC. 1207.3 STRUCTURE-BORNE SOUND.  
FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS OR BETWEEN A DWELLING UNIT AND A PUBLIC OR SERVICE AREA WITHIN THE STRUCTURE SHALL HAVE AN IMPACT INSULATION CLASS (IIC) RATING OF NOT LESS THAN 50 (45 IF FIELD TESTED)...

NOTE:  
SEE SHT. A6.3 FOR DOOR & WINDOW SCHEDULES

NOTE:  
SEE SHT. A8.0 FOR FIRE RATED CONSTRUCTION ASSEMBLIES.

TABLE 601	
BUILDING ELEMENT	TYPE-V, A
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, AND TRUSSES	ONE-HOUR
BEARING WALLS EXTERIOR	ONE-HOUR
INTERIOR	ONE-HOUR
NONBEARING WALLS AND PARTITIONS EXTERIOR	SEE TABLE 602
INTERIOR	NON-RATED
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	ONE-HOUR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	ONE-HOUR



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Delridge Mixed-Use Development  
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Seattle, WA. 98126

DPD No. 3025313

REVISIONS

PLAN CHK.	1

DATE: JAN. 24, 2018  
PHASE: PERMIT SUBMITTAL

DESCRIPTION:  
FLOOR PLANS

A2.0



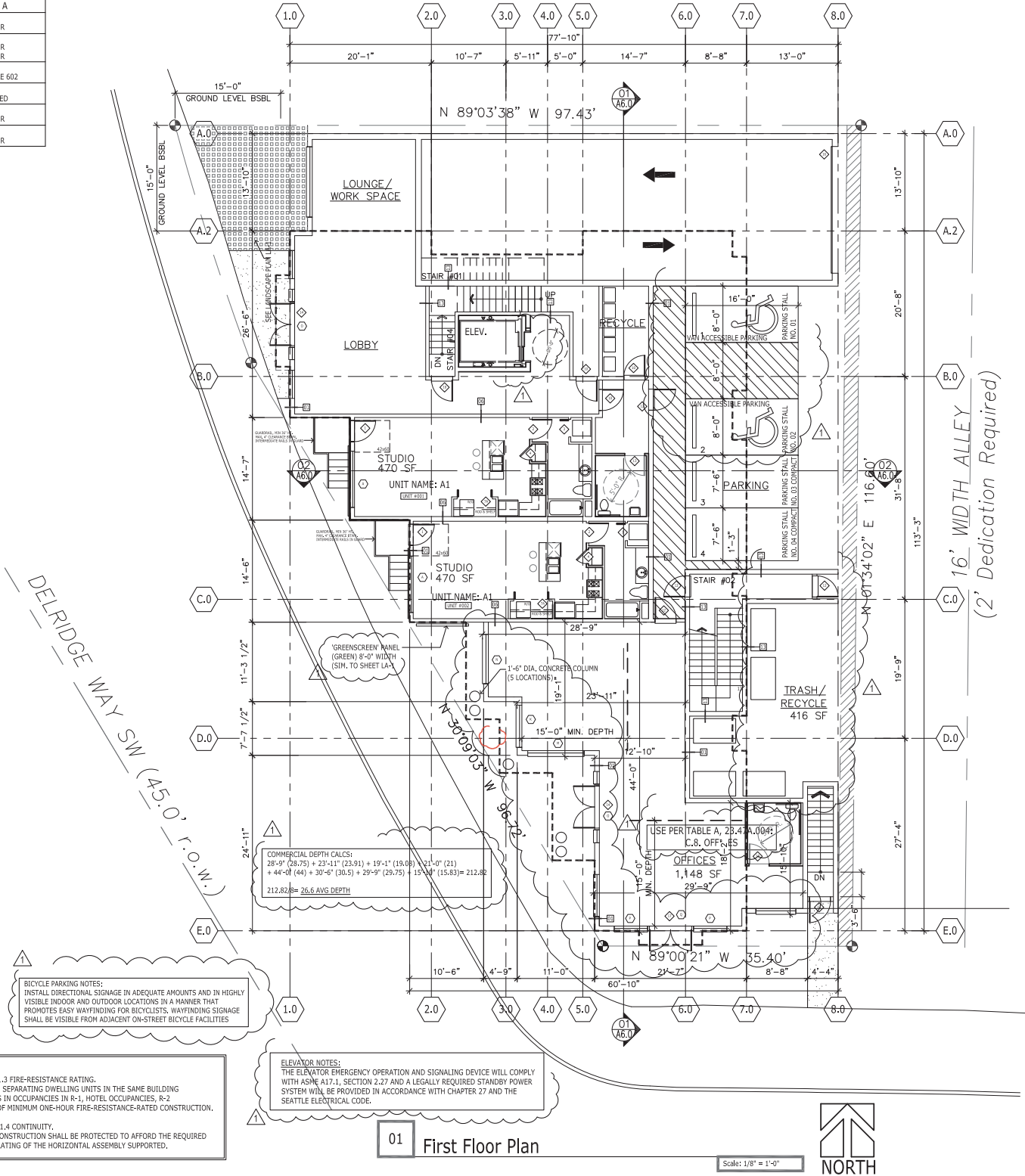


02 Bike Rack Detail

Not to Scale

UNIT SUMMARY FIRST FLOOR				
NAME	QUANTITY	SIZE	SUBTOTAL	DESCRIPTION
A-1	2	470 SQ. FT.	940 SQ. FT.	STUDIO
TOTAL	2		940 SQ. FT.	

TABLE 601	
BUILDING ELEMENT	TYPE-V, A
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, AND TRUSSES	ONE-HOUR
BEARING WALLS EXTERIOR	ONE-HOUR
BEARING WALLS AND PARTITIONS INTERIOR	ONE-HOUR
NONBEARING WALLS AND PARTITIONS EXTERIOR	SEE TABLE 602
NONBEARING WALLS AND PARTITIONS INTERIOR	NON-RATED
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	ONE-HOUR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	ONE-HOUR



NOTE:  
SEE SHT. A6.3 FOR DOOR & WINDOW SCHEDULES

NOTE:  
SEE SHT. A8.0 FOR FIRE RATED CONSTRUCTION ASSEMBLIES.

