

# #3024585-LU

412 NW 65TH ST RECOMMENDATION PACKET





ADDRESS

412 NW 65TH ST  
SDCI# 3024585-LU

PROJECT TEAM

OWNER 47 NORTH, LLC  
ARCHITECT SHW, LLC  
SURVEYOR GeoDimensions, inc.

PROJECT INFO

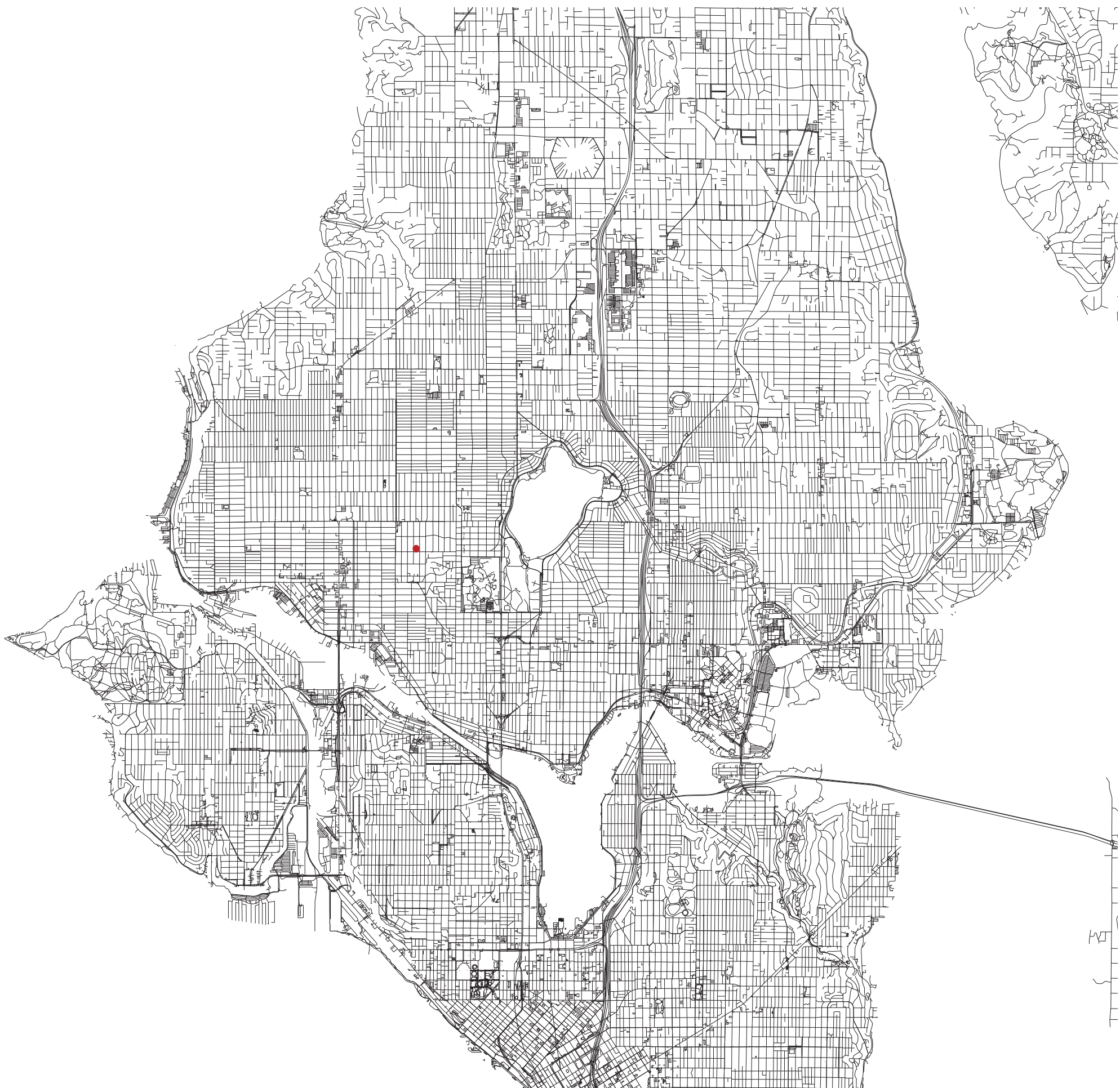
ZONING NC2P-30  
LOT SIZE 10,000 sf  
FAR 2.5  
ALLOWABLE FAR 25,000 sf  
PROPOSED FAR 15,108 sf  
PROPOSED UNITS 9  
LIVE/WORK UNITS 3  
COMMERCIAL GFA 2,740 sf  
PARKING STALLS 9  
BICYCLE PARKING 12

PROJECT DESCRIPTION

The project involves demolishing an existing commercial structure and constructing a new commercial, live-work, and apartment building.

INDEX

PROJECT INFO / PROPOSAL	II
VICINITY & ZONING ANALYSIS	1-2
ADJACENCIES & CIRCULATION	3
SURVEY & EXISTING SITE CONDITIONS	4-5
CONSTRAINTS	6-7
EDG SUMMARY	8-10
BOARD GUIDANCE & RESPONSE	11
PROJECT RENDERINGS	12-13
PLANS	14-15
ELEVATIONS	16-19
INTERIOR ELEVATIONS	20-22
SECTIONS	23
CONCEPT DEVELOPMENT	
MASSING & PROGRAM LEGIBILITY	24
MATERIALITY & COMPOSITION	25
RESIDENTIAL EDGES	
ADJACENCIES ALONG EAST PROPERTY LINE	26
ADJACENCIES ALONG NORTH PROPERTY LINE	27
PEDESTRIAN EXPERIENCE	
RESIDENTIAL ENTRIES	28
COMMERCIAL ENTRIES	29
LIVE/WORK ENTRIES	30
SITE SECURITY & SAFETY	
VEHICLE & TRASH ACCESS	31
LIGHTING PLAN	33
LANDSCAPE	34-35
DEPARTURES	36-39
RECENT WORK	40





# VICINITY ANALYSIS



The NW 65th St neighborhood offers a variety of commercial, restaurant, and shopping opportunities for residents. The project site is located between the Ballard and Greenwood/Phinney Ridge Urban Villages. It is situated on an active retail and business strip, with nearby public transportation options available (buses and car sharing). This portion of NW 65th St is a popular and dynamic area that will continue to grow in the future.

## LEGEND

- Phinney Ridge/ Ballard Urban Center Village
- Neighborhood Boundary



ZONING

This site is zoned NC2P-30, and is adjacent to SF 5000 and LR2-RC at the north and east of the property.

NC2 zoning: "A moderately sized pedestrian oriented shopping area that provides a full range of retail sales and services to the surrounding neighborhood." (SDCI Handout)

P zoning: "P designations are applied to NC and zones along pedestrian-oriented commercial streets." (SDCI Handout)

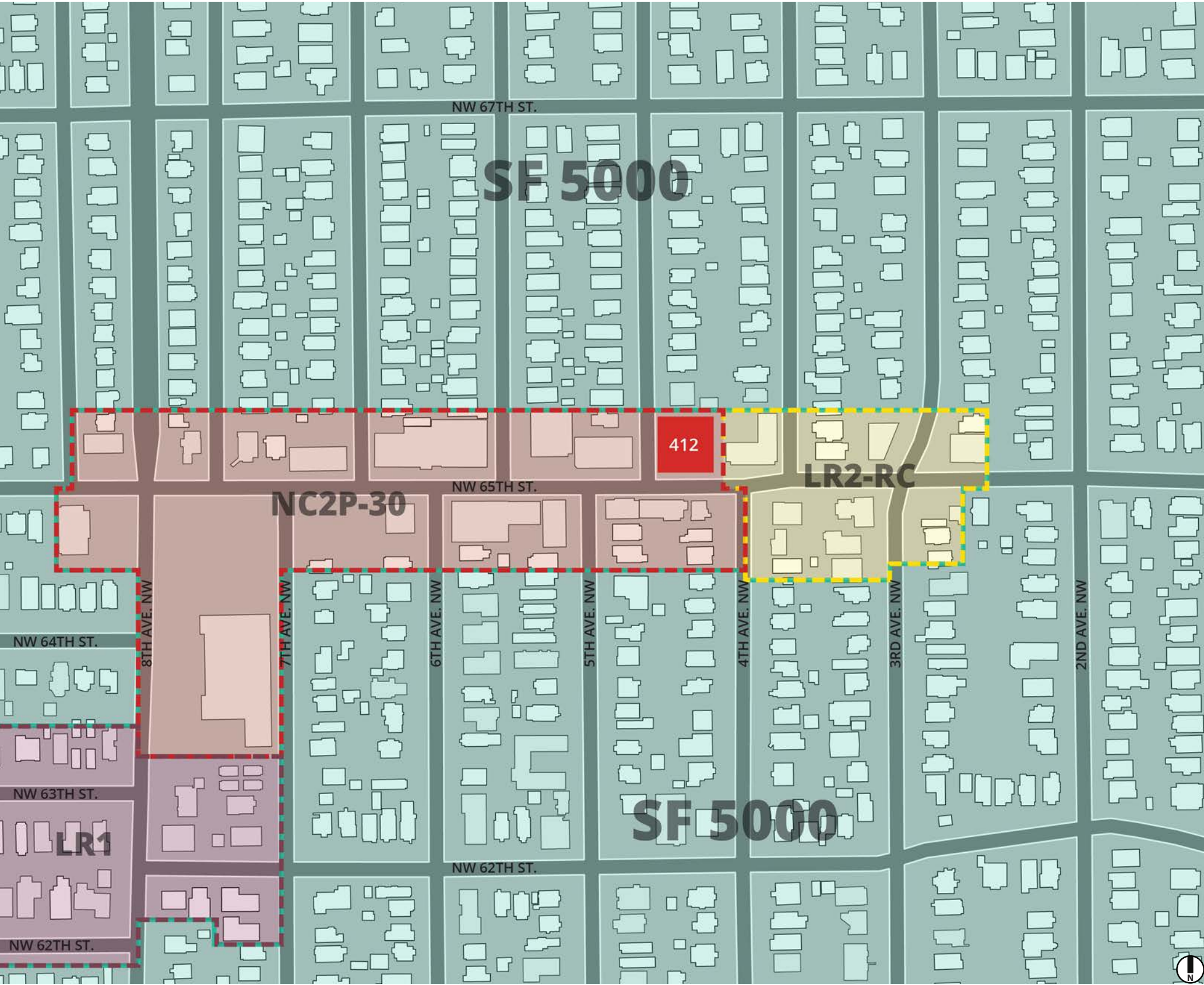
ZONING

NC2P-30

LR2-RC

LR1

SF5000



ADJACENCIES / CIRCULATION

The immediate vicinity of the site is dominated by commercial usages such as restaurants, bars, shops, and light industrial and service businesses. Surrounding this area are single family structures with a small amount of multifamily buildings. This portion of NW 65th St is a moderately busy arterial street connecting Phinney Ridge to Ballard, and sits in a valley just west of Phinney Ridge. The street grid shifts between 3rd Ave NW and 8th Ave NW, creating a sawtooth condition with 3 sided intersections along NW 65th St. Bus route #28 and #994 are readily available for public transportation options, with the #5 bus nearby on Phinney Ave N. Car-sharing is available from Zipcar.



**TPOLOGY**

- SINGLE FAMILY
- DUPLEX/TRIPLEX
- MULTI-FAMILY
- MIXED USE
- COMMERCIAL
- Religious
- Parking
- Vacant Lot

**CIRCULATION**

Walk Score 82

Transit Score 45

Bike Score 75

- Major Arterial
- Minor Arterial
- Dedicated Bike Lane
- Transit Route
- Designated Bus Stop
- Zipcar Locations
- City Owned Bike Racks



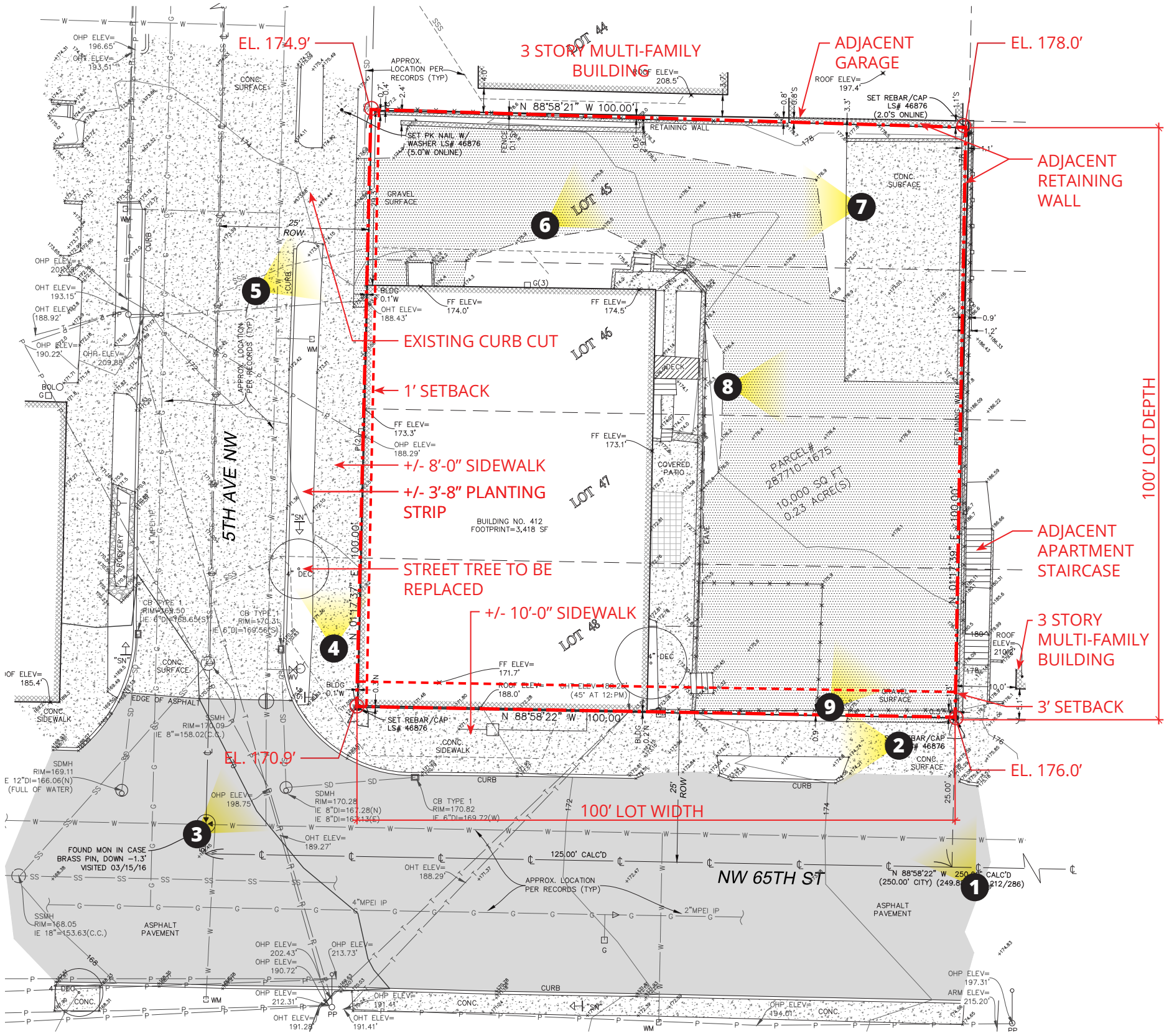
SURVEY

The site is located on the corner of NW 65th St and 5th Ave NW. It includes a 1 story commercial building on the corner and empty space used mostly as a parking lot. A retaining wall approximately 10 feet high is located on the north of property line, with a smaller wall and out-building to the north. The topography of the site slopes up from the southwest corner to the northeast corner. A 3 foot setback along NW 65th St. and a 1 foot setback on 5th Ave. NW are required. One curb cut off of 5th Ave. NW and two curb cuts off NW 65th St. access the site. A small planting strip approximately 3 to 4 feet wide runs along portions of NW 65th St. and the entirety of 5th Ave. NW.

LEGAL DESCRIPTION

TAX PARCEL NO. 2877101675  
LOTS 45 TO 48, INCLUSIVE, BLOCK 7, GREEN LAKE CIRCLE RAILROAD ADDITION TO THE CITY OF SEATTLE, AS PER PLAT. RECORDED IN VOLUME 2 OF PLATS, PAGE 170, RECORDS OF KING COUNTY: SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON. COMMONLY KNOWN AS 412 NW 65TH STREET, SEATTLE, WASHINGTON, 98117.

Surveyor: GeoDimensions Date: 03/22/16



--- PROPERTY LINE



EXISTING SITE CONDITIONS





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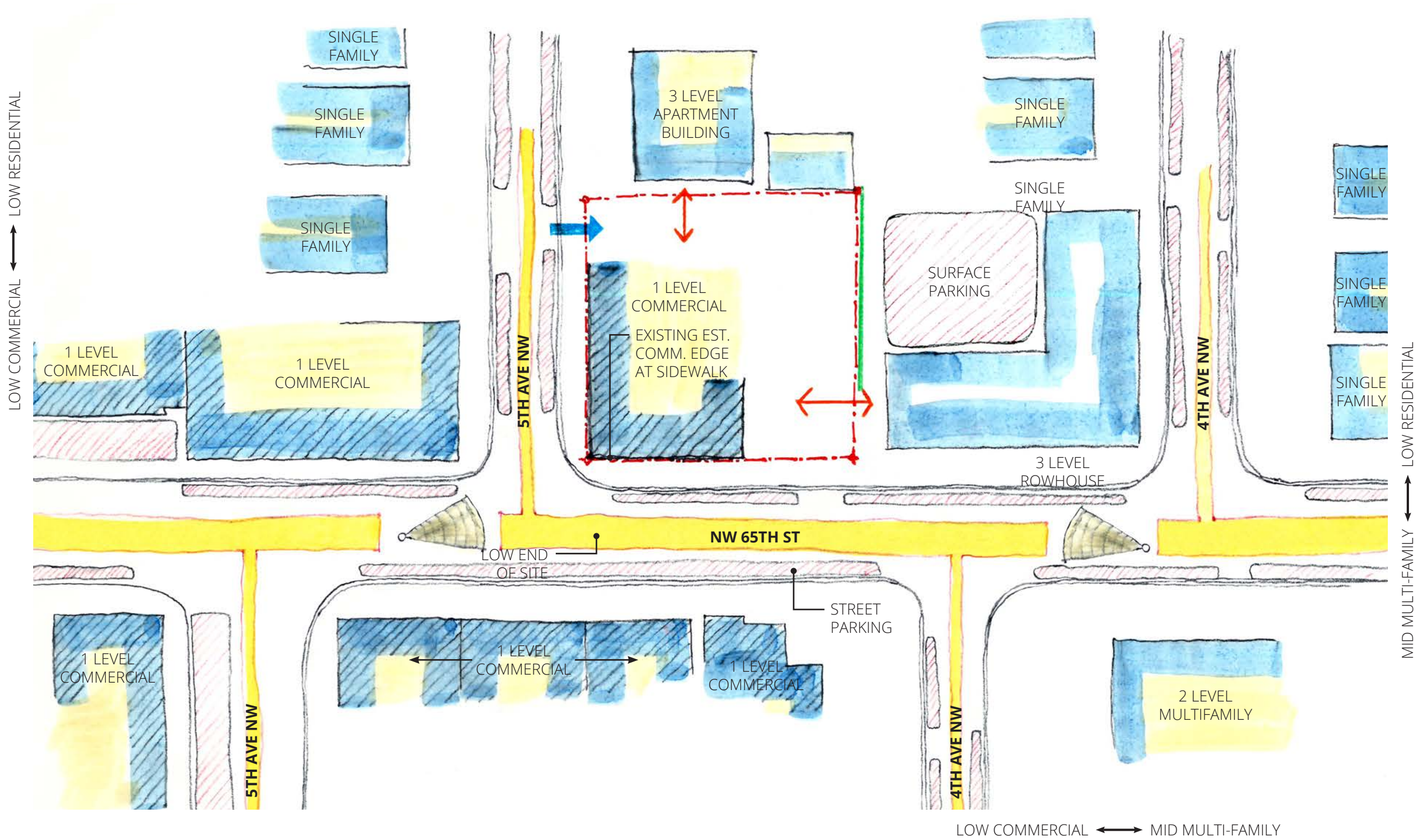


SITE RESPONSE

- Visible corner on commercial street.
- Good pedestrian scale and amenities in area.
- Several scale and zone transitions with SF5000, LR2, and NC-2.
- Project to emphasize commercial character and to scale down appropriately to the residential buildings to the north.

