

CLARK
BARNES

DRB RECOMMENDATION MEETING: JUNE 7, 2018

DESIGN REVIEW

SDCI 3024332 - 4800 40th AVE SW

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APPLICANT TEAM

OWNER: 3 M 40 LLC
3835 W MARGINAL WAY SW
SEATTLE, WA 98106

ARCHITECT: CLARK | BARNES
1401 W Garfield Street
Seattle, WA 98119

LANDSCAPE ARCHITECT: KAREN KIEST LANDSCAPE ARCHITECTS
111 W JOHN ST. SUITE 306
SEATTLE, WA 98119

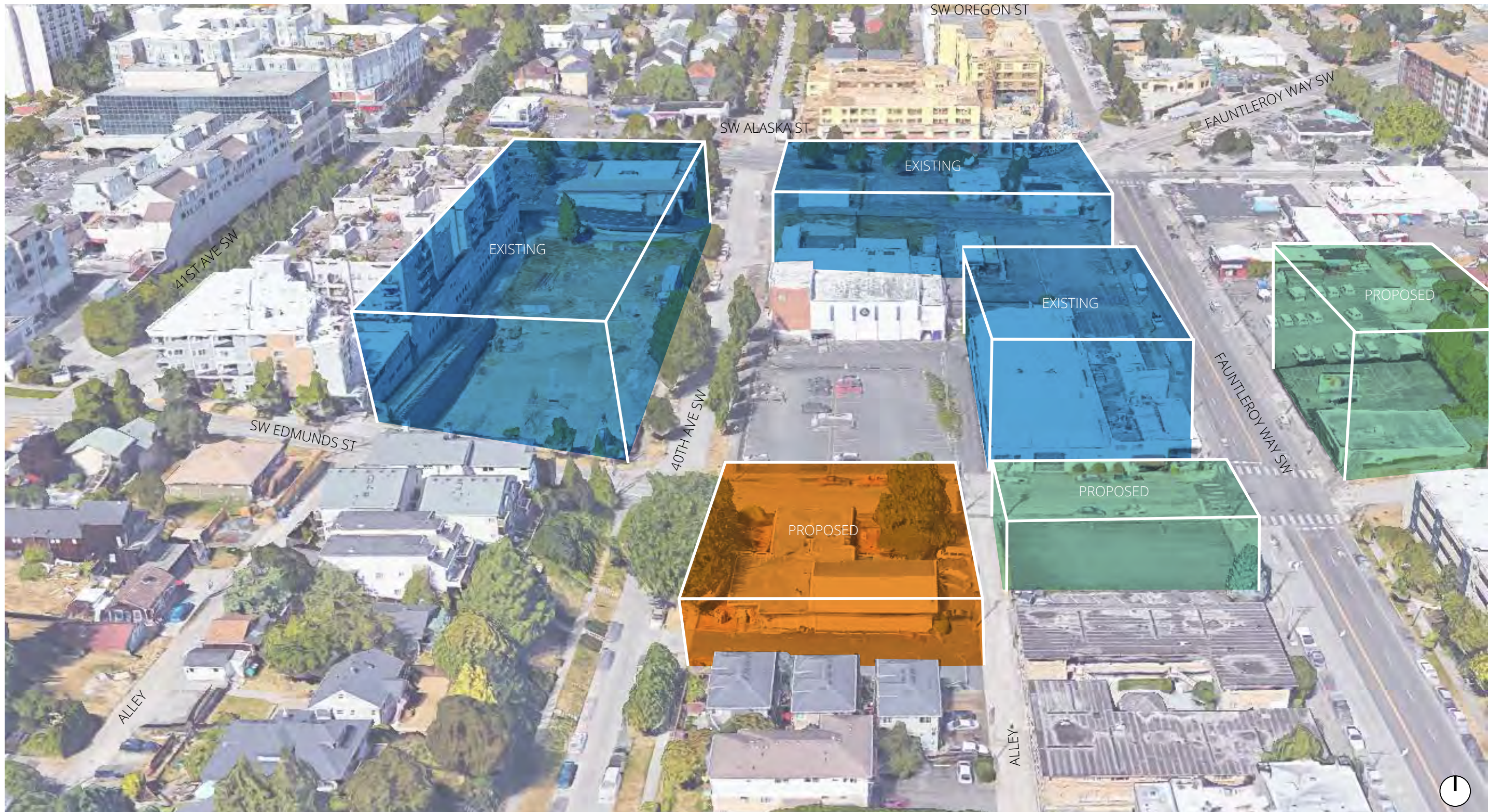
PROJECT DESCRIPTION

The proposed project consists of 56 residential units located on 4 levels above grade and 4 live-work units. The lobby, live work and commerical (5,656 SF) uses are located on L1, residential units on L2-L4, and one level of below grade parking (44 parking stalls) located on P1 accessed from the alley. There is a roof terrace and green house for residential amenity use.

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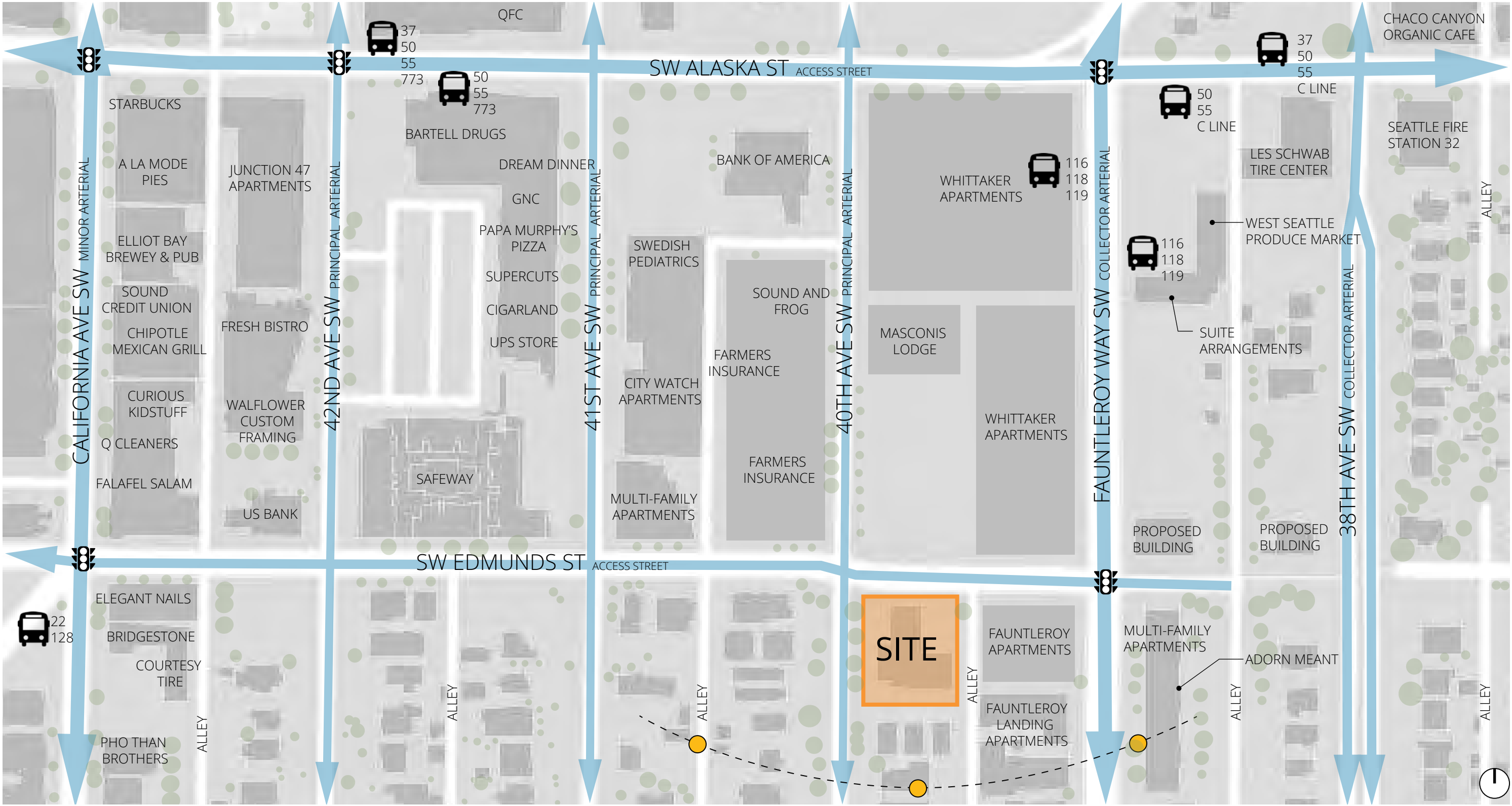
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9 BLOCK THREE-DIMENSIONAL VIEW



VICINITY PLAN

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STREETSCAPE



(A) EAST SIDE OF 40TH AVE SW



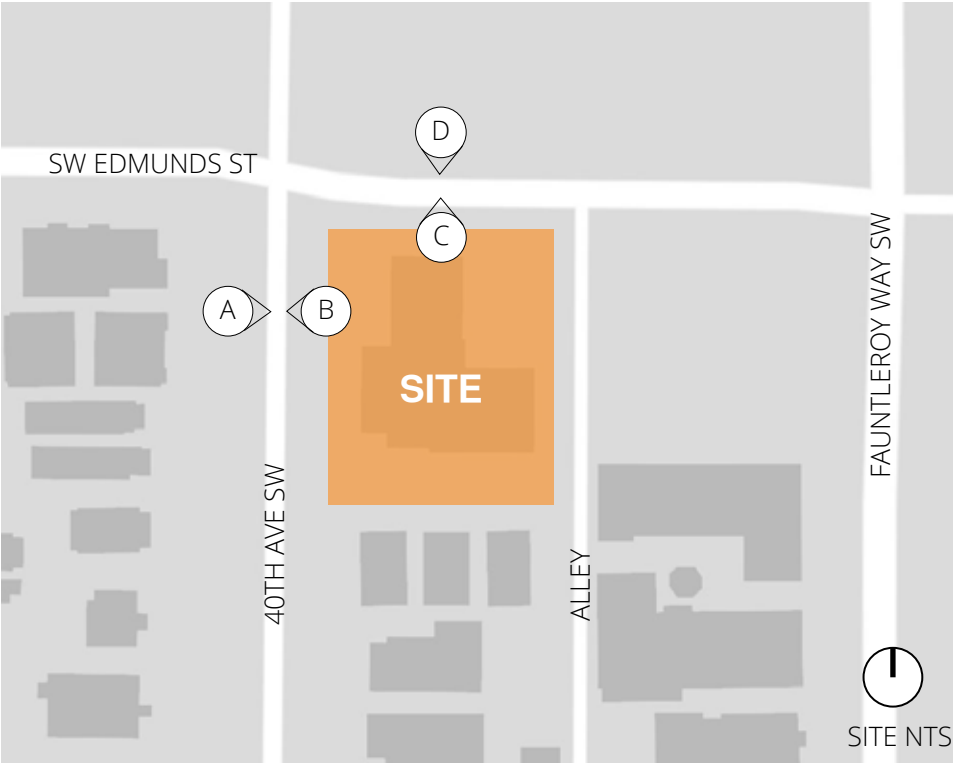
(B) WEST SIDE OF 40TH AVE SW



(C) NORTH SIDE OF SW EDMUNDS STREET



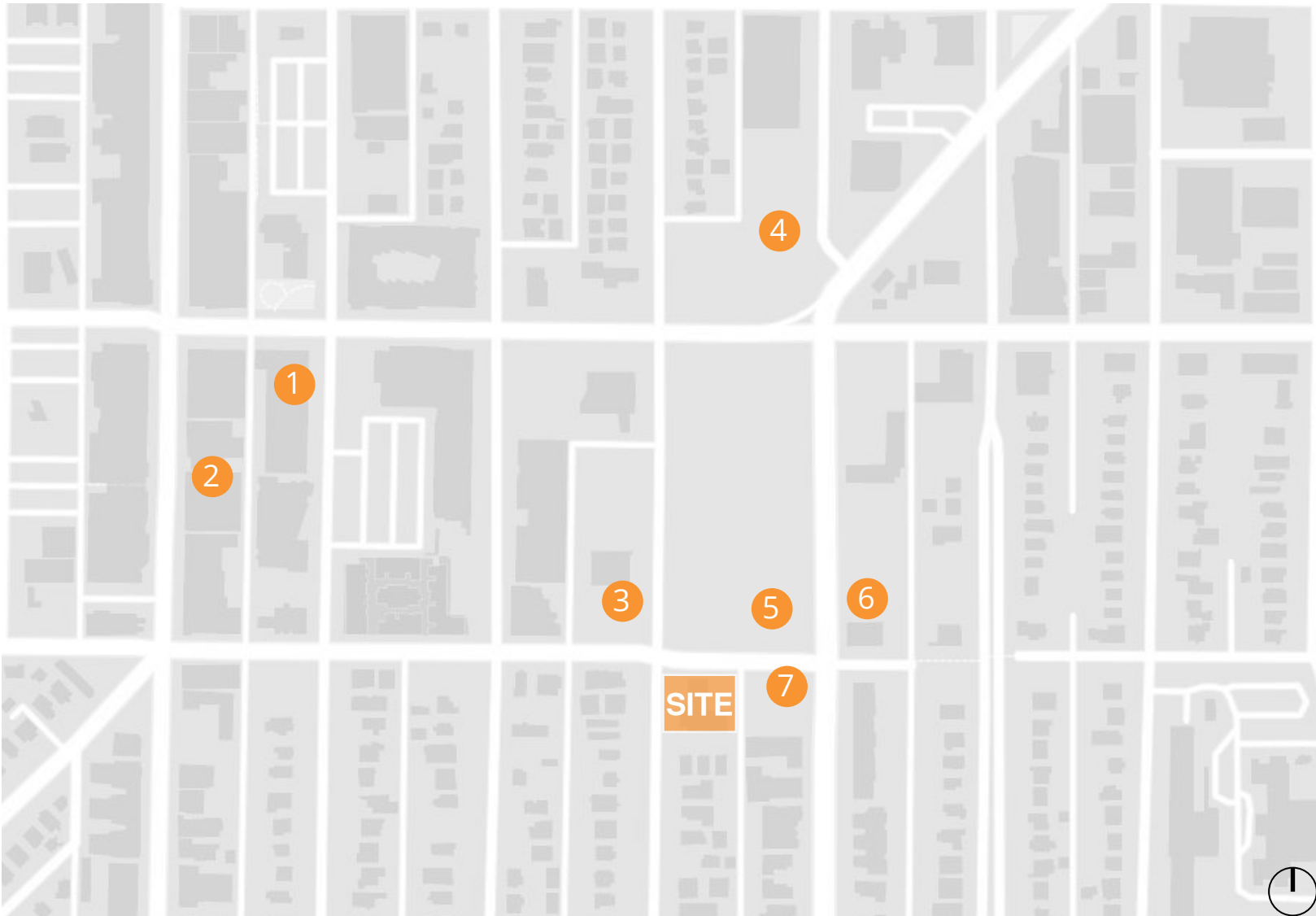
(D) SOUTH SIDE OF SW EDMUNDS STREET



NEIGHBORHOOD CONTEXT

The project site, located at the southeast corner of the SW Edmunds St. and 40th Ave SW. The site is also located at the southern edge of the West Seattle Junction Urban Village. The Seattle 2035 neighborhood plan has targeted this area to aid in creating ‘a small-town community with its own distinct identity comprised of a strong single family residential community and a vibrant mixed-use business district serving the surrounding residential core.’

The site is near the intersection of Fauntleroy Way SW and SW Alaska St. which is the first major hub when entering West Seattle from the West Seattle Bridge. This hub area has seen major density development and our site is on the buffer between the commercial and residential zones. SW Edmunds St. borders our site to the north and is “an important pedestrian connector” between the major thoroughfares of California Ave and Fauntleroy Way SW. This is a commercial corner that needs to aid in the transition from the commercial area of the Alaska-Fauntleroy hub to the north and the residential zone to the south by targeting future densities and establishing human scale elements, interest and activity along the street frontage.