1.8.C. 2012 SEC. 1207.2 AIR-BORNE SOUND.  
WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL HAVE A SOUND TRANSMISSION CLASS (STC) OF NOT LESS THAN 50 (45 IF FIELD TESTED)... THIS REQUIREMENT SHALL NOT APPLY TO DWELLING UNIT ENTRANCE DOORS...

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1.8.C. 2012 SEC. 711.4 CONTINUITY.  
THE SUPPORTING CONSTRUCTION SHALL BE PROTECTED TO AFFORD THE REQUIRED FIRE-RESISTANCE RATING OF THE HORIZONTAL ASSEMBLY SUPPORTED.

ELEVATOR NOTES:  
THE ELEVATOR EMERGENCY OPERATION AND SIGNALING DEVICE WILL COMPLY WITH ASME A17.1, SECTION 2.2.7 AND A LEGALLY REQUIRED STANDBY POWER SYSTEM WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND THE SEATTLE ELECTRICAL CODE.

BICYCLE PARKING NOTES:  
INSTALL DIRECTIONAL SIGNAGE IN ADEQUATE AMOUNTS AND IN HIGHLY VISIBLE INDOOR AND OUTDOOR LOCATIONS IN A MANNER THAT PROMOTES EASY WAYFINDING FOR BICYCLISTS. WAYFINDING SIGNAGE SHALL BE VISIBLE FROM ADJACENT ON-STREET BICYCLE FACILITIES

COMMERCIAL DEPTH CALC:  
28'-9" (28.75) + 23'-11" (23.91) + 19'-1" (19.08) + 21'-0" (21) + 44'-0" (44) + 30'-6" (30.5) + 29'-9" (29.75) + 15'-0" (15.83) = 212.82  
212.82 ÷ 8 = 26.6 AVG DEPTH

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DPD No. 3025313

REVISIONS  
PLAN CHK.

DATE: JAN. 24, 2018  
PHASE: PERMIT SUBMITTAL

DESCRIPTION:  
FLOOR PLANS

A2.1



I.B.C. 2012 SEC. 711.3 FIRE-RESISTANCE RATING.  
FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING OR SLEEPING UNITS IN OCCUPANCIES IN R-1, HOTEL OCCUPANCIES, R-2 AND I-1 SHALL BE OF MINIMUM ONE-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION.

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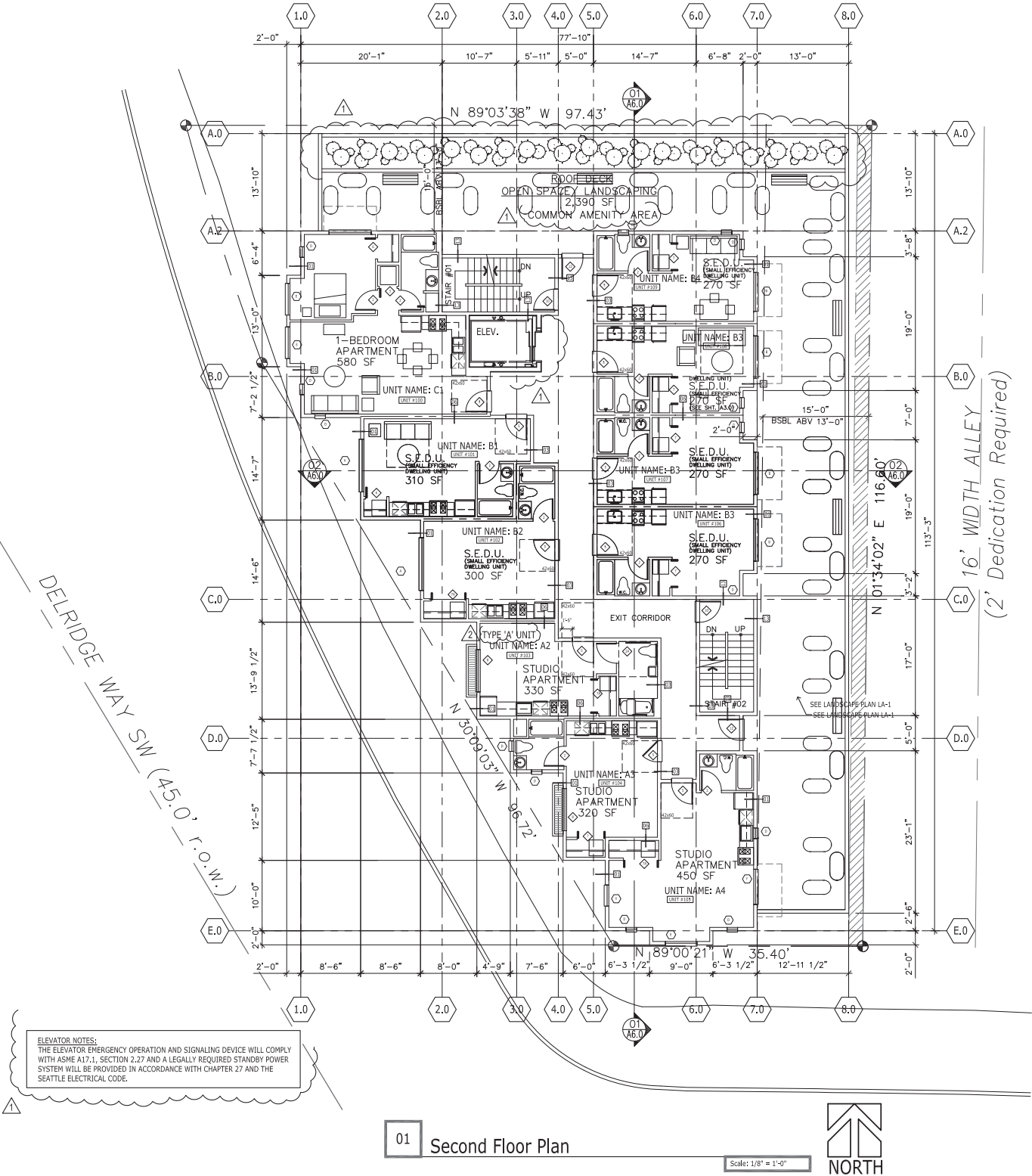
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NOTE:  
SEE SHT. A8.0 FOR FIRE RATED CONSTRUCTION ASSEMBLIES.

