

403 DEXTER AVE N

#3024377

DESIGN RECOMMENDATION MEETING

DECEMBER 7TH, 2016





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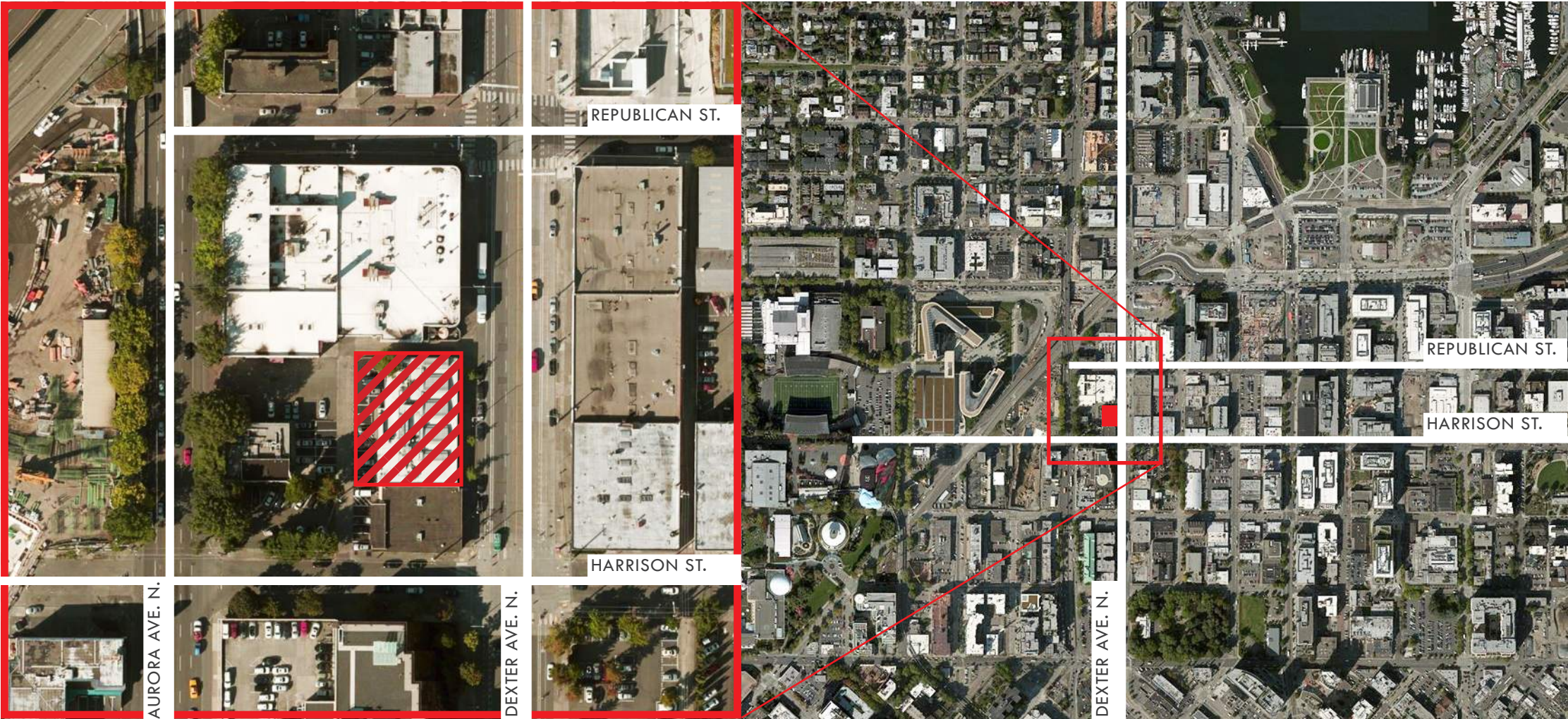
DEVELOPMENT OBJECTIVES:

This project is one of three that Wilshire Capital is developing in the South Lake Union area. These projects are a welcome commitment to urban living and enduring value through quality construction, and will help to balance the new job creation in the district.

The project context includes residential uses intermixed with newer commercial developments to the north, east, and south of the site. There are also some older two and three story commercial projects that are part of the history of the neighborhood. The context is evolving rapidly - within just a few blocks several new office and residential buildings are under construction, and new applications for development are pending throughout the district. In addition, the introduction of new infrastructure projects, including Mercer Street and the unbraiding of the SR99 bored tunnel, promise to transform the neighborhood's streetscape and pedestrian environment.

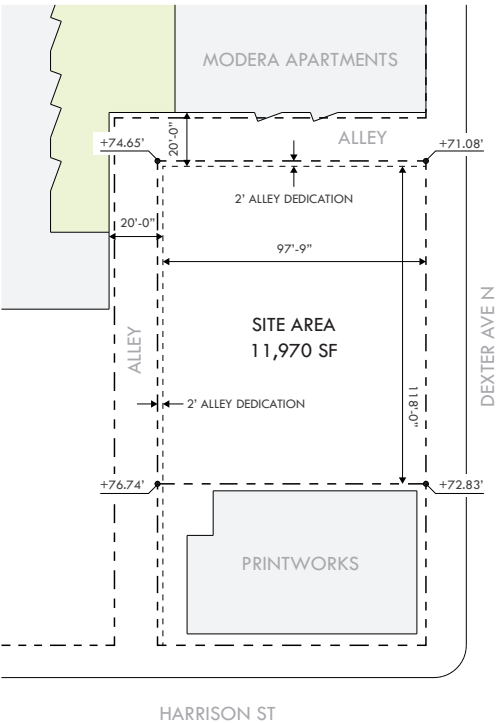
The project seeks to develop urban multifamily housing within this evolving neighborhood. The project offers much needed housing and street activation in the district. It also offers an appropriate scale and presence to its immediate neighbors.

The project proposes a significant street-oriented courtyard along Dexter, as well as a rooftop deck for residents. Parking and services will all be handled from the alleys adjacent to the property.

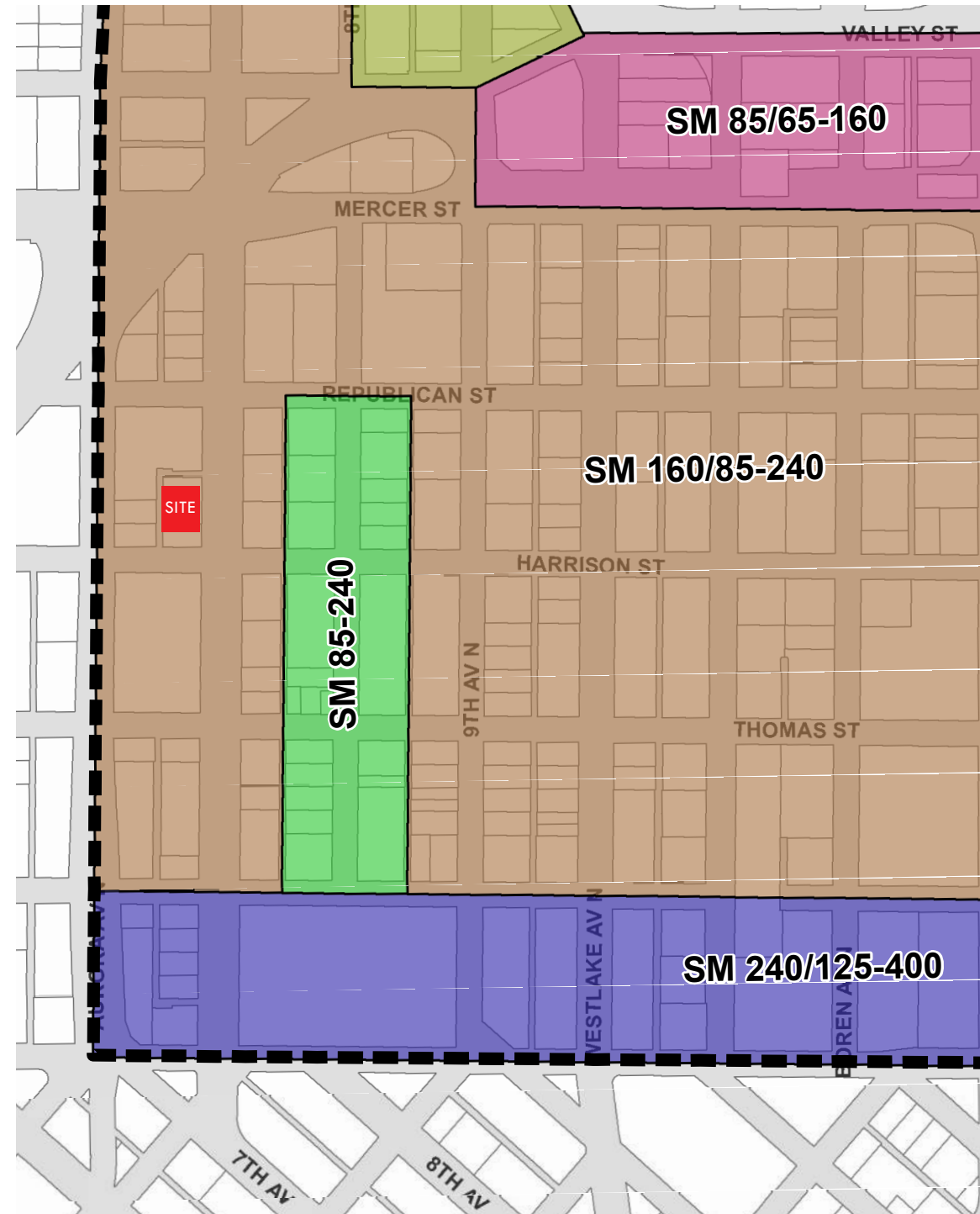


PROJECT STATISTICS:

SITE AREA (SF)	11,977
APARTMENT UNITS	98
FLOOR AREA ABOVE GRADE (SF)	81,000
PARKING STALLS	50
NUMBER OF FLOORS ABOVE GRADE	8



ZONING MAP



EXISTING LAND USE DIAGRAM



A DEVELOPING CONTEXT






AERIAL VIEW OF SOUTH LAKE UNION



PLAN VIEW OF SOUTH LAKE UNION

LEGEND

-  UNDER CONSTRUCTION OR STARTING CONSTRUCTION
-  IN APPLICATION STAGE/DESIGN REVIEW
-  PROJECT SITE



LEGEND

- UNDER CONSTRUCTION OR STARTING CONSTRUCTION
- IN APPLICATION STAGE/DESIGN REVIEW
- PROJECT SITE



(A) Gates Foundation Phase II



(B) SR 99 Bored Tunnel North Portal



(C) Future UW Medicine Buildings



(D) 435 Dexter Ave N, 294 residential units



(E) 408 Aurora Ave N, 75 residential units



(F) 400 Dexter Ave N, 252,000sf office



(G) 433 8th Ave N, 87 residential units



(H) 401 8th Ave N, 294 residential units



(I) 333 Dexter Ave N, 582,000sf office



(J) 300 Dexter Ave N, 200,000sf office



(K) 333 8th Ave N, 194,000sf office

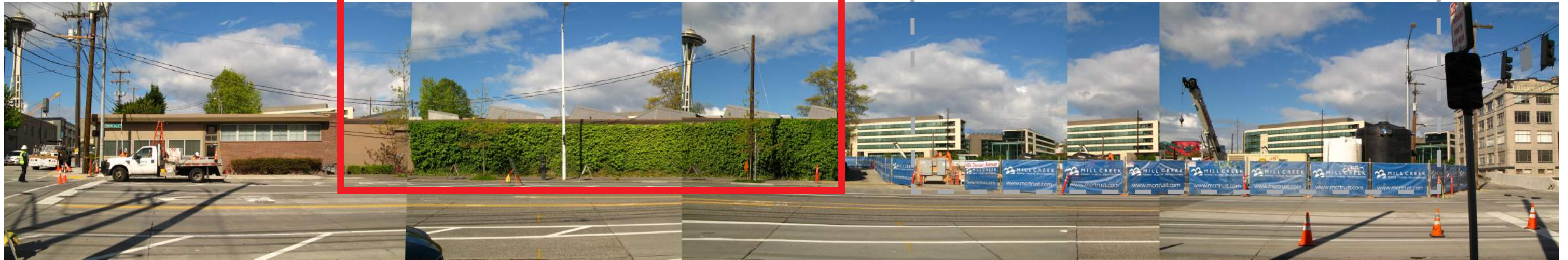


PROJECT LOCATION



UNDER CONSTRUCTION

see elevation below

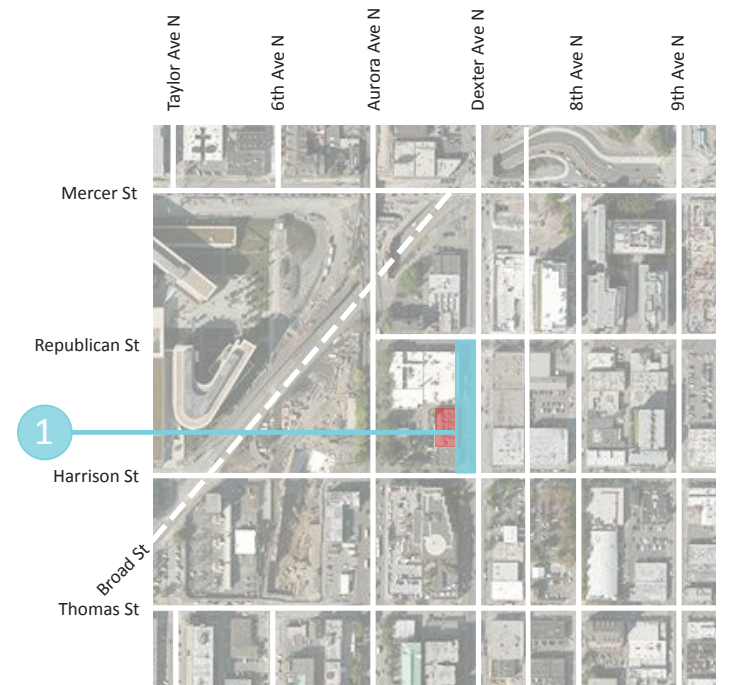


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DEXTER AVENUE, FACING WEST, BETWEEN REPUBLICAN ST AND HARRISON ST



435 DEXTER AVENUE N - EAST ELEVATION (NOT TO SCALE - ENCOMPASSES FULL WIDTH INDICATED ABOVE)



UNDER CONSTRUCTION

see elevation below

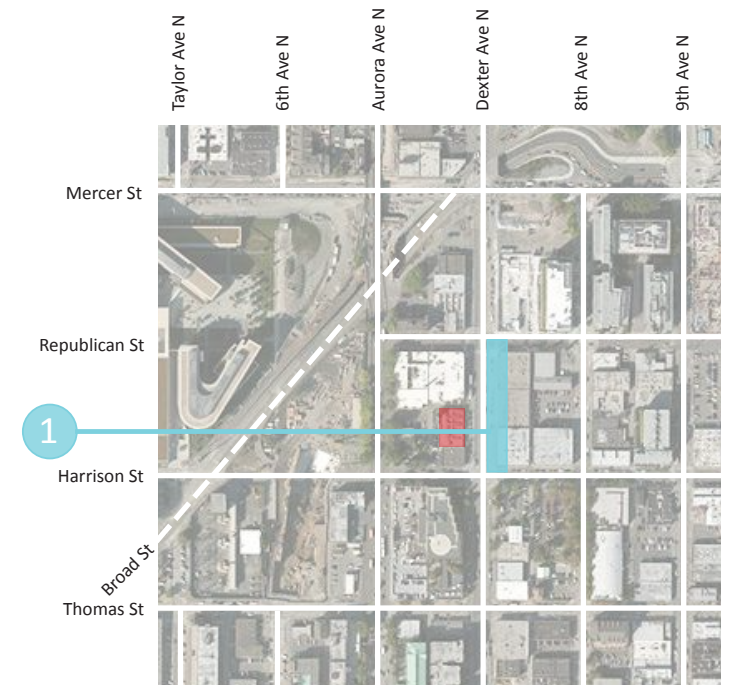


1

DEXTER AVENUE, FACING EAST, BETWEEN REPUBLICAN ST AND HARRISON ST



400 DEXTER AVENUE N - WEST ELEVATION (NOT TO SCALE - ENCOMPASSES FULL WIDTH INDICATED ABOVE)



Zoning Analysis (Summary of applicable development standards from the Seattle Municipal Code)

