

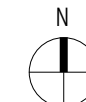
DPD #3024469  
**DESIGN REVIEW RECOMMENDATION PACKET**  
 MARCH 13, 2017

# 4025 STONE WAY N

DEVELOPER/APPLICANT  
**PAAR DEVELOPMENT, LLC**

ARCHITECT/CONTACT  
**DAVID FOSTER ARCHITECTS**

DESIGN REVIEW BOARD  
**NORTHEAST DESIGN REVIEW BOARD**



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### PROJECT INFORMATION

Address: 4025 Stone Way N  
Parcel Number: 397540-0400  
Overlay Designations: Pedestrian Overlay, Wallingford Residential Urban Village  
ECA: None

#### Legal Description:

Lots 4, 5, and the north 10 feet of lot 6, block D, La Grande Extension, an addition to the City of Seattle, according to the plat thereof recorded in volume 9 of plats, page 77, records of King County, Washington.

Together with an easement over the East 50 feet of the north ten feet of the South 30 feet of Lot 6 and the North ten feet of the vacated portion of Stone Way, as recorded on April 4, 1984 in King County Washington, recording # 8404040843.

### DEVELOPMENT STATISTICS

Zoning: NC2P-40  
Site Area: 9,875 SF  
Number of Dwelling Units: 59  
Commercial Floor Area: 2,004 SF (< 2,468 SF maximum allowed)  
Residential Floor Area: 28,900 (< 29,665 SF maximum allowed)  
Required Parking: None (SMC 23.54.015)

### PROJECT CONTACTS

Developer: Paar Development, LLC  
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## 2.0 PROJECT INTRODUCTION

### PROJECT LOCATION

The site is located at 4025 Stone Way N, in the Wallingford Residential Urban Village. The site is approximately 9,875 square feet, with 90' of street frontage along Stone Way N.

### PROJECT DESCRIPTION

Construction of a new 30,000-sf (+/-) mixed-use building, consisting of four levels above grade with 59 dwelling units, amenities and retail, and one level below grade for parking and mechanical/service spaces.



### 3.0 DEVELOPMENT OBJECTIVES

#### DEVELOPMENT OBJECTIVES

The project will be designed to meet the following development objectives:

- Create a project that is economically profitable while adding appropriate density and vibrancy to the neighborhood
- Create a range of unit sizes and layouts that provides housing options to a variety of potential users and budgets
- Encourage human activity at the sidewalk level along the front facade of the building
- Configure plan layouts to provide good natural light to as many units as possible
- Amenity space to include a large rooftop with city views
- Commercial space and live-work occupy a majority of the ground level with a street entrance for a residential lobby

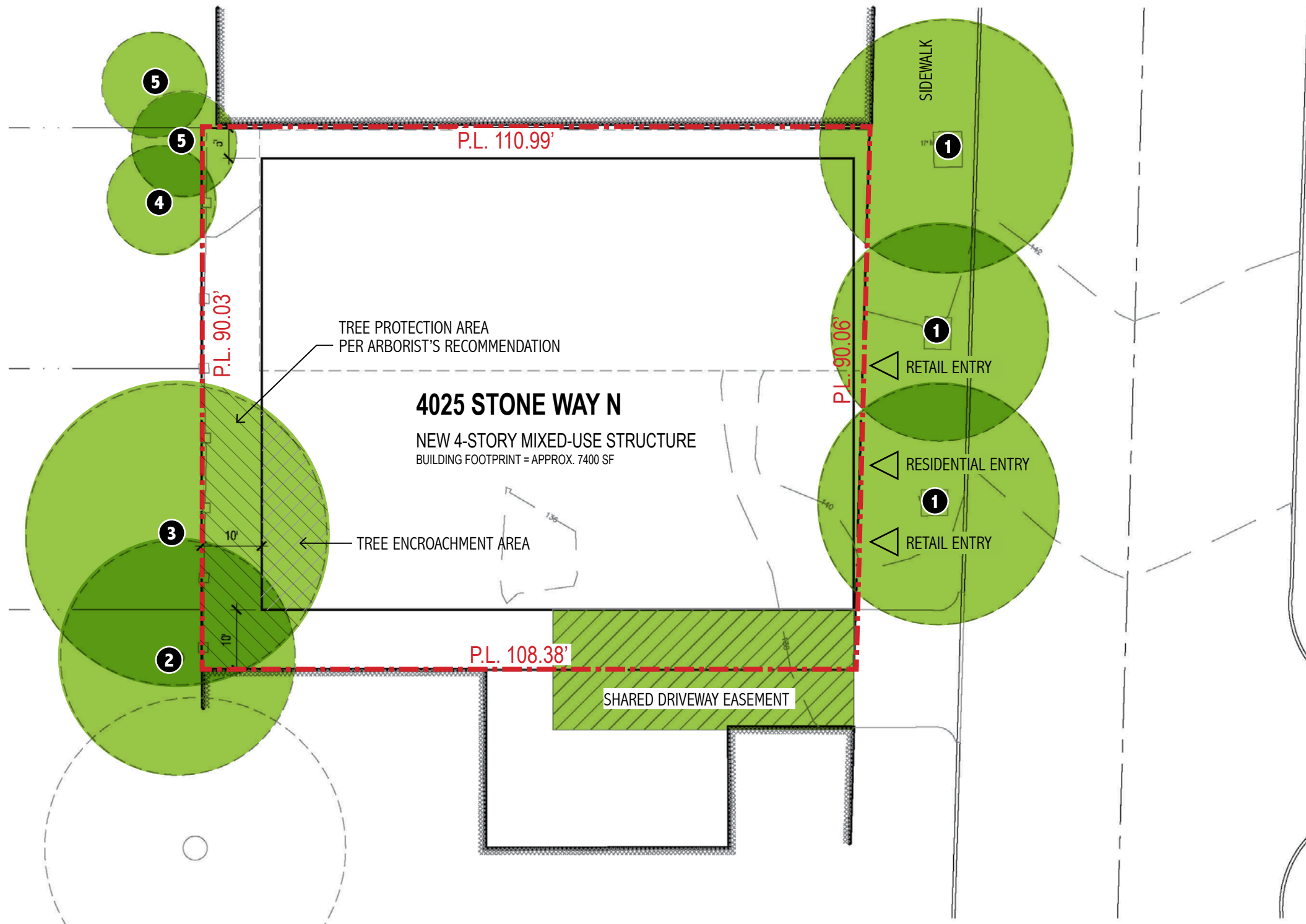
#### SUSTAINABLE DESIGN ELEMENTS

Sustainability and efficient, environmentally friendly design elements will be included in the proposed development. Sustainable features include:

- Green roof on the roof deck
- LED lights and fixtures throughout the project
- Low-flow plumbing fixtures
- Building insulation values greater than code minimum
- Project design is Mass Transit oriented
- Exterior air barrier to greatly reduce air exchanges
- Secure indoor bike parking
- Low VOC paint and flooring
- Photovoltaic panels at roof



**4.0 EXISTING SITE PLAN LEGAL DESCRIPTION & TREE SURVEY**



**LEGAL DESCRIPTION**

Lots 4, 5, and the north 10 feet of lot 6, block D, La Grande Extension, an addition to the City of Seattle, according to the plat thereof recorded in volume 9 of plats, page 77, records of King County, Washington.

Together with an easement over the East 50 feet of the north ten feet of the South 30 feet of Lot 6 and the North ten feet of the vacated portion of Stone Way, as recorded on April 4, 1984 in King County Washington, recording # 8404040843.

**TREE SURVEY**

There are no trees on the subject property.

There are two large trees and five large shrubs on the adjacent property to the west. They are all in Very Good Condition. They all have the potential to be retained with adequate Tree Protection Measures. Some canopy pruning and some root pruning may be required for building clearance.

There are three street trees that will be maintained.

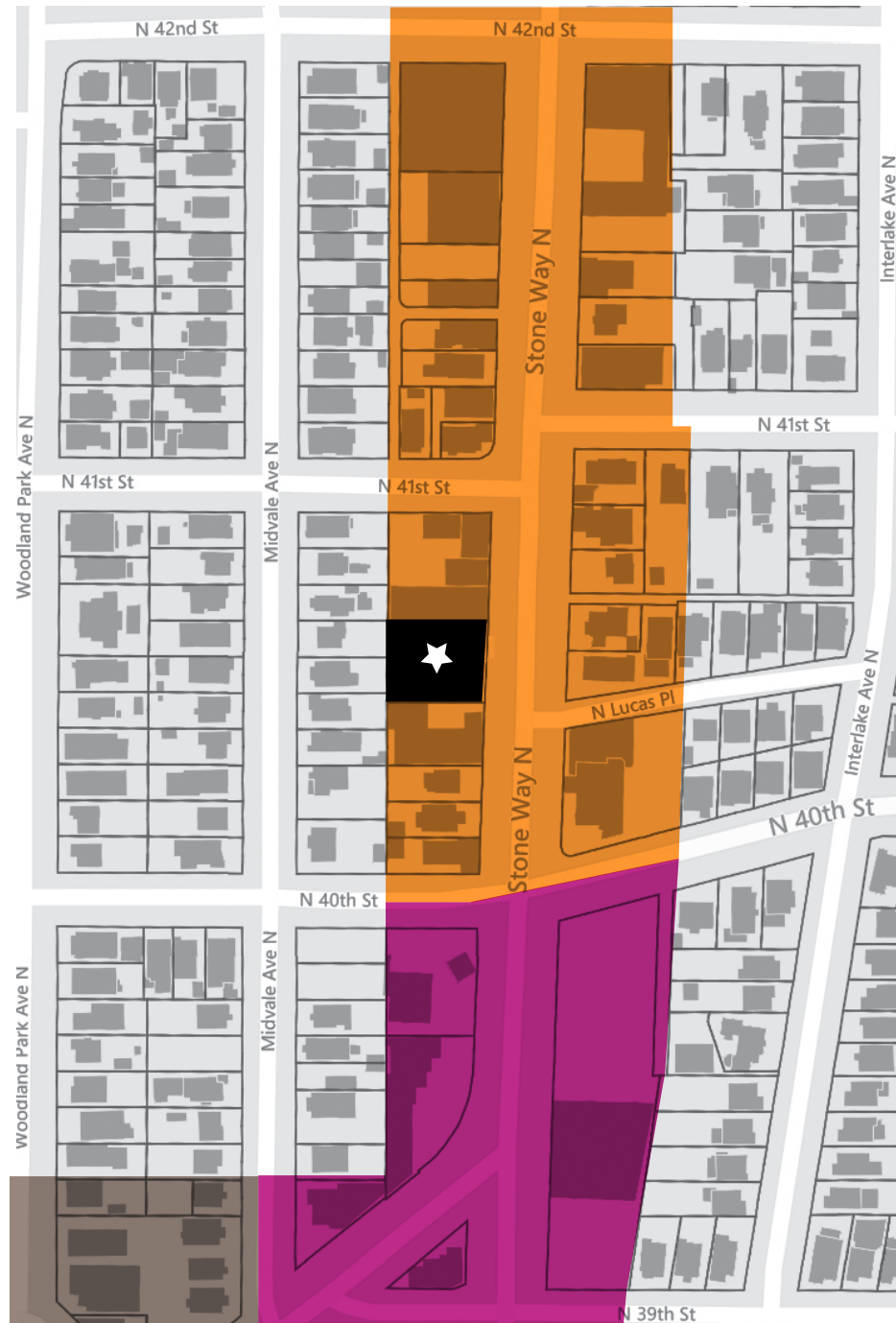
Tree evaluation prepared by Gilles Consulting on June 6, 2016.