DIAGRAM LEGEND

- PARKING
- PRIMARY VIEWPOINT
- TRAFFIC INTENSITY
- POTENTIAL WINDOW OVERLAP
- ENTRY POINT
- RETAINING WALL
- CHARACTER TRANSITION LINE





SCHEME SUMMARY

SCHEME A

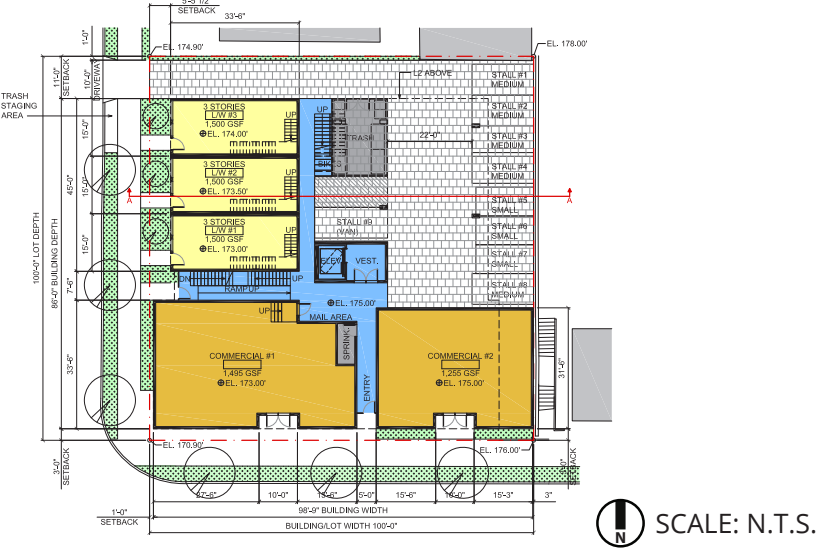
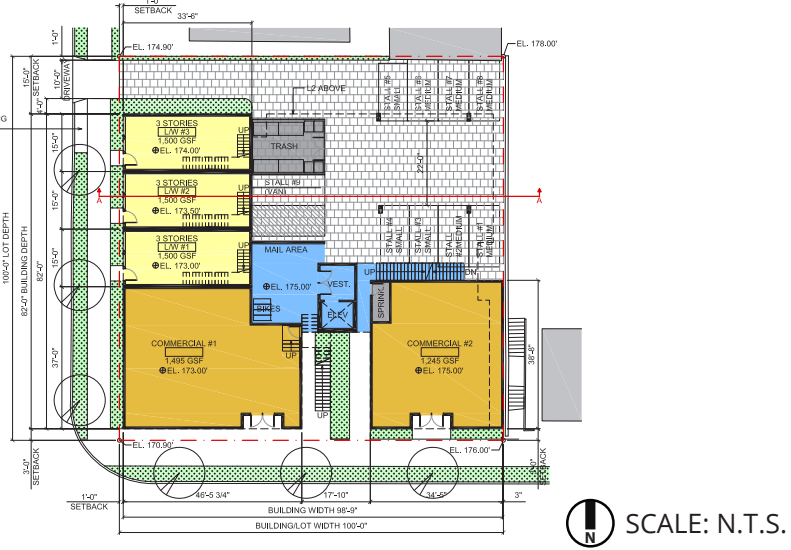
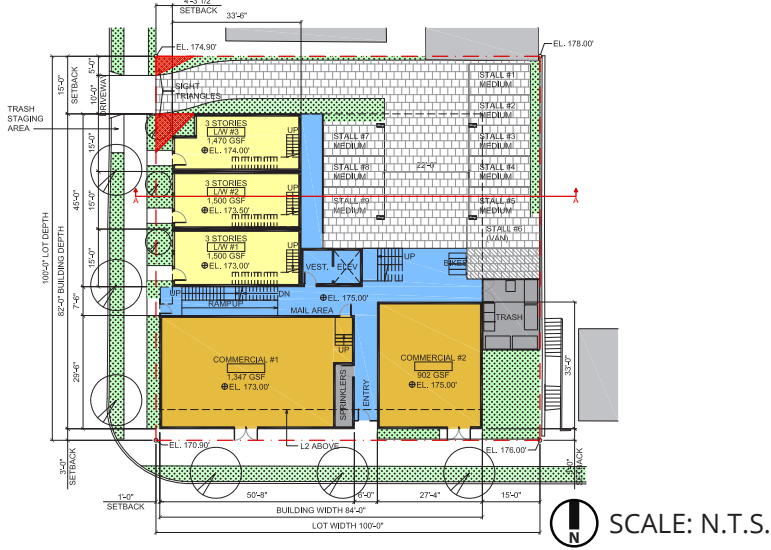
SCHEME B

SCHEME C (PREFERRED)

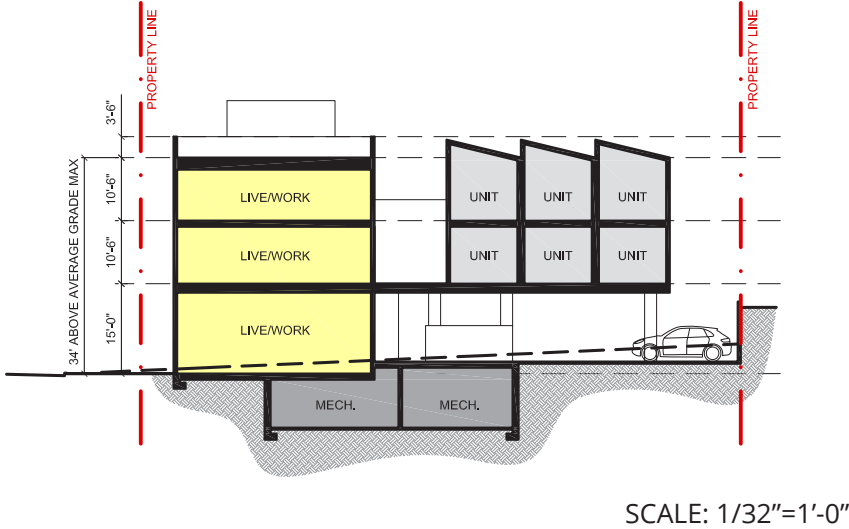
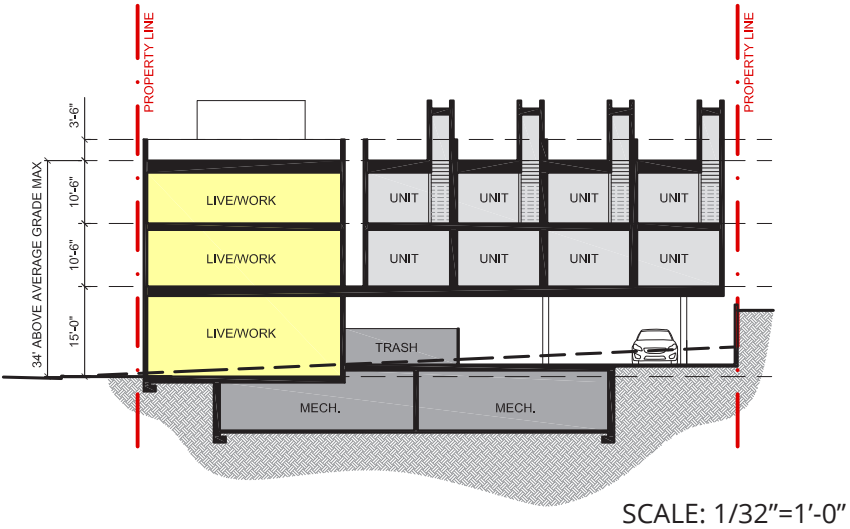
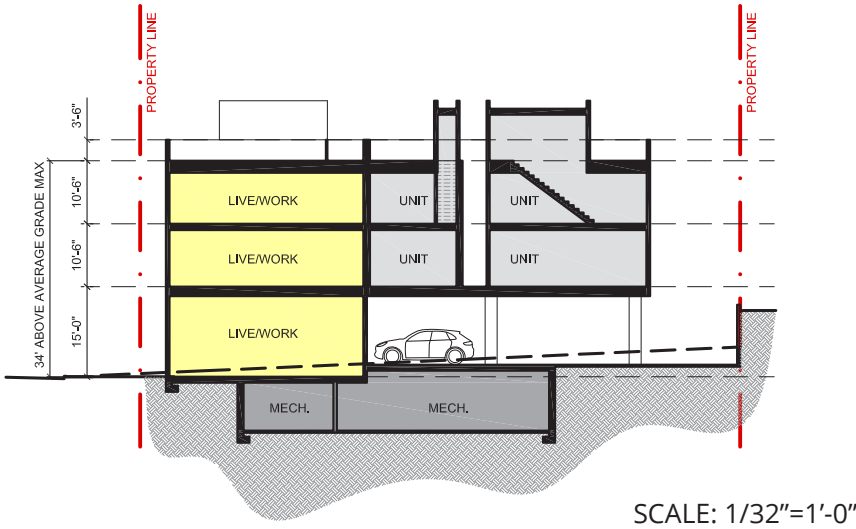
AERIAL PERSPECTIVE



SITE PLAN



SECTION





EDG PERSPECTIVES: SCHEME C: NARROW + ARTICULATED (PREFERRED)

\*Street trees and canopies not shown for clarity



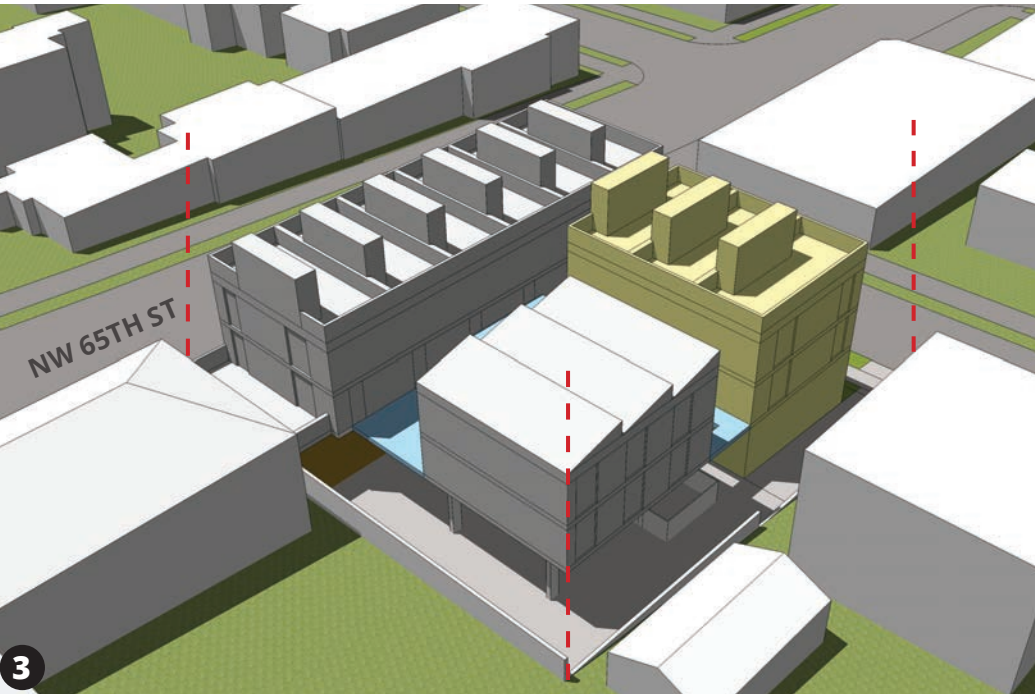
PERSPECTIVE LOOKING AT SOUTHWEST CORNER



PERSPECTIVE LOOKING AT NORTHWEST CORNER

BOARD COMMENTS OF SUPPORT:

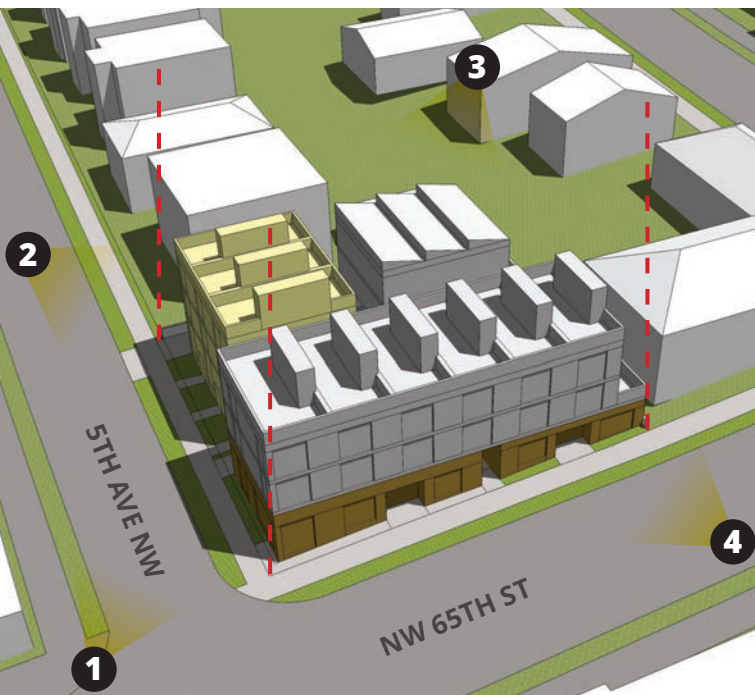
- THE BOARD VOICED UNANIMOUS SUPPORT FOR THE PREFERRED DESIGN OPTION C
- THE BOARD STATED THAT THE DESIGN SHOULD MAKE AN EFFECTIVE TRANSITION TO THE SINGLE-FAMILY ZONED PROPERTY TO THE NORTH AND LOW-RISE ZONED PROPERTY TO THE EAST
- THE BOARD APPRECIATED THE GENEROUS SETBACK OF THE PROPOSED LIVE-WORK UNITS' ENTRANCES FROM THE SIDEWALK EDGE
- THE BOARD APPRECIATED THE ARRANGEMENT OF THE STREET LEVEL USES AND THE INTENT TO PROVIDE OVERHEAD WEATHER PROTECTION IN SCHEME C



AERIAL PERSPECTIVE LOOKING AT NORTHEAST CORNER



PERSPECTIVE LOOKING AT SOUTHEAST CORNER



AERIAL PERSPECTIVE LOOKING AT SOUTHWEST CORNER



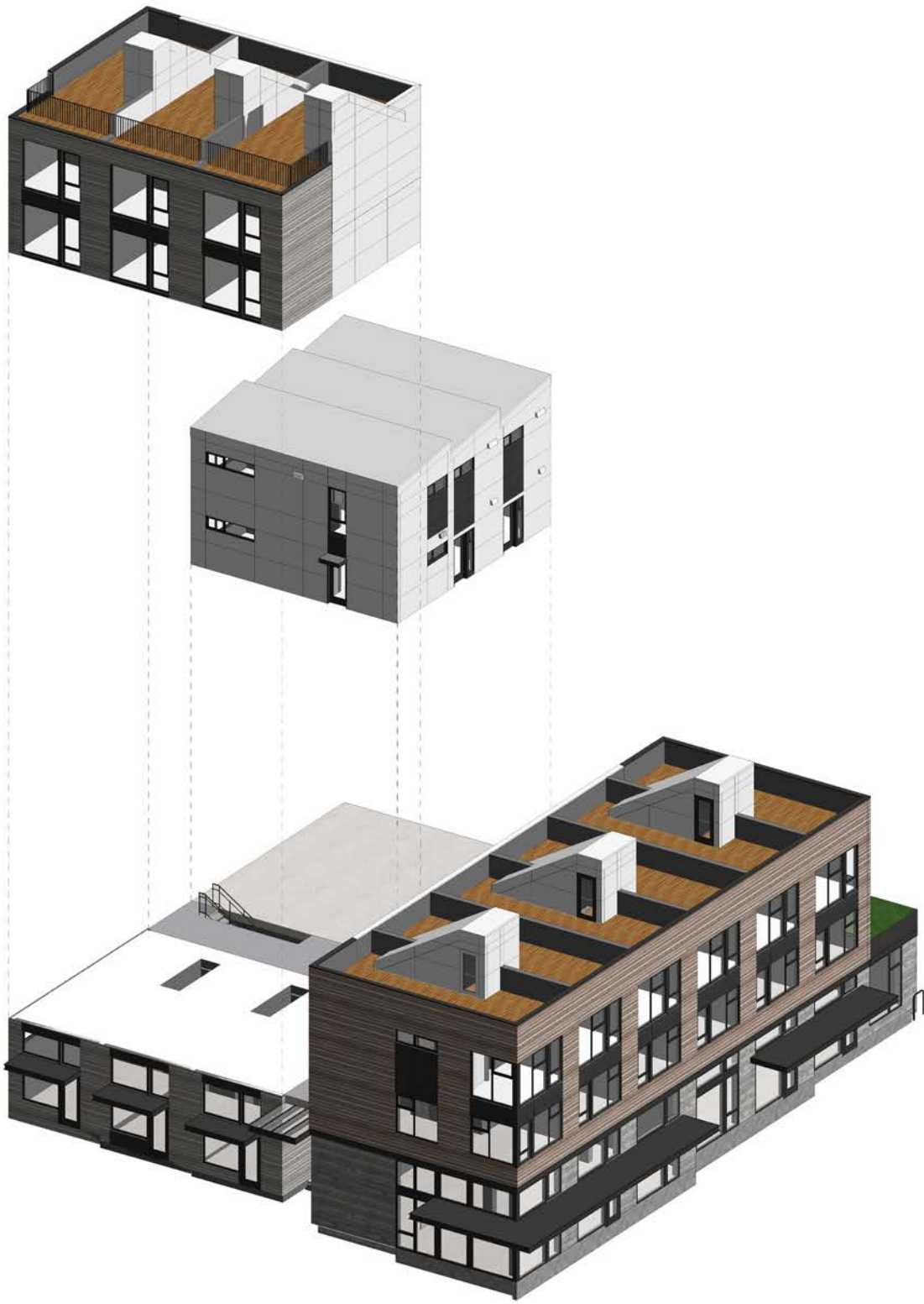
EDG CONCEPT DEVELOPMENT



EDG CONCEPT RENDERING  
CONCEPTUAL SKETCH OF PROPOSED DEVELOPMENT



RECOMMENDATION RENDERING  
REFINEMENT AND DEVELOPMENT OF EDG CONCEPT FOR ADR PACKET



CONCEPT DEVELOPMENT

BOARD FEEDBACK/GUIDANCE

1

MASSING / DESIGN

1A) COMPOSITION / MATERIALITY DC2.B, DC2.D

THE BOARD VOICED CONCERNS ABOUT THE SCALE AND APPEARANCE OF THE BUILDING'S WEST AND SOUTH FACADES (TOO PLANAR) AND STATED THAT THOSE FACADES SHOULD BE BROKEN UP MORE TO ARTICULATE THE RHYTHM OF THE STREET FRONTAGES.

1B) MASSING CS2.D, DC2.A

THE BOARD FELT THAT BULK AND SCALE OF THE UPPER-LEVEL MASSING SHOWN FOR SCHEME C ABUTTING THE EAST AND NORTH PROPERTY LINES WAS NOT APPROPRIATE AND SHOULD BE REDUCED. MINIMIZE THE APPEARANCE OF ROOF PENTHOUSE BULK WHILE PROVIDING ACCESS TO THE PROPOSED ROOF DECK AMENITY SPACES.

2

ADJACENCIES & RESIDENTIAL EDGES

2) ADJACENCIES & RESIDENTIAL EDGES CS2.D, PL3.B, CS3-A-3&4

THE BOARD STATED THAT THE DESIGN SHOULD MAKE AN EFFECTIVE TRANSITION TO THE SINGLE FAMILY-ZONED PROPERTY TO THE NORTH AND THE LOWRISE-ZONED PROPERTY TO THE EAST AND BE RESPECTFUL TO THE SURROUNDING PROPERTIES, PARTICULARLY THE NEIGHBORING RESIDENTIAL DEVELOPMENTS TO THE EAST AND THE NORTH. THE NEW BUILDING WILL RESPOND TO THOSE ADJACENCY PRESSURES (I.E. PRIVACY, LIGHT, OUTDOOR ACTIVITIES, ETC.)