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BEARING WALLS EXTERIOR	ONE-HOUR
INTERIOR	ONE-HOUR
NONBEARING WALLS AND PARTITIONS EXTERIOR	SEE TABLE 602
NONBEARING WALLS AND PARTITIONS INTERIOR	NON-RATED
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	ONE-HOUR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	ONE-HOUR

UNIT SUMMARY 2ND FLOOR				
NAME	QUANTITY	SIZE	SUBTOTAL	DESCRIPTION
A-2	1	365 SQ. FT.	365 SQ. FT.	STUDIO
A-3	1	335 SQ. FT.	335 SQ. FT.	STUDIO
A-4	1	385 SQ. FT.	385 SQ. FT.	STUDIO
B-1	1	310 SQ. FT.	310 SQ. FT.	S.E.D.U.
B-2	1	300 SQ. FT.	300 SQ. FT.	S.E.D.U.
B-3	3	270 SQ. FT.	810 SQ. FT.	S.E.D.U.
B-4	1	270 SQ. FT.	270 SQ. FT.	S.E.D.U.
C-1	1	580 SQ. FT.	580 SQ. FT.	1 BEDRM/1 BATH
TOTAL	10		3355 SQ. FT.	

NOTE:  
SEE SHT. A6.3 FOR DOOR & WINDOW SCHEDULES



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Seattle, WA. 98126

DPD No. 3025313

REVISIONS  
PLAN CHK.

DATE: JAN. 24, 2018  
PHASE: PERMIT SUBMITTAL

DESCRIPTION:  
FLOOR PLANS

A2.2



SAZEI DESIGN GROUP | 37



I.B.C. 2012 SEC. 711.3 FIRE-RESISTANCE RATING.  
FLOOR ASSEMBLIES SEPARATING DWELLING UNITS IN THE SAME BUILDING OR SLEEPING UNITS IN OCCUPANCIES IN R-1, HOTEL OCCUPANCIES, R-2 AND I-1 SHALL BE OF MINIMUM ONE-HOUR FIRE-RESISTANCE-RATED CONSTRUCTION.  
  
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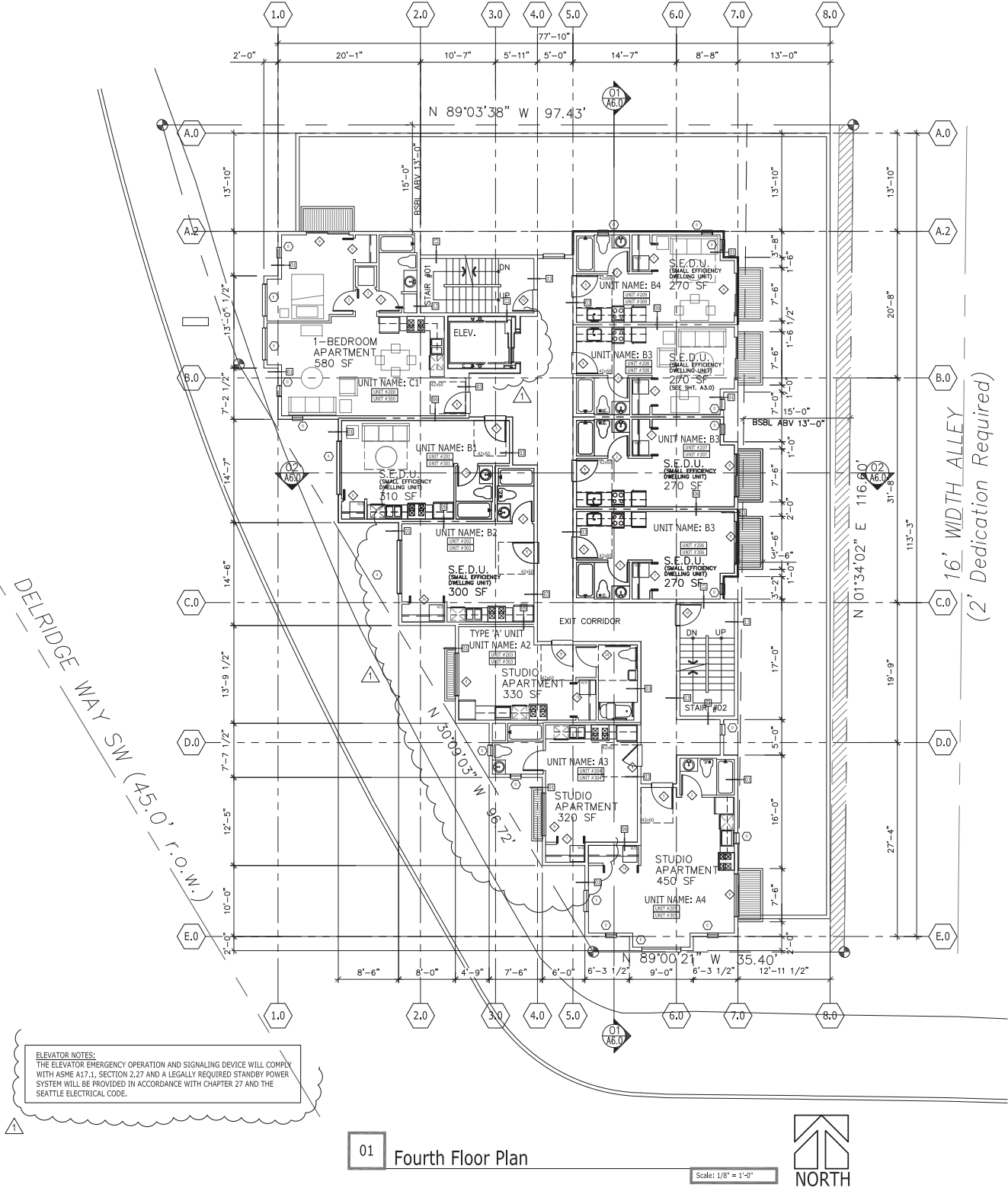
NOTE:  
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NONBEARING WALLS AND PARTITIONS EXTERIOR	SEE TABLE 602
INTERIOR	NON-RATED
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	ONE-HOUR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	ONE-HOUR