**EXISTING TREE LEGEND**

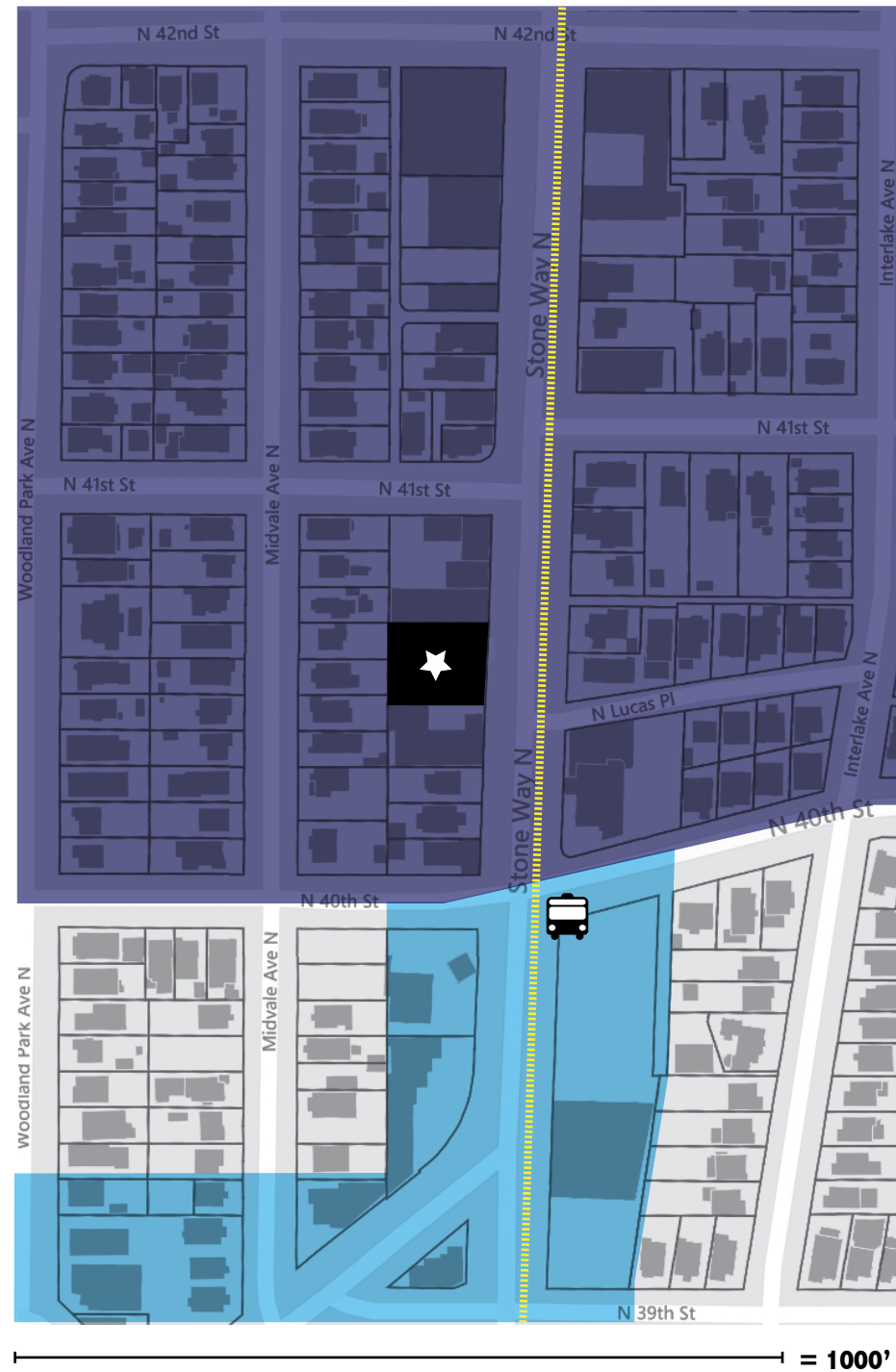
- 1 NORWAY MAPLE STREET TREE
- 2 CEDAR OF LEBANON
- 3 COAST REDWOOD - EXCEPTIONAL
- 4 EAST LAURELS (3)
- 5 PHOTINIAS (2)

## 5.0 URBAN DESIGN ANALYSIS VICINITY MAPS

### ZONING



### URBAN VILLAGE



#### ZONING MAP LEGEND

- SF5000
- LR1
- NC2P-40 (site)
- NC3P-40

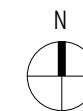
#### URBAN VILLAGE LEGEND

- ★ PROJECT SITE
- WALLINGFORD RESIDENTIAL URBAN VILLAGE
- FREMONT HUB URBAN VILLAGE
- BUS #26, 62, 82
- BIKE ROUTE

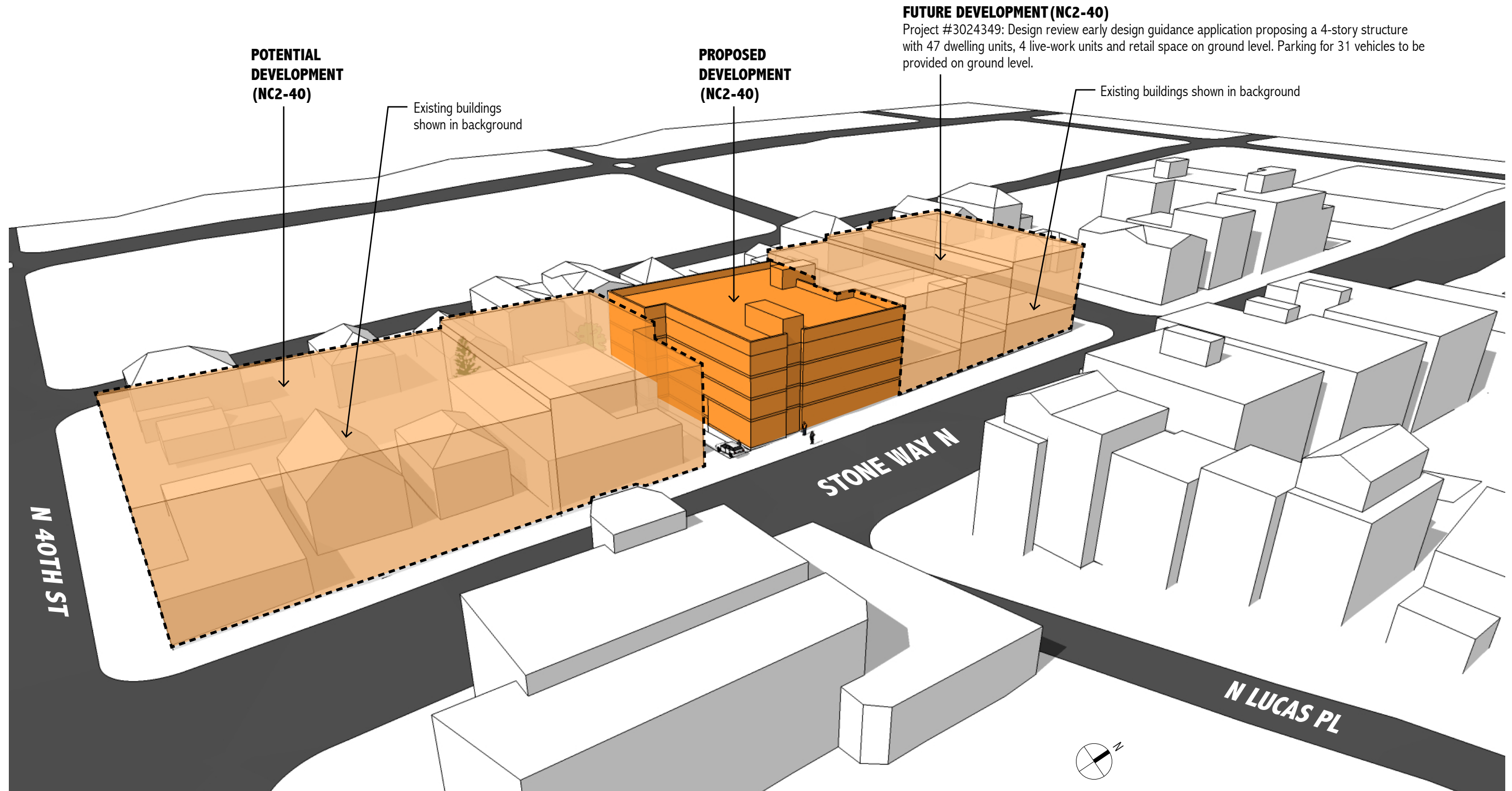
#### ZONING & TRANSIT

The site is zoned NC2P-40. The parcels to the north, south, and east (across Stone Way) have the same zoning designation. The site is adjacent to an SF5000 zone to the west.