JUNCTION 47



4730 CALIFORNIA



BROADSTONE SKY



SPRUCE WEST SEATTLE



THE WHITTAKER

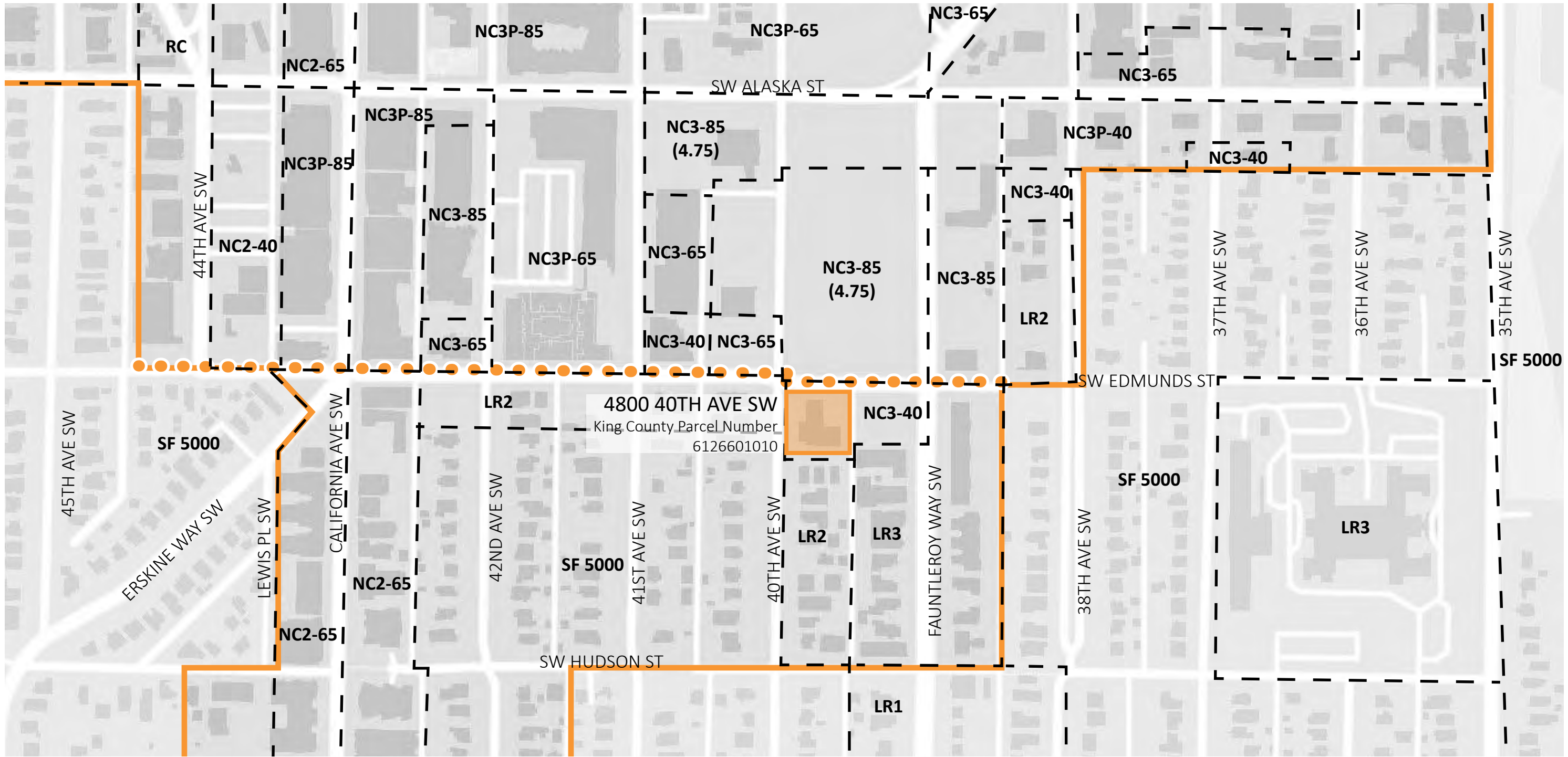


4754 FAUNTLEROY WAY SW



4801 FAUNTLEROY WAY SW

AERIAL GRAPHIC

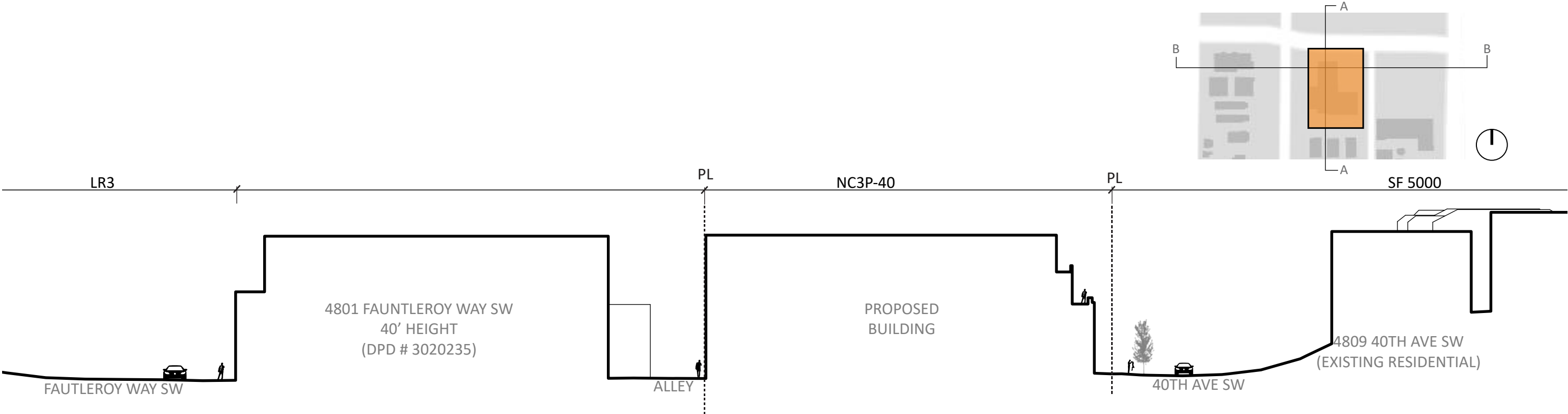


- West Seattle Junction Hub Urban Village Boundary
- Important Pedestrian Connector

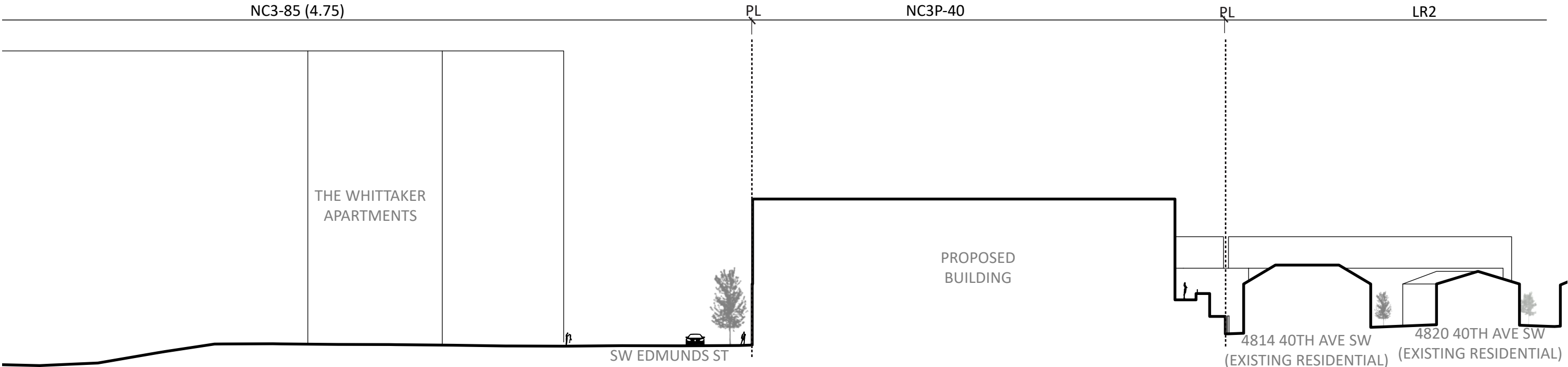


SECTION THROUGH NEIGHBORHOOD

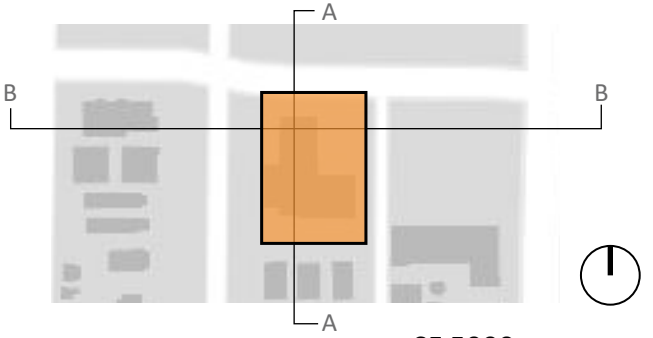
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NORTH-SOUTH SITE SECTION A-A



EAST-WEST SITE SECTION B-B



ZONE	NC3 - 40 (Neighborhood Commercial 3) West Seattle Junction (Hub Urban Village)		
STREETS	SW Edmunds ST & 40th Ave SW		
PERMITTED USES	Residential, Commercial, Live-Work Units (23.47A.004)		
STREET-LEVEL DEVELOPMENT STANDARDS 23.47A.008	<div><div>Street-Level Development Standards 23.47A.008</div><div>Blank Facades are limited to Max 20’ width and maximum 40% overall of facade width. Facades shall be located within 10 feet of property line, unless wider sidewalks, plazas, approved landscape or open spaces are provided. Between 2’ and 8’ above sidewalk, min 60% of the street facing façade shall be transparent.</div><div>Residential uses at street level shall have a visually prominent pedestrian entry.</div><div>Non-residential uses shall extend an average depth of 30’ and minimum of 15’ from the street level, street facing façade.</div><div>For live work uses, the portion of the unit in which business is conducted should be situated between the street and residential portion of the unit, shall extend the width of the unit and shall extend a minimum depth of 15’ into the unit.</div><div>The project will comply with Street level uses along SW Edmunds St. and 40th Ave SW.</div></div>		
STRUCTURE HEIGHT: 23.47A.012	<div><div>Base height limit = 40 feet</div><div>The structure may exceed height limit by 4 feet if a floor to floor height of 13 feet is provided for non-residential uses at street level.</div><div>The proposed height is 44 feet and will comply with the required floor to floor height of 13 at street level</div></div>		
FAR 23.47A.013	<div><div>Lot Area: 19,556 SF</div><div>Max. Mixed Use 3.25</div><div>Max FAR: 63,557 SF</div><div>The project complies with Floor Area Ratio limits.</div></div>		
SETBACK REQUIREMENTS 23.47A.014	<div><div>Structures with Residential uses that is across the alley from a lot in a residential zone shall setback 15 feet for portions of structures above 13 feet in height to a maximum of 40 feet. For each portion of the structure above 40 feet, additional setback at the rate of 2 feet of setback for every 10 feet of height above 40 feet. Half the width of the alley may be counted toward the setback.</div><div>A 15’ setback triangle is required at commercial sites that about a residential site.</div><div>The project complies with setback requirements.</div></div>		
AMENITY AREA 23.47A.024	<div><div>Amenity areas are to equal 5% of the total gross floor area in residential use and should meet the following:</div><div>Residents to have access to at least one common or private area. No enclosed areas</div><div>Minimum horizontal dimension of 10 feet and no less than 250 SF in size</div><div>Private Balconies: Minimum horizontal dimension of 6 feet and no less than 60 SF in size</div><div>The project complies with a mix of outdoor terraces, private balconies and rooftop terrace.</div></div>		
PARKING LOCATION ACCESS 23.47A.032	<div><div>Access to parking shall be from the alley if the lot abuts an improved alley.</div><div>The project complies with the below grade parking accessed from the alley.</div></div>		

Based on the recommendations from the board, we are seeking a departure to maintain the corner block element as a focal point and ease the transition between the taller zones to the north and the LR zone to the south.

STEPPING MASSING

"What We Heard"

THE BOARD WAS SUPPORTIVE OF:

- The overall stepped massing of the building.
- A departure which would allow us to remove some mass from the southern edge of the 40th Ave facade and place it along the alley.

THE BOARD REQUESTED:

- "In order to reconcile the competing corners and simplify the form", the architect should request a departure to allow us to continue the stepping along 40th all the way to the southern property edge.

DESIGN GUIDELINES REFERENCED:

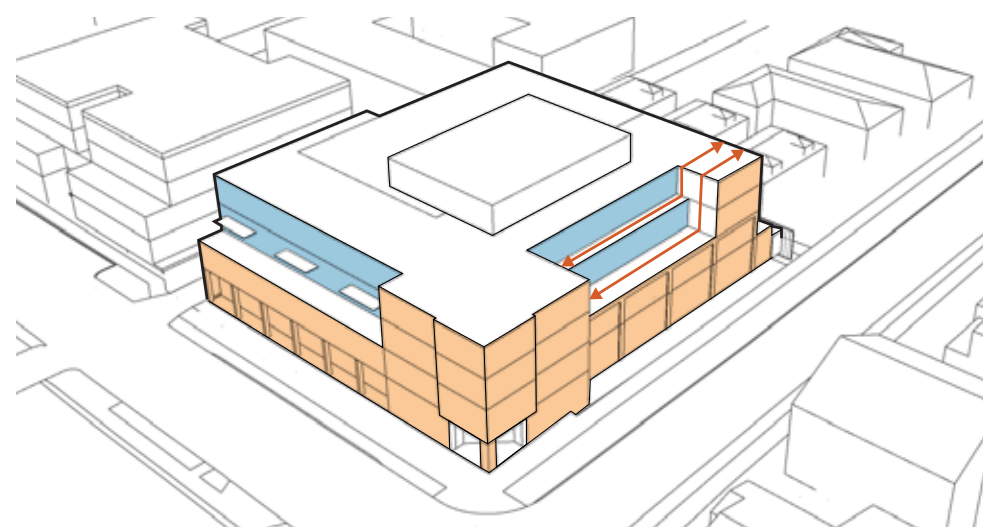
- CS2-C-1 Corner Sites
- CS2-II-i Reinforce Street Corners
- CS2-C Relationship to the Block
- CS2-D-4 Massing Choices
- DC2-I-ii Cohesive Architectural Concept

OUR SOLUTION

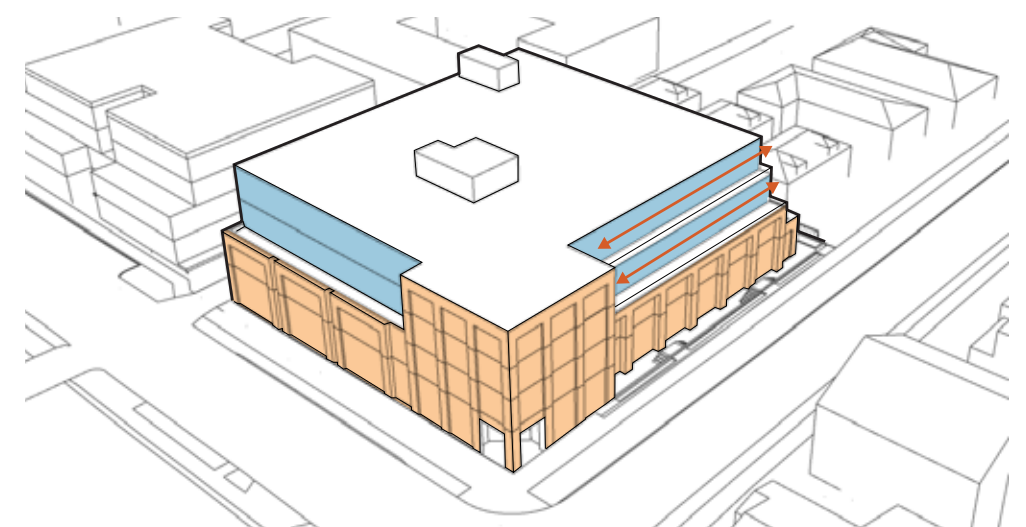
We simplified the building form to reinforce the corner as a focal point of the building. The terraces along 40th Ave. SW have been extended to the south facade to further step down the scale along this pedestrian street and ease the massing against the neighboring townhomes. By doing this we are able to establish a gateway point in the transition between the much taller zones north of our site to the smaller, LR zones, to the south. Per the board's recommendation, we have asked for a departure that would allow us to shift the building mass back to the alley.



AERIAL VIEW FROM NORTHWEST



EDG MASSING



CURRENT MASSING

ZONING DEPARTURE #1

DEVELOPMENT STANDARD – NC3-40

23.47A.14B Setback requirements for lots abutting or across the alley from residential zones.

REQUIREMENT

Required Side Setbacks Above 13 Feet when adjacent to residential zone = 15 feet

PROPOSED

Per Design Review Board recommendation at EDG meeting held 3/16/17, we propose eliminating the required setback on East façade directly adjacent the LR zone.