UNIT SUMMARY 4TH FLOOR				
NAME	QUANTITY	SIZE	SUBTOTAL	DESCRIPTION
A-2	1	365 SQ. FT.	365 SQ. FT.	STUDIO
A-3	1	335 SQ. FT.	335 SQ. FT.	STUDIO
A-4	1	385 SQ. FT.	385 SQ. FT.	STUDIO
B-1	1	310 SQ. FT.	310 SQ. FT.	S.E.D.U.
B-2	1	300 SQ. FT.	300 SQ. FT.	S.E.D.U.
B-3	3	270 SQ. FT.	810 SQ. FT.	S.E.D.U.
B-4	1	270 SQ. FT.	270 SQ. FT.	S.E.D.U.
C-1	1	580 SQ. FT.	580 SQ. FT.	1 BEDRM/1 BATH
TOTAL	10		3355 SQ. FT.	

NOTE:  
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ELEVATOR NOTES:  
THE ELEVATOR EMERGENCY OPERATION AND SIGNALING DEVICE WILL COMPLY WITH ASME A17.1, SECTION 2.27 AND A LEGALLY REQUIRED STANDBY POWER SYSTEM WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 27 AND THE SEATTLE ELECTRICAL CODE.



01 Fourth Floor Plan

Scale: 1/8" = 1'-0"



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JEREMY RENE  
State of Washington

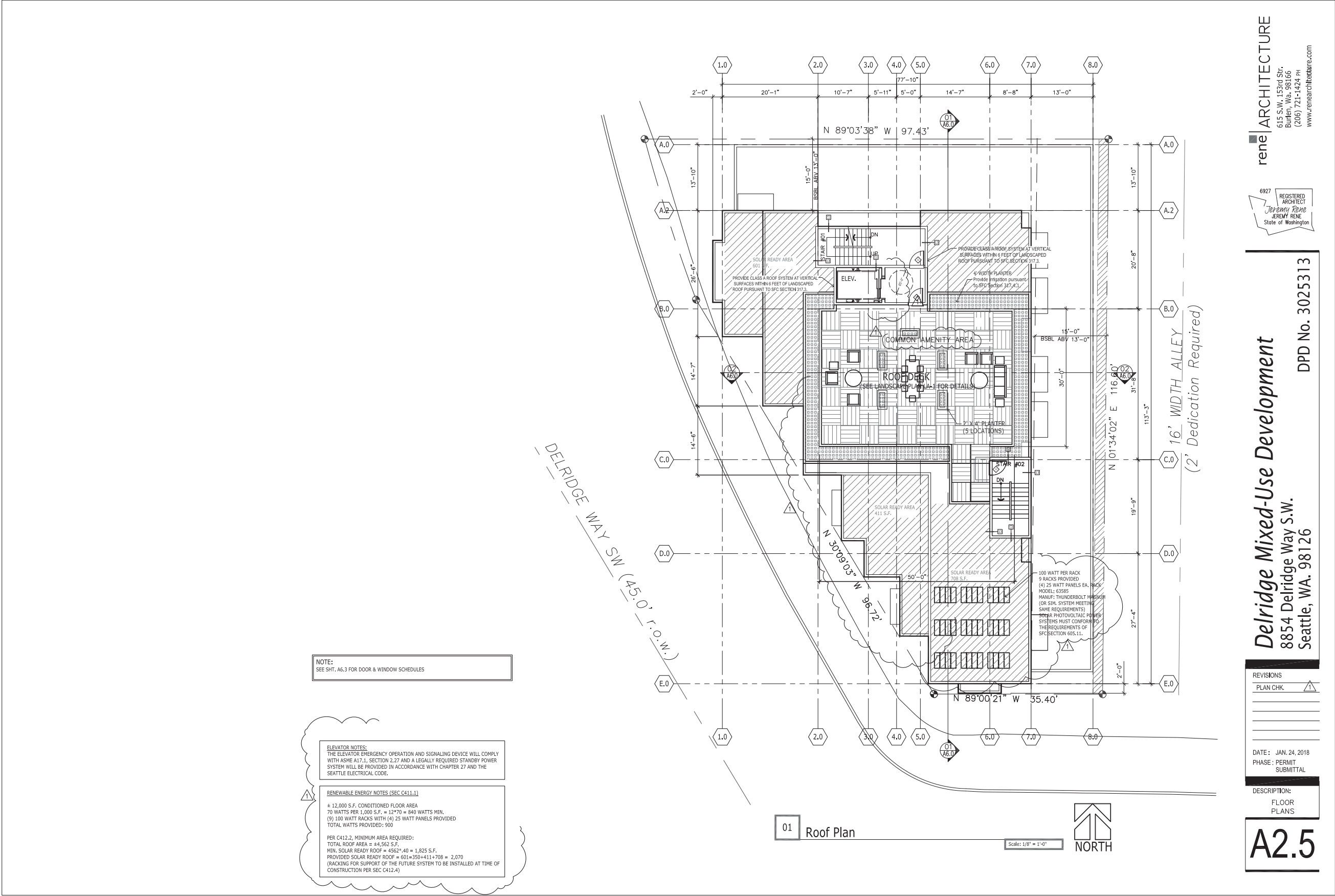
**Delridge Mixed-Use Development**  
8854 Delridge Way S.W.  
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DPD No. 3025313