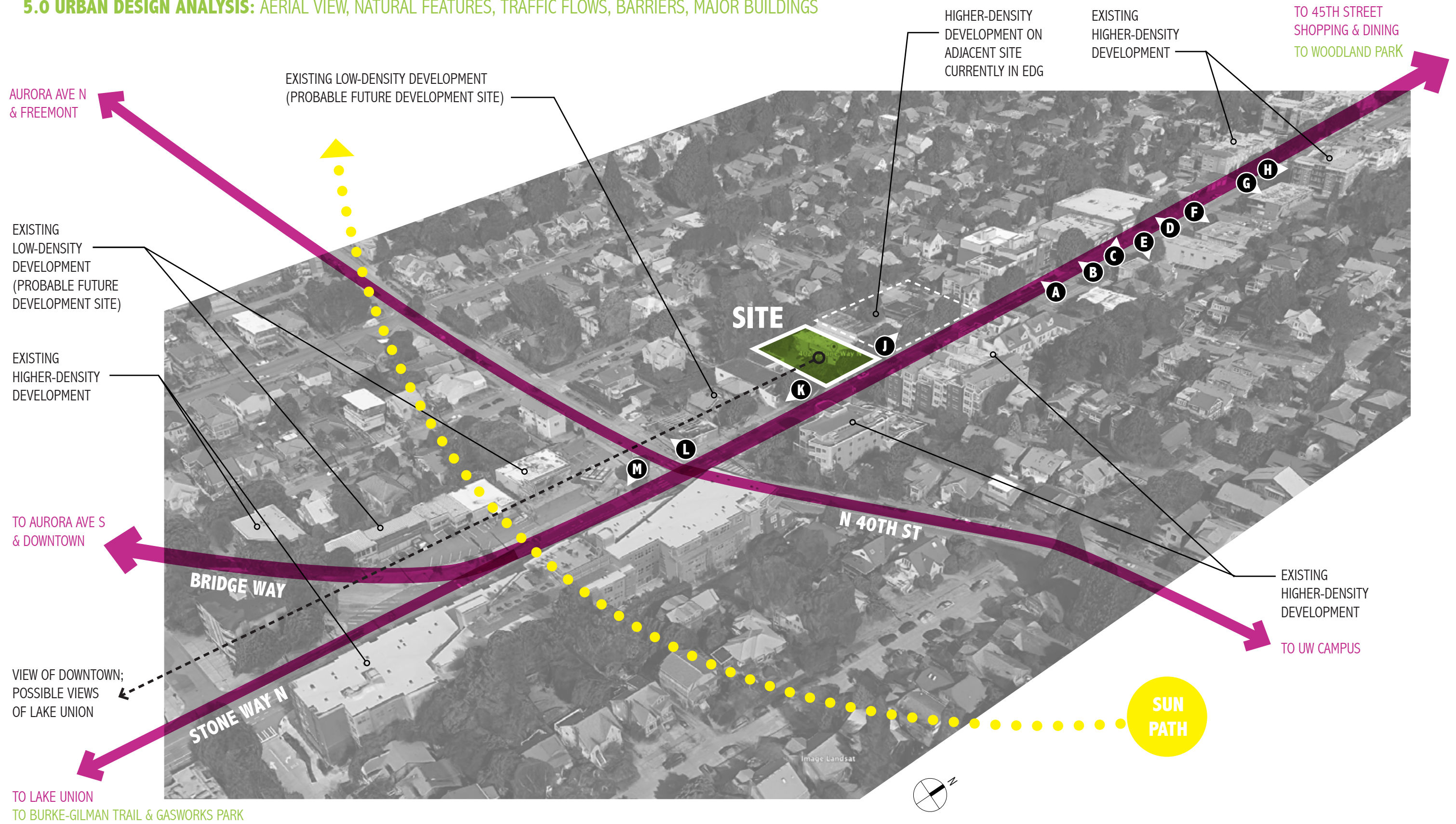
The site is located within the Wallingford Residential Urban Village overlay zoning boundary and has frequent transit service within 1/4-mile.



## 5.0 URBAN DESIGN ANALYSIS POTENTIAL & FUTURE DEVELOPMENT



**5.0 URBAN DESIGN ANALYSIS: AERIAL VIEW, NATURAL FEATURES, TRAFFIC FLOWS, BARRIERS, MAJOR BUILDINGS**





**5.0 URBAN DESIGN ANALYSIS** OLDER AND NEWER DEVELOPMENT



**A** New development using color and modulation to break down scale of building



**B** Existing Use: industrial materials storage. Stone Way has a history of grittiness



**C** Existing Use: plumbing supply storefront



**D** Existing Use: retail, with jarring addition to historic brick building



**E** Existing Use: retail, with upper story office use and residential behind



**F** Existing Use: Office/Industrial



**G** Existing Use: Commercial/Office



**H** New mixed use development with less successful proportioning and color treatment



**J** Looking North On Stone Way From Site



**K** Looking South On Stone Way From Site



**L** Looking West Into Neighborhood @ 40th St N



**M** Looking South On Stone Way From N 40th St

5.0 URBAN DESIGN ANALYSIS STONE WAY STREETScape



A WEST SIDE OF STONE WAY N

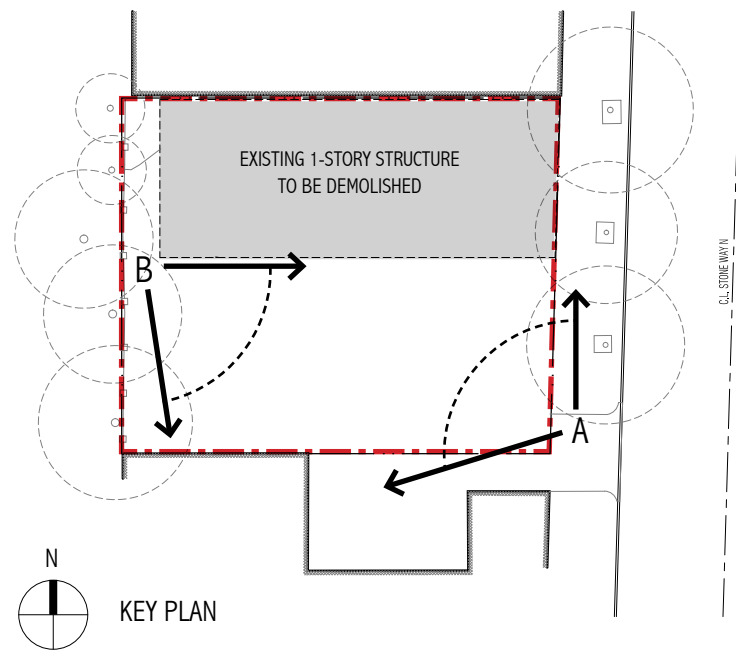


B EAST SIDE OF STONE WAY N (ACROSS FROM SITE)

5.0 URBAN DESIGN ANALYSIS SITE PHOTOS



A PAN ACROSS SITE FROM SOUTHEAST CORNER

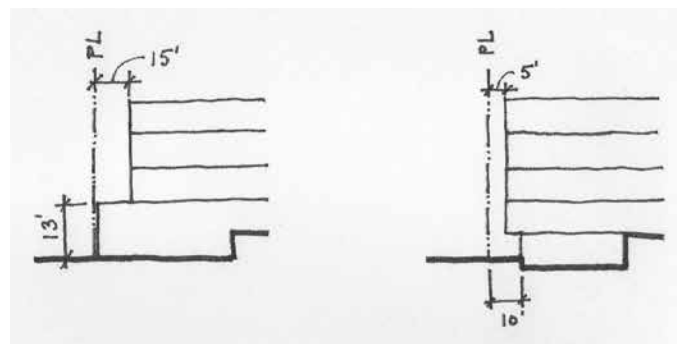
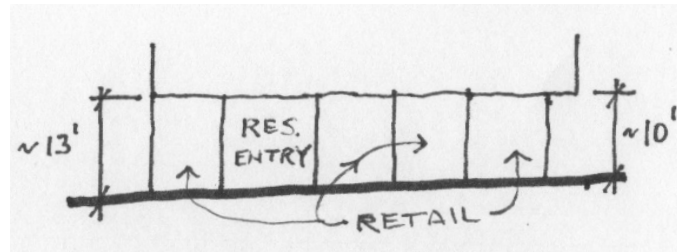


B PAN ACROSS SITE FROM NORTHWEST

## 6.0 EDG SCHEME SUMMARY ARCHITECTURAL CONCEPTS & REQUESTED DEPARTURES

### PROPOSAL

### DEVELOPMENT STANDARD DEPARTURES



### SCHEME 'A'



- 68 apartment units 29,617 sf
- 5 live-work units 2,405 sf
- Proposed parking spaces none
- Total Floor Area 32,022 sf
- Permitted Floor Area 32,093 sf  
(mixed-use: 9,874 x 3.25 FAR)
- Permitted Residential Area 29,625 sf  
(9,874 x 3.0 FAR)

- SMC 23.47A.008.B4 Retail Ceiling Height  
Required: 13' Floor to Floor  
Proposed: A range between 10' FtF and 13' FtF  
Rationale: Due to a sloping public sidewalk, maintaining the 13' minimum would result in excessive FtF heights at the south end of the facade and increase building height/mass.

- SMC 23.47A.014.B3 Setback Abutting a Side or Rear Lot Line of a Residentially-Zoned Lot  
Required: 15' setback above 13'  
Proposed: 5' setback above 13'  
Rationale: Shifting building mass to the west allows for modulation of the building and mass reduction at the street

### SCHEME 'B'



- 68 apartment units 29,545 sf
- 5 live-work units 2,425 sf
- Proposed parking spaces none
- Total Floor Area 31,970 sf
- Permitted Floor Area 32,093 sf  
(mixed-use: 9,874 x 3.25 FAR)
- Permitted Residential Area 29,625 sf  
(9,874 x 3.0 FAR)

- SMC 23.47A.008.B4 Retail Ceiling Height  
Required: 13' Floor to Floor  
Proposed: A range between 10' FtF and 13' FtF  
Rationale: Due to a sloping public sidewalk, maintaining the 13' minimum would result in excessive FtF heights at the south end of the facade and increase building height/mass.

- SMC 23.47A.014.B3 Setback Abutting a Side or Rear Lot Line of a Residentially-Zoned Lot  
Required: 15' setback above 13'  
Proposed: 5' setback above 13'  
Rationale: Shifting building mass to the west allows for modulation of the building and mass reduction at the street

### EDG RECOMMENDATION

### SCHEME 'C' (PREFERRED)



- 68 apartment units 27,496 sf
- 4 retail/commercial units 1,915 sf
- Proposed parking spaces 15
- Total Floor Area 29,411 sf
- Permitted Floor Area 32,093 sf  
(mixed-use: 9,874 x 3.25 FAR)
- Permitted Residential Area 29,625 sf  
(9,874 x 3.0 FAR)

- SMC 23.47A.008.B4 Retail Ceiling Height  
Required: 13' Floor to Floor  
Proposed: A range between 10' FtF and 13' FtF  
Rationale: Due to a sloping public sidewalk, maintaining the 13' minimum would result in excessive FtF heights at the south end of the facade and increase building height/mass.

*NOTE: THIS DEPARTURE NO LONGER REQUESTED. SEE PAGE 15 FOR CURRENT DEPARTURES REQUESTED UNDER THIS SCHEME.*

## 6.0 EARLY DESIGN GUIDANCE BOARD RECOMMENDATIONS & APPLICANT RESPONSES

The board's recommendations from the EDG meeting on August 22, 2016 are summarized below.

### 1. Public Realm

a. Retail Spaces and Location of Residential Lobby: the Board agreed with public comment that pedestrian safety at the driveway is important. The Board recommended safety measures in this location be integrated into the building design to ensure pedestrian safety. Sight triangles were suggested. (PL2-B)

**Response: We are providing sight triangles and transparent glazing at the corner retail space to maximize pedestrian safety.**

b. Stone Way N is developing rapidly, and the Board agreed that true retail spaces are preferred over live-work spaces (PL3-C).

c. The preferred Scheme C proposed four small retail spaces. The Board agreed that one large retail space would be more viable than four smaller spaces. Additionally, moving the residential lobby further south to abut the driveway would support a larger retail space. (PL3-B, PL3-C)

**Response: We have consolidated the retail into one larger space and one smaller space. In order to meet commercial frontage development standards, building codes, and to maximize pedestrian safety, we are not locating the pedestrian entry adjacent to the driveway. No live-work is proposed. See graphic analysis on page 35.**

d. The Board appreciated the proposed on-site parking to support the viability of retail in this location (PL3-C).

