

ADDRESS: 5458 California Avenue SW
Seattle, WA 98136

PROJECT #: 3024224

PARCEL #: 246190-0065

LOT SIZE: 4,999 SF

ZONE: NC2-30

ARCHITECT: FINCH DESIGN & PRODUCTION
Project Contact: Andrew Finch

5927 Atlas Place SW
Seattle, WA 98136
P: 206.633.1333
E: andrewfinch@finchlikethebird.com

OWNER: BAUHAUS PARTNERS, LLC

3.0, 4.0 PROPOSAL AND SUMMARY CONTEXT PROPOSAL

The proposed project is located in West Seattle at the intersection of California Avenue SW and SW Findlay Street. The 50' X 100' corner site is in the three block area between the West Seattle and Morgan Junctions. Existing structures, consisting of a one-story single family residence, currently occupied by a business, will be demolished and six new live-work units constructed. The lot is zoned neighborhood commercial, NC2-30, with no other zoning overlays.

The existing buildings around the site include mostly commercial, mixed-use and multi-family structures on California with single-family homes to the East and West. There are a number of local small businesses fronting this major arterial. It is designated a frequent transit corridor and the RapidRide C Line travels through the 9-block vicinity.

Directly adjacent to the North and East of the parcel are two mixed-use buildings with condos or apartments on the 2nd & 3rd floors and offices on the ground level. Two RapidRide stations are located at the intersection as well. The proposed live-work units will connect the street-level presence of the adjacent buildings and add residential and commercial density to the zone.

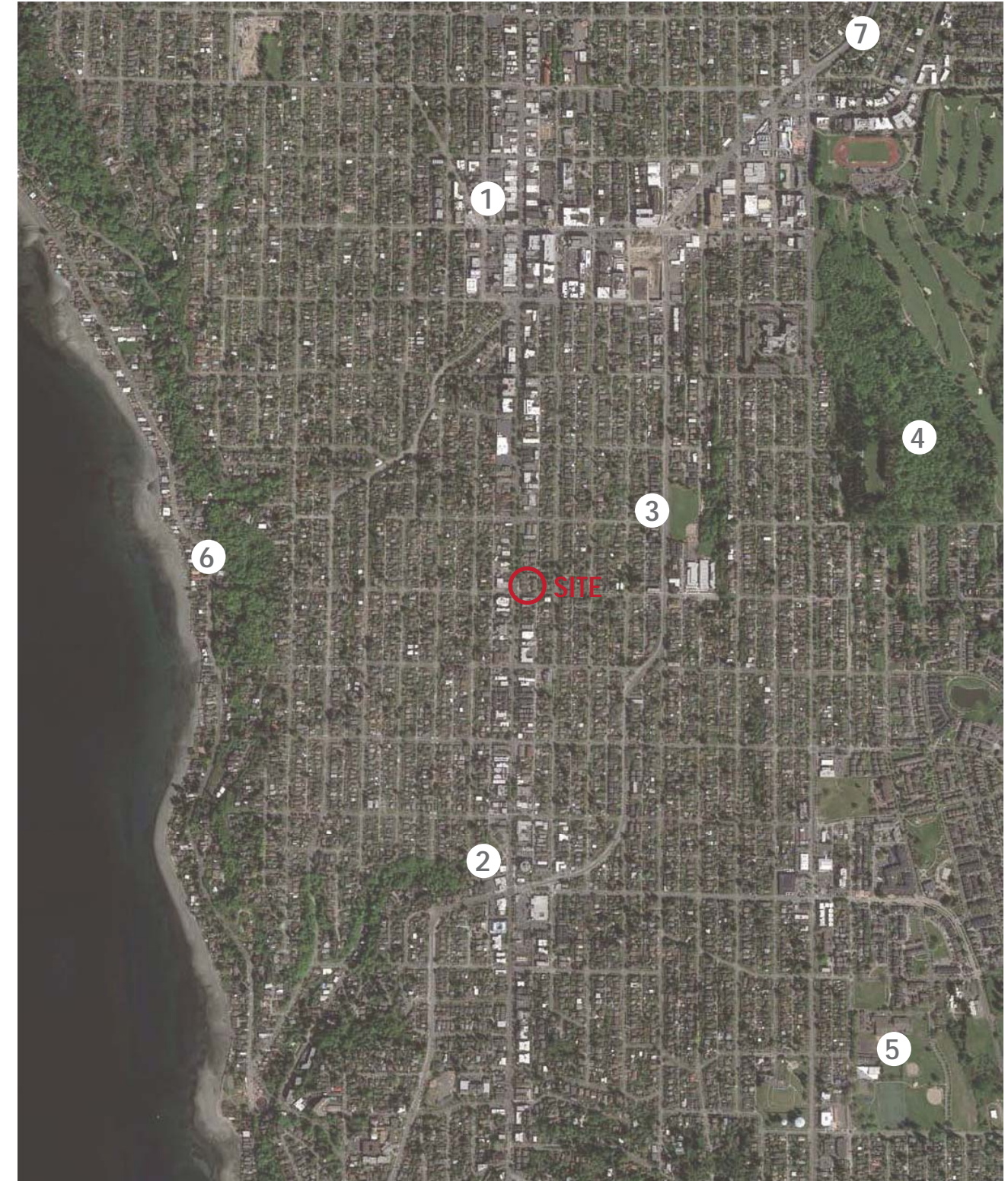
NUMBER OF LIVE-WORK UNITS: 6
 TOTAL GROSS FLOOR AREA: 8,982 SF
 TOTAL COMMERCIAL FLOOR AREA: 2,844 SF
 PARKING: None



