



Arbor Heights
 Recommendation Meeting
 4220 SW 100th St, Seattle, WA

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PROJECT INFORMATION

ADDRESS: 4220 SW 100TH ST, SEATTLE, WA 98146

LEGAL DESCRIPTION: HARRIS GARDEN TRS

PARCEL #: 3123800055

SITE AREA: 8091 SF

ZONING: NC1-30

OVERLAYS: NONE

MISC: NONE

ECA: NONE

EXISTING USE: EXISTING BUILDING TO BE DEMOLISHED

MAX FAR: 2.5 MAX FOR MIXED USE. 2.25 MAX FOR SINGLE USE

MAX DENSITY: NO LIMIT

HEIGHT: 30'

PARKING REQUIRED: 1 PER DWELLING UNIT. NONE REQUIRED FOR COMMERCIAL USES < 1,500 SF

PROPOSED PROGRAM: 8 TOWNHOUSE UNITS AND 1 LIVE-WORK UNIT. 8 PARKING STALLS PROVIDED. EXISTING STRUCTURES TO BE DEMOLISHED

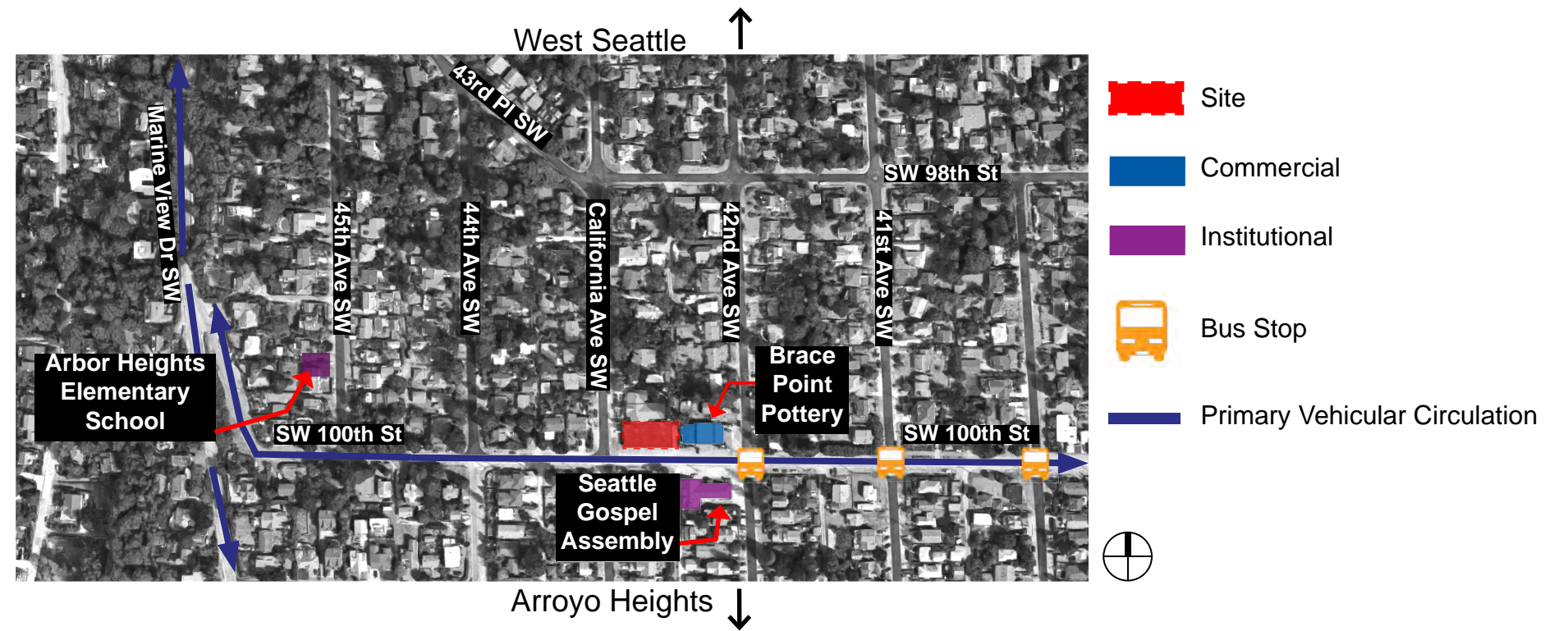
PROJECT TEAM:

DEVELOPER	CLAREMONT PARTNERS LLC
ARCHITECT	LEMONS ARCHITECTURE PLLC
STRUCTURAL	MALSAM TSANG STRUCTURAL ENGINEERING
CIVIL	DAVIDO CONSULTING GROUP
LANDSCAPE	ROOT OF DESIGN



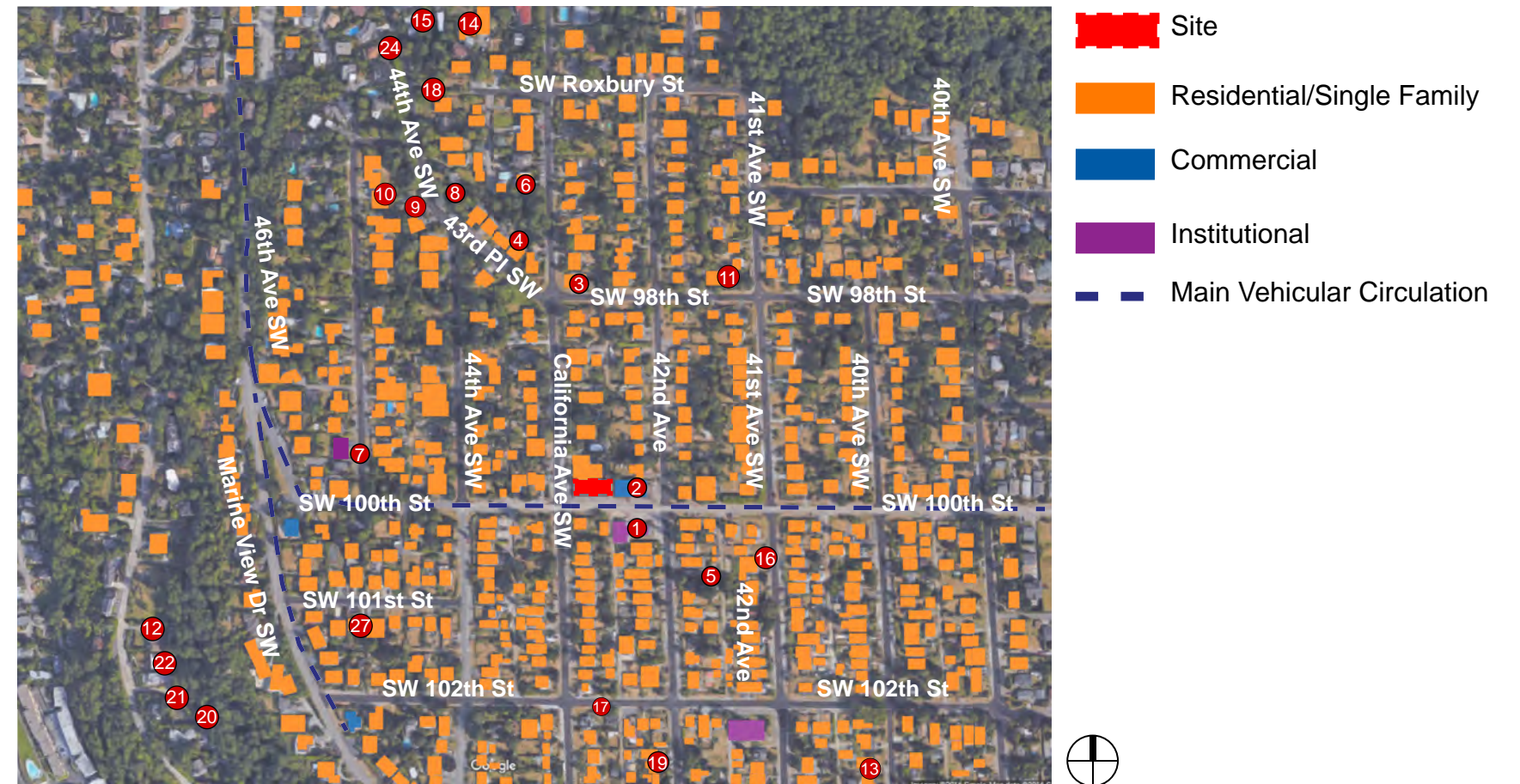
- Georgetown
- South Seattle College
- West Seattle
- King County International Airport
- I-5
- US-99
- Boeing
- Fauntleroy Ferry Terminal
- Duwamish Waterway
- Project Site**
- Puget Sound
- Evergreen Campus
- Rainier Golf and Country Club





- 1 Seattle Gospel Assembly
- 2 Brace Point Pottery
- 3 One-story House
- 4 Two-story House
- 5 Two-story House
- 6 Three-story House
- 7 Arbor Heights Elementary School
- 8 Two-story House
- 9 Three-story House
- 10 Three-story House
- 11 Black Dog Books
- 12 Two-story House
- 13 Two-story House

- 14 Two-story House
- 15 Two-story House
- 16 Three-story House
- 17 Two-story House
- 18 Three-story House in Construction
- 19 Two-story House
- 20 Three-story House
- 21 Three-story House
- 22 Three-story House
- 23 Two-story House
- 24 Two-story House
- 25 Two-story House
- 26 Three-story House
- 27 Two-story House





Building Across Site: Pitched Roof Expression, Horizontal Board Siding



Commercial Building Adjacent to Site: Brick Base, Black Commercial windows, White Residential Windows, Metal Roof, Horizontal Board Siding



House Adjacent to Site: Pitched Roof Expression, Horizontal Board Siding



Pitched Roof Expression, Horizontal Board Siding, Contrasting Colors



Pitched Roof Expression, Cementitious Panel Cladding



Pitched Roof Expression, Horizontal Board Siding, Contrasting Colors



Horizontal Board Siding, Cementitious / Metal panels, Metal Canopy, Pitched Roof Expression



Wood Entry, Fiber Cement Cladding, Pitched Roof Expression, Landscape Along Street



Roof Overhang Expression, Cementitious Panel, Roof Deck Facing View, Horizontal Cedar Boards, Metal and Glass Rails, Black Windows



White Cementitious Panel, Pitched Roof Expression, Metal Rail, Large Windows Facing View



Pitched Roof Expression, Large Glazing Areas, Landscape Buffer on Street.



Horizontal Board Siding, Large Glazing Area, Decks, Pitched Roof Expression



Contrasting Colors, Pitched Roof Expression, Metal and Cementitious Panel



Horizontal Cedar Boards, Metal Railing, Roof Decks, Wood Entrance, Contrasting Colors, Cementitious Panels and Boards



Pitched Roof Expression, Decks, Large Glazing Area, Cementitious Boards



Entry Canopy, Horizontal Cedar Boards at Entry, Cementitious Panels and Boards, Contrasting Colors



Contrasting Colors, Pitched Roof Expression, Large Windows Facing View



Roof Decks, Cementitious Boards and Panels, Roof Overhang Expression, Large Windows Facing Views



Horizontal Cedar Boards at Entrance, Cementitious Boards and Panels, Roof Deck, Metal Canopy



Pitched Roof Expression, Roof Decks, Wood Elements, Cementitious and Metal Panels, Large Glazing Areas



Large Glazing Area Facing Views, Roof Decks, Metal Cladding, Wood Cladding



Decks, Large Windows Facing View, White Cementitious Boards



Pitched Roof Expression, Metal Elements, Landscape Buffer at Street, Dark Cladding



Horizontal Cedar Boards, Large Windows Facing Views, Decks, Pitched Roof Expression, Metal Rails, Metal Elements



Pitched Roof Expression, Large Glazing Facing View, Decks, White Board Siding, Black Windows



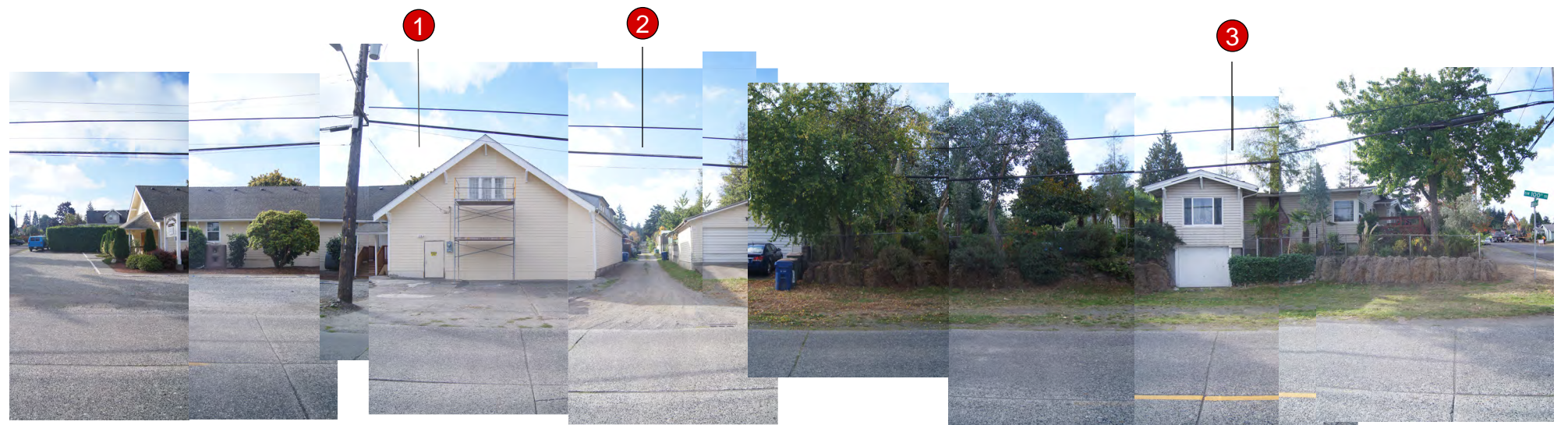
Cedar Screening at Street, White Cementitious Panels, Roof Overhang Expression, Roof Decks



Horizontal Cedar Boards at Entrance, Pitched Roof Expression, Metal Canopy at Entry, Black Windows

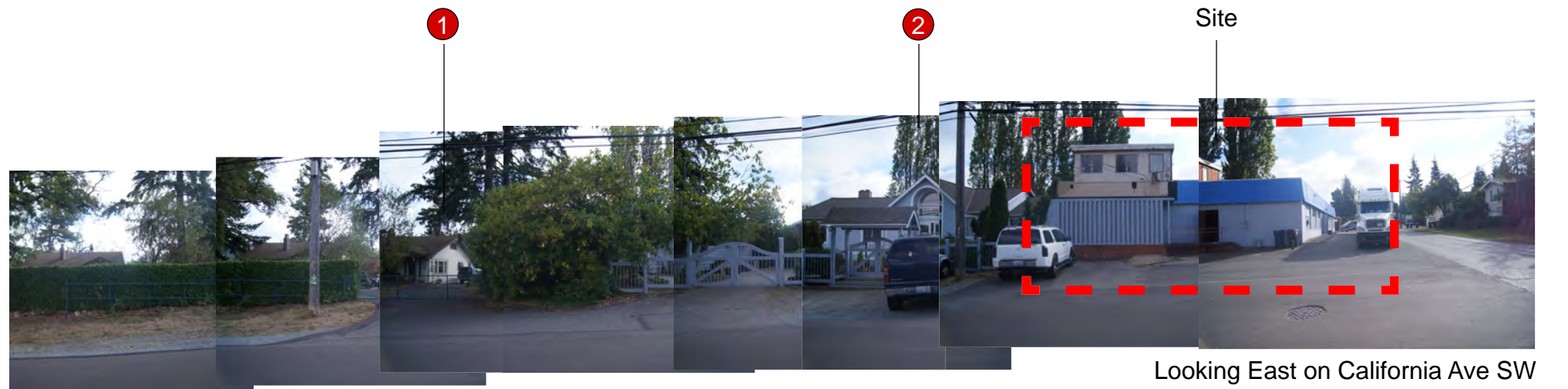


Looking North on SW 100th St

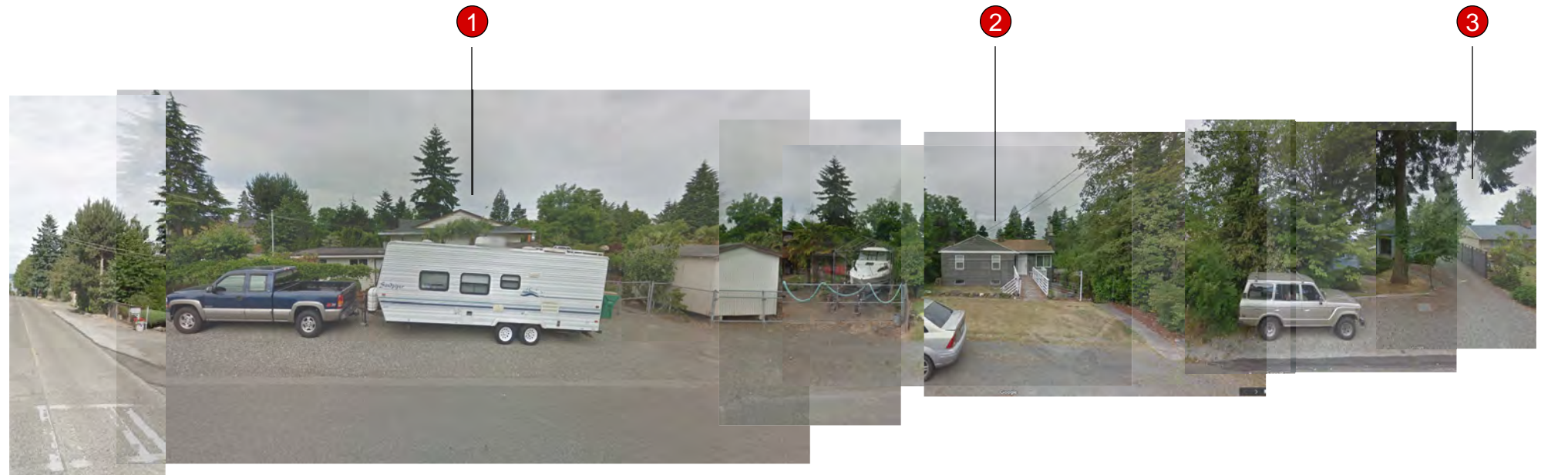


Across From Site

Looking South on SW 100th St.