### 2. Existing Trees:

a. Three existing street trees are located adjacent the site in the Stone Way N right-of-way. The Board supported the proposed retention of these trees as they contribute to the character of the neighborhood. The Board encouraged a greater ground level setback to preserve these trees, similar to the setback proposed in Scheme C. (CS2-A)

**Response: The existing street trees will be protected during construction in full accordance with the Arborist's recommendations.**

b. Additionally, the Board noted that the existing street trees may provide appropriate screening of the building bulk as perceived from Stone Way N (CS2-D)

c. The Board agreed with public comment that the relationship of the overhead weather protection and existing street trees is an important consideration and that the two should work in tandem to contribute to a successful pedestrian experience at the sidewalk. The Board requested that graphics describing this condition be included in the Recommendation packet. (PL2-C, DC4-A)

**Response: We have paid special attention to the canopy design and have included detailed graphics on page 30 to illustrate the pedestrian condition.**

### 3. Architectural Context and Character:

a. The Board supported the primary residential lobby at street level, as shown in Scheme C; however, they recommended moving the lobby adjacent to the driveway at the southeast corner of the site. Explore enhancing the corner treatment to clearly mark the residential entry (PL3-A).

**Response: We have examined the possibility of relocating the residential lobby to the corner. We have determined that it is not a feasible option for the following reasons:**

- Pedestrian safety would be compromised if the heavily used public entry is located adjacent to the vehicular driveway
- The retail depth requirement and the commercial frontage requirement for pedestrian zones cannot be met with the entry at the corner
- The owner will be occupying the building and the corner storefront space has been designed to meet their specific needs
- We have not been able to find any design precedents for a corner entry. It is very difficult to make it work with code compliant exiting schemes and layouts
- See page 35 for analysis

b. The Board agreed that a stair tower as a vertical element would appropriately define the main residential lobby, but that additional architectural elements and modulation are needed to create an obvious and identifiable primary entry (PL3-A).

**Response: We are using the following architectural elements to clearly identify the pedestrian entry:**

- special canopy detailing including a step in height and depth
- large graphic signage and glazing
- large recess at the entry to create a transitional space that serves as a meet and greet area
- the recess provides graphic (light/shadow) emphasis
- special lighting will be used to emphasize entry
- see page 30

c. The privacy of the adjacent single-family development to the west should be carefully considered. Use the design of the decks to block views into units and to the single-family structures to the west. The Board specified that this is most important on the north side of the site, as existing trees along the south portion of the west property line will mitigate some privacy impacts. (CS2-B)

**Response: We have provided decks with cedar slat railing panels to maximize privacy for the single family homes to the west. In addition, the units without decks will have etched glass at the lower glazing levels so that sightlines to the single family homes will be obscured. See page 26.**

d. The Board discussed the character and long term development of Stone Way N. While some felt upper level setbacks at east property line are valuable, others felt that due to the existing trees, a break in plane would be sufficient. (CS2-C)

**Response: We have stepped the upper story along Stone Way back two feet to create a break in the facade and give the appearance of a 'top' per Wallingford Design Guidelines. See page 29.**

e. The Board specified that the landscape design should choose plants that will emphasize or accent the design, create enduring green spaces, and be appropriate to particular locations taking into account solar access, soil conditions, and adjacent patterns of use. Select landscaping that will thrive under urban conditions. Vegetation under an overhang on Stone Way N would not be supported. (DC4-D)

**Response: See the landscape plan on page 17. Plantings have been chosen to support the building design and adjacent patterns of use (urban pedestrian sidewalk) and to thrive under urban conditions. No vegetation is proposed beneath the pedestrian canopies.**

f. In order to contribute to the architectural character of the neighborhood, the ground floor at the sidewalk should reflect a higher level of detail refinement and high quality materials (CS3-I).

**Response: See detail renderings of the ground level facade, which have been chosen for durability, scale, and visual interest. See pages 28-29.**

g. When developing the building middle-floor design, look to the existing context for design cues. Consider detail elements such as a cast stone, tile or brick pattern using spacing and width of bays or pavilions to provide intervals in the façade to create scale (CS3-I).

**Response: The design uses an interplay of fenestration, solid surfaces, gridlines, wood accents and texture/color to create a legible graphic composition at the middle levels. See page 24.**

h. Clearly distinguish tops of buildings from the façade walls by including detail elements consistent with the traditional neighborhood buildings such as steep gables with overhangs, parapets and cornices. (CS3-I)

**Response: We have created an upper story step back to reduce perceived height and scale, and included cornice detailing to emphasize the roofline. See page 29.**

## 7.0 ZONING DATA LAND USE ANALYSIS

### ZONING SUMMARY

Lot Area	9,875 SF	Structure Height 23.47A.012	40'-0" Base height limit 44'-0" If residential use at street level located 4' above grade ◦ Pitched roofs, parapets, fire walls, open railings, planters, skylights, clerestories, or greenhouses may extend an additional 4 feet ◦ Stair and elevator penthouses, solar collectors, screened mechanical equipment less than 20% of roof area may extend an additional 15 feet
Lot Dimensions	90' x 110' (approx.)		
Zoning	NC2-40		
Overlays	Wallingford Residential Urban Village		
Existing Land Uses	Parking, Warehouse	Floor Area Ratio 23.47A.013	3.0 maximum, any single-use (i.e. 29,625 SF) 3.25 maximum, mixed-use (i.e. 32,093 SF) 1.5 minimum for 40' structure in Urban Village Exemptions: Areas below the lower of existing or finished grade
Permitted/Prohibited Uses 23.47A.004	Mixed-use, Residential, Office, Commercial Per 23.42A.005.D residential uses are generally permitted anywhere in NC2 structures, but may not occupy in aggregate more than 20% of street-level, street-facing facade. Access to residential use is limited to 20% of the pedestrian street-facing facade length.	Setbacks 23.47A.014	◦ 15' setback required above 13' for residential uses at adjacent residential zones ◦ Above 40' required setback increases at rate of 2H:10V ◦ Decks with open railings may extend into the setback up to 10' (i.e. 5' setback) ◦ Dumpsters must be located minimum 10' away from adjacent residential zones
Street-level non-residential 23.47A.008	◦ Blank facades: -maximum 20' in width between 2' and 8' above sidewalk -limited to 40% of each street facade ◦ 10' maximum setback unless providing wider sidewalks, plazas, or approved landscaping/open space ◦ Transparency: -minimum 60% of facade area between 2' and 8' above sidewalk to be transparent -shall allow unobstructed views into structure (live/work units may have display windows w/ minimum 30" depth) ◦ 13' minimum floor to floor height ◦ 30' average, 15' minimum commercial depth ◦ Pedestrian Street: At least 80% of the street-level street frontage must be occupied by Sales/Service, Restaurant, Arts, and Medical uses per 23.47A.005.D.1. The remaining 20% of the street frontage may contain other permitted uses and/or pedestrian entrances.	Parking Quantity 23.47A.015	No parking is required in Urban Villages with frequent transit service within 1/4 mile
		Landscaping 23.47A.016	Must achieve a Green Factor score of 0.3 or greater as defined per 23.47A.016
		Amenity Area 23.47A.024	◦ Minimum 5% of total residential gross square footage up to 50% of the lot area required as amenity space; includes decks, balconies, terraces, roof gardens, plazas, play areas, sport courts, and courtyards; parking & driveways not included (maximum of 1483 SF required based on maximum residential area of 29,665 SF) ◦ Access to at least one amenity area required for all residential units ◦ Common amenity areas minimum dimensions: 250 SF, 10'-0" ◦ Private amenity areas minimum dimensions: 60 SF, 6'-0"
Street-level residential	◦ At least one street-level street-facing facade to have a visually prominent pedestrian entry ◦ Floors of dwelling units along the street-level street-facing facade to be located at least 4' above or 4' below sidewalk grade or be set back at least 10 feet from the sidewalk	Parking Location/Access 23.47A.032	Parking shall be separated from street-level street facing facades by another permitted use.
		Bicycle Parking	1 space per 4 dwelling units or 0.75 spaces per small efficiency dwelling unit
		Street trees	Lot has 3 existing street trees, which will be preserved.

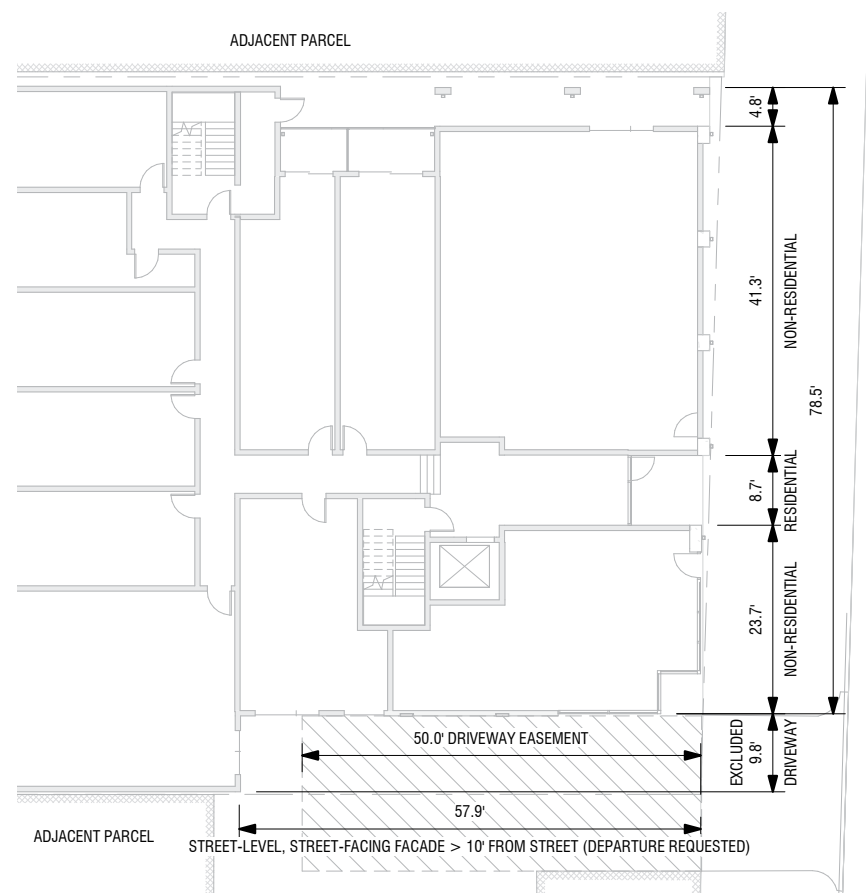
## 7.0 DEPARTURES SUMMARY OF REQUESTED DEPARTURES

### SMC 23.47A.008.A.3

Street-level, street-facing facades shall be located within 10' of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.

