

THE CHRISTIANSON DEVELOPMENT
5414 DELRIDGE WAY SW
SEATTLE, WASHINGTON 98106



STREAMLINED DESIGN REVIEW
#3024488
MAY 25, 2016

4218 SW Alaska Street Suite F
Seattle, WA 98116
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PROJECT INTRODUCTION



ADDRESS: 5414 Delridge Way SW, Seattle WA 98106
DPD PROJECT #: 3024488

KING COUNTY PARCEL NO.: 1773101530
LEGAL DESCRIPTION:
LOT 4, BLOCK 30, COTTAGE GROVE NUMBER TWO, ACCORDING TO THE PLAT THEREOF RECORDED UNDER VOLUME 22 OF PLATS, PAGE 71, RE-CORDS OF KING COUNTY, WA

OWNER: The Christianson Development
5424 Delridge Way SW, Suite A
Seattle, Washington 98106

APPLICANT: McNelis Architects
CONTACT: Lisa McNelis
4218 SW Alaska Street, Suite F
Seattle, WA 98116

DEVELOPMENT OBJECTIVES

The proposed project consists of a street facing 3-story structure containing 2 commercial units and a separate 3-story structure containing 4 residential units. The owner has developed three similarly-planned projects just two lots to the south. The main tenant of the commercial space will be the owner's business, Community Care, which provides services for children with behavioral challenges. It is a design goal to build a recognizable building that incorporate San Francisco inspired Victorian detailing similar to a historic photo from 1906 that he has long admired. It is the intent of this project to inspire future development in Delridge that takes great care in materials, detailing and design whatever its style may be.

This project also includes four parking spaces accessed from the alley. Designated parking for the commercial space will not be provided. The project aims to enhance the pedestrian environment along Delridge Way SW by providing a lively street facade with ample windows, a balcony, attractive lighting and landscaping and a covered entry. At the owner's expense, the remainder of the unpaved alley on this block will be paved. This is not an SDOT or SDCI requirement for this project.

The approximate sizes of the proposed building and its uses are as follows:

- Residential Unit Count: 4 Units
- On-site Parking Stall Count: 4 Stalls
- Area of Residential Uses: 5,436 Sq. Ft.
- Area of Office Uses: 2,167 Sq. Ft.
- Total Area: 7,603 Sq. Ft.

EXISTING SITE

The project site consists of a single parcel located mid-block on the east side of Delridge Avenue SW between SW Findlay Street and SW Brandon Street. The site is currently occupied by a single family home built in 1930 and is planned for demolition as part of the redevelopment of the site. The site is approximately 40' wide and 120' deep and is bounded by a 16'-0" wide unimproved alley to the east. The owner is electing to improve the alley under a separate permit in order to better serve his existing built projects to the south at 5420, 5424 and 5428 Delridge way SW.

Automobiles can currently access the site by a single curb cut along Delridge Way SW as well as rear yard access from the alley typical of single family homes during the early to mid 20th century. The proposed design would remove the curb cut off of Delridge Way and replace with standard sidewalk and planter strip landscaping. Resultant automobile access will be from the alley only. The topography of the site slopes upward from Delridge Way to the alley with an approximate change in grade of 10'. The street frontage is general flat and the largest change in grade is from the street frontage back to the alley. The site does not include any environmentally critical areas. The site includes a limited number of small flowering trees that are both on-site and on adjacent properties as well as small trees in the right-of-way. None of the trees appear to be exceptional and are planned for removal. Street trees and right-of-way landscaping will be coordinated with the City of Seattle.

ZONING AND OVERLAY DESIGNATION

The site is not located in an Urban Village and its proximity to frequent transit is undetermined. The owner plans to provide on-site parking per city standards. The site was recently rezoned in May 2015 to NC2P-40, which intends to preserve and encourage a pedestrian-oriented, retail shopping district, limiting nonresidential uses to animate the sidewalk environment. Properties immediately north and south as well as across Delridge Way are also zoned NC2P-40. Properties across the alley to the east are zoned SF-5000 which triggers special setbacks between the commercial zone and the single family zone.

NEIGHBORING DEVELOPMENT

The neighborhood is made up of small and mid-sized commercial uses that run north and south along Delridge Way with single family homes occurring beyond the commercial frontages both to the east and west. More recent development in the immediate neighborhood has created a nice variety of building scales and types. This variety of scale and added attention to the pedestrian sidewalk realm has also created a catalyst for a developing pedestrian character. The most notable newer structures in the area include The Delridge Library, the developer's existing 3 commercial / townhouse projects on Delridge, and the newly built Delridge Supportive Housing project just south on Delridge Way. The neighborhood also has a quaintness about it that is created by small cafe's and restaurants that are operating out of older smaller established structures. Further away from the site is the Delridge Community Center to the north with its playfields and outdoor activities areas, the west Seattle Golf Course also to the north, a variety of parks, and the liveliness of the West Seattle Junction to the west.

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SITE ANALYSIS

URBAN CONTEXT

SURROUNDING CONTEXT

9 BLOCK GRID / AERIAL IMAGE

DETAIL AERIAL & MASSING VIEWS

FIGURE GROUND ANALYSIS

EXISTING SITE PLAN

STREETSCAPES

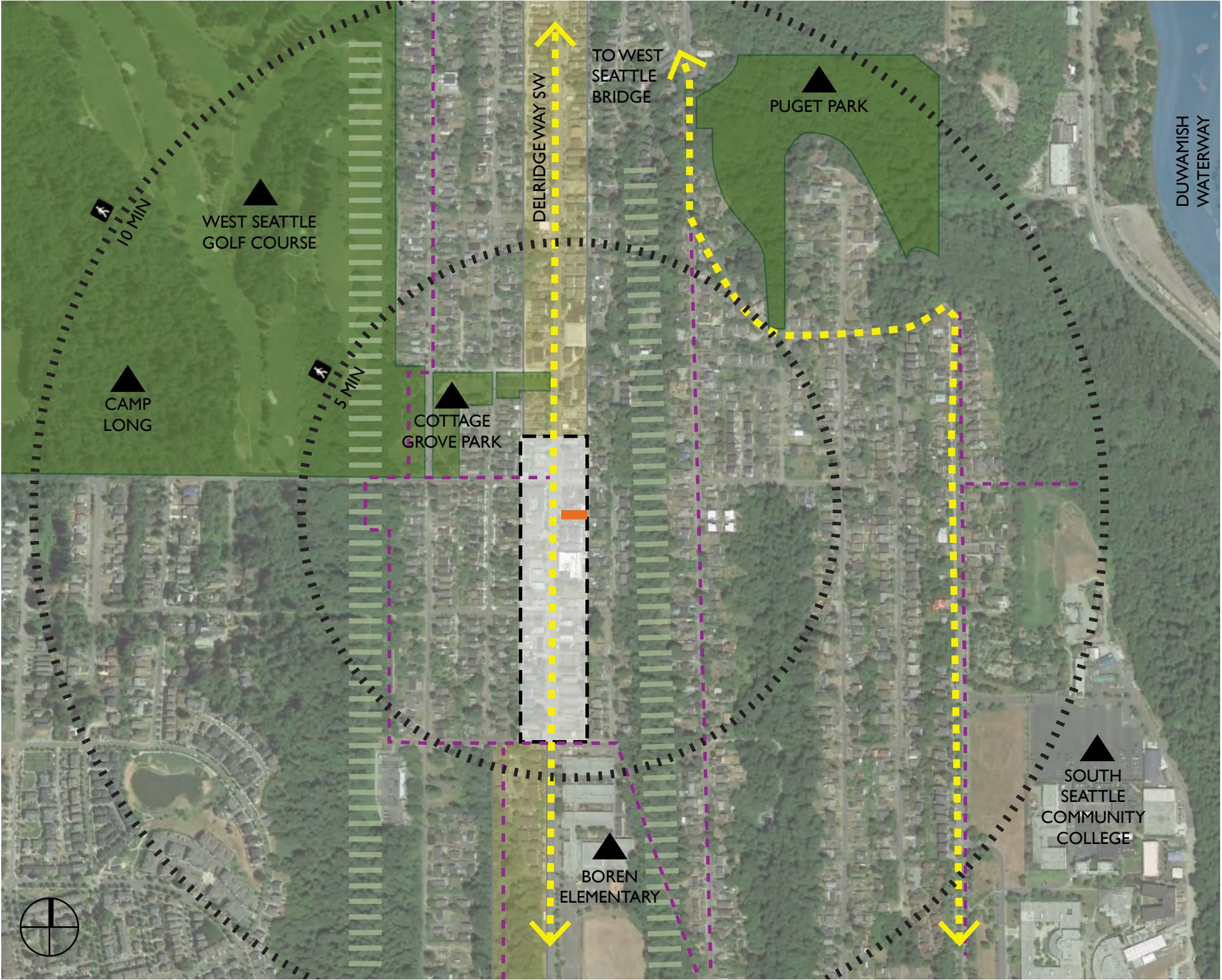
EXISTING TREE INFORMATION

ZONING SUMMARY

SITE ANALYSIS FOR THIS SITE PREVIOUSLY
PERFORMED BY NK ARCHITECTS FOR
DPD #3019822

SITE ANALYSIS

URBAN CONTEXT



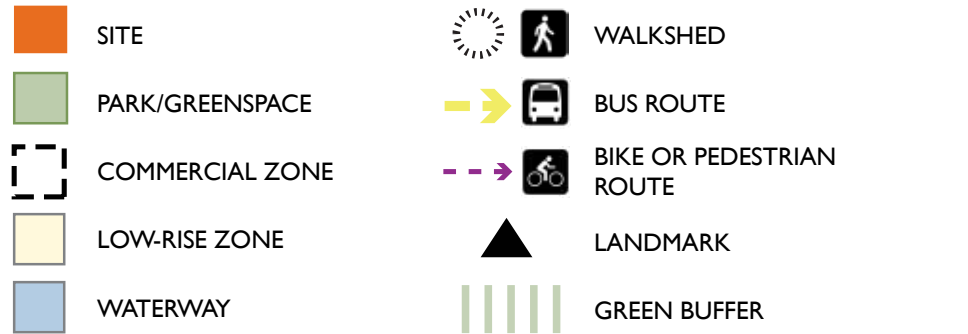
OPPORTUNITIES & CONSTRAINTS

The project site is located along Delridge Way SW, a major north-south corridor in west Seattle. Development along Delridge Way SW is characterized by low- and mid-rise densities, light commercial activity, and community amenities. The site is situated in a neighborhood commercial zone that stretches several blocks along Delridge Way SW. This zone contains such uses as: neighborhood restaurants, convenience marts, gas stations, auto repair, and small office space. The Delridge Public Library is located across the street from the site.

The project is located just north of three mixed-use developments by the owner/developer, which serve as a precedent for the project. Similar to these existing developments, the proposed project will also enhance the pedestrian nature of the neighborhood with ground-level commercial space and landscaping. To the east and west, the neighborhood is residential in nature. Single family homes are located across the alley at the rear property line. This alley provides vehicular access for on-site parking.