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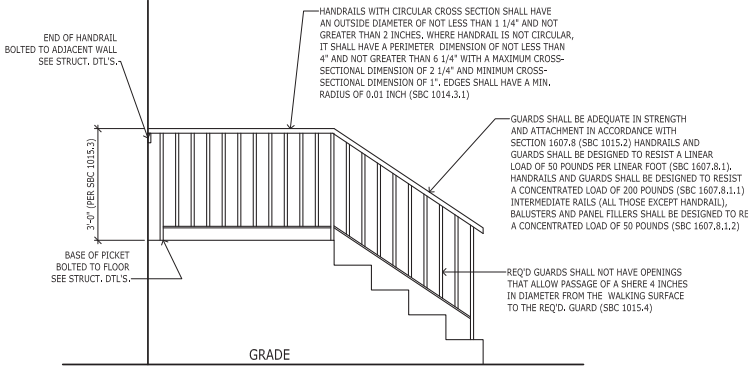
DESCRIPTION:  
FLOOR PLANS

A2.4





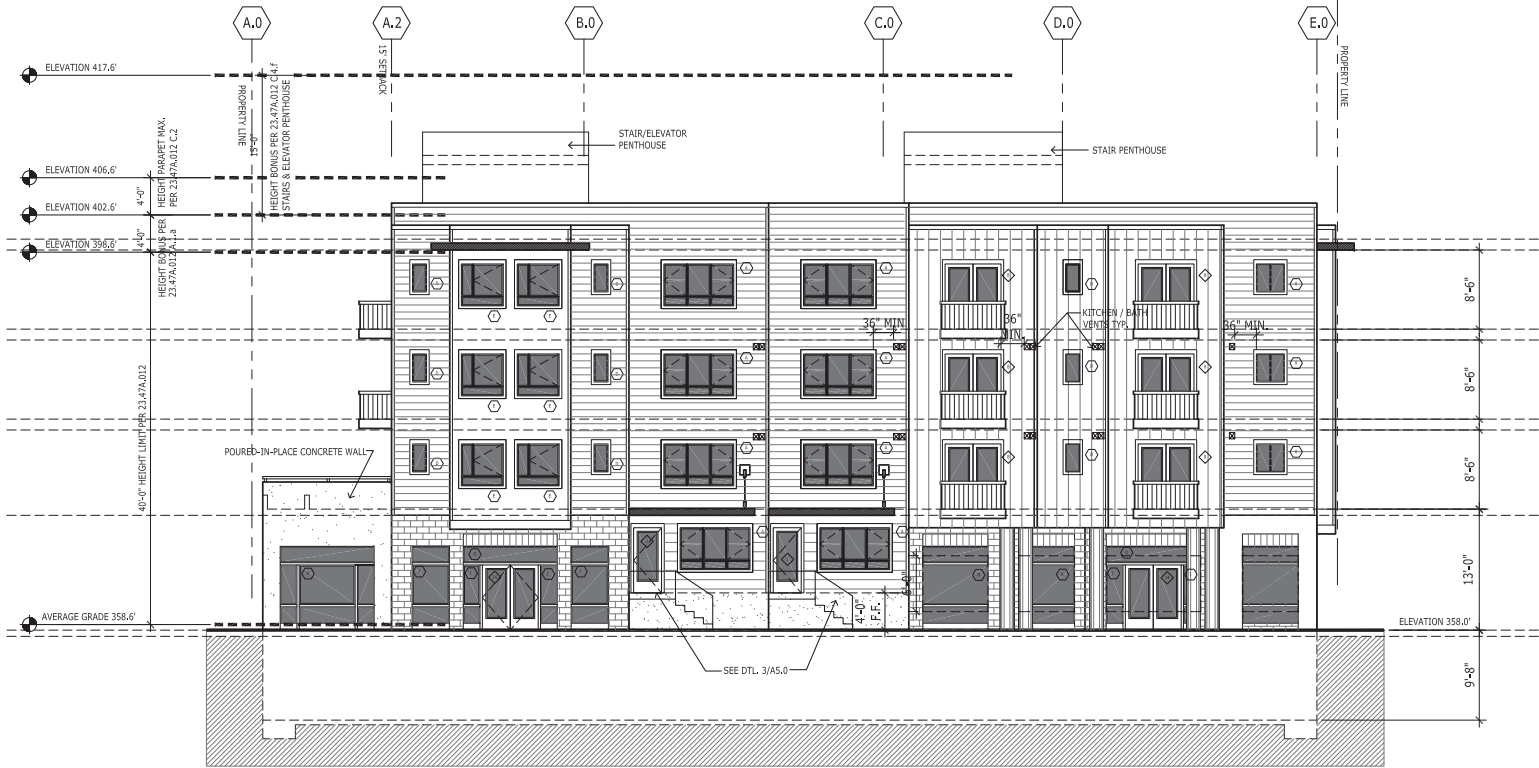
APPENDIX - ELEVATIONS



03 Guard Details

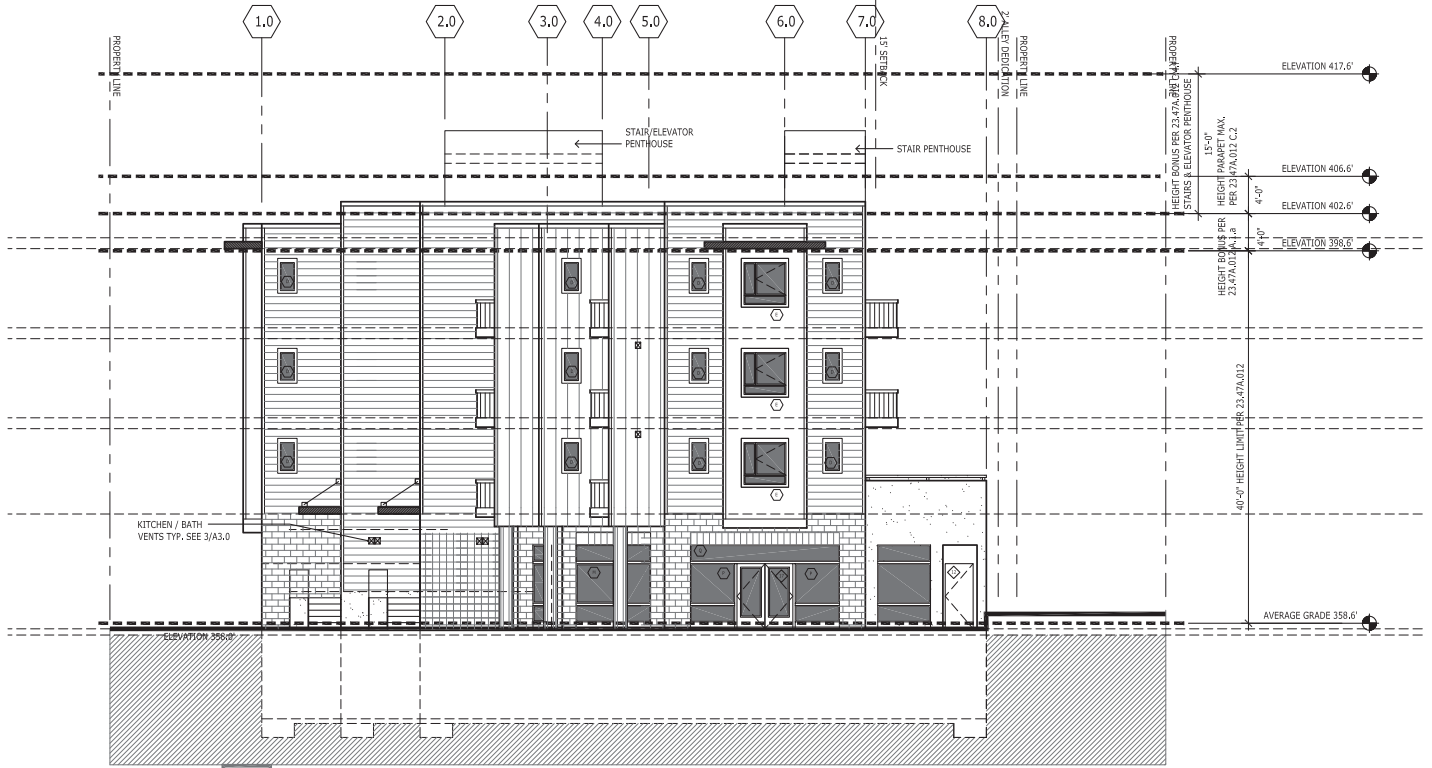
Scale: 1/2" = 1'-0"

NOTE:  
ALL ENVIRONMENTAL AIR EXHAUST OUTLETS SHALL BE  