DIFFERENCE

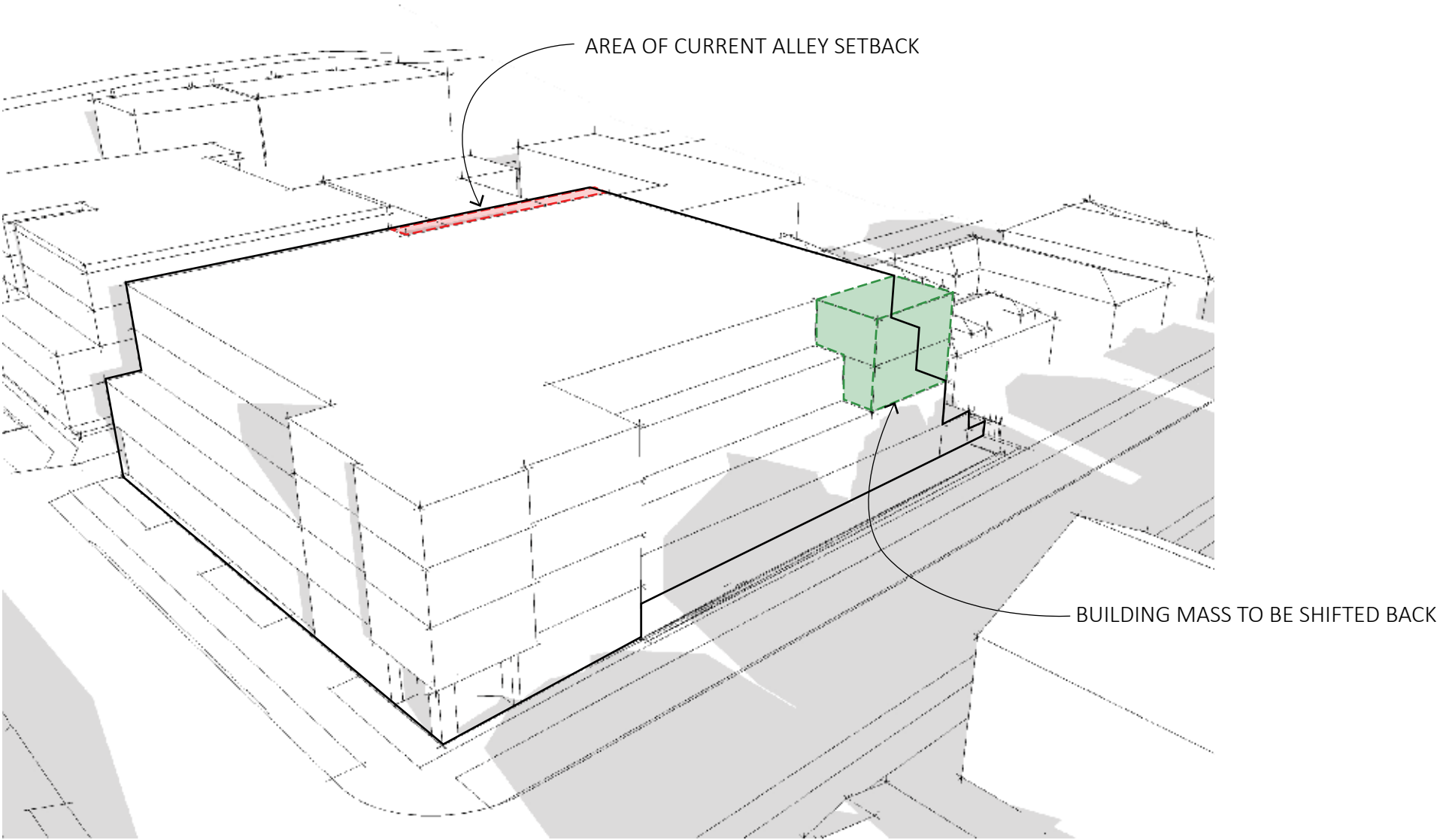
6.5' feet of side setback along the 75' of south property line that is directly adjacent to the LR zone.

CONSIDERATIONS

Elimination of the required setback does the following;

- The shift of building mass to the alley façade from the 40th Ave SW façade allows for the extension of the building terraces to the south.
- The reduced bulk along at the southern edge of our 40th Ave façade steps down the scale to the LR zone to the south.
- The reduced side setback will maintain a constant edge at the alley.

THE PROPOSED DESIGN SHIFTS THE BUILDING BULK BACK FROM 40TH AVE. SW AND CREATES A CONTINUOUS ALLEY FACADE.



CORNER TREATMENT

"What We Heard"

THE BOARD WAS SUPPORTIVE OF:

- Our preferred massing option (option "C" shown below).

THE BOARD REQUESTED:

- Further resolution of the building as it turned the corner onto 40th Ave SW.

DESIGN GUIDELINES REFERENCED:

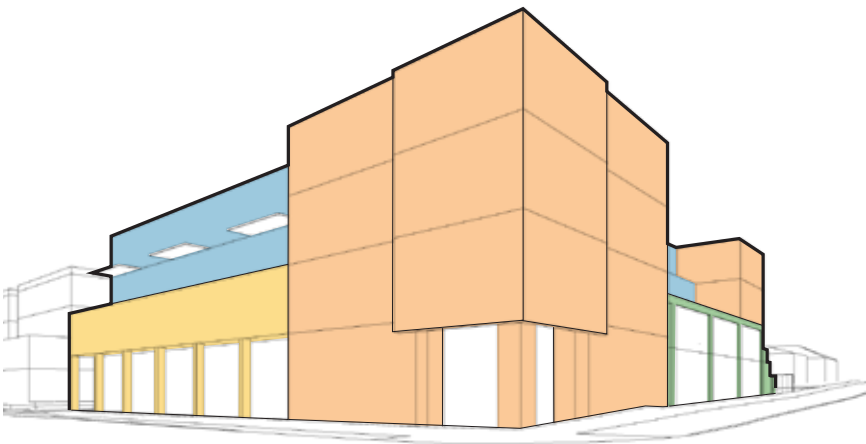
- CS2-C Relationship to the Block
- CS2-D-4. Massing Choices

OUR SOLUTION

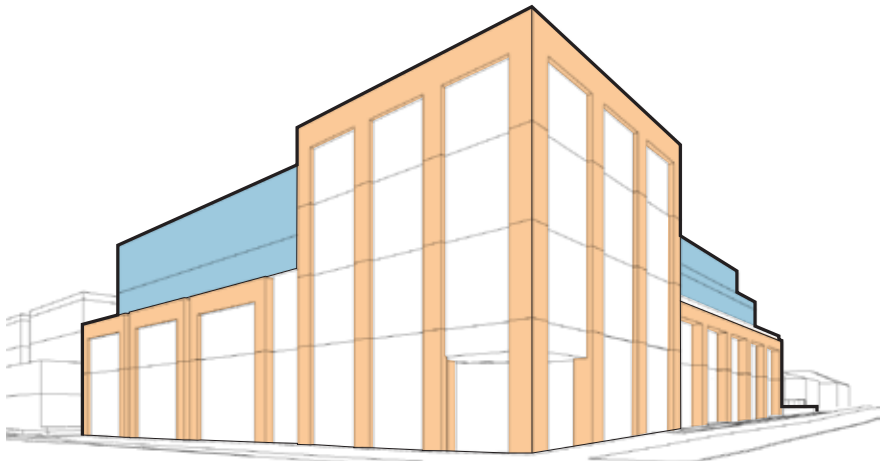
We have updated both our massing and materiality to create a much more cohesive building. Instead of three, seemingly separate facade treatments we have created a cohesive facade that wraps the two street facades with subtle differences that reflect the use at the street level. Adding the brick to the live work facade aided in not only strengthened and further grounding the public street fronts but also allowed for the upper elements to feel lighter. This change in scale and materiality from the two story block to the lighter upper floors breaks the scale of the project and eases transition from 85'/65' zone north to the LR zone to the south.



CORNER VIEW



EDG MASSING



CURRENT MASSING

FACADE DEPTH AT MASONRY

"What We Heard"

THE BOARD WAS SUPPORTIVE OF:

- The two story masonry façade at the street level which created a "strong street wall".
- Setting back the storefronts from the street to provide rhythm and depth.

THE BOARD REQUESTED:

- Reinforcing the strong commercial street frontage
- Enhance pedestrian environment
- Maintain masonry depth that reinforces commercial edge.

DESIGN GUIDELINES REFERENCED:

- CS2-C-1 Corner Sites
- CS2-C Relationship to the Block
- CS2-D-4. Massing Choices
- CS3-I Architectural Context
- PL3-C Retail Edges
- DC2-D Scale and Texture
- DC4-A Exterior Elements and Finishes

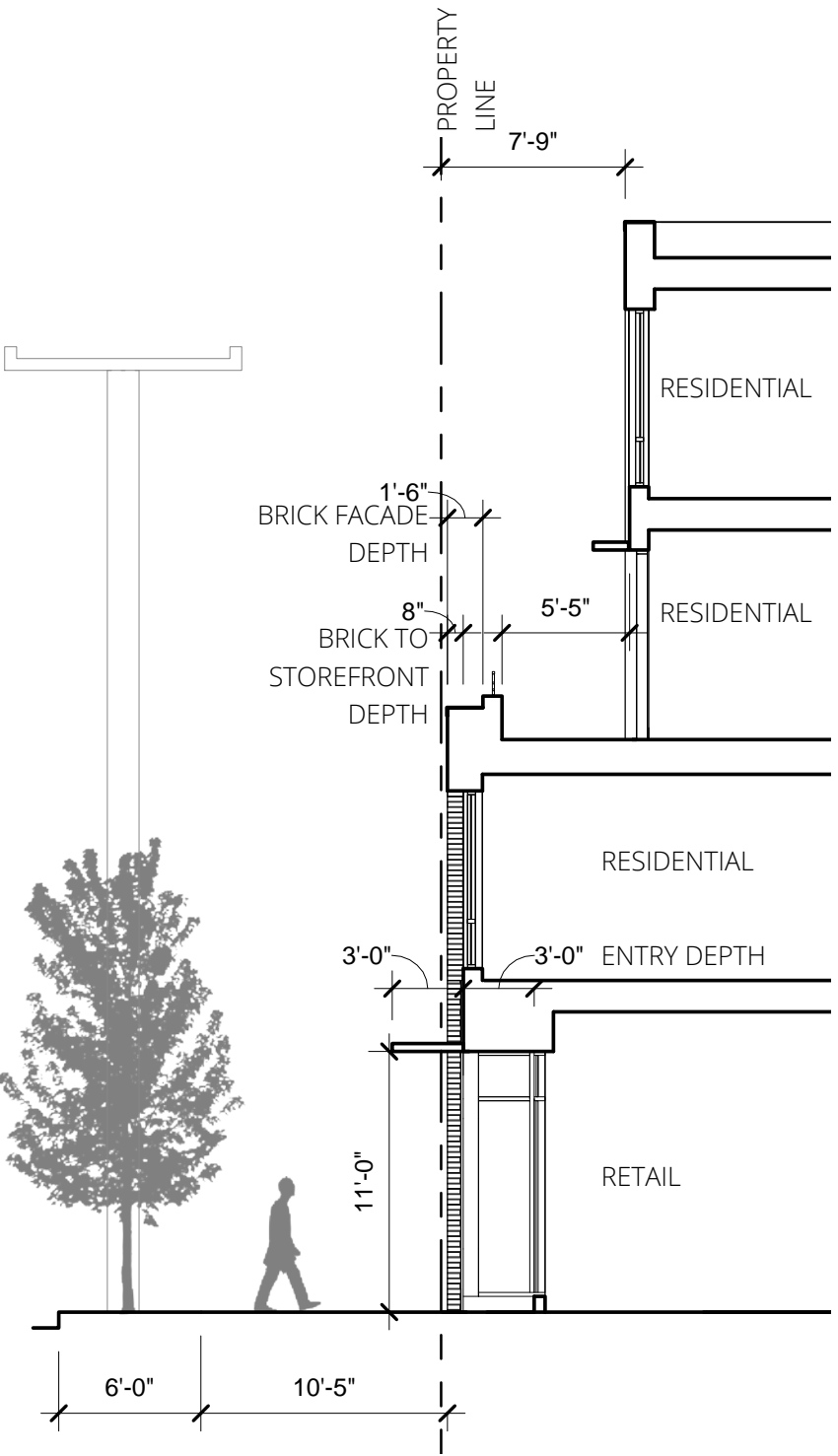
OUR SOLUTION

Per the board's recommendation, we have further refined our commercial facade articulation to enhance the pedestrian experience. We have maintained the two-story brick facade at both street frontages. The facades have been broken up into more appropriately and humanely scaled bays which echo architectural cues we observed in prominent West Seattle commercial facades. The finely textured brick bays house transparent commercial entries that allow for unencumbered views into the space. These storefront entry bays set into the brick are constructed of metal panel and glass storefront and windows, durable materials for the commercial frontage.

The three commercial entries along Edmunds are recessed off of the sidewalk which has been widened from 7'-0" to 10'-0" to create a more gracious pedestrian pathway and opportunity for the commercial space to utilize some of this outdoor space.



COMMERCIAL "BAY" RENDERING



SECTION - ALONG EDMUNDS

COMMERCIAL FACADE

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ALLEY CORNER AND SIDEWALK

"What We Heard"

THE BOARD REQUESTED:

- The study of the alley corner to ensure visibility for vehicles exiting the alley

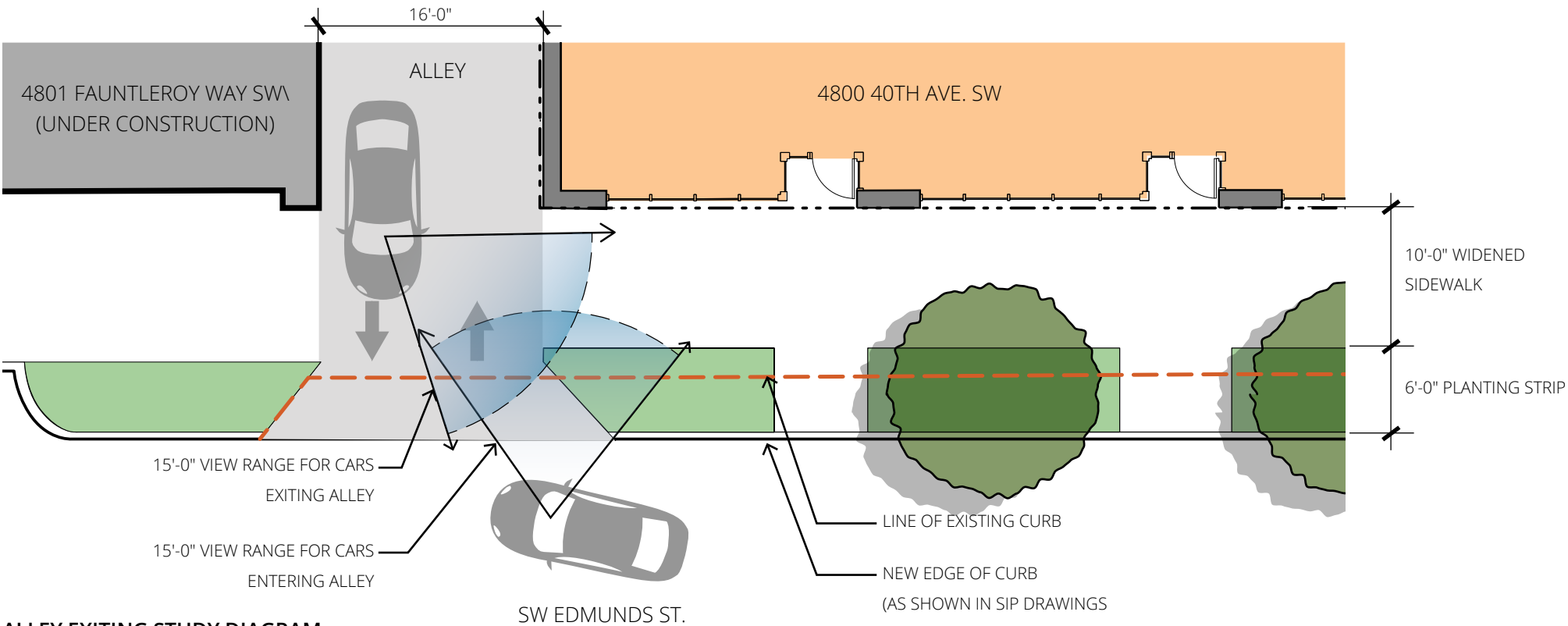
DESIGN GUIDELINES REFERENCED:

- DC2-A-1 Site Characteristics and Uses

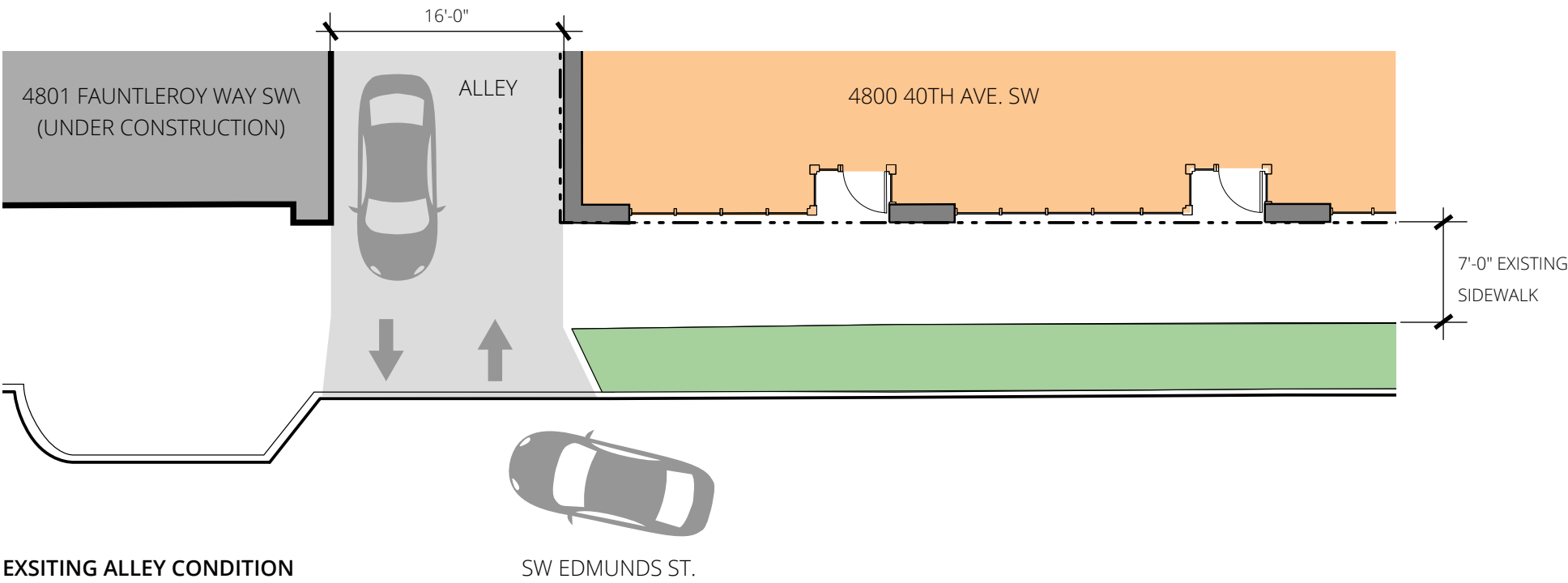
OUR SOLUTION

While we have kept the façade up at the property line to reinforce the board's preferred "strong street edge", we have proposed pushing the sidewalk along Edmunds out to closer align with the street position to the west. This provides a wider physical buffer between the alley corner and the road as well as enhanced visibility for those exiting onto the street. Cars entering the alley, at the west edge, are now given a wider view angle and space to ensure safety of themselves and pedestrians along Edmunds. Cars exiting alley against the adjacent building also have been provided a wider viewing range with respect to pedestrians coming from the west, along our project.

These changes are part of our continued coordination with SDOT.



ALLEY EXITING STUDY DIAGRAM



EXSITING ALLEY CONDITION

ZONE TRANSITION

"What We Heard"

THE BOARD WAS SUPPORTIVE OF:

- The bio-retention at the southern property line being used as a landscape buffer between the two zones.
- Terracing the building along 40th to help the transition to the townhomes.

THE BOARD REQUESTED:

- Study the way the bio retention planter meets the street so as to enhance the pedestrian experience.
- Exploring creating taller greenspace at the zone transition (based on public comments)
- Looking at creating an opaque rail at the edge of the level 2 balcony to create more privacy.

DESIGN GUIDELINES REFERENCED:

- CS2-D-4 Massing Choices
- PL3-B-1 Security and Privacy
- DC2-D Scale and Texture

OUR SOLUTION

Per the board's guidance, we have kept the 5' bio-retention planter at the southern edge of the property as a buffer between developments. The planter has been designed to meet the property line as a low element and provide a landscape setback between the recessed live work space and the neighbors entry.

Based on public comments and the board's guidance we have designed the planter to step up to between 3' and 4' above grade at the building face to create a slightly taller landscape buffer against the neighboring development's fence line. The planter will step as it extends east toward the alley to maintain a well human-scaled relationship to the adjacent property.

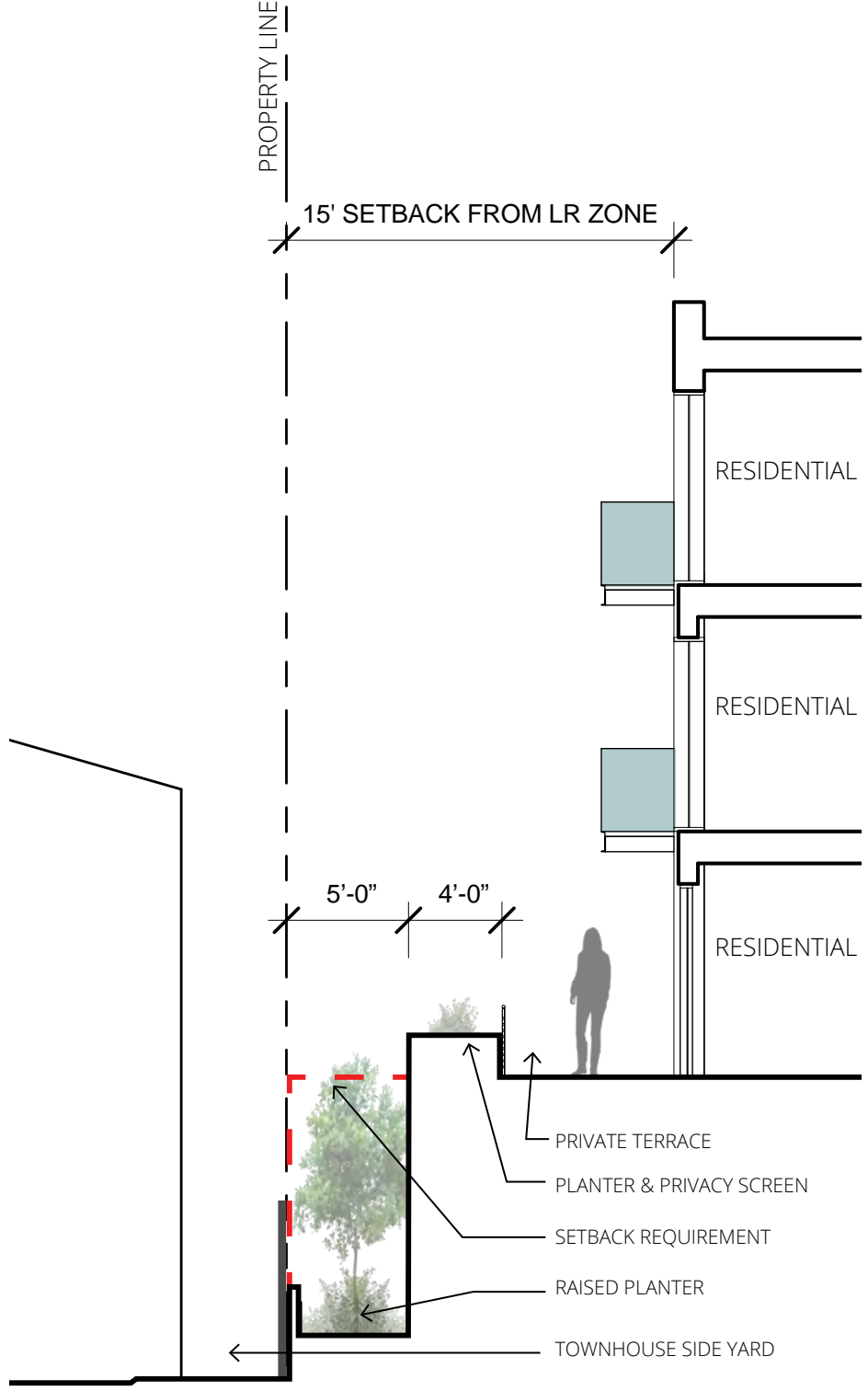
Beyond the planter, we have pulled back the railing on the southern L2 terrace and are proposing planters at the building edge to create even more textured green buffer between our project and the townhomes to the south. This tiered landscape zone will ensure appropriate privacy is maintained.



PEDESTRIAN VIEW FROM NORTH



PEDESTRIAN VIEW LOOKING OF PLANTER



SECTION THROUGH SOUTH PROPERTY LINE



WINDOW STUDY ALONG ZONE TRANSITION



LIVE WORK

"What We Heard"

THE BOARD WAS SUPPORTIVE OF:

- The treatment of the live/work massing and articulation that "created a successful transition into the surrounding residential neighborhood".
- Low plantings at the street that allowed for visibility into the commercial areas of the live work units.

THE BOARD REQUESTED:

- Information on Interior Programming of Live/Work Units

DESIGN GUIDELINES REFERENCED:

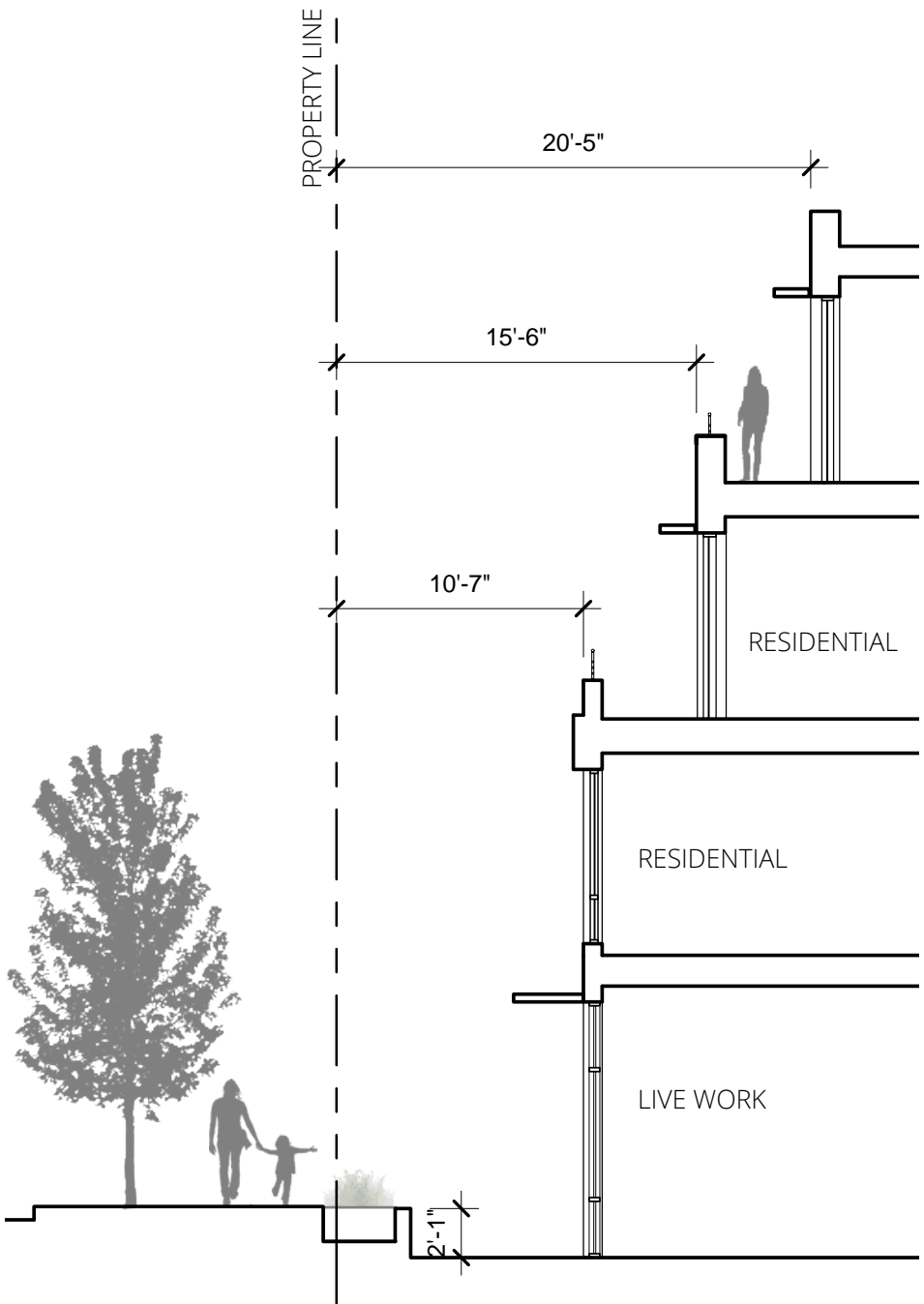
- CS3-I Architectural Context
- PL1-B-1 Pedestrian Infrastructure
- PL3-B-3 Buildings with Live/Work Uses

OUR SOLUTION

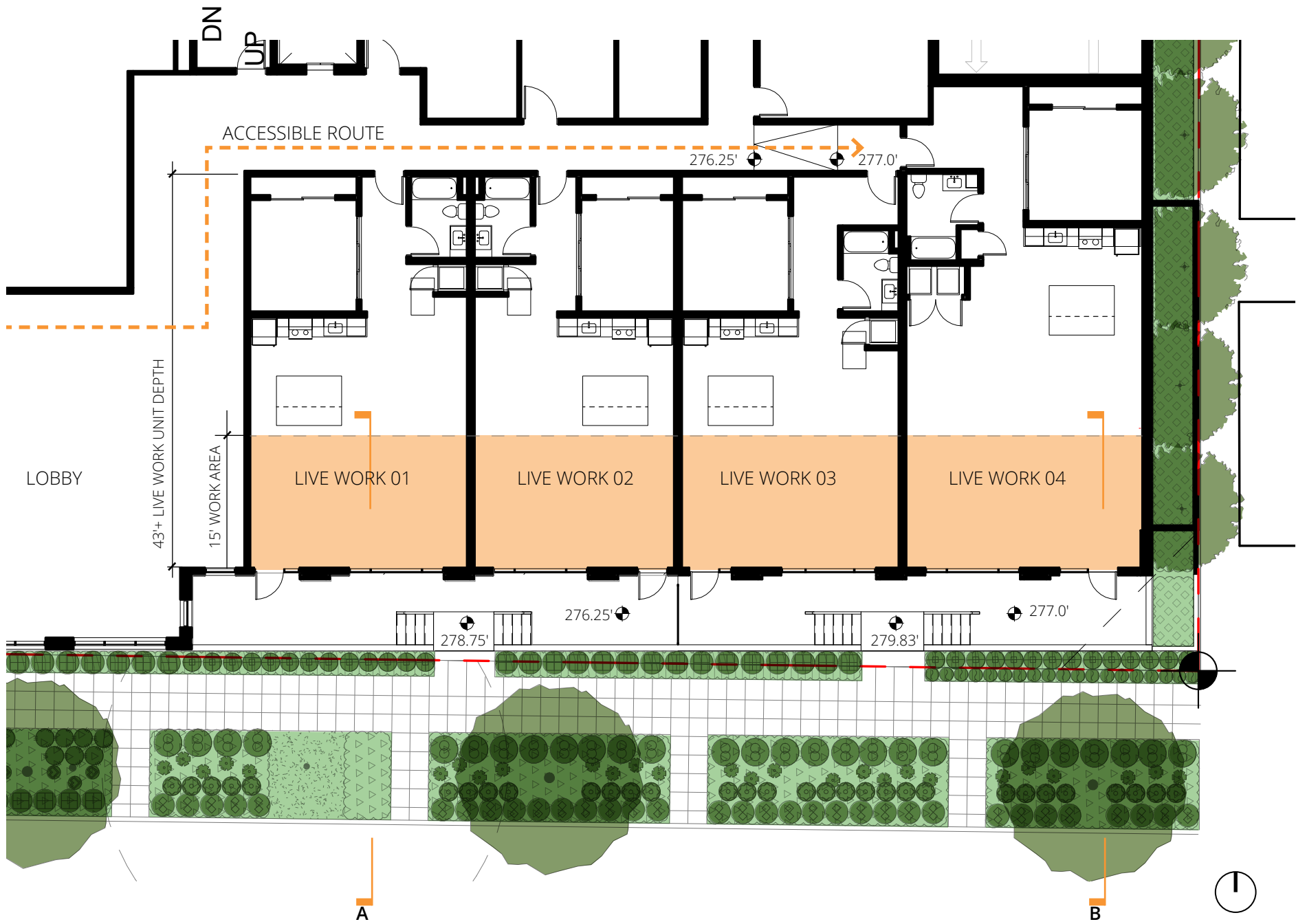
Much like our approach to the commercial facade along Edmunds, the live work facade along 40th has been designed with a facade articulation what echoes architectural cues taken from successful Junction buildings. The scale here is smaller in scale than that of Edmunds which helps to further break down the scale as we transition to the LR zone.