3

PEDESTRIAN EXPERIENCE / STREETScape

3A) PROGRAM LEGIBILITY PL1.B, PL3.B.3, PL3.A

- THE BOARD COULD NOT DISTINGUISH BETWEEN THE PRIMARY AND SECONDARY RESIDENTIAL ENTRIES AND DEBATED THE MERITS OF PLACING THE PRIMARY RESIDENTIAL ENTRY ON 5TH AVE NW VERSUS NW 65TH ST. ULTIMATELY, THE BOARD DID NOT RECOMMEND A SPECIFIC STREET THAT THE PRIMARY ENTRANCE SHOULD ABUT BUT STATED THAT THE PRIMARY RESIDENTIAL ENTRY SHOULD BE OBVIOUS, IDENTIFIABLE TO VISITORS; AND RELATE POSITIVELY TO THE MASSING FORM.

- THE BOARD APPRECIATED THE GENEROUS SETBACK OF THE PROPOSED LIVE-WORK UNITS' ENTRANCES FROM THE SIDEWALK EDGE BUT NOTED THAT THE LAYERED ACCESS FROM 5TH AVE NW TO THE LIVE-WORK UNITS' ENTRIES REQUIRED FURTHER REFINEMENT. IT IS IMPORTANT THAT THE BOARD UNDERSTANDS THE LIVE-WORK UNIT ENTRY SEQUENCING AND THE OVERALL STREETScape

3B) STREETScape PL2.B PL2.C, PL3.B.1, PL3.C, DC1.A, DC1.C.4

-THE BOARD APPRECIATED THE ARRANGEMENT OF THE STREET-LEVEL USES AND THE INTENT TO PROVIDE OVERHEAD WEATHER PROTECTION IN SCHEME C.

-THE BOARD CONCURRED WITH PUBLIC COMMENT ABOUT THE IMPORTANCE OF SITE SECURITY AND ENCOURAGED A DESIGN THAT WOULD MAINTAIN A SAFE ENVIRONMENT AT THE STREET/ PARKING/RESIDENTIAL EDGES AND PROVIDE SECURITY THROUGHOUT THE PROJECT SITE. AT THE RECOMMENDATION MEETING, THE BOARD EXPECTS TO REVIEW AN ENSEMBLE OF ELEMENTS (LIGHTING, SCREENING, ENTRIES, LANDSCAPING, ETC.) THAT ADDRESSES RESIDENT SAFETY AND SECURITY ON THE PROPERTY APPROPRIATELY.

- THE BOARD ENCOURAGED A DESIGN THAT WOULD ACCOMMODATE TRASH COLLECTION TO OCCUR ONSITE AND NOT WITHIN THE PUBLIC REALM. THE BOARD REQUESTED THAT SPECIFICS CONCERNING WASTE STORAGE, LOCATION, ACCESS, STAGING AND FEEDBACK FROM SEATTLE PUBLIC UTILITIES (SPU) SHOULD BE PRESENTED TO THE BOARD AT THE NEXT MEETING.

APPLICANT RESPONSE

1

MASSING / DESIGN

1A) COMPOSITION / MATERIALITY DC2.B, DC2.D

THE WEST FACADE IS BROKEN INTO TWO CLEARLY IDENTIFIABLE AND DIFFERENTIATED STRUCTURES, WHICH REFLECT THE RESIDENTIAL NATURE OF 5TH AVE. THE GAP IN THE FAÇADE PLANE CREATES DEPTH AND ARCHITECTURAL INTEREST. THE SOUTH FAÇADE HAS A STRONG RHYTHM CREATED AS THE UPPER STORY WINDOWS TIE INTO THE STOREFRONT WINDOWS BELOW. TWO MATERIALS CREATE DIFFERENTIATION IN THE MASSING, WHILE THE HORIZONTAL CHANNEL EMPHASIZES THE TRANSITION. HIGH QUALITY MATERIALS ARE USED THROUGHOUT THE PROJECT BUT PARTICULARLY ALONG THE STREET FRONTAGES; RECLAIMED WOOD SIDING, BOARD-FORM CONCRETE, AND BLACK WINDOWS. THE HORIZONTAL ORIENTATION OF THE MATERIALS REDUCE THE HEIGHT OF THE BUILDING. THE VARIED WIDTH AND COLOR OF THE MATERIALS CREATE BALANCED PROPORTIONS BETWEEN THE MASSES. THE REPETITION OF THE VERTICALLY STACK BLACK FENESTRATION CREATES RHYTHM AND UNITY THROUGHOUT THE SITE.

1B) MASSING CS2.D, DC2.A

THE OVERALL MASSING IS BROKEN INTO THREE STRUCTURES ON A SHARED BASE. BY BREAKING THE BUILDING INTO 3 MASSES, MORE LIGHT REACHES INTO THE INTERIOR OF SITE. BORROWED VIEWS INTO THE COURTYARD AND CIRCULATION AREAS ARE ALSO PROVIDED FOR THE NEIGHBORS. THE STAIR PENTHOUSES ALONG THE WEST MASS HAVE BEEN CONSOLIDATED FROM 6 PENTHOUSES INTO 3 PENTHOUSES, WHICH PULL THEM AWAY FROM THE EAST PROPERTY LINE. THE SHED ROOFS ON THE NE UNITS REFLECT THE RESIDENTIAL NATURE OF THAT CORNER.

2

ADJACENCIES & RESIDENTIAL EDGES

2) ADJACENCIES & RESIDENTIAL EDGES CS2.D, PL3.B, CS3-A-3&4

THE NORTH AND EAST FACADES ARE EACH BROKEN INTO TWO DISTINCT STRUCTURES, WHICH REFLECT THE RESIDENTIAL SCALED MASSES THAT THEY EACH FACE. WINDOWS FACING THE EXISTING APARTMENTS HAVE BEEN MINIMIZED AND CAREFULLY ARRANGED TO INSURE PRIVACY. THE NE MASSING IS OFFSET FROM ADJACENT USES (ONLY PARKING IS LOCATED ON THE ADJACENT SITE CORNERS) AND UTILIZES SLOPPED ROOFS TO FURTHER BREAK DOWN THE SCALE.

THE MASS ALONG 65TH HAS COMMERCIAL ON L1 AND TWO STORY APARTMENTS ABOVE. THE UPPER LEVELS OF RESIDENTIAL SPACE ARE PULLED AWAY FROM THE EAST PROPERTY LINE, CREATING A DEEP PLANTING BUFFER FOR THE NEIGHBORS, WHILE THE COMMERCIAL SPACE EXTENDS TO THE PROPERTY LINE, WHICH CREATES A CONTINUOUS PEDESTRIAN EXPERIENCE AT THE SIDEWALK LEVEL.

3

PEDESTRIAN EXPERIENCE / STREETScape

3A) PROGRAM LEGIBILITY PL1.B, PL3.B.3, PL3.A

TO CLARIFY THE STREET LEVEL PROGRAM, THE PRIMARY RESIDENTIAL ENTRY WAS MOVED TO 5TH AVE NW. THIS ALLOWS THE ENTRIES ALONG NW 65TH ST TO BE CLEARLY DEFINED AS THE COMMERCIAL FRONTAGE. TO VISUALLY TRANSITION FROM THE COMMERCIAL ZONE TO THE RESIDENTIAL ZONE ALONG 5TH, THE WEST FAÇADE IS BROKEN BETWEEN THE APARTMENT STRUCTURE AND THE LIVE-WORK UNITS. THE LIVE/WORK ENTRIES ARE CLEARLY IDENTIFIABLE AS INDIVIDUAL UNITS, COMPOSED WITH PLANTING, CANOPIES, AND STACKED FENESTRATION, WHICH REFLECT THE SMALLER RESIDENTIAL SCALE. THE PRIMARY RESIDENTIAL ENTRY IS PLACED BETWEEN THE TWO MASSES, EMPHASIZING THE JOINT BETWEEN THE TWO ZONES.

3B) STREETScape PL2.B PL2.C, PL3.B.1, PL3.C, DC1.A, DC1.C.4

THE STREET LEVEL USES REMAIN LARGELY UNCHANGED. COMMERCIAL CANOPIES HAVE BEEN REFINED TO EXTEND PROVIDE WEATHER PROTECTION AND STREET LEVEL DESIGN ELEMENTS (SIGNAGE & PLANTING) HAVE BEEN ADDED. THE PRIMARY RESIDENTIAL ENTRY IS DEFINED BY A CANTILEVERED CANOPY, CONSTRUCTED FROM STEEL CHANNEL AND GLASS. THE CANOPY REACHES OUT OVER THE SIDEWALK AND EXTENDS BACK LEADING THE WAY INTO THE RESIDENTIAL ENTRY HALL. THE LIVE-WORK ENTRANCES CONTINUE TO BE SETBACK IN KEEPING WITH THE TRANSITION TO THE RESIDENTIAL ZONING. EACH ENTRANCE IS CLEARLY DEFINED WITH ITS OWN CONCRETE PLANTER AND TERRACED LANDSCAPING. THE DRIVEWAY GATE HAS BEEN DETAILED TO PROVIDE SAFETY AND SECURITY FOR PEDESTRIANS. THE TRASH STORAGE AREA REMAINS OUT OF THE PUBLIC REALM IN THE PARKING GARAGE, WITH AN ENCLOSURE CONSTRUCTED OUT OF THE METAL MESH WHICH OCCURS THROUGHOUT THE SITE. PER SPU, A TRASH COLLECTION AREA WAS ADDED IN THE ROW ALONG 5TH AVE NW, NEXT TO THE CURB CUT.



VIEW FROM CORNER OF NW 65TH ST & 5TH AVE NW : LOOKING NORTHEAST

DESIGN RESPONSE

- 1a

**COMPOSITION / MATERIALITY:**  
HIGH QUALITY MATERIALS ALONG THE STREET FRONTAGES; RECLAIMED WOOD SIDING, BOARD-FORM CONCRETE, AND BLACK VINYL WINDOWS. THE HORIZONTAL ORIENTATION OF THE MATERIALS REDUCE THE HEIGHT OF THE BUILDING, WHILE THE VERTICALLY STACKED FENESTRATION CREATE A RHYTHMIC COMPOSITION. (DC2.B, DC2.D)
- 1b

**MASSING:**  
THE PRIMARY MASS ANCHORS THE BUILDING AT THE PROMINENT STREET CORNER. AS THE BUILDING WRAPS AROUND TO 5TH AVE, TO REFLECT THE RESIDENTIAL CHARACTER OF THE STREET, THE LIVE/WORK MASS BREAKS OFF AND STEPS BACK FROM THE PRIMARY MASS. (CS2.D, DC2.A)
- 3b

**STREETScape:**  
ALONG 65TH, THE PEDESTRIAN EXPERIENCE IS SHAPED BY DEEP CANOPIES, LARGE STOREFRONT WINDOWS AND TEXTURED BOARD FORM CONCRETE. ALONG 5TH, THE STREETScape BECOMES SOFTER, DEFINED BY LUSH, LAYERED PLANTING AND WEATHERED WOOD SIDING. (PL2.B PL2.C, PL3.B.1, PL3.C, DC1.A, DC1.C.4)



VIEW LOOKING SOUTHWEST FROM NW 65TH ST



## STREET FACING FACADES

### DESIGN RESPONSE

#### 1a COMPOSITION / MATERIALITY:

VARIED MATERIALS DEFINE THE DIFFERENT USES, CREATING A VISUAL TRANSITION FROM COMMERCIAL TO RESIDENTIAL SPACES. VERTICALLY STACKED BLACK FENESTRATION TIE THE DISCRETE ELEMENTS TOGETHER TO CREATE A STRONG STREET FACING COMPOSITION. (DC2.B, DC2.D)

#### 2 ADJACENCIES / RESIDENTIAL EDGES:

THE UPPER LEVEL MASSING IS PULLED AWAY FROM THE EAST PROPERTY LINE TO CREATE A SOFTER RESIDENTIAL EDGE. THE LEVEL 2 PLANTING BUFFER WILL BE VISIBLE FROM BOTH THE NEIGHBORING APARTMENT AND THE STREET, CREATING SCREENING AND VISUAL INTEREST. (CS2.D, PL3.B, CS3-A-3&4)

#### 3b STREETScape:

TO CREATE A STRONG COMMERCIAL STREETScape ALONG 65TH, THE PEDESTRIAN EXPERIENCE IS SHAPED BY DEEP CANOPIES, LARGE STOREFRONT WINDOWS AND TEXTURED BOARD FORM CONCRETE. (PL2.B PL2.C, PL3.B.1, PL3.C, DC1.A, DC1.C.4)



VIEW LOOKING NORTHWEST FROM NW 65TH ST

### DESIGN RESPONSE

#### 1a COMPOSITION / MATERIALITY:

VARIED HIGH QUALITY MATERIALS DEFINE THE DIFFERENT USES, CREATING A VISUAL TRANSITION FROM COMMERCIAL TO RESIDENTIAL SPACES. VERTICALLY STACKED BLACK FENESTRATION AND STEEL CANOPIES TIE THE DISCRETE ELEMENTS TOGETHER TO CREATE A BALANCED COMPOSITION. (DC2.B, DC2.D)

#### 1b MASSING:

THE WEST FACADE IS BROKEN INTO TWO MASSES, CREATING A GASKET FOR THE RESIDENTIAL ENTRY. THIS BREAK IN THE FACADE CREATES BORROWED VIEWS INTO THE INTERIOR OF THE SITE. IT ALSO REDUCES THE SCALE OF THE BUILDING TO REFLECT THE RESIDENTIAL CHARACTER OF 5TH. (CS2.D, DC2.A)

#### 2 ADJACENCIES / RESIDENTIAL EDGES:

PLACING THE PRIMARY RESIDENTIAL ENTRY ALONG 5TH AND MAINTAINING THE SETBACK AT THE LIVE/WORK UNITS REINFORCES THE TRANSITION INTO RESIDENTIAL USE. (CS2.D, PL3.B, CS3-A-3&4)

#### 3a PROGRAM LEGIBILITY:

THE LIVE/WORK ENTRIES ARE INDIVIDUALLY DEFINED THROUGH LAYERED PLANTING, CANOPIES AND A DEEP SETBACK. (PL1.B, PL3.B.3, PL3.A)



VIEW LOOKING EAST FROM 5TH AVE NW



# COMPOSITE SITE PLAN

SCALE: 1/16" = 1'-0"

## DESIGN RESPONSE

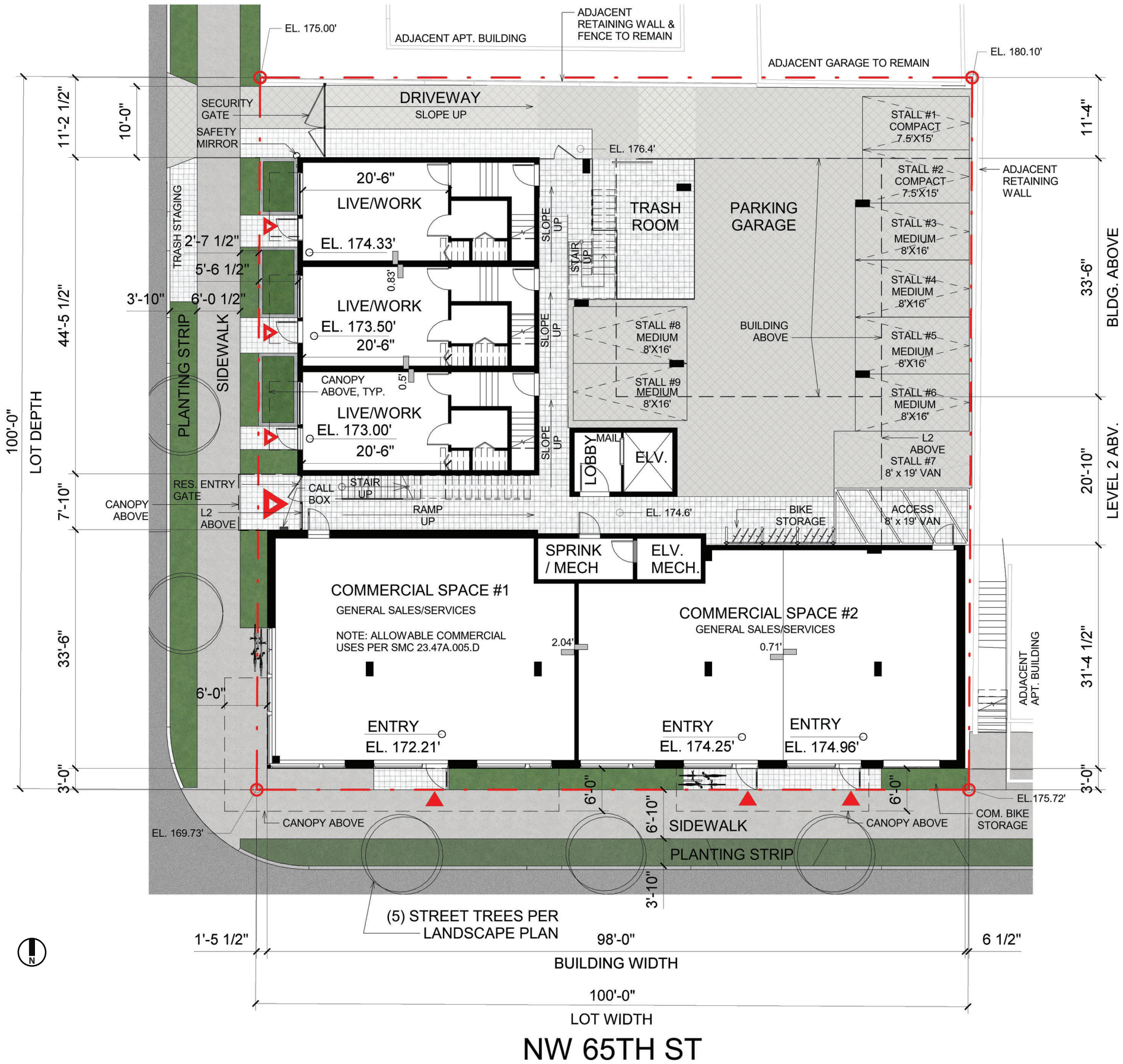
**1b MASSING:**  
THE PRIMARY MASS ANCHORS THE BUILDING AT THE PROMINENT STREET CORNER. AS THE BUILDING WRAPS AROUND TO 5TH AVE, TO REFLECT THE RESIDENTIAL CHARACTER OF THE STREET, THE LIVE/WORK MASS BREAKS OFF AND STEPS BACK FROM THE PRIMARY MASS. (CS2.D, DC2.A)

**3a PROGRAM LEGIBILITY:**  
6' DEEP CANOPIES ALONG 65TH AND 5TH ENHANCE THE PEDESTRIAN EXPERIENCE. INDIVIDUAL LIVE/WORK ENTRIES ARE DEFINED WITH PLANTING AND CANOPIES. (PL1.B, PL3.B.3, PL3.A)

**3b STREETScape:**  
SITE SAFETY CREATED WITH SECURITY GATES AT THE RESIDENTIAL ENTRY AND DRIVEWAY. (PL2.B PL2.C, PL3.B.1, PL3.C, DC1.A, DC1.C.4)

- ▶ PRIMARY RESIDENTIAL ENTRANCE
- ▶ LIVE/WORK ENTRANCE
- ▶ COMMERCIAL ENTRANCE

5TH AVE NW





SCALE:  $1/32'' = 1'-0''$



SOUTH ELEVATION: NW 65TH ST

SCALE: 3/32" = 1'-0"



\* STREET TREES NOT SHOWN FOR CLARITY



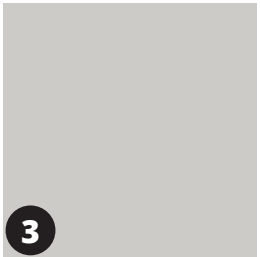
KEY PLAN



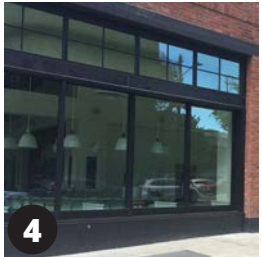
1  
CAST IN PLACE  
CONCRETE,  
8" BOARD FORMED



2  
RECLAIMED WOOD SIDING,  
WEATHERED BROWN  
(DUE TO NATURAL FINISH,  
SOME COLOR VARIATION  
MAY OCCUR)



3  
FIBER CEMENT  
PANEL, METRO GRAY



4  
ALUMINUM STOREFRONT  
WINDOW, BLACK



5  
VINYL WINDOW, BLACK  
W/ FIBER CEMENT INFILL,  
BLACK



6  
CANOPY

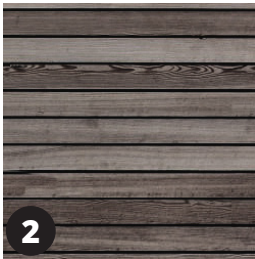


7  
SHEET METAL  
PLANTER





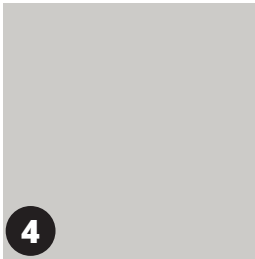
1  
CAST IN PLACE  
CONCRETE,  
8" BOARD FORMED