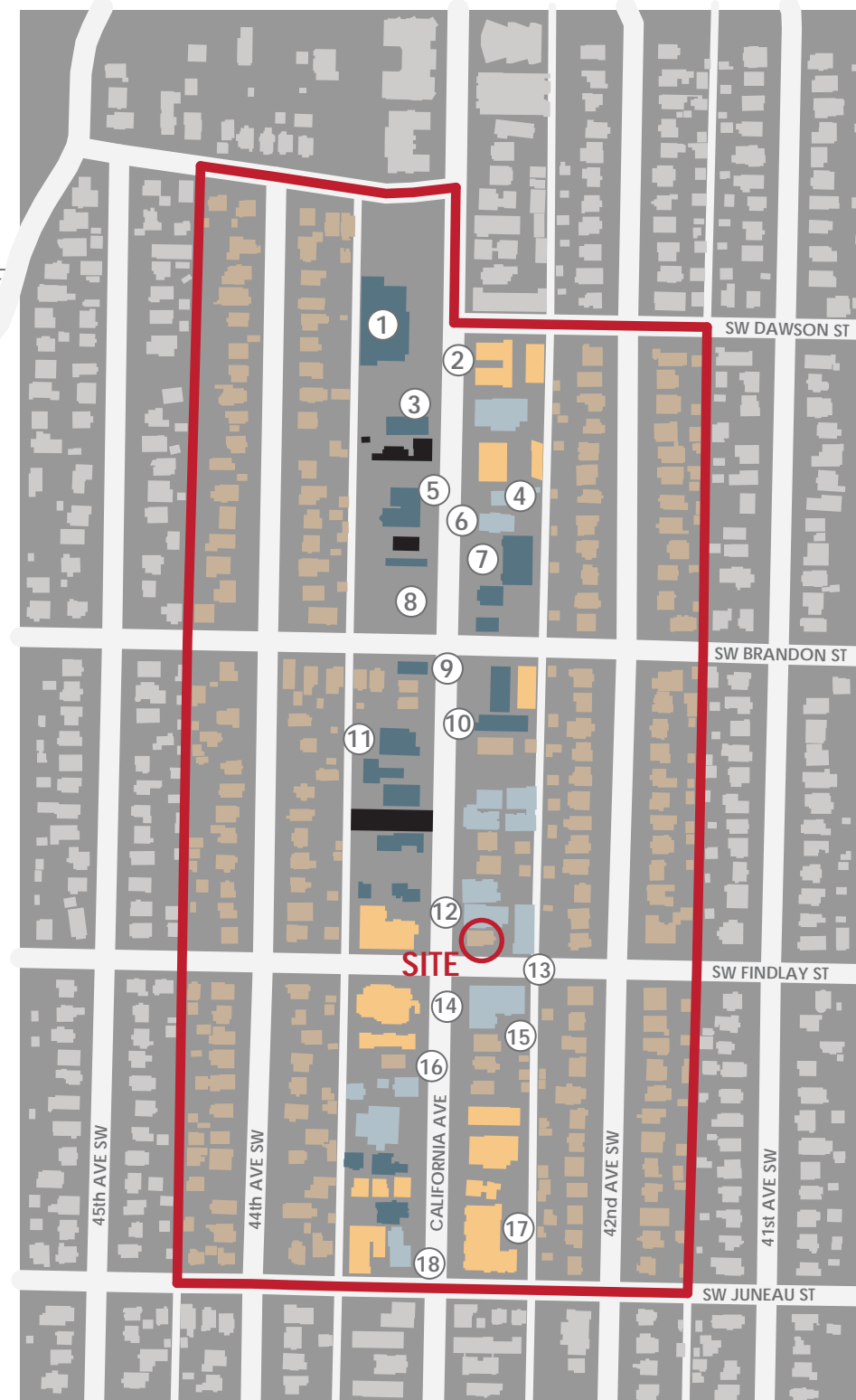
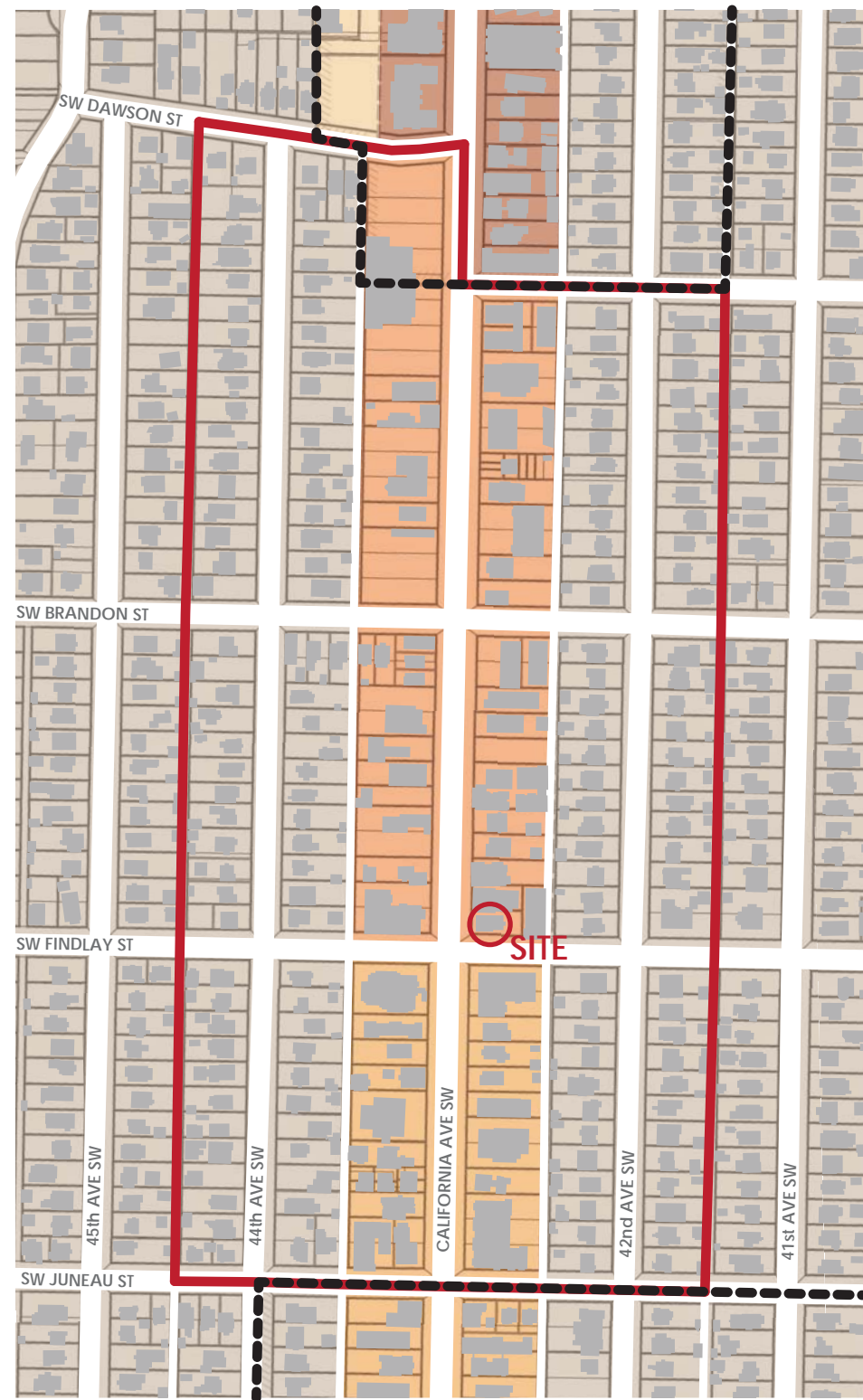
▲ 9-BLOCK VICINITY MAP