Looking East on California Ave SW



Looking West on California Ave SW



View from Alley 1



Looking North on SW 100th St. 2

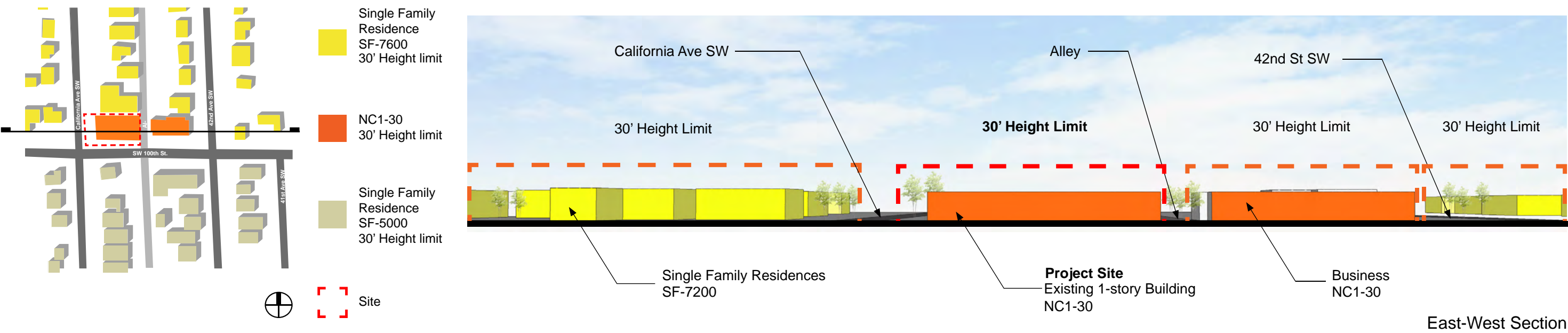


SW Corner View of 3

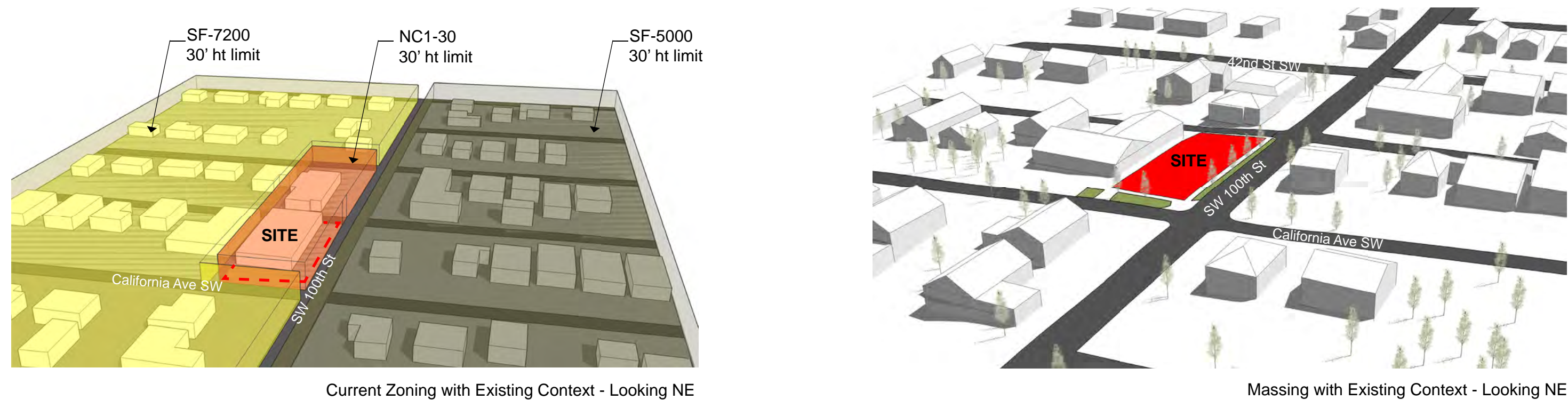


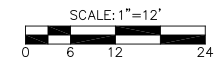
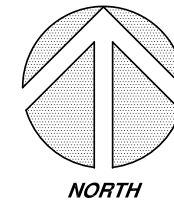
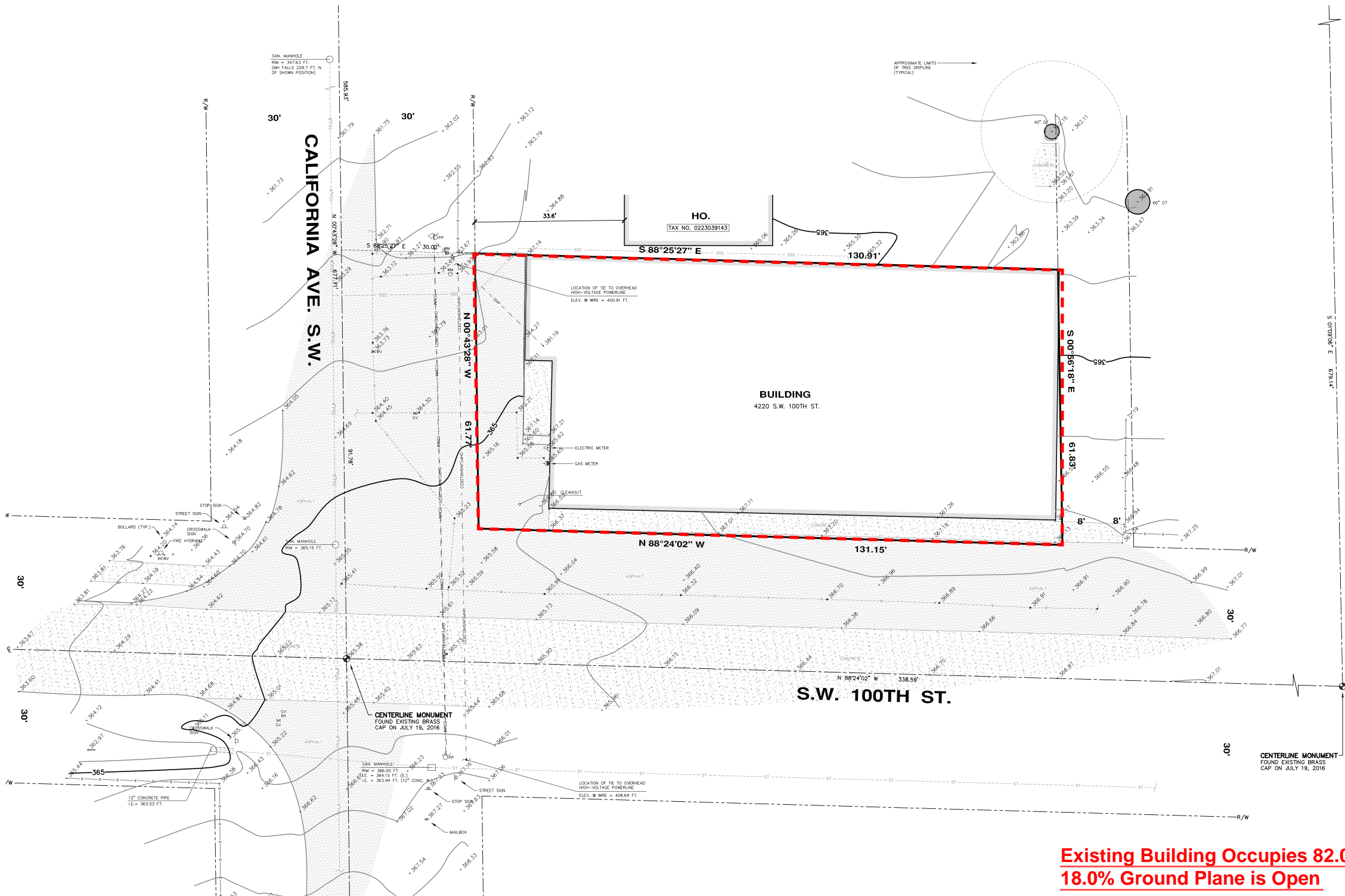
Looking East on California Ave SW 4

SURROUNDING USES



ZONING MAP





NOTES

1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
2. CONTOUR INTERVAL = 1 FT.
3. ELEVATION DATUM = NAVD'88, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON JULY 19, 2016.
4. PARCEL AREA = 8,091 SQ. FT.
5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE EASEMENTS AFFECTING THE PROPERTY, IF ANY, ARE NOT SHOWN HEREON.
6. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASED UPON CITY OF SEATTLE SEWER CARD NO. 3633-9 AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES.
7. TAX PARCEL NO. 3123800055
8. TREE DIAMETERS AND DRIPLINES DISPLAYED HEREON ARE APPROXIMATE. FOR SPECIFIC GENUS AND DIAMETER, TREES SHOULD BE EVALUATED BY A CERTIFIED ARBORIST.
9. WE HAVE DETERMINED TO THE BEST OF OUR ABILITY THE OVERHEAD HIGH VOLTAGE POWERLINE WHICH IS CLOSEST TO THE PROJECT SITE AND HAVE DISPLAYED ITS HORIZONTAL AND VERTICAL LOCATION HEREON. HOWEVER, ADDITIONAL OVERHEAD SERVICE LINES MAY EXIST WHICH ARE NOT OBVIOUS TO US BY FIELD OBSERVATION AND POTENTIALLY IMPACT PROJECT DESIGN. THEREFORE, PRIOR TO DESIGN AND CONSTRUCTION WE RECOMMEND THAT SEATTLE CITY LIGHT BE CONSULTED REGARDING THE POSSIBLE EXISTANCE OF ADDITIONAL SERVICE LINES NOT DISPLAYED HEREON WHICH SHOULD BE CONSIDERED FOR PROJECT DESIGN.

PROPERTY DESCRIPTION

LOT 10, BLOCK 1, HARRIS GARDEN TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 25 OF PLATS, PAGE 25, RECORDS OF KING COUNTY, WA.

**Existing Building Occupies 82.0%
18.0% Ground Plane is Open**

EXISTING SITE CONDITIONS



Looking South in Alley



Looking North in Alley

Alley Adjacent to Site



EXISTING SITE CONDITIONS

Existing Structure
0' Setback to Property Line per Survey



Existing Structure



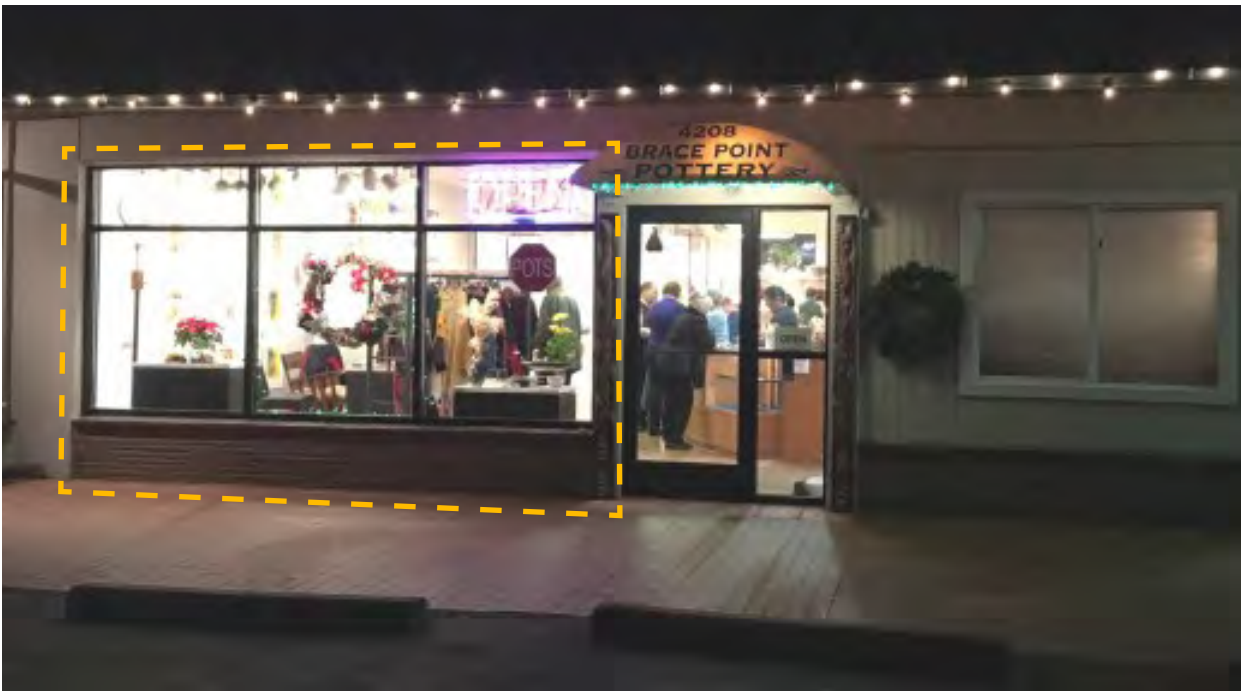
Existing Building and Adjacent Building Shown Above

EXISTING SITE CONDITIONS



Existing Structure on the Project Site

The current site has no sidewalks, planters, or seating areas as shown above.



Brace Point Pottery Adjacent to the Project Site

The brightly lit studio/storefront displays artwork and products. Brace Point Pottery also hosts events such as inviting other artists to display their artwork to the community.



Looking Along California Ave SW



Looking Along SW 100th St



Brace Point Pottery Storefront

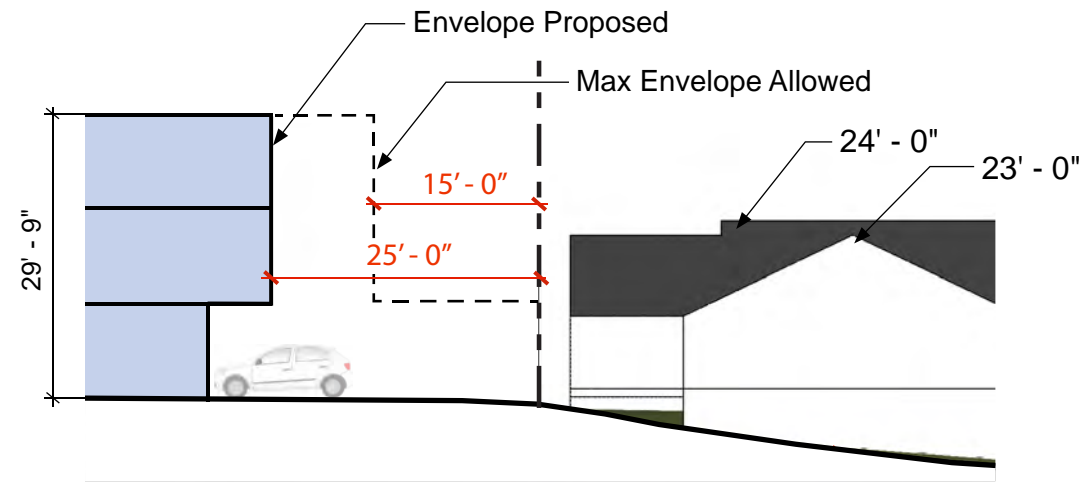
INITIAL DESIGN CONSTRAINTS

NORTH PROPERTY LINE: 15' - 0" RESIDENTIAL ZONE SETBACK

SMC 23.47A.014.B3 Setback Requirements:

North Lot Line Abutting Residential Zone: Zero feet up to a height of 13' - 0", then 15' - 0" setback required for portions of structure from 13' - 0" to 40' - 0", then an additional 2' - 0" of setback for every 10' - 0" above 40' - 0".

Setback provided: 30' - 0" setback provided on ground level and 25' - 0" setback in upper levels for East Building. 15' - 0" setback provided for West Building.

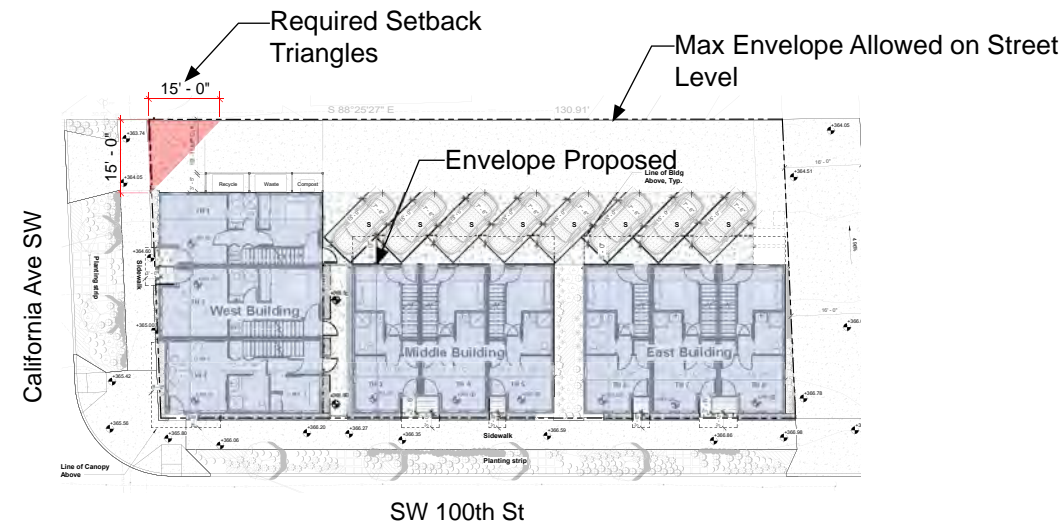


WEST PROPERTY LINE: 15' - 0" RESIDENTIAL ZONE SETBACK

SMC 23.47A.014.B1 Setback Requirements:

Side Lot Lines and Front Lot Line Abutting Residential Zone: The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front lot line and side lot line abutting the residentially zoned lot.

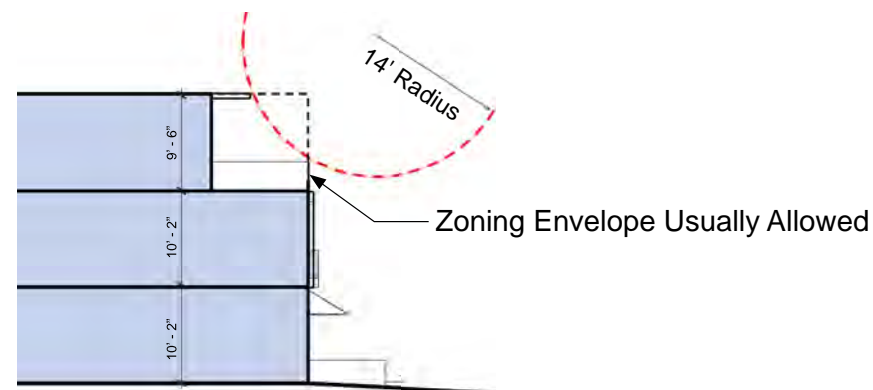
Setback Provided: The proposed design meets the code requirement as shown in the diagram.



WEST PROPERTY LINE: 14' - 0" POWERLINE CLEARANCE

Powerline Clearance:

Seattle City Light requires a 14' - 0" radius clearance at height voltage powerlines.



EDG SCHEME 3: APPROVED WITH 3 STRUCTURES TO MOVE FORWARD

The massing is broken down by articulating the facade with warm natural materials extending vertically from the ground. The L-shaped mass is situated along the South property line providing a natural setback from adjacent buildings to the North. The setbacks in the building allow for natural daylighting to all facades and bring a positive impact on the neighborhood. A large motor court and woonerf fits naturally to the North of the building with vehicular access via the alley.

Total Area: 12,000 sf

Maximum FAR: 2.25 Residential Use only and 2.5 for Mixed Residential

$2.25 \times 8,091\text{sf} = 18,225\text{sf}$

$11,867\text{sf} < 18,225\text{sf}$, **Using 65% of FAR/ Development Capacity**

Number of Units: 8 Townhouse Units and 1 Live-Work Unit

Number of Parking Stalls: 8 Medium Stalls, None Required

Positives:

1. Form allows for daylighting on all facades
2. Two different levels of private roof decks
3. Corridor separates two massings and provides access to parking
4. Parking screened from street view
5. Large amounts of glazing at the street front facilitates interaction
6. Warm natural materials enhance the neighborhood
7. Parking is accessed off the alley
8. Provides the most parking of all 3 options

Negatives:

1. Few setbacks from the South property line
2. Roof decks are private access only
3. Minimal daylight in the separation corridor

Departures requested

1. Curb cut exit on California Ave SW for 1-way woonerf vehicle exit
2. Residential uses are occupying more than 20% of the street-level street-facing facade
3. The floors of the dwelling units along California Ave SW and SW 100th St at less than required minimum of 4 feet above/below sidewalk grade
4. Reduced floor to floor height for commercial use/ live-work (IE not 13' FTF)



Looking NW Street View



Looking NE Street View



Looking SE View



Looking SW View

SEATTLE DESIGN GUIDELINES

CONTEXT AND SITE

CS1 NATURAL SYSTEMS AND SITE FEATURES

CS1.B: SUNLIGHT AND NATURAL VENTILATION

Daylight is maximized for interior and exterior spaces based on the form and placement of the buildings. Each building receives direct daylight from openings on the West and South facade. The middle and East buildings are setback 30' at ground level from the North property line and setback 24' at the upper levels to give ample space for natural ventilation and daylighting between the proposed design and the adjacent property to North. By having three different massings, there is more space for natural daylight and ventilation between the units.

CS2 URBAN PATTERN AND FORMS

CS2.C: RELATIONSHIP TO THE BLOCK

The project reduces the scale of the street wall with well organized entries and placement of street trees and planters. With wide sidewalks and planting strips along California Ave SW and SW 100th St, the street conditions are enhanced for pedestrian environment.

CS2.II: CORNER LOTS

The overall design reinforces the corner lot condition and emphasizes the proposed live-work unit at the corner with black S-corrugated metals that wrap the corner and contrast the adjacent white fiber cement panels of the residential units. The live-work unit is designed to be an artist work space or gallery, therefore, the facades have a high percentage of fenestration to increase the visibility on the street. Additionally, the building is appropriately scaled and the seven-foot sidewalk facilitates successful pedestrian flow with good visibility at the intersection.

CS2.III: HEIGHT, BULK, AND SCALE

The three masses are strategically placed on the site to hide parking in the rear and create a large buffer between the existing context to the North. The perceived mass is reduced with additional building setbacks and the use of high quality materials transitions. These materials create horizontal and vertical articulation helping to break down the scale of each facade, and avoid blank walls. The modulation of the recessed residential entries with the use of cedar wood helps break down the scale to better fit in with the neighborhood.

CS3 ARCHITECTURAL CONTEXT AND CHARACTER

CS3.A: EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES

All three zones surrounding the site have a 30' - 0" height limit, therefore, the massing will fit well with existing context and future context. A combination of street trees, facade modulation, canopies and appropriate drop lighting reduces the scale of massing at the street level. These attributes will provide a positive impact and enhance the neighborhood. In consideration of the surrounding residential context, massing modulation as well as facade articulation have been thoroughly explored to reduce the scale of the proposed design. Use of natural materials and facade articulation also help the proposed design to fit into the residential context.

PUBLIC LIFE

PL1 CONNECTIVITY

PL1.A: NETWORK OF OPEN SPACES

Two corridors between the buildings extending off the pedestrian sidewalk along SW 100th St gives direct access to the motor court in the back. Each building is also setback from the South property line 1'-0" to increase the width of the sidewalks and include additional planting strips.