Rationale:

- 1) Existing driveway easement makes it impossible to legally comply
  - 2) The setback allows placement of windows on the south facade, and allows for better light, air, and views.
- 2) The setback allows placement of windows on the south facade, and allows for better light, air, and views. We are thus able to avoid a Blank Wall (DC2-B-2) at the south property line, and create a more interesting facade in full view of the sidewalk (DC2-B-1) and wrap the street-facing facade theme around the corner (CS3-1-iv)



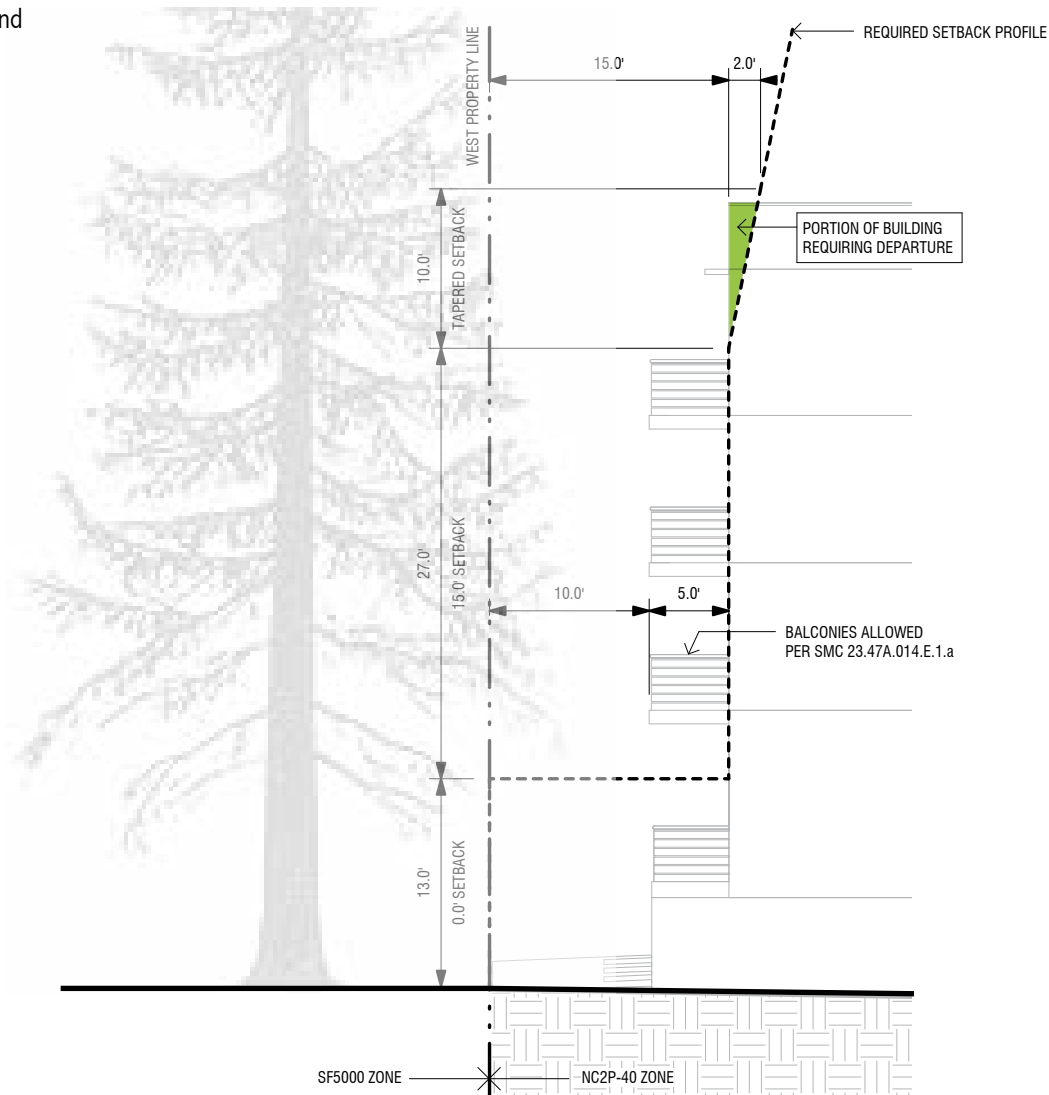
STREET-LEVEL USES & SETBACKS DIAGRAM

### SMC 23.47A.014

Setback at west property line adjacent to single-family zone.

Rationale:

Following the setback line per the diagram results in an additional 2' setback at level 4. This additional setback is insignificant in its impact and will complicate construction. Also, large trees already provide screening (CS2.D.2). Instead we propose stepping the building back on the street side, which the board indicated at EDG (comment 3D), would be a reasonable trade-off.



SETBACK DIAGRAM AT WEST P.L. LOOKING NORTH

## 8.0 DESIGN PROPOSAL

### PROPOSED DEVELOPMENT

The proposed development is based on Scheme C, the scheme recommended by the board at the Early Design Guidance meeting on August 22, 2015.

The project includes a mix of retail and residential units in a four story building. The building footprint utilizes the entire available site, but includes recesses and step backs to give visual interest to the building form and to accommodate pedestrian activity and to make the uses of the building legible to the public.

The residential unit count is 59, with 2 sales/service storefronts on the ground floor. Because the project is within 1350 feet of a mass transit stop, no parking is required, but we propose to provide 12 residential vehicle parking spaces and 22 bicycle parking stalls. The main residential entry lobby is located on Stone Way N with a secondary residential entry along the north side of the building, also accessed from Stone Way N. The secondary entrance provides an accessible route to the apartments located on level 1.

### AMENITIES

- Common roof deck with BBQ
- Secure and convenient indoor bicycle parking
- Photo-voltaic panels
- Green roof



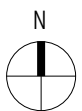


## 8.0 DESIGN PROPOSAL LANDSCAPE PLAN (GROUND & ROOF LEVEL)



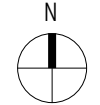
# 8.0 DESIGN PROPOSAL LEVEL 0 PLAN

- KEY
- RESIDENTIAL
  - COMMERCIAL
  - CIRCULATION
  - PARKING
  - SOLID WASTE STORAGE/MECH
  - ROOF DECK AMENITY



8.0 DESIGN PROPOSAL LEVEL 1 PLAN

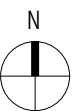
- KEY
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  - COMMERCIAL
  - CIRCULATION
  - PARKING
  - SOLID WASTE STORAGE/MECH
  - ROOF DECK AMENITY



## 8.0 DESIGN PROPOSAL LEVEL 2 PLAN

### KEY

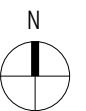
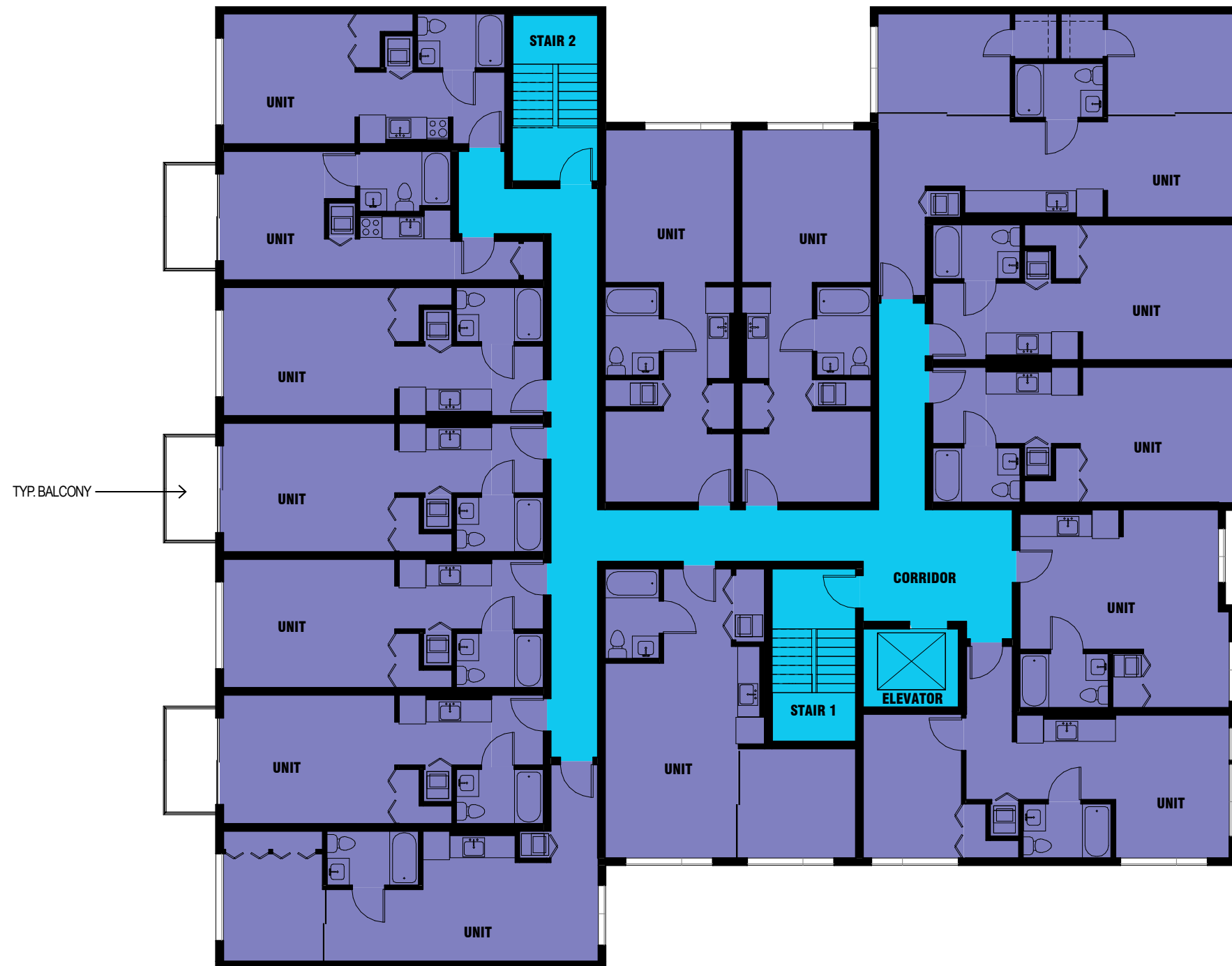
- RESIDENTIAL
- COMMERCIAL
- CIRCULATION
- PARKING
- SOLID WASTE STORAGE/MECH
- ROOF DECK AMENITY