- ① WEST SEATTLE JUNCTION URBAN VILLAGE
- ② MORGAN JUNCTION RESIDENTIAL URBAN VILLAGE
- ③ FAIRMOUNT PARK & ELEMENTARY SCHOOL
- ④ CAMP LONG
- ⑤ WEST SEATTLE ELEMENTARY SCHOOL
- ⑥ BEACH DRIVE SW
- ⑦ FAUNTLEROY AVE SW TO WEST SEATTLE BRIDGE

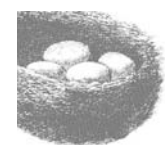
▶ AERIAL MAP



4.0, 5.0 SUMMARY CONTEXT ANALYSIS AND EXISTING SITE CONDITIONS



- COMMERCIAL
 - MIXED-USE
 - MULTI-FAMILY
 - SINGLE-FAMILY
 - PROJECTS UNDER CONSTRUCTION
- ① RITE-AID
 - ② DUNHAM APARTMENTS BUILT 1928
 - ③ EPHEBUS RESTAURANT
 - ④ NELCO REHABILITATION ASSOCIATES LIVE-WORK UNITS BUILT 2013
 - ⑤ WEST SEATTLE VETERINARY HOSPITAL
 - ⑥ M3 BODYWORKS APARTMENTS BUILT 1968
 - ⑦ JOHN L. SCOTT REAL ESTATE
 - ⑧ WEST SEATTLE NURSERY AND GARDEN CENTER NEW ANNEX TO BE COMPLETED 2016
 - ⑨ OUTWEST BAR
 - ⑩ WEST SEATTLE WHOLE HEALTH CENTER BUILT 1965
 - ⑪ INDIGO REAL ESTATE BUILT 1951
 - ⑫ CAREW LAW OFFICE CONDOMINIUM BUILT 2001
 - ⑬ SAFE HAVEN MASSAGE
 - ⑭ POTTER CONSTRUCTION LLC APARTMENTS BUILT 1966
 - ⑮ C&P COFFEE COMPANY HOUSE BUILT 1915
 - ⑯ ILLUSIONS HAIR DESIGN APARTMENTS BUILT 1949
 - ⑰ GREEN ACRES APARTMENTS APARTMENTS BUILT 1968
 - ⑱ MORGAN JUNCTION CROSSFIT



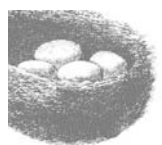
4.0 9-BLOCK AXONOMETRIC



Three and four-story apartment or condo buildings border the project site across each street and at the adjacent lots. Three of the five buildings are mixed-use and have commercial space at the ground level.

The projects currently under construction in the 9-block vicinity include a mixed-use building (farthest North), and an expansion of the West Seattle Nursery & Garden Center. The site farthest to the South will include three live-work units fronting California, with a two-unit townhouse building and two single-family residences behind them.