Address: 403 Dexter Avenue North - South Lake Union Urban Center
 Zoning Designation: SM 160/85-240
 Lot Area: 11,977 SF
 Street designation: Class II Pedestrian Street

Topic & Reference	Code Language (Paraphrased Summary)	Project specific application or interpretation
Street Level Uses: 23.48.005	All uses are permitted outright, either as principal or accessory uses, except those specifically prohibited by subsection 23.48.005.B and those permitted only as conditional uses by subsection 23.48.005.C.	Residential, sales & services and restaurant are anticipated allowed uses. Dexter is classified as a Class II Pedestrian street. There are no required ground floor use requirements.
Floor area ratio 23.48.020, 23.48.220	Table B, SM 160/85-240: Maximum 6.0 FAR for structures that do not exceed the base residential height limit and include any residential use.	Underground stories, retail uses at grade, 3.5% mechanical space are exempt from FAR limits
Structure height 23.48.025, 23.48.225	A. Residential base height limit is 85'. C. Rooftop features: 2) Open railings, planters, skylights, clerestories, parapets may extend up to 4 feet above the maximum height limit . 4) Rooftop features (such as mechanical, elevator and stair penthouses and common amenity area) may extend up to 15 feet above the maximum height limit, so long as the combined total coverage of all features listed in this subsection 23.48.010.H.4 does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes stair or elevator penthouses or screened mechanical equipment. 7) At the applicant's option, the combined total coverage of all features listed in subsections 23.48.010.H.4 and 23.48.010.H.5 above may be increased to 65 percent of the roof area, provided that mechanical equipment is screened and no rooftop features are located closer than 10 feet to the roof edge.	
Street-level development standards 23.48.040, 23.48.240	23.48.040.A General Facade Requirements: 1) Primary pedestrian entrance. Each new structure facing a street is required to provide a primary building entrance for pedestrians from the street or a street-oriented courtyard that is no more than 3 feet above or below the sidewalk grade. 2) A minimum facade height of 25' is required for the street-facing facades of new structures (at this location). B. Transparency and blank facade requirements apply to all street-facing, street level facades, except for portions of structures in residential use, as follows: 1) a minimum of 60 percent of the street facing facade must be transparent (between 2 feet and 8 feet above a sidewalk); 2) blank facades shall be limited to segments 15 feet wide, and shall not exceed 40 percent of the street facade of the structure. C. Development standards for required street level uses, and street-level uses exempt from FAR calculations: 2) The space occupied by street-level uses shall have a minimum floor-to-floor height of 13 feet and extend at least 30 feet in depth at street level from the street-front facade. 23.48.240.B.1.b The street-facing facade of a structure may be set back up to 12 feet from the street lot line. 3) Any required outdoor amenity area is not considered part of the setback area and may extend beyond the limit on setbacks from the street lot line.	The project proposes a development standard departure to allow for a 5' wide portion of the street-facing facade to be less than 25'. The project proposes to match the height of 1-story structure immediately south of the non-compliant facade. Project proposes a street-oriented courtyard that exceeds setback limits, but which will qualify for required outdoor amenity area, and is therefore exempt.
Amenity area for residential uses 23.48.045	A. Amenity area is required for all new development with more than 20 dwelling units. B. An area equivalent to 5 percent of the total gross floor area in residential use shall be provided as amenity area, except that, in no instance shall the amount of required amenity area exceed the area of the lot. C. Required amenity area shall provide access to all residents and be located at or above ground level. A maximum of 50 percent of the required amenity area may be enclosed. The minimum horizontal dimension for required amenity areas is 15 feet, except that the minimum horizontal dimension is 10 feet for amenity areas provided as landscaped open space accessible from the street at street-level. The minimum size of a required amenity area is 225 square feet. Amenity area that is provided as landscaped, street-level open space that is accessible from the street shall be counted as twice the actual area in determining the amount provided to meet amenity area requirement.	The project proposes a street-oriented courtyard at ground level, and roof level outdoor deck are proposed to meet the residential amenity requirement.
Screening and landscaping standards 23.48.055	A) Green Factor score of .30 or greater required, Street trees shall be provided in all planting strips. D1) Existing street trees may count toward meeting the street tree requirement.	Green factor will be accommodated at the street and the various roof terraces. No street trees currently exist. New street trees are planned.
Required parking and loading 23.48.085	A) Off-street parking spaces and bicycle parking are required according to Section 23.54.015. Per table A, South Lake Union is in an "Urban Center" and no minimum parking standards apply for the proposed uses. The minimum number of off-street parking spaces for bicycles required for specified uses is set forth in Table E: Retail, restaurants: 1: 12,000 SF long term, 1:2000 SF short term. Residential 1:4 Units: After the first fifty (50) spaces for bicycles are provided, additional spaces are required at one half (1/2) the ratio shown in Table E	Approximately 24 resident long term bike parking spaces are planned inside the building and 4 bike rack spaces at the sidewalk.
Parking and loading location, access and curbcuts 23.54.035	D) Access to parking and loading shall be from the alley when the lot abuts an alley improved to the standards of subsection	Residential is not one of the listed uses requiring a loading berth per 23.54.035 Table A. Parking access is proposed from the alley.

KEY GUIDANCE

1) MASSING AND CONTEXT RESPONSE

The Board discussed the different massing options and agreed massing Option C has the best potential to provide public realm engagement and create architectural presence. The Board directed the applicant to proceed with this preferred option.

- The Board strongly supported the open space location and recognized it as a great benefit to the public realm and good urban design
- The Board acknowledged the adjacent Modera building open space and discussed if setbacks should be explored for the northwest corner. Ultimately, the Board agreed setbacks at this location should not be provided at the cost of reducing the open space along Dexter and stated they would be open to setbacks if the current open space size is not affected.

RESPONSE

- The overall open space approach remains unchanged. However, the proposed design has been able to incorporate building setbacks at the northwest corner, without reducing the open space along Dexter.

RELEVANT PRIORITY DESIGN GUIDELINES

- CS2-B-3. **Character of Open Space**

2) ARCHITECTURAL EXPRESSION CONCEPT

The Board supported the legibility of the ground floor plan and the vertical architectural expression and gave the following direction:

- The Board discussed the 5 over 3 type of construction and the intent to create a vertical expression and conceal the structure. Recognizing that a vertical expression for a project of this scale is unique, the Board supported the intent and recommended thoughtfully developing the design, mindful the application of materials.
- The Board agreed that the one story portion of the street facing façade has the potential to strengthen the vertical expression design concept and indicated initial support for the related departure.
- The Board encouraged the design take advantage of integral sustainable strategies.

RESPONSE

- The design proposes a vertically expressed cladding design, reinforcing the vertical massing.
- The design maintains the expression of use in the design, with a one-story retail expression at the base, and 7 story residential expression above.
- The design proposes several integral sustainable strategies, including green roofs, rainwater detention, renewable energy, and highly efficient HVAC systems.

RELEVANT PRIORITY DESIGN GUIDELINES

- CS3-A-2. **Contemporary Design** | DC2-B-1. **Façade Composition**

3) STREETScape, OPEN SPACE & ENTRIES

The Board supported the arrangement of uses and location of entries and recommended the open space courtyard design relate to and emphasize the verticality of the design concept:

- The Board encouraged developing the concept of the courtyard and noted the potential for a play on a cavern concept. The Board recommended exploring the placement of site furniture and site walls to reinforce the design concept.
- The Board supported the proposed pavement treatment and recommended expressing the courtyard space with accent patterns and/or varying paving.
- For the streetscape, the Board agreed the breaks in the planting are discontinuous and recommended softening the building and adding more landscaping along the streets edge. The Board requested adjacent perspective views of the streetscape for the next meeting.

RESPONSE

- The proposed design of the courtyard seeks to create a refuge for the building tenants, with a layering of landscape and site furniture to buffer the business of Dexter beyond.
- The proposed design utilizes a variety of paving to delineate use, entry, and to define space.
- The proposed design provides the maximum amount of landscape at the street edge feasible, while maintaining pedestrian access for the residential lobby and retail spaces, as well as providing for utilities.

RELEVANT PRIORITY DESIGN GUIDELINES

- CS2-B-2. **Connection to the Street** | CS2-B-3. **Character of Open Space**
PL1-B-3. **Pedestrian Amenities** | PL2-C-3. **People-Friendly Spaces**
PL3-A-1. **Design Objectives** | PL3-A-4. **Ensemble of Elements**

4) VEHICLE ACCESS

The Board discussed the vehicular entry and agreed the location of the parking access improved since vehicles have the potential to enter/exit off Harrison St. While developing the design, create clear lines of sight and consider the potential conflict between different travel modes.

RESPONSE

- The proposed design maintains the vehicle access location proposed at EDG, and is configured so as to minimize conflicts with other modes of transport, such as bicycles.

RELEVANT PRIORITY DESIGN GUIDELINES

- PL3-B-2. **Bike Facilities** | DC1-B-1. **Access Location and Design**

5) MATERIALS AND FENESTRATION

The Board appreciated the additional images indicating the material intent and fenestration presented at the meeting.

- The Board stressed the importance of being rigorous about materiality in order to successfully convey the design concept and recommended thoughtful application of materials, complimentary to the Modera.
- The Board unanimously supported the south façade corner glazing and recognized that the corner glazing and the break in the massing minimizes the blank wall condition along the south façade.
- Acknowledging the southwest corner will be highly visible, the Board encouraged the applicant to continue to think of it as a visible façade and agreed the same level of care as the other frontages should be considered.

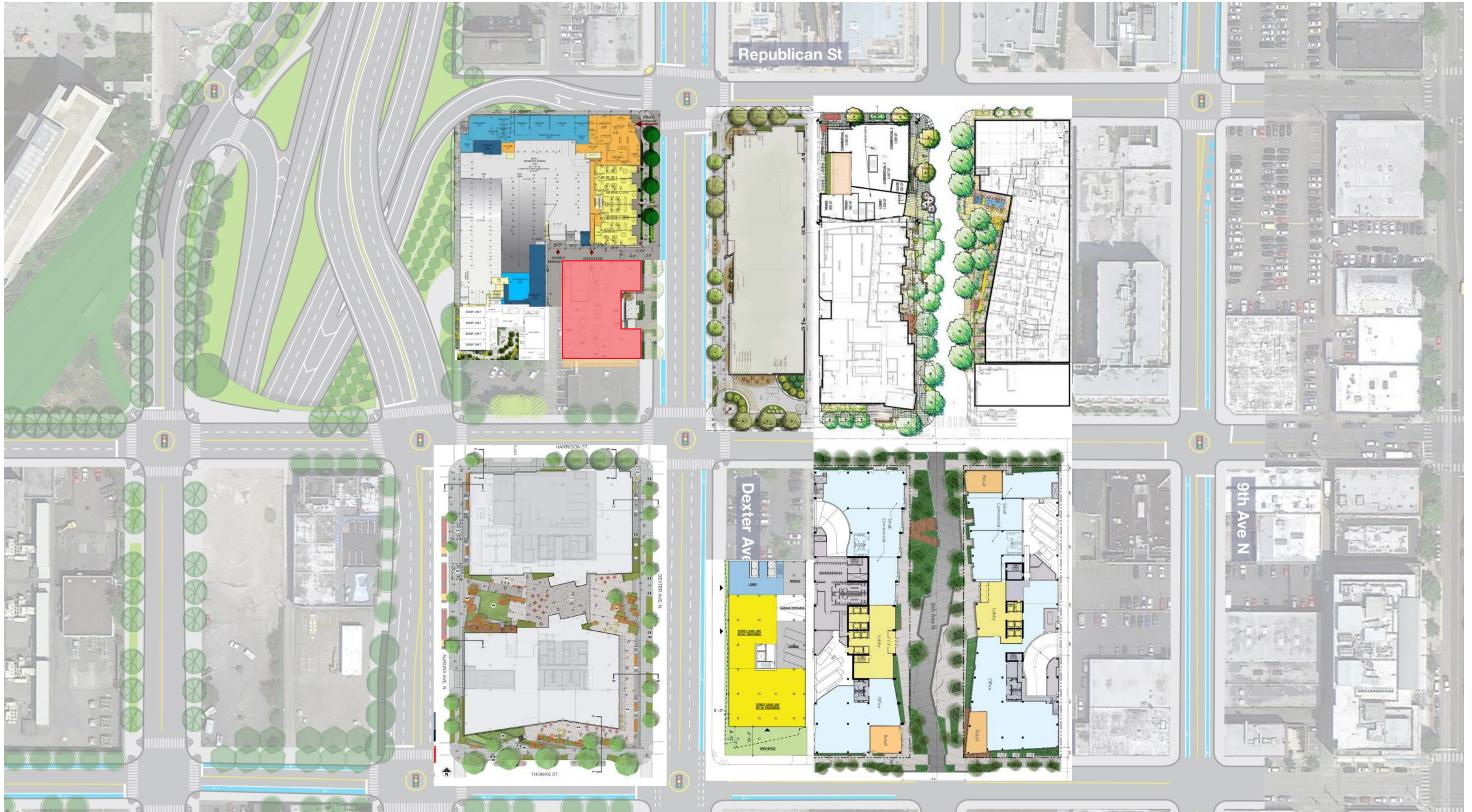
RESPONSE

- The proposed design provides a simple yet lively facade, with a rigorous material concept that is applied around the entirety of the building.
- The modulation of the south facade has been retained, and continues to allow for corner glazing and relief from what would otherwise be a blank wall condition.
- Because of its visibility from the public realm, the proposed design applies the same rigorous cladding approach to the southwest corner as seen on the Dexter facade.