2  
RECLAIMED WOOD SIDING,  
WEATHERED BROWN  
(DUE TO NATURAL FINISH,  
SOME COLOR VARIATION  
MAY OCCUR)



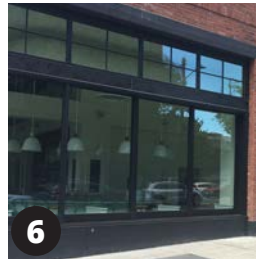
3  
RECLAIMED WOOD SIDING,  
WEATHERED GRAY  
(DUE TO NATURAL FINISH,  
SOME COLOR VARIATION  
MAY OCCUR)



4  
FIBER CEMENT  
PANEL, METRO GRAY



5  
VINYL WINDOW, BLACK  
W/ FIBER CEMENT INFILL,  
BLACK



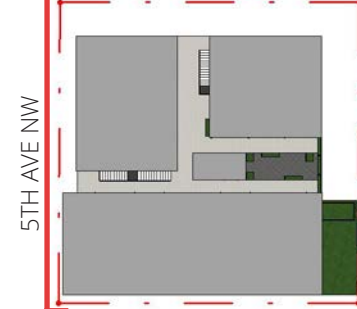
6  
ALUMINUM STOREFRONT  
WINDOW, BLACK



7  
METAL RAILING & GATE  
W/ PERFORATED INFILL  
PANELS (BLACK)



8  
METAL GUARDRAIL



5TH AVE NW  
NW 65TH ST  
KEY PLAN

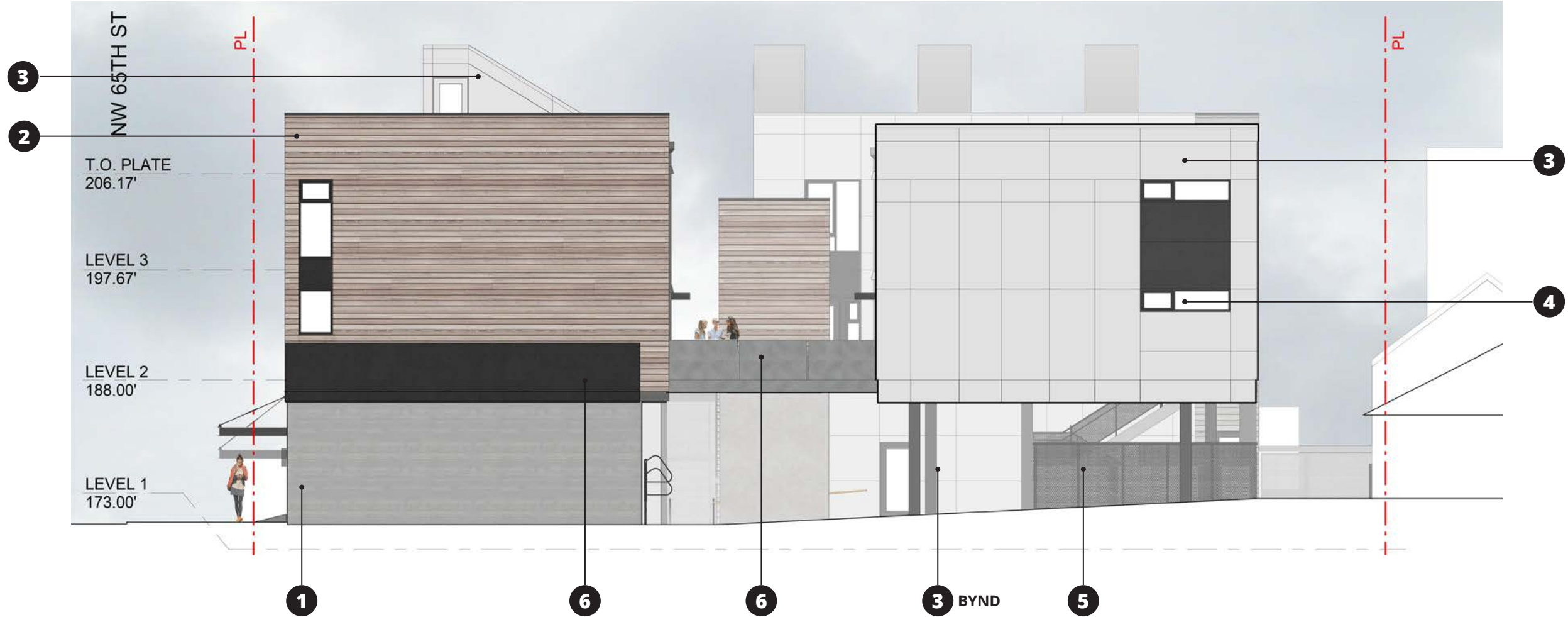
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



- 1** RECLAIMED WOOD SIDING, WEATHERED BROWN (DUE TO NATURAL FINISH, SOME COLOR VARIATION MAY OCCUR)
- 2** RECLAIMED WOOD SIDING, WEATHERED GRAY (DUE TO NATURAL FINISH, SOME COLOR VARIATION MAY OCCUR)
- 3** FIBER CEMENT PANEL, METRO GRAY
- 4** VINYL WINDOW, BLACK W/ FIBER CEMENT INFILL, BLACK
- 5** METAL GUARDRAIL
- 6** METAL RAILING & GATE W/ PERFORATED INFILL PANELS (BLACK)
- 7** SHEET METAL PLANTER

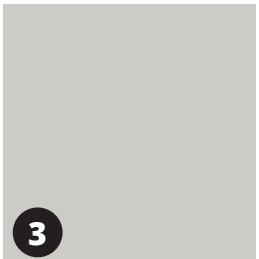




1  
CAST IN PLACE  
CONCRETE



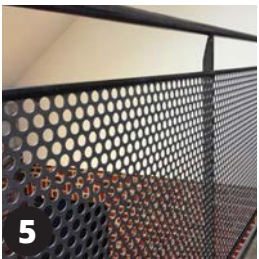
2  
RECLAIMED WOOD SIDING,  
WEATHERED BROWN  
(DUE TO NATURAL FINISH,  
SOME COLOR VARIATION  
MAY OCCUR)



3  
FIBER CEMENT  
PANEL, METRO GRAY



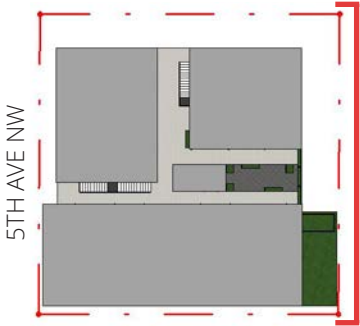
4  
VINYL WINDOW, BLACK  
W/ FIBER CEMENT INFILL,  
BLACK



5  
METAL RAILING & GATE  
W/ PERFORATED INFILL  
PANELS (BLACK)



6  
SHEET METAL  
PLANTER



NW 65TH ST  
KEY PLAN

INTERIOR ELEVATION THROUGH RESIDENTIAL ENTRY

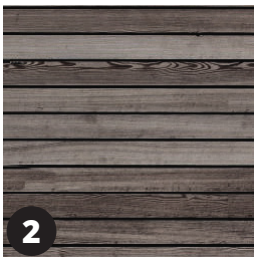
SCALE: 3/32" = 1'-0"



KEY PLAN



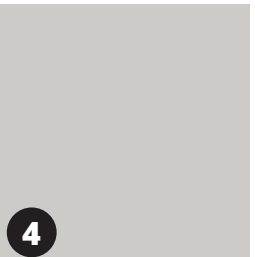
1 CAST IN PLACE CONCRETE



2 RECLAIMED WOOD SIDING, WEATHERED BROWN (DUE TO NATURAL FINISH, SOME COLOR VARIATION MAY OCCUR)



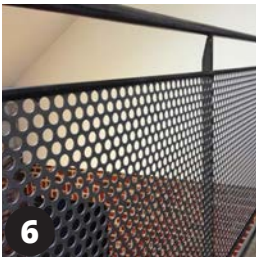
3 RECLAIMED WOOD SIDING, WEATHERED GRAY (DUE TO NATURAL FINISH, SOME COLOR VARIATION MAY OCCUR)



4 FIBER CEMENT PANEL, METRO GRAY



5 VINYL WINDOW, BLACK W/ FIBER CEMENT INFILL, BLACK



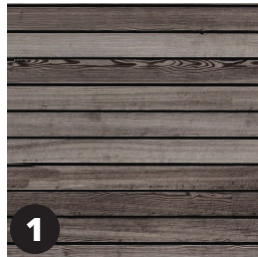
6 METAL RAILING & GATE W/ PERFORATED INFILL PANELS, BLACK



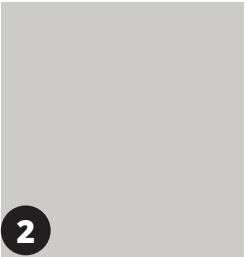
7 METAL GUARDRAIL

INTERIOR ELEVATION THROUGH RESIDENTIAL ENTRY

SCALE: 3/32" = 1'-0"



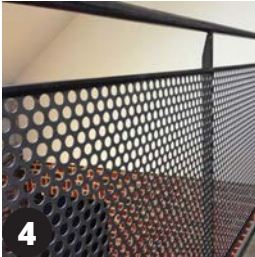
1  
RECLAIMED WOOD SIDING,  
WEATHERED BROWN  
(DUE TO NATURAL FINISH,  
SOME COLOR VARIATION  
MAY OCCUR)



2  
FIBER CEMENT  
PANEL, METRO GRAY



3  
VINYL WINDOW, BLACK  
W/ FIBER CEMENT INFILL,  
BLACK



4  
METAL RAILING & GATE  
W/ PERFORATED INFILL  
PANELS (BLACK)



5  
CANOPY

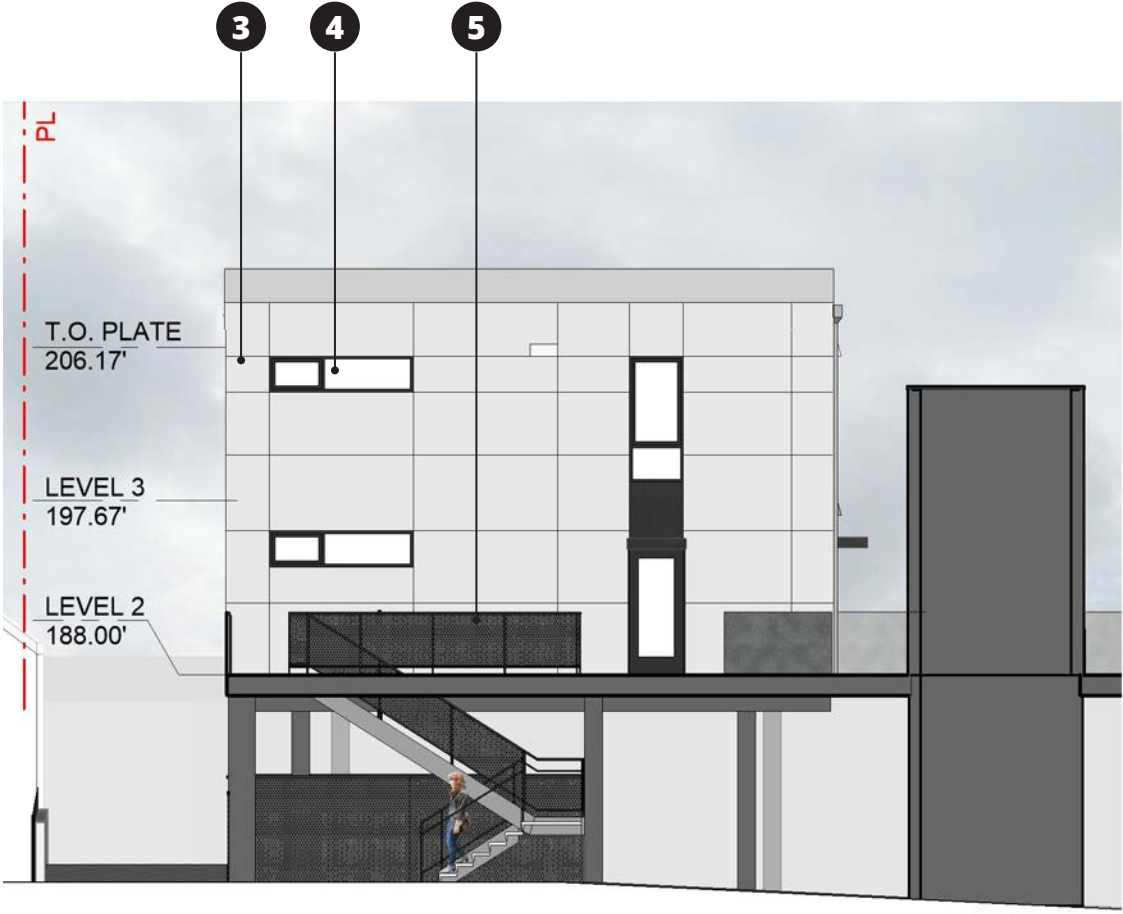


KEY PLAN

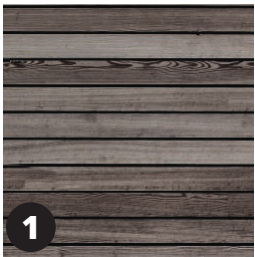


INTERIOR ELEVATIONS

SCALE: 3/32" = 1'-0"



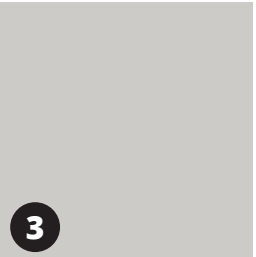
KEY PLAN



1  
RECLAIMED WOOD SIDING,  
WEATHERED BROWN  
(DUE TO NATURAL FINISH,  
SOME COLOR VARIATION  
MAY OCCUR)



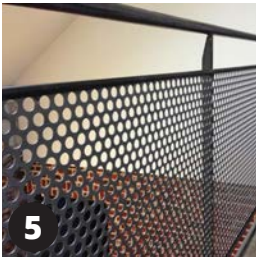
2  
RECLAIMED WOOD SIDING,  
WEATHERED GRAY  
(DUE TO NATURAL FINISH,  
SOME COLOR VARIATION  
MAY OCCUR)



3  
FIBER CEMENT  
PANEL, METRO GRAY



4  
VINYL WINDOW, BLACK  
W/ FIBER CEMENT INFILL,  
BLACK



5  
METAL RAILING & GATE  
W/ PERFORATED INFILL  
PANELS (BLACK)



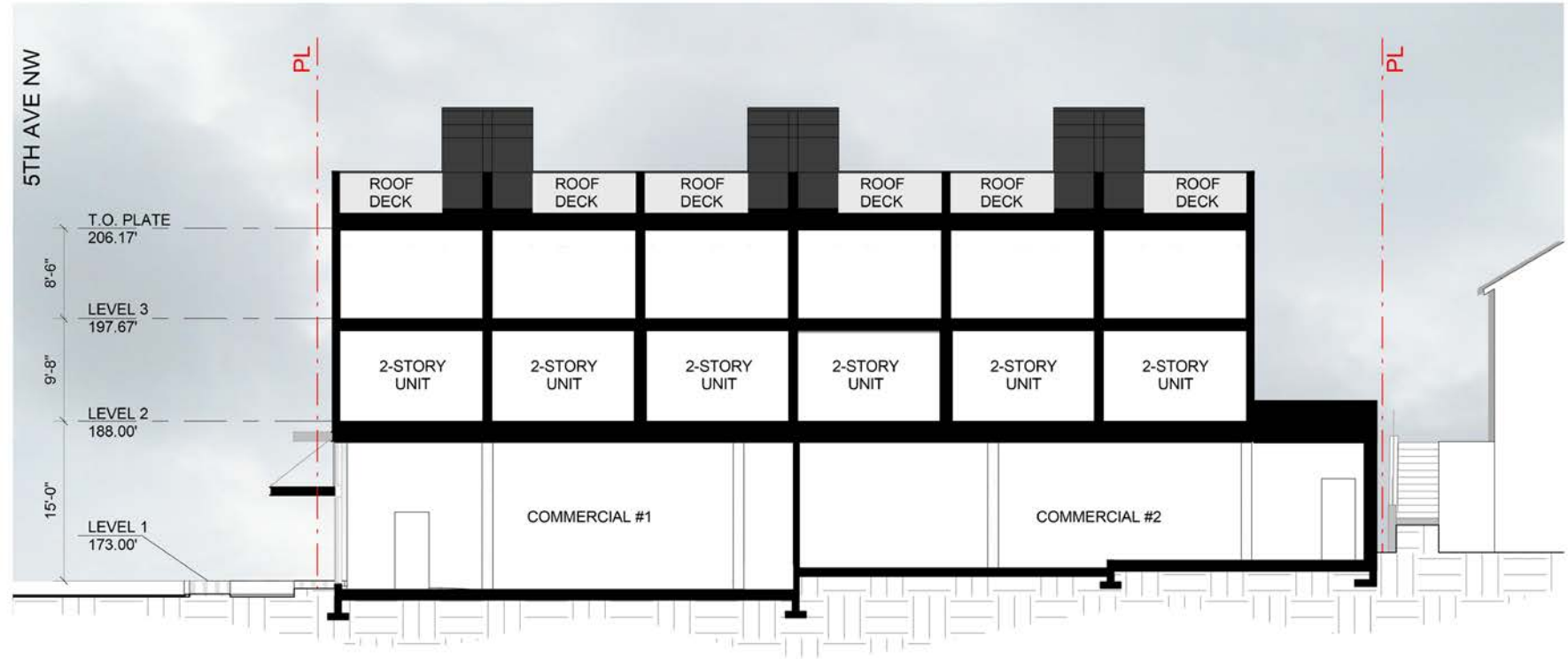
6  
CANOPY

BUILDING SECTIONS

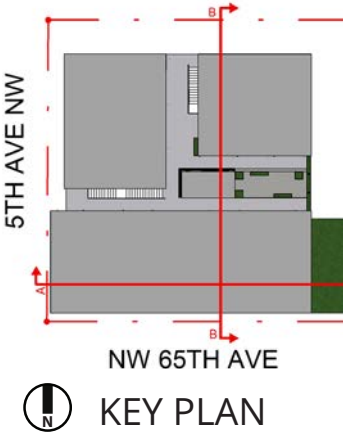
SCALE: 1/16" = 1'-0"