 PROJECTS UNDER CONSTRUCTION



6.0 ZONING SUMMARY

SMC SECTION	SMC REQUIREMENT	SMC SECTION	SMC REQUIREMENT
PERMITTED/PROHIBITED USES		LANDSCAPING AND SCREENING	
SMC 23.47A.004 TABLE A	Live-Work Permitted in NC2-30 zones	SMC 23.47A.016.A.2	Landscaping that achieves a Green Factor score of 0.3 or greater is required for any lot with: b) development containing more than 4,000 new SF of non-residential uses.
STREET-LEVEL DEVELOPMENT STANDARDS			<i>Required: The Green Factor will include the ROW area</i>
SMC 23.47A.008.A.2.b	Blank segments of the street facing facade between 2' and 8' above the sidewalk may not exceed 20' in width	SMC 23.47A.016.B.1	Street trees are required when any development in proposed.
			<i>Street trees are waived on California Ave SW because of the RapidRide bus shelter. Two to three street trees will be provided on Findlay between the sidewalk and lot line as the planting strip is not wide enough.</i>
SMC 23.47A.008.A.2.c	Total blank segments may not exceed 40% of the width of the facade of the structure along the street.	SMC 23.47A.016.C.1	Any screening shall be at least as tall as the height specified in subsection 23.47A.016.D. TABLE D: c) Garbage cans, min. requirement: 3' high screening
SMC 23.47A.008.A.3	Street-facing facades shall be within 10' of the street lot line		
SMC 23.47A.008.B.2.a	60% of the street-facing facade between 2' and 8' above the sidewalk shall be transparent.	FAR	
		SMC 23.47A.013 TABLE A	Maximum floor area ratio = 2.25 (any single-use)
SMC 23.47A.008.B.2.b	Transparent areas shall be designed and maintained to provide views into and out of the structure.	SETBACKS	
		SMC 23.47A.014.B	Setbacks required for lots abutting or across the alley from residential zones
SMC 23.47A.008.B.3	Non-residential uses shall extend an avg. depth of 30' and a min. depth of 15' from the street-facing facade.	WASTE STORAGE	
		SMC 23.54.040 TABLE A	Non-residential development 5,001 - 15,000 SF = 125 SF
SMC 23.47A.008.B.4	Non-residential uses shall have a floor-to-floor height of at least 13'.		<i>Seattle Public Utilities has verified that garbage, recycling, and compost may be consolidated into a single shared space.</i>
STRUCTURE HEIGHT		OFF-STREET PARKING	
SMC 23.47A.012.A.1.a	The height may exceed the limit by 4' max. when 1) Either, a) A floor-to-floor height of 13' or more is provided for non-residential uses at street-level 2) The additional height will not allow another story.	SMC 23.54.015.C.2 TABLE A	Row D, Live-Work Units: 0 spaces for units with 1,500 SF or less; 1 space for each unit greater than 1,500 SF.
			<i>No parking proposed: Unit gross floor area 1,500 SF or less</i>
SMC 23.47A.012.C.4.f	Stair penthouses may extend above the height limit up to 16'. The coverage shall not exceed 25% of the roof area.	BICYCLE PARKING	
		SMC 23.54.015.K	In the case of a use not shown on Table D there is no min. bicycle parking requirement.
			<i>All but one unit has a bicycle storage area.</i>
		SEPA	
		SMC 25.05.800 TABLE B	Exemption for non-residential uses outside urban centers and urban villages containing SAODs = 4,000 SF of gross floor area or less
			<i>SEPA Environmental Checklist Required</i>



6.0 EDG ARCHITECTURAL MASSING CONCEPTS

MASSING CONCEPT A (PREFERRED)



The live-work units are distributed evenly between two structures with three units facing California and three facing Findlay. The massings relate to one another while responding to the different character of the two streets. This option has the most live-work units facing California. All of the first-floor slabs step to provide entries level with the sidewalk. This option is built out to the South lot line providing a strong urban edge, but is softened by the landscaping in the ROW.



These options explore how to address the dichotomy between creating transparency/visibility at the street-level and providing a sense of privacy from the RapidRide bus shelter. With the widest setback from California, the entry elements will provide a buffer between large windows spanning the building width at ground-level and the commuters waiting at the bus shelter.

MASSING CONCEPT B



The units are grouped in a single structure and all work space entrances face Findlay. The facade is stepped to add depth and a gradient of privacy from the intersection. Set back over 7' from the South lot line a wider pedestrian space is provided off the major arterial. The Findlay elevation has a rhythm in its modulation compared to California. The walkway is stepped to accommodate the grade change with level entrances from the sidewalk to each set of units.



The ground-level of this concept will have the most privacy in relation to the RapidRide station with only one unit having windows facing California. More window coverage and the wider pedestrian pathway focuses attention on the corner while the more opaque facade directly behind the bus shelter and planter boxes maintains privacy.

Massing Concept B selected by Design Review Board.