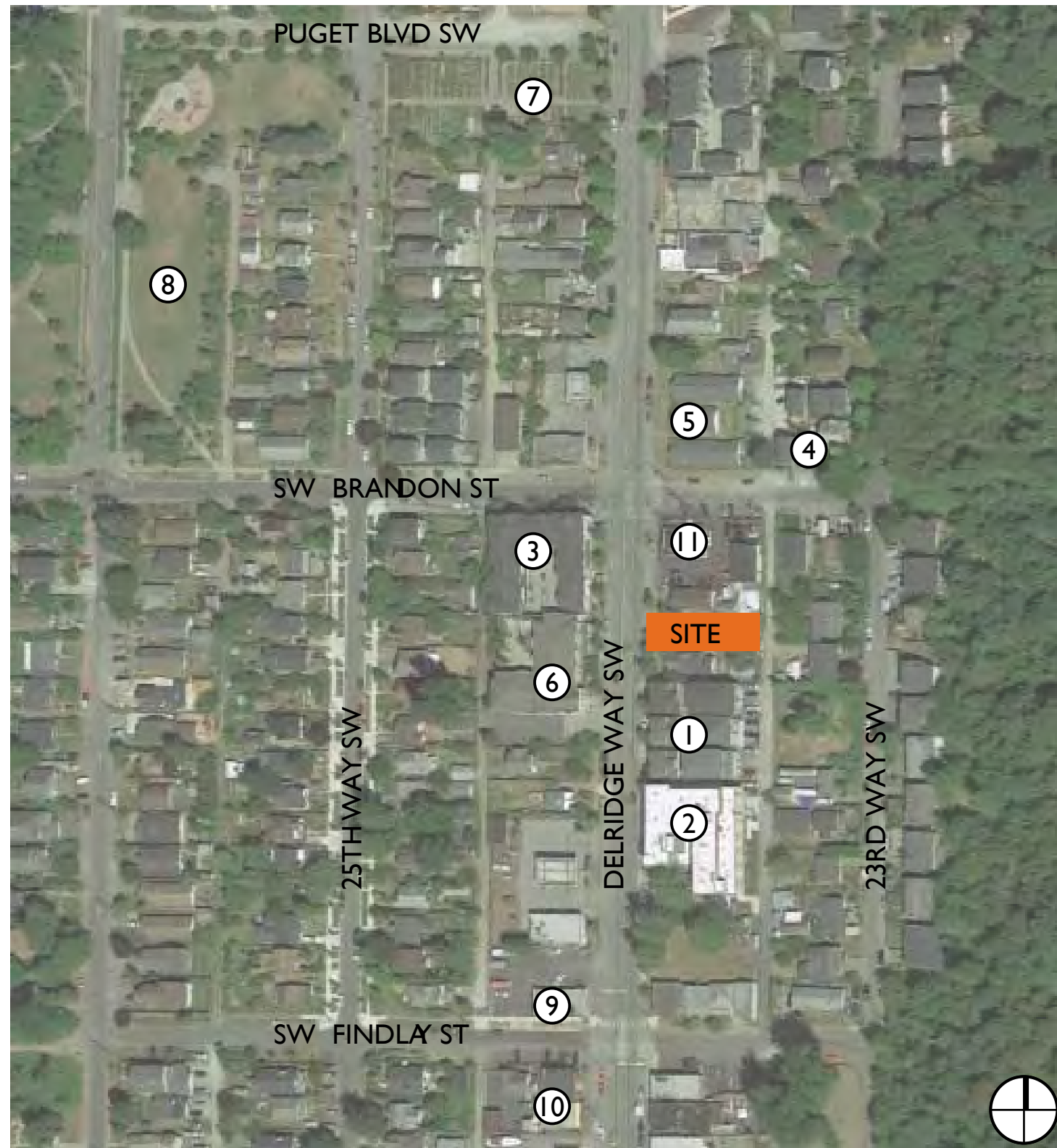
Numerous parks and green-spaces are within close proximity: Cottage Grove Park, Camp Long, Puget Park, West Seattle Golf Course, and the Delridge P-Patch. The Delridge Community Center and Playfield are located five blocks north of the site. There is also a church and schools in the immediate site vicinity including South Seattle Community College and Boren Elementary. The topography of the site itself is fairly flat however, a heavily vegetated ridge runs north-south one block east of the site creating a green edge to the immediate neighborhood. Another ridge lies to the west of the site along Camp Long.

The site is well served by public transit. Bus routes run along Delridge Way SW and 16th Avenue SW. The Longfellow Creek Legacy Trail provides a north-south pedestrian route just west of the site. The site also has easy vehicular access to the West Seattle Bridge via Delridge Way SW.



SITE ANALYSIS

SURROUNDING CONTEXT



① CHRISTIANSON DEVELOPMENT



② COTTAGE GROVE COMMONS



③ BRANDON COURT MIXED-USE



④ SINGLE-FAMILY RESIDENTIAL



⑤ SINGLE-FAMILY RESIDENTIAL



⑥ DELRIDGE PUBLIC LIBRARY



⑦ DELRIDGE P-PATCH



⑧ COTTAGE GROVE PARK



⑨ CONVENIENCE FOOD MART



⑩ NEIGHBORHOOD RESTAURANTS



⑪ AUTO REPAIR

SITE ANALYSIS

9 BLOCK GRID - AERIAL VIEW SHOWING CURRENT CONSTRUCTION AND PROJECTS IN REVIEW



SITE ANALYSIS

DETAIL AERIAL VIEWS AND MASSING VIEW OF SITE



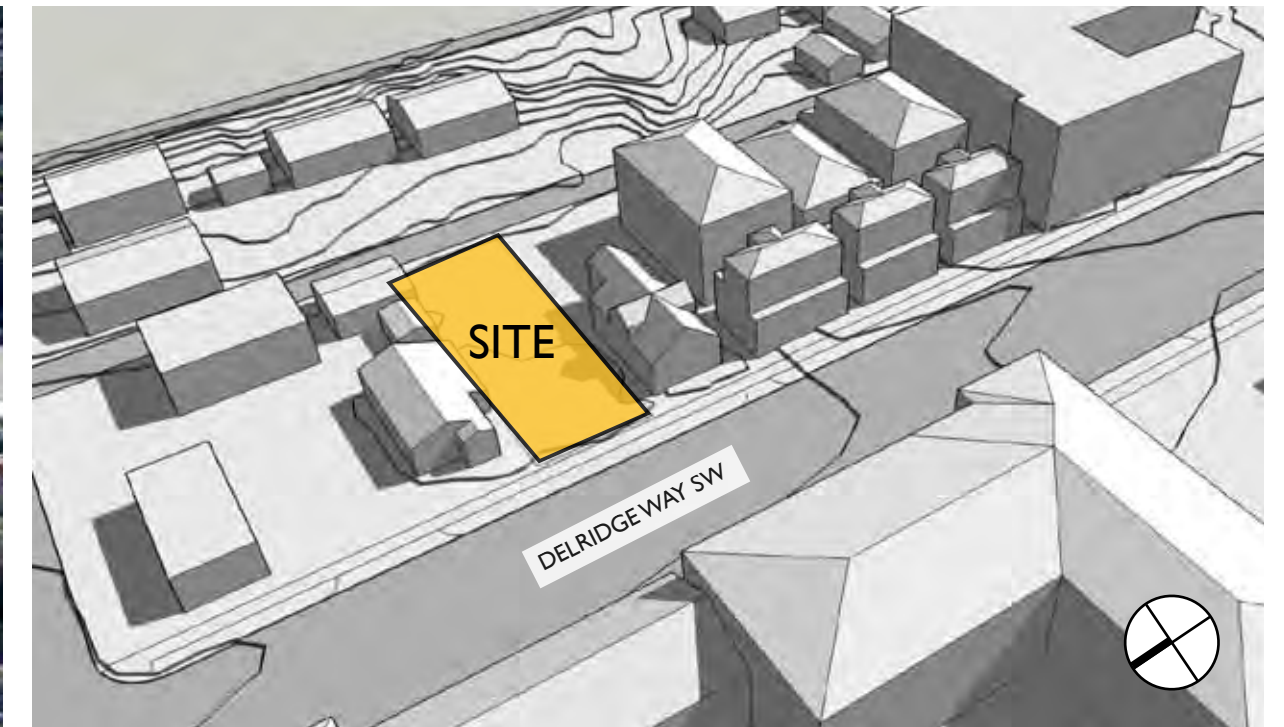
DETAIL AERIAL VIEW FROM THE WEST



DETAIL AERIAL VIEW FROM THE NORTHWEST



AERIAL VIEW FROM THE NORTHWEST



AERIAL MASSING VIEW FROM THE NORTHWEST

SITE ANALYSIS

FIGURE GROUND ANALYSIS

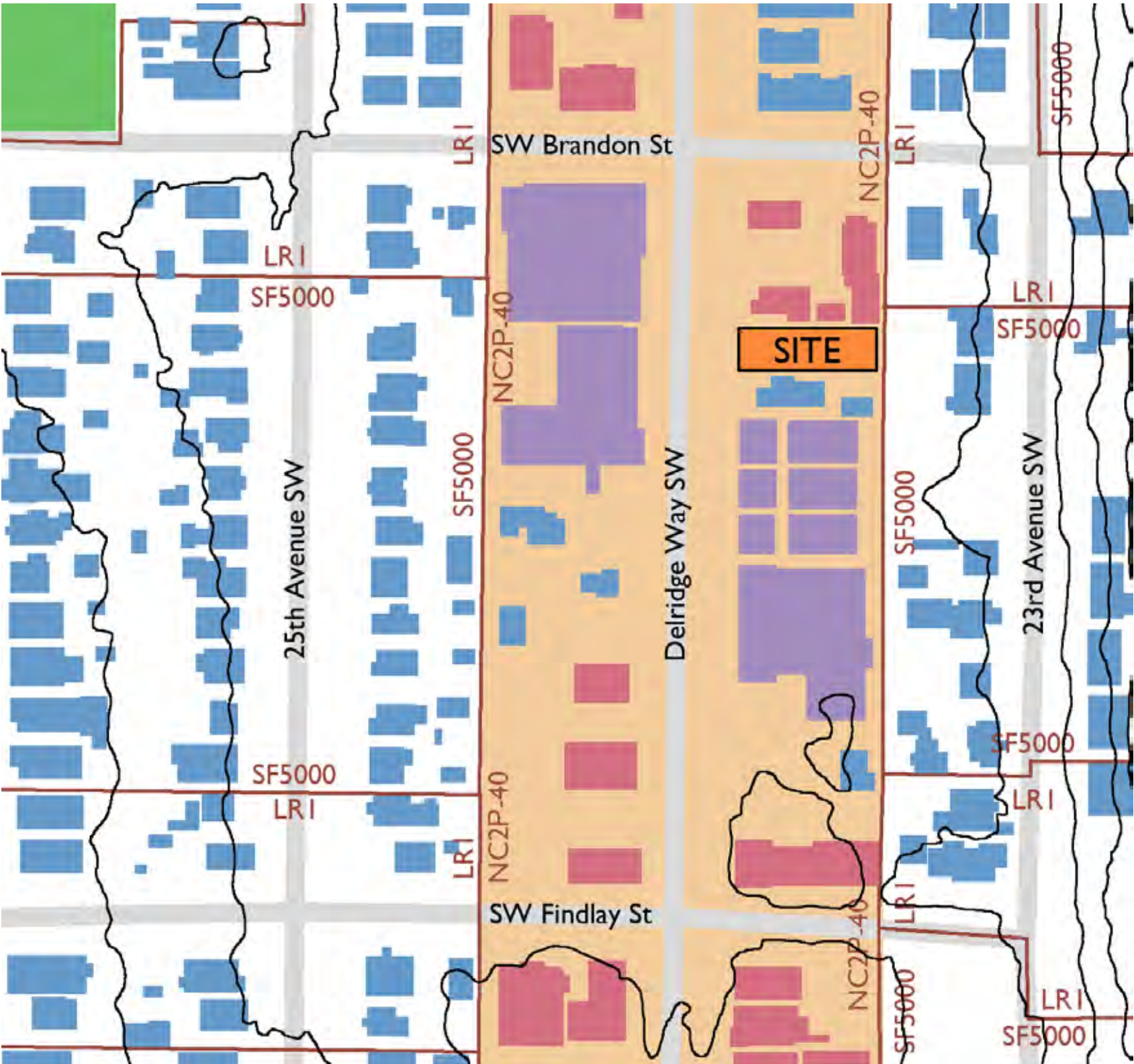


FIGURE GROUND ANALYSIS

The project site lies in a pocket of NC2P-40 zoning that runs north and south along Delridge Way SW and extends half a block to both the west and east alleys. The NC2P-40 zone in the area has, in more recent years, attracted a few parcels to be developed with multi-family and mixed-use projects while other parcels are occupied by commercial uses in older smaller structures. These new multi-family / mixed-use projects are shown in purple on the adjacent figure ground analysis. As these new projects have developed, the street character has become more vibrant and more pedestrian focused. In May 2015, the city recognized this shift and rezoned the surrounding area to NC2P-40, which intends to preserve and encourage a pedestrian-oriented, retail shopping district, limiting nonresidential uses to animate the sidewalk environment.