We have maintained the low planting as a buffer between the public walkway and private unit entries, as suggested by the board. The increase in transparency of the live work bays, provides greater visual connection between the sidewalk and the work zones inside these units, while setting back the facade and entries makes these spaces slightly more private than the commercial spaces along Edmunds.

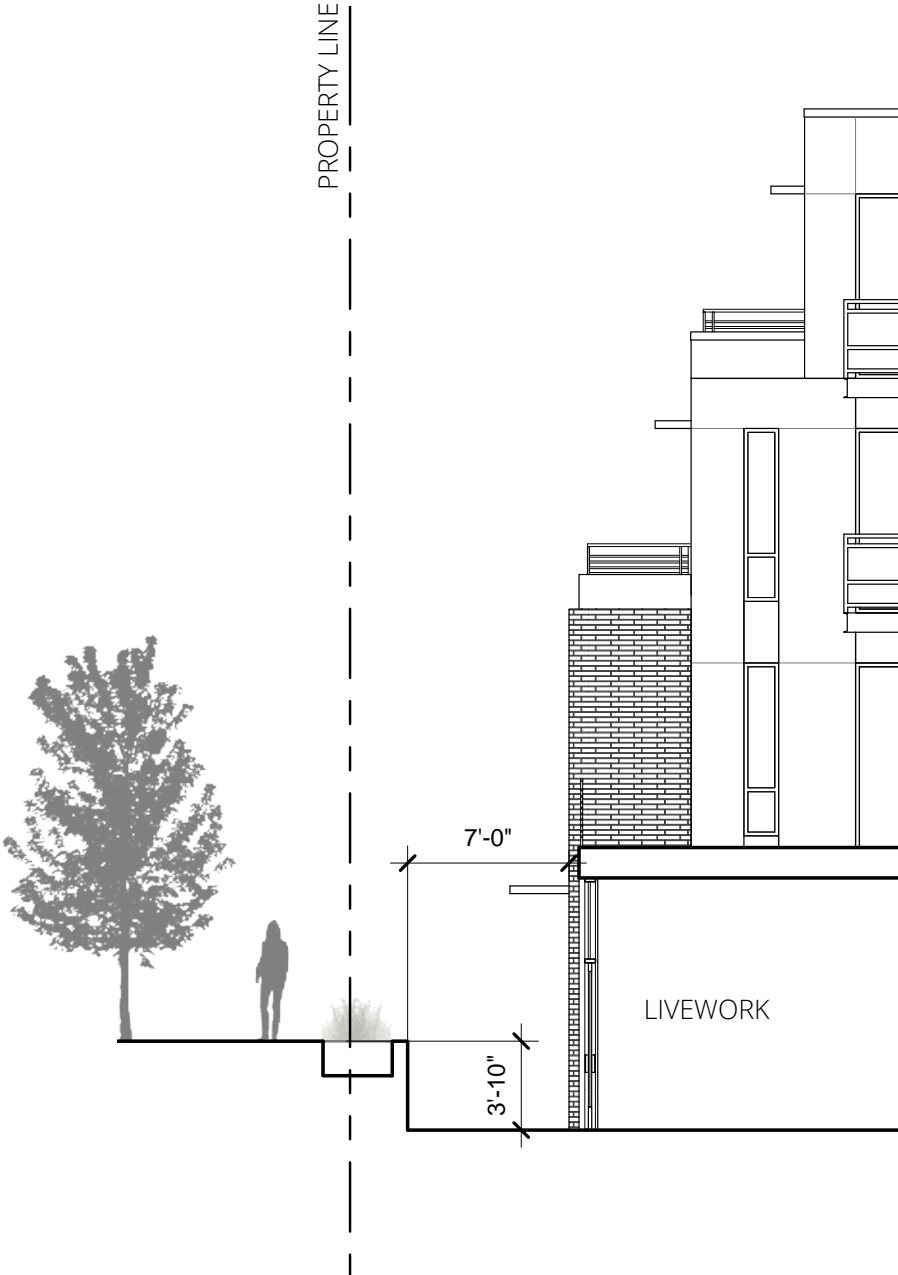
Inside the units, "work" spaces have been oriented toward the public street with more private "live" spaces pushed further into the building.



SECTION A - LIVE WORK



LIVE WORK PLANS



SECTION B - LIVE WORK, LOWEST CONDITION

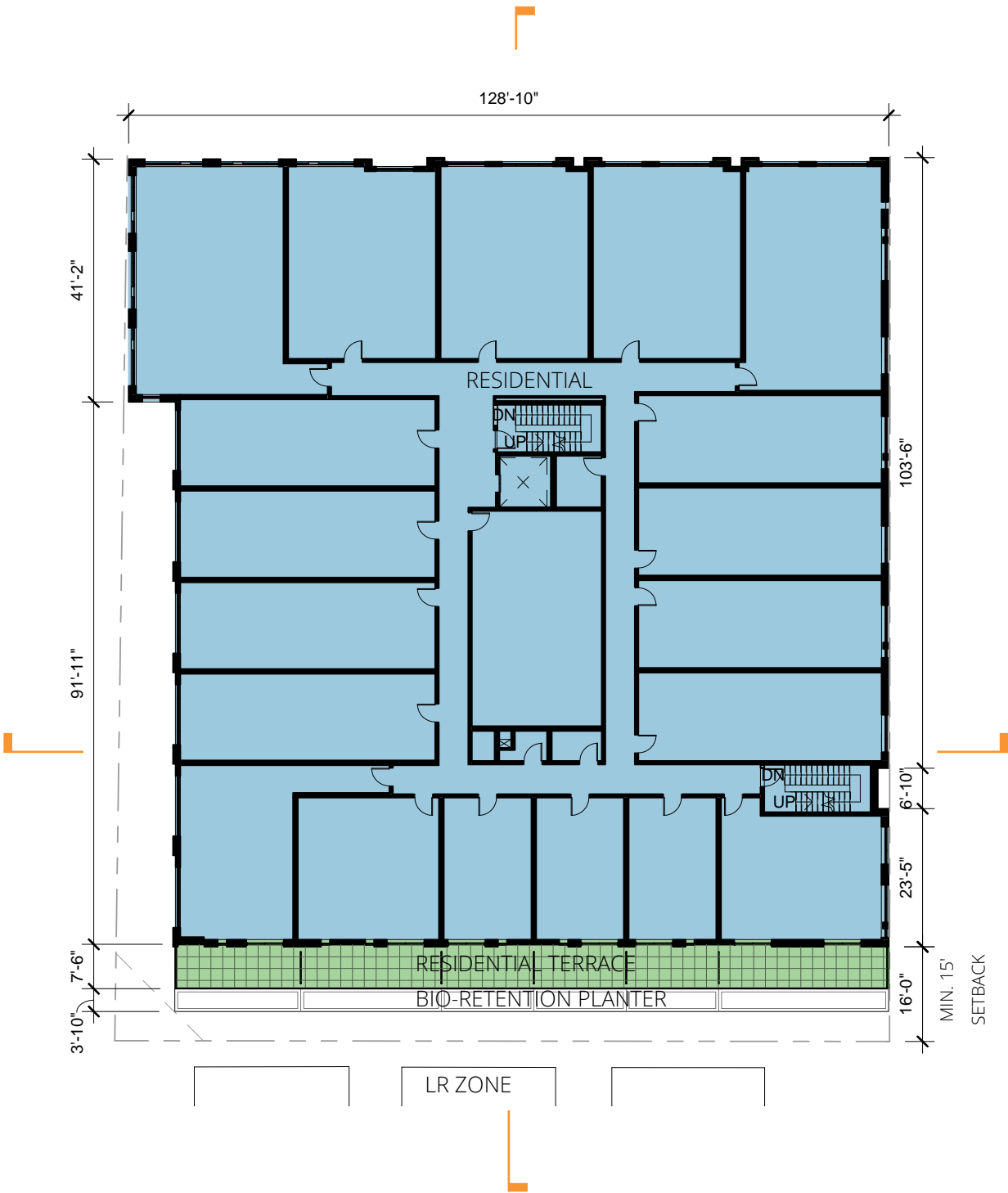
LEVEL 1 PLAN

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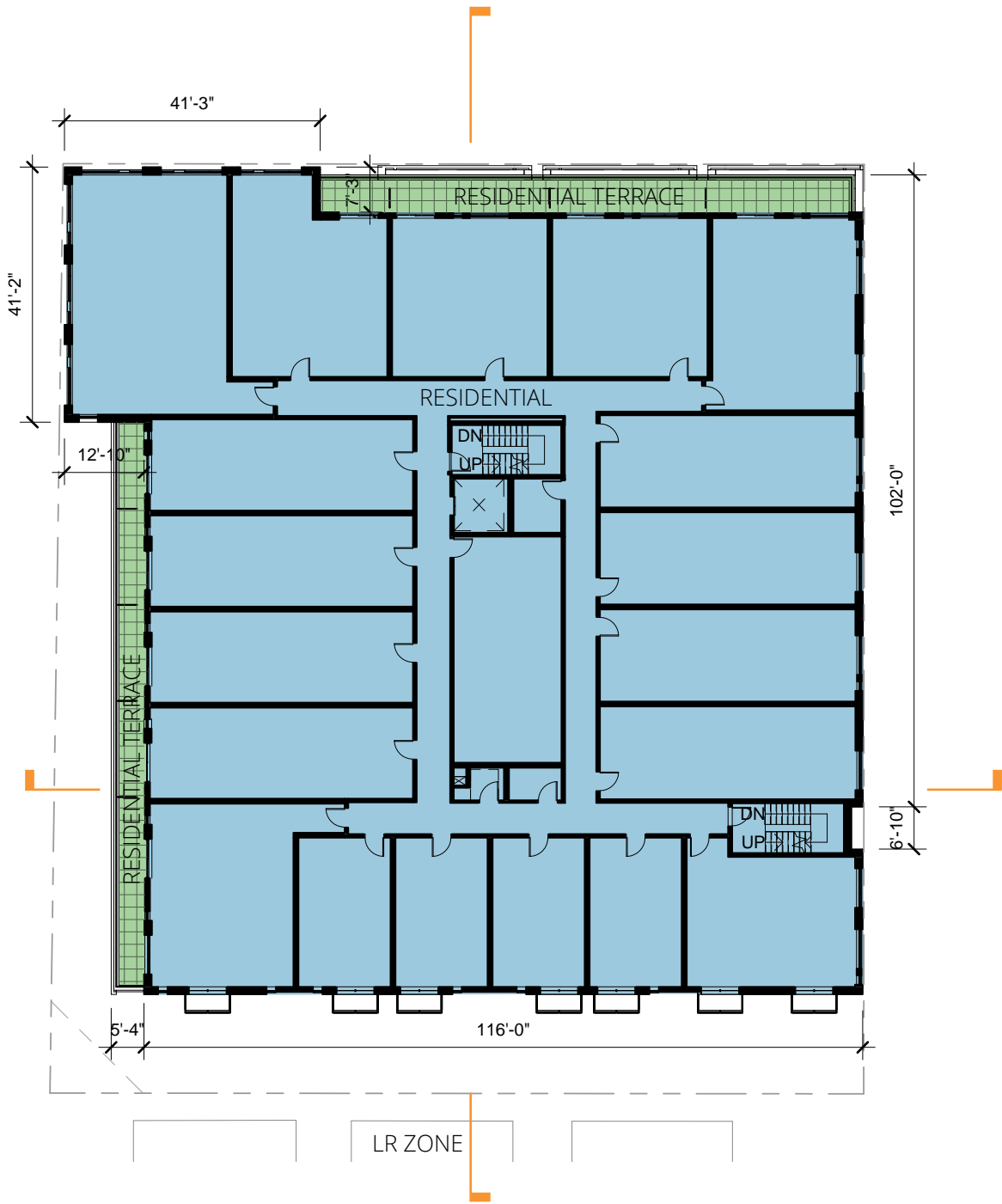