MASSING CONCEPT C



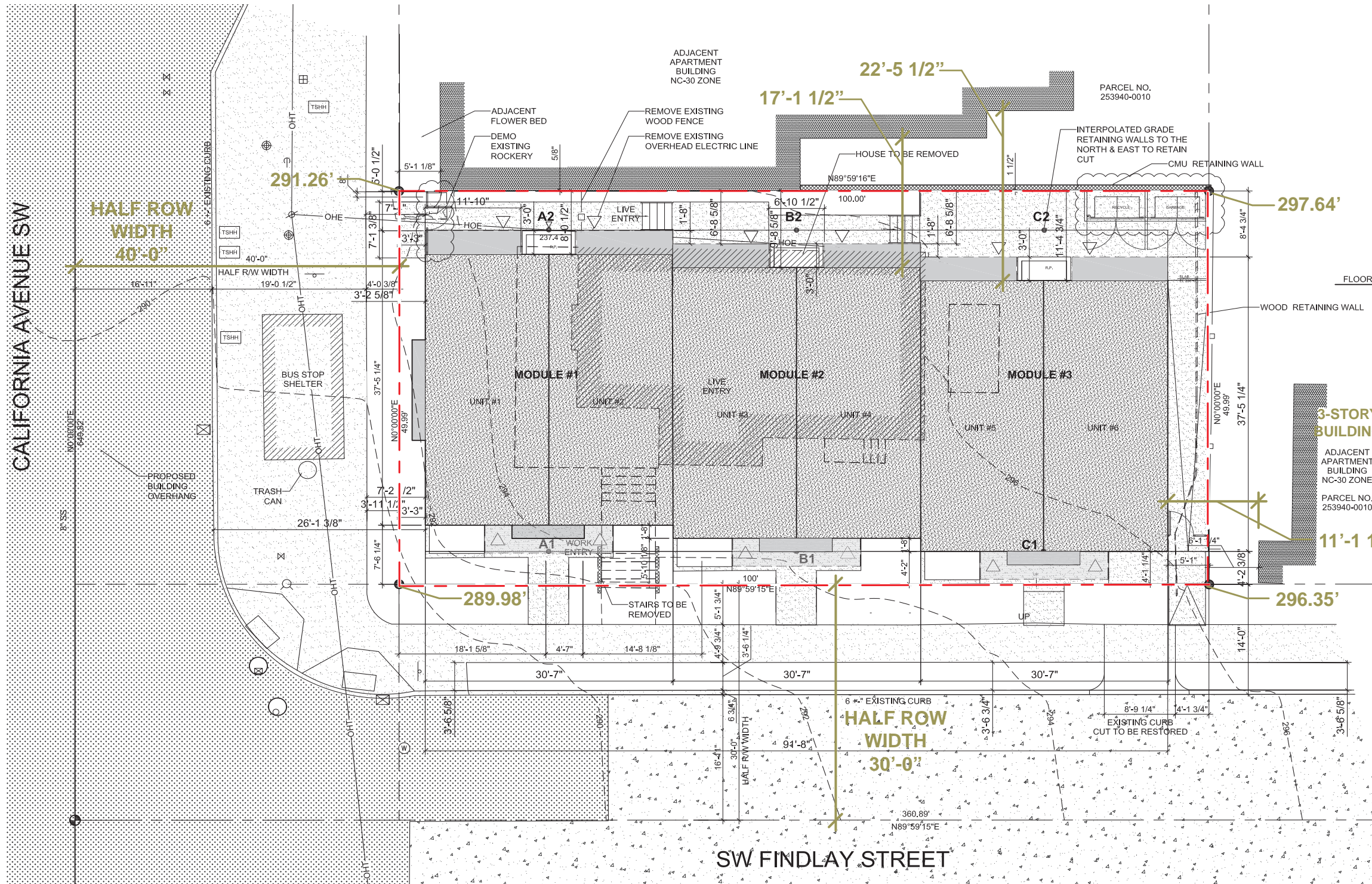
This hybrid option has two structures; one two-unit structure facing California and a four-unit structure on Findlay. The two-unit structure is set back farther from the South lot line to roughly center it on the Rapid Ride shelter and provide a wider pedestrian space at the corner. There is a greater degree of difference in the massings with the California units having no decks at the living spaces and instead a glass canopy for weather protection.



The entrances to the California units will be to either side of the bus shelter so their visibility is not blocked to passing vehicular traffic or pedestrians on the opposite sidewalk. Large windows and overhead protection wrapping the corner will add visual interest while the area behind the shelter would be punctuated with small openings only.



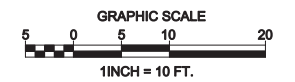
7.0 COMPOSITE SITE PLAN



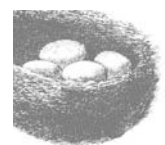
LEGAL DESCRIPTION

THE WEST 100 FEET OF LOT 12, BLOCK 1, FAIRMONT ADDITION TO WEST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 33, IN KING COUNTY, WASHINGTON

SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON



DRAWING KEY			
	ADJACENT STRUCTURE		WATER MHZ
	EXISTING STRUCTURE TO BE REMOVED		WATER VALVE
	PROPOSED BUILDING FOOTPRINT		FIRE HYDRANT
	PROPOSED BUILDING OVERHANG		CATCH BASIN
	PROPOSED ROOF / DECK OVERHANG		SANITARY SEWER MANHOLE
	PROPOSED PERVIOUS/ IMPERVIOUS SURFACE		UTILITY POLE
	EXISTING CONCRETE SURFACE		SIGN
	EXISTING ASPHALT SURFACE		GROUND ROD LID
	ENTRY		TRAFFIC SIGNAL HAND HOLE
			POWER METER
			GAS METER
			WATER METER



8.0 ITEMIZED RESPONSE TO EDG

EDG CORRECTIONS

MATERIALS

Further refine material composition. The Board was supportive of the precedent imagery presented at EDG which included integration of brick/masonry and wood, adding warmth and a textural experience of the pedestrian realm. Perhaps the concrete block is appropriate behind the bus stop. However, as the live/work units wrap the corner how can materials and secondary elements- canopy etc. be used to distinguish the corner expression. Please clarify if all reveal lines are shown in the long panels which are used to create a lap siding treatment. Will these long panel pieces be further broken up vertically?

CORNER

Again, further explore options for resolving the corner.

FACADE DEPTH/FENESTRATION/BALCONIES

The façade currently reads very flat. Please refer to the precedent imagery from the EDG packet (page 14). These images depict subtle moves in the massing to provide rhythm and break up the bulk and scale of the buildings. In addition, secondary architectural elements (balconies/railings etc.) further breakup the façade, even when the window proportion remain relatively the same. Additional depth should be systematically integrated where appropriate to create further visual interest, as shown in the precedent images.

RETAIL/COMMERCIAL EXPRESSION

Explore reducing the panels from the first to second floors to increase transparency and create a two-story commercial gesture, or explore other design solutions to further mark these entries and the base as retail/commercial space.

BLANK FACADE

On the east elevation please resolve where the flat panel is wrapped within the window band. Perhaps the bottom band could carry through to match the language of the top band (in between the windows). This seems to be shown on the elevation sheet A2.1, please reflect this in the provided rendering. Provide window overlay/privacy study.