BUILDING SECTION B



BUILDING SECTION A

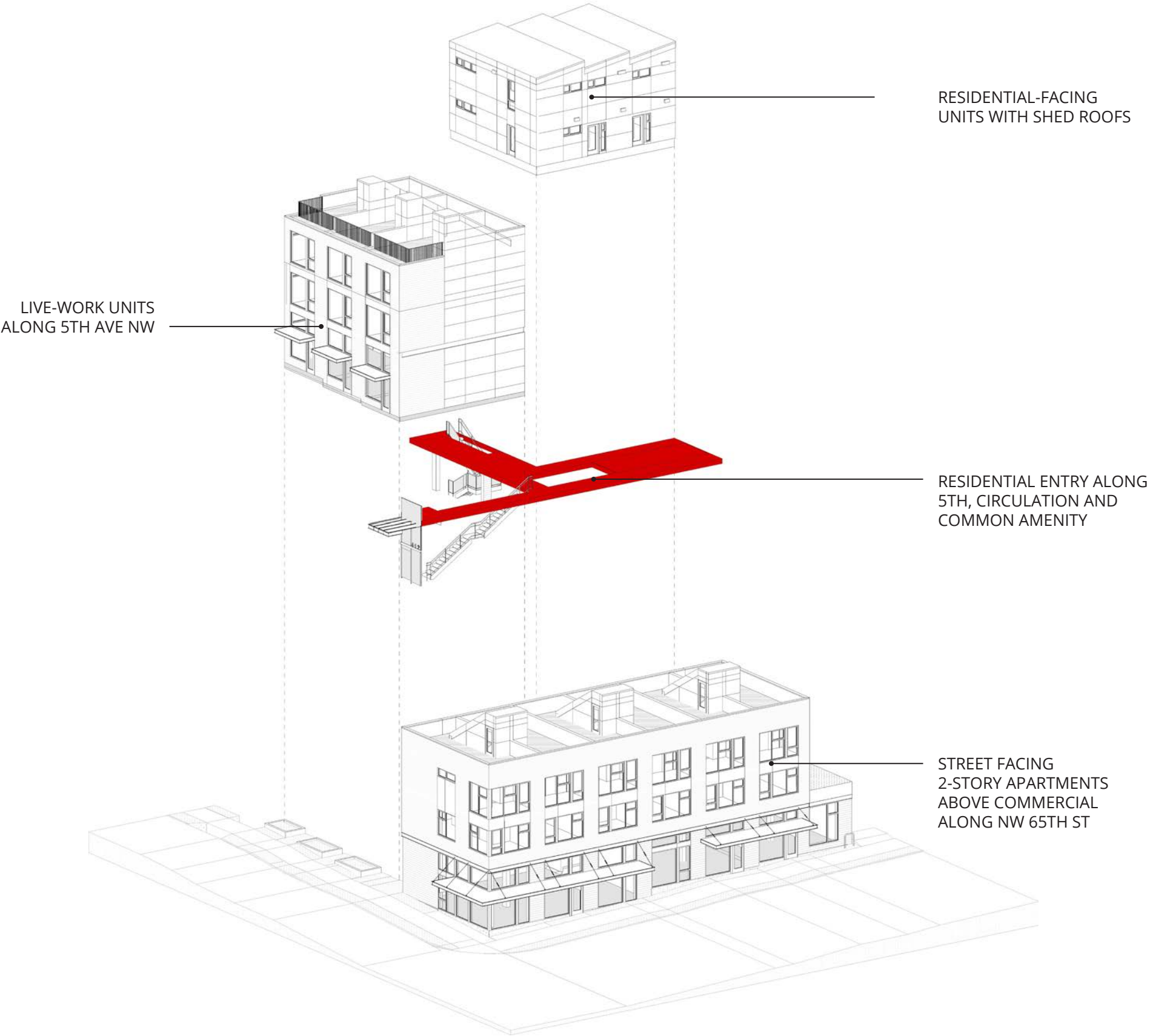


# CONCEPT DEVELOPMENT: MASSING & PROGRAM LEGIBILITY

## DESIGN RESPONSE

**1b MASSING:**  
THE BUILDING IS DIVIDED INTO THREE MASSES, BREAKING DOWN THE SCALE TO REFLECT THE TRANSITION FROM COMMERCIAL TO RESIDENTIAL. THE PRIMARY MASS ALONG NW 65TH ST ANCHORS THE BUILDING, WHILE THE SECONDARY MASSES ALONG 5TH AVE NW AND THE NE CORNER REFLECT THE RESIDENTIAL CHARACTER OF THOSE EDGES. (CS2.D, DC2.A)

**3a PROGRAM LEGIBILITY:**  
THE EXPRESSED MASSING ALLOWS FOR PROGRAMMATIC LEGIBILITY, VISUALLY DISTINGUISHING THE LIVE/WORKS FROM THE APARTMENTS FROM THE COMMERCIAL. THE SPACE BETWEEN THE MASSES CREATE UNIQUE ARCHITECTURAL ELEMENTS; THE RESIDENTIAL ENTRY AND THE COURTYARD ON LEVEL 2, WHICH PROVIDES BOTH AMENITY FOR THE RESIDENTS AND BORROWED VIEWS FOR THE NEIGHBORS. (PL1.B, PL3.B.3, PL3.A)





CONCEPT DEVELOPMENT: MATERIALITY & COMPOSITION

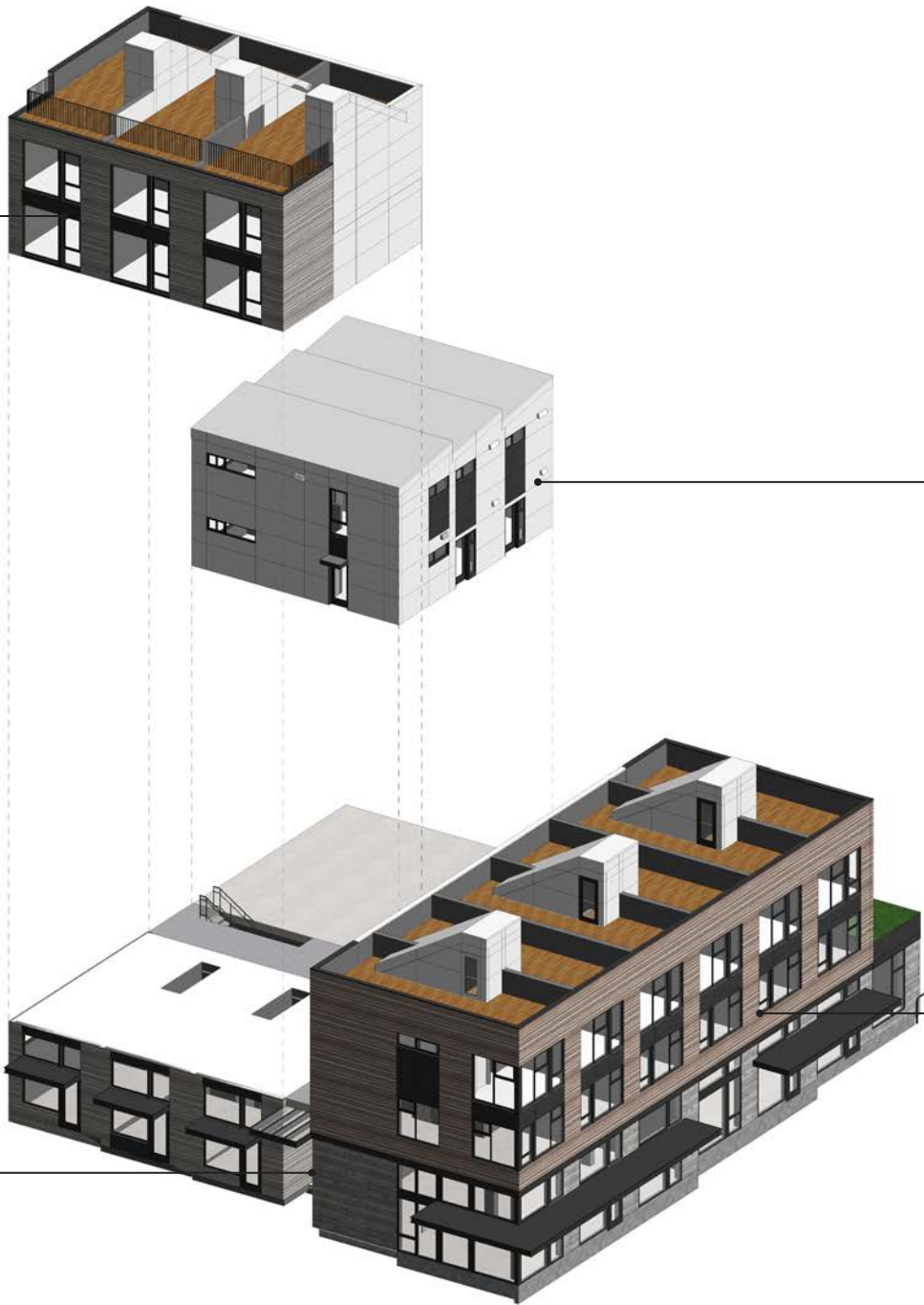


**LIVE/WORK ENTRIES**  
THE LIGHT GRAY WEATHERED WOOD CLADDING DEFINES THE LIVE/WORK MASS, WHILE THE VERTICAL STACKS OF BLACK FENESTRATION AND BLACK INFILL PANEL DEFINE THE INDIVIDUAL UNITS.

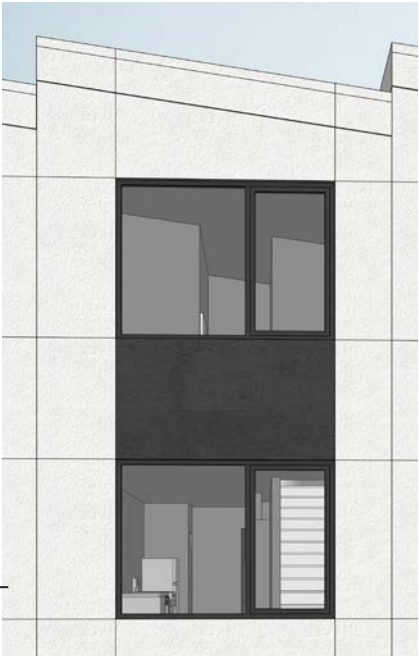


**RESIDENTIAL ENTRY**  
THE RESIDENTIAL ENTRY IS DEFINED BY THE DEEP STEEL AND GLASS CANOPY THAT SPLITS THE MASSES

**MATERIAL AND COMPOSITION  
CONCEPT DIAGRAM**



**1a COMPOSITION / MATERIALITY:**  
THE INDIVIDUAL MASSES ARE DEFINED WITH VARIED MATERIALS, PRIMARILY WITH LIGHT COLORED, HORIZONTALLY ORIENTED TEXTURES. TO TIE THE ELEMENTS TOGETHER, VERTICAL STACKS OF BLACK FENESTRATION REPEAT RHYTHMICALLY ALONG ALL FACADES. SECONDARY MATERIALS, LIKE BLACK CANOPIES AND METAL MESH GATES/GUARDS, REPEAT THROUGHOUT THE SITE, REINFORCING THE RHYTHM OF THE FENESTRATION. (DC2.B, DC2.D)



**NORTHEAST UNITS**  
THE STACKED BLACK FENESTRATION BREAKS DOWN THE FACADE INTO INDIVIDUAL UNITS, REDUCING THE SCALE OF THIS RESIDENTIAL FACING FACADE.



**COMMERCIAL WITH APARTMENTS ABOVE**  
CHANGE OF MATERIAL BETWEEN LEVELS ARTICULATES THE PROGRAMMATIC SHIFT BETWEEN COMMERCIAL AND RESIDENTIAL USE

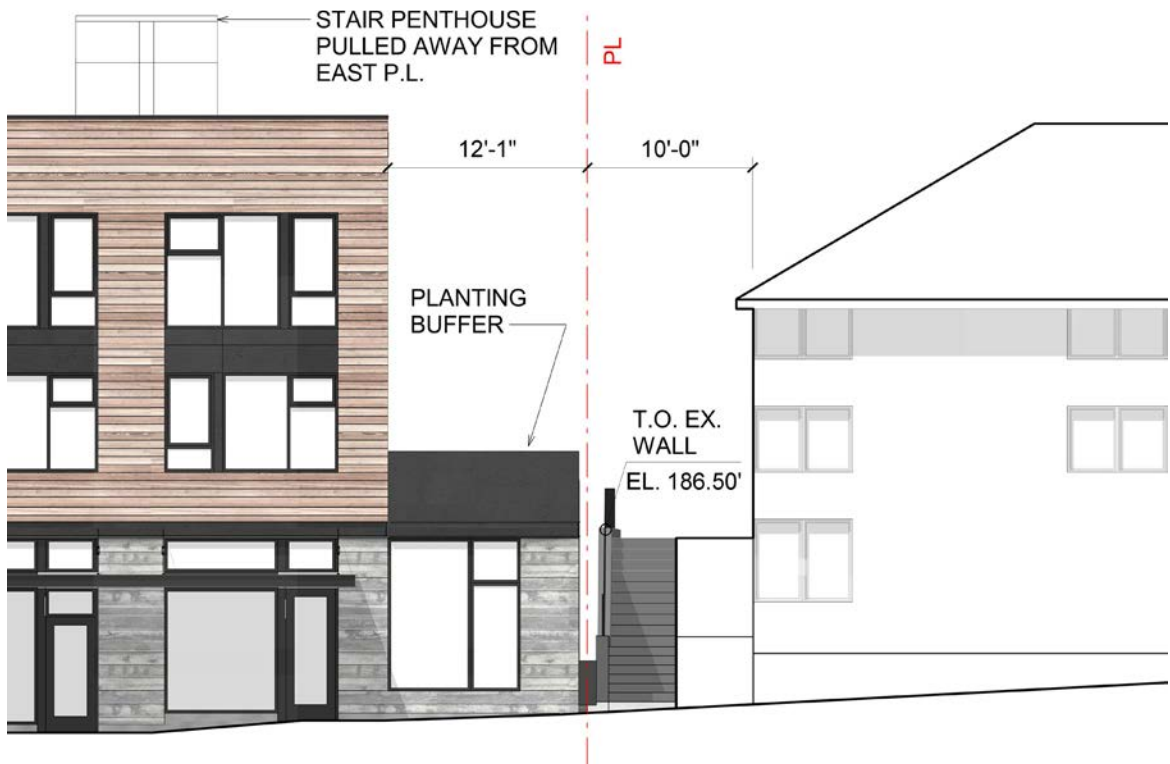


# RESIDENTIAL EDGES: ADJACENCIES ALONG EAST PROPERTY LINE

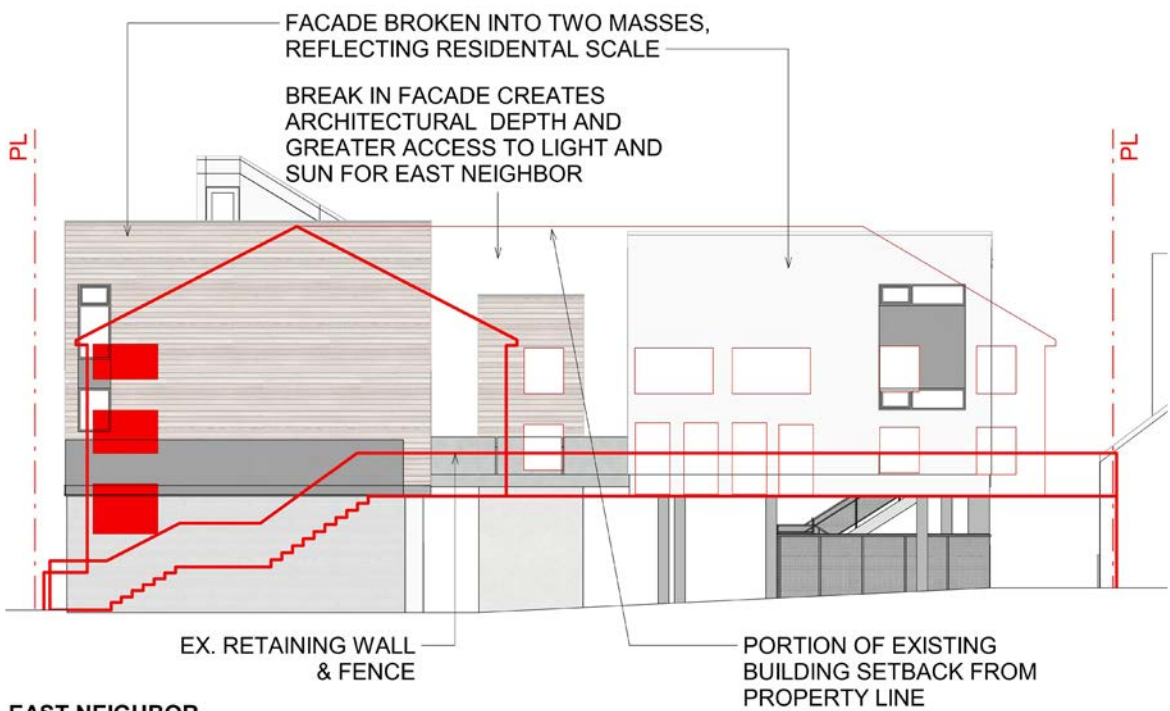
## DESIGN RESPONSE

**2 ADJACENCIES / RESIDENTIAL EDGES:**  
THE UPPER LEVEL MASSING IS PULLED AWAY FROM THE EAST PROPERTY LINE TO CREATE A SOFTER RESIDENTIAL EDGE. THE LEVEL 2 PLANTING BUFFER WILL BE VISIBLE FROM BOTH THE NEIGHBORING APARTMENT AND THE STREET, CREATING SCREENING AND VISUAL INTEREST.

THE EAST FACADE IS DIVIDED INTO TWO DISTINCT MASSES, BREAKING DOWN THE SCALE OF THE BUILDING AND ALLOWING MORE NATURAL LIGHT TO PENETRATE THE SITE AND CREATING FEWER PRIVACY CONFLICTS. (CS2.D, PL3.B, CS3-A-3&4)