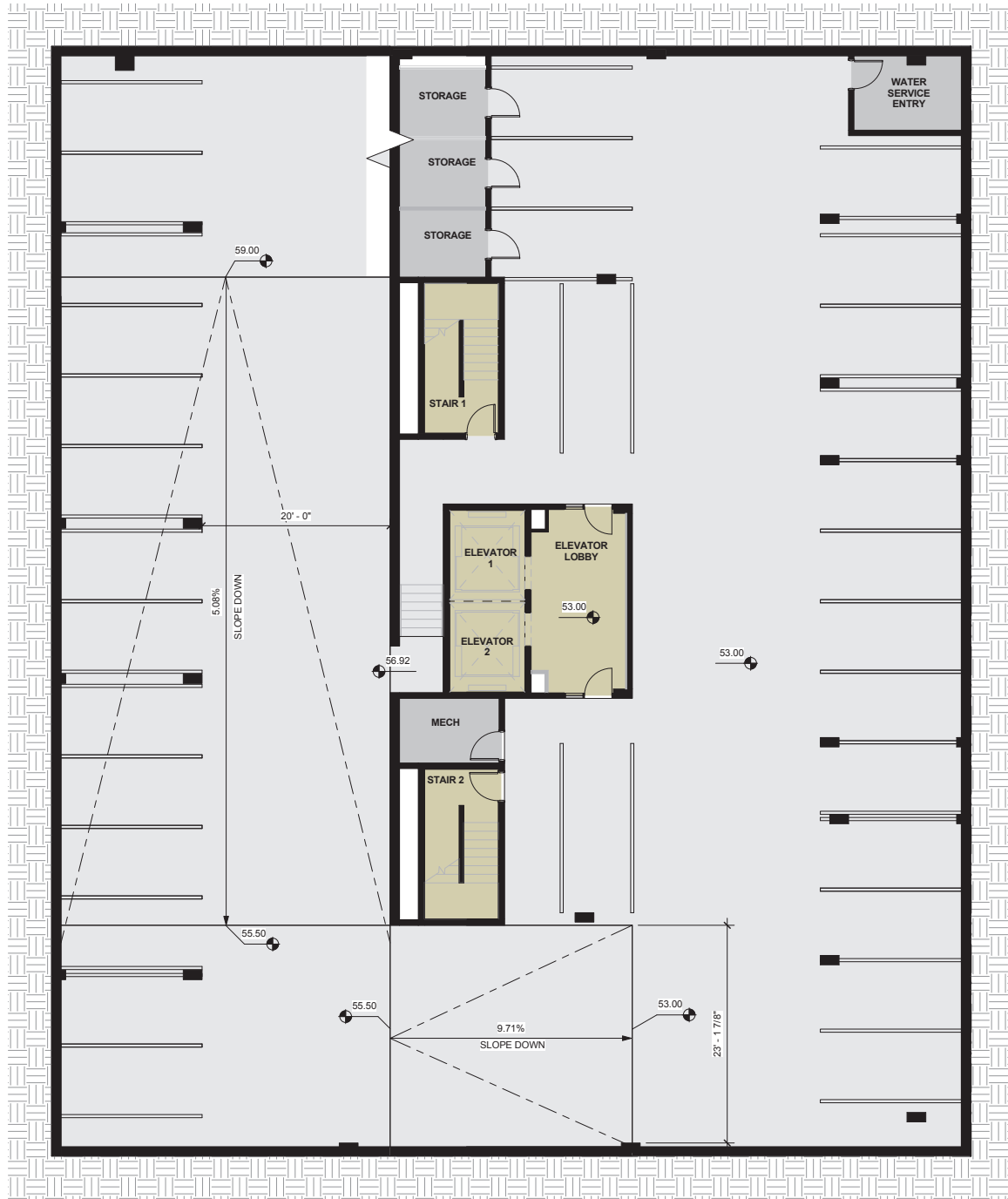
RELEVANT PRIORITY DESIGN GUIDELINES

- DC2-D-2. **Texture** | DC4-A-1. **Exterior Finish Materials**

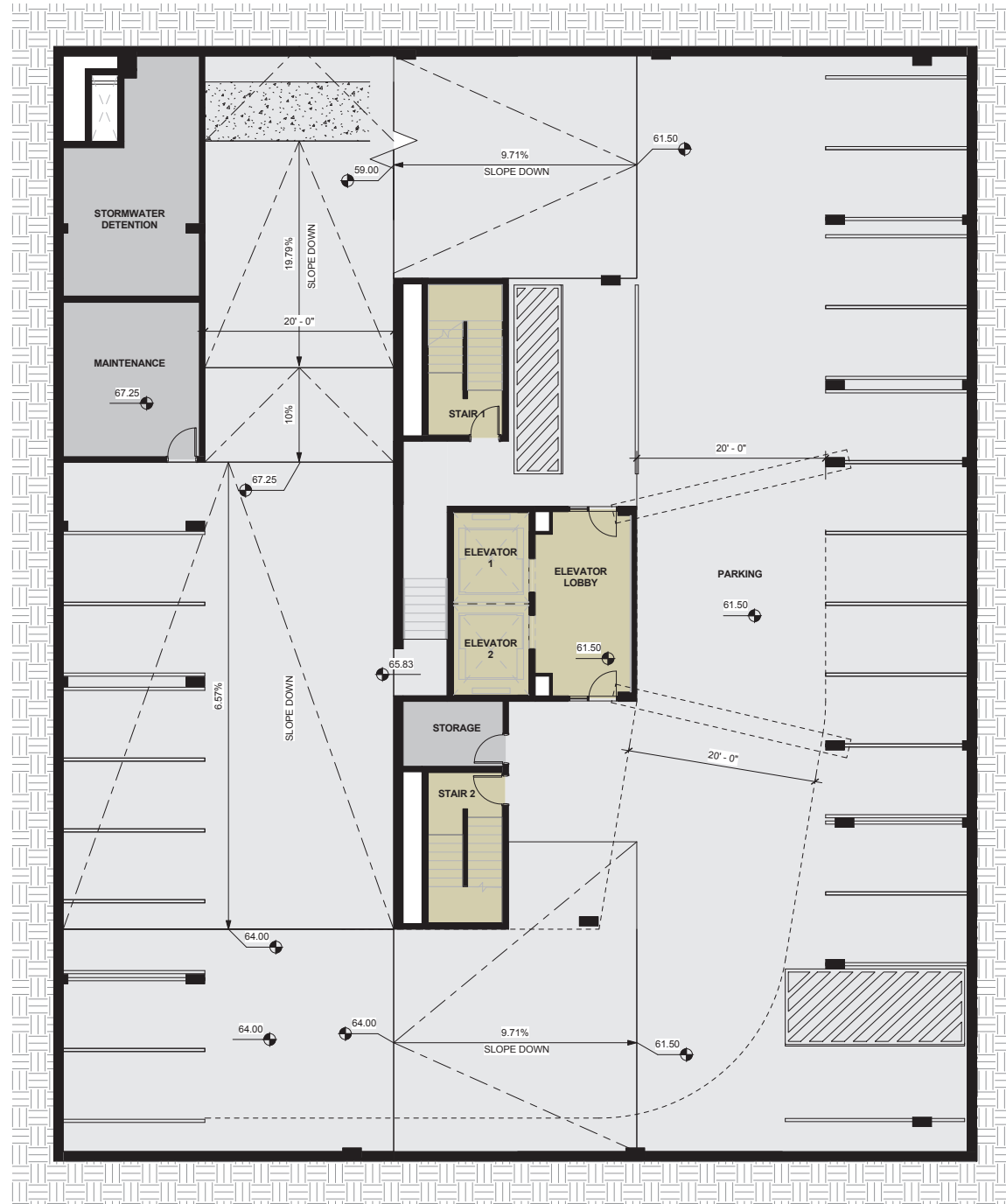
COMPOSITE SITE PLAN







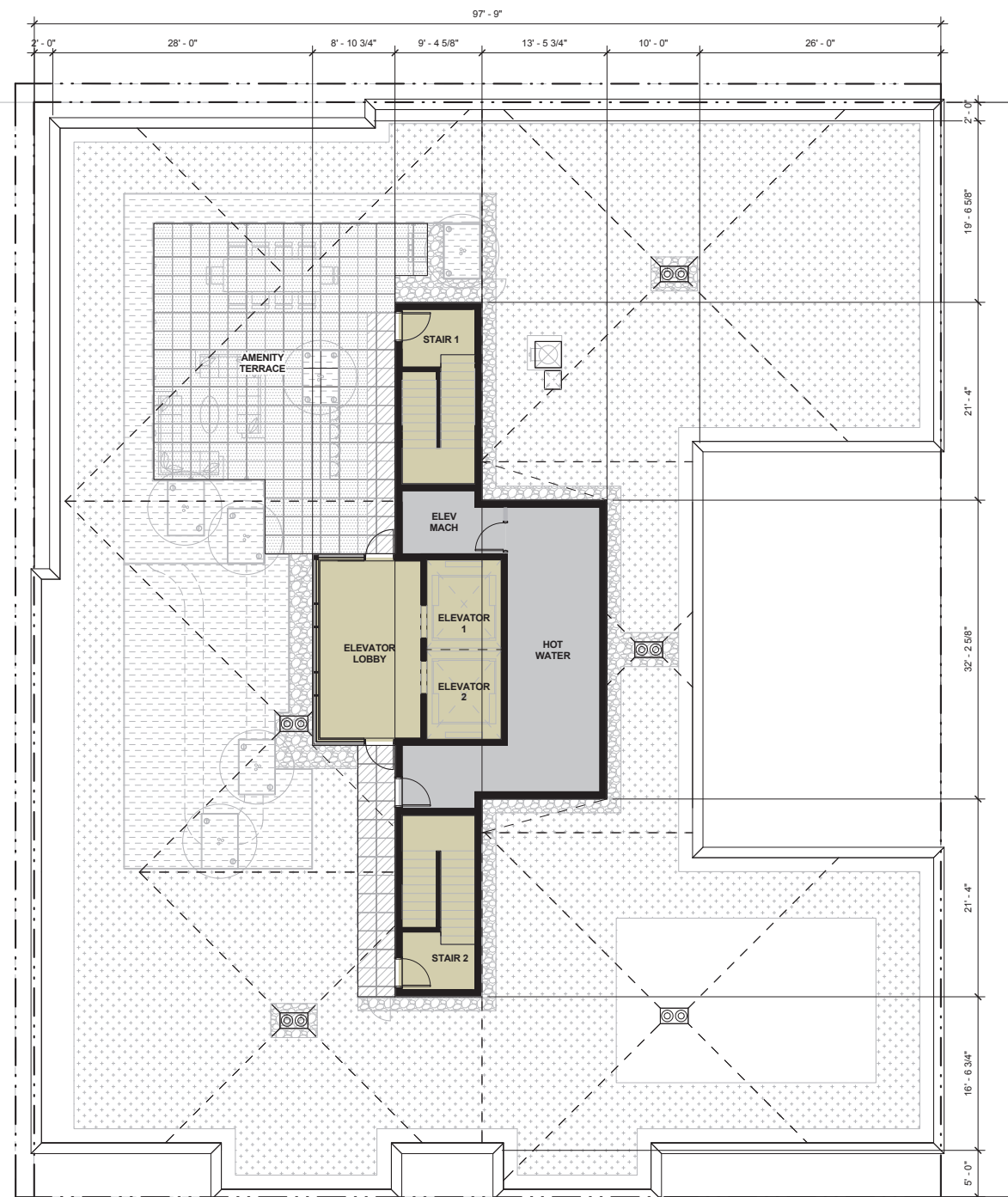
LEVEL P2

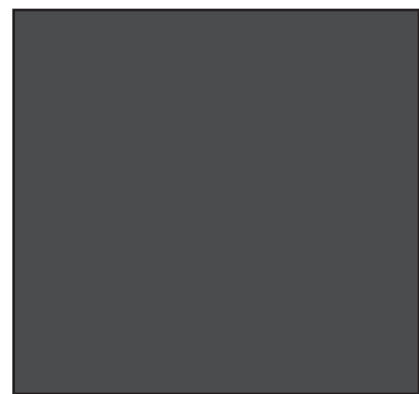
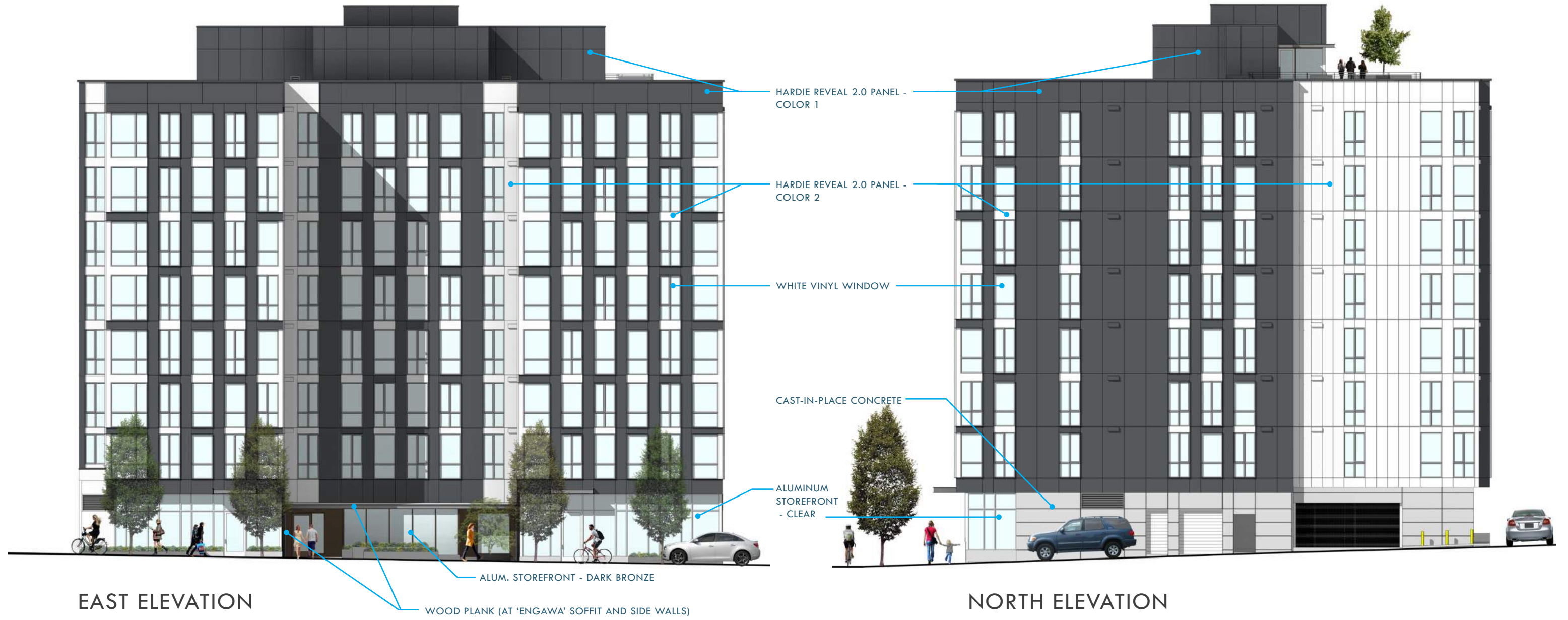