SECURITY/LIGHTING

1. Further clarify the intention to gate the site and how this would be located and designed.
2. At the next meeting and site lighting for security. PL2-B, DC4-C

RESPONSES

MATERIALS

The CMU block has been eliminated entirely. Prodeca wood panels have been added to the commercial entry's adding interest and warmth to the pedestrian level. The corner expression has been strengthened by adding a glass corner that now extends three stories. The top floor now includes a wraparound deck on the third floor.

CORNER

The corner has been emphasized by extending a three-story glass corner wall that's anchored on either side by bump out masses. To further emphasize the corner the top floor now includes an asymmetrical wrap around deck & roof.

FACADE DEPTH/FENESTRATION/BALCONIES

Balconies, bump outs, and roofs have been added to increase depth & interest. The east elevation in the model has been corrected.

RETAIL/COMMERCIAL EXPRESSION

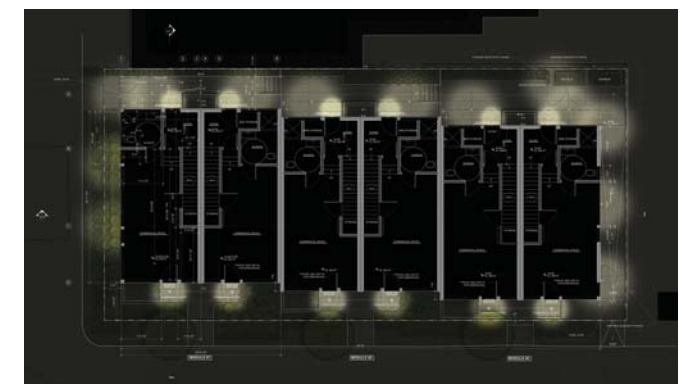
The building now has a two-story glass gesture.

BLANK FACADE

The reveal lines in the siding is not being broke up any further than shown in the elevations the intent for the "s" shape on the east elevation to read as one element.

SECURITY/LIGHTING

1. Please see plans and elevations.
2. See blown up Exterior Lighting Plan on sheet 29 for site lighting diagram with fixtures and callouts.



8.0 ITEMIZED RESPONSE TO EDG

EDG CORRECTIONS

LANDSCAPING

1. The Board discussed the roof top amenity spaces and encouraged further detailing the space to provide maximum privacy, locating active areas toward the street and planting to provide buffer from adjacent residential structures. CS2-D-5, PL1-C-1
 2. The Board requested additional information regarding the proposed ground floor landscaping and hardscape be provided at the next meeting. DC4-D

GARBAGE

The Board directed further resolution of the garbage staging area and to accurately show the area on the plans. DC1-C

SIGNAGE

At the next meeting provide details on the lighting and signage for the live/work businesses. DC4-B, DC2-C

TREES

Provide a tree survey/Arborist report which includes genus, species, and size for all existing trees. Identify trees to remain and trees to be removed. This information is required to verify no significant trees, as defined by DR16-2008, are being removed.

LANDMARKS

Per SEPA Checklist item B13, please prepare a brief historic analysis of the existing building to be demolished, to be submitted to the Department of Neighborhoods for their review.

POSSIBLE CMP REQUIRED

Please clarify the anticipated level of excavation, trucks, where staging will occur, and people will park. Do you plan on closing an portion of the adjacent streets?

RESPONSES

LANDSCAPING

Please see Composite Landscape/Hardscape Plan sheets 15 through 21.

GARBAGE

See added detail on Ground Floor Plan on page 10.

SIGNAGE

See Signage Concept Plan on sheet 30.

TREES

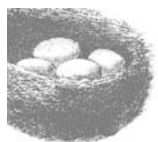
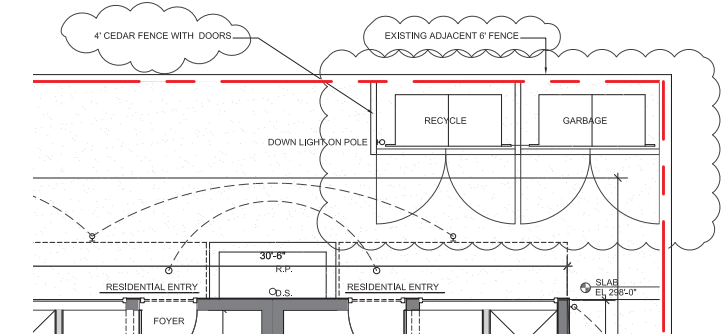
There are no trees to document.