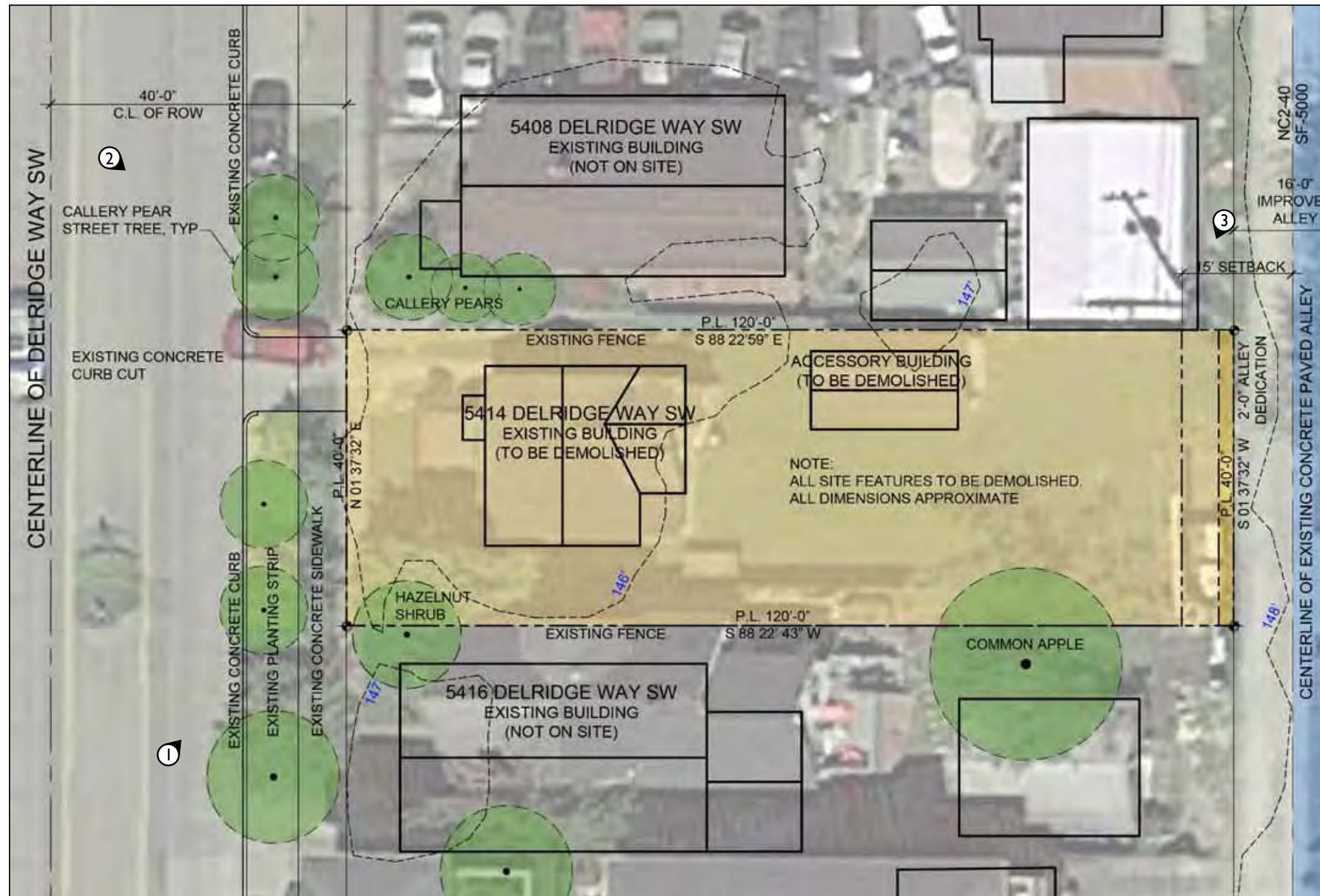
Immediately beyond the NC2P-40 zone, the zone changes to either LR-I or SF-5000. The character and uses in these areas are predominately residential in the form of single family homes.

FIGURE GROUND LEGEND

 SINGLE FAMILY RESIDENCE	 INSTITUTIONAL / RELIGIOUS
 MULTI-FAMILY / MIXED-USE	 PARKING
 COMMERCIAL	 PARK LAND

SITE ANALYSIS

EXISTING SITE PLAN



① PROJECT SITE LOOKING SOUTHEAST FROM DELRIDGE



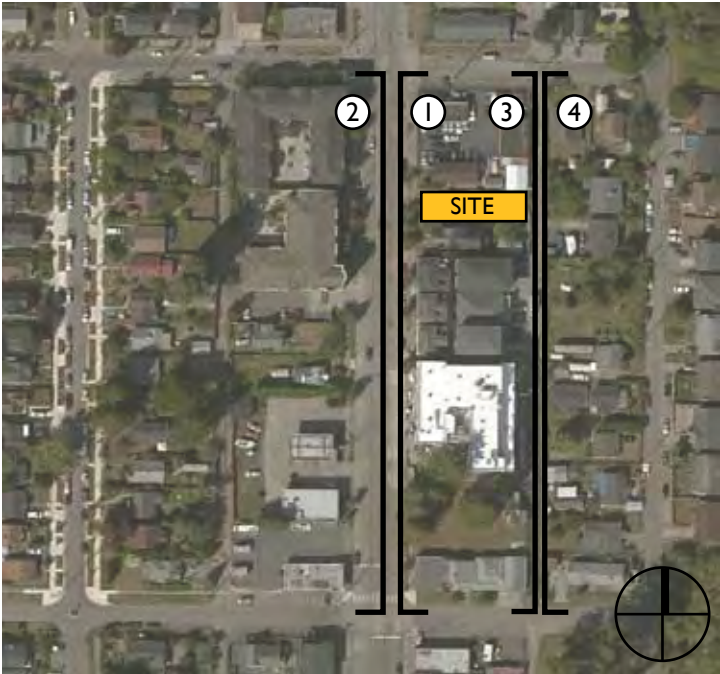
② PROJECT SITE LOOKING SOUTHEAST FROM DELRIDGE



③ PROJECT SITE LOOKING SOUTHWEST FROM ALLEY

SITE ANALYSIS

STREETSCAPES



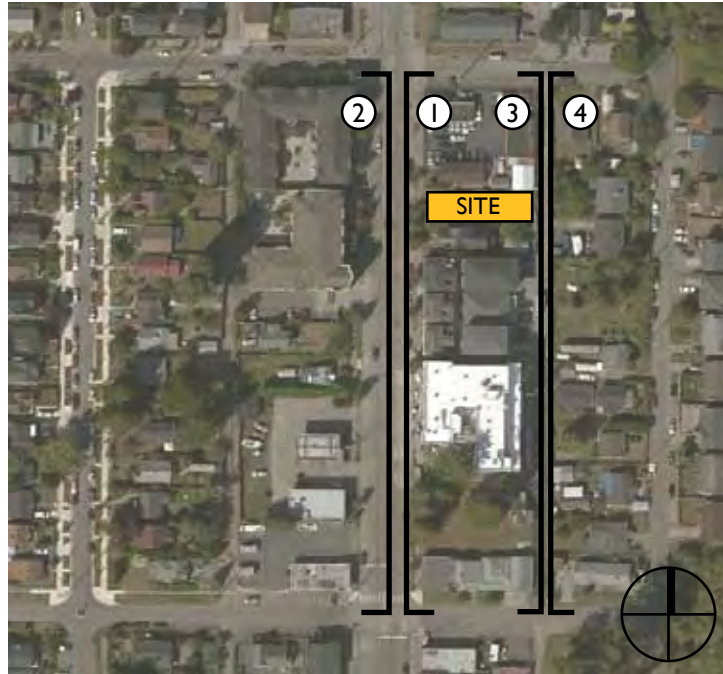
① DELRIDGE WAY SW LOOKING EAST TOWARDS PROJECT SITE



② DELRIDGE WAY SW LOOKING WEST

SITE ANALYSIS

STREETSCAPES



③ ALLEY LOOKING WEST TOWARDS PROJECT SITE



④ ALLEY LOOKING EAST

SITE ANALYSIS

EXISTING TREE PLAN AND INFORMATION



STREET VIEW OF SITE SHOWING STREET TREES IN THE FOREGROUND (5408 DELRIDGE TO THE LEFT, 5416 DELRIDGE TO THE RIGHT)



APPLE TREE ON ADJACENT SITE, SEEN FROM BACK OF SITE



APPLE TREE ON ADJACENT SITE, SEEN FROM ALLEY



PEAR TREE ON ADJACENT SITE



HAZELNUT ON ADJACENT SITE



SHRUB BASE ON ADJACENT SITE



APPLE TREE ON ADJACENT SITE

EXISTING TREE INFORMATION

There are no trees on the subject property. Several newly planted street trees (Callery Pears *Pyrus calleryana*) exist in the planting strip along Delridge Way.

One branch of the large apple tree growing near the fence line on the neighboring property to the south extends onto the site. The apple tree has a large trunk, but does not exceed the 20" exceptional tree minimum diameter listed in Director's Rule 16-2008 for Common Apple Trees. The large shrub near the front of the property is made up of a variety of overgrown plants, dominated by a hazelnut shrub.

Limbs overhanging the property line are to be removed.

SITE ANALYSIS

ZONING SUMMARY

PROJECT DATA

ZONE:	NC2P-40 (PEDESTRIAN DESIGNATED ZONE)
OVERLAY:	NONE
ECA:	NONE
LOT AREA :	4,801 SF AS SURVEYED.
SMC 23.47A.004 PERMITTED USES:	PERMITTED OUTRIGHT: - RESIDENTIAL - OFFICE

STREET-LEVEL USES

SMC 23.47A.005.C.4.I RESIDENTIAL USES AT STREET LEVEL:

Along designated principal pedestrian streets, one or more of the following uses are required along 80 percent of the street-level facing facade in accordance with 23.74A.008.C.: OFFICE, provided that not more than 30' of the street-level street-facing facade of a structure may contain an office use.

PER 23.47A.005.4.2: The following street is a principal pedestrian street when located within a pedestrian designated zone: DELRIDGE WAY SW.

STREET-LEVEL DEVELOPMENT STANDARDS

SMC 23.47A.008 STREET-LEVEL DEVELOPMENT STANDARDS

REQUIRED:	A maximum of 40% blank facades between 2 feet and 8 feet above the sidewalk at street-facing facades and less than 20 feet in width.
PROPOSED:	Facade Width: 32'-8." Street-level blank facade on Delridge Way SW: 5'-0" Width / 32' -8" = 15% Blank facade. No segment is longer than 20 feet in width.

NON-RESIDENTIAL STREET-LEVEL REQUIREMENTS

Required:	60% of the street-facing facade between 2 feet and 8 feet must be transparent.
Proposed:	60% transparency on Delridge Way SW.
Required:	Nonresidential uses shall extend an average of at least 30' and a minimum of 15' depth.
Proposed:	28'-4" depth as measured per 23.86.014 Structure width measurement width of smallest rectangle enclosing principal structure.

Required:	Nonresidential uses at street level shall have floor-to-floor height of at least 13'-0."
Proposed:	Minimum floor-to-floor height of 13'-0."
Required:	Minimum 80% of the width of the structure's street-level facade that faces a principal pedestrian street shall be occupied by uses listed in 23.47A.005.D.I. Offices, Provided that no more than 30 feet of the street-level street facing facade may contain an office use.
Proposed:	Offices, Provided that no more than 30 feet of the street-level street facing facade may contain an office use.
Required:	Continuous overhead weather protection is required along at least 60% of the street frontage of a structure on a principal pedestrian street. The covered area shall have a minimum width of 6' and other provisions of 27.47A.008.D.4.c-e.
Proposed:	Overhead Weather Protection : 8'-0" wide x 3'-0" deep.

PER 23.47A.008.F: The director may allow exceptions to the street-level requirements of this section as a type I decision. for projects that are not subject to the Design Review process, except as noted.

- Requested Exceptions:
1. Street-level street facing facade width containing office.
 2. Depth of street level office use.
 3. Overhead weather protection location and size.
 4. Parking aisle width.
 5. Solid waste and recycle storage size.

STRUCTURAL HEIGHT

SMC 23.47A.12 ALLOWED MAXIMUM STRUCTURE HEIGHT

Average Grade Elevation = 146'-5"
Base Height 40'-0".

Additional allowed per SMC 23.47A.012.A.1.a:
* 4' additional feet allowed for 13' fl. to fl. non-res. st. uses at street level:
Max. building height to top of roof: 44'-0".
Additional allowed per SMC 23.47A.012.B AND C2:
** 5' additional allowed for parapets/pitched roofs > 4:12: 49'-0"

Proposed maximum structure height:
Calculated average height datum: + 146'-5"
* To top of roof: 44'-0" + 146'-5" = 190'-5"
** To top of parapets/pitched roofs: 49'-0" + 146'-5" = 195'-5"



DCI ZONING MAP

SITE ANALYSIS

ZONING SUMMARY

STRUCTURE HEIGHT (CONTINUED)

SMC 23.47A.12 STRUCTURE HEIGHT CONDITIONS

- The height of the structure may exceed the limit by 4' , provided that :
- 1. A floor -to-floor height of 13 ft or more is provided for non-residential uses or a residential use is located on a street-level, street-facing facade or the first floor of the structure at or above grade is at least 4' above sidewalk grade.
 - 2. The additional height allowed for the structure will not allow an additional story beyond the number that could otherwise be built under the applicable height limit.
 - 3. The additional height will not significantly block views from neighboring structures of any of the following: Mount Rainier , the olympic & cascade mountains, The Downtown Skyline, Green Lake, Puget Sound, Lake Washington, Lake Union, or The Ship Canal.