LEVEL P1

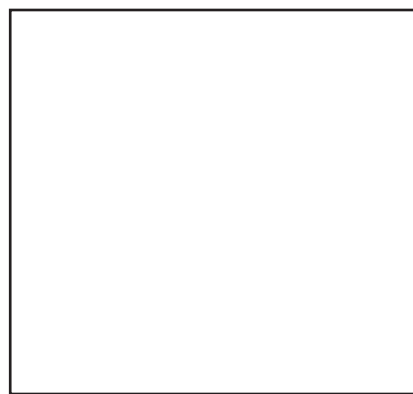
- 2-BEDROOM
- 1-BEDROOM
- OPEN 1-BEDROOM
- PARKING
- SERVICE/BACK OF HOUSE
- CIRCULATION



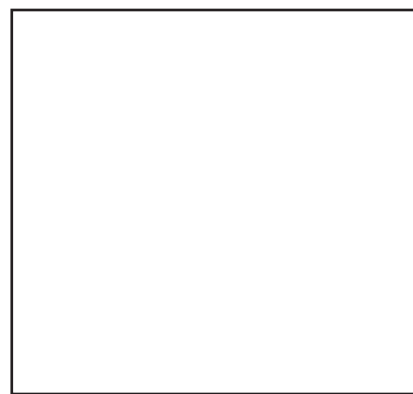




PAINTED FIBER CEMENT PANEL - COLOR 1



PAINTED FIBER CEMENT PANEL - COLOR 2



WHITE VINYL WINDOW MULLIONS



ALUM STOREFRONT - DARK BRONZE



ALUM STOREFRONT - CLEAR



CAST-IN-PLACE CONCRETE



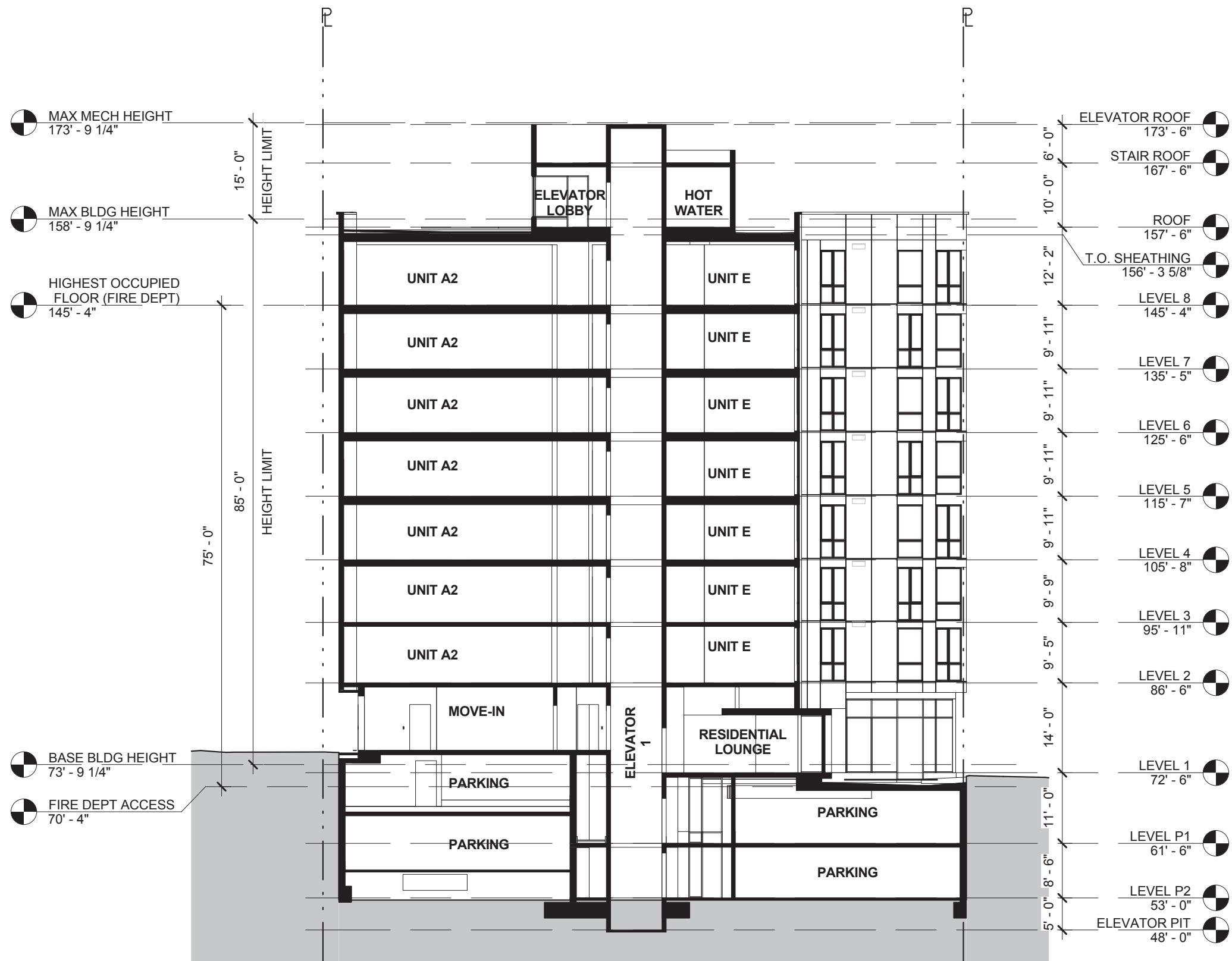
LIGHT WOOD PLANKS

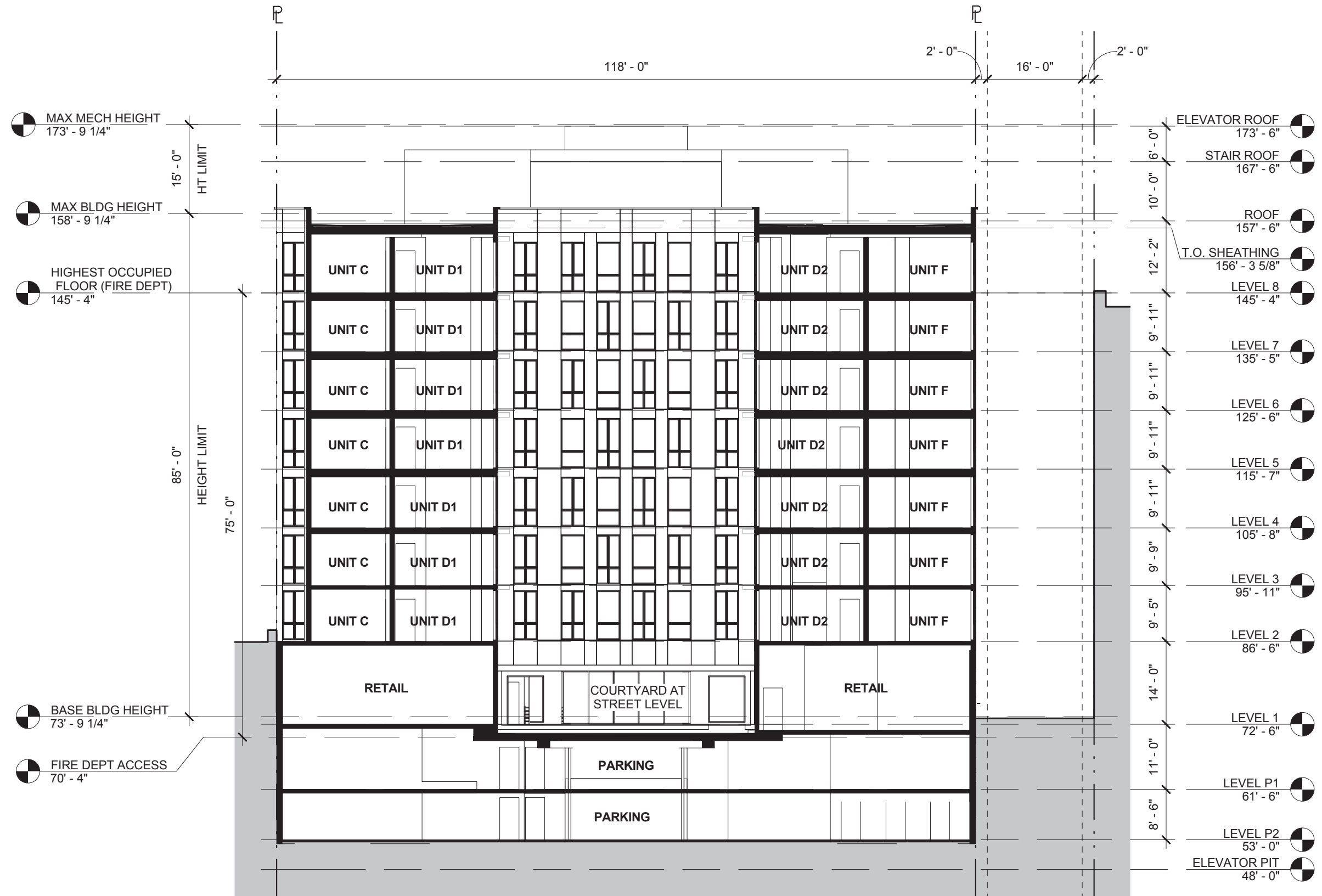


WEST ELEVATION

SOUTH ELEVATION

SECTIONS







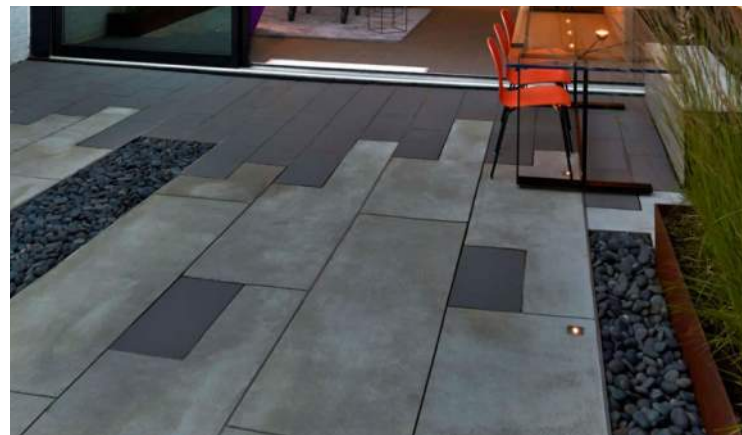
OPEN SPACE CONCEPT

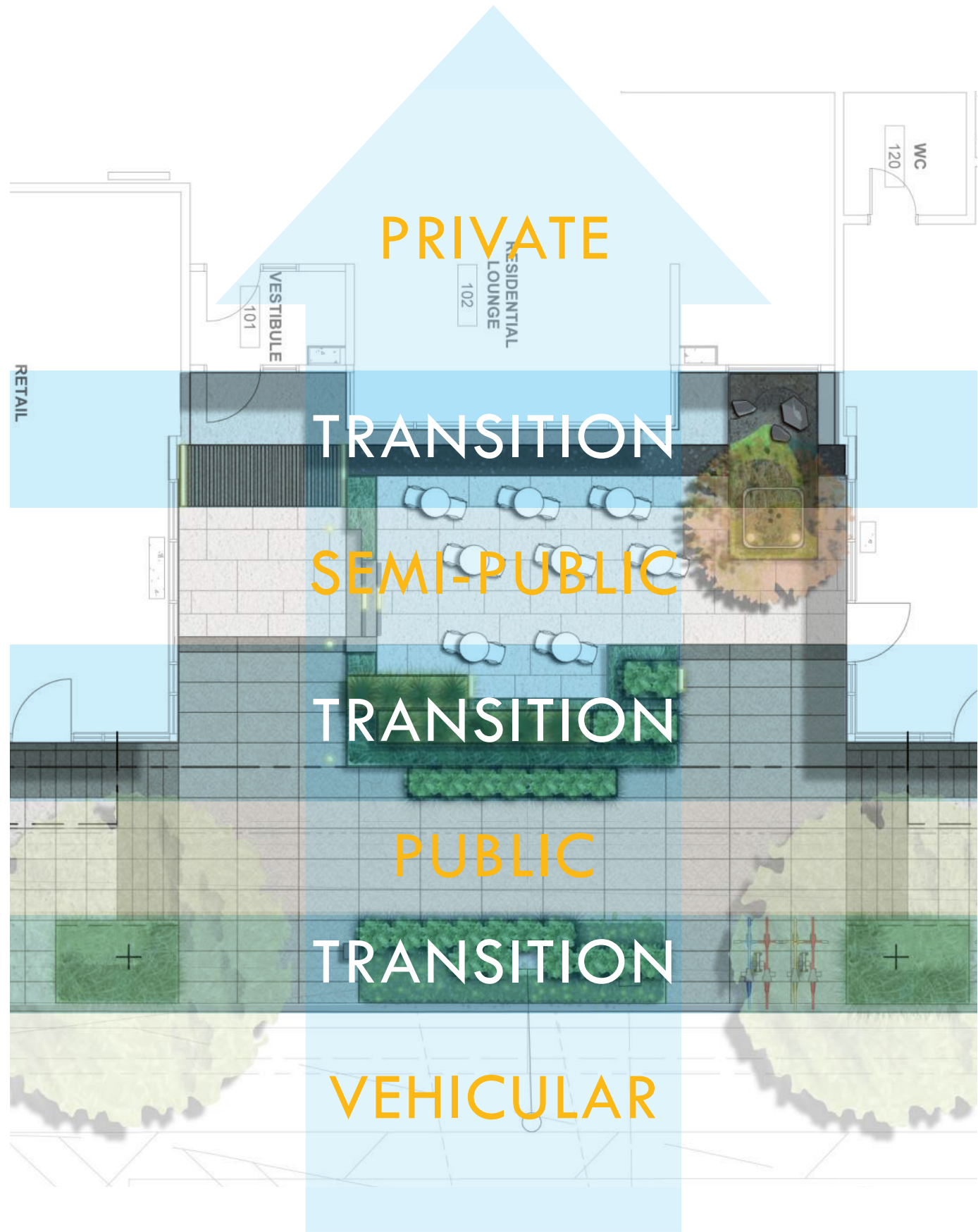
The generative idea of the Japanese *Engawa*, or porch, inspired the approach to both the landscape at the courtyard, as well as the residential lounge and lobby at the interior. By developing a series of layers of landscape and architectural elements, the design creates a meaningful transition from the public space at the sidewalk, to a more screened and protected plaza, to the residential entry, interior 'porch', and intimate alcove.