PL1.B: WALKWAYS AND CONNECTIONS

The active sidewalk creates a good transition between the public and private realm. The project is setback from property lines allowing for a 7' wide sidewalk and 10.5' wide planting strip on California Ave SW and a 7' wide sidewalk and 5' wide planting strip on SW 100th St. Appropriately scaled facades and street furniture are designed for human comfort.

PL1.C: OUTDOOR USES AND ACTIVITIES

The large amount of glazing on the street level facade for the live-work unit provides large open inviting spaces. A combination of street trees, facade modulation, metal canopies and appropriate drop lighting reduces the scale at the street level to promote human interaction.

PL2 WALKABILITY

PL2.A: ACCESSIBILITY

The primary entries for all units are facing either SW 100th St or California Ave SW. The entrances are as close to the sidewalk grade as possible to make it more accessible for residents and allow for a reduced height of the proposed buildings. The proposed entrances range from 1'-0" below the sidewalk grade to 1'-0" above the sidewalk grade to make them more accessible for residents. These entrances are also setback 4'-6" from the property line to provide privacy. The live-work unit entrance is designed at the sidewalk grade with clear lines of sight from SW 100th St.

PL2.B: SAFETY AND SECURITY

Large windows in facing the street provide users and pedestrians with a safer, well-lit street. The windows at level 1 for the townhouses are smaller to provide privacy for the residents. Each recessed residential entry is well-lit with black metal soffit lights and black metal wall-mounted lights.

PL2.D: WAYFINDING

A well-lit live-work space at the street level creates a strong retail edge with maximum visibility into the building interior. Planters, planting strips, balconies and bike racks along California Ave SW and SW 100th St help create more inviting spaces in the neighborhood.

PL3 STREET-LEVEL INTERACTION

PL3.A: ENTRIES

As already mentioned in PL2.A: Accessibility for all primary entries is located along SW 100th St and California Ave SW, and additional private entries are located at the rear side for residents. The recessed townhouse entries are wrapped with cedar wood and complemented by a metal canopies with cedar wood soffits to create a private, warm and inviting space for the residents.

PL3.B: RESIDENTIAL EDGES

The main residential entries are located along the street facing facades and additional entries are located are the rear of each building for privacy. Black metal canopies are placed at each entry to provide weather protection and help break down the scale of the facade.

PL4 ACTIVE TRANSPORTATION

PL4.A: ENTRY LOCATIONS AND RELATIONSHIPS

The proposed design serves all modes of transportation through pedestrian-friendly sidewalks, bike racks, and parking stalls located along the North side of the site.

DESIGN CONCEPT

DC1 PROJECT USES AND ACTIVITIES

DC1.B: VEHICULAR ACCESS AND CIRCULATION

The project provides an easy vehicular transition from SW 100th St to the proposed parking area and drive aisle via the alley along the East side of the site. Improved street conditions such as sidewalks, planting strips, and placement of bike racks create safe and attractive conditions for pedestrians, bicyclists, and drivers.

DC1.C: PARKING AND SERVICE USES

Parking is angled for ease of access and to allow for adequate back up distance. Parking is also placed along the North side of the site behind the buildings to screen cars from the public realm. The waste storage area is located along the North facade of the West building and will be staged for pickup along the alley. The size and location of the waste area has been approved by SPU.

DC2 ARCHITECTURAL CONCEPT

DC2.A: MASSING

Level 3 is setback for each building to express a two story mass at the street to better respect the neighboring context. These two story masses along the street are further broken down by recessing the entries to create a successful rhythm and scale that is appropriately scaled for residents. Facades are modulated through the use of high-quality, durable materials and various setbacks. Materials help enhance the simple massing forms and overall architectural character within the neighborhood.

DC2.B: ARCHITECTURAL AND FACADE COMPOSITION

Several building setbacks add depth to the facade composition and enhance the proposed natural wood materials being utilized at the recessed entries.

DC2.D: SCALE AND TEXTURE

Architectural features and elements such as metal balconies, cedar wood decking and recessed entries break down the massings to a human scale. The character of the proposed design has been well established by the use of materials and facade articulation for the street level and overall design. The articulation of the facade is consistent throughout the design and the relationship of the roof decks to the street level enhances the concept.

DC3 OPEN SPACE CONCEPT

DC3.B: OPEN SPACES AND USES ACTIVITIES

Two corridors placed between the buildings create open spaces to allow a garden area and pathway to the parking area from the public sidewalk. Each unit also has roof deck access and balconies for activities and additional outdoor space. It can be used to lounge and accommodate a variety of activities.

DC4 MATERIALS

DC4.A: EXTERIOR ELEMENTS AND FINISHES

The proposed materials consist of black S-corrugated metal panels, cedar wood panels, white fiber cement panels and metal canopies. These materials fit in well with the architectural context. The white fiber cement panels are contrasted by the cedar wood and black S-corrugated metal panels. The black S-corrugated metal panels and metal canopies help emphasize the live-work unit at the corner of the site.

DC4.D: TREES, LANDSCAPE, AND HARDSCAPE MATERIALS

Planting strips with street trees along California Ave SW and SW 100th St accent the building materials and enhance the overall design concept. Improved landscaping along each street will help create a more welcoming and inviting place in the neighborhood.

CONTEXT AND SITE, PUBLIC LIFE, & DESIGN CONCEPT

GUIDANCE

a.i The design concept should be further reduced from two masses to three distinct masses as contemplated in Scheme 2 that harken to the existing pattern and scale of the immediate context of single family-zoned properties. **(CS2-D, CS3-A)**

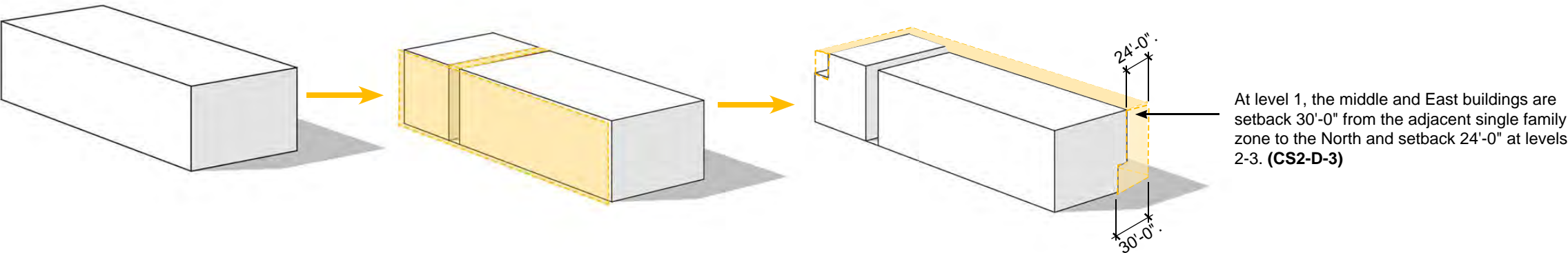
RESPONSE

a.i Approved Scheme 3 has been developed further and has been reduced from two mass to three mass as a response to the existing character of the single-family neighborhood. The developed masses fit well within the existing rhythm and urban pattern. The building is set back from the North property lot to create a buffer from the single-family residence and maintain privacy for the neighboring units. To maintain the scale along California Ave SW, the West building mass at level 3 is stepped back to create a transition from the neighborhood commercial zone to single-family zone. **(CS2-D-3)** Penthouses are not proposed for the accessible roof decks of the middle and East building to reduce the scale of the building. **(CS3-A)**

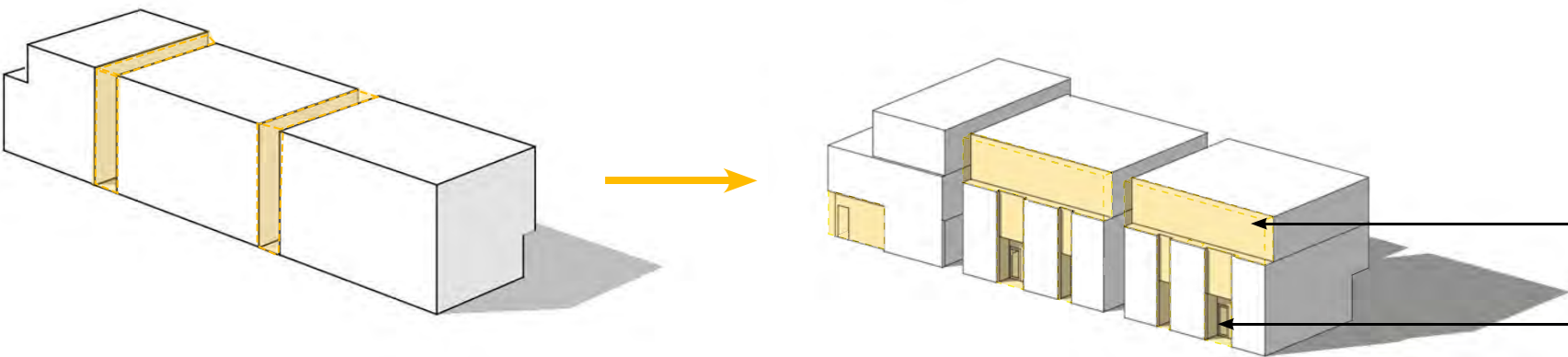
DESIGN GUIDELINES

a.i **CS2-D-3. Zone Transitions:**
For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Projects should create a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development. Factors to Consider:
a. Distance to the edge of a less (or more) intensive zone;
e. Shading to or from neighboring properties.

CS3-A. Emphasizing Positive Neighborhood Attributes:
1. Create compatibility between new projects, and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing, fenestration, and/or the use of complementary materials.



At level 1, the middle and East buildings are setback 30'-0" from the adjacent single family zone to the North and setback 24'-0" at levels 2-3. **(CS2-D-3)**



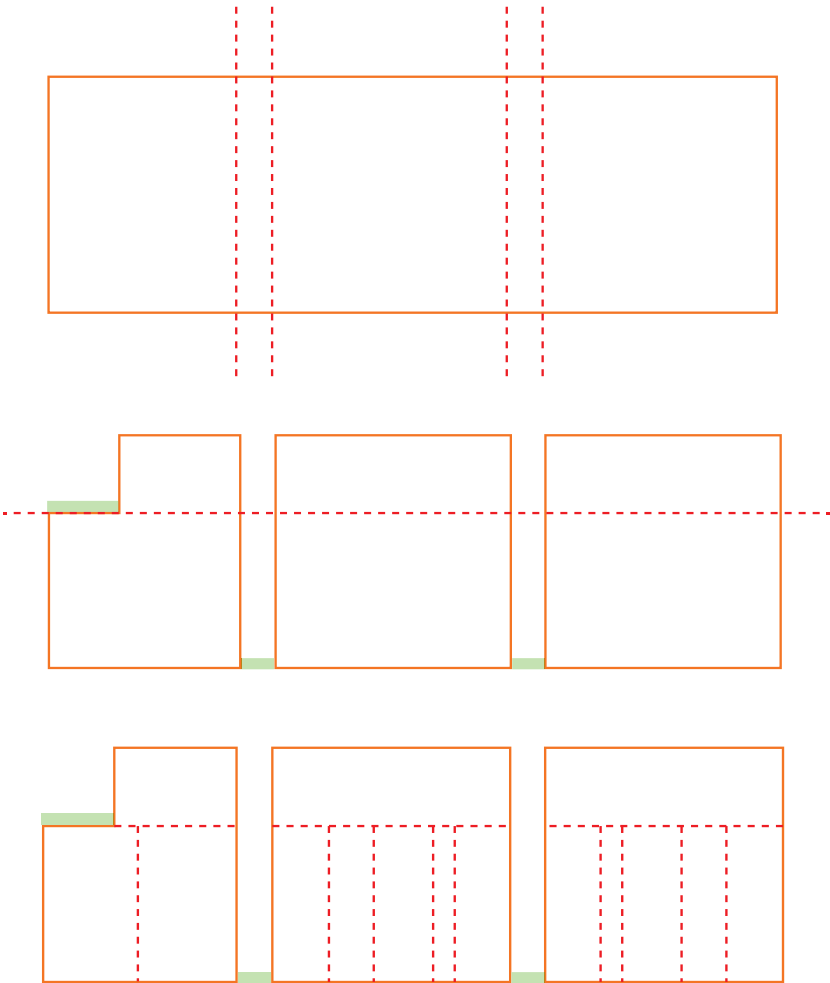
At level 3, the mass is set back from the street to reduce the scale to fit in with the context. **(CS3-A)**

The residential entries along SW 100th St are recessed and create a cedar wood threshold to break down the scale of the facade and to create a better transition from public to private space.

CONTEXT AND SITE, PUBLIC LIFE, & DESIGN CONCEPT

GUIDANCE

a.ii It is imperative that each building mass be scaled down appropriately to better respond to the surrounding residential context. The Board looks forward to reviewing the next design iteration which should be comprised of secondary architectural elements, minor massing moves, materials, glazing, etc. That successfully achieve this design direction. Initial Board feedback concerning the conceptual perspective illustrated in the design packet (pg. 47) was that the amount of glazing applied to the buildings' exterior facades was an inappropriate response to this guidance.(CS3-A, DC2-A, DC2-B, DC2-C, DC2-D)



RESPONSE

a.ii The massings are broken down using well-composed openings and varying balconies. Facades are modulated through the use of high-quality, durable materials and various setbacks. Materials help enhance the simple massing forms and overall architectural character within the neighborhood. At street level, the human scale is achieved by using recessed entries, steel canopies, and appropriately scaled windows. (DC2-C-2) Larger windows are utilized at the corner of the West building to express the Live-Work unit and create a vibrant street front. (DC2-D-1) The conceptual diagram to the left explains how we are setting back level 3 to express a two story mass at the street to better respect the neighboring context. (DC2-C-3, DC2-A-2) These two story masses along the street are further broken down by recessing the entries to create a successful rhythm and scale that is appropriately scaled for residents.

The massing is broken into 3 buildings vertically to fit in the context of the single family zone.

Each mass is horizontally broken down by terracing level 3 to express a two story mass at the street.(DC2-A-2)

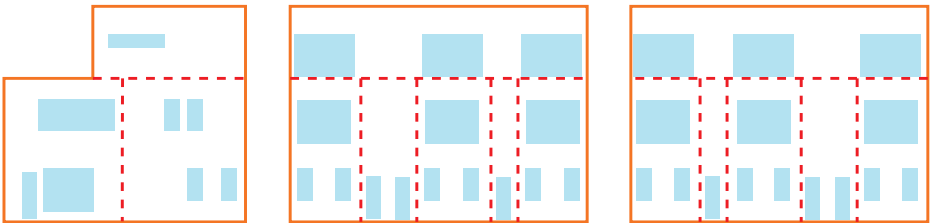
Each mass is further broken down with recessed entries and material transitions to respect the neighborhood scale. (CS3-A-1, DC2-B-1)

DESIGN GUIDELINES

a.ii DC2-A-2. Reducing Perceived Mass:
Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies, bay windows, porches, canopies or other elements; and/or highlighting building entries.

DC2-C-1. Visual Depth and Interest:
Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the façade design. Add detailing at the street level in order to create interest for the pedestrian and encourage active street life and window shopping (in retail areas).

DC2-D-1. Human Scale:
Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept. Pay special attention to the first three floors of the building in order to maximize opportunities to engage the pedestrian and enable an active and vibrant street front.



The residential units at level 1 have smaller windows with recessed entries to maintain privacy. Larger windows express the Live-Work unit on the corner. (DC2-D-1)



High quality materials, canopies, and balconies are well composed to add depth and visual interest to the facade. (DC2-C-1)

CONTEXT AND SITE, PUBLIC LIFE, & DESIGN CONCEPT

GUIDANCE

a.iii The Board emphasized that special attention be applied to the entry sequencing of the townhouse units' entrances at grade. A design that creates a strong street wall, especially for the residential units abutting Southwest 100th Street, was strongly discouraged by the Board. (CS3-A, PL3-A, PL3-B, see departure #3)



a.iv In response to public concerns pertaining to roof forms (pitched versus flat), the Board discussed roof forms. The Board stated that the presented height of the proposed flat-roofed massing forms is respectful to the allowable height limits of existing residential structures within the neighborhood and will be complementary to the surrounding varied architectural style of neighboring buildings. (CS3-A-1)



RESPONSE

a.iii The townhouse entries along California Ave SW and SW 100th St are either one step above or below the sidewalk grade, as requested in departure #3. The overall building height is reduced by allowing these entries to be close to the sidewalk grade and make the entries more accessible to residents. These entries are also recessed 4'-6" from the South property line to provide privacy and security for residents. Each entry is well-lit with black metal soffit lighting fixtures and black metal wall-mounted lighting fixtures shown on the lighting plan and in the image to the left. (PL3-B-2)

Each residential entrance is designed at human scale thru the use of metal canopies with cedar wood soffits, appropriately scaled materials and landscaping. A cedar wood decking threshold is proposed at level 1 for the residential entries to create a better transition from the public sidewalk to the private residences. (PL3-A-1-D, PL3-A-2, PL3-B-2)

a.iv In response to the Board, the proposed design of each building utilizes a flat roof by eliminating the stair penthouses to maintain its relationship with the existing structures within the neighborhood. These flat roofs reduce the overall height to complement the surrounding context. Additionally, the accessible roof deck for the middle and East buildings is setback 10'-6" from the South property line, see the section diagram to the right. (CS3-A-1)

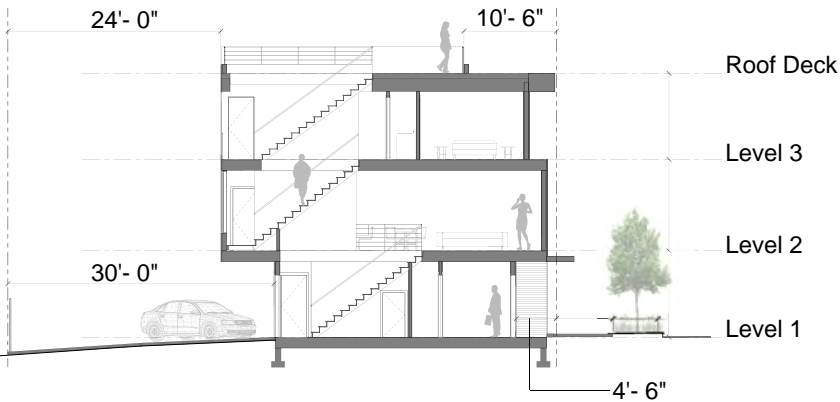
DESIGN GUIDELINES

a.iii PL3-A-1-D. Individual Entries to Ground-Related Housing:
Should be scaled and detailed appropriately to provide for a more intimate type of entry. The design should contribute to a sense of identity, opportunity for personalization, offer privacy, and emphasize personal safety and security for building occupants

PL3-A-2. Ensemble of Elements:
Design the entry as a collection of coordinated elements including the door(s), overhead features, ground surface, landscaping, lighting, and other features.

PL3-B-2. Ground Level Residential:
Privacy and security issues are particularly important in buildings with ground-level housing, both at entries and where windows are located overlooking the street and sidewalk. Consider providing a greater number of transition elements and spaces, and choose materials carefully to clearly identify the transition from public sidewalk to private residence.

a.iv CS3-A-1. Fitting Old and New Together:
Create compatibility between new projects, and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing, fenestration, and/or the use of complementary materials.



RESPONSE TO EDG

CONTEXT AND SITE, PUBLIC LIFE, & DESIGN CONCEPT

GUIDANCE

b. The Board acknowledged that, in response to public comments voiced at the first EDG meeting, the design proposal had evolved from a commercial use (nine live-work units) to now a mixed-use proposal with both commercial (one live-work unit) and residential uses (eight townhouse units). The Board voiced concern that differentiating the sole live-work unit from the surrounding townhouse units may be difficult. The Board voiced a willingness to support a design that includes additional live-work units that, if pursued by the design team, be arranged in the western building mass with corner frontage to accommodate live-work units with internal programing to allow viable commercial spaces. **(CS2-C-1, PL3-B-3, DC1-A-3)**

b. One live-work unit is proposed at the corner of the West building to maximize the visibility and create a vibrant street front. **(PL3-B-3)** The facade is emphasized with black S-corrugated metal panel and a large percentage of fenestration to contrast the residential units and serve as a focal point for the site. **(CS2-C-1)** This Live-work unit differentiates from the residential units with the type of materials used, glazing percentages and type of canopies. **(PL3-B-3, DC1-A-3)**

The live-work space is designed to function as an art gallery or artist work space. This proposed space will fit in well with the neighborhood as it relates to the adjacent commercial space, Brace Point Pottery. This space is flexible and can adapt to other design related work spaces if needed. **(DC1-A-3)**



DESIGN GUIDELINES

b. CS2-C-1. Corner Sites:
Corner sites can serve as gateways or focal points; both require careful detailing at the first three floors due to their high visibility from two or more streets and long distances. Consider using a corner to provide extra space for pedestrians and a generous entry, or build out to the corner to provide a strong urban edge to the block.