## 8.0 DESIGN PROPOSAL LEVEL 3 PLAN

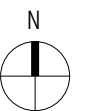
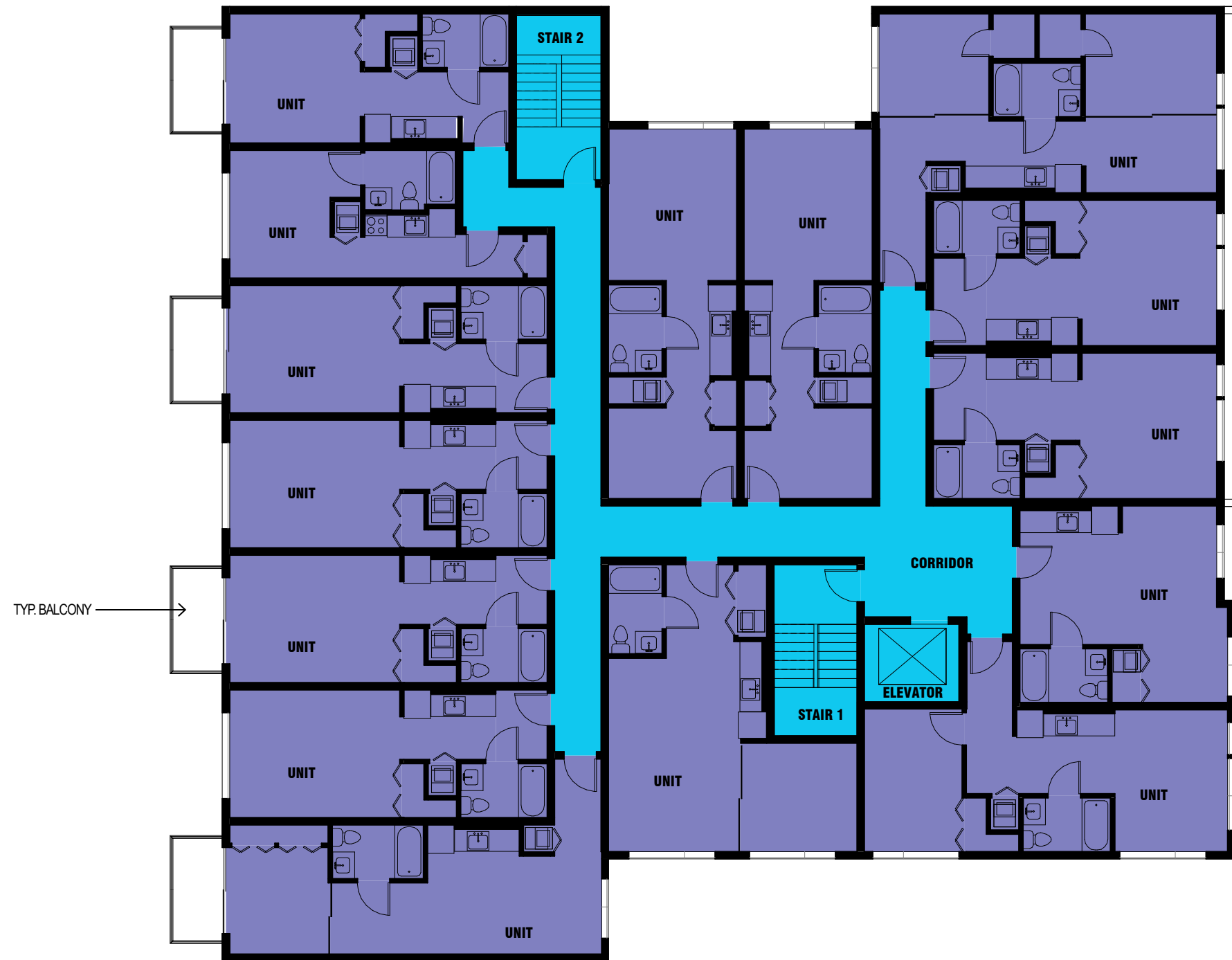
### KEY

- RESIDENTIAL
- COMMERCIAL
- CIRCULATION
- PARKING
- SOLID WASTE STORAGE/MECH
- ROOF DECK AMENITY



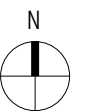
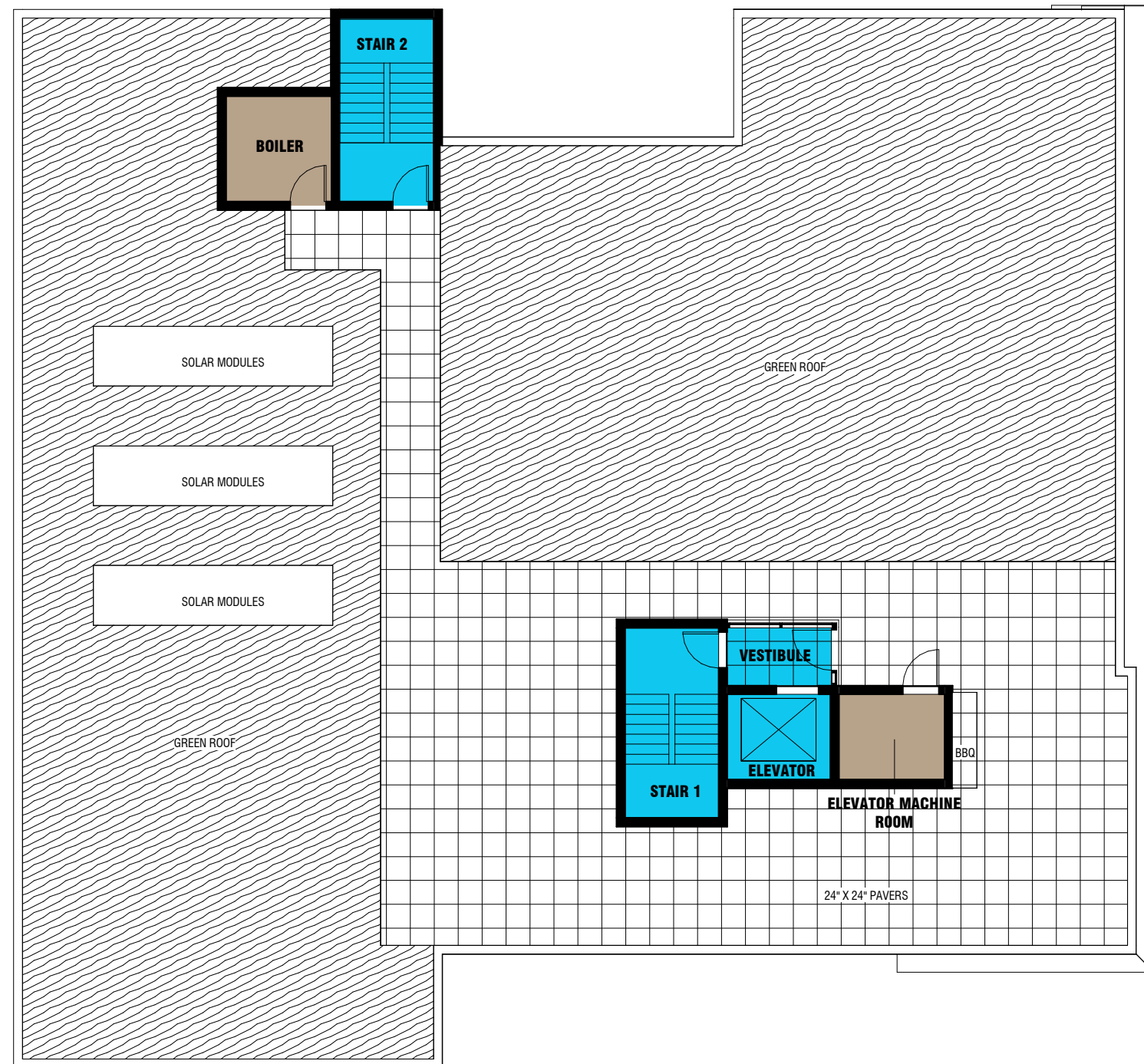
8.0 DESIGN PROPOSAL LEVEL 4 PLAN

- KEY
- RESIDENTIAL
  - COMMERCIAL
  - CIRCULATION
  - PARKING
  - SOLID WASTE STORAGE/MECH
  - ROOF DECK AMENITY



# 8.0 DESIGN PROPOSAL ROOF PLAN

- KEY
- RESIDENTIAL
  - COMMERCIAL
  - CIRCULATION
  - PARKING
  - SOLID WASTE STORAGE/MECH
  - ROOF DECK AMENITY



# 8.0 DESIGN PROPOSAL EAST ELEVATION





8.0 DESIGN PROPOSAL NORTH ELEVATION



# 8.0 DESIGN PROPOSAL SOUTH ELEVATION



# 8.0 DESIGN PROPOSAL WEST ELEVATION



9.0 RENDERINGS



VIEW along Stone Way from southeast

9.0 RENDERINGS



VIEW along Stone Way from northeast



Directional signage  
Passageway lighting for increased security

VIEW into passageway on north side of building



Natural wood slat screen to create privacy at patios

Secondary/accessible entrance (secured)

Textured paving (concrete)