The interior 'porch' is intentionally enclosed and does not provide operable doors, as this would become a security issue in this type of building with no permanent concierge. Instead, the design seeks to make the interior 'porch' as visually open as possible by providing floor to ceiling glass, and corner glazing on both sides.

JAPANESE 'ENGAWA'





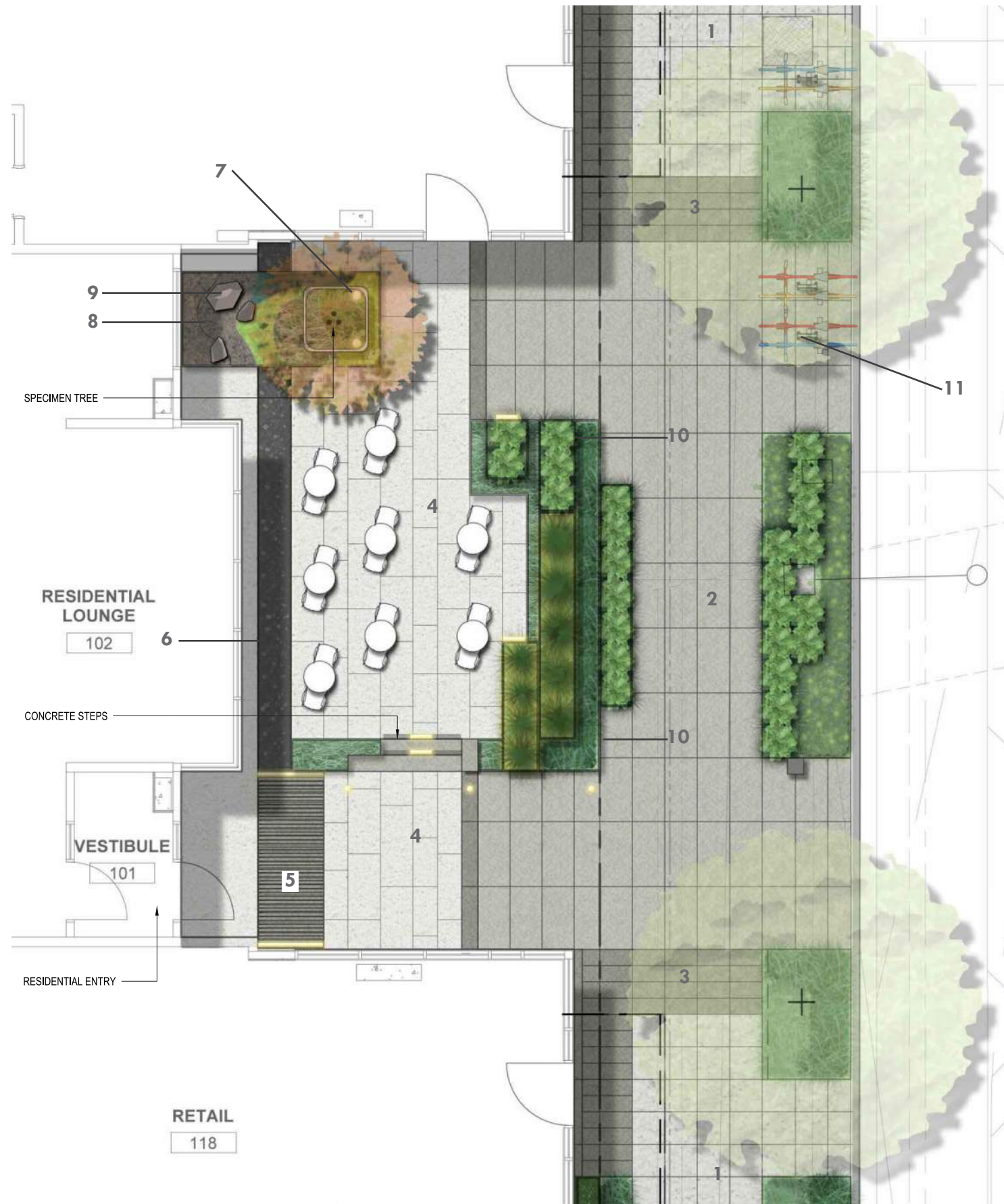




- MIN. 18" HGT. STL. PLANTER W/ SHRUBS & GRASSES
- UTILITY LINE, TYP.
- STREET TREE, TYP. FOR (4) CARPINUS BETULUS 'FASTIGIATA' PYRAMIDAL EUROPEAN HORNBEAM @ 3" CAL. MIN.
- BIKE RACK, TYP. FOR (3)
- ENTRY COURT
- EXISTING STREET LIGHT TO REMAIN
- RELOCATED PARKING METER
- LOT LINE
- COLORED CONCRETE W/ 2'X4' SCORE JOINTS, TYP.
- COLORED CONCRETE W/ 1'X2' SCORE JOINTS, TYP.
- FUTURE BIKE LANE, PER CITY
- BUILDING CANOPY, TYP.
- NATURAL CONCRETE W/ 2'X2' SAWCUT JOINTS, TYP.
- AT GRADE PLANTING AREA W/ SHRUBS, GRASSES & GROUNDCOVER, TYP.
- 18" DEPTH ROOT BARRIER, TYP.
- MIN. 18" HGT. STL. PLANTER W/ SHRUBS & GRASSES
- EXISTING SIDEWALK



Scale: 1/16"=1'-0"



Scale: 1/8"=1'-0"



INSPIRATION

1 NATURAL CONCRETE W/ 2'X2' SAWCUT JOINTS
BROOM FINISH



2 COLORED CONCRETE W/ 2'X4' SCORE JOINTS,
BROOM FINISH, COLOR: LIGHT GRAY 8084



3 COLORED CONCRETE W/ 1'X2' SCORE JOINTS,
BROOM FINISH, COLOR: GRAPHITE 8084



4 PORCELAIN PLANK PAVERS & STAIR TREADS
ARISTROCAT, COLOR: CAMBRIDGE LIMESTONE



5 ALUMINUM BAR GRATING



6 MEXICAN BEACH PEBBLES
COLOR: BLACK



7 CAST CONCRETE SPECIMEN TREE PLANTER



8 MEXICAN BEACH PEBBLES
COLOR: BONE



9 BOULDER



10 STEEL PLANTERS (6" TO 36" HGT)



11 WESTPORT BIKE RACK BY SPORTWORKS



LANDSCAPE PLANS - STREETScape & ENTRY COURT

SPECIMEN TREE AND UNDERSTORY PLANTINGS



SPECIMEN JAPANESE MAPLE
(SPECIES T.B.D.)



OPHIPOGON JAPONICUS 'NANA'
DWARF MONDO GRASS



GAULTHERIA PROCUMBENS
CREEPING WINTERGREEN



SAGINA SUBULATA
IRISH MOSS



ELEOCHARIS RADICANS
MINIATURE SPIKERUSH



LEPTINELLA SQUALIDA
BRASS BUTTONS

COURTYARD PLANTERS



MAHONIA EURYBRACTEATA 'SOFT CARESS'
SOFT CARESS OREGON GRAPE



ACORUS GRAMINEUS 'OGON'
GOLDEN SWEET FLAG



PLEIOBLASTUS 'AKEBONO'
DWARF VARIEGATED BAMBOO



PITTIOSPORUM 'SHIMA' / DWARF
VARIEGATED JAPANESE MOCK ORANGE



OPHIPOGON JAPONICUS 'NANA'
DWARF MONDO GRASS



CARPINUS BETULUS 'FASTIAGATA'
PYRAMIDAL EUROPEAN HORNBEAM (SUMMER)



CARPINUS BETULUS 'FASTIAGATA'
PYRAMIDAL EUROPEAN HORNBEAM (FALL)

STREETSCAPE PLANTERS



LIROPE SPICATA
CREEPING LILYTURF



CAREX MORROWII 'ICE DANCE'
ICE DANCE SEDGE



TRACHELOSPERMUM ASIATICUM
ASIAN STAR JASMINE



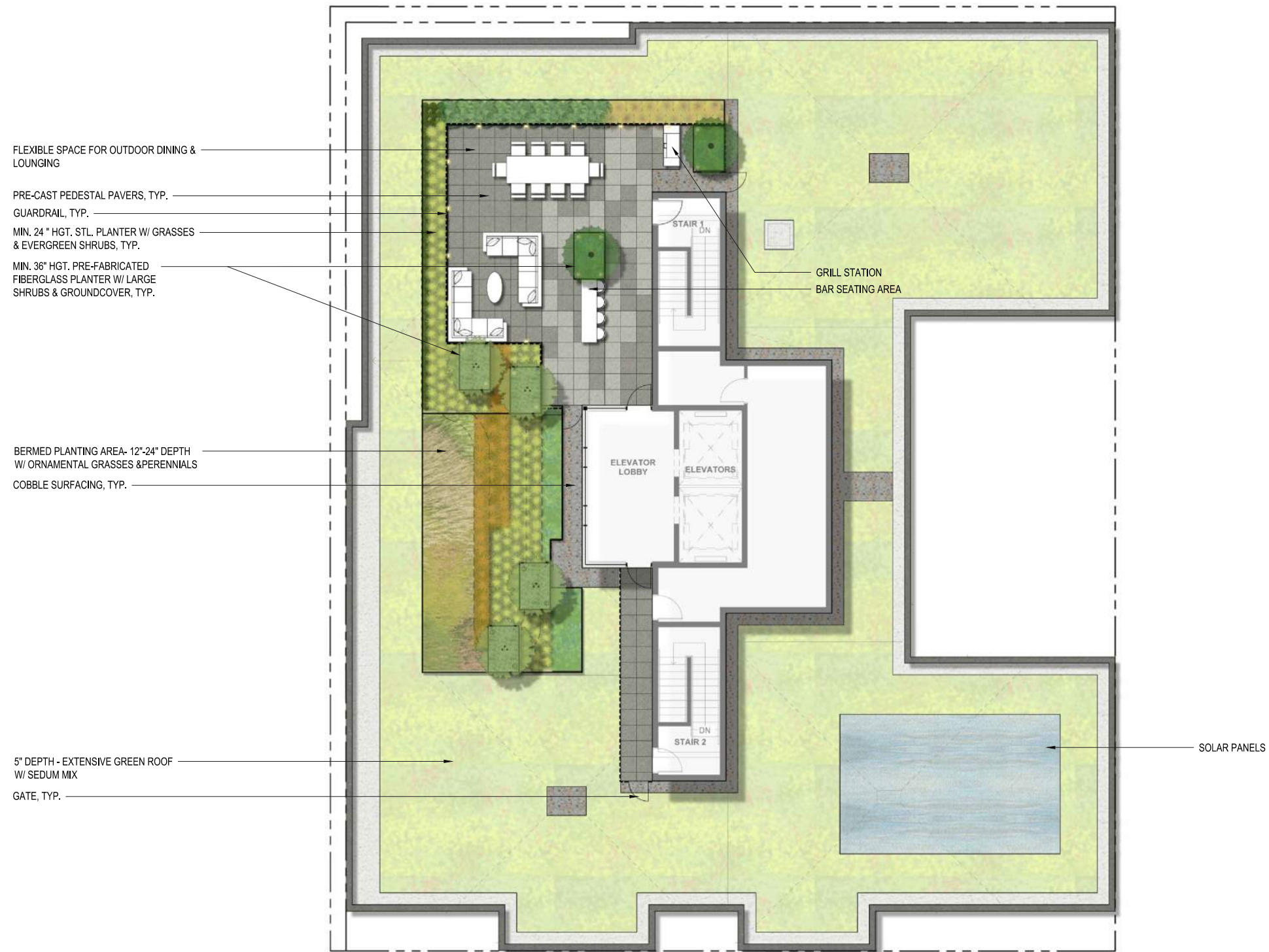
PITTOSPORUM 'SHIMA' / DWARF
VARIEGATED JAPANESE MOCK ORANGE



OPHIPOGON JAPONICUS 'NANA'
DWARF MONDO GRASS



EUPHORBIA X 'ROBBIAE'
ROBB'S BONNET EUPHORBIA



Scale: 1/16"=1'-0"



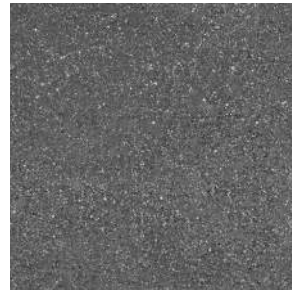
PRE-FABRICATED FIBERGLASS PLANTERS



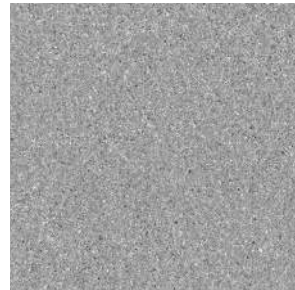
STEEL PLANTERS (12" TO 24" HGT)



PRE-CAST CONC. PAVERS: VANCOUVER BAY SLAB



COLOR: CHARCOAL



COLOR: GRAY



PINUS PARVIFLORA 'GLAUCA'
BLUE-NEEDED JAPANESE WHITE PINE
(SPECIMEN - FINAL SPECIES T.B.D.)