PL3-B-3. Buildings with Live/Work Uses:
Maintain active and transparent facades in the design of live/work residences that are required to orient the nonresidential portions of the unit toward the street. Design the first floor so it can be adapted to other commercial use as needed in the future.

DC1-A-3. Flexibility:
Build in flexibility so the building can adapt over time to evolving needs, such as the ability to change residential space to commercial space as needed.

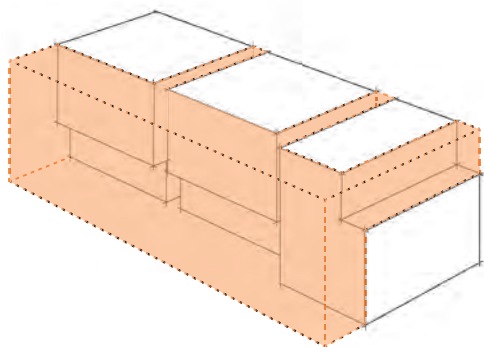


CONTEXT AND SITE, PUBLIC LIFE, & DESIGN CONCEPT

GUIDANCE

- c. The Board recognized that the removal of the “towering” stair penthouses was effective in reducing the perceived height of the massing and encouraged this design modification be carried through to the next design iteration. **(CS2-D)**
- d. The Board requested that in addition to building materials, color palette, conceptual lighting and signage designs; specifics concerning waste storage, location, access, and feedback from SDCI and Seattle Public Utilities (SPU) should be presented to the Board at the next meeting. **(PL3-B-1, DC1-C-4)**

- c. The building mass is set away from the North property line to maintain the privacy for the adjacent single-family zone. Additionally, there are no "towering" stair penthouses proposed to better respect the neighboring buildings and reduce the perceived height. **(CS2-D-1, CS2-D-5)**



- d. The waste storage area and its size has been coordinated and approved by SPU. The waste storage area is located along the North facade of the West building away from pedestrian circulation and the adjacent single family zone to the North. The waste storage area is screened with clear sealed cedar slats. **(DC1-C-4)**



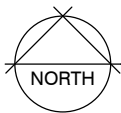
DESIGN GUIDELINES

- c. CS2-D-1. Existing Development and Zoning:
Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.
- CS2-D-5. Respect for Adjacent Sites:
Respect adjacent properties with design and site planning to minimize disrupting the privacy of residents in adjacent buildings.
- d. DC1-C-4. Service Uses:
Locate and design service entries, loading docks, and trash receptacles away from pedestrian areas or to a less visible portion of the site to reduce possible impacts of these facilities on building aesthetics and pedestrian circulation. Where service facilities abut pedestrian areas or the perimeter of the property, maintain an attractive edge through screening, plantings, or other design treatments

SITE PLAN
















LANDSCAPE PLAN



LANDSCAPE PLAN

LANDSCAPE PLAN

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	SIZE
	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	2"Gal
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE
	Calluna vulgaris 'Spring Torch' / Scotch Heather	1 gal
	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge	1 gal
	Carex testacea / Carex	1 gal
	Helictotrichon sempervirens 'Saphirsprudel' / Sapphire Fountain Blue Oat Grass	1 gal
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	21/24" Ht.
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	1 gal
	Liriope spicata 'Big Blue' / Creeping Lily Turf	1 gal
	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo	2 gal
	Nassella tenuissima / Mexican Feather Grass	1 gal
GROUND COVERS	BOTANICAL NAME / COMMON NAME	SIZE
	Ajuga reptans / Carpet Bugle	4"pot
	Ophiopogon planiscapus 'Nigrescens' / Black Mondo Grass	4"pot
	Vinca minor / Common Periwinkle	1 gal



Autumn Brilliance Serviceberry



Spring Tournch Heather



Ice Dance Sedge



Blue Oat Grass



Carpet Bugle



Common Periwinkle



Black Mondo Grass



Lily Turf



Orange Sedge



Gulf Stream Heavenly Bamboo



Sky Pencil Holly



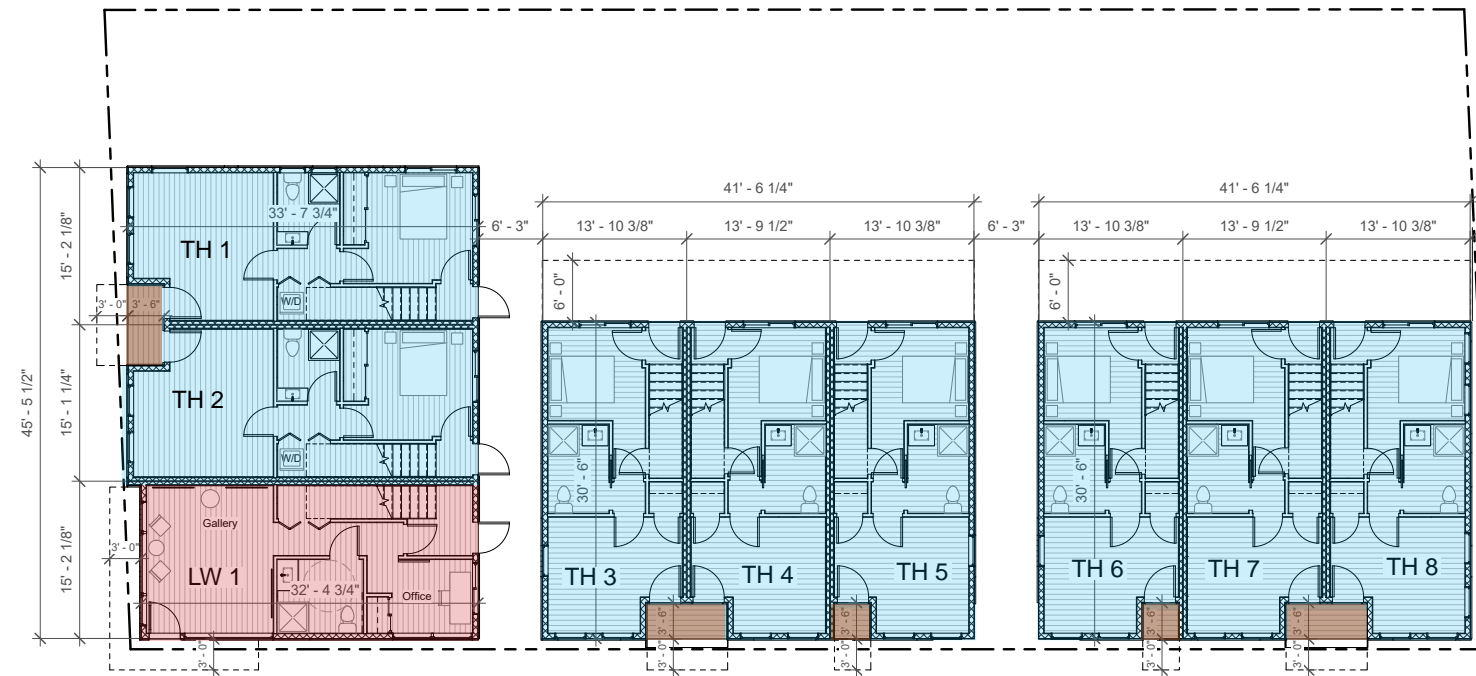
Mexican Feather Grass



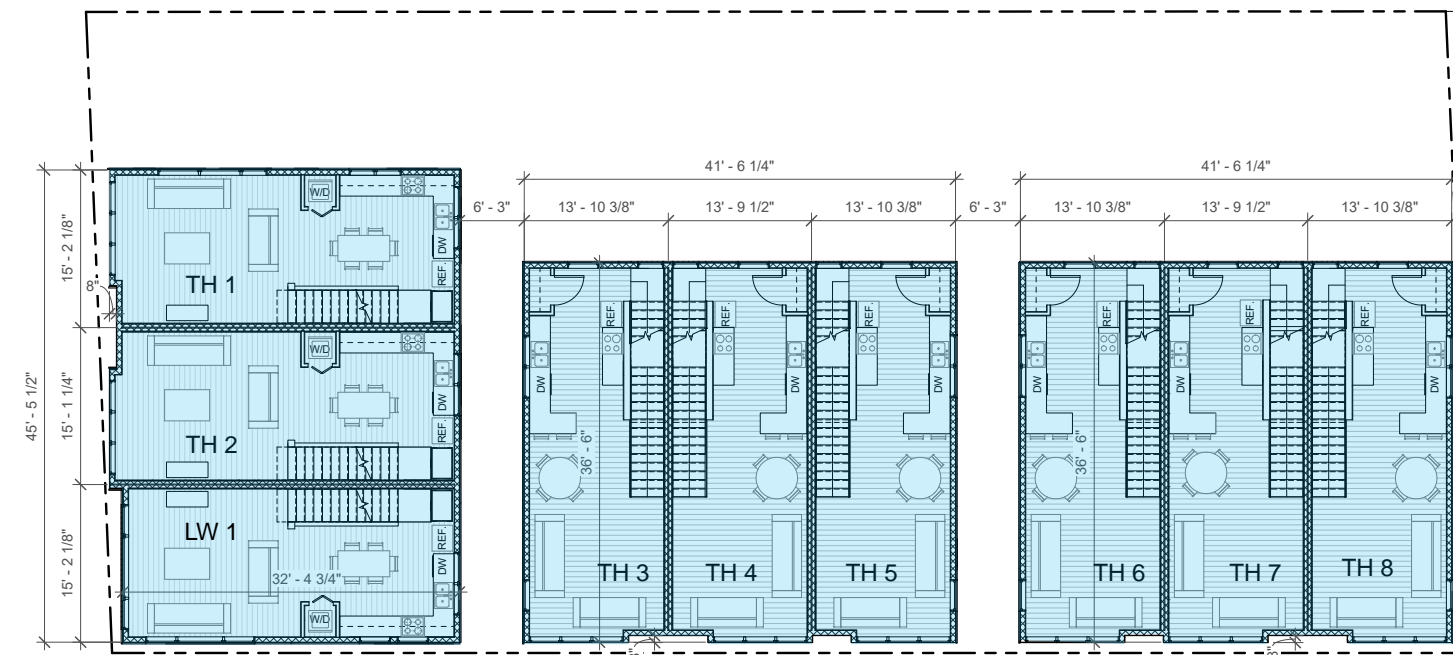
Hidcote Blue Lavender

FLOOR PLANS

FAR: Allowed: $2.25 \times 8,091 = 18,204$ SF
Proposed: 11,109 SF (Using 61% of FAR / Development Capacity, Complies)



Level 1 Plan



Level 2 Plan

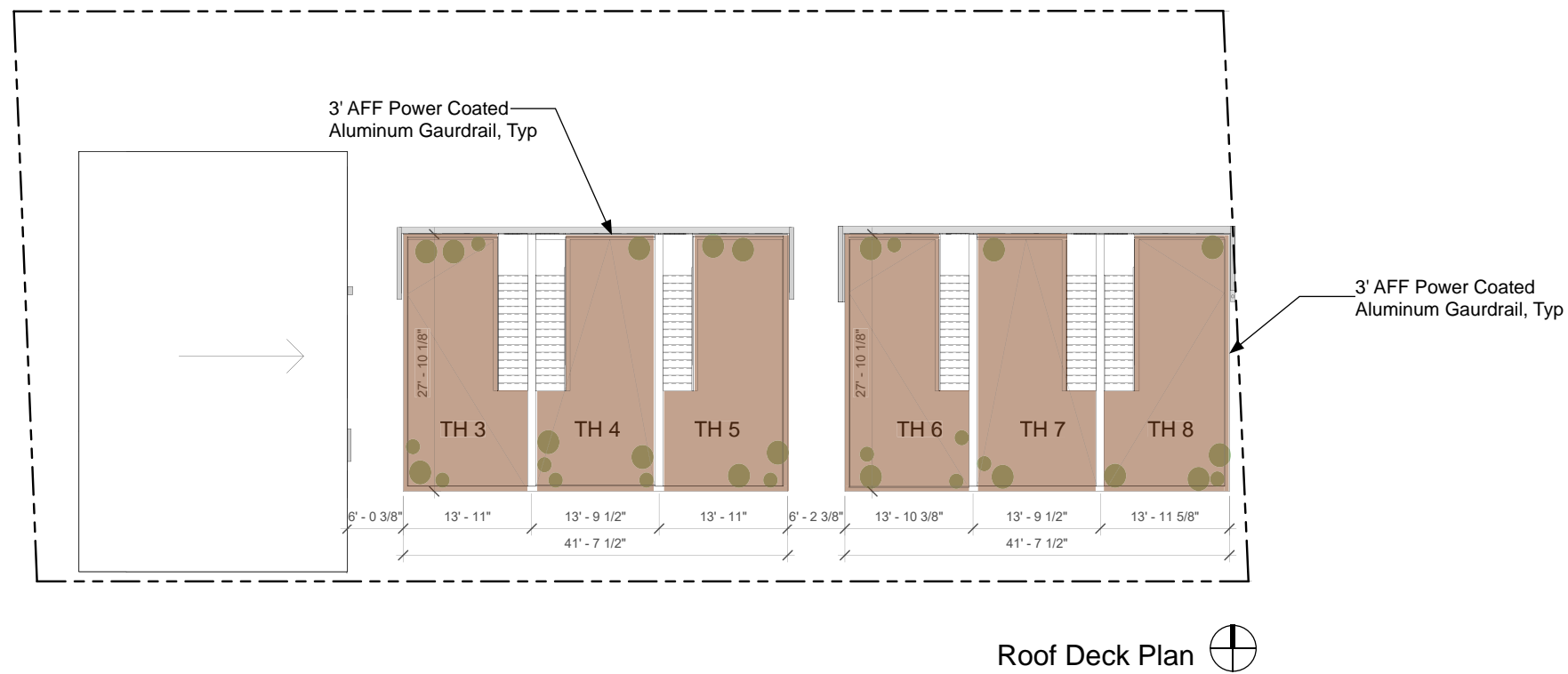
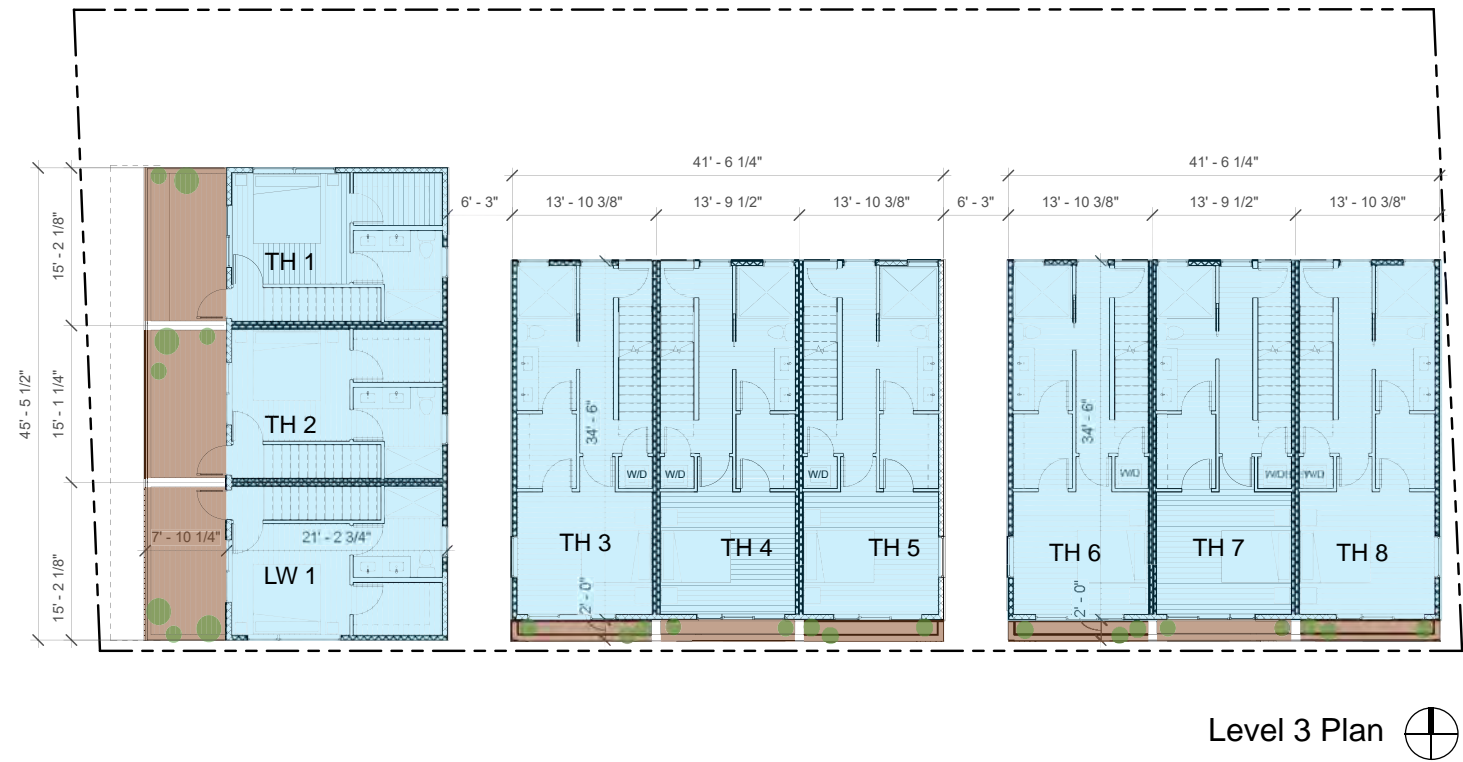