MINIMUM 3FT FROM OPERABLE OPENINGS INTO THE  
BUILDING PER SMC 501.3.1.



01 West Elevation

Scale: 1/8" = 1'-0"



02 South Elevation

Scale: 1/8" = 1'-0"

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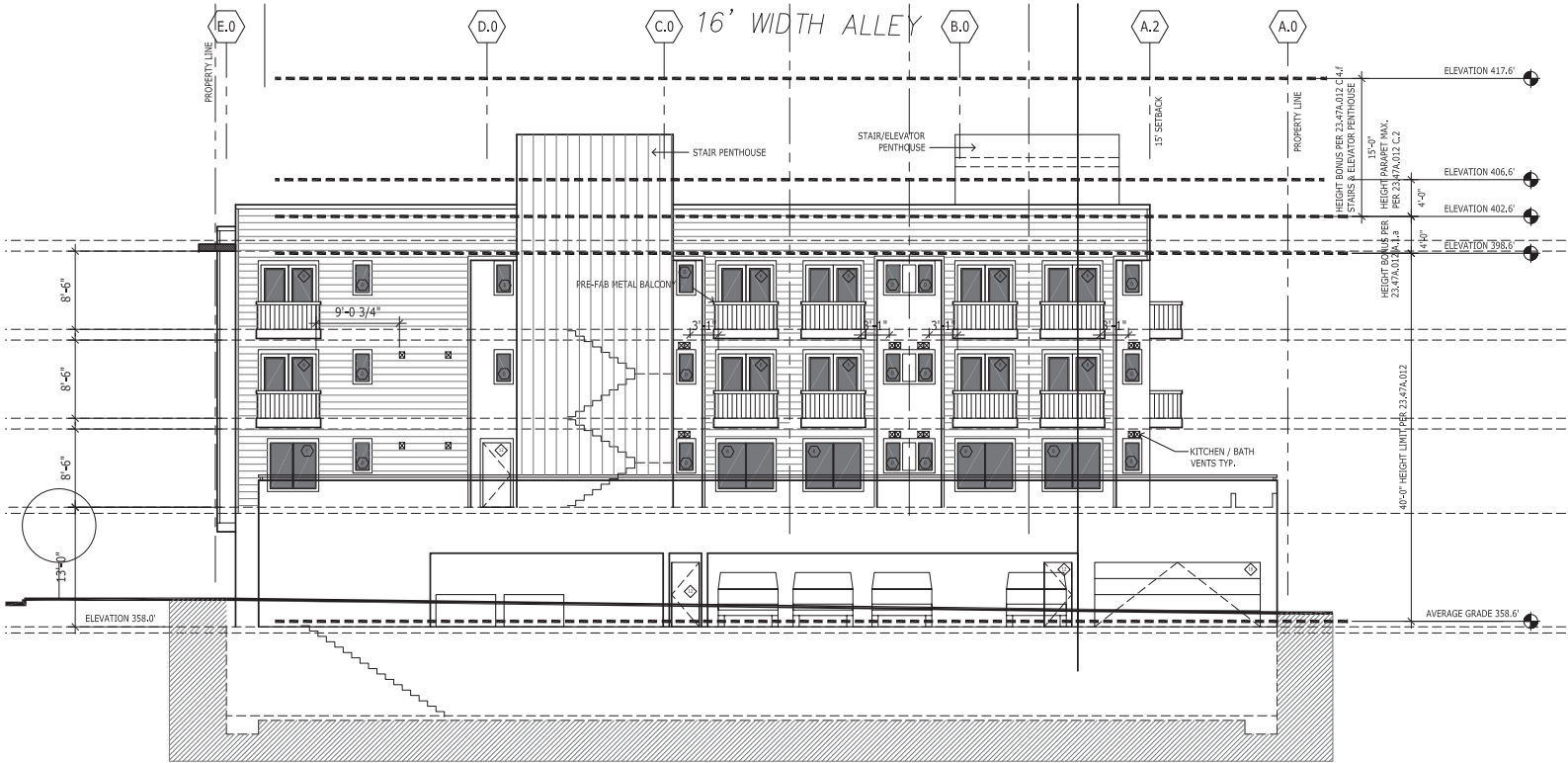
DATE: JAN. 24, 2018  
PHASE: PERMIT  
SUBMITTAL