NASSELLA TENUISSIMA
MEXICAN FEATHER GRASS



PENNISETUM ALOPECUROIDES 'CASSIAN'
CASSIAN'S CHOICE FOUNTAIN GRASS



LIBERTIA PEREGRINANS
'BRONZE SWORD'



FESTUCA IDAHOENSIS 'SISKIYOU BLUE'
SISKIYOU BLUE FESCUE



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'
DWARF BOXWOOD



LONICERA NITIDA 'TWIGGY'
DWARF BOX HONEYSUCKLE



CALLUNA SSP.
HEATHER MIX



CERATOSTIGMA PLUMBAGINOIDES
BLUE PLUMBAGO



LAGERSTROEMIA X 'NATCHEZ'
NATCHEZ CRAPE MYRTLE (SUMMER)



LAGERSTROEMIA X 'NATCHEZ'
NATCHEZ CRAPE MYRTLE (FALL)

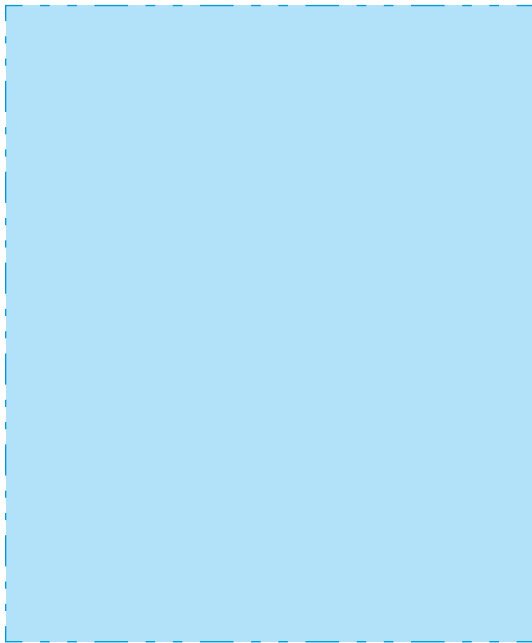


HEBE PINGUIFOLIA 'SUTHERLANDII'
SUTHERLAND HEBE

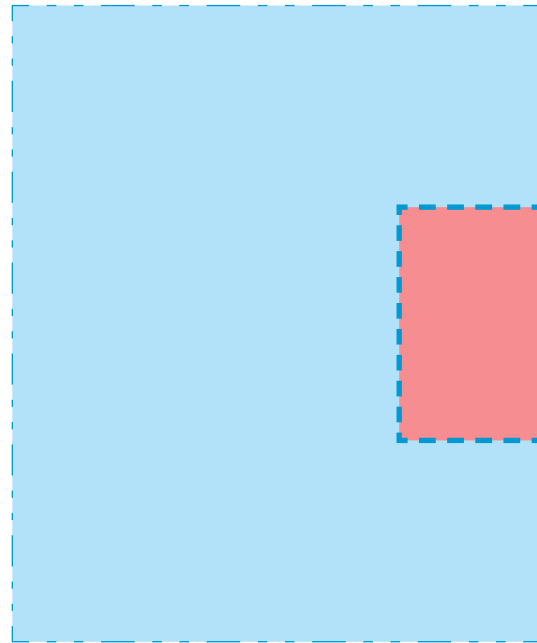
EXTERIOR CONCEPT

MASSING MORPHOLOGY

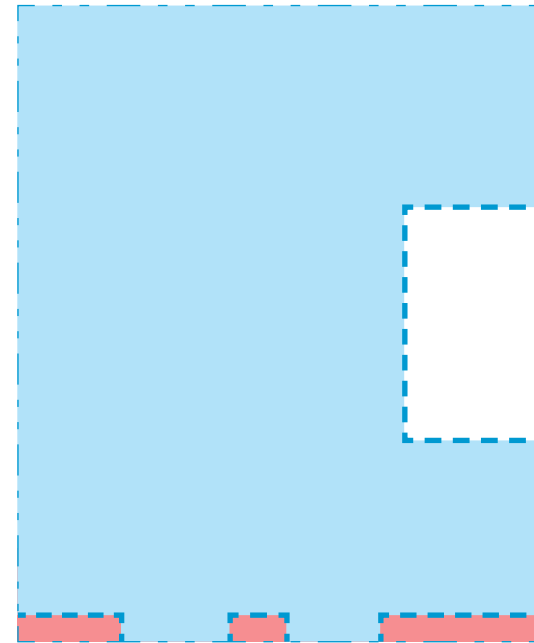
FULL SITE



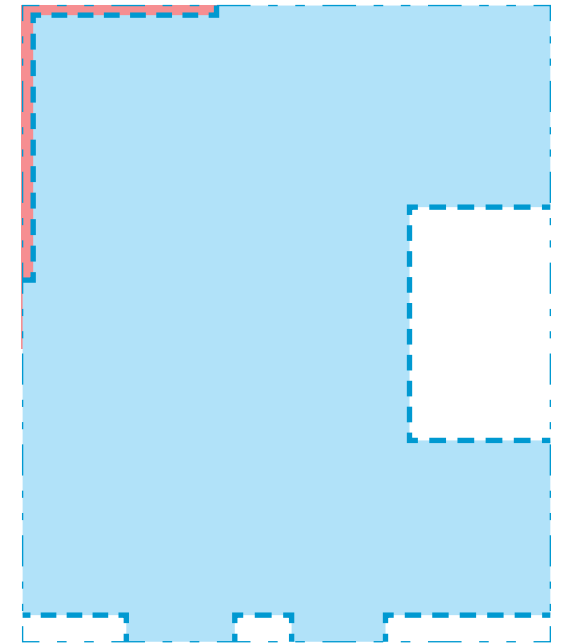
COURTYARD



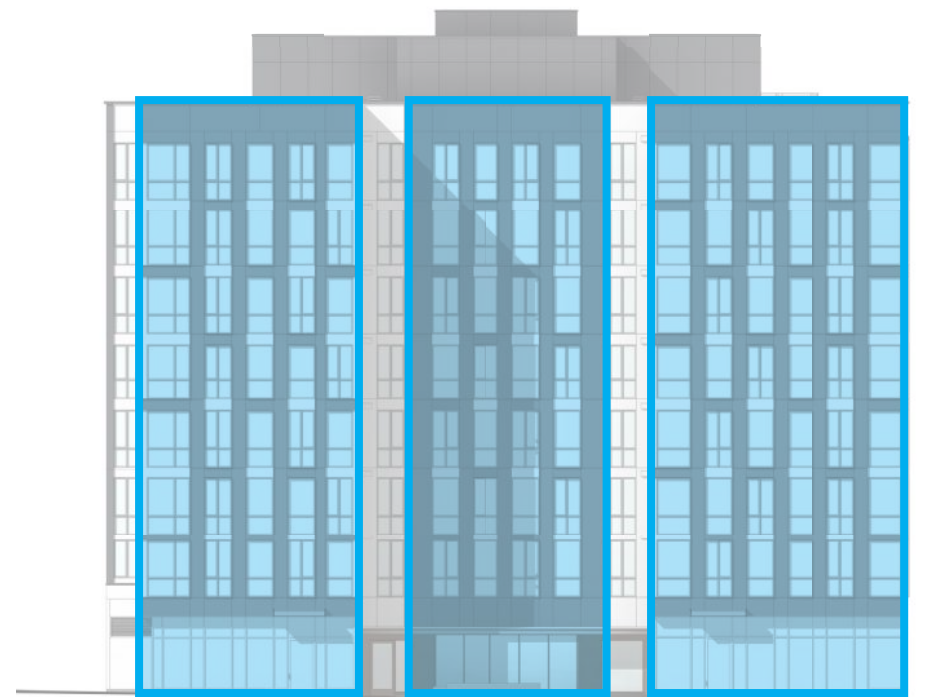
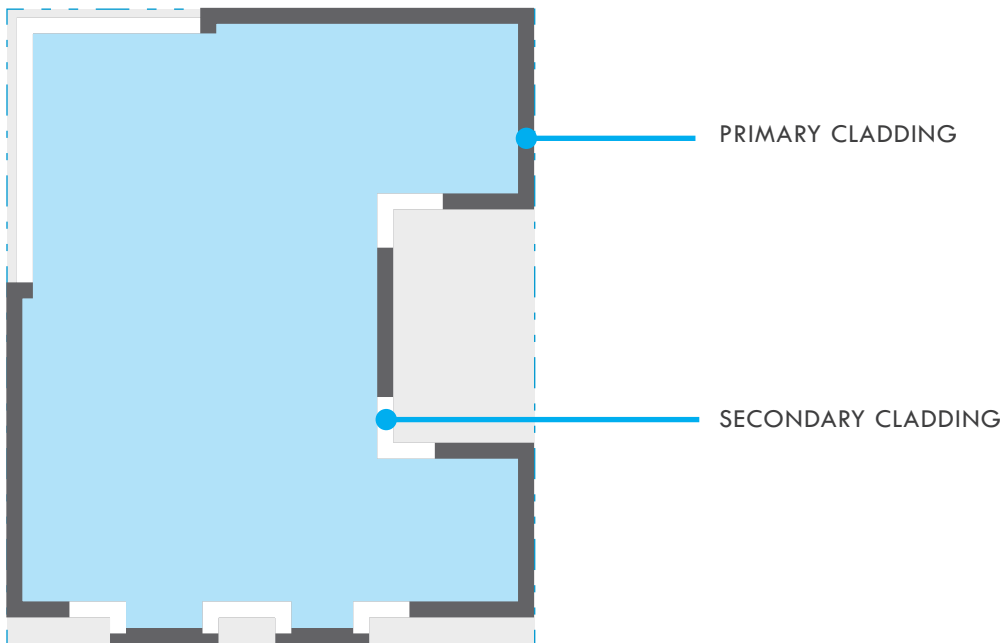
SOUTH FACADE MODULATION



NORTHWEST CORNER SETBACK



CLADDING APPROACH



CLADDING APPROACH

Two primary cladding languages are utilized to compose the elevations, reinforce the verticality of the facade, and provide variation and relief. The primary, darker cladding is a conceptual 'wrap', which is penetrated and carved away by fenestrations and modulations to reveal the secondary, lighter cladding beneath.

The composition of the primary vs. secondary cladding is used to enhance the verticality of the facade, particularly along Dexter. The primary cladding is arranged in three vertical bars, with the secondary cladding providing relief at the inside corners of the courtyard and making the vertical volumes appear more slender.

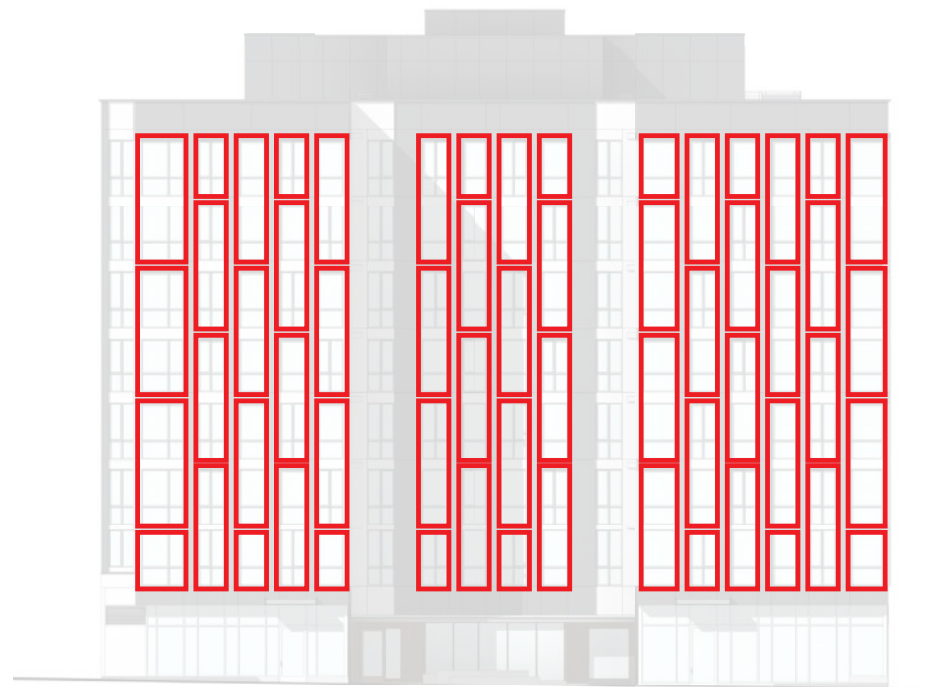
The south facade is similarly composed to provide variation and visual relief, and to enhance the impression of the primary cladding as a wrap.

Along the alley facade, the more publicly visible southwest face is treated with the more detailed primary cladding language, while the simpler, brighter secondary language is at the recessed northwest corner.