Looking NE

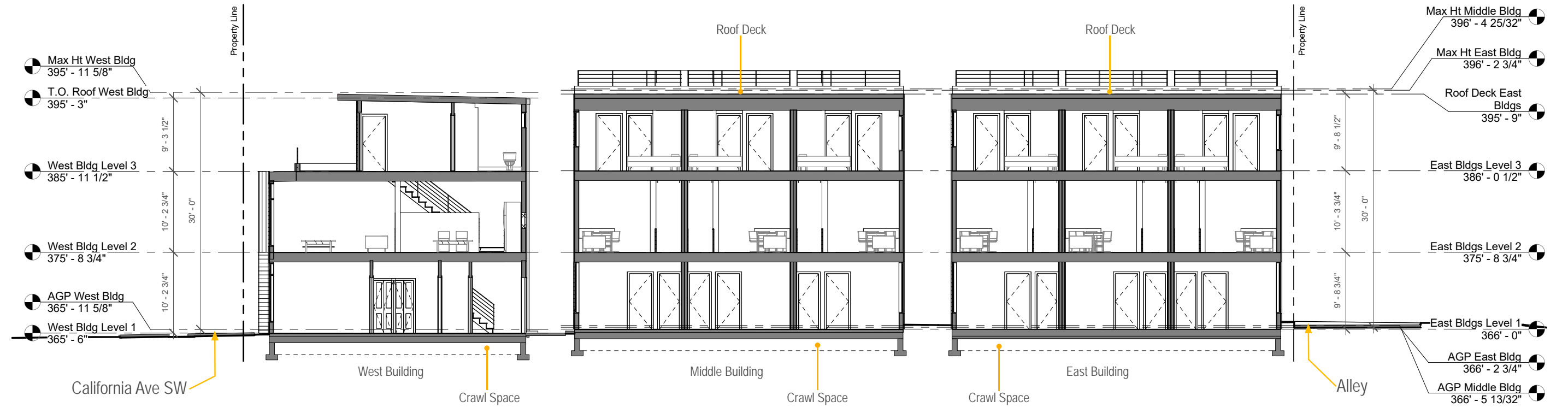


Looking NW

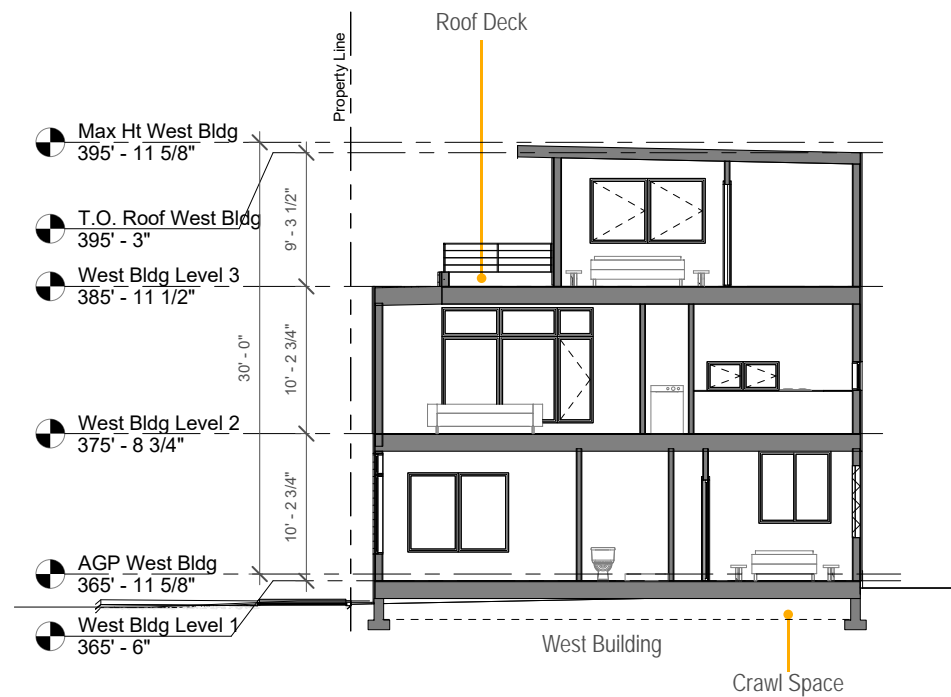
FLOOR PLANS



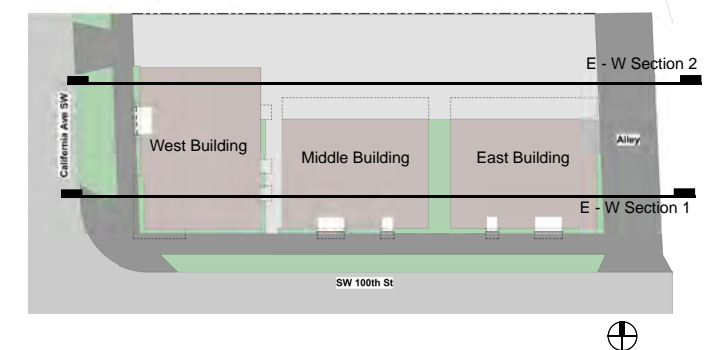
SECTIONS



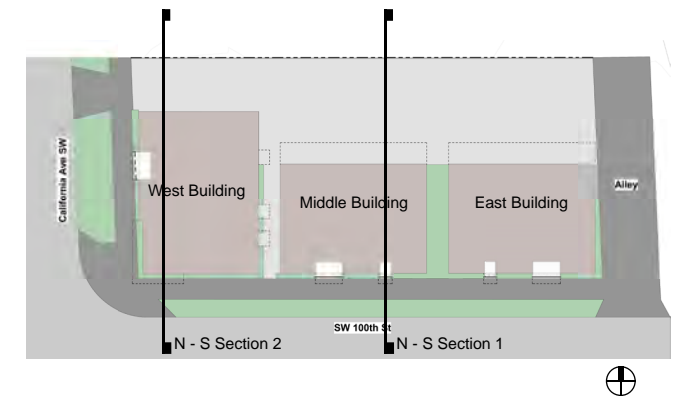
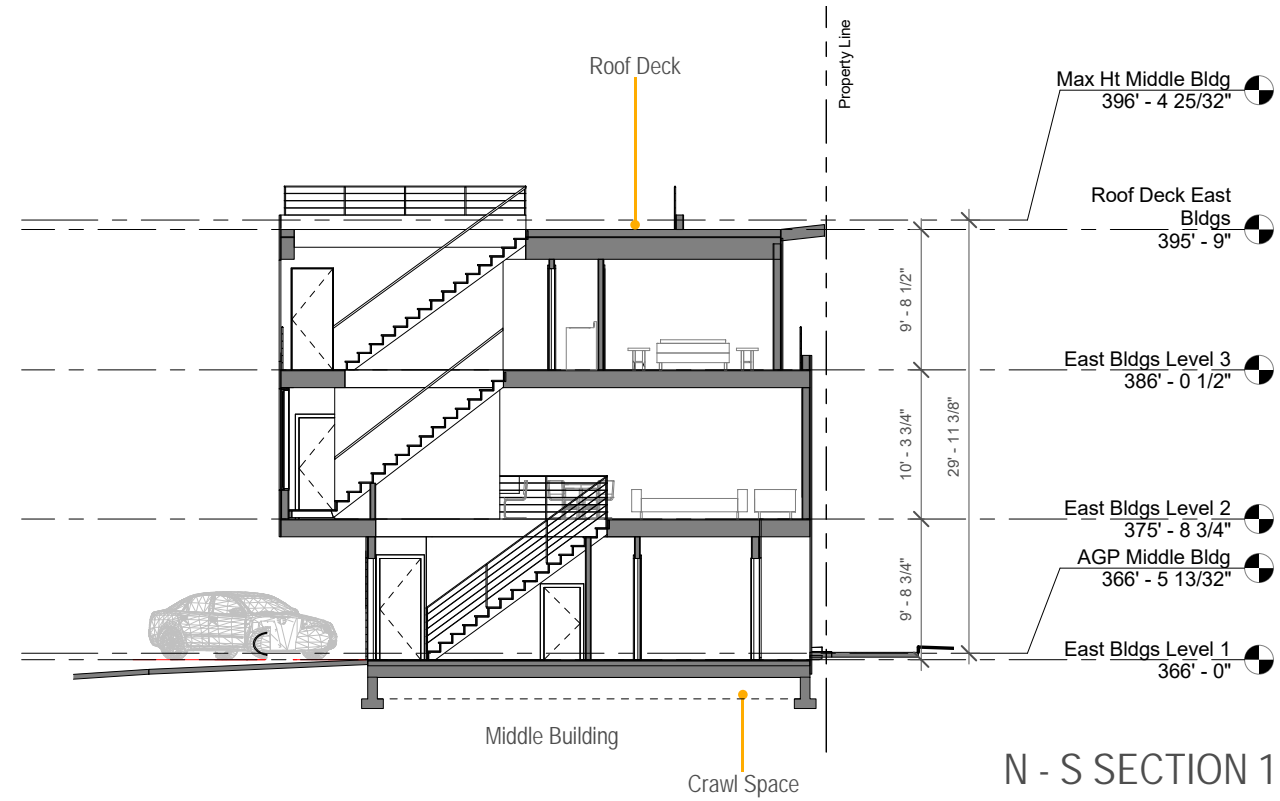
E - W SECTION 1



E - W SECTION 2



SECTIONS



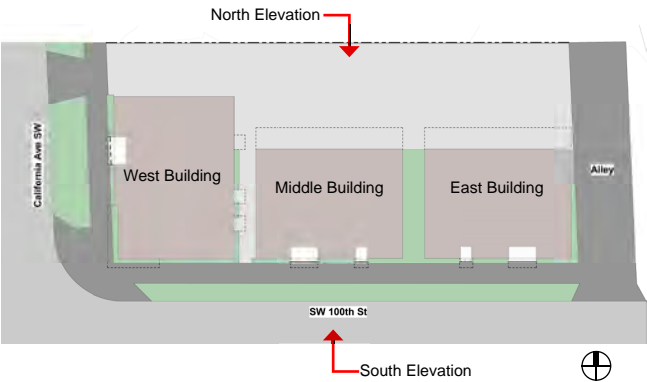
ELEVATIONS



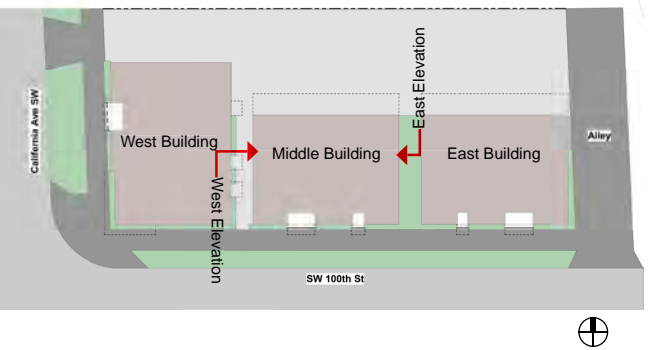
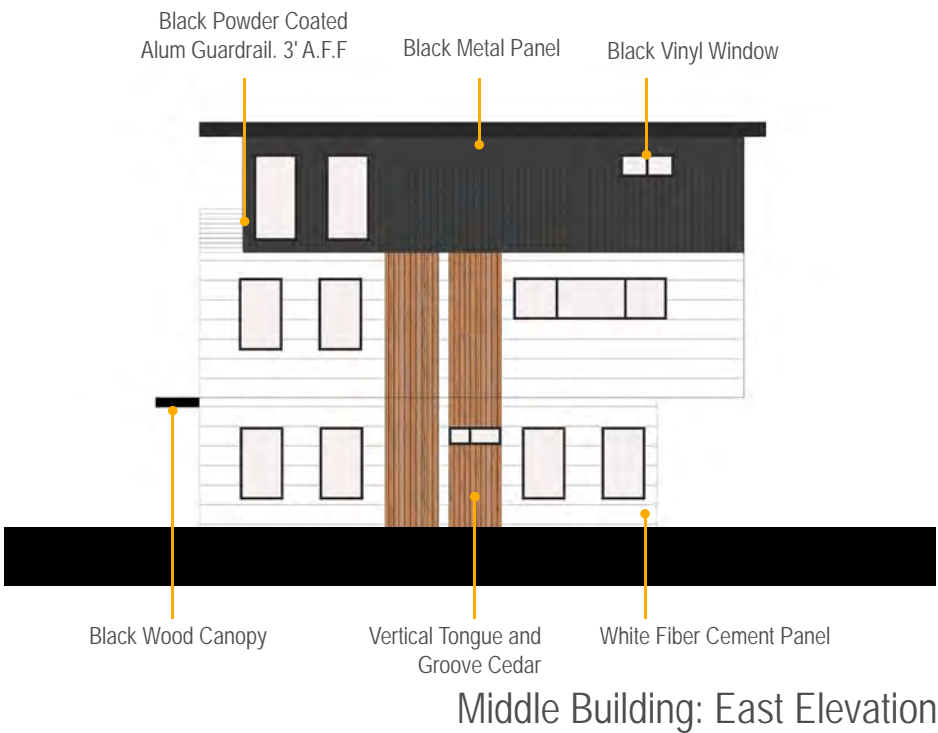
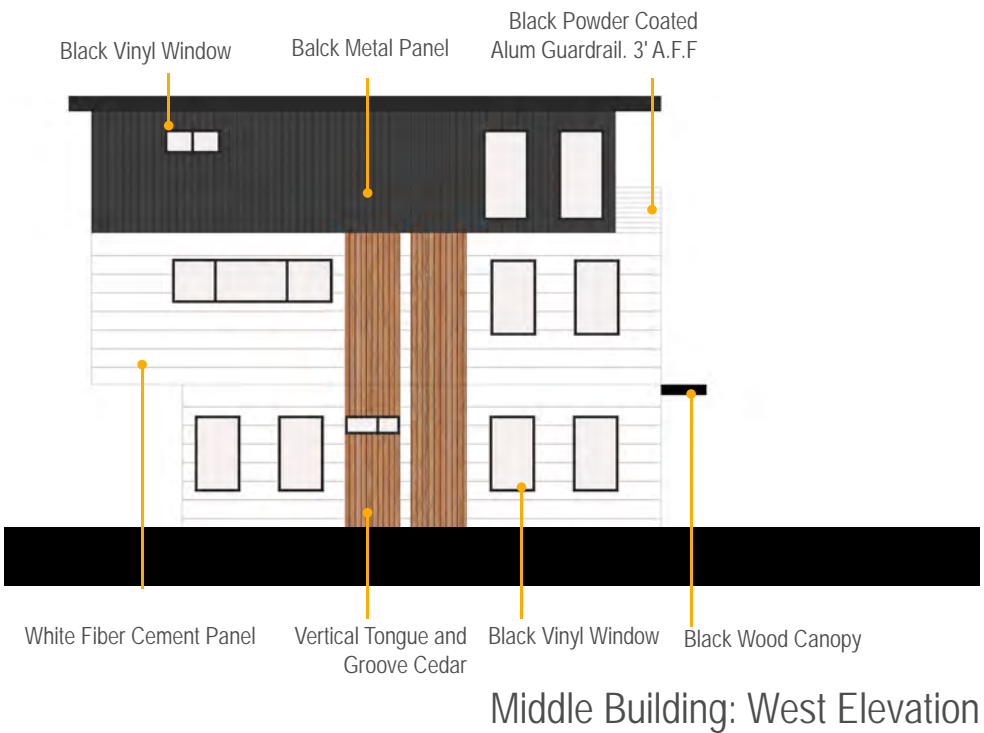
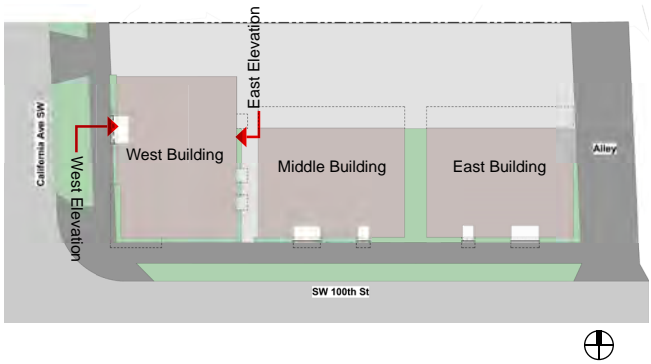
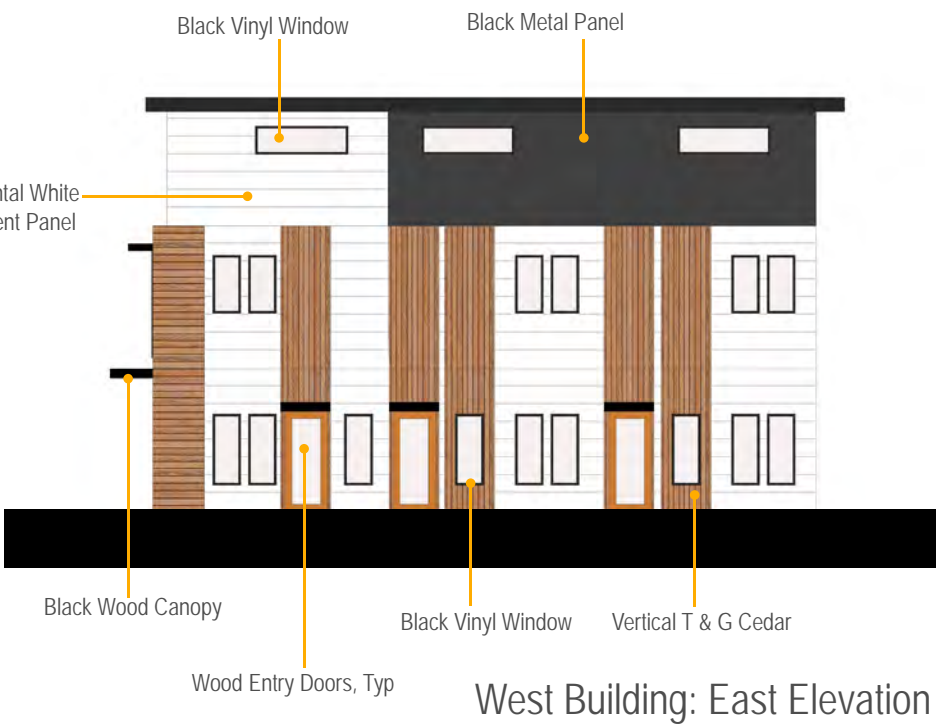
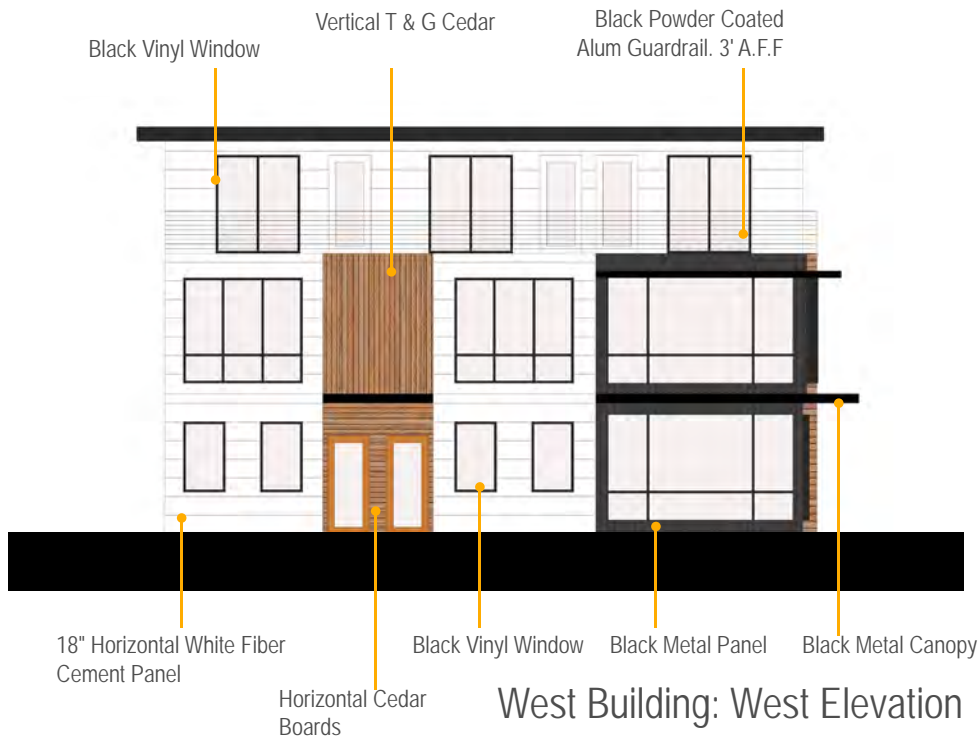
South Elevation