LEVEL 1



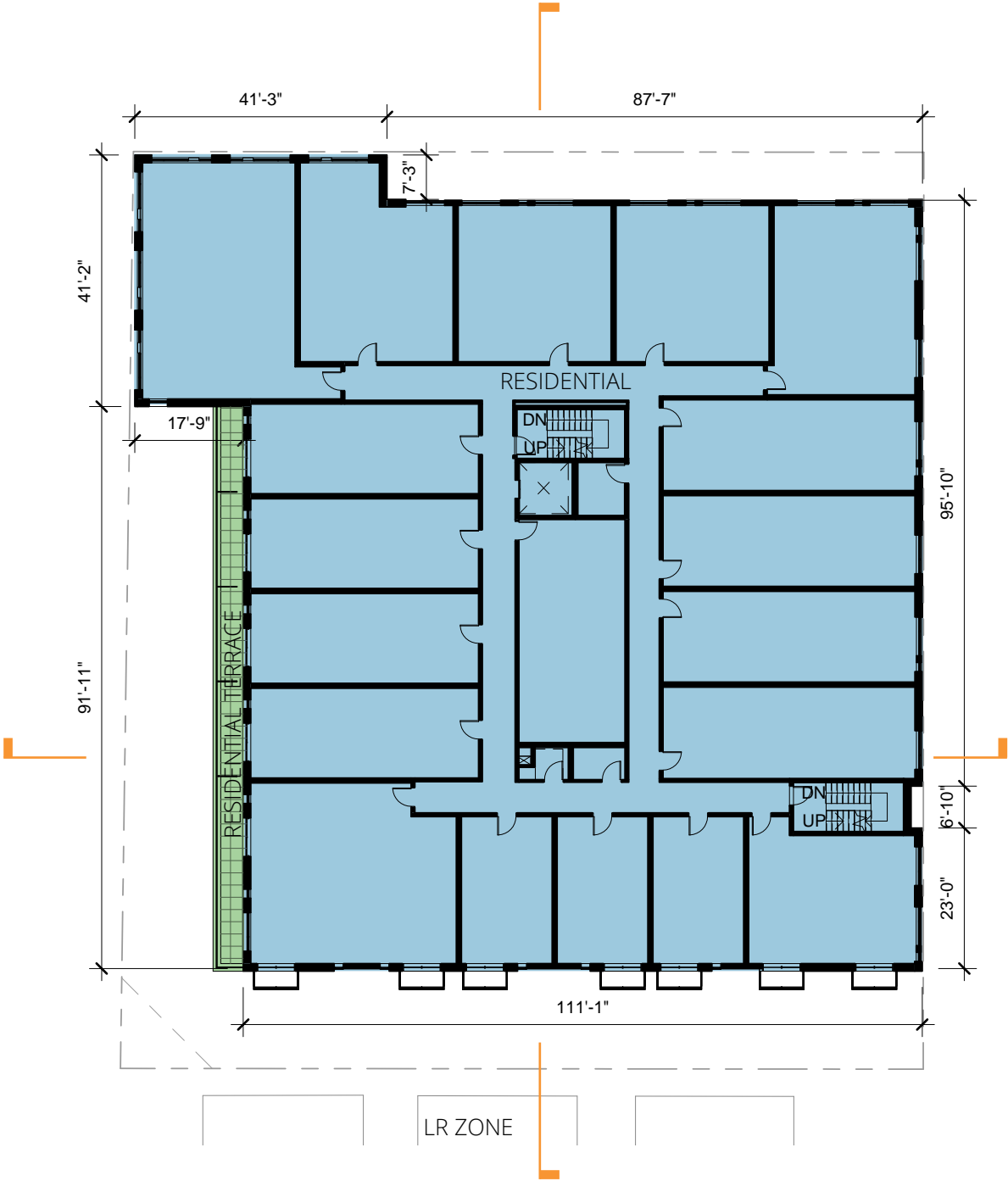


LEVEL 2

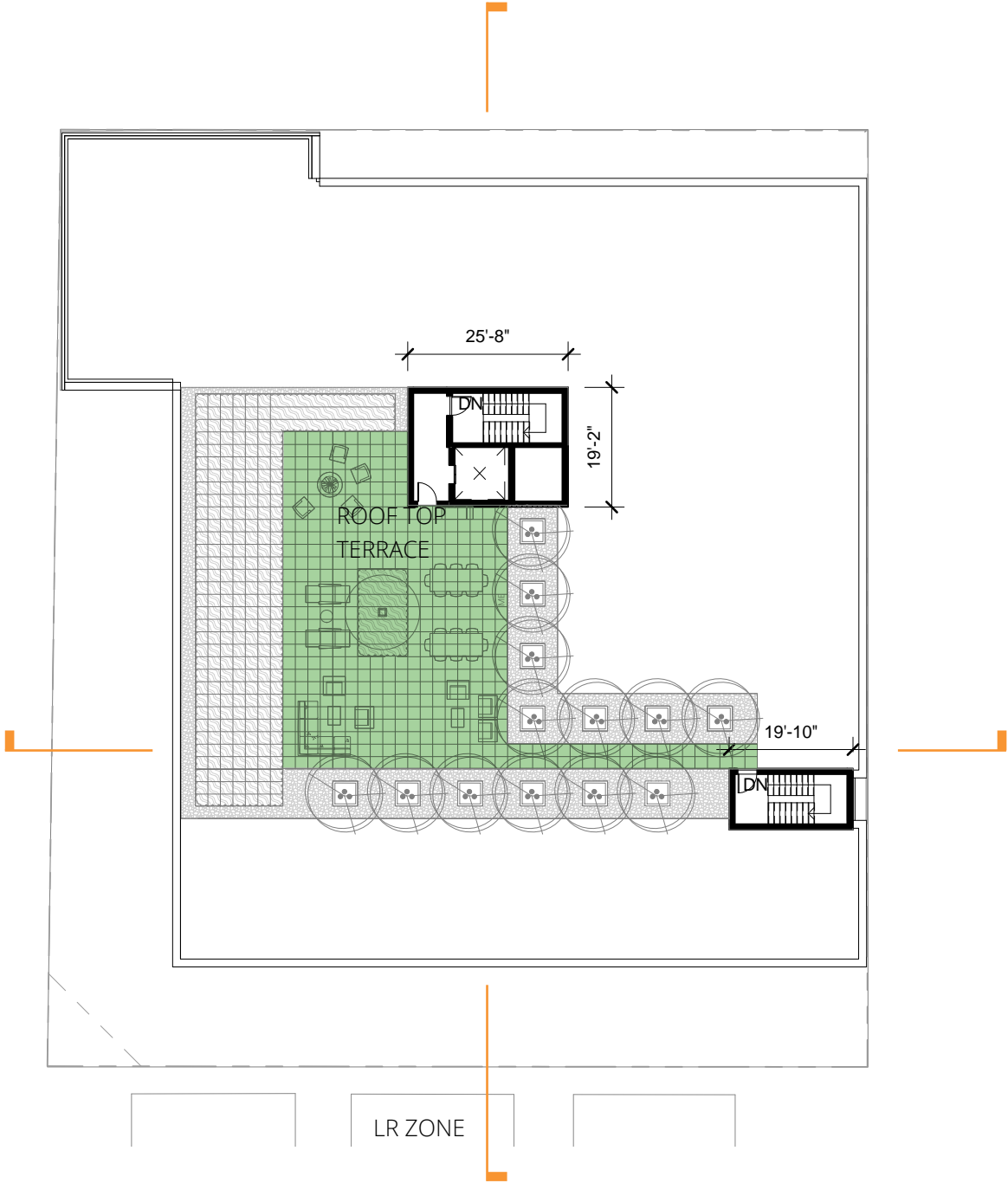


LEVEL 3



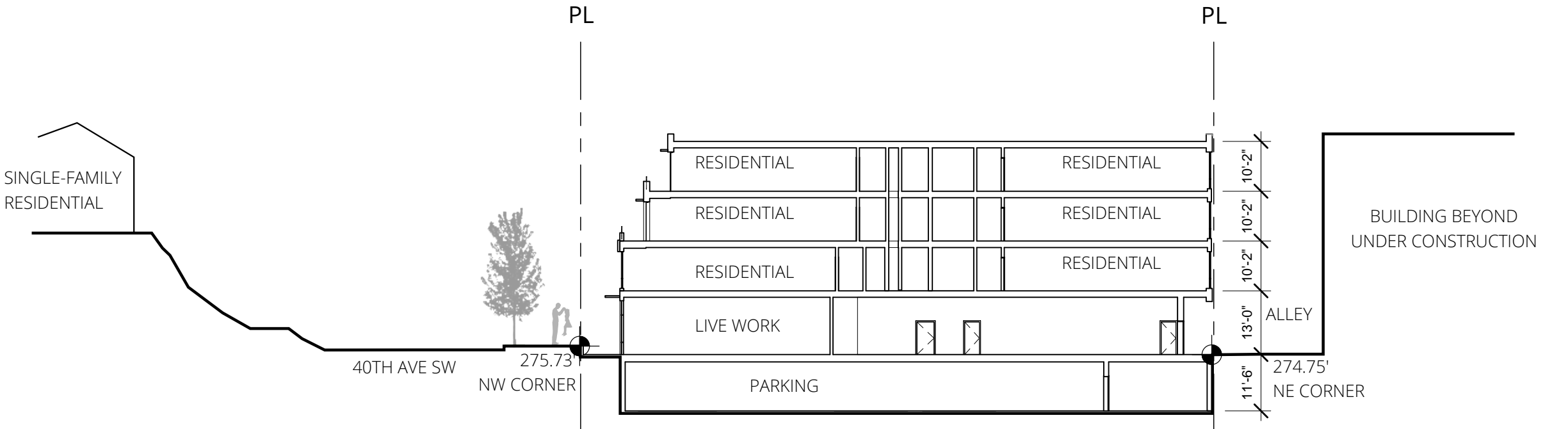


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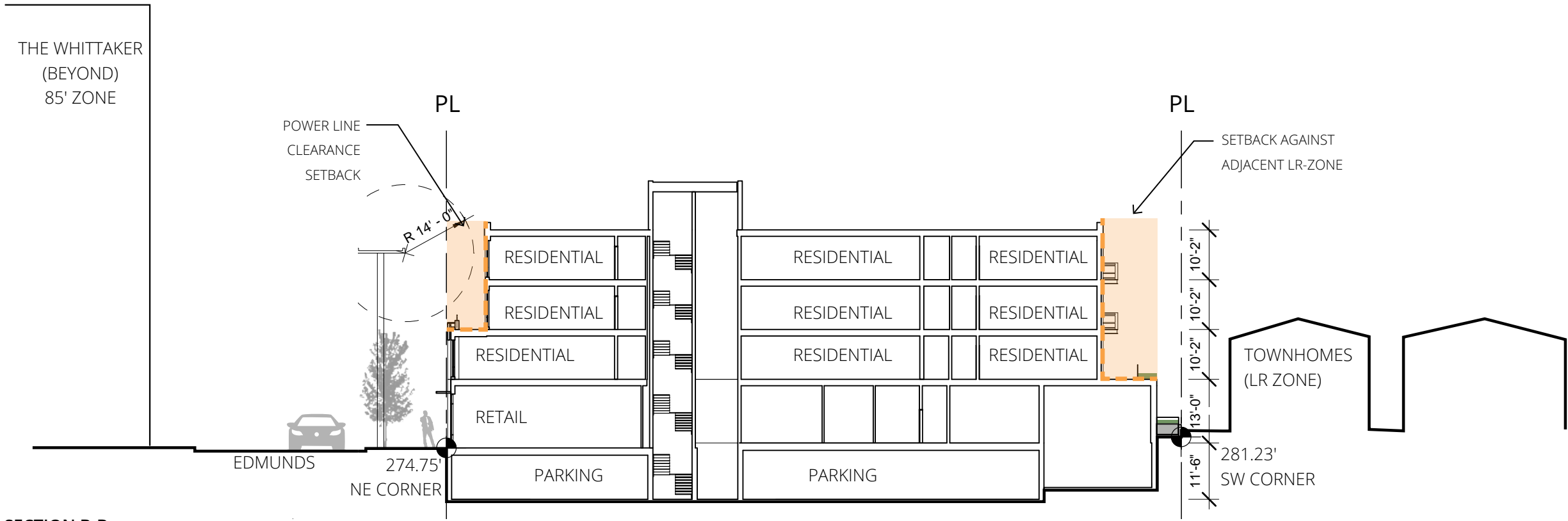


ROOF

BUILDING SECTIONS



SECTION A-A



SECTION B-B

STREET LEVEL LANDSCAPE PLAN

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North: SW Edmunds Street



commercial spillover

south: bioretention planter



at grade bioretention planter

West: 40th Avenue SW



generous planter w/ walkoff

live-works



terraces at live-works

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A photograph of a modern rooftop terrace. In the foreground, two men are seated at a light blue metal table. The man on the left, wearing a white t-shirt and plaid shorts, is gesturing with his hands while talking. The man on the right, wearing a teal t-shirt and dark shorts, is listening and pointing towards the background. In the background, a woman in a red and white striped shirt stands near a striped awning. The terrace features a glass railing, modern light fixtures, and clusters of colorful balloons (blue, green, and white). The sky is clear and blue.

A photograph of a rooftop garden. The foreground is filled with dense, low-growing plants, primarily yellow and green. In the middle ground, a black metal fence runs across the frame. Beyond the fence, a city skyline is visible under a clear blue sky.

A rooftop terrace featuring large, dark grey rectangular planters. The planters contain lush green trees and shrubs. In the foreground, a paved patio area with light grey tiles is visible, along with a black metal chair and a small round table. The terrace overlooks a cityscape with colorful buildings and a clear blue sky. The ocean is visible in the distance.

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PLANT LIST

SYMBOL BOTANICAL NAME COMMON NAME SIZE COND.

R.O.W. TREES

EXISTING TREE TO BE PRESERVED AND PROTECTED PER CITY OF SEATTLE STD PLAN 132

GROUND COVERS

ACER SACCHARUM 'COMMEMORATION' ** 'COMMEMORATION' MAPLE B&B
- APPROVED BY BEN ROBERTS/SDOT URBAN FORESTRY 06/19/2017

ACER SACCHARUM 'JFS-CADDO2' ** FLASHFIRE MAPLE B&B
- APPROVED BY BEN ROBERTS/SDOT URBAN FORESTRY 06/19/2017

SHRUBS & PERENNIALS

SARCOCOCCA CONFUSA SWEET BOX 5 GAL. CONT.

LONICERA PILEATA BOXLEAF HONEYSUCKLE 5 GAL. CONT.

PIERIS JAPONICA 'CAVATINE' DWARF LILY OF THE VALLEY 5 GAL. CONT.

ROSA 'AMBER' FLOWER CARPET 'AMBER' FLOWER CARPET ROSE 5 GAL. CONT.

ILEX CRENATA ** JAPANESE HOLLY 5 GAL. CONT.

BUXUS MICROPHYLLA JAPONICA 'WINTER GEM' JAPANESE BOXWOOD 5 GAL. CONT.

NANDINA DOMESTICA 'GULF STREAM' ** 'GULF STREAM' HEAVENLY BAMBOO 5 GAL. CONT.

75% FRAGARIA CHILOENSIS* 75% BEACH STRAWBERRY 1 GAL. CONT.
25% POLYSTICHUM MUNITUM* 25% SWORD FERN 1 GAL. CONT.

50% EPIMEDIUM ALPINUM ** 50% EPIMEDIUM 1 GAL. CONT.
25% ASTILBE X ARENDsii 'PEACH BLOSSOM' 25% 'PEACH BLOSSOM' ASTILBE 1 GAL. CONT.
25% POLYSTICHUM MUNITUM ** 25% SWORD FERN 1 GAL. CONT.

EQUISETUM HYEMALE HORSETAIL 1 GAL. CONT.

ACCENT PERENNIALS

CROCOSMIA X 'LUCIFER' 'LUCIFER' CROCOSMIA 1 GAL. CONT.

HEMEROCALLIS 'STELLA D'ORO' ** 'STELLA D'ORO' DAY LILY 1 GAL. CONT.

DRYOPTERIS ERYTHROSORA AUTUMN FERN 1 GAL. CONT.

LIRIOPE SPICATA CREEPING LILYTURF 1 GAL. CONT.

* DROUGHT TOLERANT PLANTS PER GREEN SEATTLE GREEN FACTOR PLANT LIST

** DROUGHT TOLERANT PLANT REFERENCES:
- SUNSET WESTERN GARDEN BOOK
- GREAT PLANT PICKS
- ELISABETH C. MILLER BOTANICAL GARDEN

TREES



Acer saccharum Commemoration'
Commemoration Maple



Acer saccharum 'JFS-CADDO2'
'Flashfire' Maple

SHRUBS



Sarcococca Ruscifolia
Fragrant Sweet Box



Lonicera pileata
Privet Honeysuckle



Pieris japonica 'Cavatine'
'Cavatine' Japanese Andromeda



Rosa 'Amber' / Flower Carpet
Amber Groundcover Rose



Ilex crenata 'convexa'
Japanese Holly



Buxus microphylla 'Winter Gem'
Winter Gem Japanese Boxwood



Nandina 'Gulf Stream'
'Gulf Stream' Heavenly Bamboo



Equisetum hyemale
Horsetail

ACCENTS



Crocosmia 'Lucifer'
Crocosmia



Hemerocallis "Stella d'Oro"
"Stella d'Oro" Daylily



Dryopteris erythrosora
Autum Fern



Liriope spicata
Creeping Lilyturf

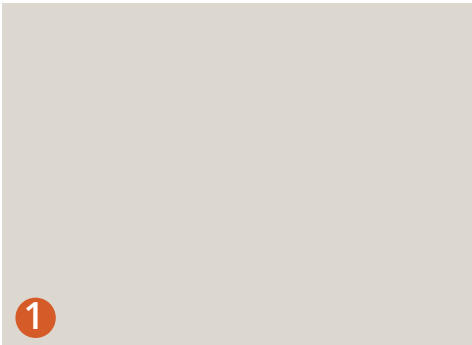
BIORETENTION

ELEVATIONS AND MATERIALS

CLARK
BARNES



NORTH ELEVATION



1
HARDIE PANEL SIDING 5/16"
DRIFT OF MIST SW 9166



2
TAYLOR METALS
DARK BRONZE



3
MUTUAL MATERIALS BRICK
COAL CREEK



4
HARDIE PANEL SIDING 5/16"
SEALSKIN SW7675



5
NICHHA VINTAGEWOOD
CEDAR



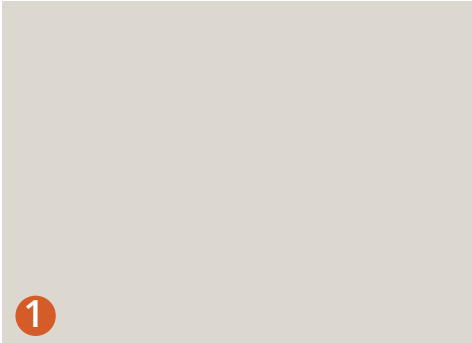
6
BLACK WINDOWS

ELEVATIONS AND MATERIALS

CLARK
BARNES



WEST ELEVATION



1
HARDIE PANEL SIDING 5/16"
DRIFT OF MIST SW 9166



2
TAYLOR METALS
DARK BRONZE



3
MUTUAL MATERIALS BRICK
COAL CREEK



4
HARDIE PANEL SIDING 5/16"
SEALSKIN SW7675



5
NICHHA VINTAGEWOOD
CEDAR



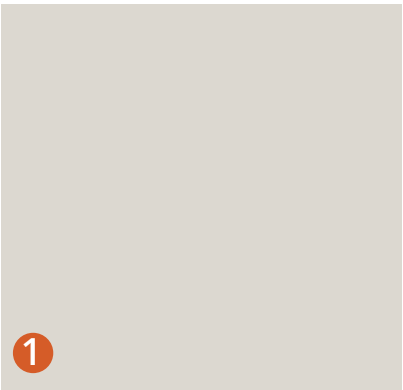
6
BLACK WINDOWS

ELEVATIONS AND MATERIALS

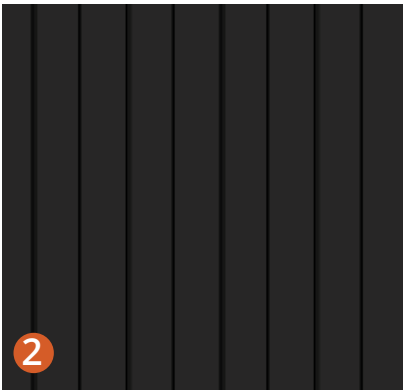
CLARK
BARNES



EAST ELEVATION



1
HARDI PANEL SIDING 5/16"
DRIFT OF MIST SW 9166



2
TAYLOR METALS
DARK BRONZE



3
MUTUAL MATERIALS BRICK
COAL CREEK



4
HARDI PANEL SIDING 5/16"
SEALSKIN SW7675



5
NICHHA VINTAGEWOOD
CEDAR




6
BLACK WINDOWS




SOUTH ELEVATION

MATERIAL BOARD

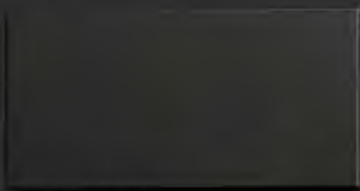
4800 40TH AVE SW



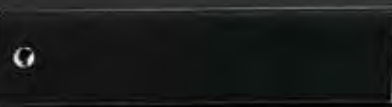
MUTUAL MATERIALS BRICK
COAL CREEK




GROUT - LATICRETE 45 RAVEN




STOREFRONT - BLACK




VINYL WINDOWS - BLACK



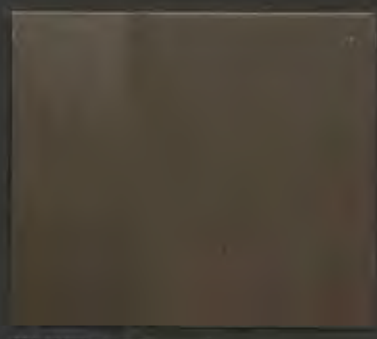
HARDIE PANEL SIDING 5/16\"
DRIFT OF MIST SW 9166