Proposed:

- 1. A floor-to-floor height of 13 ft is provided for nonresidential uses on a street-level, street-facing facade.
- 2. The additional height allowed for the structure will not allow an additional story beyond the number that could otherwise be built under the applicable height limit.
- 3. The additional height will not significantly block views from neighboring structures of mount rainier , the cascade mountains, the downtown skyline or green lake beyond that which would be blocked by the building without the additional height.

FLOOR AREA RATIO

PER SMC 23.47A.13 TABLE A MAXIMUM FLOOR AREA RATIO

- Allowed: 3.25 Mixed-use maximum FAR.
3.0 Single-purpose structure maximum FAR.
- Proposed: Mixed-use FAR: 7,603 SF / 4,801 SF = 1.58
Residential use FAR: 5,436 SF / 4,801 SF = 1.13
Non-residential use FAR: 2,167 SF / 4,801 SF = 0.45

PER SMC 23.47A.13.H MINIMUM FLOOR AREA RATIO

Not Applicable

SETBACK REQUIREMENTS

SMC 23.47A.014 EXHIBIT A SETBACK ABUTTING A SIDE OR REAL LOT LINE OF A RESIDENTIALLY ZONED LOT.

Required Front Setback: 0'-0"

Required Side Setback: 0'-0"

Required Rear Setback Adjacent to Residential Zone: *

- | | |
|-----------------------------|---|
| 0' - 13'-0" Abv. grade: | 0'-0" |
| 13'-0" - 40'-0" Abv. grade: | 15'-0" |
| > 40'-0" Abv. grade: | Add'l 2' per 10'-0" in height over 40'-0" (not used.) |

* One-half of alley width may be counted as part of the required setback

Provided Rear Setback:

- | | |
|-----------------------------|--------|
| 0' - 13'-0" Abv. grade: | 21'-0" |
| 13'-0" - 40'-0" Abv. grade: | 21'-0" |

LANDSCAPING

SMC 23.47A.016.A LANDSCAPING AND SCREENING STANDARDS

Required: 0.30 Minimum green factor does not apply because development includes:

- A. Less than four new dwelling units.
- B. Less than 4,000 new sf non-residential uses.
- C. Less than 20 new parking spaces.

SMC 23.47A.016.B STREET TREE REQUIREMENTS

1. Street trees are required when any development is proposed, exceptions do not apply. existing street trees shall be retained unless the director of transportation approves their removal. the director, in consultation with the director of transportation, will determine the number, type, and placement of street trees to be provided.

SMC 23.47A.016.D SCREENING AND LANDSCAPING REQUIREMENTS FOR SPECIFIC USES:

Per Table C: No screening and landscaping requirements for less than 20 parking spaces.

AMENITY AREA

SMC 23.47A.024

- Required: All residents shall have access to at least one common or private amenity area.
private balconies shall have a min. area of 60 sf and no horizontal dimension less than 6 ft.
5% of gross floor area in residential use: 1,366 sf = 68.3 sf. min.
dimension: 6'-0"

Provided: 75 sf private balconies

REQUIRED PARKING

SMC 23.54.015 REQUIRED PARKING

Required: Per Table 23.54.015, B.8 Offices: 1 Space for each 1,000 sq. ft.

23.54.015.D.I PARKING WAIVERS FOR NON-RESIDENTIAL USES:

In all commercial zones and in pedestrian-designated zones, no parking is required for the first 1,500 sf of each business establishment.

Proposed: Unit A (Offices): 774 sf 0 Spaces provided w/ waiver.
Unit B1 (Offices): 746 sf 0 Spaces provided w/ waiver.
Unit B2 (Offices): 742 sf 0 Spaces provided w/ waiver.
Parking for residential uses: 1 Per dwelling unit.

Proposed: 4 Parking stalls provided for residential use only.

SMC 23.54.015.K BICYCLE PARKING

Required: Per Table A: Offices: 1 Long-term space per 4,000 sq. ft.
And 1 short-term space for 4,000 sq. ft.
Residential: 1 space per 4 dwelling unit = 1 spaces.

Provided: 3 Spaces

PARKING SPACE STANDARDS

PER SMC 23.54.030.A PARKING SPACE DIMENSIONS:

2. "Medium vehicle" means the minimum size of a medium vehicle parking space shall be 8 ft in width and 16 ft in length.

PER SMC 23.54.030.B PARKING SPACE DIMENSIONS:

1.a. When 5 or fewer parking spaces are provided, the minimum required size of a parking space shall be for a medium car.

PER SMC 23.54.030.E EXHIBIT C: PARKING AISLES:

Two way traffic	A	B	C	D	E	F	G
Required:	75°	8'-0"	16'-0"	20'-0"	17'-6"	N/A	8'-3"
Provided:	75°	8'-0"	16'-0"	18'-6"	17'-6"	N/A	8'-3"

SOLID WASTE AND RECYCLABLE STORAGE

SMC 23.54.040

Required Residential (2 -8 dwelling units) Storage: 84 sf minimum
Required Nonresidential Development (< 5000 sf): 82 sf
Required Mixed-use Storage: Residential + 50% Nonresidential
84 sf + (82 sf / 2) = 125 sf

Proposed Mixed-use Storage: 100 sf *

* Mixed-use development may reduce the non-residential requirements by 50%

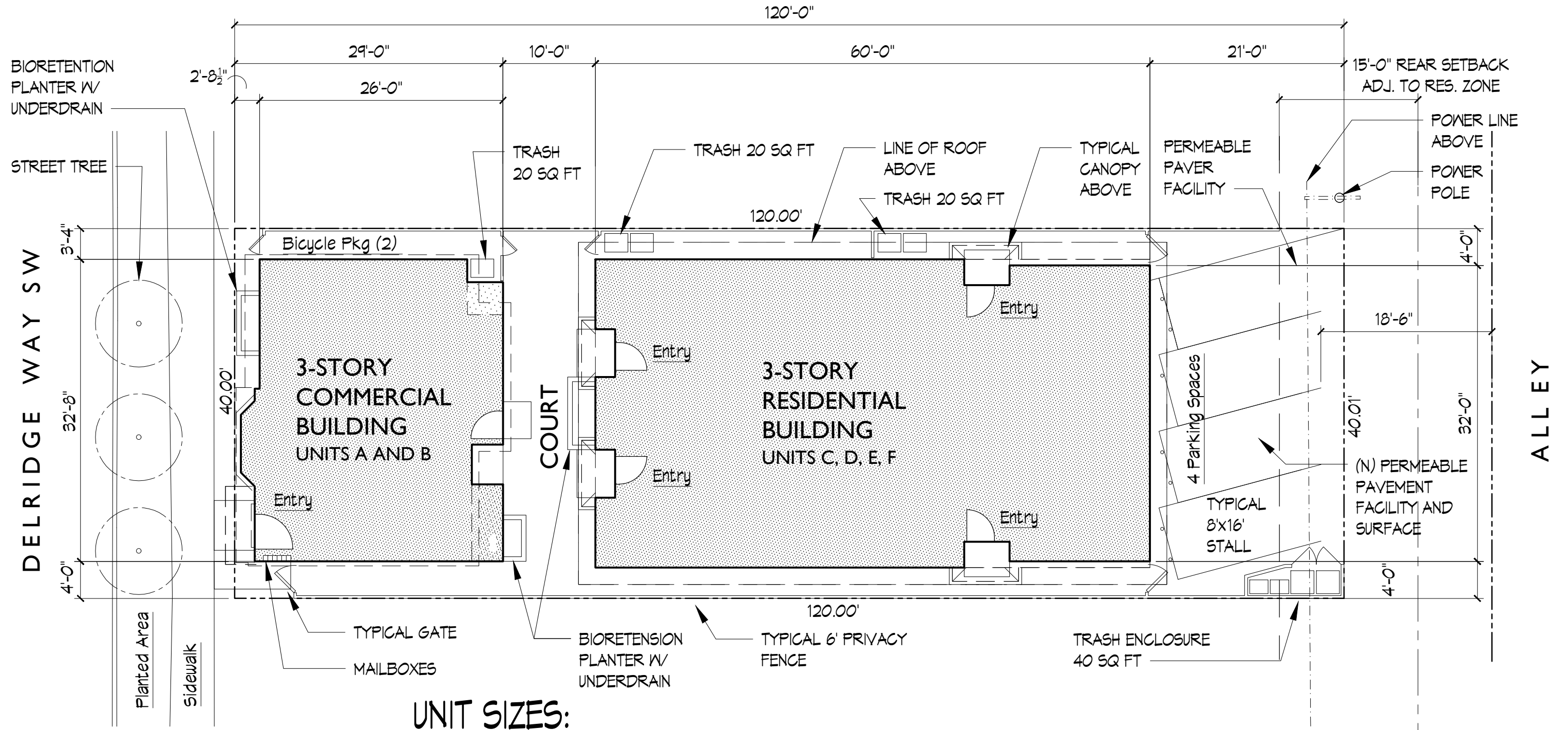
For eight or fewer dwelling units, the minimum horizontal dimension is 7 ft.
The floor shall be hard surfaced.

ARCHITECTURAL CONCEPT

SITE PLAN
FIRST AND SECOND FLOOR PLANS
THIRD FLOOR AND ROOF PLANS
STREET CONTEXT
NORTH AND SOUTH ELEVATIONS
BUILDING SECTIONS AND ELEVATION
DELRIDGE WAY ELEVATION
BUILDING MATERIALS
ARTIST RENDERING
APPLICABLE DESIGN GUIDELINES
REQUESTED EXCEPTIONS TO SLU CODE
RECENT MCNELIS PROJECT
LANDSCAPE DESIGN

ARCHITECTURAL CONCEPT

SITE



UNIT SIZES:

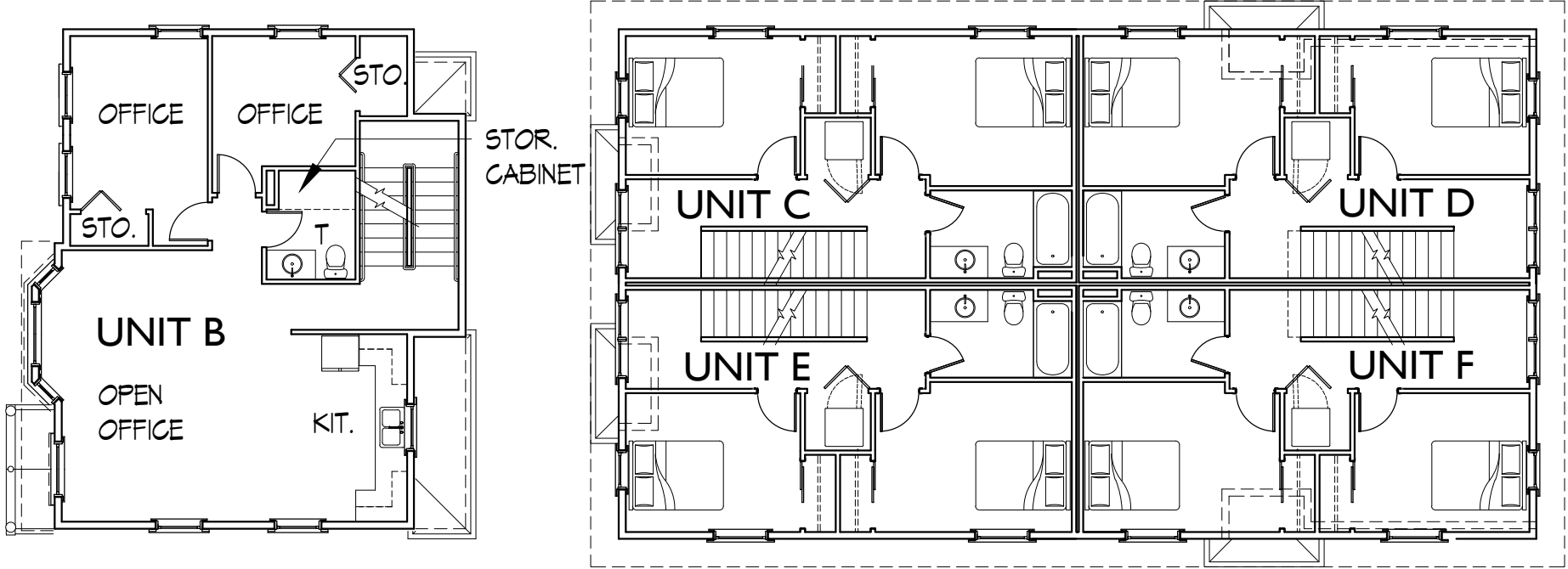
UNIT A COMMERCIAL:	717 SQ FT
UNIT B COMMERCIAL:	1,450 SQ FT.
UNIT C RESIDENTIAL:	1,366 SQ FT
UNIT D RESIDENTIAL:	1,352 SQ FT
UNIT E RESIDENTIAL:	1,366 SQ FT
UNIT F RESIDENTIAL:	1,352 SQ FT