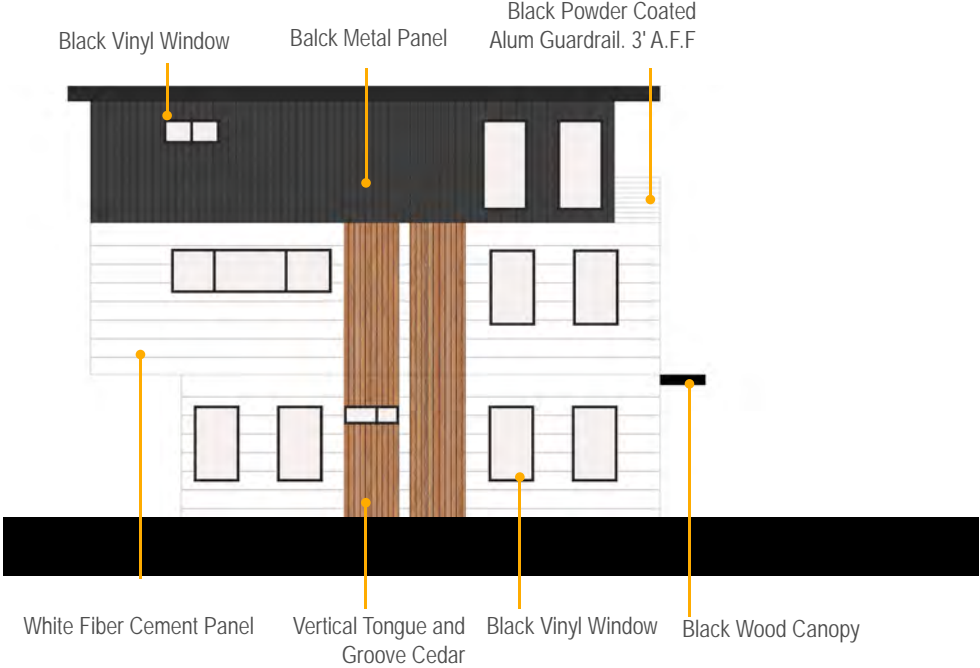
North Elevation



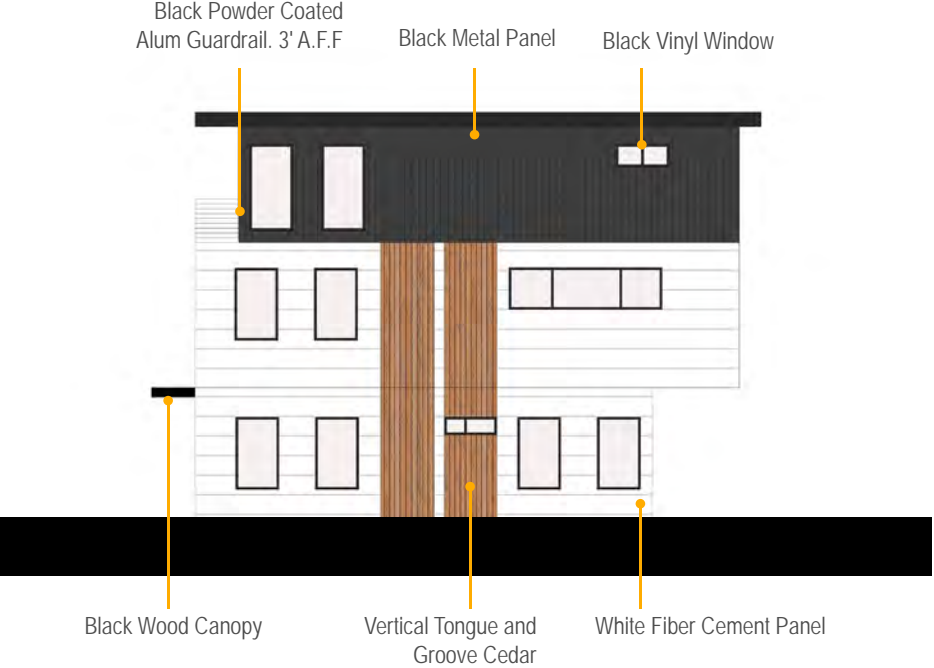
ELEVATIONS



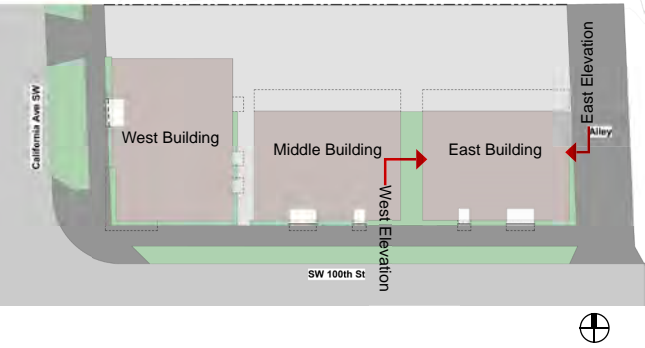
ELEVATIONS



East Building: West Elevation

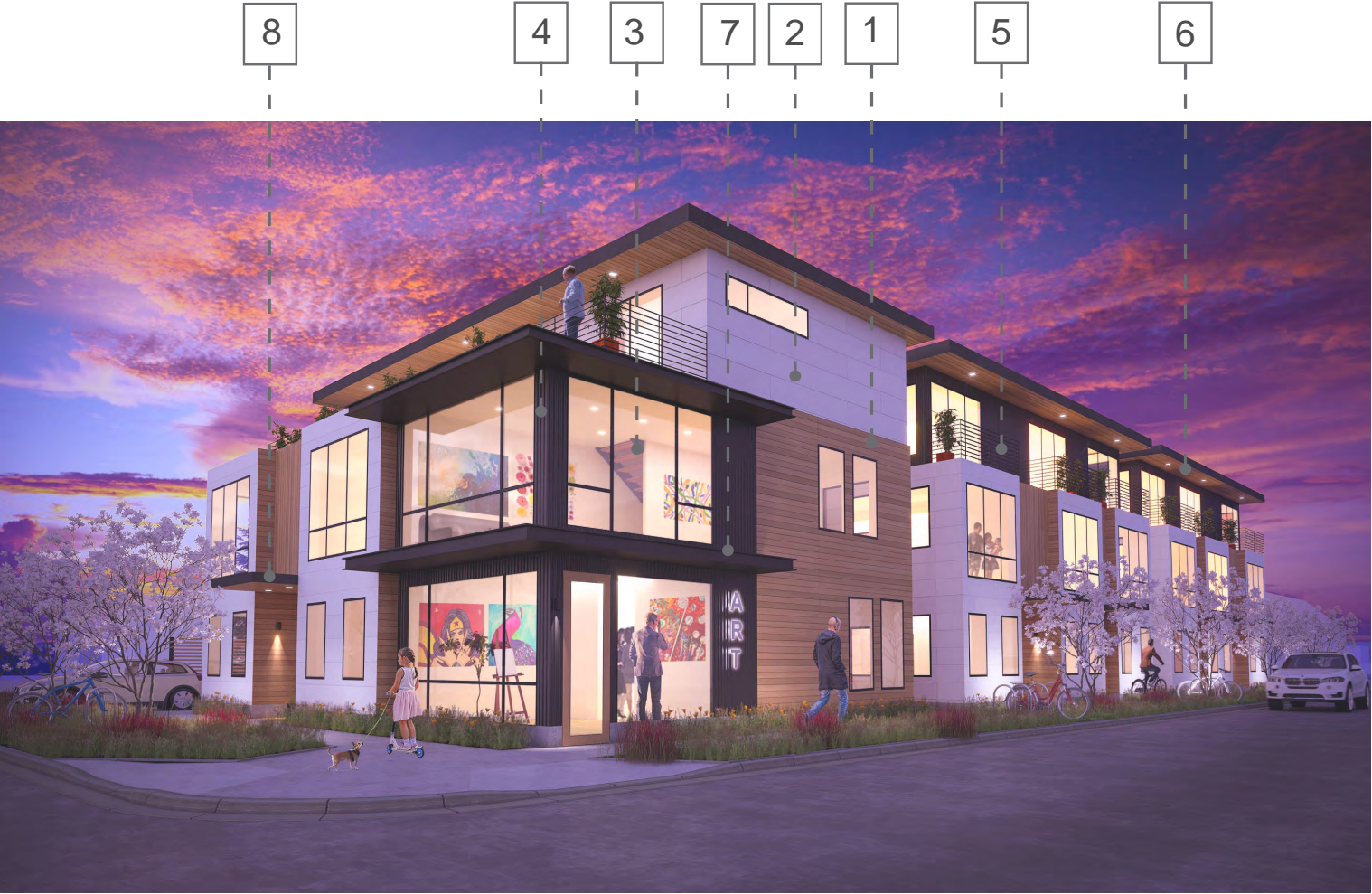


East Building: East Elevation



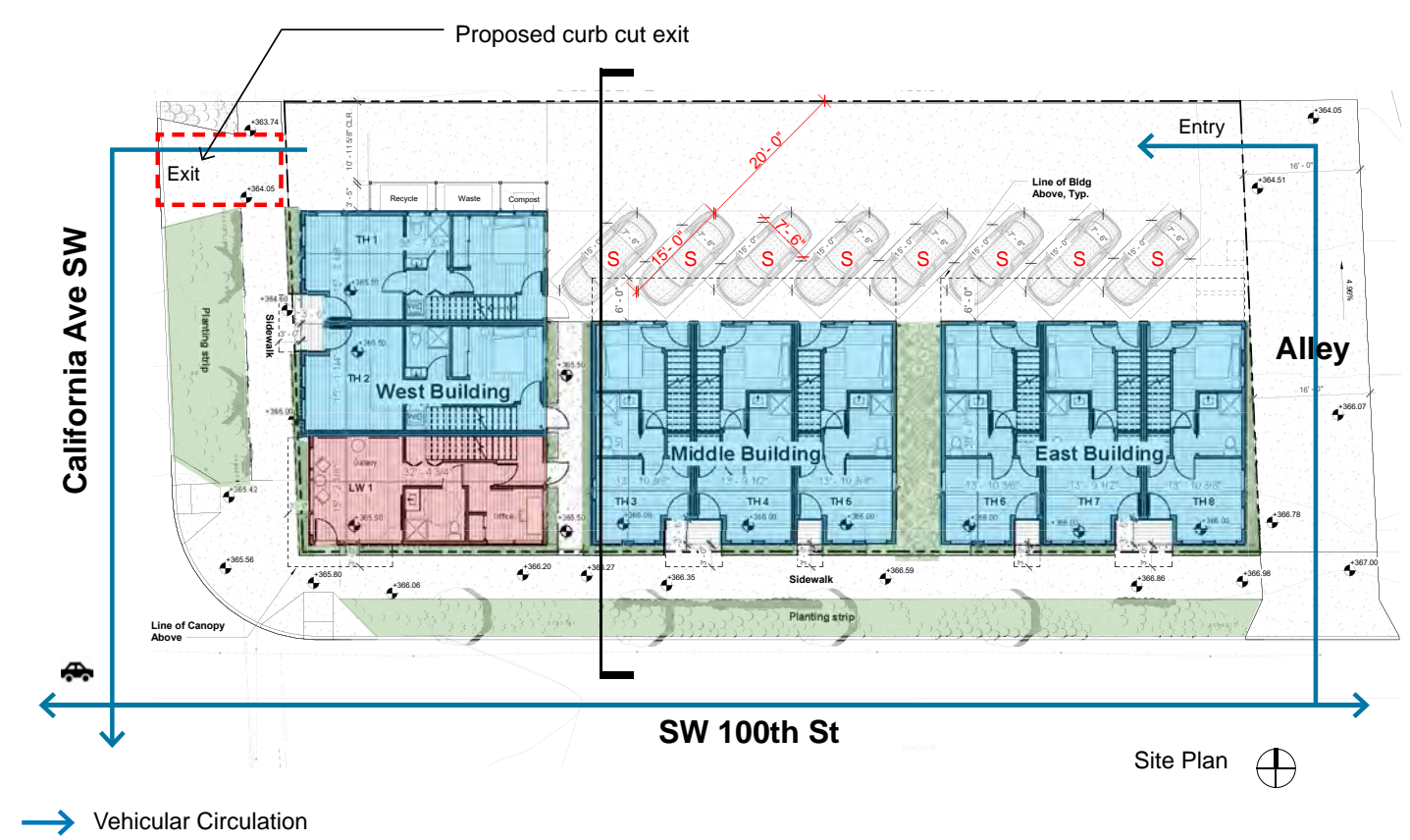
MATERIAL PALETTE

- 1 CLEAR-SEALED CEDAR RAINSCREEN ASSEMBLY, STAIN & SEAL ALL 6 SIDES PRIOR TO INSTALL
- 2 18" HORIZONTAL WHITE FIBER CEMENT PANEL, STAGGERED 8' VERTICAL PANEL JOINTS
- 3 BLACK VINYL WINDOW
- 4 BLACK METAL PANEL: S-CORRUGATED VERTICAL PANEL, 22 GAUGE MINIMUM
- 5 BLACK POWDER COATED ALUMINUM GUARDRAIL, 3' A.F.F TYP
- 6 CLEAR SEALED TONGUE & GROOVE CEDAR SOFFIT, STAIN & SEAL ALL 6 SIDES PRIOR TO INSTALL
- 7 BLACK METAL CANOPY: COMMERCIAL ENTRY
- 8 BLACK WOOD CANOPY WITH TONGUE & GROOVE CEDAR SOFFIT: RESIDENTIAL ENTRY



DEPARTURE REQUESTS

#	Departure Request	Code Requirements	Explanation for Departure
1	Departure requested for curb cut exit on California Ave SW for 1-way drive aisle vehicle exit.	SMC 23.47A.032.A.1: Access to parking shall be from the alley if the lot abuts an alley improved to the standards of subsection 23.53.030.C, or if the Director determines that alley access is feasible and desirable to mitigate parking access impacts. If alley access is infeasible, the Director may allow street access.	The proposed 1-way drive aisle vehicle exit on California Ave SW allows for more parking stalls on site since it is highly desirable in this neighborhood. There are 8 angled small parking stalls are proposed. Vehicles enter via the alley and exit through the proposed curb cut exit on California Ave SW, providing a generous radius for vehicles to turn. This 1-way drive aisle helps with safety and security of pedestrians as it prevents cars from driving back and forth on site. Additionally, the drive aisle is proposed as a permeable concrete surface to differ from the pedestrian pathways and provide additional security. (DC1-B-1)
2	Departure requested to allow small parking spaces (7.5' x 15') for the proposed project.	23.54.030.B1.B: When more than five parking spaces are provided, a minimum of 60 percent of the parking spaces shall be striped for medium vehicles. The minimum size for a medium parking space shall also be the maximum size. Forty percent of the parking spaces may be striped for any size, provided that when parking spaces are striped for large vehicles, the minimum required aisle width shall be as shown for medium vehicles.	Small parking spaces allow for more parking stalls on site and allow for the appropriate backup distance to get in and out of the site. Smaller parking stalls also allow for a waste staging area along the alley. (DC1-C-4)



With the curb cut exit on California Ave SW, 8 small parking stalls are provided in the motor court.

According to SDOT, this new curb alignment will not eliminate parking. SDOT cannot guarantee future curbside parking, but for now and near future SDOT does not see any reason to restrict curb side parking on this site.

The proposed parking stalls and drive aisle will be screen with a horizontal cedar slat fence from the adjacent property to the North.

The parking area will be well-lit at night well black metal soffit lighting fixtures and black metal wall-mounted lighting fixtures to provide security.

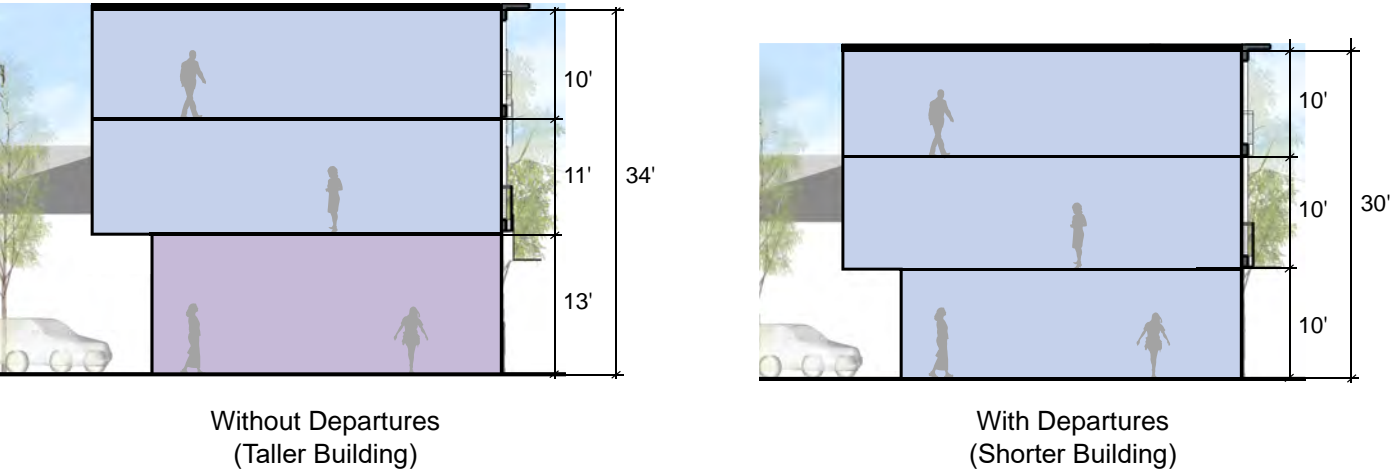


DEPARTURE REQUESTS

#	Departure Request	Code Requirements	Explanation for Departure
3	Departure requested for the floors of the dwelling units along California Ave SW and SW 100th St at less than the required minimum of 4 feet above/below sidewalk grade.	SMC 23.47A.008.D2: The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.	To keep the residential character of the surrounding context, the street-level floors of the units are placed at less than required minimum of 4 feet above/below sidewalk grade for both California Ave SW and SW 100th St. It is desirable to have the entrances as close to the sidewalk grade as possible to improve unit accessibility goals for the residents and allow for a reduced height of the proposed buildings. (PL3-B) The proposed entrances range from 1'-0" below the sidewalk grade to 1'-0" above the sidewalk grade. If now allowed, a viable townhouse configuration cannot be achieved and the entrances will not be accessible.
4	Departure requested for units with residential uses that occupy more than 20% of the street-level street-facing facade.	SMC 23.47A.005.C1: Residential uses at street level in NC and C (Commercial) zones, may occupy no more than 20 percent of the street-level street-facing facade.	In respect to the site's surrounding residential context, the project is proposing eight townhouse units and one live-work unit. (CS3-A-1) This reduces the amount of proposed commercial activity since the surrounding context consists primarily of single family houses. This departure also eliminates commercial design standards which require additional height. It is important to reduce the overall height to better respect the adjacent existing structures.
5	Departure requested to allow reduced floor to floor height for L-W unit to match TH heights at L1.	SMC 23.47A.008.B4: Height provisions for new structures or new additions to existing structures. Non-residential uses at street-level shall have a floor to floor height of at least 13 feet.	This allows for a reduced ceiling height of the Live-Work at L1, therefore, reducing the overall scale and height of the building to better respect the surrounding context. (CS2-D-1) The diagram below shows that this departure allows for a building that is 4'-0" shorter.



The proposed residential entries along SW 100th St and California Ave SW are close to the sidewalk grade to reduce the overall height of each building and improve unit accessibility goals for the residents.



LIGHTING PLAN



LIGHT TYPES

1



Soffit Lighting Fixture



2



Black Landscape Metal Lighting Fixture



3



Black Wall-Mounted Metal Lighting Fixture



EXISTING SHADOW STUDY

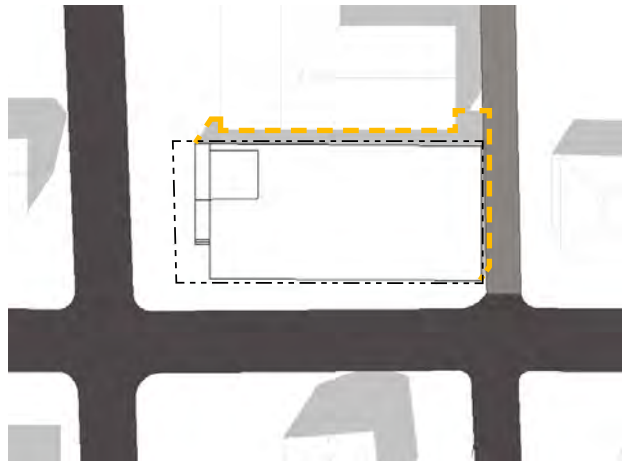
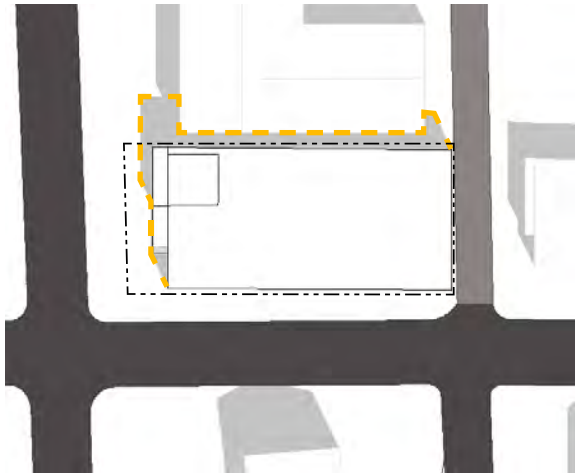
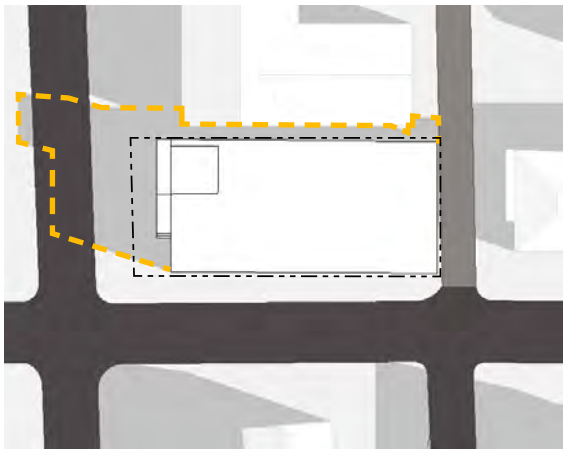
9:00 am

12:00 pm

3:00 pm

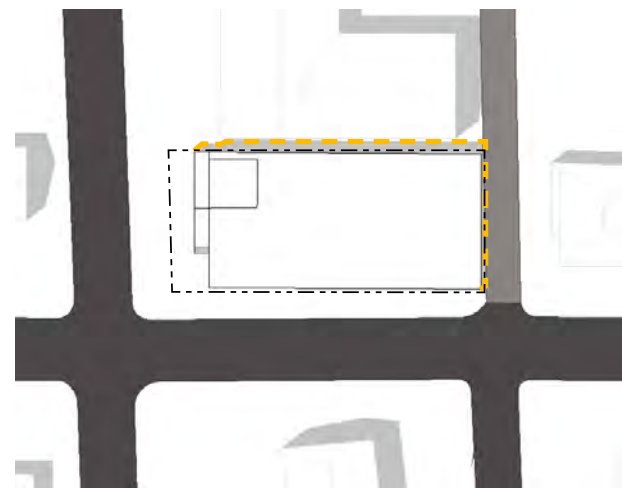
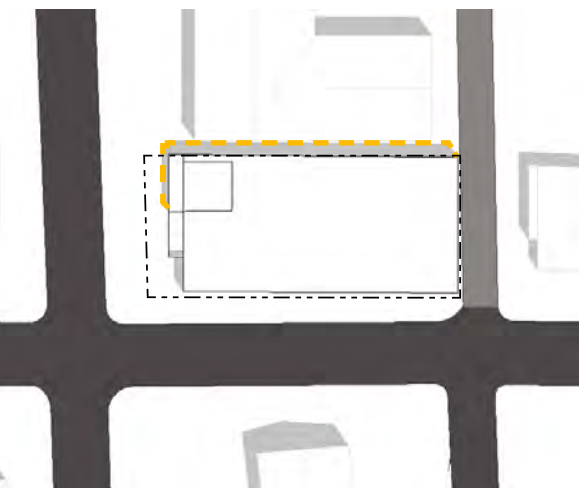
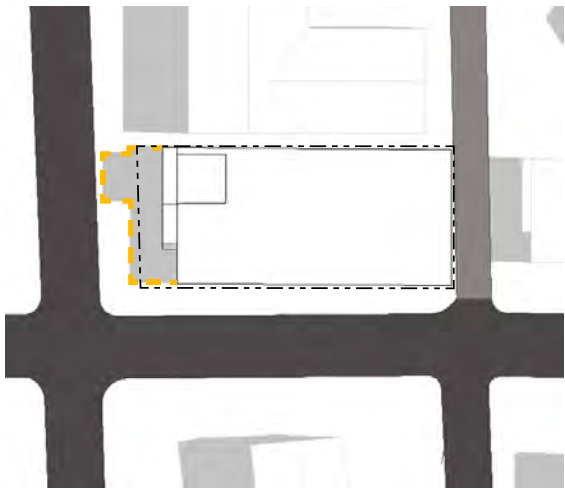
March 21