DESCRIPTION:  
EXTERIOR  
ELEVATIONS

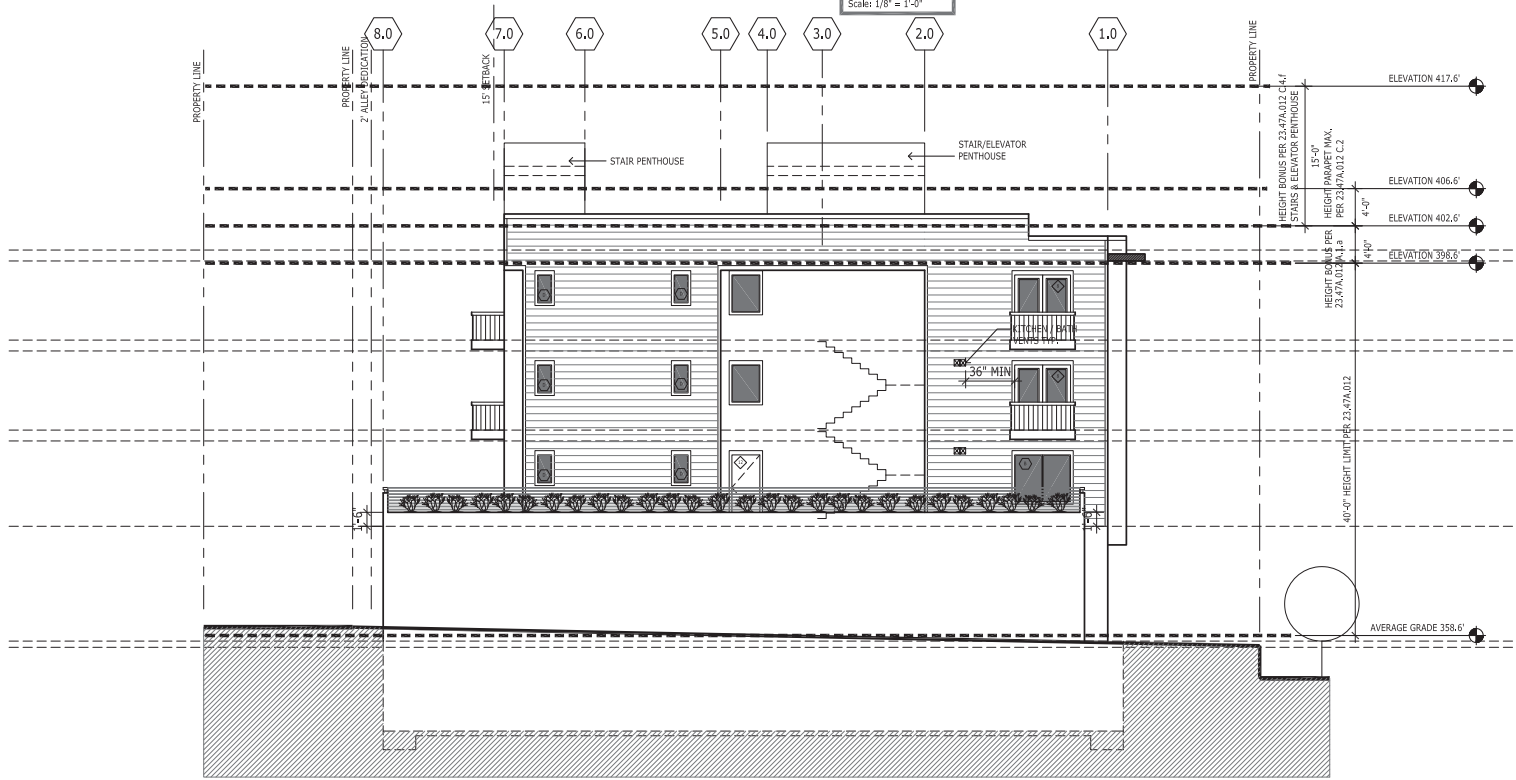
A5.0



NOTE:  
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MINIMUM 3FT FROM OPERABLE OPENINGS INTO THE  
BUILDING PER SMC 501.3.1.