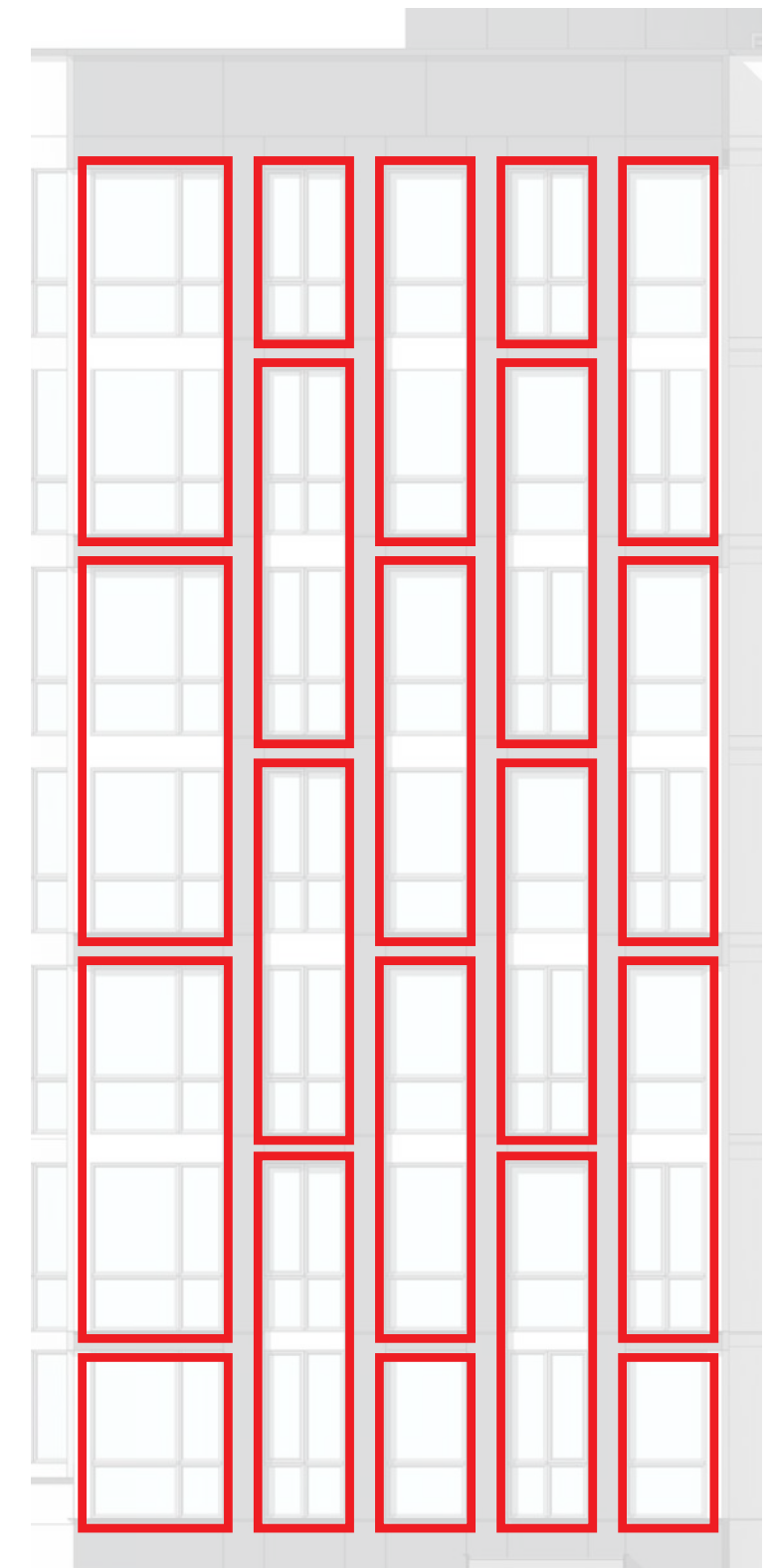
SIMPLE GRIDDED FENESTRATION



TWO STORY, JOGGED EXPRESSION AT PRIMARY CLADDING



TWO STORY, JOGGED EXPRESSION DETAIL



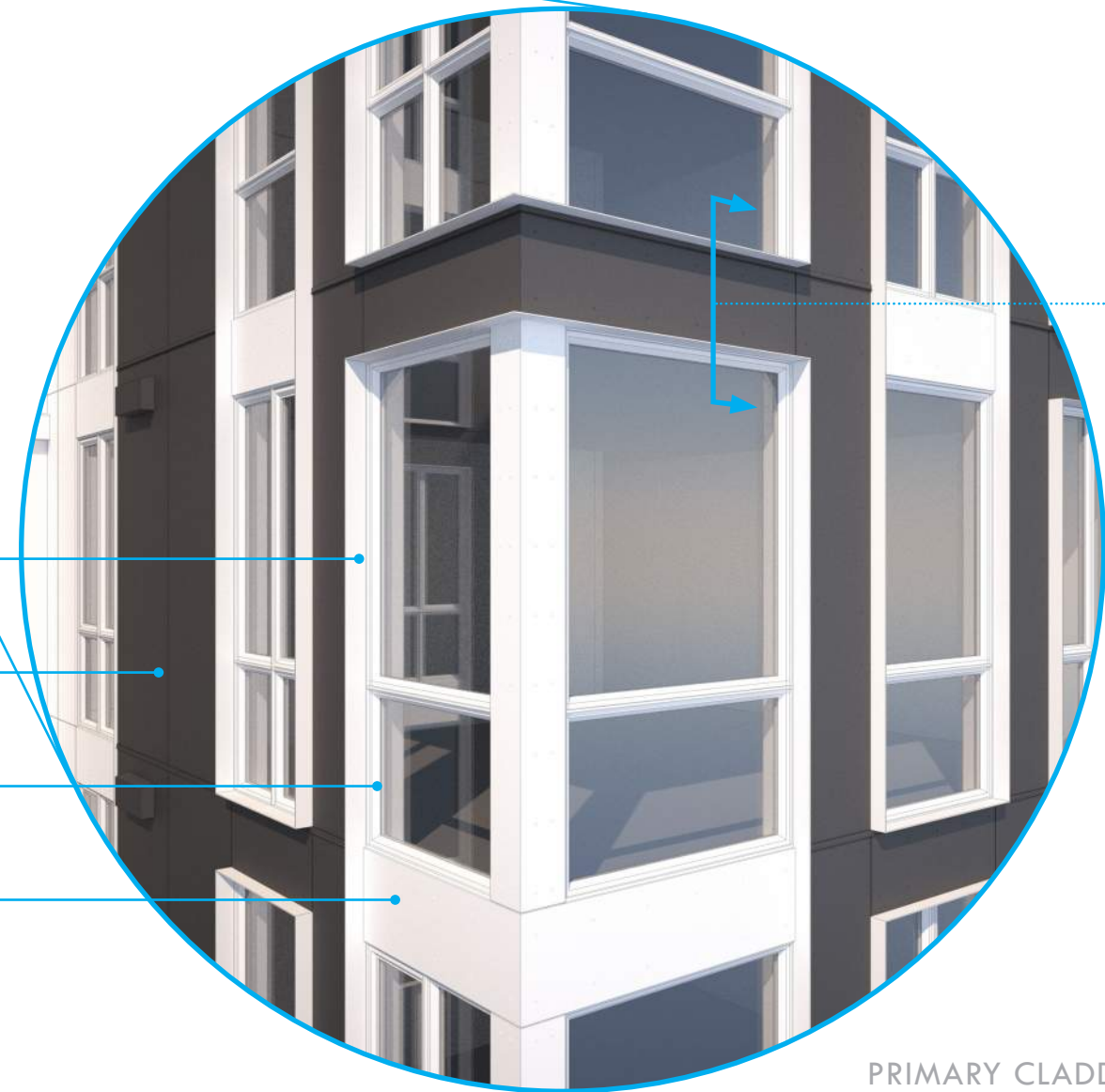
FENESTRATION CONCEPT

The fenestration of the building builds upon a very simple base. The design utilizes a basic window module, which is laid out across the building in a very simple, gridded manner. At the primary cladding, these windows are then connected across two stories, revealing the secondary massing. These two-story ganging of windows are jogged from one window bay to the next in order to provide additional visual interest and variation.

The module is such that larger windows are needed to make up the difference. These windows are invariably located at the building corners, enhancing the open corner concept, and making the building appear lighter and more open.

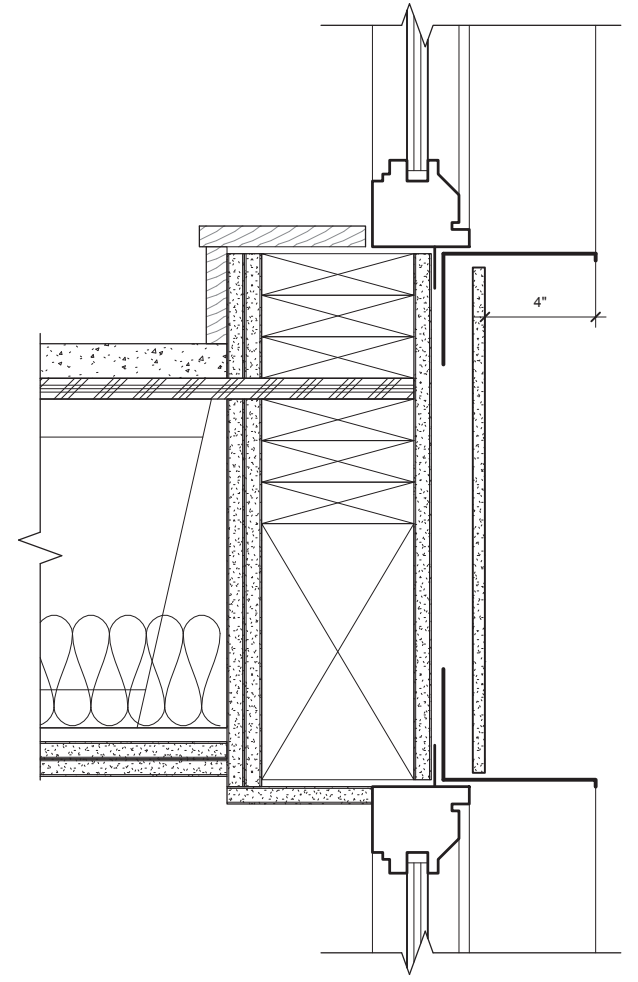
The secondary cladding is an intentionally simplified approach, using the same regular approach to the windows, but with a calmer expression that stands in contrast to the more varied and textured approach of the primary cladding.





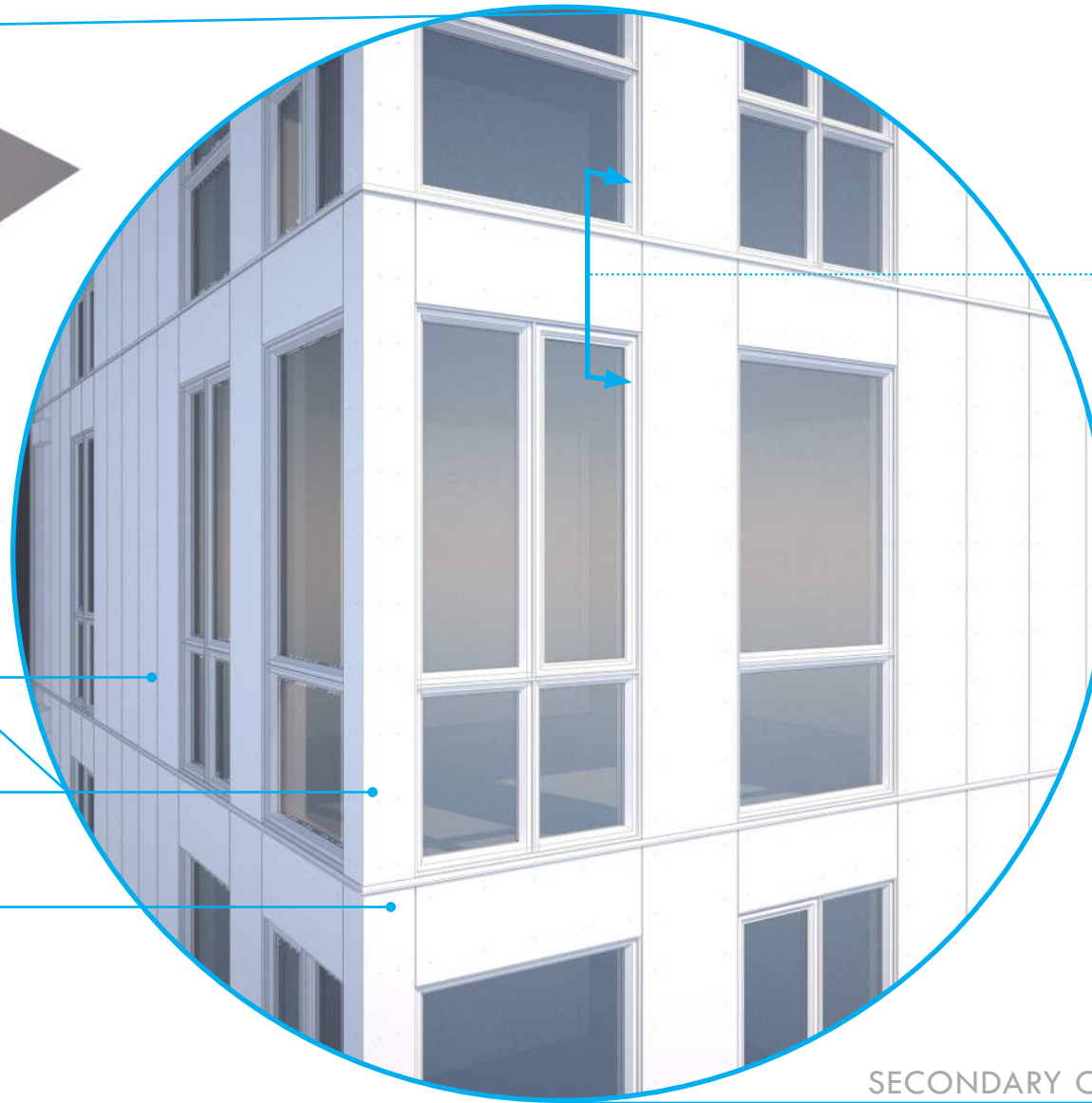
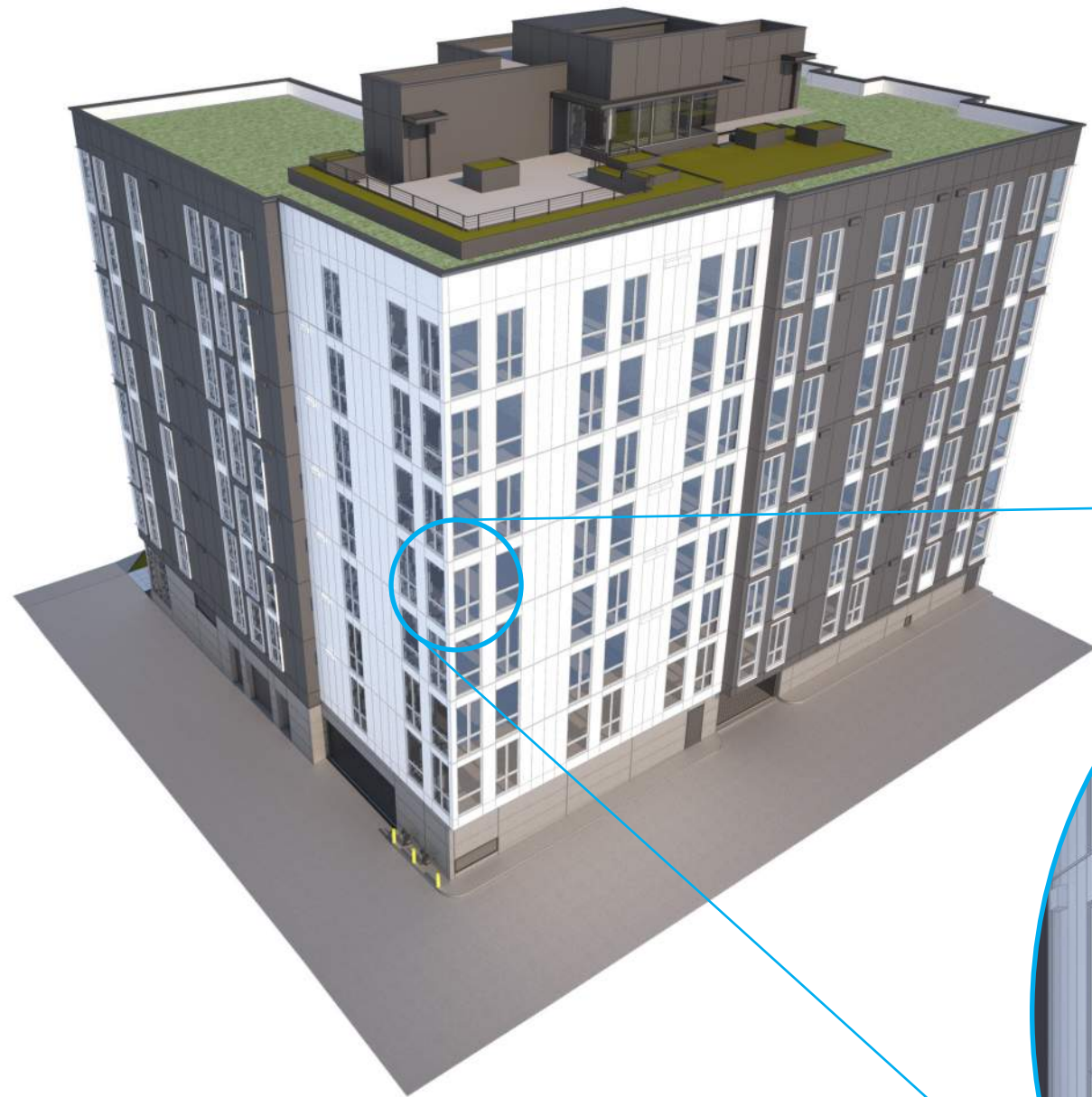
- PAINTED METAL SHADOW BOX
- HARDIE REVEAL 2.0 PANEL - COLOR 1
- WHITE VINYL WINDOW
- HARDIE REVEAL 2.0 PANEL - COLOR 2