(Vernal/ Autumnal Equinox)



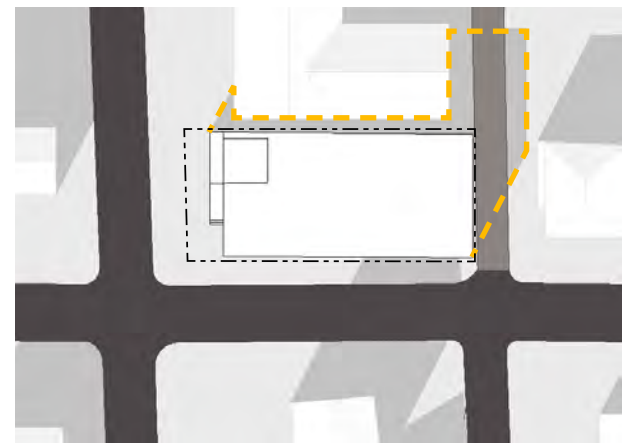
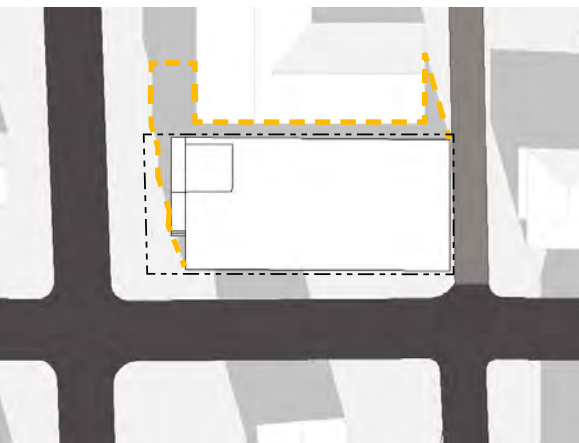
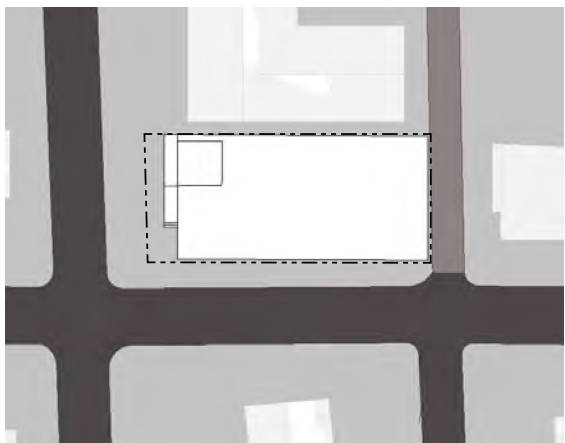
June 21

(Summer Solstice)



December 21

(Winter Solstice)



SHADOW STUDY

9:00 am

12:00 pm

3:00 pm

March 21

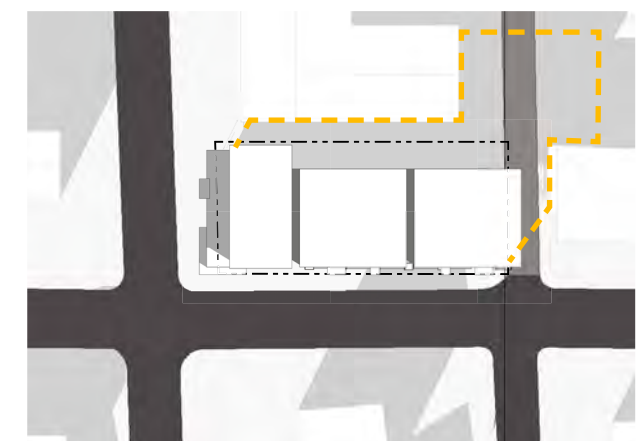
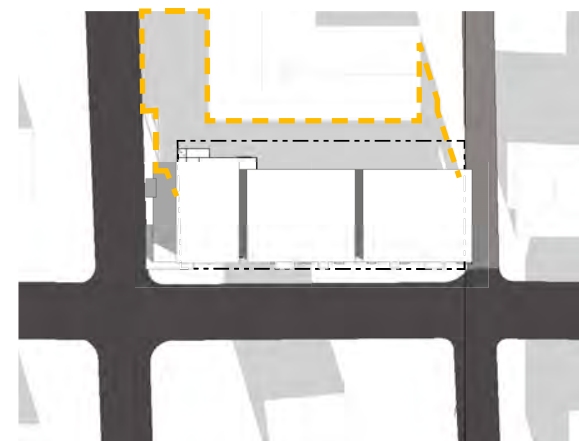
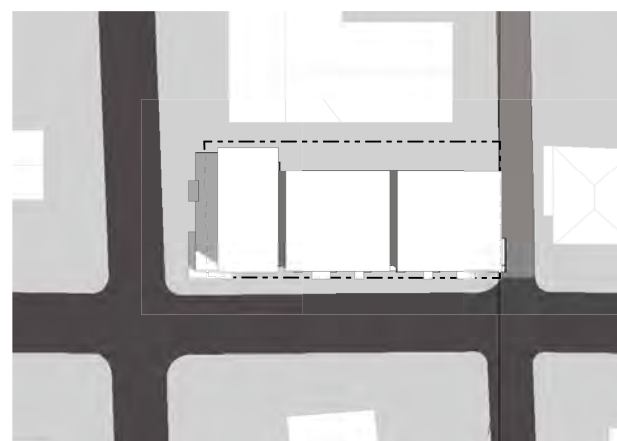
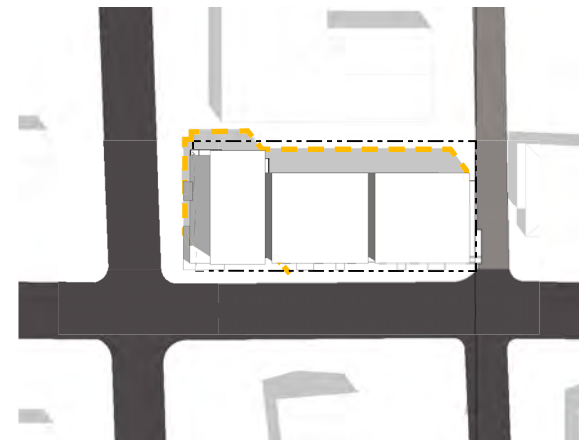
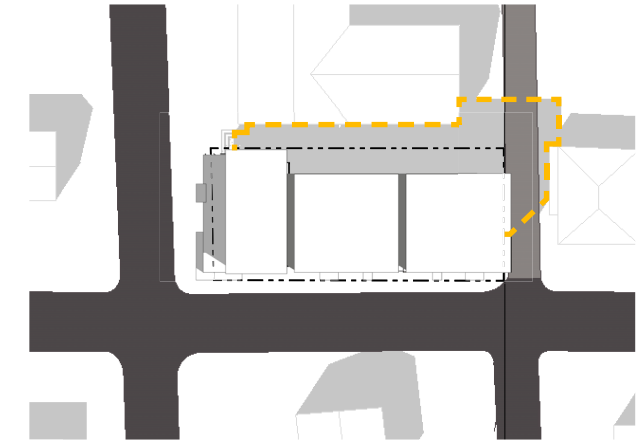
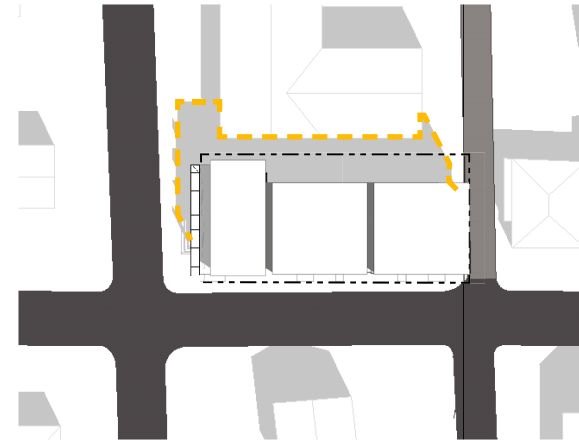
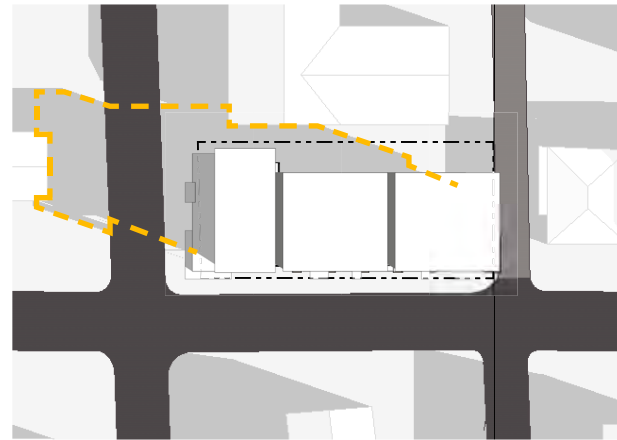
(Vernal/ Autumnal Equinox)

June 21

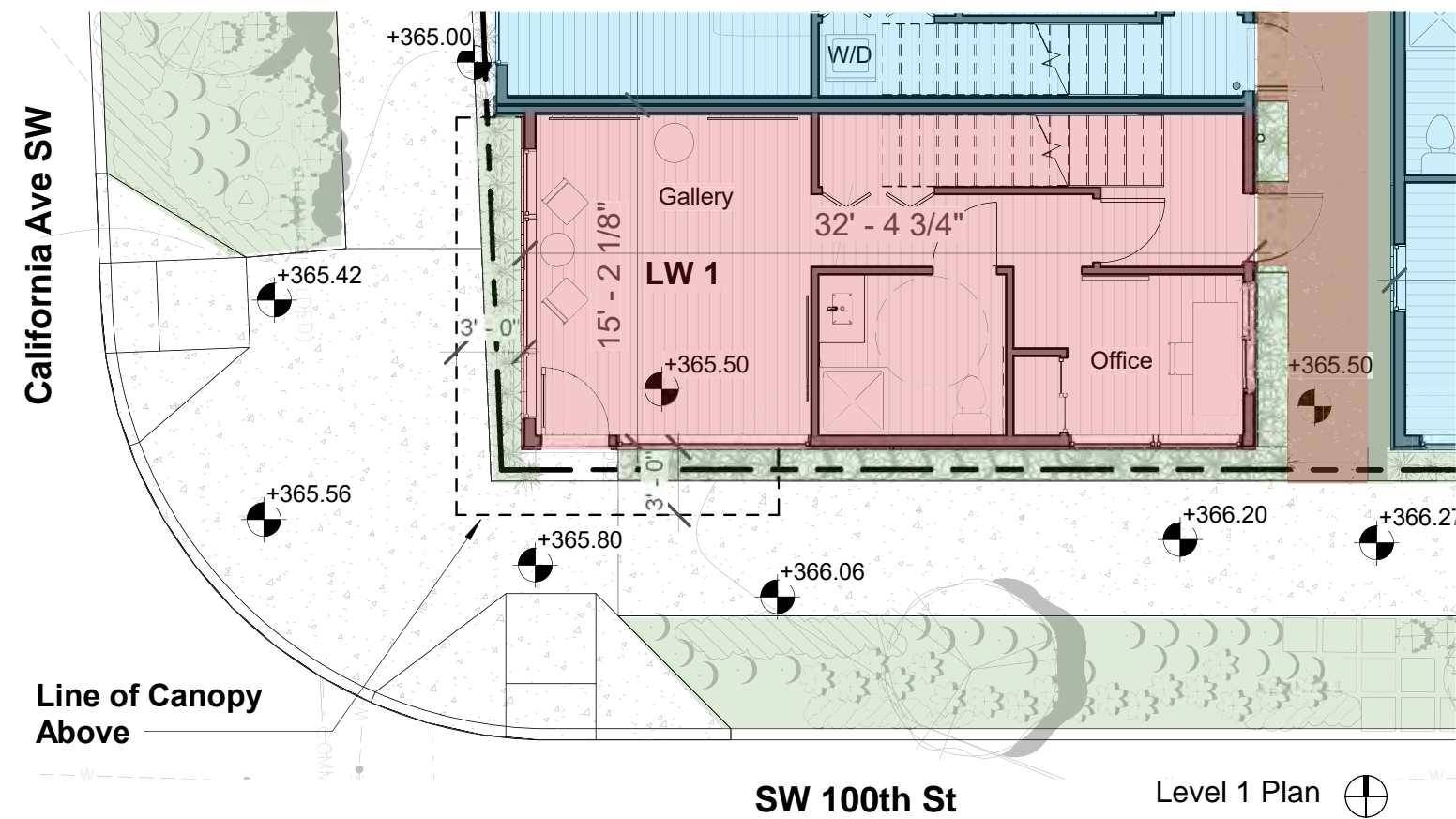
(Summer Solstice)

December 21

(Winter Solstice)



LIVE-WORK ART GALLERY



Section Perspective



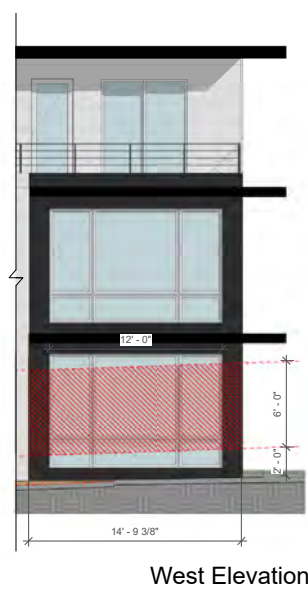
Looking NW

LIVE-WORK ART GALLERY



TRANSPARENCY DIAGRAM
South Elevation

South Elevation
Area of the Facade between 2' and 8' above the sidewalk = 196.3 sf
Area of the Openings between 2' and 8' above the sidewalk = 119.81 sf
Percentage of Transparency= 61%, (Allowed 60%, Complies)



West Elevation
Area of the Facade between 2' and 8' above the sidewalk = 88.74 sf
Area of the Openings between 2' and 8' above the sidewalk = 72.04 sf
Percentage of Transparency= 82%, (Allowed 60%, Complies)

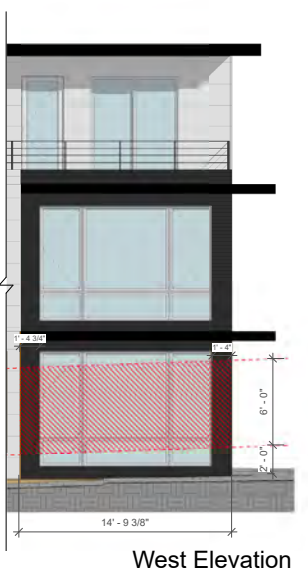


Looking NE

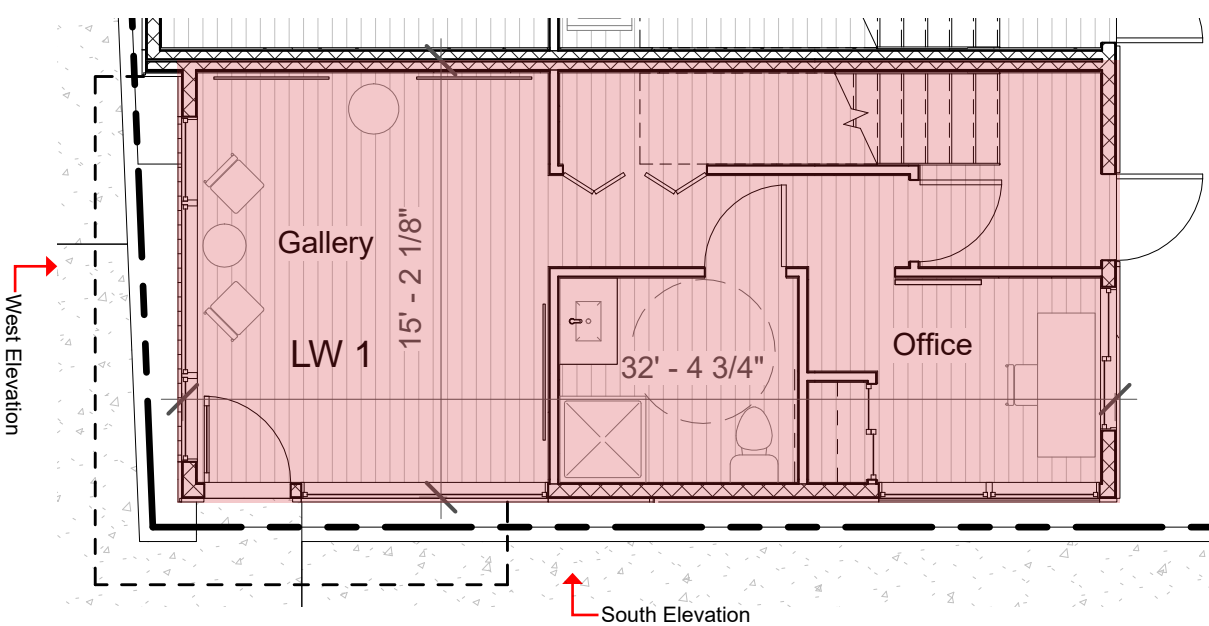


BLANK FACADE DIAGRAM
South Elevation

South Elevation
Area of the Facade between 2' and 8' above the sidewalk = 196.3 sf
Area of the Blank Facade between 2' and 8' above the sidewalk = 76.49 sf
Percentage of Blank Facade= 39%,
(Allowed 40% Max, All <20' Wide, Complies)



West Elevation
Area of the Facade between 2' and 8' above the sidewalk = 88.74 sf
Area of the Blank Facade between 2' and 8' above the sidewalk = 16.7 sf
Percentage of Blank Facade= 18%,
(Allowed 40% Max, All <20' Wide, Complies)



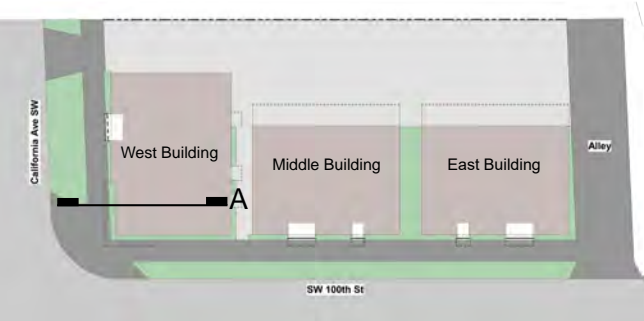
Required: 30' Depth for Non-Residential Uses
Proposed: 32'-4", (Complies)

DEPTH OF STRUCTURE DIAGRAM

STREET LEVEL RELATIONSHIPS



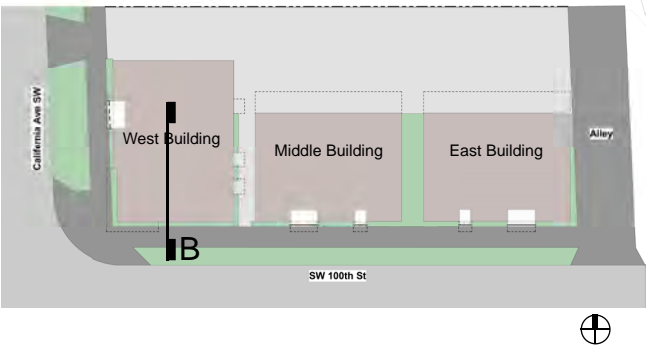
Street Section A: LW1 Unit
California Ave SW