VIEW of patios adjacent to passageway

9.0 RENDERINGS



**VIEW** of pedestrian experience at retail entrances and main residential entrance

RECESS @ RESIDENTIAL ENTRANCE  
TRANSITIONAL MEET & GREET SPACE



**VIEW** of pedestrian experience from southeast corner

## 9.0 RENDERINGS



VIEWS of resident experience at Level 0 unit entrances



## 10.0 SITE LIGHTING PLANS



**A** Roof level lighting plan



**B** Ground level lighting plan



Typical exterior/garage wall-mounted sconce



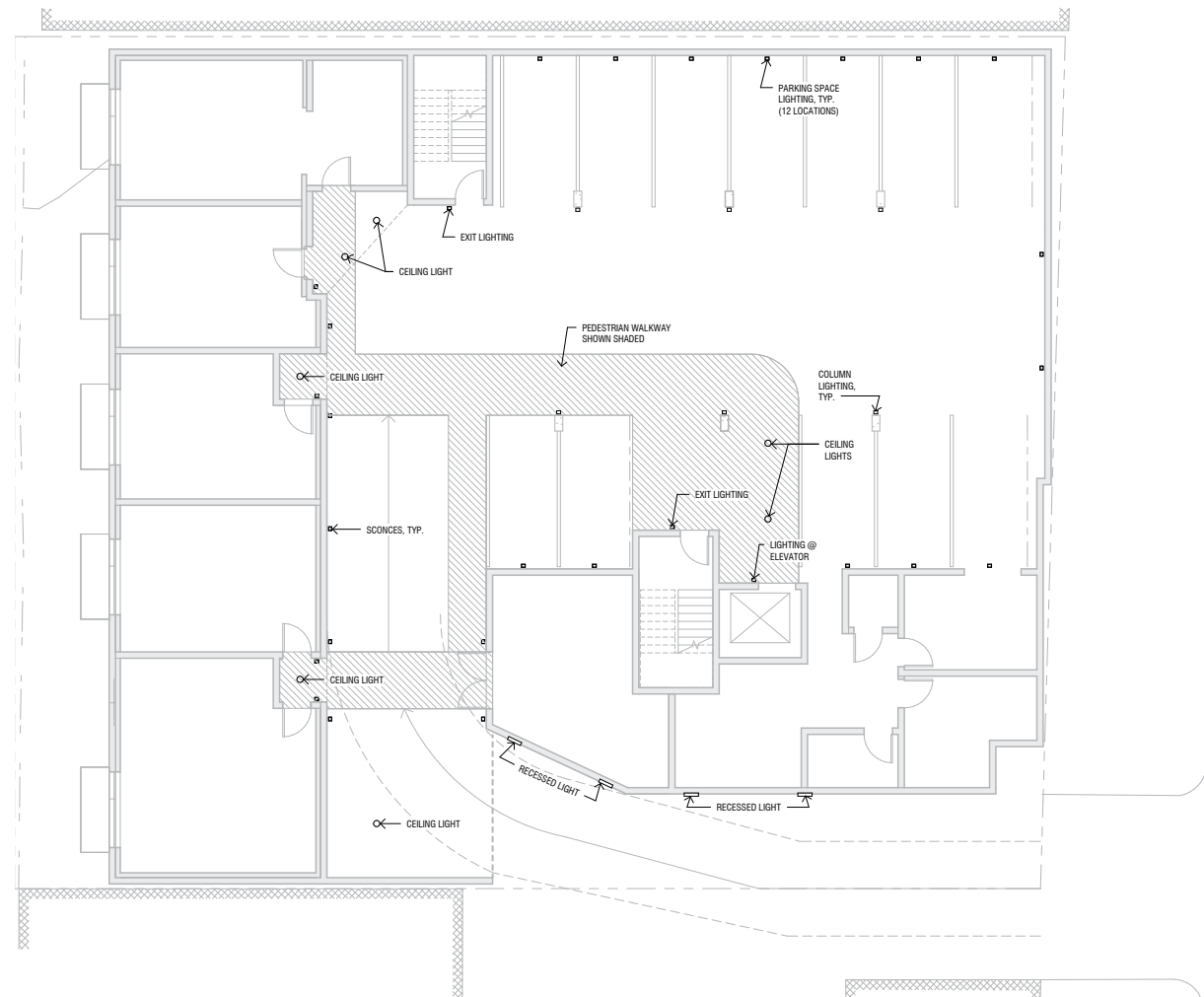
Typical landscape/tree uplight



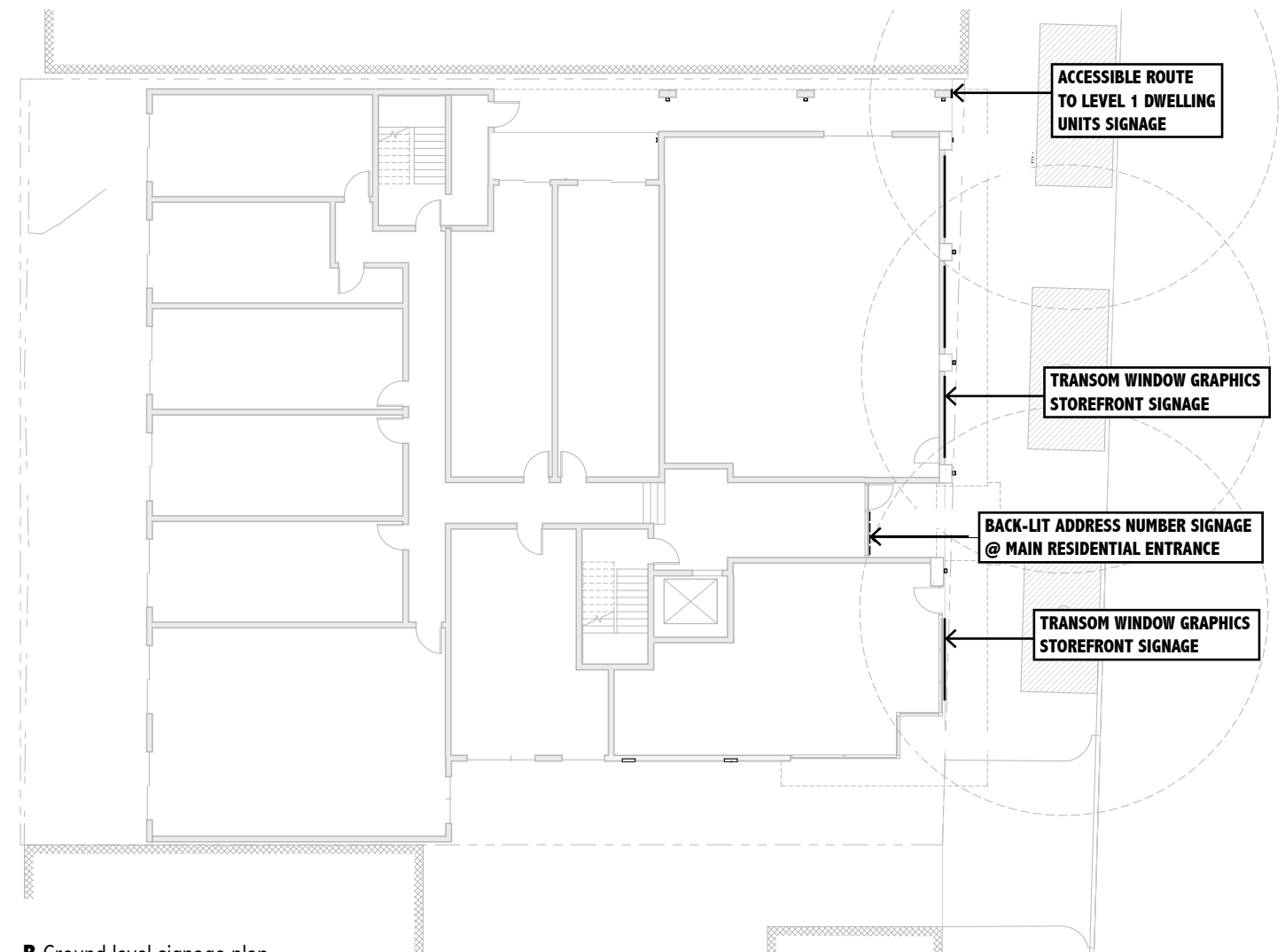
Typical exterior recessed soffit light



# 10.0 LIGHTING & SIGNAGE CONCEPT



**A** Garage level lighting & signage plan



**B** Ground level signage plan



Typical parking space light

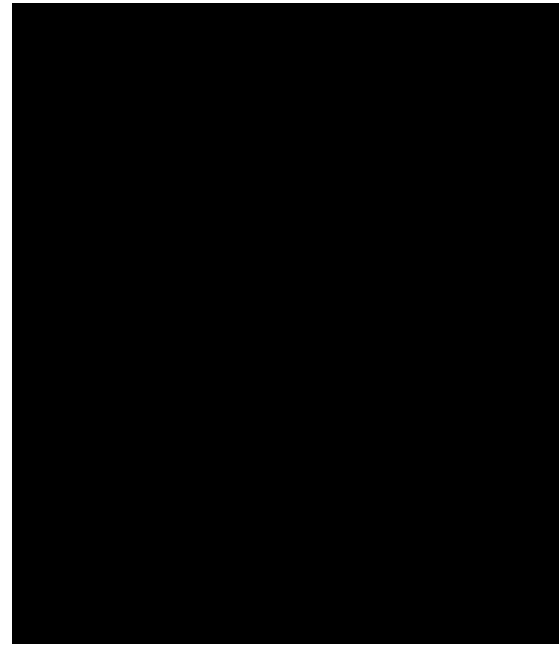


Typical wall-recessed light along driveway & parapet

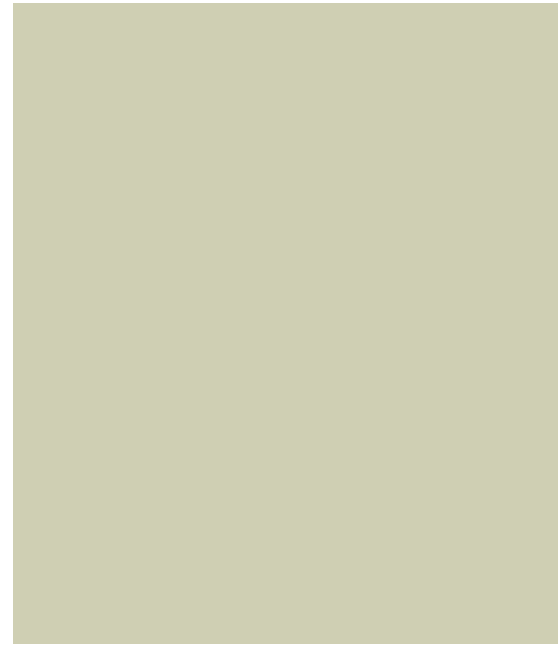
## 10.0 MATERIAL PALETTE



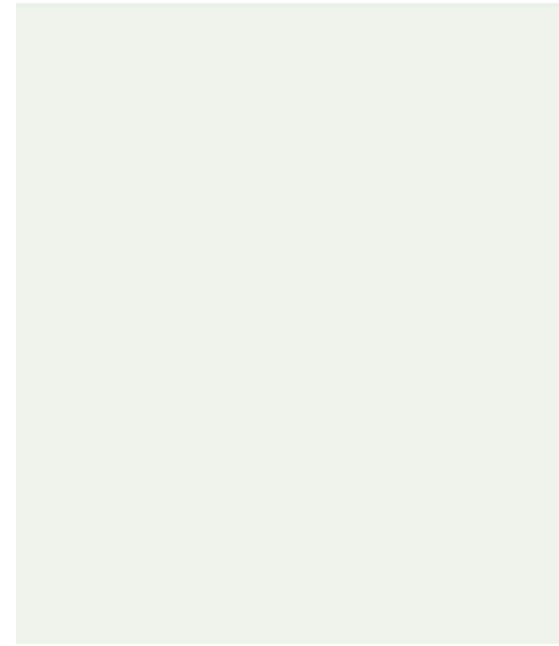
Wood accent siding



Black storefront, door & window frames;  
powdercoated steel canopies & railings



Vinyl window frames; adobe finish

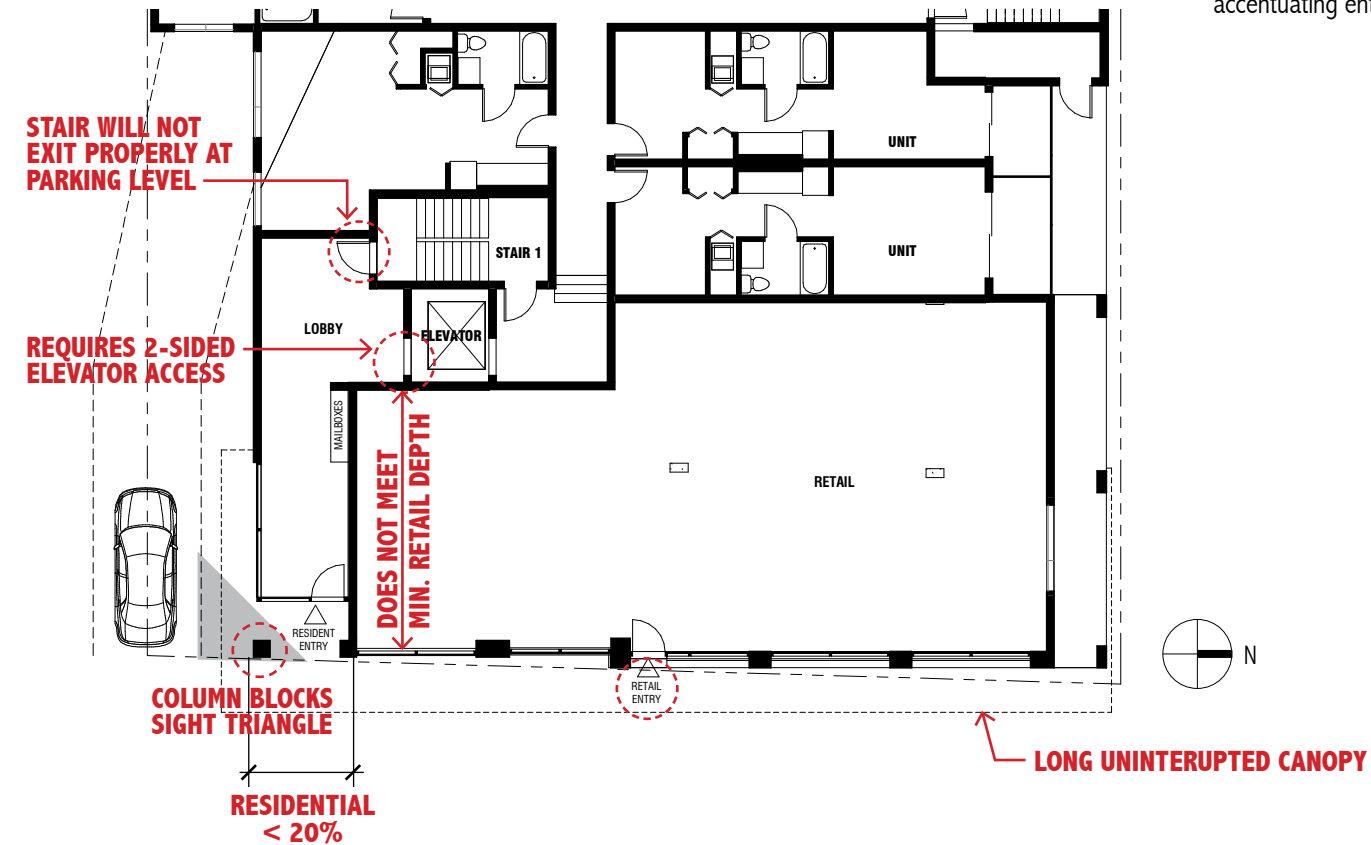
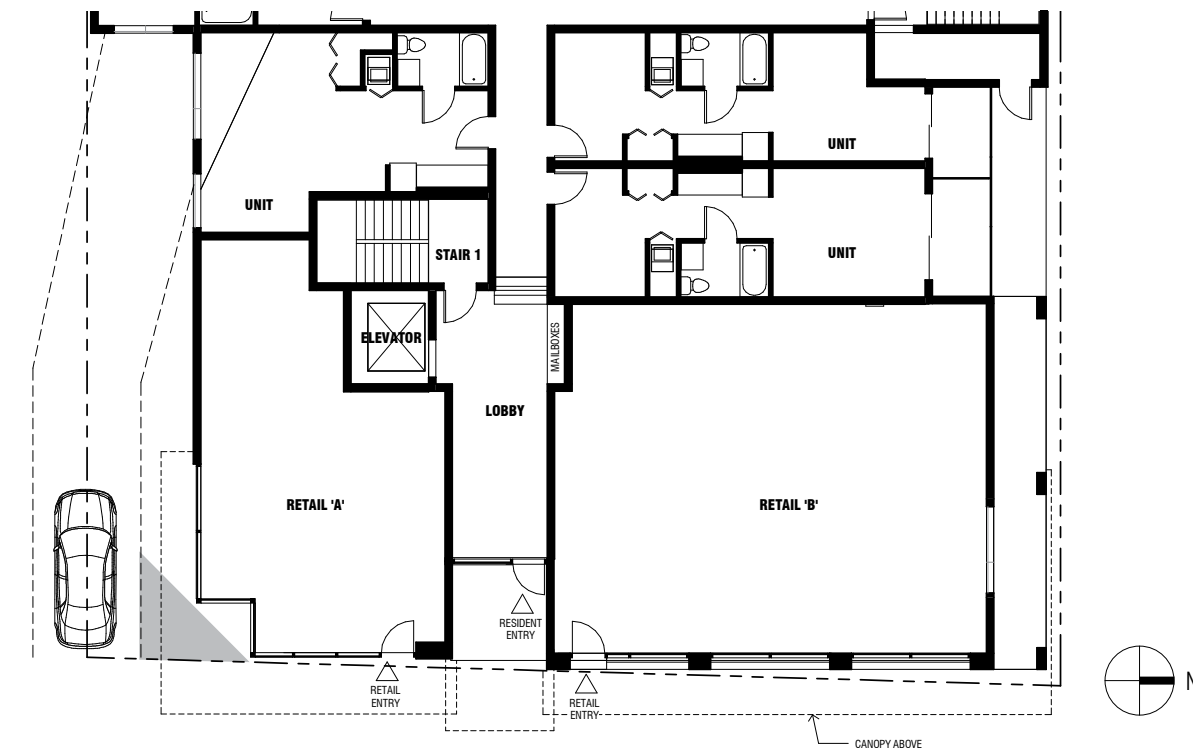


White paint color / cement fiber board panel