PRIMARY CLADDING



SHADOWBOX DETAIL*

*SHOWS DESIGN INTENT, ACTUAL DETAIL MAY VARY BASED ON CONSTRUCTION AND WATERPROOFING REQUIREMENTS

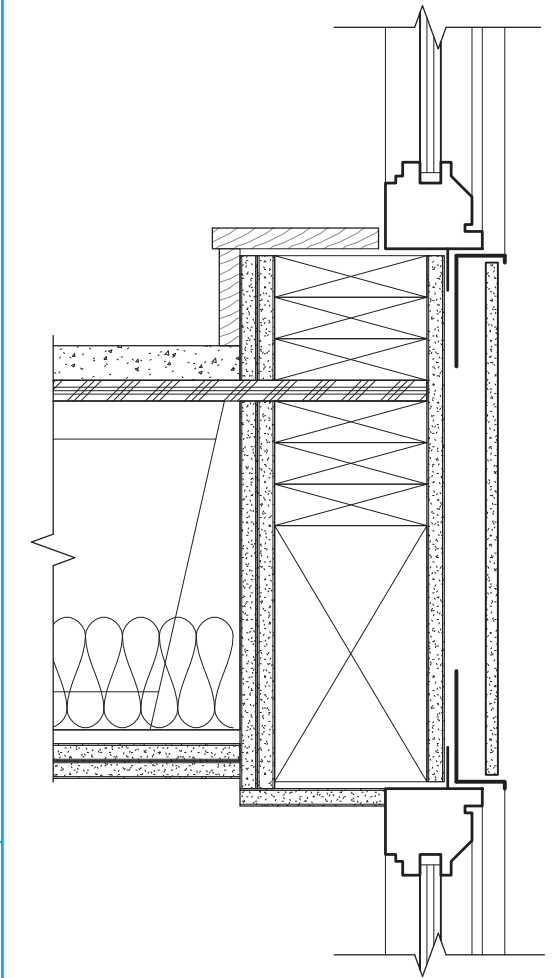


HARDIE REVEAL 2.0 PANEL - COLOR 1

WHITE VINYL WINDOW

HARDIE REVEAL 2.0 PANEL - COLOR 2

SECONDARY CLADDING



WINDOW HEAD/SILL DETAIL*

*SHOWS DESIGN INTENT, ACTUAL DETAIL MAY VARY BASED ON CONSTRUCTION AND WATERPROOFING REQUIREMENTS



VIEW WEST ACROSS DEXTER AVE N



BIRDSEYE VIEW OF COURTYARD PLAZA



VIEW NORTHWEST FROM CORNER OF DEXTER AVE N AND HARRISON ST



VIEW SOUTHWEST ACROSS DEXTER AVE N



VIEW NORTHEAST ACROSS HARRISON ST



VIEW NORTH ALONG SIDEWALK



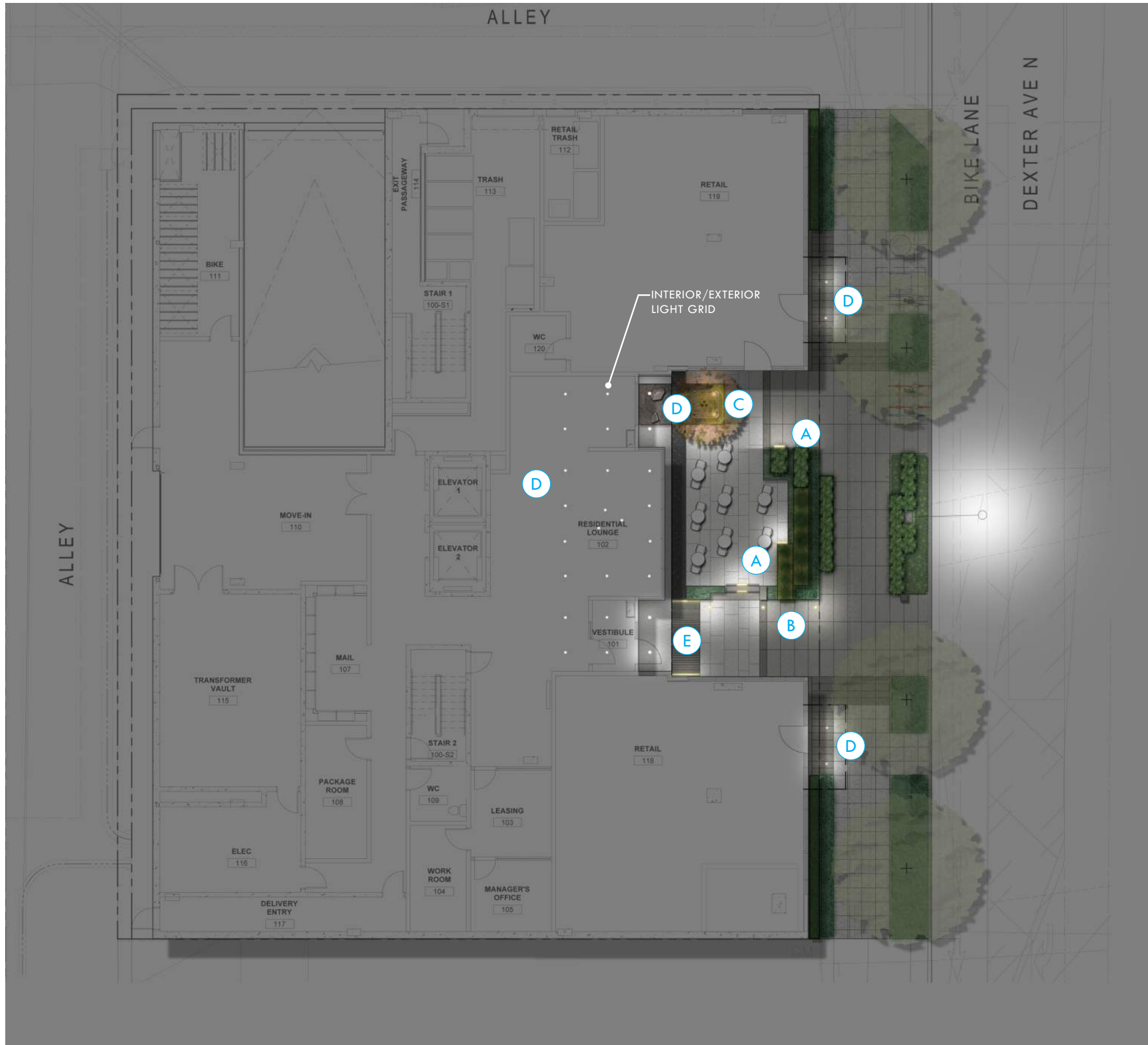
VIEW SOUTHWEST OF NORTH RETAIL AND ALLEY



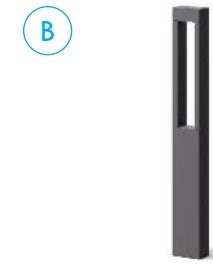
VIEW OF COURTYARD AND RESIDENTIAL LOBBY ENTRY



NIGHT VIEW OF COURTYARD AND RESIDENTIAL LOBBY ENTRY



STEP LIGHT



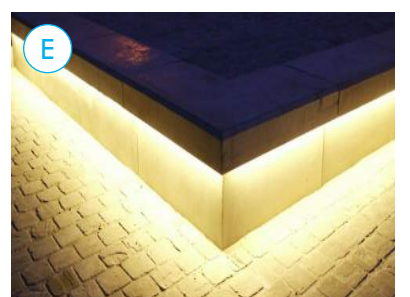
ILLUMINATED BOLLARD



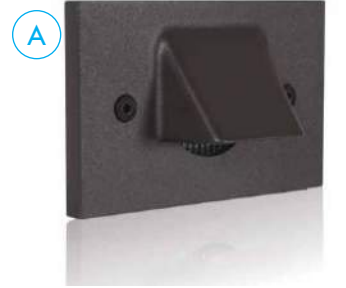
LANDSCAPE LIGHTING



RECESSED DOWNLIGHT



LED STRIP LIGHTING



STEP LIGHT



LANDSCAPE LIGHTING



WALL-MOUNTED CAN LIGHTING



DEPARTURE #1 - MINIMUM FACADE HEIGHT

From the EDG Report:

“The Board indicated unanimous preliminary support for the departure as the resulting design increases the legibility of the vertical architectural expression and also allows for solar access.”
(Guidelines CS1-B-2, D-C2)

Standard:

SMC 23.48.040.A.2.b - A minimum facade height is required for the street-facing facades of new structures. On Class 2 Pedestrian Streets the minimum height for street-facing facades is 25 feet.

Proposed Design Departure:

To allow 5' wide portion of the street-facing facade height of the proposed structure to match the height of the 1-story neighboring structure immediately to the south.

Rationale:

The proposed design is more respectful of the existing building to the south, creates a simpler massing along the south facade, and allows for additional openings at the southeast corner of the building.

Supporting guidelines:

CS2-B ADJACENT SITES, STREETS, AND OPEN SPACES

CS2-C RELATIONSHIP TO THE BLOCK

CS2-D HEIGHT, BULK, AND SCALE

DC2-A MASSING

DC2-B ARCHITECTURAL FAÇADE COMPOSITION



VIA ARCHITECTURE

An award-winning design firm, VIA Architecture is one of the Pacific Northwest's leaders in mixed-use, residential high-rise and mid-rise, transit architecture, urban design, and sustainable community planning. Founded in 1984, VIA currently employs 52 professionals in Seattle, San Francisco, and Vancouver, BC offices, providing services to both public and private clients.



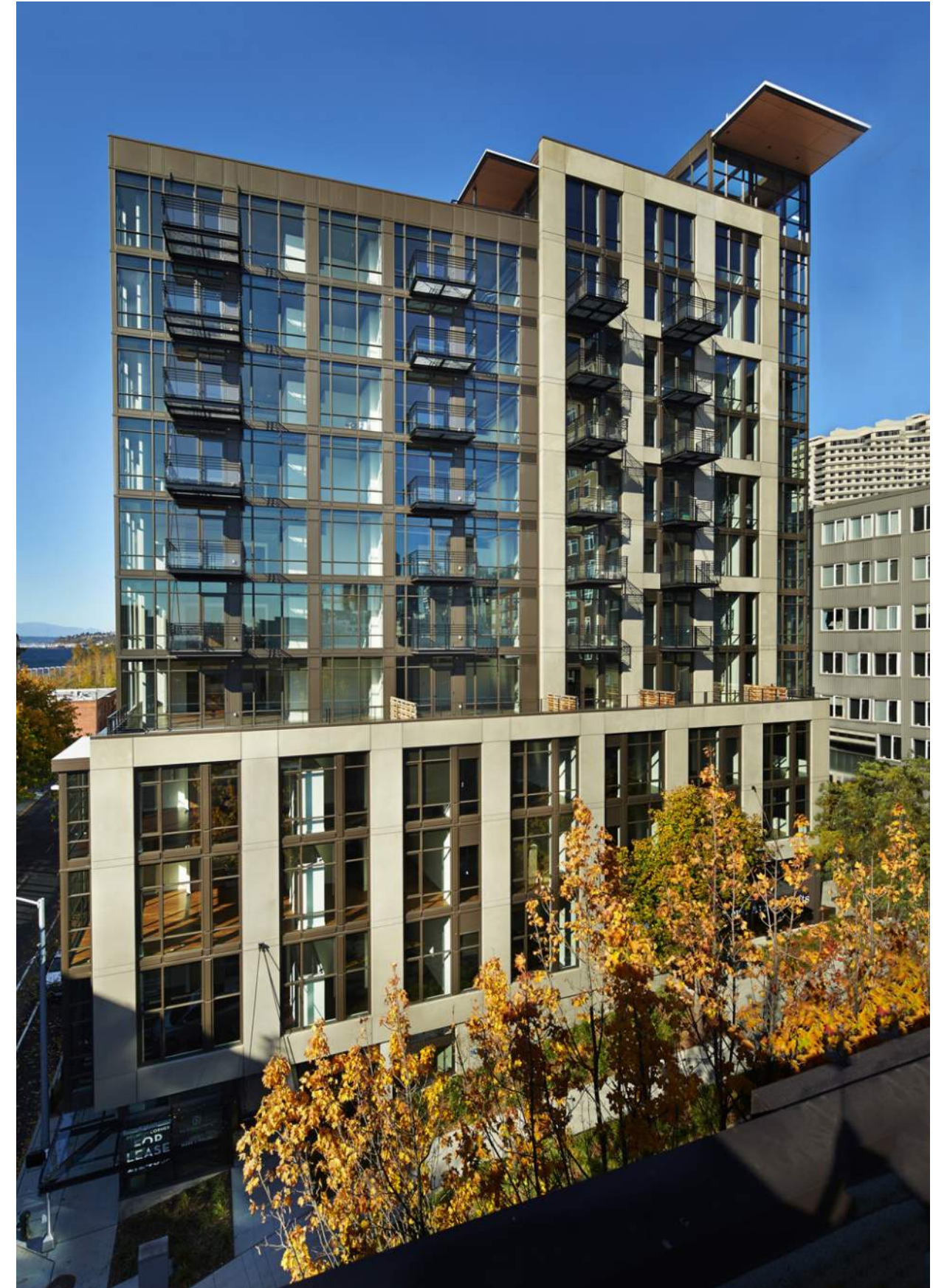
427 9TH AVE N - SEATTLE WA



WALTON LOFTS - SEATTLE, WA



525 BOREN AVE N - SEATTLE WA



JOSPEH ARNOLD LOFTS - SEATTLE, WA