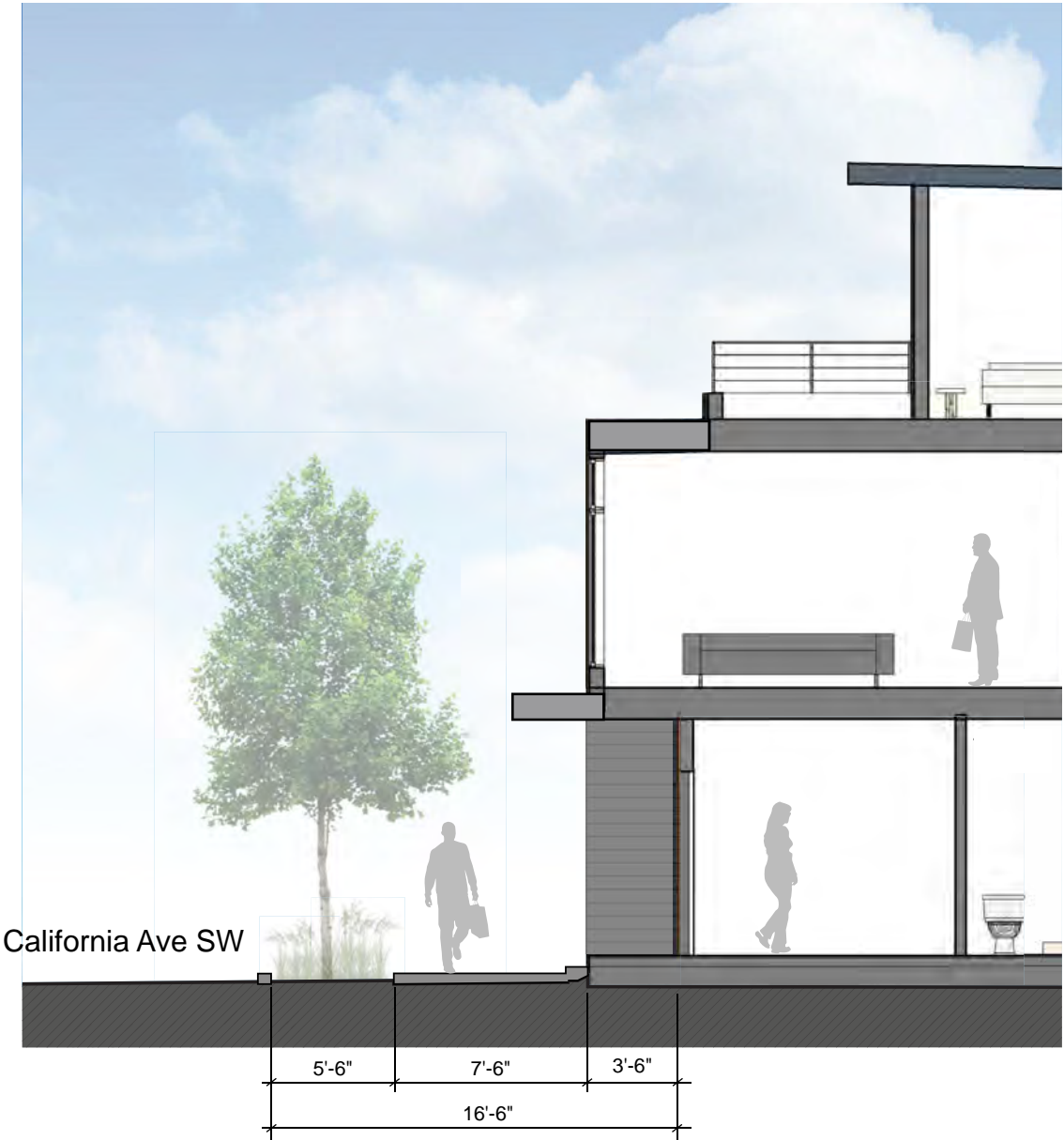
STREET LEVEL RELATIONSHIPS



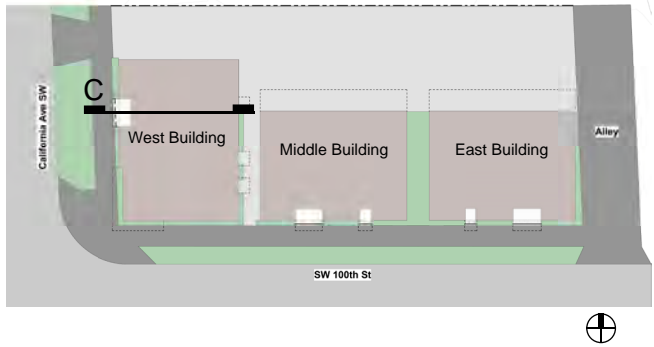
Street Section B: LW1 Unit
SW 100th St



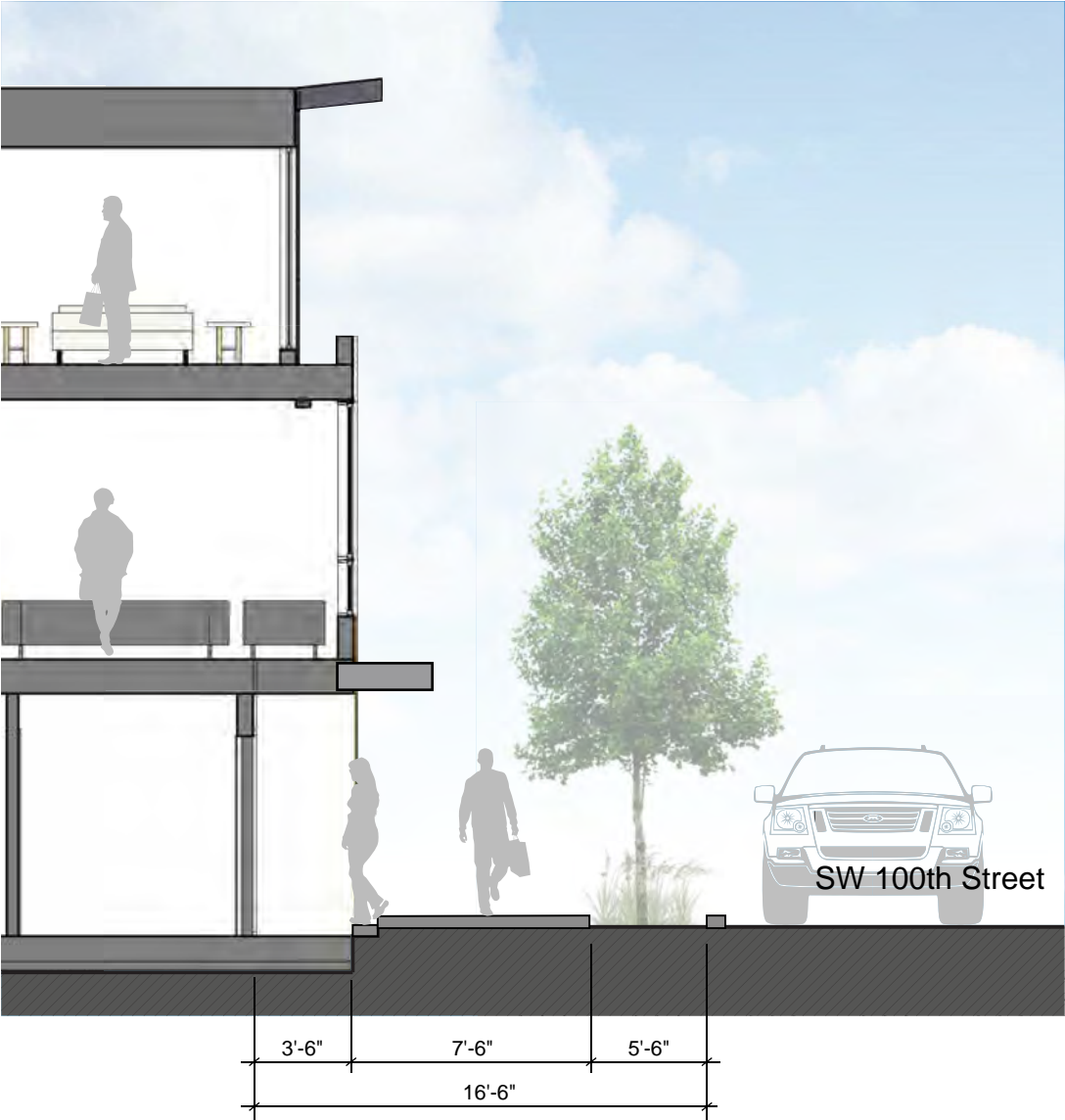
STREET LEVEL RELATIONSHIPS



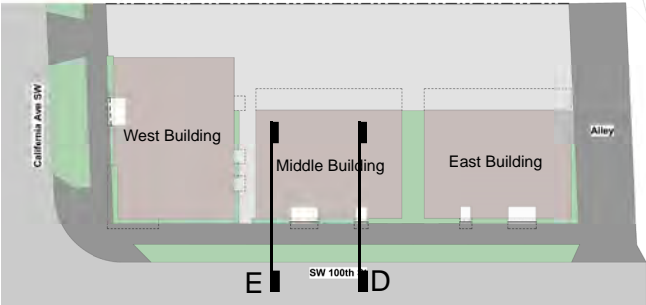
Street Section C: TH1 & TH2 Unit Entries



STREET LEVEL RELATIONSHIPS



Street Section D: Middle Building Entry
SW 100th St



Arbor Heights
4220 SW 100th Street
SDCI # 3025192



Street Section E: Middle Building
SW 100th St

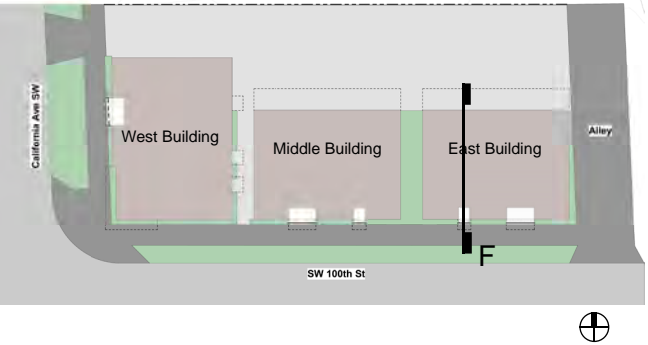


Street Level Relationships
Design Recommendation

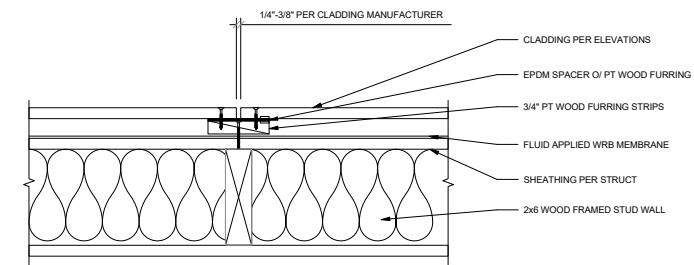
STREET LEVEL RELATIONSHIPS



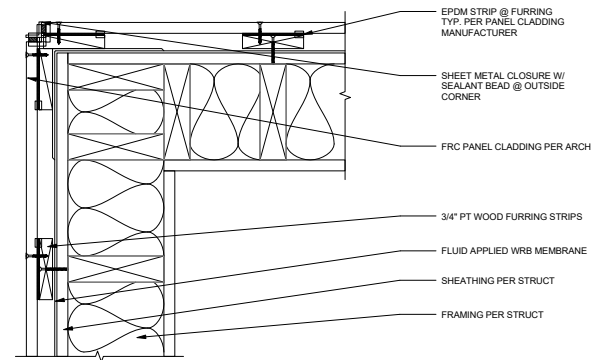
Street Section F: East Building Entry
SW 100th Street



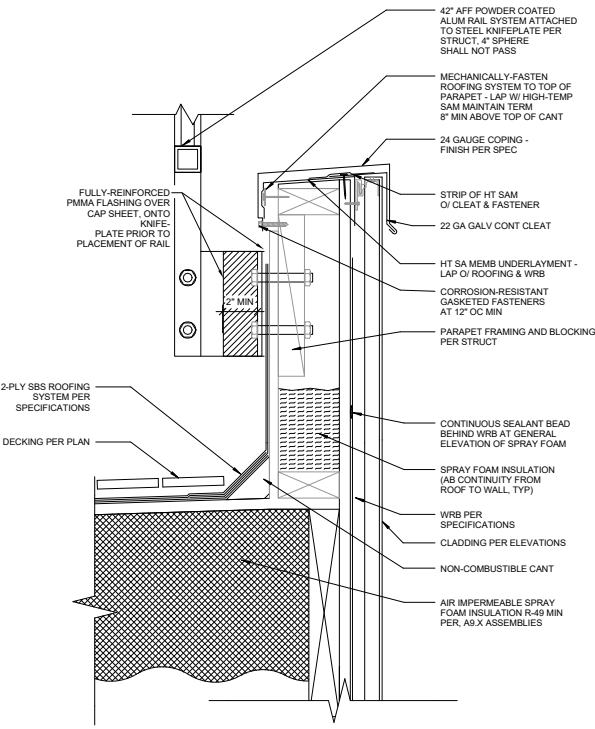
DETAILS



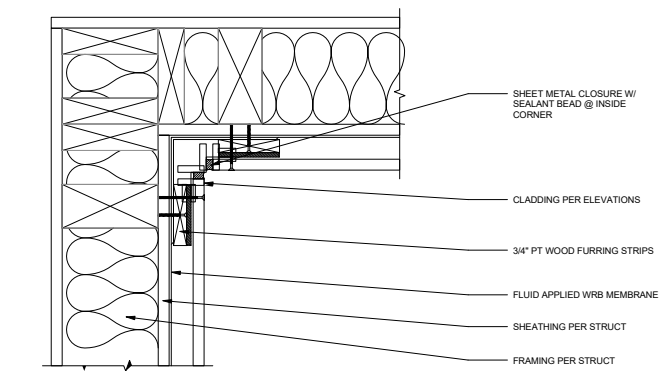
1 Ext Wall - FRC Panel Vertical Joint
3" = 1'-0"



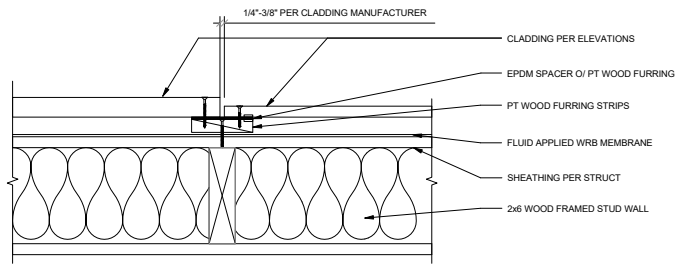
2 Ext Wall - FRC Panel @ Outside Corner
3" = 1'-0"



2 Roof - Guard Rail at Parapet, Typ
3" = 1'-0"



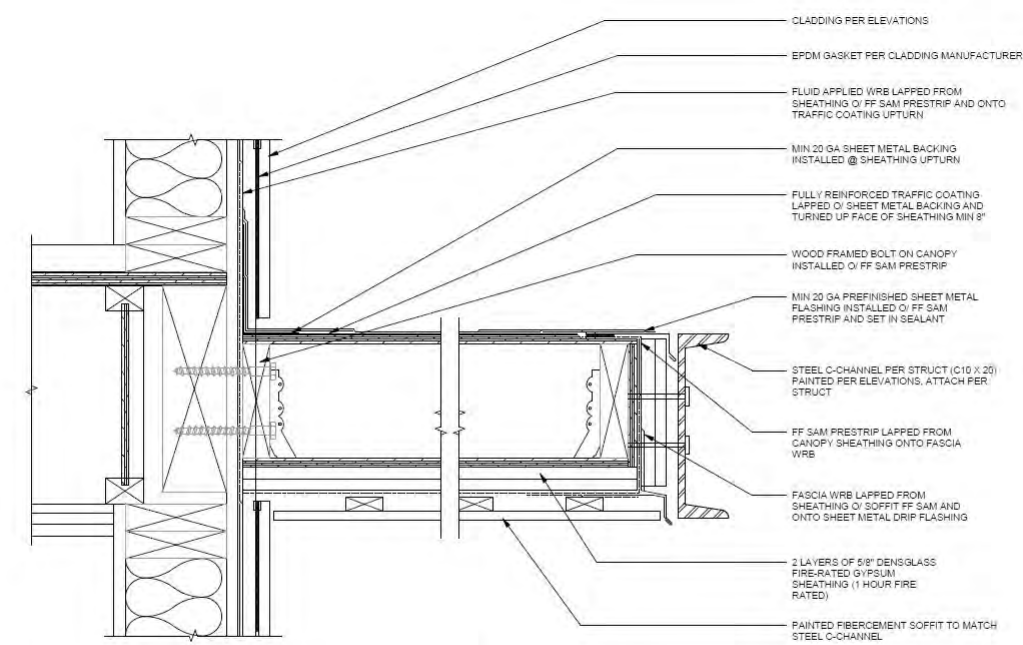
3 Ext Wall - FRC Panel @ Inside Corner
3" = 1'-0"



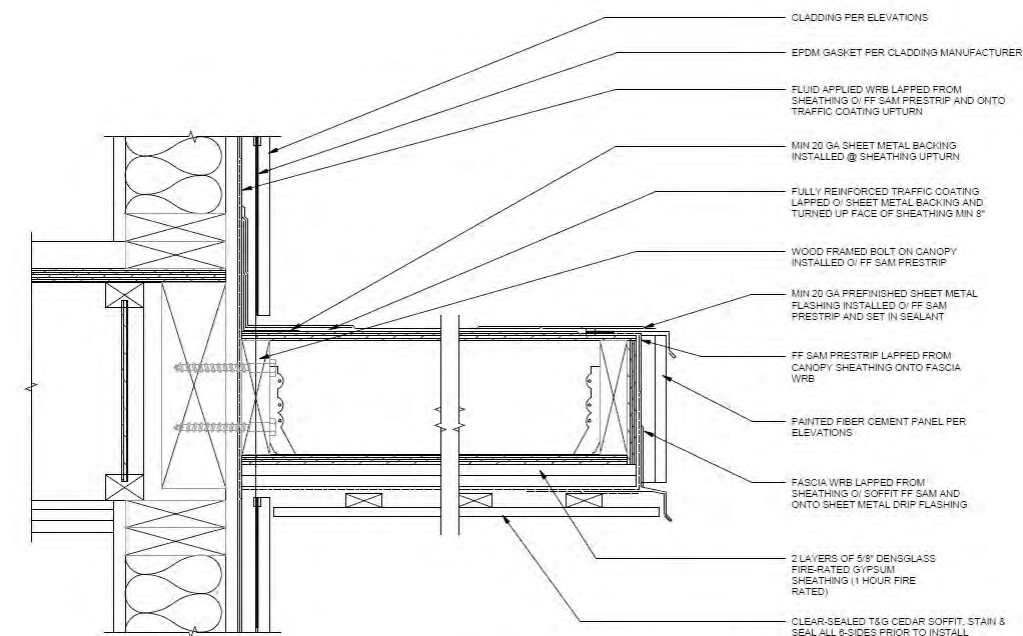
5 Ext Wall - FRC Panel Material Transition Vertical Joint
3" = 1'-0"



DETAILS



2 Ext Wall - LW Unit Canopy at Street, Typ
3" = 1'-0"



3 Ext Wall - TH Unit Canopy at Street w/ 1hr Rating, Typ
3" = 1'-0"



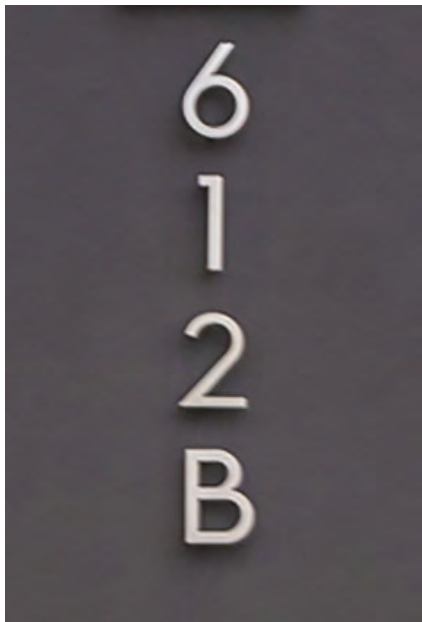
DETAILS



BLACK METAL MAILBOXES



HORIZONTAL 2 X 2 CEDAR FENCE AT NORTH PROPERTY
LINE SPACED AT 4" O.C. WITH VERTICAL STEEL POSTS



STAINLESS STEEL UNIT ADDRESS
SIGNAGE ABOVE DOORS



3" BENT GALVANIZED STEEL BICYCLE RACKS



WASTE AREA SCREENED WITH
HORIZONTAL CLEAR SEALED CEDAR
SLATS