HARDIE PANEL SIDING 5/16\"
SEALSKIN SW7675



NICHIHA VINTAGEWOOD
CEDAR



TAYLOR METALS
DARK BRONZE

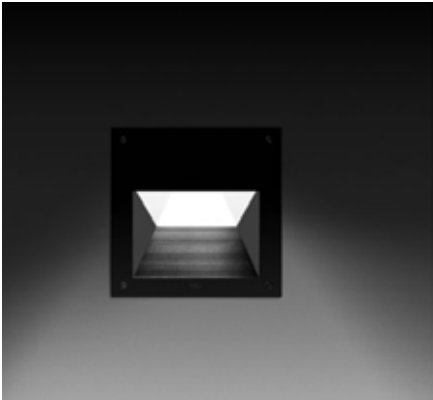


CLARK
BARNES

EXTERIOR LIGHTING



1. RECESSED CANOPY LIGHT



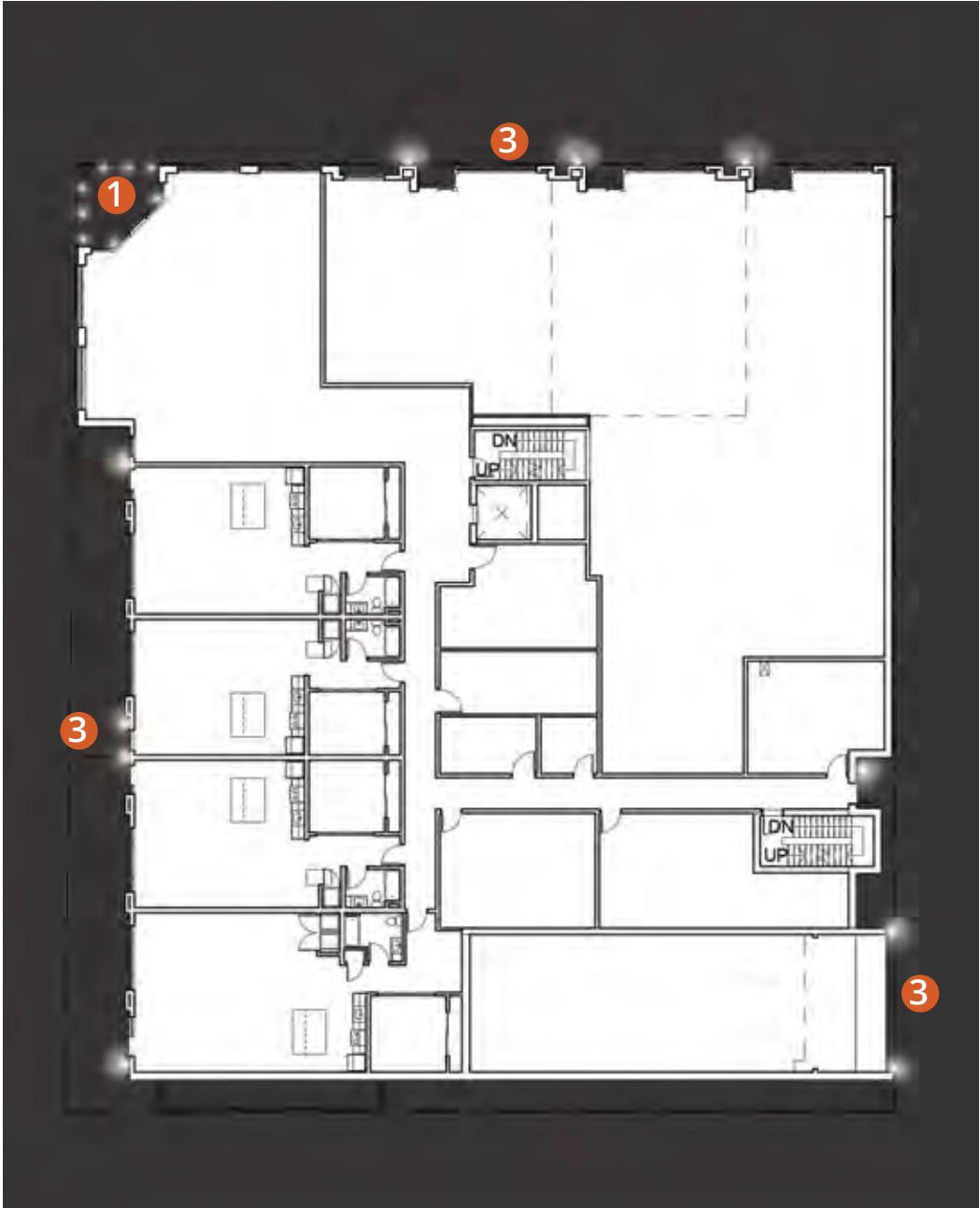
2. RECESSED WALL LIGHT



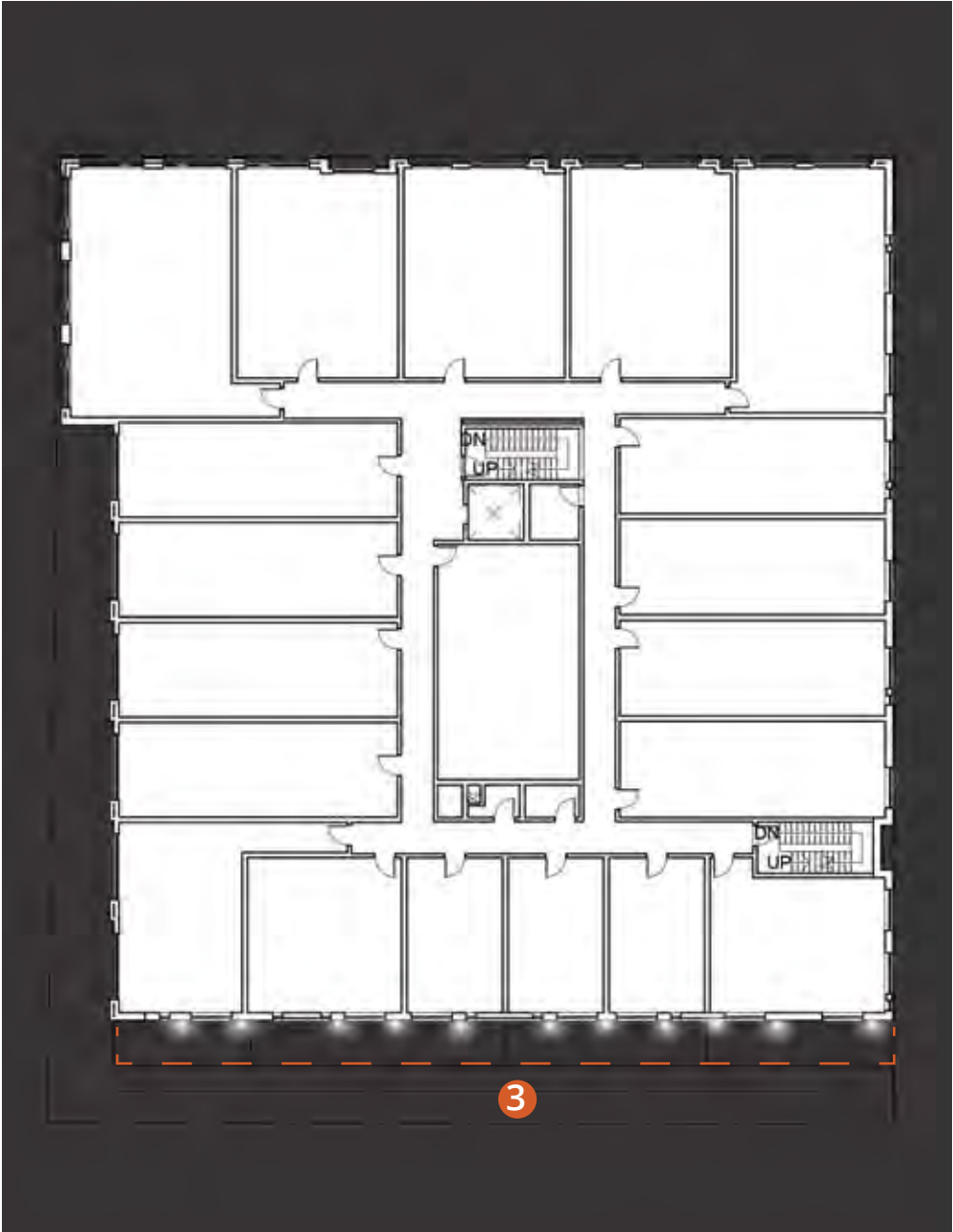
3. EXTERIOR SCONCE



4. STRING LIGHTS

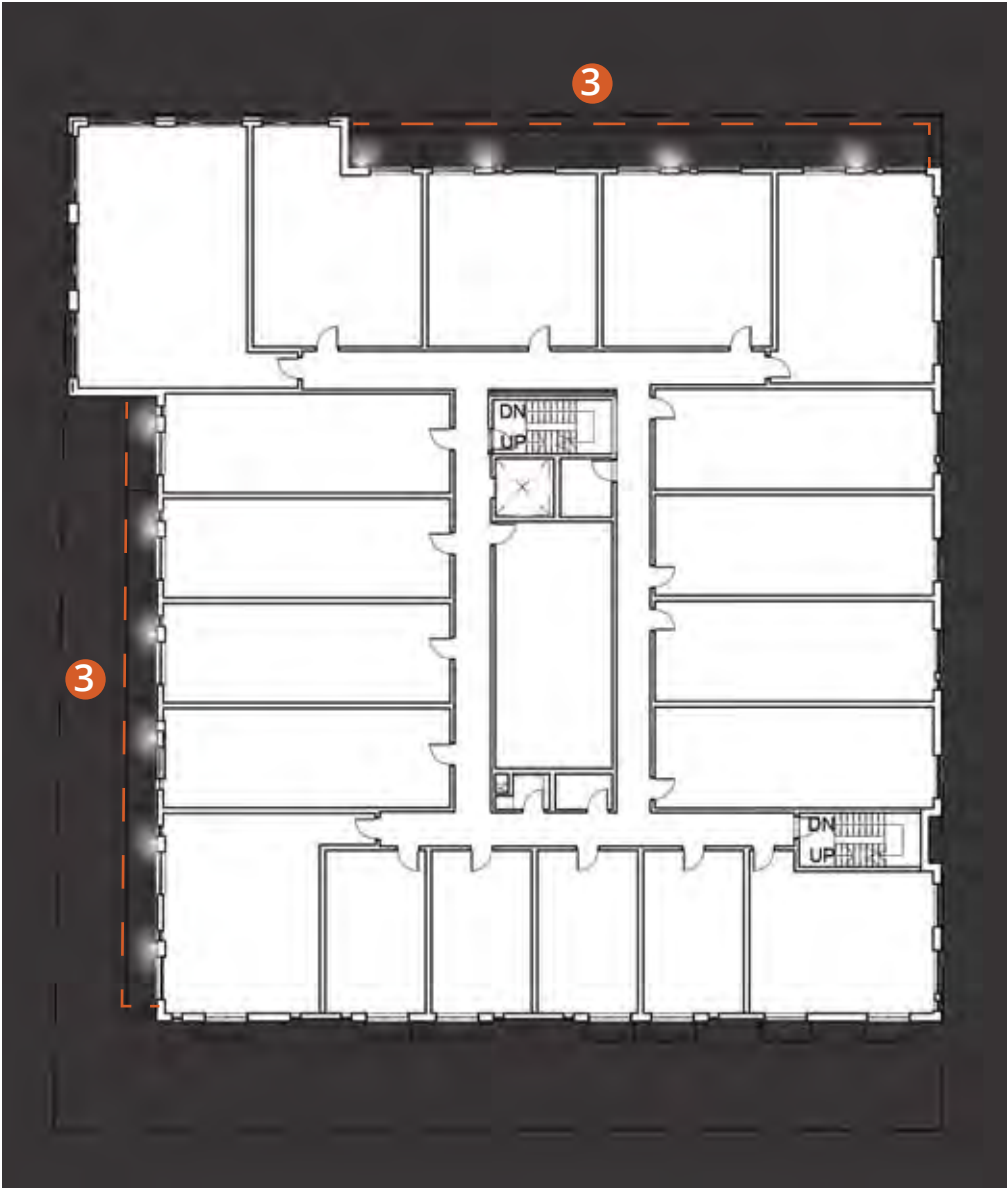


LEVEL 1

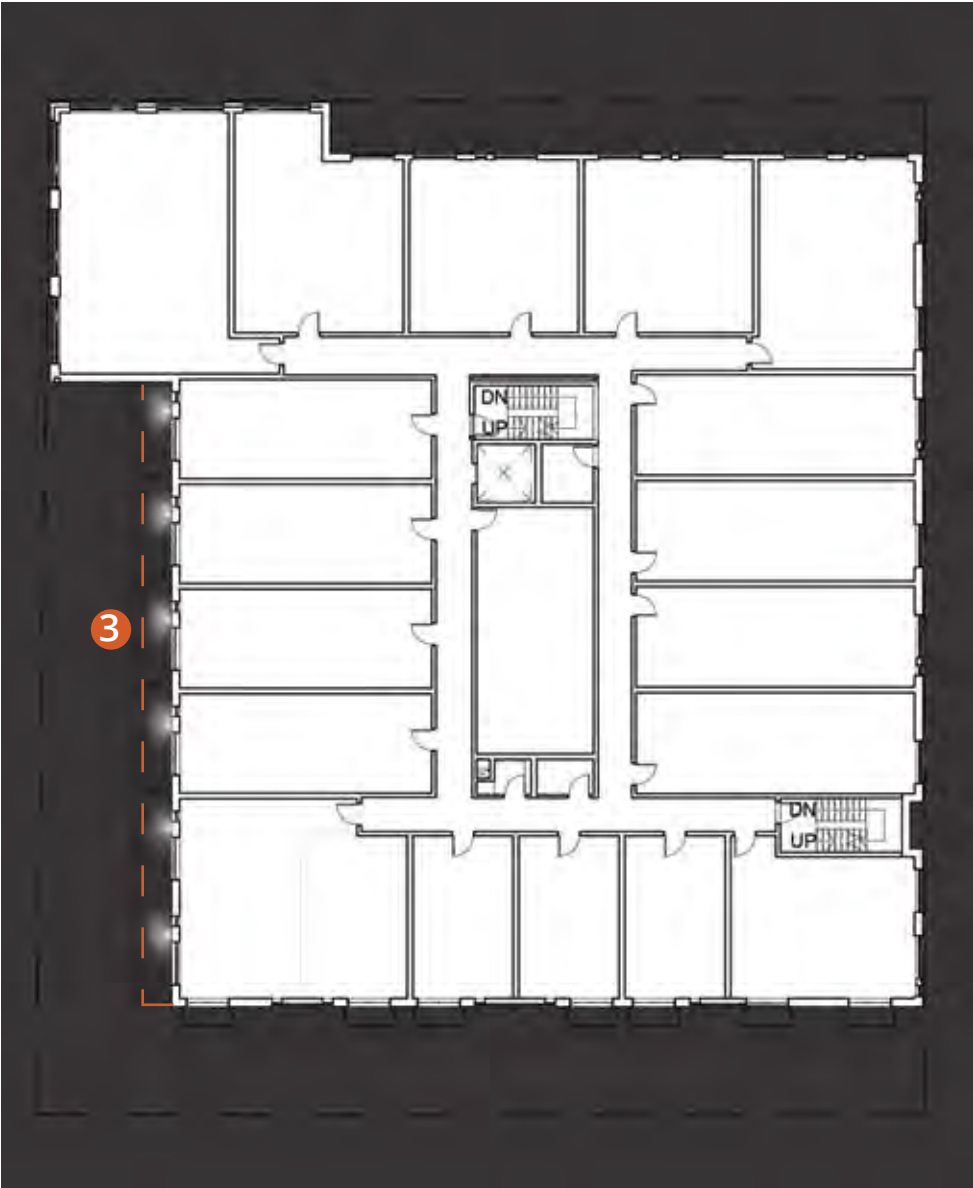


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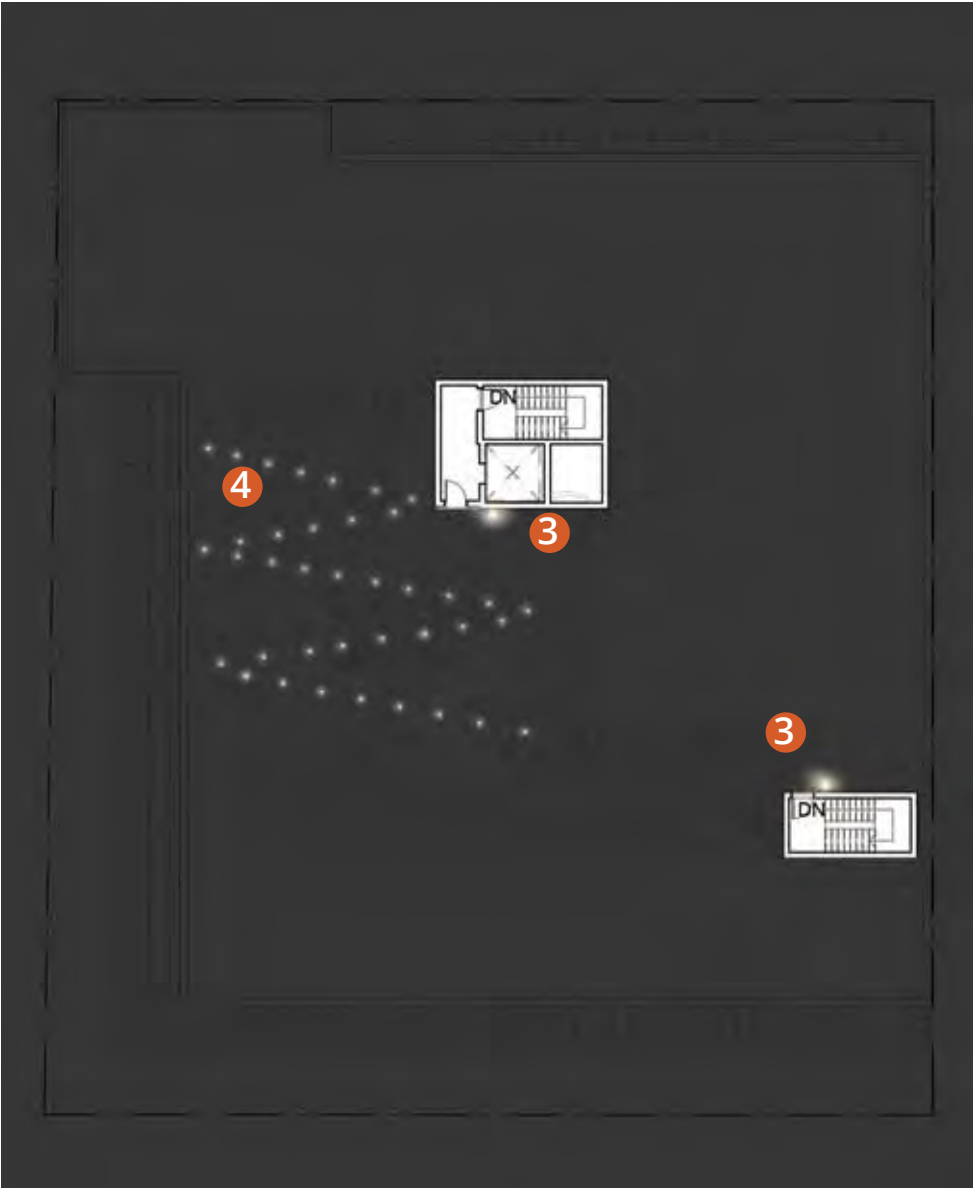
EXTERIOR LIGHTING



LEVEL 3



LEVEL 4



ROOF

SIGNAGE



1 - BUILDING SIGNAGE



2 - LIVE WORK / COMMERCIAL SIGNAGE