LANDMARKS

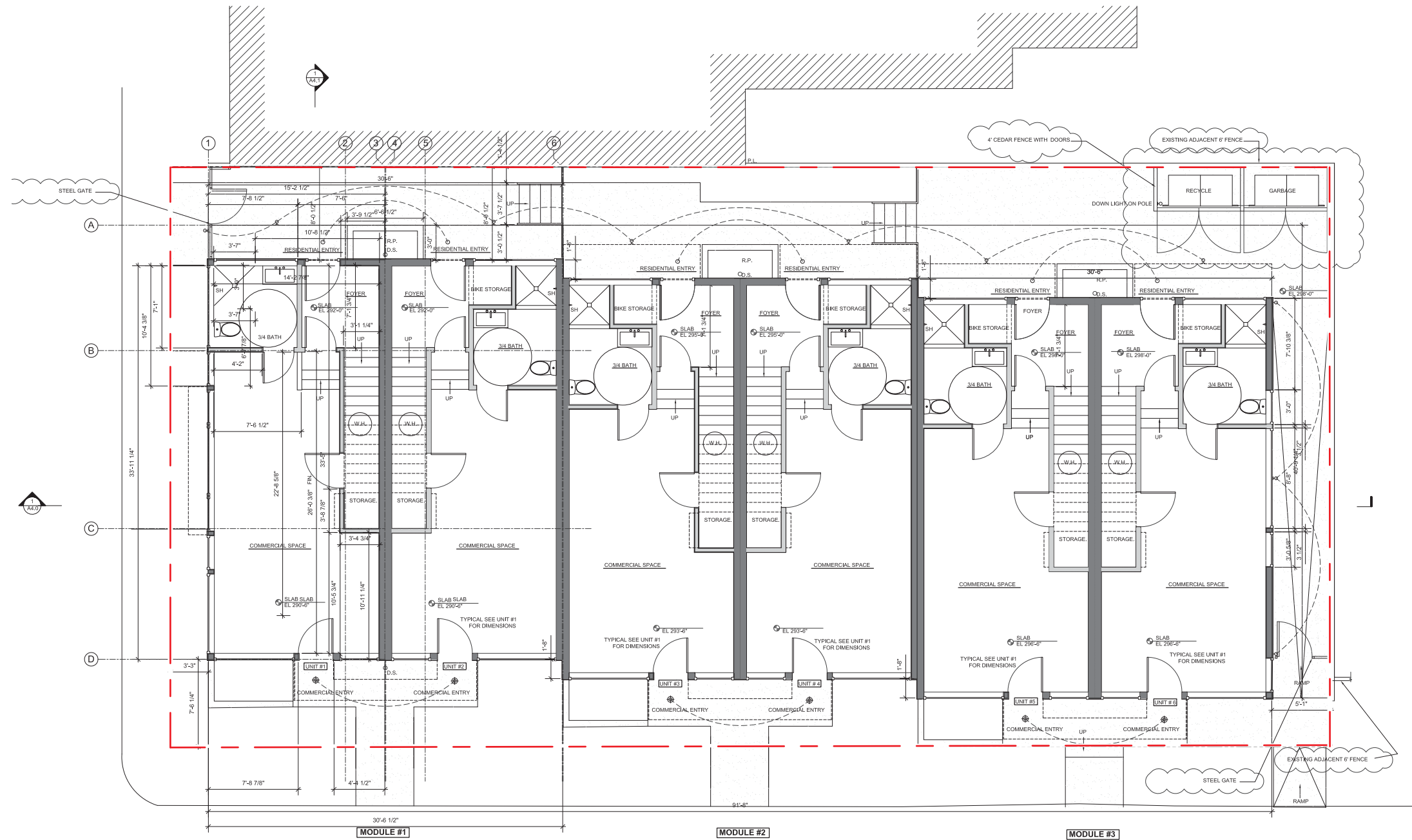
No historical significance. See added documentation. The existing house will be moved if we can get a permit in time.

POSSIBLE CMP REQUIRED

See letter from the contractor no CMP needed.