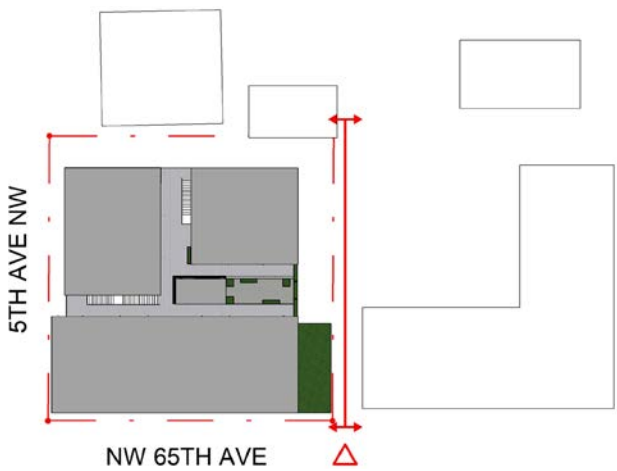


SOUTH ELEVATION



EAST NEIGHBOR

EAST NEIGHBOR WINDOW STUDY



KEY PLAN



EAST NEIGHBOR - SOUTHEAST CORNER EXISTING CONDITION



EAST NEIGHBOR - RETAINING WALL AND ELEVATED GRADE



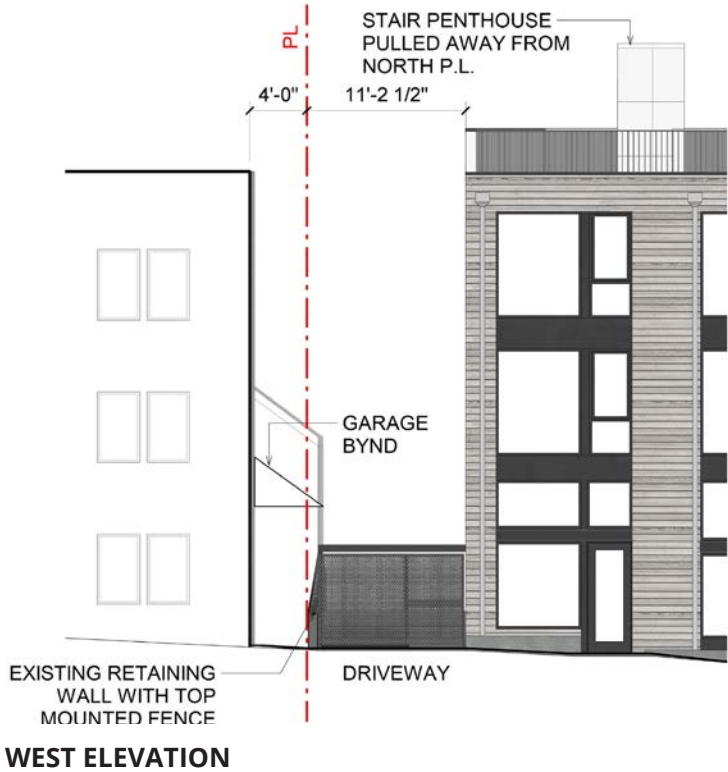
RESIDENTIAL EDGES: ADJACENCIES ALONG NORTH PROPERTY LINE



NORTH NEIGHBOR - EXISTING CONDITION AT PROPERTY LINE



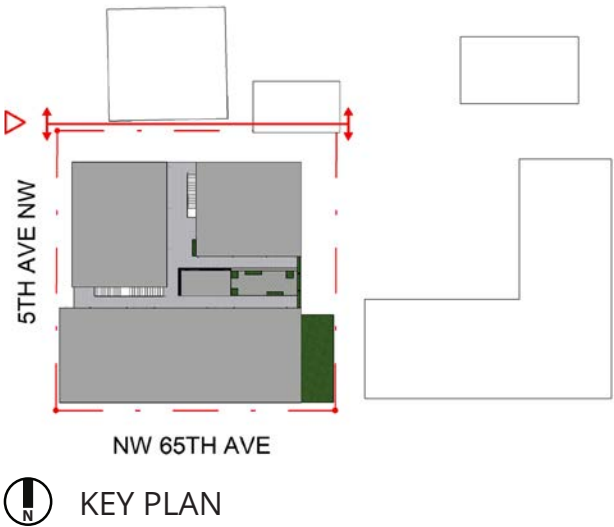
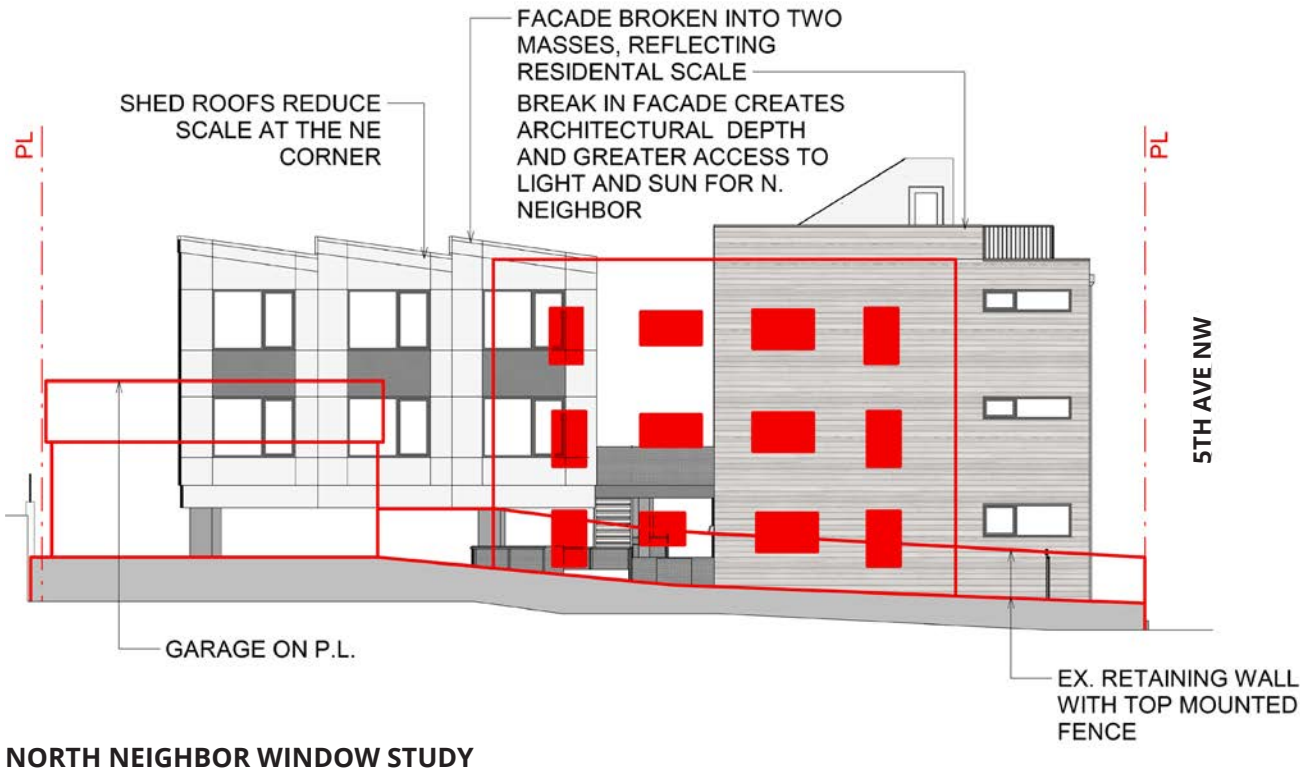
NORTH NEIGHBOR - EXISTING APARTMENT AND GARAGE



DESIGN RESPONSE

**2 ADJACENCIES / RESIDENTIAL EDGES:**  
THE LIVE/WORK MASS IS PULLED BACK FROM THE NORTH PROPERTY LINE AND HAS MINIMAL NORTH FACING WINDOWS TO REDUCE PRIVACY CONFLICTS WITH THE ADJACENT APARTMENT BUILDING.

THE NORTH FACADE IS DIVIDED INTO TWO DISTINCT MASSES, BREAKING DOWN THE SCALE OF THE BUILDING AND ALLOWING MORE NATURAL LIGHT TO PENETRATE THE SITE AND CREATING FEWER PRIVACY CONFLICTS. THE APARTMENT UNITS USE SHED ROOFS TO REFLECT THE RESIDENTIAL CHARACTER OF THE CORNER. (CS2.D, PL3.B, CS3-A-3&4)





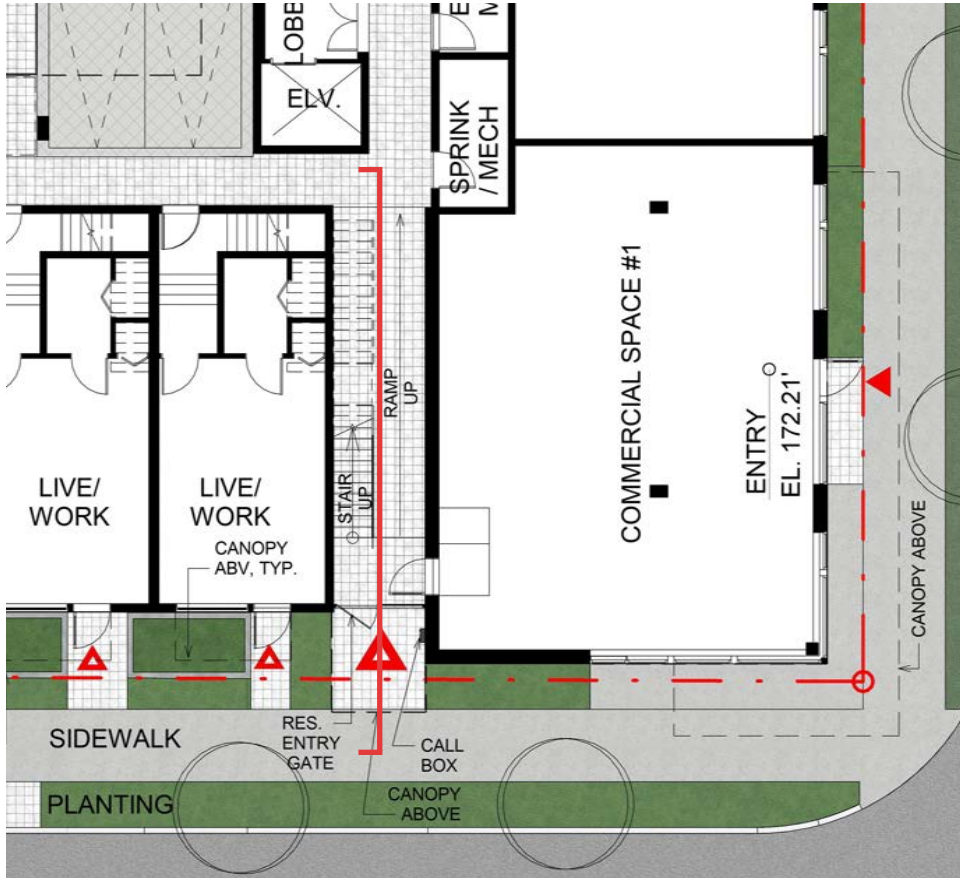
PEDESTRIAN ENVIRONMENT ALONG 5TH: RESIDENTIAL ENTRIES & SIGNAGE



VIEW OF PRIMARY RESIDENTIAL ENTRY



VIEW FROM SW CORNER TOWARDS PRIMARY RESIDENTIAL ENTRY



PLAN VIEW

DESIGN RESPONSE

**1b MASSING:**  
IN THE SPACE BETWEEN THE LIVEWORK AND COMMERCIAL MASSES, A GASKET FOR THE RESIDENTIAL ENTRY IS CREATED. THIS BREAK IN THE FACADE CREATES BORROWED VIEWS INTO THE INTERIOR OF THE SITE, CREATING RESIDENT SAFETY AND VISUAL INTEREST FROM THE STREET. IT ALSO BREAKS DOWN THE SCALE OF THE BUILDING TO REFLECT THE RESIDENTIAL CHARACTER OF 5TH AVE NW. (CS2.D, DC2.A)

**3b STREETScape:**  
THE RESIDENTIAL ENTRY IS DEFINED BY THE DEEP STEEL AND GLASS CANOPY THAT SPLITS THE MASSES. IT CANTILEVERS OUT OVER THE SIDEWALK THEN BACK INTO THE EXTERIOR ENTRY CORRIDOR. THIS UNIQUE ARCHITECTURAL FEATURE TIES INTO THE ARCHITECTURAL LANGUAGE OF THE STEEL CHANNEL CANOPIES AT THE LIVE/WORK AND COMMERCIAL SPACES BUT DISTINGUISHES ITSELF WITH THE GLASS INFILL AND LONG EXPANSE. THE ENTRY GATE IS CLAD IN THE METAL MESH WHICH RUNS THROUGHOUT THE SITE. THE MESH PROVIDES A SEMI-TRANSPARENT SCREEN, ALLOWING FOR A VISUAL CONNECTION BETWEEN THE SITE AND SIDEWALK. (PL2.B PL2.C, PL3.B.1, PL3.C, DC1.A, DC1.C.4)

CONCEPT IMAGES:



VERTICAL PROPORTION AT CIRCULATION



EXTERIOR STAIRS & CIRCULATION



SECTION



PEDESTRIAN ENVIRONMENT ALONG 65TH: COMMERCIAL ENTRIES & STREETScape



COMMERCIAL CORNER

CONCEPT IMAGES:



STEEL CANOPY



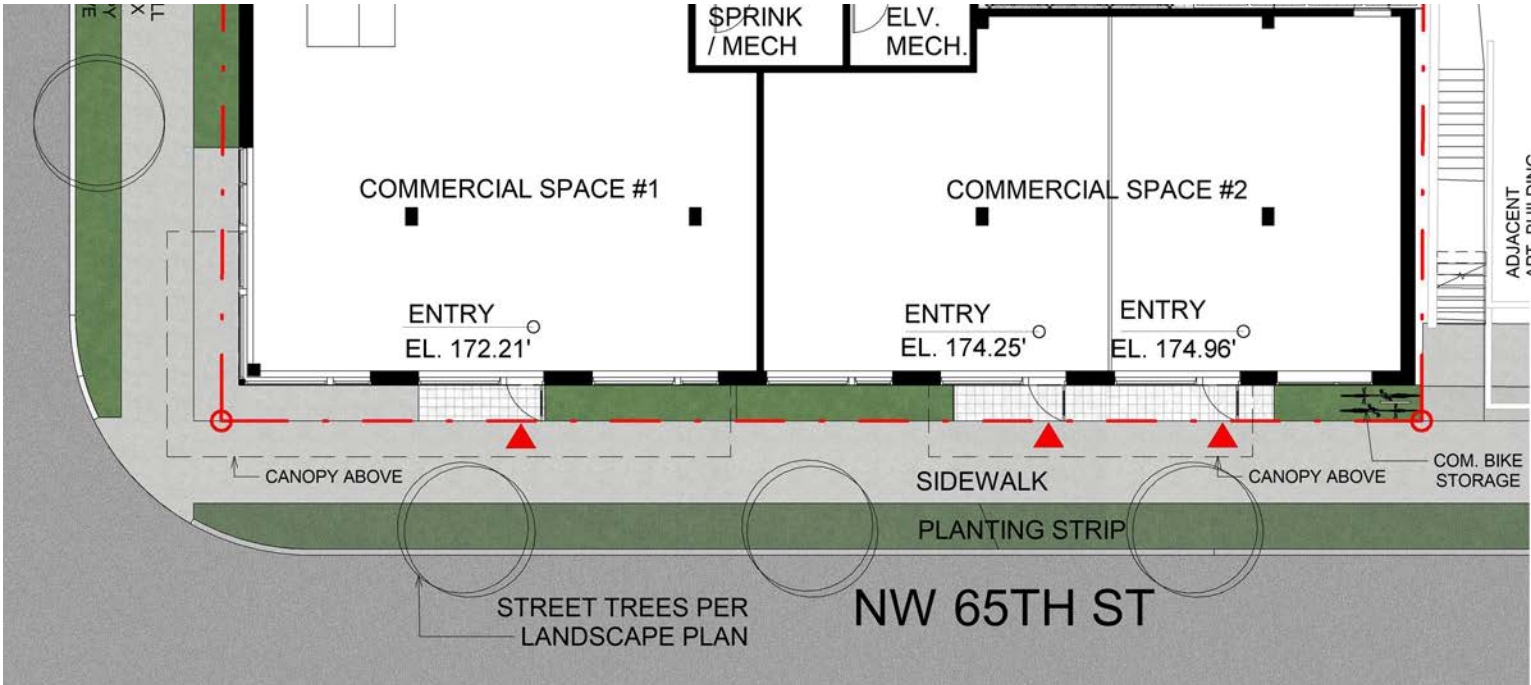
STEEL CANOPY



SIGNAGE



SIGNAGE



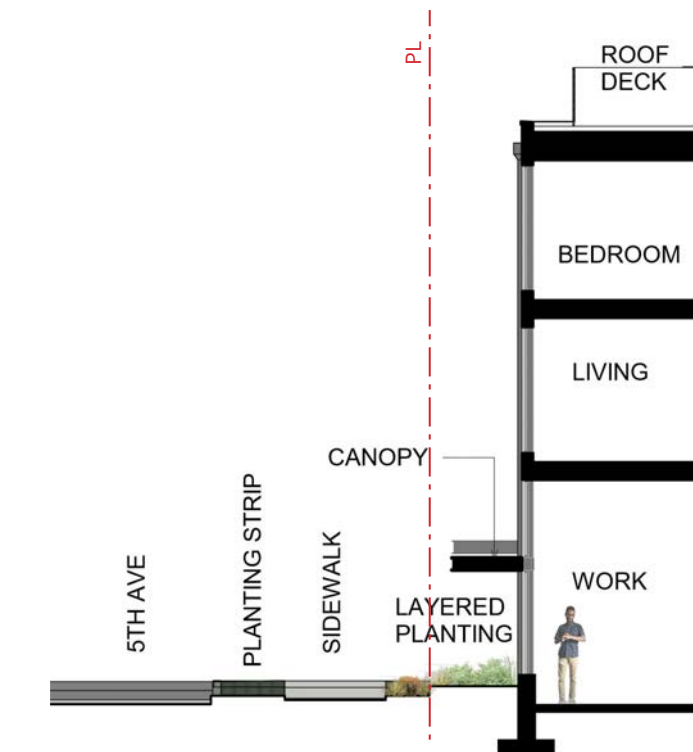
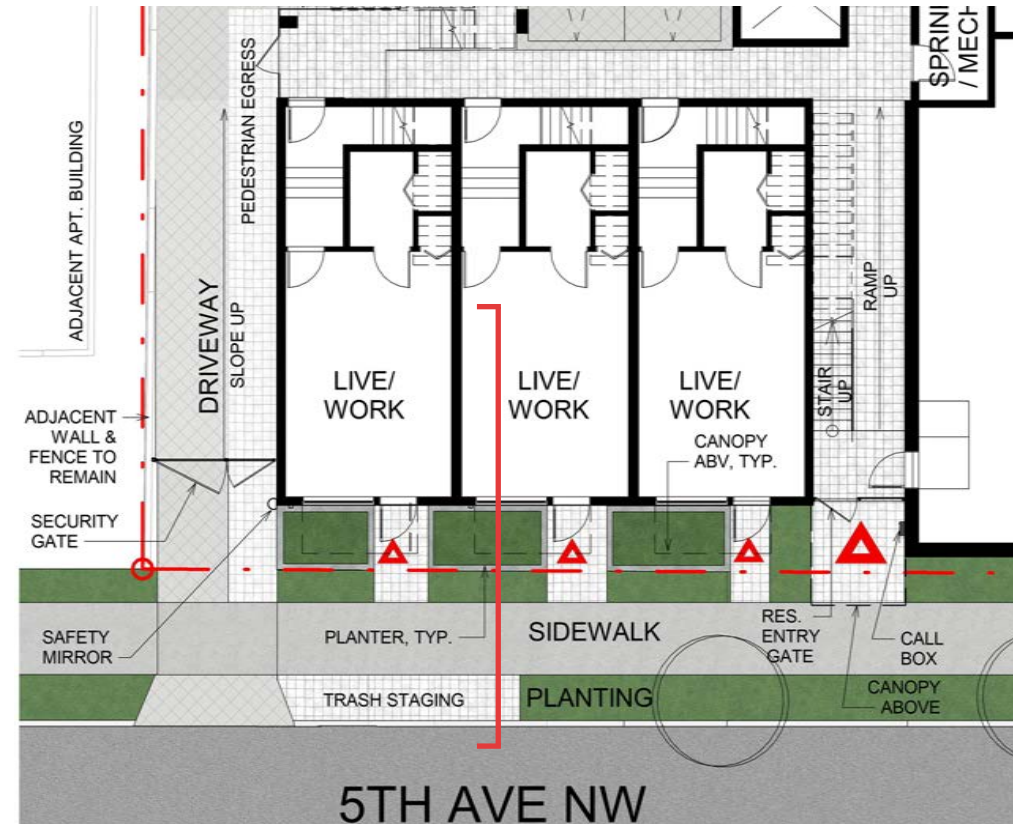
PLAN VIEW

DESIGN RESPONSE

**3b STREETScape:** THE PEDESTRIAN EXPERIENCE ALONG NW 65TH ST IS SHAPED WITH A VARIETY OF ARCHITECTURAL ELEMENTS. THE DEEP CANOPIES CREATE WEATHER PROTECTION AND OPPORTUNITIES FOR BLADE AND TOP MOUNTED SIGNAGE. THE CANOPIES' STEEL FRAMES VISUALLY TIE INTO THE BLACK STOREFRONT WINDOWS. THE LARGE STOREFRONT WINDOWS CREATE AN EXTENSION FROM THE STREET INTO THE INTERIOR SPACES, WITH POTENTIAL FOR A SIDEWALK CAFE AT THE CORNER. THE BOARD FORM CONCRETE HAS TEXTURE AND PROVIDES A HUMAN SCALE TO THE 13' COMMERCIAL LEVEL. (PL2.B PL2.C, PL3.B.1, PL3.C, DC1.A, DC1.C.4)



# PEDESTRIAN ENVIRONMENT ALONG 5TH: LIVE/WORK ENTRIES & SEQUENCING



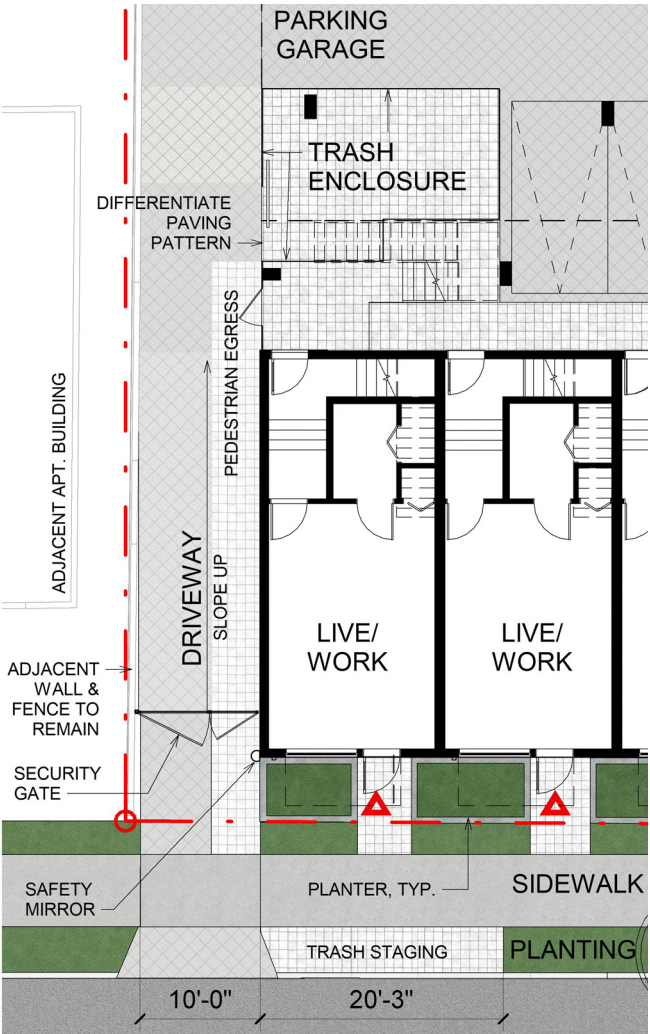
## DESIGN RESPONSE

- 1a COMPOSITION / MATERIALITY:**  
THE LIGHT GRAY WEATHERED WOOD CLADDING DEFINES THE LIVE/WORK MASS, WHILE THE VERTICAL STACKS OF BLACK FENESTRATION AND BLACK INFILL PANEL DEFINE THE INDIVIDUAL UNITS. (DC2.B, DC2.D)
- 2 ADJACENCIES / RESIDENTIAL EDGES:**  
PLACING THE PRIMARY RESIDENTIAL ENTRY ALONG 5TH AND MAINTAINING THE SETBACK AT THE LIVE/WORK UNITS REINFORCES THE TRANSITION INTO RESIDENTIAL USE. (CS2.D, PL3.B, CS3-A-3&4)
- 3a PROGRAM LEGIBILITY:**  
THE LIVE/WORK ENTRIES ARE INDIVIDUALLY DEFINED THROUGH LAYERED PLANTING, CANOPIES AND A DEEP SETBACK. THE REPETITION OF THE ENTRIES AND FENESTRATION CREATES RHYTHM ALONG 5TH AVE NW. (PL1.B, PL3.B.3, PL3.A)