01 East Elevation



02 North Elevation

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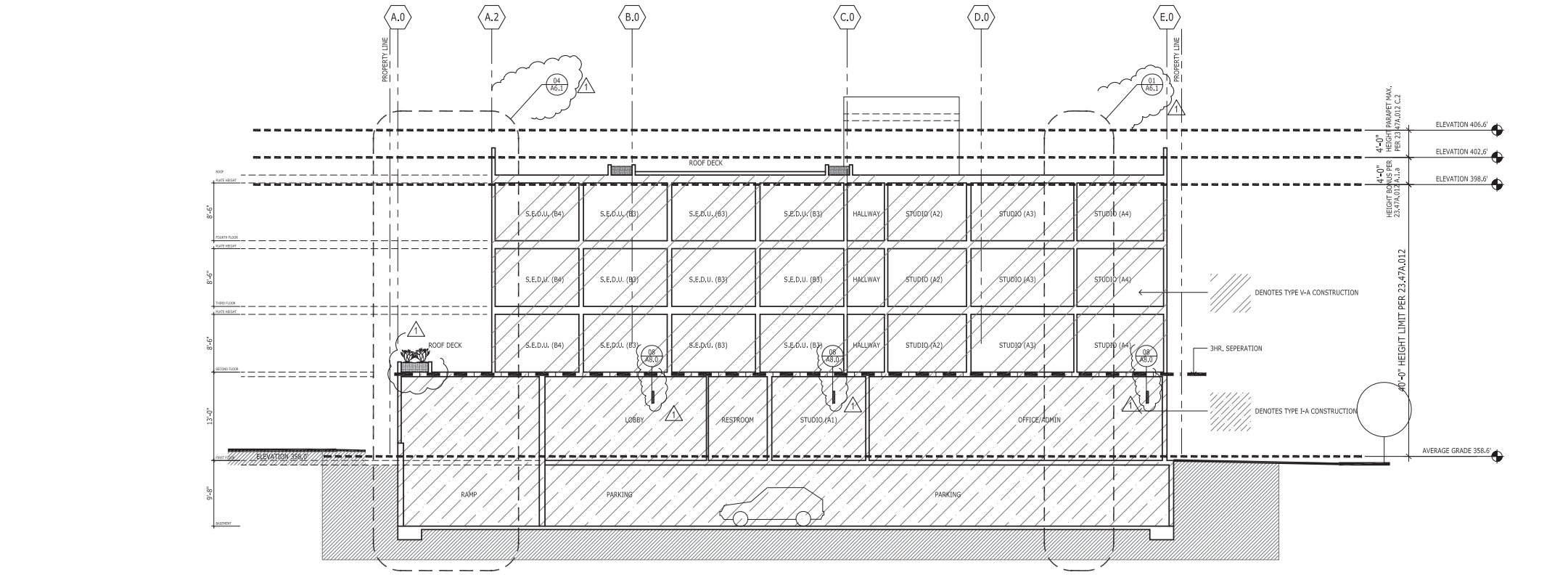
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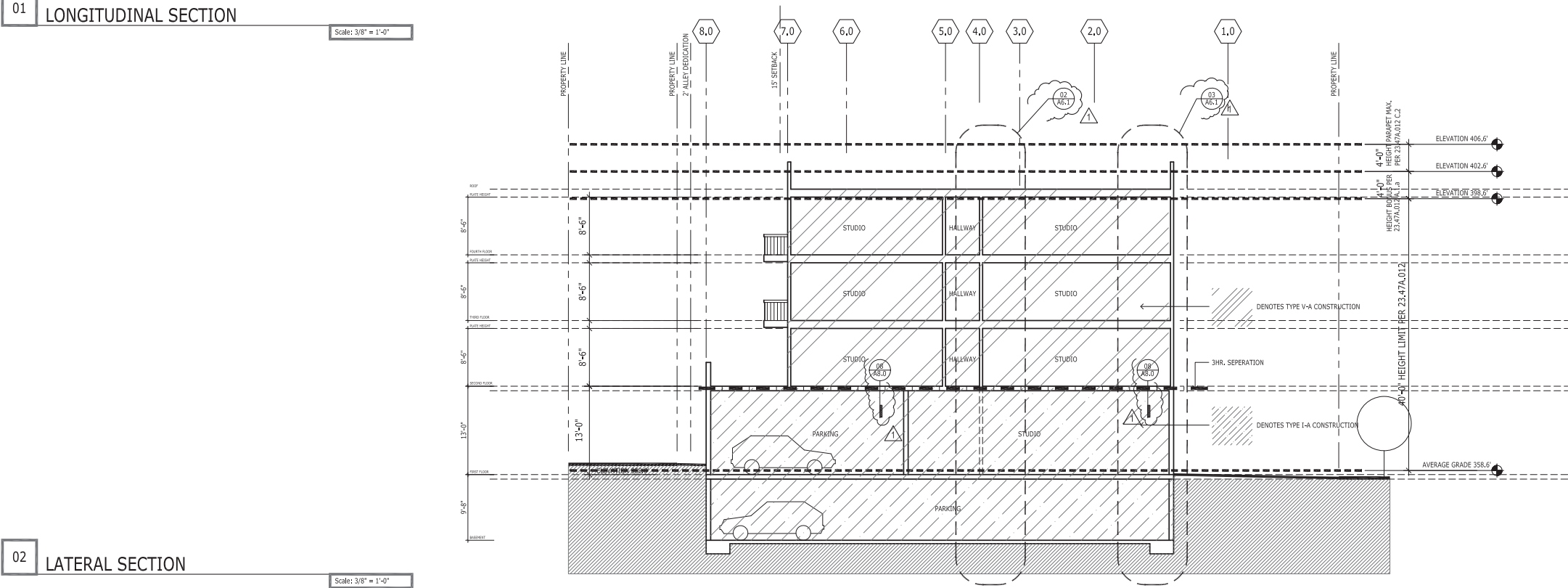
DESCRIPTION:  
EXTERIOR ELEVATIONS

A5.1

DPD No. 3025313



01 LONGITUDINAL SECTION  
Scale: 3/8" = 1'-0"



02 LATERAL SECTION  
Scale: 3/8" = 1'-0"

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State of Washington

*Delridge Mixed-Use Development*  
8854 Delridge Way S.W.  
Seattle, WA. 98126  
DPD No. 3025313

REVISIONS  
PLAN CHK.  
DATE: JAN. 24, 2018  
PHASE: PERMIT SUBMITTAL  
DESCRIPTION:  
BUILDING SECTION

A6.0