SITE PLAN
SCALE: 3/32" = 1'-0"

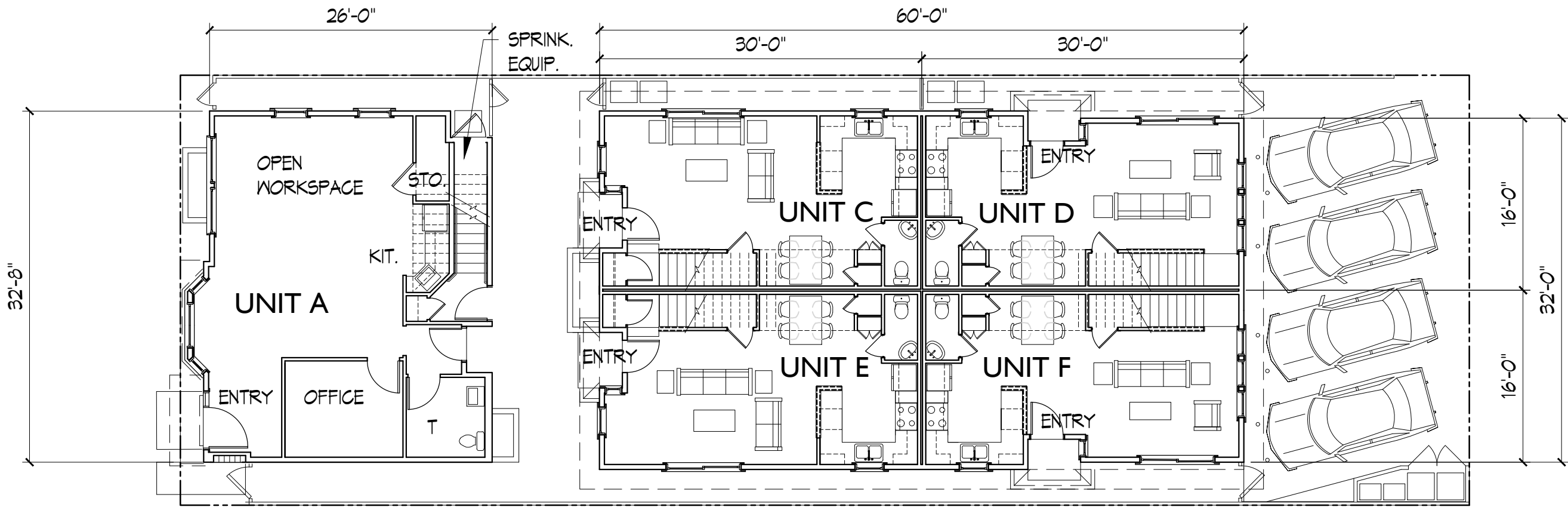


ARCHITECTURAL CONCEPT

PLANS



SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

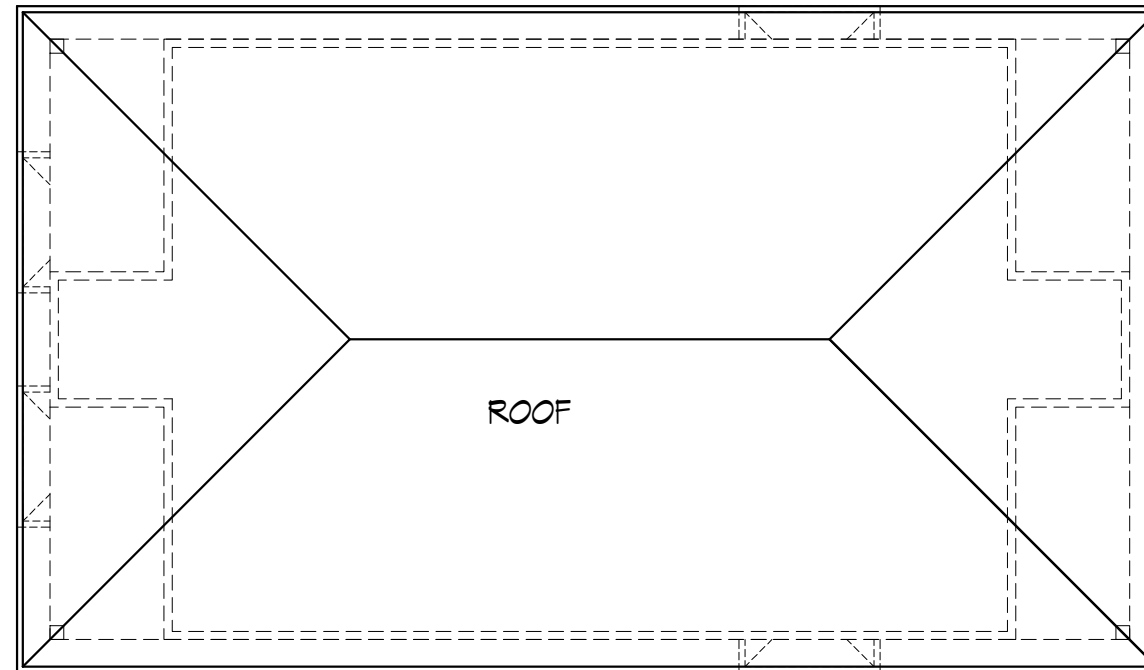
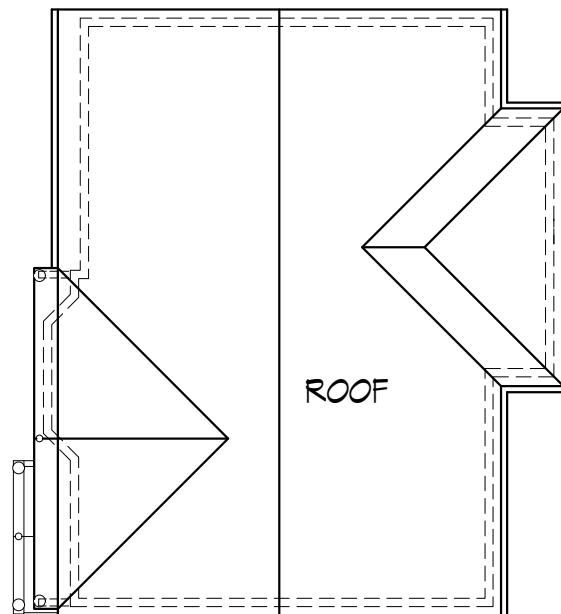


FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"



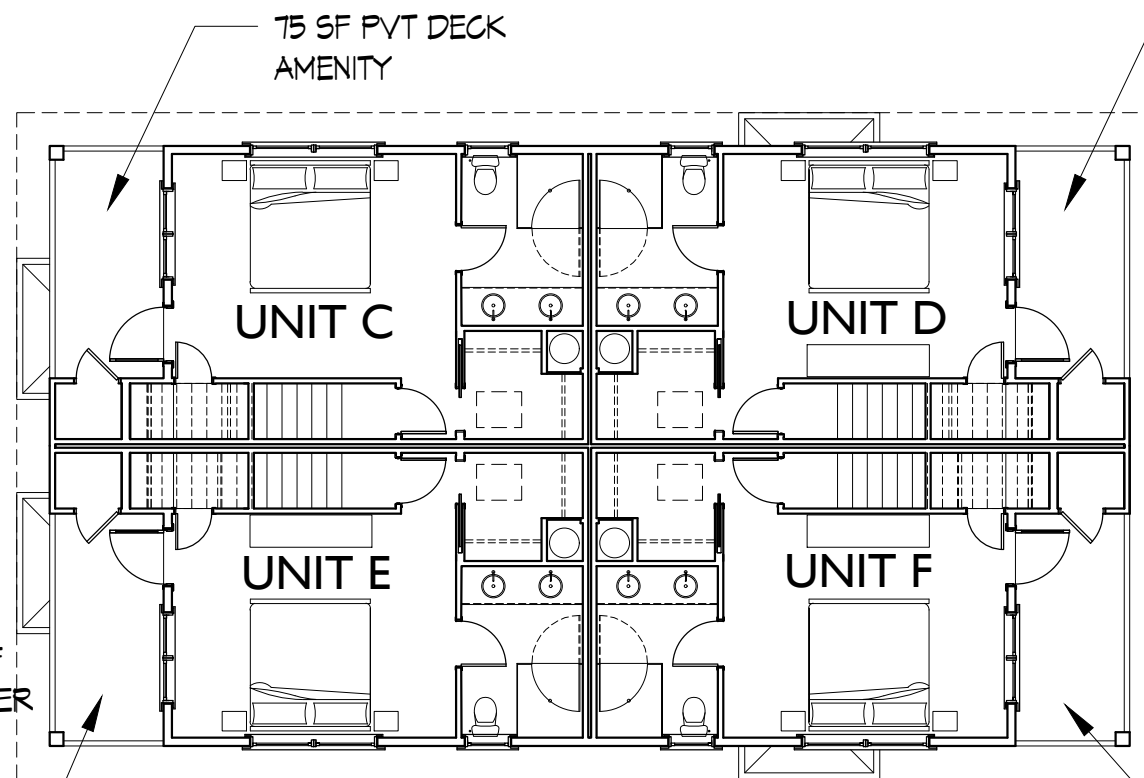
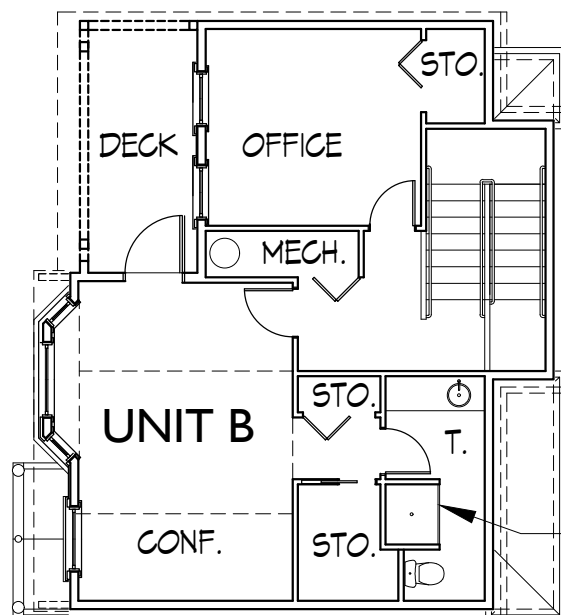
ARCHITECTURAL CONCEPT

PLANS



ROOF PLAN

SCALE: 3/32" = 1'-0"



THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"