DESIGN RESPONSE

**3b STREETScape:**  
THE DRIVEWAY GATE HAS BEEN DETAILED TO PROVIDE SECURITY FOR THE SITE AND RESIDENTS. RUMBLE PAVING AND SAFETY MIRRORS ARE PROVIDED FOR PEDESTRIAN SAFETY AT THE DRIVEWAY. THE TRASH STORAGE AREA REMAINS OUT OF THE PUBLIC REALM IN THE PARKING GARAGE, WITH AN ENCLOSURE CONSTRUCTED OUT OF THE METAL MESH WHICH OCCURS THROUGHOUT THE SITE. PER SPU, A TRASH COLLECTION AREA WAS ADDED IN THE ROW ALONG 5TH AVE, NEXT TO THE CURB CUT. A VARIETY OF LIGHTING IS PROVIDED THROUGHOUT THE SITE FOR BOTH SAFETY AND AS ACCENTS. (PL2.B PL2.C, PL3.B.1, PL3.C, DC1.A, DC1.C.4)



PLAN VIEW



VIEW FROM NE CORNER TOWARDS GATED DRIVEWAY

CONCEPT IMAGES:



DRIVEWAY SECURITY GATE



DRIVEWAY SAFETY MIRROR



TRASH ENCLOSURE

INTENTIONALLY BLANK



SITE SECURITY & SAFETY: LIGHTING PLAN



LEVEL 1 PLAN



LEVEL 2 / ROOF COMPOSITE PLAN



**1** STEP LIGHT



**2** FLUSH MOUNT CANOPY LIGHT



**3** SUSPENDED LINEAR



**4** WALL SCONCE



**5** BOLLARD LIGHT



**6** BISTRO LIGHTS



**7** STRIP LIGHT



**8** LANDSCAPE LIGHT



LANDSCAPE: LANDSCAPE AT GROUND LEVEL



1  
EVERILLO JAPANESE SEDGE



2  
GREENSPIRE UPRIGHT EUONYMUS



3  
GULF STREAM HEAVENLY BAMBOO



4  
BLACK MONDO GRASS



5  
NEW ZEALAND FLAX



6  
MOUNT VERNON LAUREL



7  
GOLDEN VARIEGATED SWEETFLAG



8  
GOLDENLEAF DOGWOOD



9  
SOFT RUSH



10  
WESTERN SWORD FERN



11  
FLOWERING DOGWOOD



12  
GREEN VASE ZELKOVA



LANDSCAPE: LANDSCAPE AT LEVEL 2

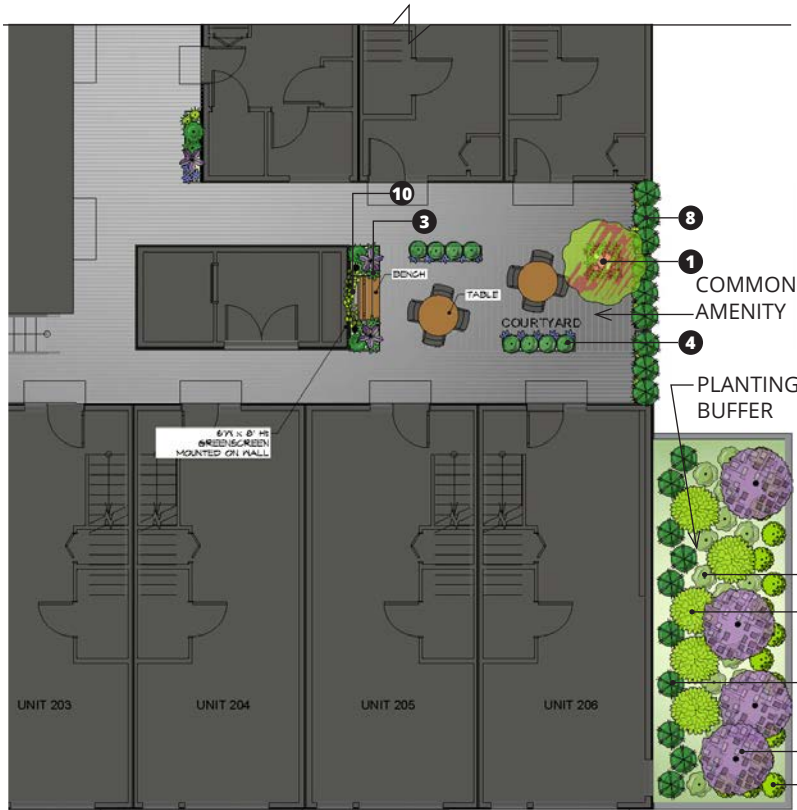
DESIGN RESPONSE

**1b MASSING:**  
AT LEVEL 2, THE EAST FACADE IS BROKEN INTO TWO DISTINCT STRUCTURES, REFLECTING THE RESIDENTIAL SCALE OF THE NEIGHBOR TO THE EAST. THE SPACE BETWEEN THE MASSES CREATES THE EXTERIOR COURTYARD. THE COURTYARD IS DETAILED WITH LUSH PLANTERS, SEATING AND A GREEN WALL CREATING A FRIENDLY AMENITY AREA FOR THE RESIDENTS AND BORROWED VIEWS FOR THE NEIGHBOR.

ADDITIONALLY THE APARTMENT MASSING IS PULLED BACK AT THE SOUTH EAST CORNER, CREATING A LEVEL 2 GREEN ROOF, WHICH IS VISIBLE FROM BOTH THE STREET ALONG 65TH AND FROM THE NEIGHBORING APARTMENT. THE ROOF TOP PLANTER IS DESIGNED WITH A DEEP SOIL DEPTH TO CREATE A ROBUST PLANTING AREA CAPABLE OF BUFFER AND CREATING VISUAL INTEREST. (CS2.D, DC2.A)



COMMON AMENITY AREA / PLANTING BUFFER



LEVEL 2 - LANDSCAPE PLAN



1 AUTUMN MOON MAPLE



2 KALEIDOSCOPE GLOSSY ABELIA



3 WINTERGLOW BERGENIA



4 WILMA GOLDCREST CYPRESS



5 SKY PENCIL JAPANESE HOLLY



6 DART'S GOLD YELLOW NINEBARK



7 MOSS GREEN HONEYSUCKLE



8 H.M. EDDIE YEW



9 BLACK LACE ELDERBERRY



10 FIVE LEAF AKEBIA



# DEPARTURES

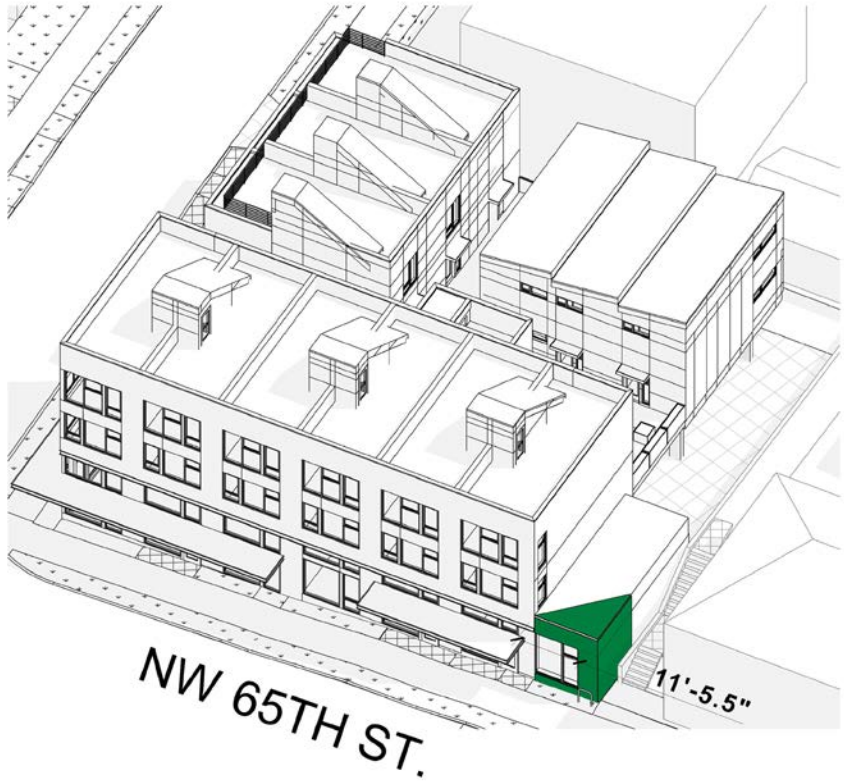
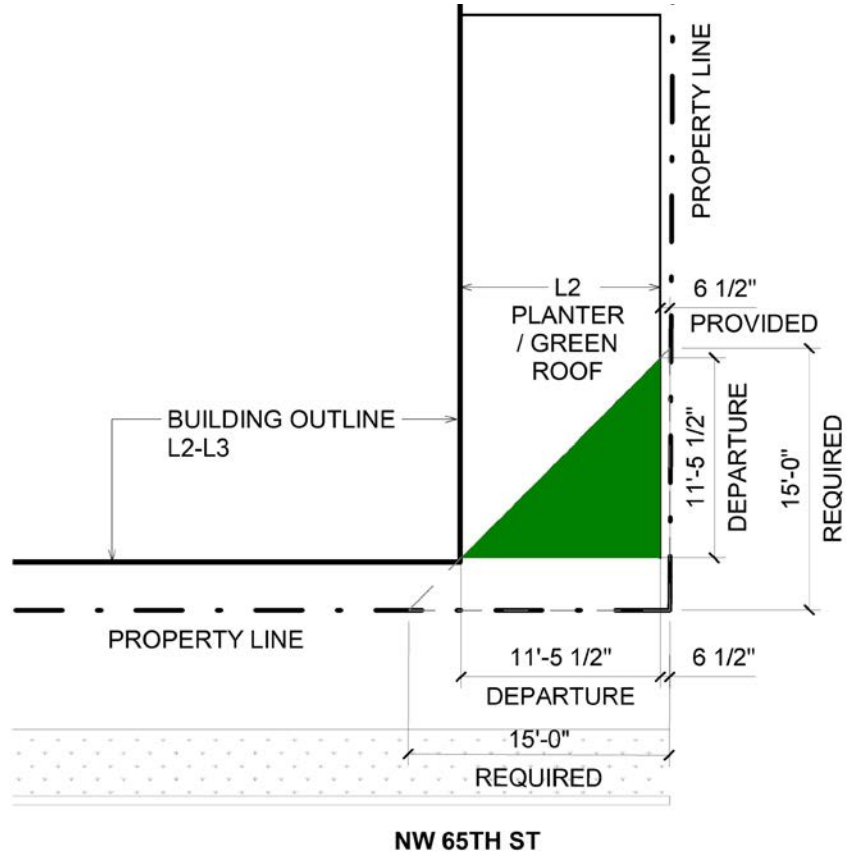
## 1 DEPARTURE   SMC 23.47A.014.B.1: RESIDENTIAL ZONE ABUTMENT

**REQUIRED:**  
15'-0" TRIANGULAR SETBACK AT SIDE/FRONT LOT LINE OF RESIDENTIAL LOT.

**PROVIDED:**  
3.5' x 3.5' TRIANGLE IS PROVIDED AT THE SOUTHEAST PROPERTY LINE, COMPLIANT AT NORTHWEST PROPERTY LINE. 11'-5.5" TRIANGLE DEPARTURE REQUESTED AT THE SOUTHEAST CORNER.

**GUIDELINES:**  
DC2.A.1. SITE CHARECTERISTICS AND USES  
DC2.E.1. LEGIBILITY AND FLEXIBILITY

**JUSTIFICATION:**  
THE TRIANGULAR SETBACK ALONG NW 65TH ST. BREAKS UP THE COMMERCIAL CHARACTER AND CONTINUITY ON NW 65TH ST., AND CREATES A NON-DESIRABLE EMPTY SPACE ALONG THE STREET. THE REQUESTED DEPARTURE ALLOWS A MORE COHERENT STREET EXPERIENCE. ADDITIONALLY, THE RETAINING WALL AND ELEVATED SIDE YARD CONDITION TO THE EAST MINIMIZES THE DEPARTURE IMPACT. IN ADDITION TO THE DIAGRAMS PROVIDED HERE, SEE IMAGES AND ADJACENCY DIAGRAMS ON PAGE 26.



 AERIAL VIEW LOOKING NORTHWEST



2 DEPARTURE SMC 23.47A.014.B.3: SETBACK AT RESIDENTIAL ZONE

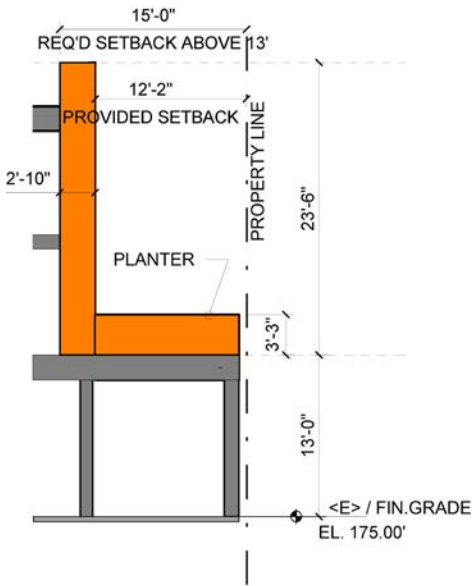
**REQUIRED:**  
15'-0" BETWEEN 13'-0" TO 40'-0" HEIGHT, PLUS 2'-0" FOR EVERY 10'-0" ABOVE 40'-0" HEIGHT.

**PROVIDED:**  
12'-2" & 12'-4" ABOVE 13'-0" AT EAST, (6.5" AT PLANTER IN SOUTHEAST CORNER, WHICH IS ONLY 3'3" ABOVE 13') AND 11'-2" AT NORTH. 2'-10", 2'-8" (14.5' @ PLANTER) 3'-10" DEPARTURE REQUESTED.

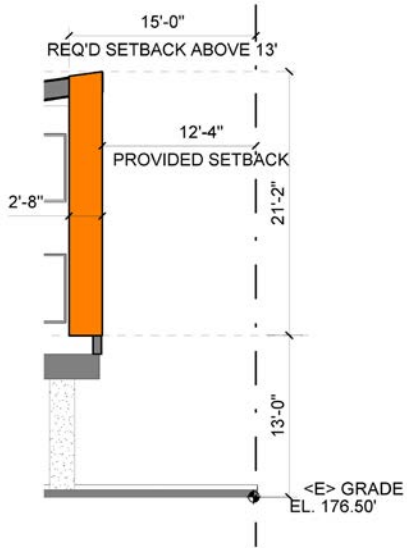
- GUIDELINES:**
- DC1.A.4. VIEWS AND CONNECTIONS
  - DC2.A.1. VISIBILITY
  - DC3.B.4. MULTIFAMILY OPEN SPACE

**JUSTIFICATION:**  
THIS DEPARTURE ALLOWS THE BUILDING TO BE BROKEN INTO THREE MASSES. BY ENCROACHING INTO THE SETBACK, THE BUILDING CAN PROVIDE THE DESIRED DENSITY WHILE ALSO PROVIDING VISUAL INTEREST THROUGH A BROKEN DOWN ARCHITECTURAL FORM, BORROWED VIEWS FOR THE NEIGHBORS, A USABLE L2 AMENITY AREA, AND MORE NATURAL LIGHT ON AND THROUGH THE SITE. ALSO IT ALLOWS MORE CONTINUITY ON THE COMMERCIAL STREET FRONTAGE IN CHARACTER WITH THE SURROUNDING SIMILAR BUILDING TYPES.

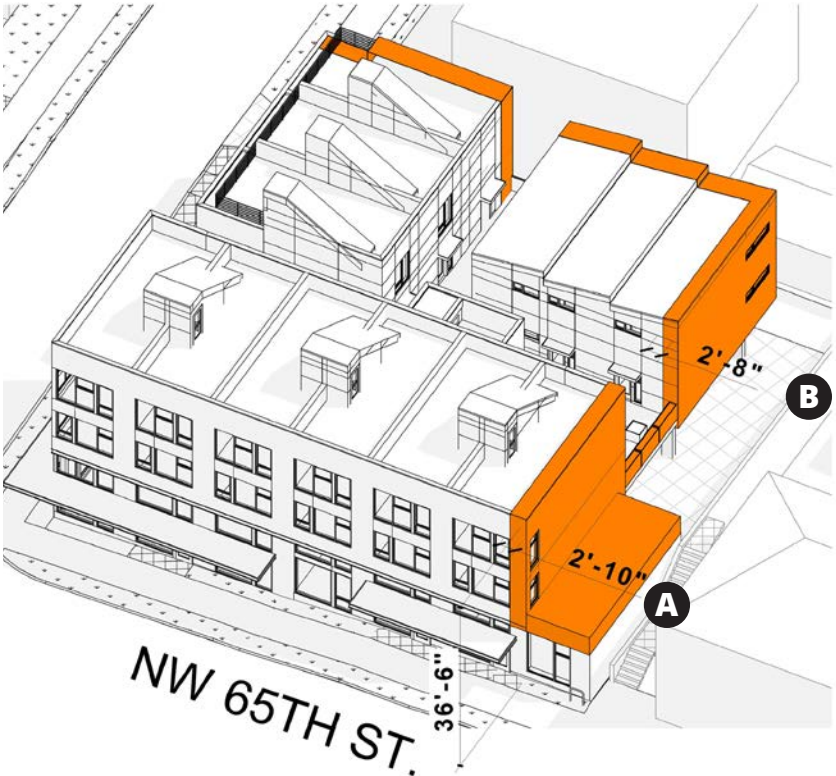
THE EAST PROPERTY IS OCCUPIED BY SURFACE PARKING AT THE NORTHEAST MASSING, MINIMIZING PRIVACY CONFLICTS AND ADJACENCY PRESSURES. THE APARTMENT BUILDING TO THE NORTH HELPS TRANSITION ZONES, AND IS MORE IN CHARACTER WITH A SIDE SETBACK THAN A REAR SETBACK IN THIS CASE AT THE ADJACENCY. ADDITIONALLY, TO ACCOMMODATE THE SOIL DEPTH TO PROVIDE A LUSH AND VOLUMINOUS PLANTING BUFFER, THE PLANTER AT THE SOUTH EAST CORNER PROJECTS 1'11" ABOVE 13'. A SHALLOW GREEN ROOF COULD BE PROVIDED THAT DOES NOT REQUIRE A DEPARTURE BUT THE PLANTING WOULD NOT BE NEARLY AS VISIBLE OR LUSH.