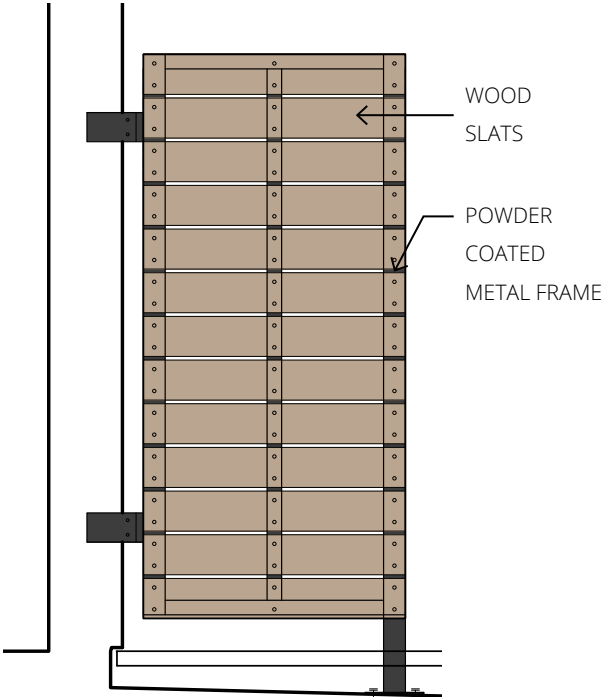
EXTERIOR ELEMENTS



1 - METAL AND WOOD CANOPY



2 - WOOD DECK DIVIDER

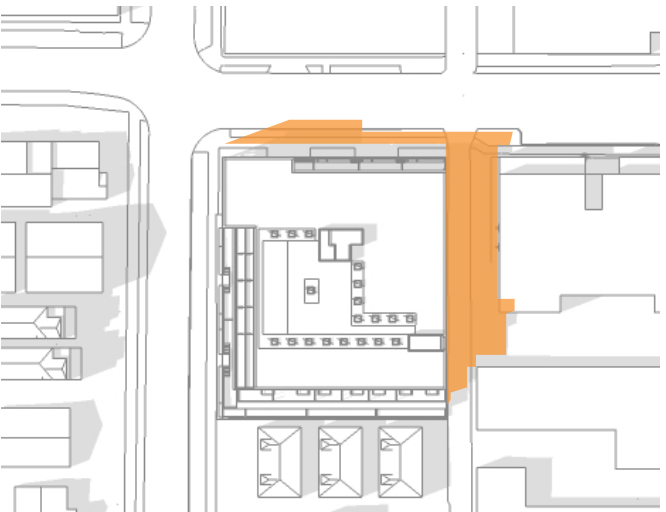


SHADOW STUDY

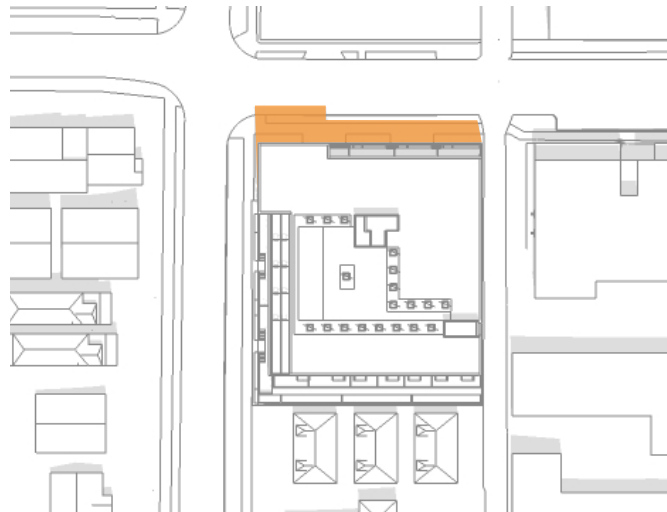
CLARK
BARNES

JUNE 21

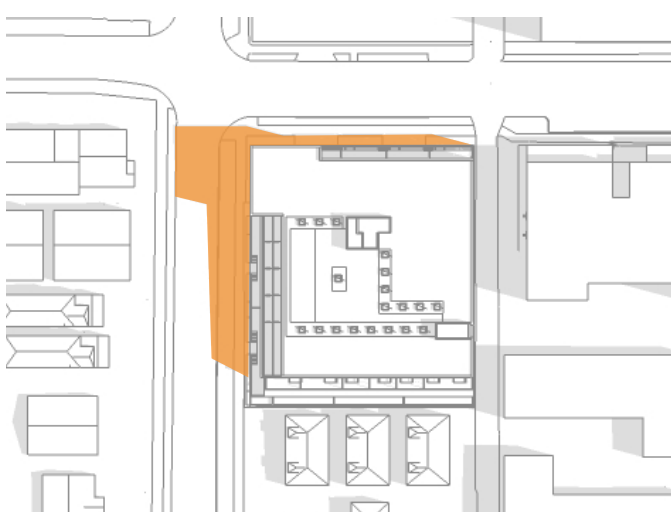
9 AM



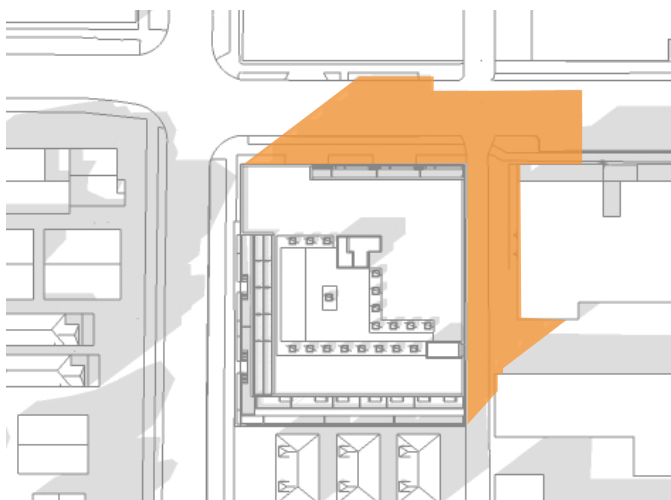
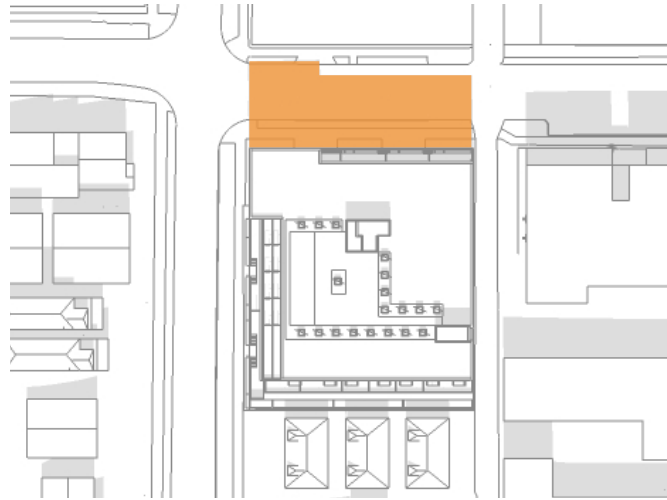
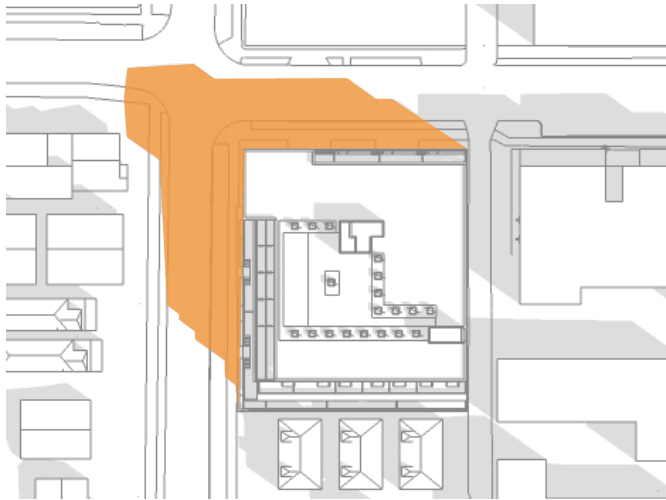
12 PM



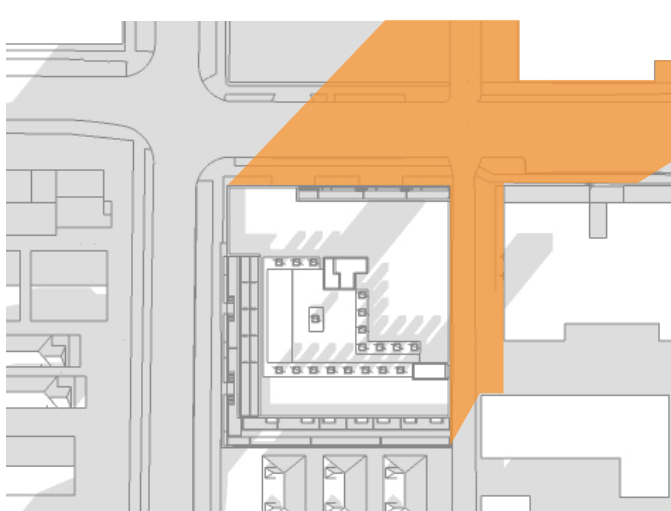
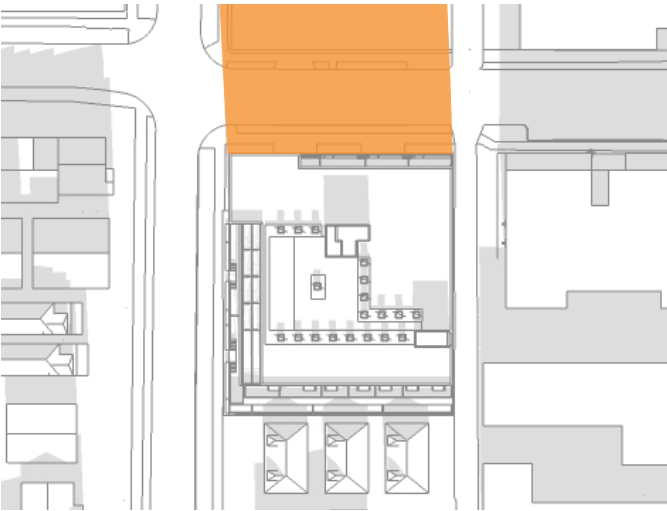
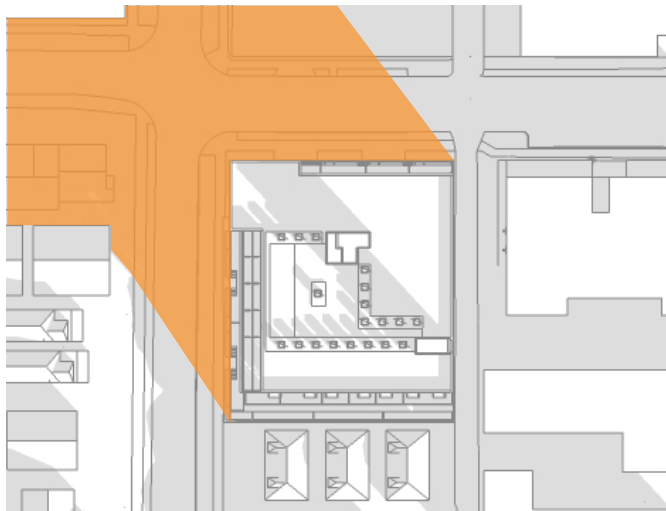
3 PM



SEPTEMBER 21



DECEMBER 21



CORNER VIEW

CLARK
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