ARCHITECTURAL CONCEPT

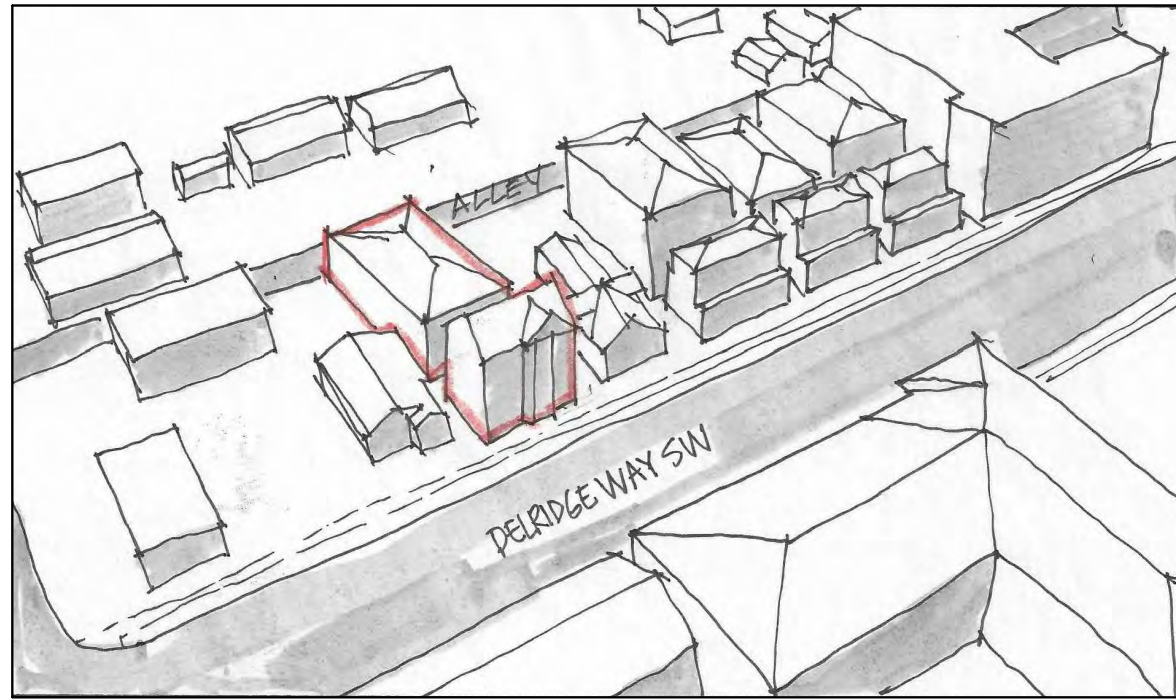
CONTEXT



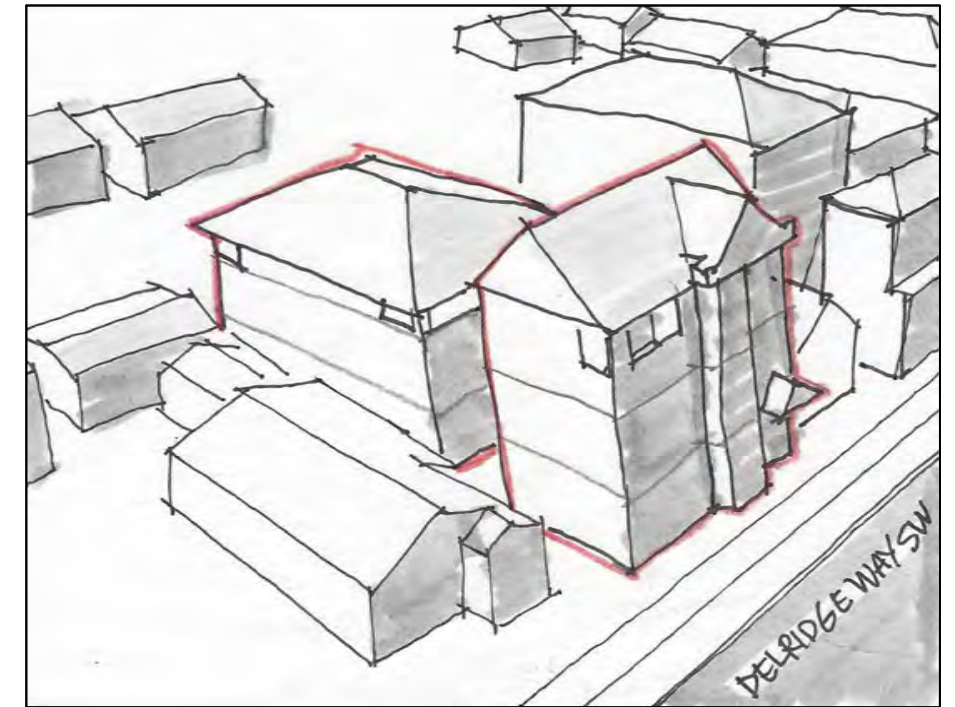
DELRIDGE WAY CONTEXTUAL ELEVATION
SCALE: 3/32" = 1'-0"

ARCHITECTURAL CONCEPT

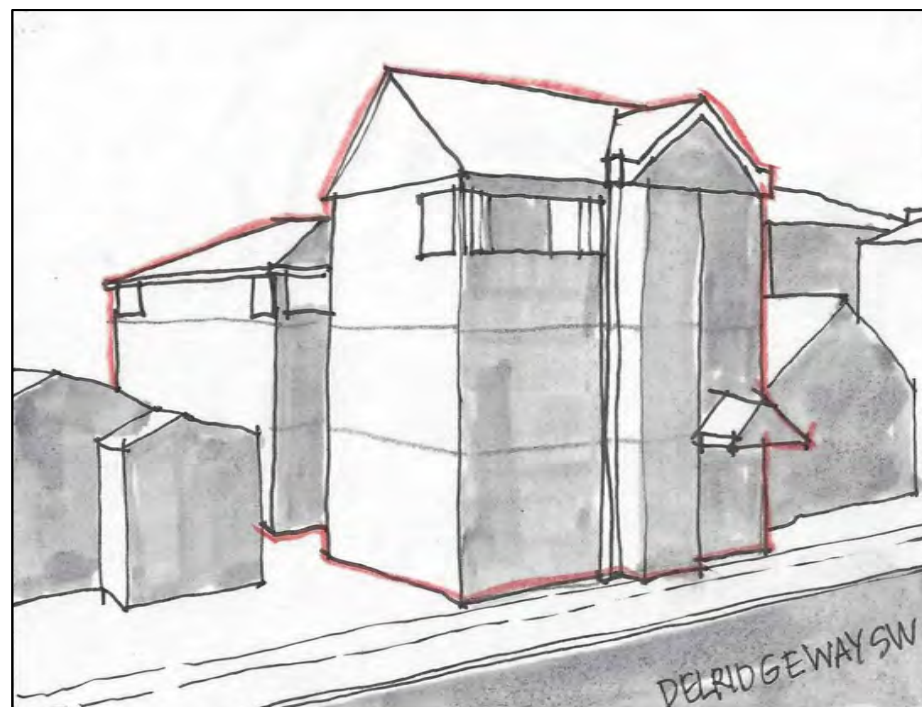
MASSING



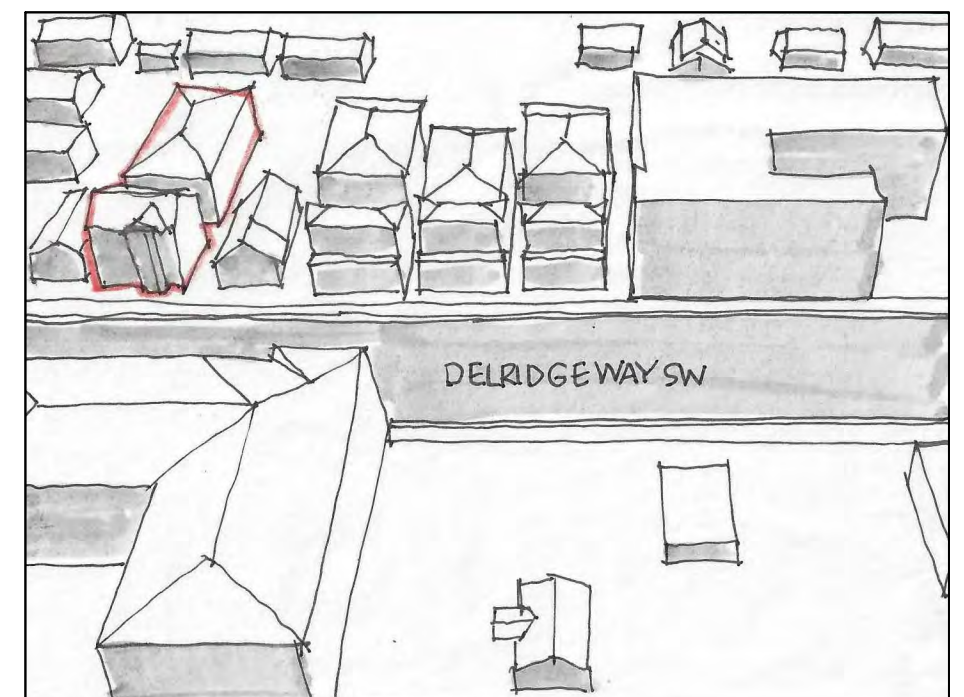
BIRD'S EYE VIEW



AERIAL VIEW LOOKING NORTHWEST



STREET VIEW



STREET CONTEXT

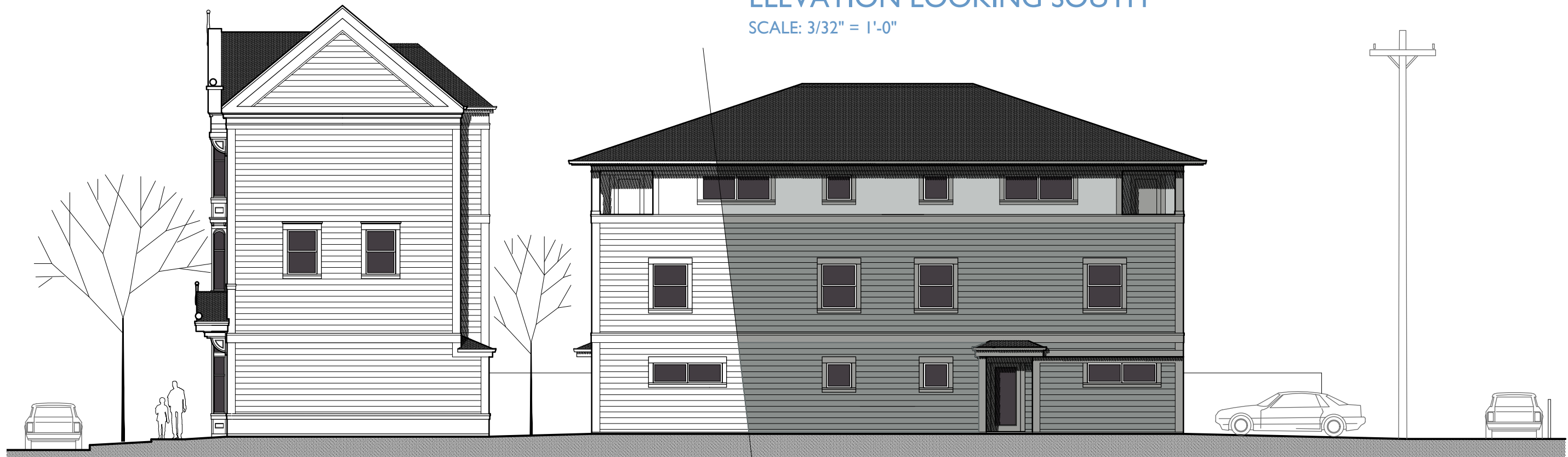
ARCHITECTURAL CONCEPT

ELEVATIONS



ELEVATION LOOKING SOUTH

SCALE: 3/32" = 1'-0"

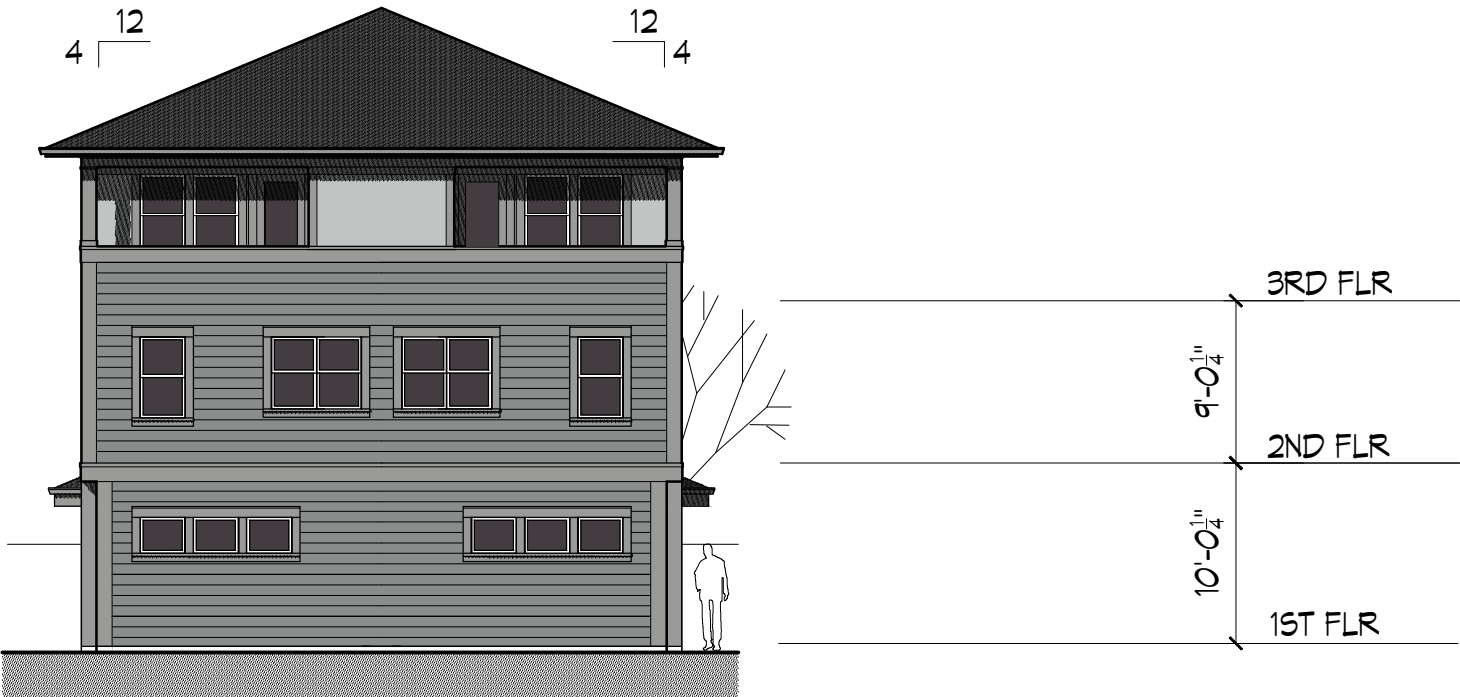


ELEVATION LOOKING NORTH

SCALE: 3/32" = 1'-0"