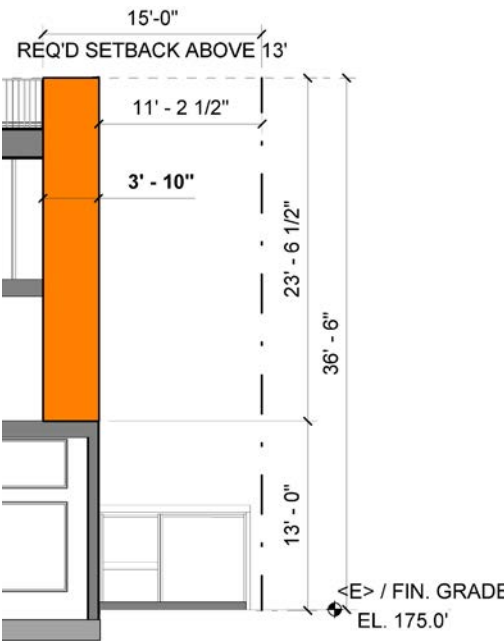
A SECTION @ SE MASS



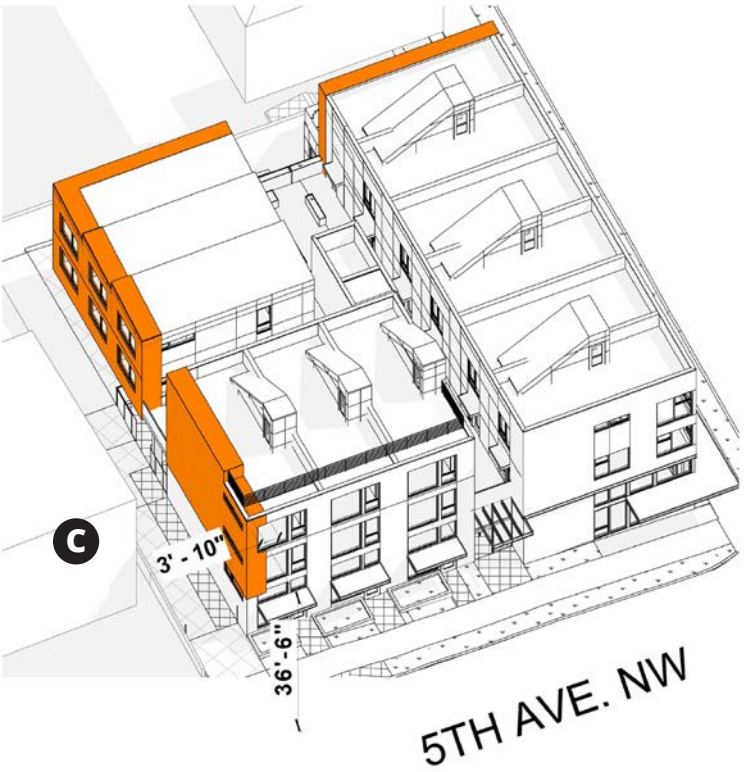
B SECTION @ NE MASS



AERIAL VIEW LOOKING NORTHWEST



C SECTION @ NW MASS





DEPARTURES

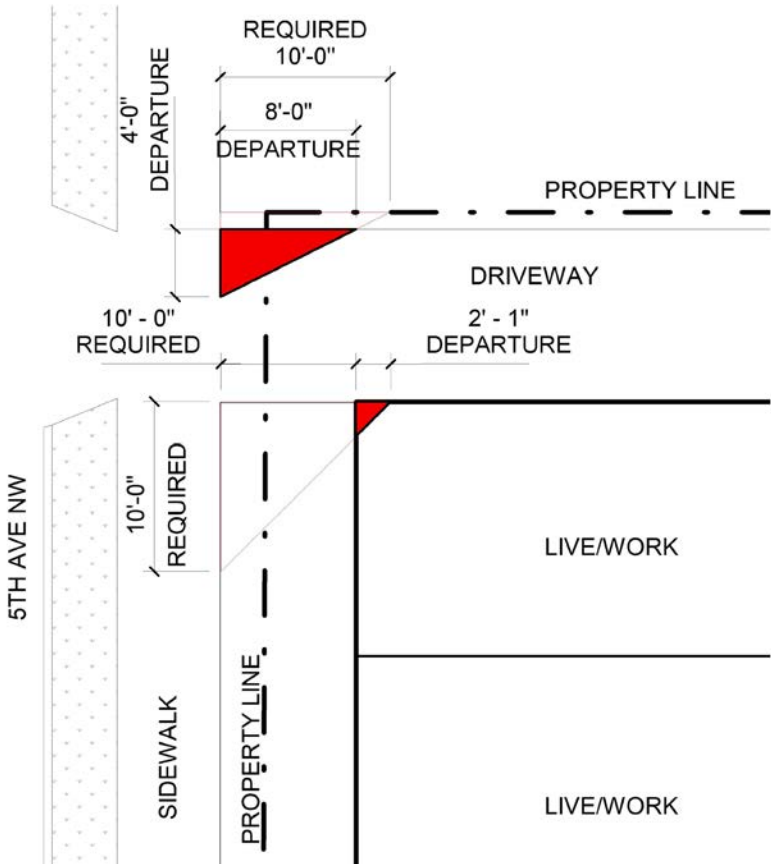
3 DEPARTURE SMC 23.54.030.G.4: SIGHT TRIANGLE AT LOT LINE

**REQUIRED:**  
10'-0" TRIANGLE AND 5' X 10' TRIANGLE AT LOT LINE.

**PROVIDED:**  
7'-11" TRIANGLE AT BUILDING, +/-1'-0" AT LOT LINE. 2'-1" TRIANGLE, 4X8' TRIANGLE AT LOT LINE DEPARTURE REQUESTED.

**GUIDELINES:**  
DC1.A.4. VIEWS AND CONNECTIONS

**JUSTIFICATION:**  
THE SIGHT TRIANGLE CREATES AN OVERLY LARGE DRIVEWAY OPENING. THIS DEPARTURE ALLOWS FOR A MORE COHERENT AND CONTINUOUS STREETScape ON 5TH AVE. NW, AND AN IMPROVED PEDESTRIAN EXPERIENCE. TRAFFIC MIRRORS, DRIVEWAY GATE AND RUMBLE PAVING WILL HELP ENSURE SAFETY. PLEASE SEE PAGE 32 FOR MORE INFORMATION REGARDING SITE SAFETY AT THE DRIVEWAY.



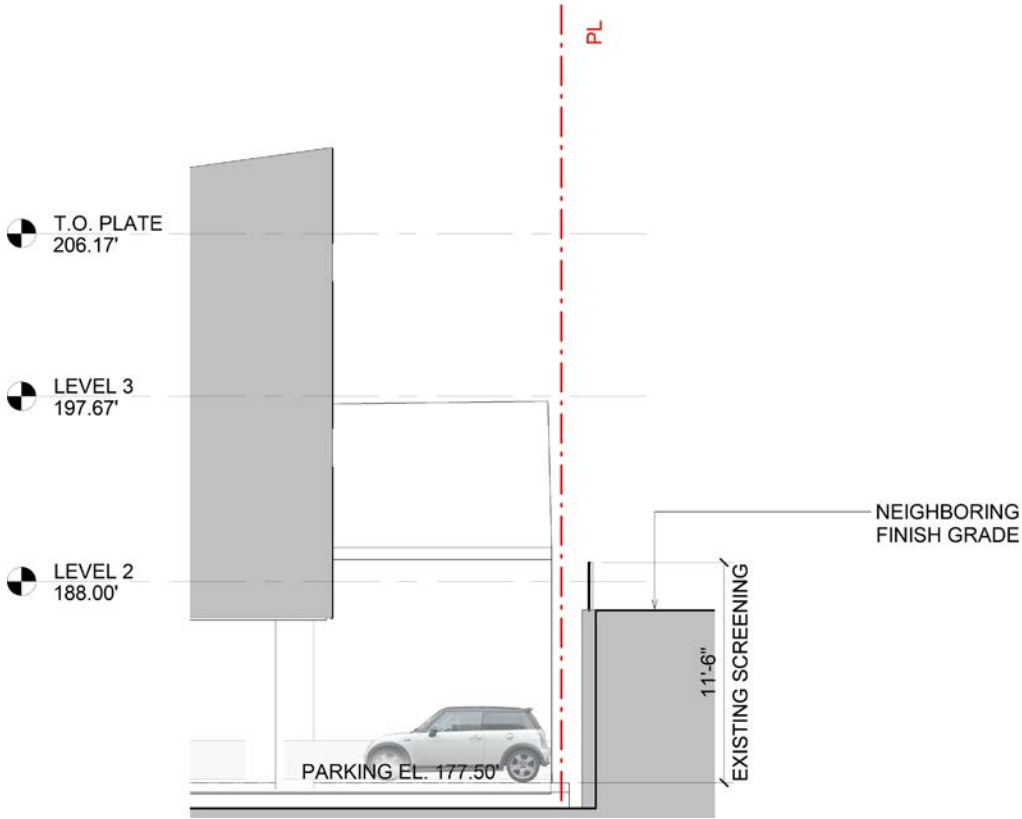
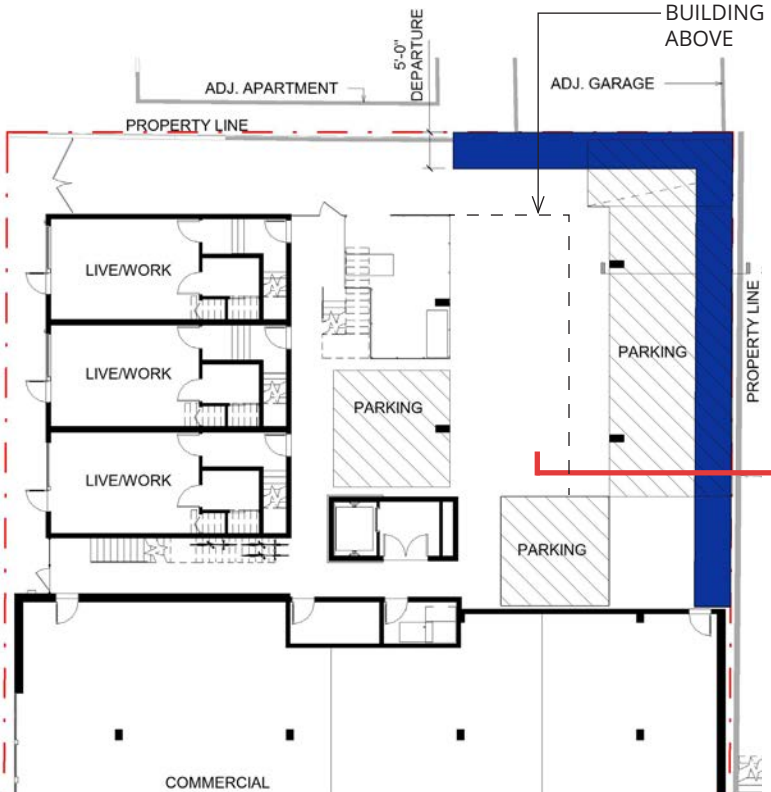
4 DEPARTURE SMC 23.47A.016.3.Table D.m: PLANTING BUFFER AT PARKING

**REQUIRED:**  
UNENCLOSED PARKING GARAGE ON LOTS ABUTTING A LOT IN A RESIDENTIAL ZONE REQUIRE A 5' DEEP LANDSCAPED AREA AND 6' SCREENING ALONG EACH SHARED LOT LINE.

**PROVIDED:**  
6' SCREENING IS PROVIDED AND 0' PLANTING BUFFER.

**GUIDELINES:**  
DC1.C.1. BELOW-GRADE PARKING  
DC1.C.2. VISUAL IMPACTS

**JUSTIFICATION:**  
WHILE THE GARAGE IS UNENCLOSED AND FALLS INTO THIS CODE SECTION, IT DOES NOT TAKE INTO ACCOUNT THE GRADE CHANGE AND EXISTING STRUCTURAL CONDITIONS AT THE PROPERTY LINE. THE PARKING GARAGE IS RECESSED BELOW THE NEIGHBORING PROPERTIES FROM 6'-10' AND BEHIND EXISTING RETAINING WALLS. IN ESSENCE THE PARKING AREA IS ALMOST FULLY ENCLOSED.



1 SITE PLAN



# DEPARTURE MATRIX FROM EDG MEETING

## 1 RESIDENTIAL ZONE ABUTMENT SMC 23.47A.014.B.1: RESIDENTIAL ZONE ABUTMENT

**REQUIRED:** 15'-0" TRIANGULAR SETBACK AT SIDE/FRONT LOT LINE OF RESIDENTIAL LOT.

**PROVIDED:** 0'-0" TRIANGLE AT EAST PROPERTY LINE, COMPLIANT AT NORTH PROPERTY LINE. 14'-9" TRIANGLE DEPARTURE REQUESTED.

**JUSTIFICATION:** THE TRIANGULAR SETBACK ALONG NW 65TH ST. BREAKS UP THE COMMERCIAL CHARACTER AND CONTINUITY ON NW 65TH ST., AND CREATES A NON-DESIRABLE EMPTY SPACE ALONG THE STREET. THE REQUESTED DEPARTURE ALLOWS A MORE COHERENT STREET EXPERIENCE. ADDITIONALLY, THE RETAINING WALL AND ELEVATED SIDE YARD CONDITION TO THE EAST MINIMIZE THE DEPARTURE IMPACT. (DC2.A.1, DC2.E.1)

**BOARD:** THE BOARD INDICATED A WILLINESS TO ENTERTAIN THIS DEPARTURE AND WAS IN AGREEMENT WITH THE JUSTIFICATION PROVIDED.

**REQUEST:** MAINTAINED



## 2 SETBACK AT RESIDENTIAL ZONE SMC 23.47A.014.B.3: SETBACK AT RESIDENTIAL ZONE

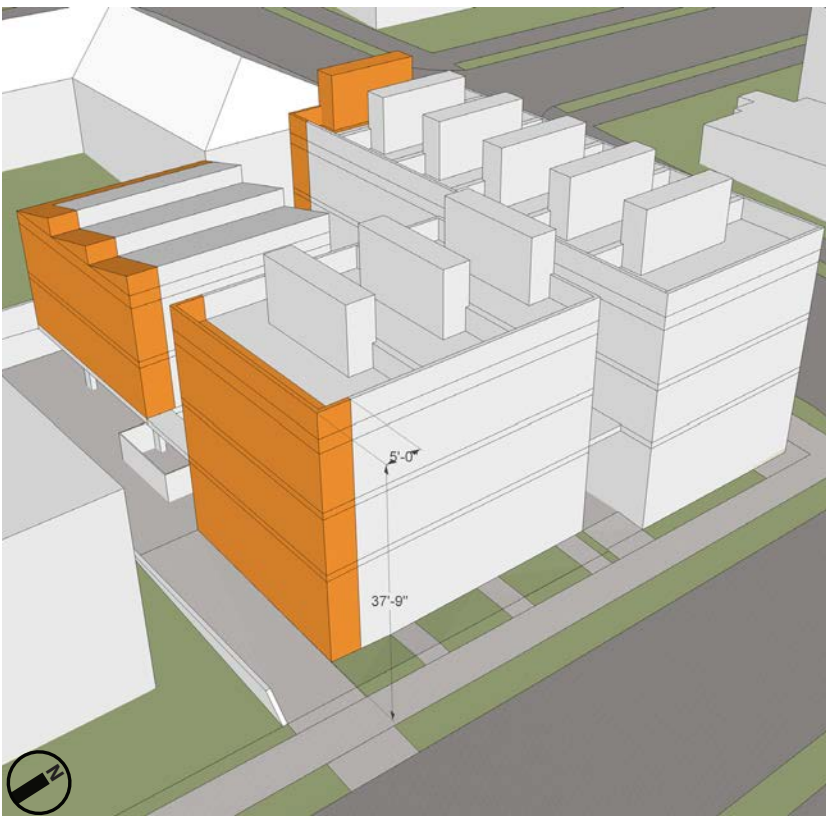
**REQUIRED:** 15'-0" BETWEEN 13'-0" TO 40'-0" HEIGHT, PLUS 2'-0" FOR EVERY 10'-0" ABOVE 40'-0" HEIGHT.

**PROVIDED:** 9'-0" ABOVE 13'-0" AT EAST, 11'-0" AT NORTH, 0'-3" BELOW 13'-0" AT EAST. 3'-2" TO 6'-0" DEPARTURE REQUESTED.

**JUSTIFICATION:** THE DEPARTURE ALLOWS MORE CONTINUITY ON THE COMMERCIAL STREET FRONTAGE IN CHARACTER WITH THE SURROUNDING SIMILAR BUILDING TYPES. ADDITIONALLY, TO PROVIDE AN ACTIVATED AND USABLE L2 PLAZA, THE PRIMARY MASSING MUST SHIFT EAST. THE EAST PROPERTY IS OCCUPIED BY SURFACE PARKING AT THE NORTH MASSING, MINIMIZING PRIVACY CONFLICTS AND ADJACENCY PRESSURES. THE APARTMENT BUILDING TO THE NORTH HELPS TRANSITION ZONES, AND IS MORE IN CHARACTER WITH A SIDE SETBACK THAN A REAR SETBACK IN THIS CASE AT THE ADJACENCY. (DC1.A.4, DC2.A.1, DC3.B.4)

**BOARD:** THE BOARD DID NOT SUPPORT THIS DEPARTURE AS IS AND REQUESTED A MORE COMPELLING ARGUMENT TO BE PRESENTED WITH SUPPORTING DOCUMENTATION SUCH AS WINDOW STUDIES.

**REQUEST:** REDUCED BY 3'-2" ALONG EAST AND 1'-2" ALONG THE NORTH. MOVING THE PENTHOUSE AWAY FROM EAST PROPERTY LINE ALSO REDUCED THE DEPARTING HEIGHT.



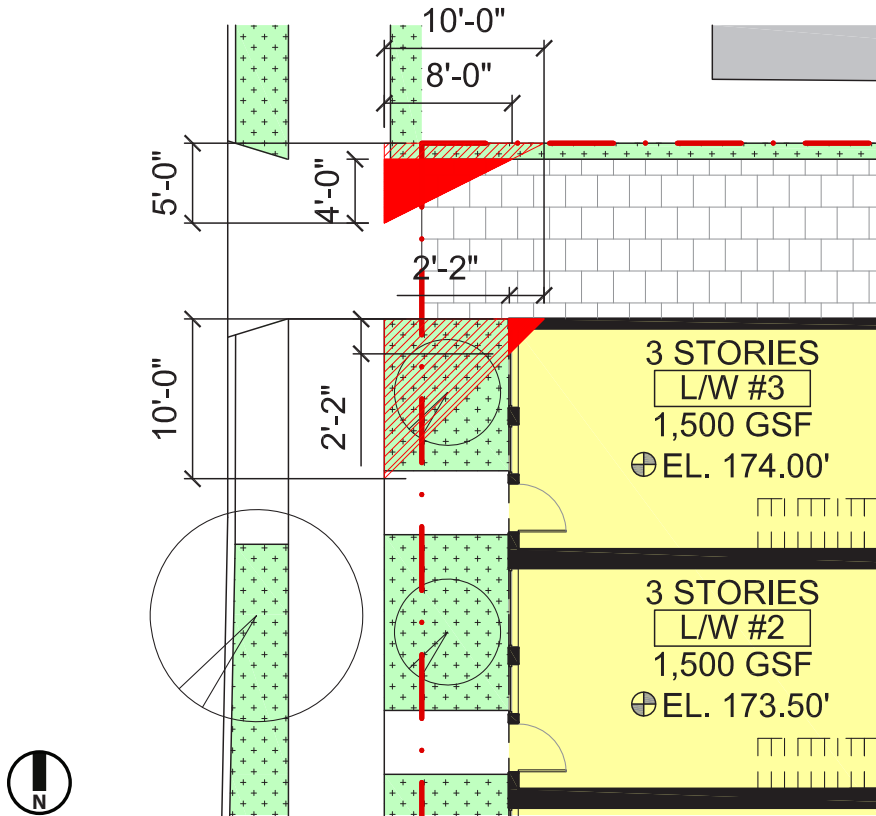
## 3 SIGHT TRIANGLE SMC 23.54.030.G.4: SIGHT TRIANGLE AT LOT LINE

**REQUIRED:** 10'-0" TRIANGLE AND 5' X 10' TRIANGLE AT LOT LINE.  
**PROVIDED:** 7'-10" TRIANGLE AT BUILDING, +/-1'-0" AT LOT LINE. 2'-2" TRIANGLE, 4'X8' TRIANGLE AT LOT LINE DEPARTURE REQUESTED.

**JUSTIFICATION:** THE SIGHT TRIANGLE CREATES AN OVERLY LARGE DRIVEWAY OPENING. THIS DEPARTURE ALLOWS FOR A MORE COHERENT AND CONTINUOUS STREETScape ON 5TH AVE. NW, AND AN IMPROVED PEDESTRIAN EXPERIENCE. TRAFFIC MIRRORS AND RUMBLE PAVING WILL HELP ENSURE SAFETY. (DC1.A.4)

**BOARD:** THE BOARD INDICATED A WILLINESS TO ENTERTAIN THIS DEPARTURE AND WAS IN AGREEMENT WITH THE JUSTIFICATION PROVIDED.

**REQUEST:** MAINTAINED





RECENT WORK **SHW**



800 5TH AVE N (PERMITTING)



2418 NW 58TH ST



120 10TH AVE E



116 13TH AVE E



1806 23RD AVE



6301 15TH AVE NW (UNDER CONSTRUCTION)



1404 BOYLSTON AVE