Blue paint color / cement fiber board panel

## 11.0 ANALYSIS OF ALTERNATE LOCATION FOR RESIDENTIAL ENTRANCE



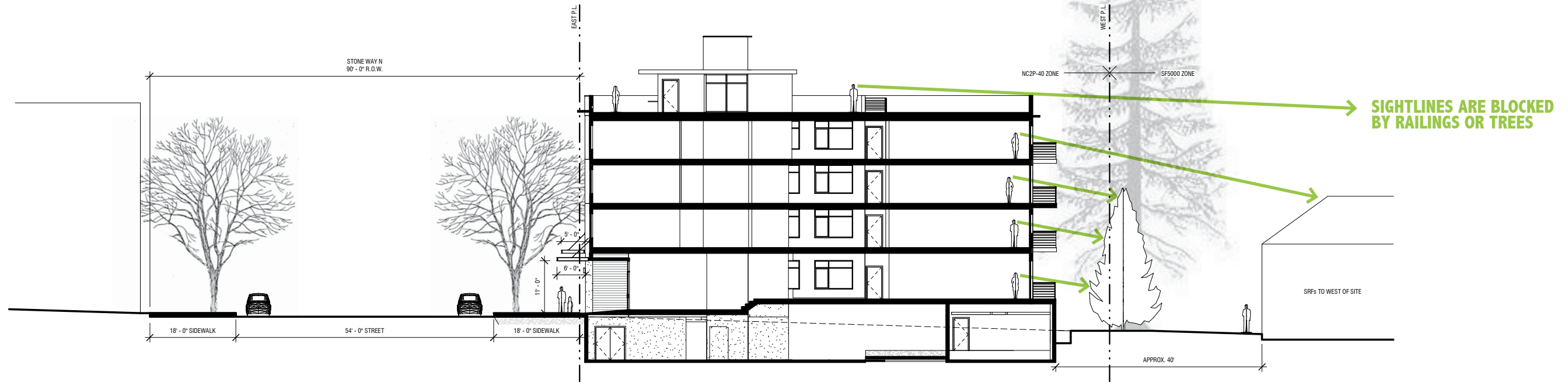
### PROPOSED SCHEME

- Meets min. retail depth requirement
- Meets owner req'mt for owner-occupied office
- Elevator and stair meet codes efficiently
- Residential entry separated from driveway
- Sight triangle unobstructed
- Facade composition accentuates entry

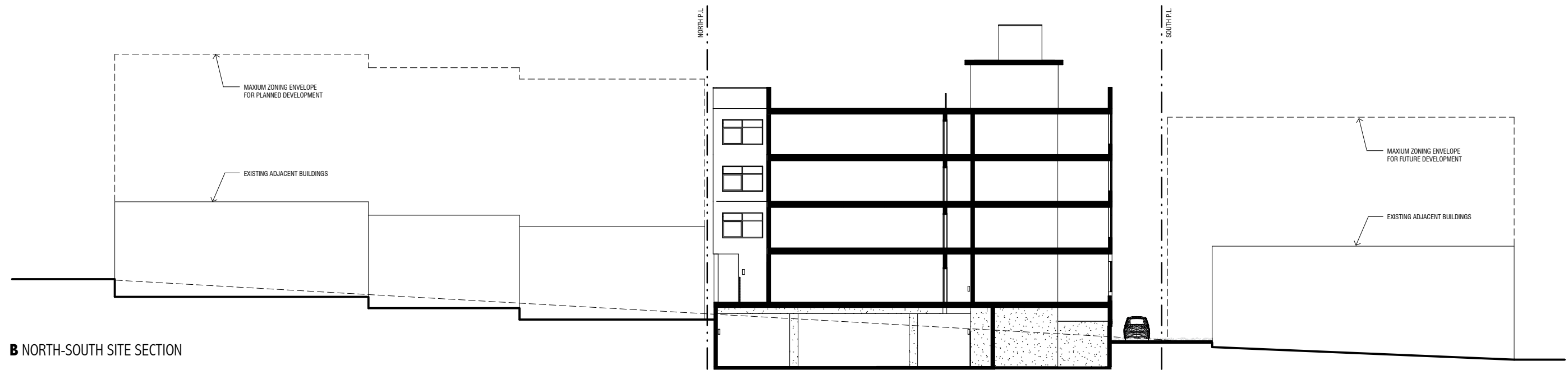
### ALTERNATE SCHEME

- Pedestrian safety would be compromised if the heavily used public entry is located adjacent to the vehicular driveway
- The retail depth requirement cannot be met with the entry at the corner
- The owner will be occupying the building and the alternate retail space does not meet their specific needs
- We have not been able to find any design precedents for a corner entry. It is very difficult to make it work with code compliant exiting schemes and layouts
- Less retail square footage in this configuration
- Elevator and stair inefficiently laid out
- Facade composition is less clear in accentuating entry

# 11.0 SITE SECTIONS



**A** EAST-WEST SITE SECTION



**B** NORTH-SOUTH SITE SECTION

## 11.0 SHADOW ANALYSIS

### WINTER SOLSTICE



### SPRING/FALL EQUINOX



### SUMMER SOLSTICE