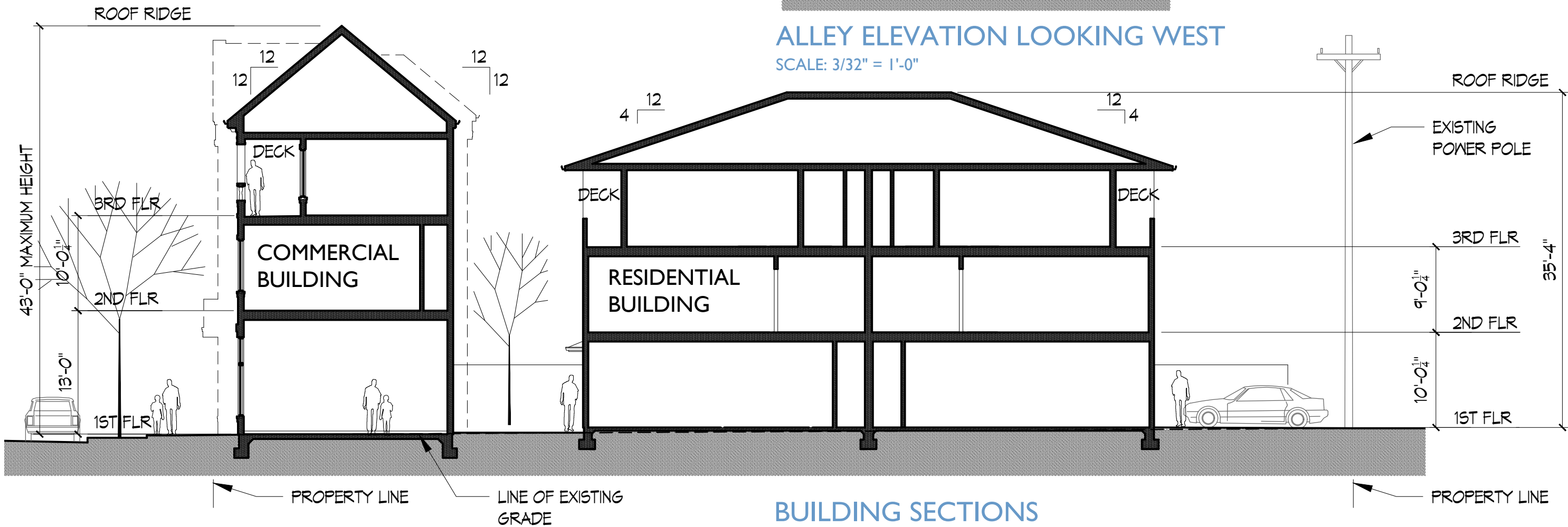
ARCHITECTURAL CONCEPT

BUILDING SECTIONS AND ELEVATION



ALLEY ELEVATION LOOKING WEST

SCALE: 3/32" = 1'-0"

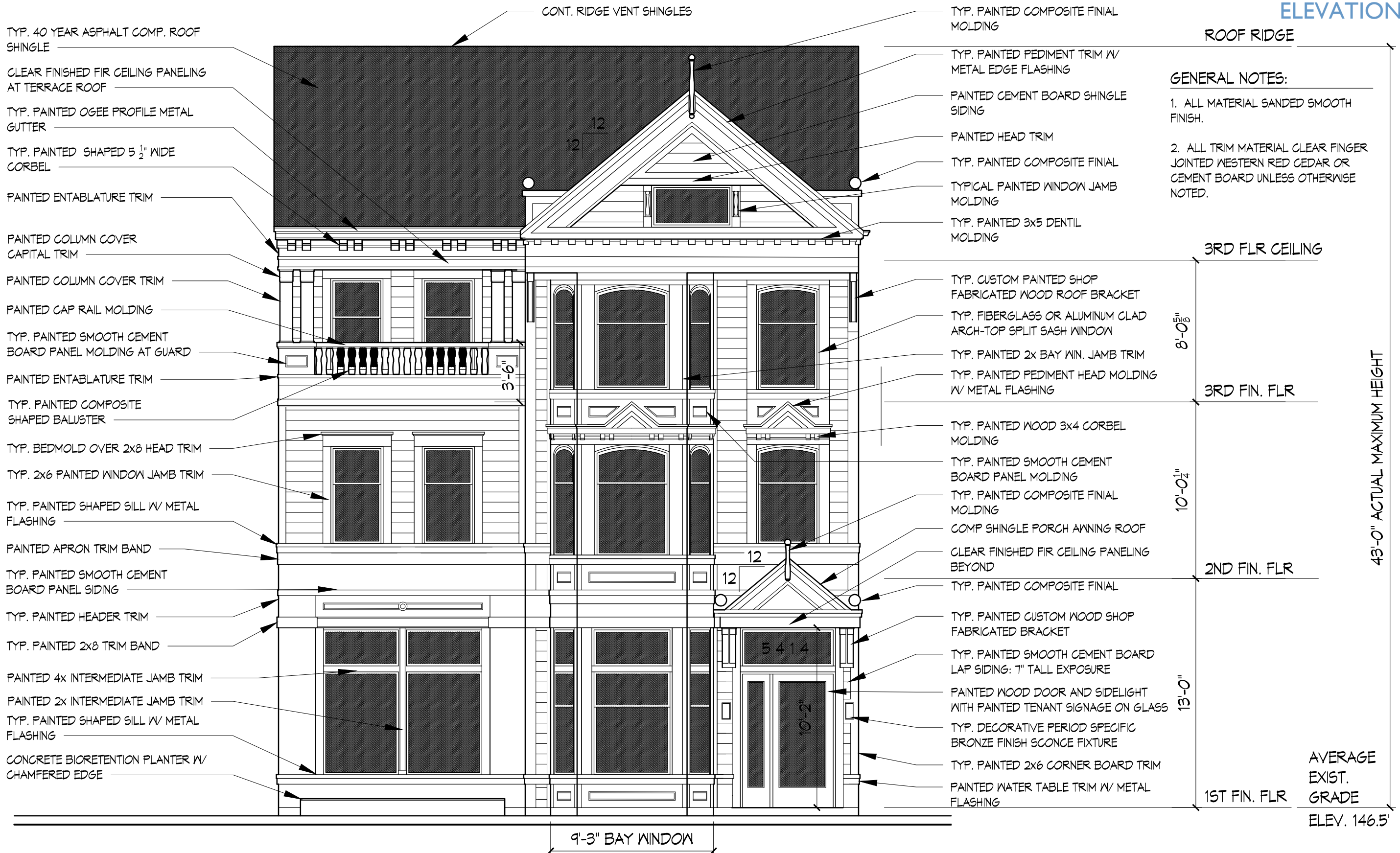


BUILDING SECTIONS

SCALE: 3/32" = 1'-0"

ARCHITECTURAL CONCEPT

ELEVATION



DELRIDGE WAY ELEVATION

SCALE: 3/16" = 1'-0"

ARCHITECTURAL CONCEPT

MATERIALS



BODY AND TRIM COLOR CONCEPT HIGHLIGHTING TRIM AS LIGHTER VALUE OF BODY COLOR

PROPOSED COLOR VALUES:



WINDOW AND TRIM
SW 9152 "LET IT RAIN"



SIDING
SW 6257 "GIBRALTAR"



INSPIRATION FOR PERIOD PEDIMENT
DETAILING



EXAMPLE OF BAY WINDOW
FIBERGLASS OR METAL CLAD SASH



PREFABRICATED DURABLE COMPOSITE
BALUSTRADE AND TRIM COMPONENTS



EXAMPLE OF BAY WINDOW WITH
SHALLOW ARCH DOUBLE HUNG
WINDOWS

ARCHITECTURAL CONCEPT

ARTIST RENDERING



As Architects we are more likely to be challenged with the prospect of fitting a contemporary building into a neighborhood context of more traditional buildings. In fact, this is often a contentious endeavor and the contemporary building is perceived as too stark, too angular, too harsh, etc. In this case, we are proposing a building of traditional design to fit into a context where no building is from the era from which this building takes its cues. The neighborhood context is mixed: some residential, a lot of multi-family, some small retail/restaurants, all built after 1917. The oldest being the Old Cooper School, now Youngstown Cultural Arts Center, an elegantly restored brick structure that anchors the north end of Delridge Way. Our goal is to contribute to this mixed streetscape another notable building. The style of the building is personal. The owner is taken with San Francisco Victorian three story structures, feels that this style is enduring, and is committed to building a 21st century Seattle version. We think that any style of building can be successful if it addresses the issues of its site and situation well. The neighborhood is somewhat trailblazing in its unconventional development. Directly west across Delridge, Vivian McLean Place is named for a longtime Delridge activist and includes nineteen affordable apartments along with the Delridge Branch of the Seattle Public Library. Directly to the south is the DESC's 66 apartment facility, Cottage Grove Commons, which houses formerly homeless addicts. On this block, the Christianson Development has built three brick facade buildings that house their service facility and its offices. This new building is intended to play off and improve on those facades and to provide a bit of exclamation point with a more developed and extensive facade treatment. We feel that after a few years go by, it will feel like this building is part of an evolving and interesting history.

VIEW FROM DELRIDGE WAY

ARCHITECTURAL CONCEPT

DESIGN GUIDELINES

SEATTLE DESIGN GUIDELINES 2013

CONTEXT AND SITE

- CS2

Urban Pattern and Form
Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.
- A.

Location in the City & Neighborhood
2. Architectural Presence: The project will engage the sidewalk in a more urban way and contribute to the emerging pattern of uses in the area.
- C.

Relationship to the Block
2. Mid Block Sites: The project takes design cues from the newer projects on the block particularly the owner/developer's series of three buildings to the south that have established a pattern and style.
- D.

Height Bulk and Scale
1. Existing Development and Zoning: This block and its facing blockfront to to the west is one of the most developed mixed use blocks on Delridge Way. The Delridge Library and more recently, the DESC facility establish a more dominant scale than the remaining single family houses.
- CS3

Architectural Context and Character
Contribute to the architectural character of the neighborhood.
- A.

Emphasizing Positive Neighborhood Attributes
4. Evolving Neighborhoods: This building is intended to be the fourth piece in the owner's previous development on this block. Although the design will make this building unique in its context, it will take cues from the previous three buildings as well as the historically residential nature of Delridge.

PUBLIC LIFE

- PL2

Walkability
Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.
- B. SAFETY AND SECURITY

1. Eyes on the Street: The proposed project will present a lively face to the street with large windows and an outdoor upper-level porch looking onto the street.
The residential building will have alley facing decks and windows.
2. Lighting for Safety: Project will include decorative lighting along the sidewalk on Delridge.
The alley will include appropriate levels of security lighting.
3. Street-Level Transparency: The street facing facade will include large sidewalk oriented windows.
- PL3

Street Level Interaction
Encourage human interaction and activity at the street-level with clear connections to building entries and edges.ays and features.
- A. ENTRIES

1. Design Objectives: The entry will be prominent under an inviting portico with ample lighting opening directly into the commercial space.
4. Interaction: Mailboxes will be located near the commercial space entrance.
Bike parking off the courtyard creating opportunity to say hello to neighbors.

- PL4

Active Transportation
Incorporate design features that facilitate active forms of transportation such as walking, bicycling, and use of transit.
- B. PLANNING AHEAD FOR BICYCLISTS

2. Bike Facilities: Delridge location is easily reachable via bike path from many parts of Seattle. Bike parking in a secure area, showers in office units will be provided.
- C.. PLANNING AHEAD FOR TRANSIT

1. Influence on Project Design: Delridge will likely be a future rapid transit street. The building design anticipates the use of this future means as well as bikes, buses and feet rather than private vehicles. Only minimal residential parking is provided.

DESIGN CONCEPT

- DC1

Project Uses and Activities
Optimize the arrangement of uses and activities on site
- B. Vehicular Access and Circulation

1. Access Location and Design: Access to parking will be from the adjacent alley in the rear of the property.
C. Parking & Service Uses
4. Service Uses: Trash will be screened and distributed on site in three separate locations for convenience.
- DC2

Architectural Concept
Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.
- A. MASSING

2. Reducing Perceived Mass: The project is composed of two separate buildings which maximize opportunity for light and air on all sides and through to adjacent properties.
- B. ARCHITECTURAL AND FACADE COMPOSITION

1. Facade Composition: The driving inspiration for the Delridge facing facade is the owner's love of San Francisco's Victorian buildings. So the ornamentation will take it's cues from that style. The three existing buildings to the south previously built by this owner have elements of Victorian architecture although not to this extent. The facade proportion is achieved by modulating with a slight setback, an upper level deck and a tall bay window. Facades of the residential building will have simplified ornament, if any, but will have compatible color scheme and finish materials.
2. Blank Walls: Side walls of the commercial building will likely eventually be facing walls of future buildings as they are developed. However, there are windows on these walls where practical.
- C SECONDARY ARCHITECTURAL FEATURES

1. Visual Depth and Interest: Both buildings will have exterior decks at upper levels creating shadow and depth. Commercial building facade is modulated.
3. Fit With Neighboring Buildings: The concept of street facing commercial building with alley side residential building is consistent with the three existing buildings one lot to the south. The somewhat unexpected Victorian style will present an attractive and interesting facade to the Library across the street.

- D.

SCALE AND TEXTURE
1. Human Scale: Windows, bay window, railings, recessed entrances will appear inviting and pedestrian friendly.
2. Texture: The commercial street facing building will have greater ornamentation than the back residential one presenting a more vibrant and varied face to the streetscape.
- DC4

Exterior Elements and Finishes
Use appropriate and high quality elements and finishes for the building and its open spaces
- A. BUILDING MATERIALS

1. Exterior Finish Materials: Painted durable materials that include cement fiber siding and panel. Some clear wood soffits on commercial building and a combination of materials for ornamentation. The commercial building will have fiberglass or clad non-white windows.
- B. SIGNAGE

1. Scale and Character: Signage will be minimal and wall mounted at the entry. Street number proposed to be displayed San Francisco style in glass transom above entry.
- C. LIGHTING

1. Functions: Lighting will be limited to decorative lighting at the main building entry, individual residential unit entries, security lighting in the alley and outdoor decks.
2. Avoiding Glare: All exterior light fixtures are planned to be low level light that will be directed downward and away from neighboring properties.
- D.

TREES, LANDSCAPE AND HARDSCAPE MATERIALS
1. Choice of Plant Materials: Landscape materials will be urban in nature and Climate zone appropriate. There will be three landscape planter areas receiving roof runoff.. At the owner's expense, the adjacent sidewalk has been recently planted with new street trees per city standard. These complete a 2 block stretch of trees.
2. Hardscape Materials: pervious pavement where possible will be used.

Requested Exceptions and Justifications:

PER 23.47A.008.F: THE DIRECTOR MAY ALLOW EXCEPTIONS TO THE STREET LEVEL REQUIREMENTS OF THIS SECTION AS A TYPE 1 DECISION FOR PROJECTS THAT ARE NOT SUBJECT TO THE DESIGN REVIEW PROCESS EXCEPT AS NOTED.

ITEM:	REQUIREMENT:	JUSTIFICATION:
① STREET LEVEL USE WIDTH:	MAXIMUM 30'-0" ALLOWED. 32'-8" OFFICE USE PROVIDED.	NON-CONFORMITY IS NEGLIGIBLE. SIMILAR TO NEIGHBORING USES.
② NON-RESIDENTIAL STREET LEVEL USE DEPTH:	MIN. 30'-0" ALLOWED. 28'-4" DEPTH PROVIDED.	MAINTAINING 10'-0" SPACE BETWEEN FRONT COMMERCIAL AND REAR RESIDENTIAL BUILDINGS MAKES A BETTER COURTYARD ENVIRONMENT AND NON-CONFORMITY IS NEGLIGIBLE
③ OVERHEAD WEATHER PROTECTION:	CONTINUOUS REQUIRED. 8'-0" WIDTH PROVIDED.	WEATHER PROTECTION PROVIDED AT BUILDING ENTRY AND WEATHER PROTECTION NOT PROVIDED AT ANY NEWER BUILDINGS ON THIS BLOCK INCLUDING LIBRARY AND D.E.S.C. BUILDING.
④ PARKING AISLE WIDTH (TWO WAY TRAFFIC):	20'-0" REQUIRED. 18'-6" AISLE PROVIDED.	BACK-IN PARKING PROVEN WORKABLE AT SIMILAR NEIGHBORING PARKING AREAS.
⑤ SOLID WASTE AND RECYCLING AREA:	PROPOSED TOTAL AREA PROVIDED: 100 SQ FT.	SMALLER SEPARATED SCREENED LOCATIONS ARE MORE CONVENIENT AND LESS UNSIGHTLY.

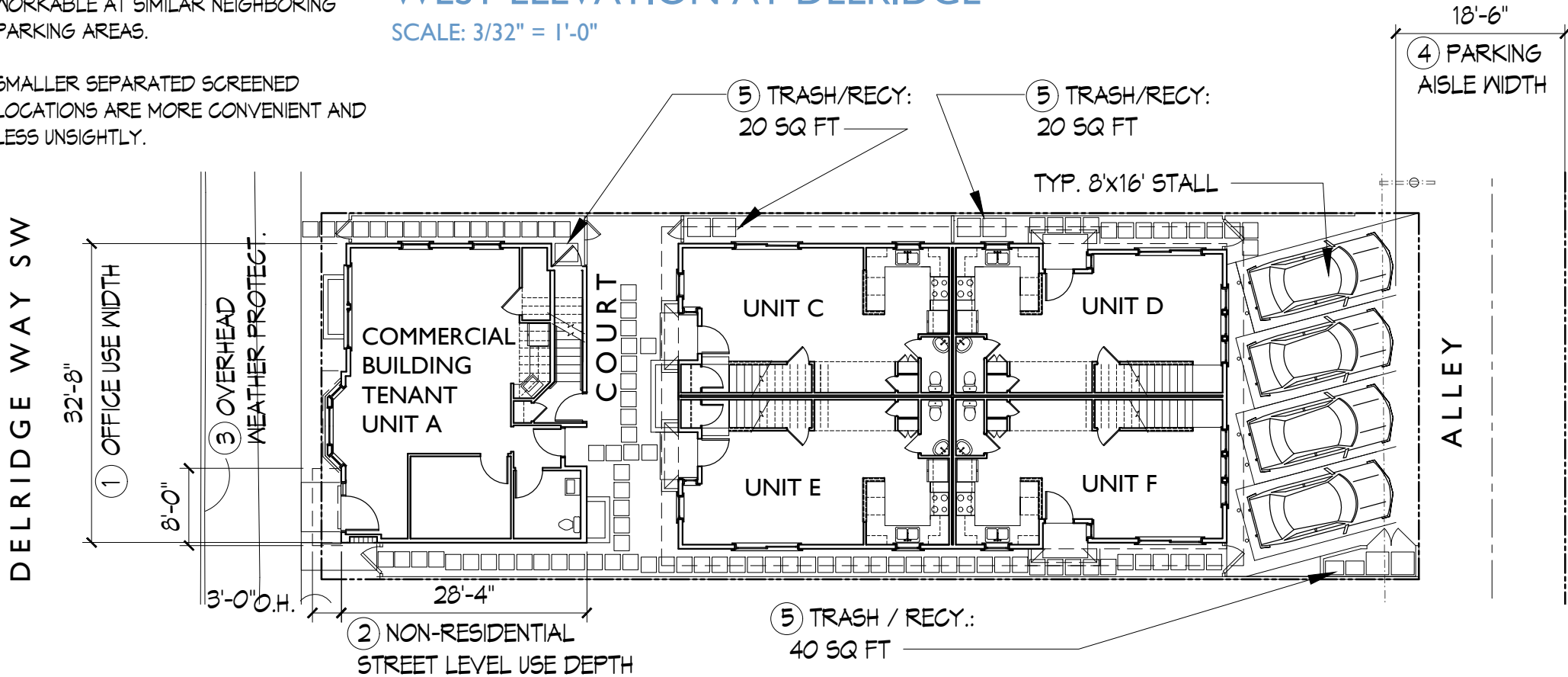
ARCHITECTURAL CONCEPT

SEATTLE LAND USE
CODE COMPLIANCE



WEST ELEVATION AT DELRIDGE
SCALE: 3/32" = 1'-0"

MINIMUM AREA OF REQUIRED TRANSPARENCY:
187 SQ FT X 60% = 112 SQ FT. ALLOWED & PROVIDED



SITE PLAN
SCALE: 1/16" = 1'-0"

ARCHITECTURAL CONCEPT

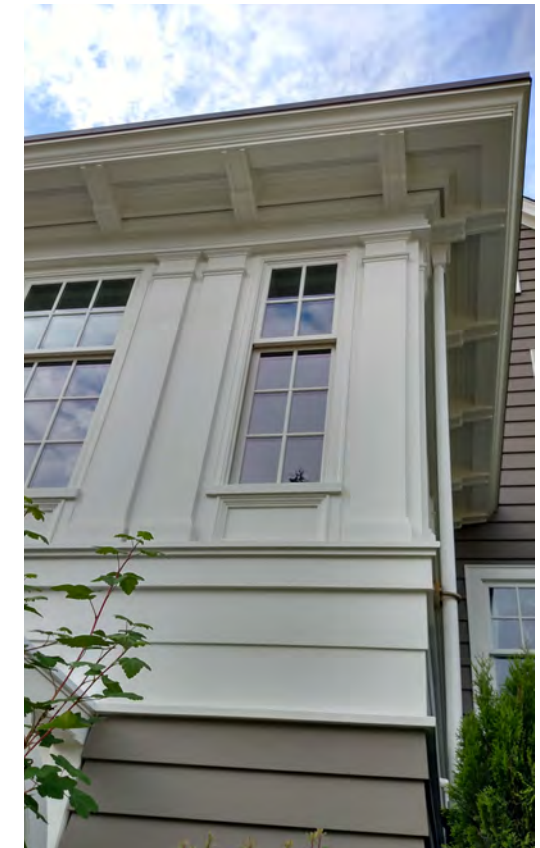
RECENT McNELIS ARCHITECTS PROJECT: TRADITIONAL DETAILS



MAGNOLIA RESIDENCE - EXTERIOR



CORNICE DETAIL



PILASTER AND WINDOW DETAIL



SIDING PANEL DETAIL

ARCHITECTURAL CONCEPT

LANDSCAPE CONCEPT DESIGN

ANR LANDSCAPE DESIGN, LLC.

PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE	REMARKS
TREES			
V	Acer circinatum Vine Maple	6'-8' HT.	Multi-trunk, full habit, well branched
○	Cupressus sempervirens Italian Cypress	6' -8' HT.	Single straight trunk, full habit, well branched
○	Street Trees suggested by the City of Seattle Arborist	1 1/2" CAL 6' -8' HT.	Single straight trunk, full habit, well branched
SHRUBS			
○	Azalea sp. Evergreen Azalea	24" HT.	
○	Buxus sempervirens 'Suffruticosa' Dwarf English Boxwood	18" HT.	
○	Camellia japonica 'Mathotiana Supreme' Mathotianan Supreme Camellia	36" HT.	
CK	Cornus sericea 'Kelsey' Kelsey Red Osier Dogwood	12" HT.	
○	Daphne odora 'Monstrik' Moonlight Parfait® Winter Daphne	24" HT.	

SYMBOL	BOTANICAL/COMMON NAME	SIZE	REMARKS
PERENNIALS / ORNAMENTAL GRASSES			
C	Carex oshimensis 'Evergold' Varigated Japanese Sedge	1 Gal.	
e	Epimedium 'Rubra' Red Epimedium	1 Gal.	
HM	Hemerocallis sp. Evergreen Daylily	1 Gal.	
H	Hosta spp. Variegated Hosta	1 Gal.	
○	Liriope muscari 'Monroe's White' Monroe's White Lilyturf	1 Gal. @ 12" O.C.	
○	Mahonia nervosa Creeping Mahonia	1 Gal. @ 18" O.C.	
○	Sedum rupestre 'Angelina' Angelina Stonecrop	4" POT @ 12" O.C.	

DELRIDGE WAY SW

SIDEWALK

GROUND COVER

PERVIOUS PAVER STORM
WATER FACILITY

ALLEY

POT WITH SEASONAL
PLANT, TYP.

PRELIMINARY PLANTING PLAN

SCALE: 3/32" = 1'-0"