9.0 GROUND FLOOR PLAN



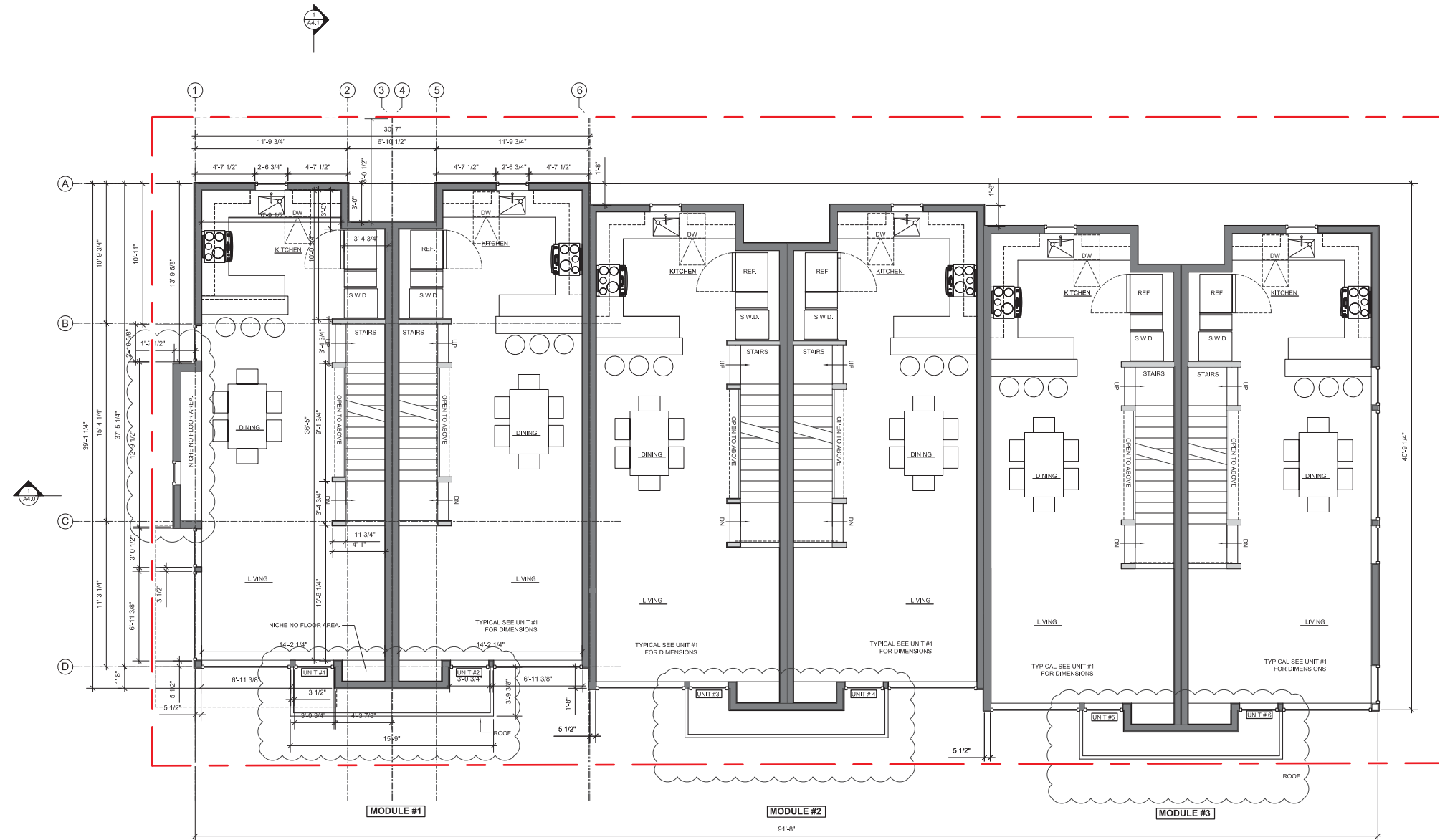
1 GROUND LEVEL PLAN

- WALL KEY**
- 2X4 STUD WALL - TYPICAL
 - 2X6 STUD WALL - TYPICAL
 - CONCRETE WALL - TYPICAL

- LIGHTING FIXTURE KEY**
NOTE: EXTERIOR LIGHTING TO BE SET ON SENSITIVE TIMER
- RECESSED DOWNLIGHT
 - WALL MOUNTED FIXTURE ADJUSTABLE DOWN LIGHT
 - SURFACE MOUNTED FIXTURE
 - WIRE PULLS



9.0 FIRST FLOOR PLAN

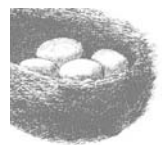
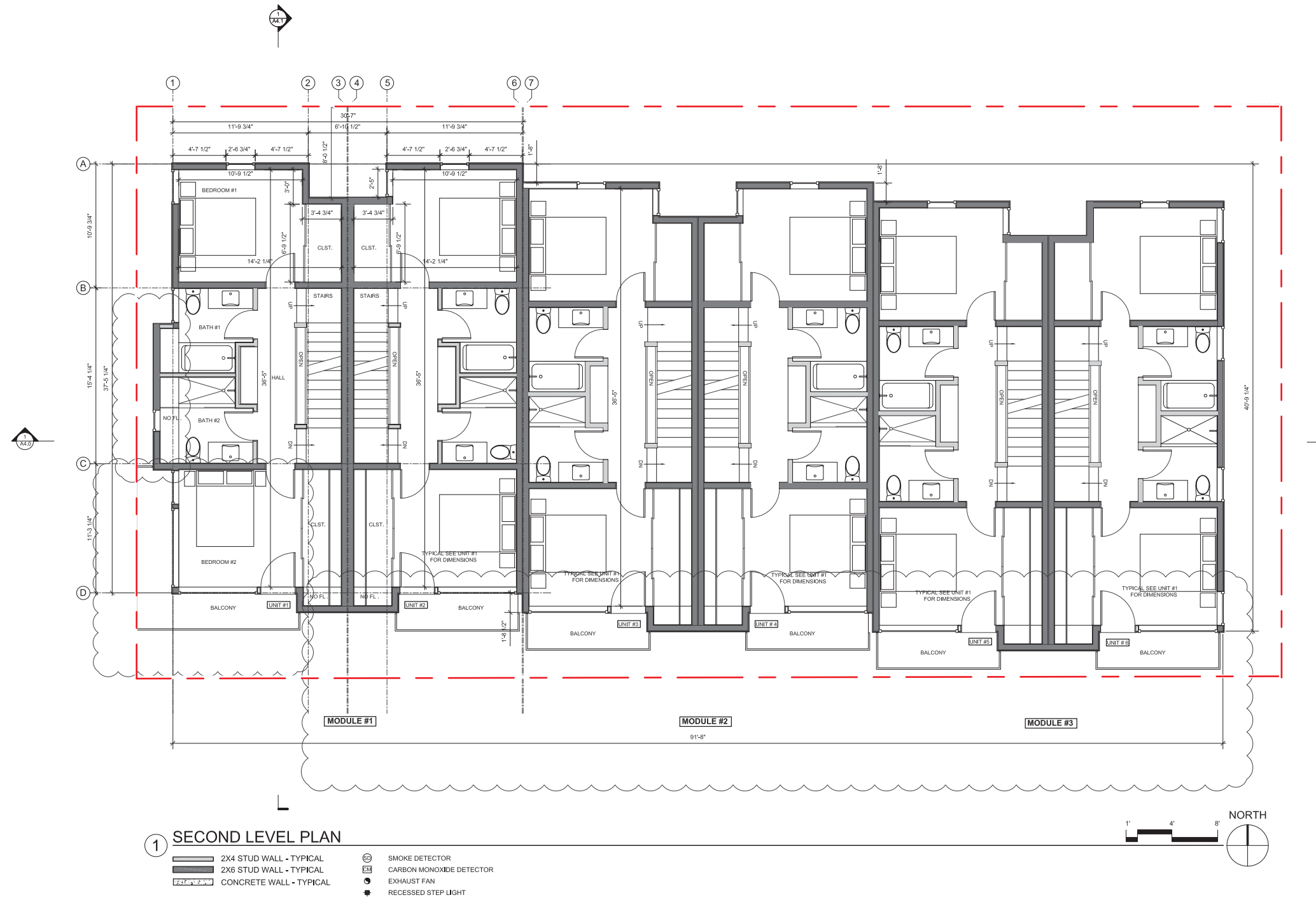


1 FIRST LEVEL PLAN

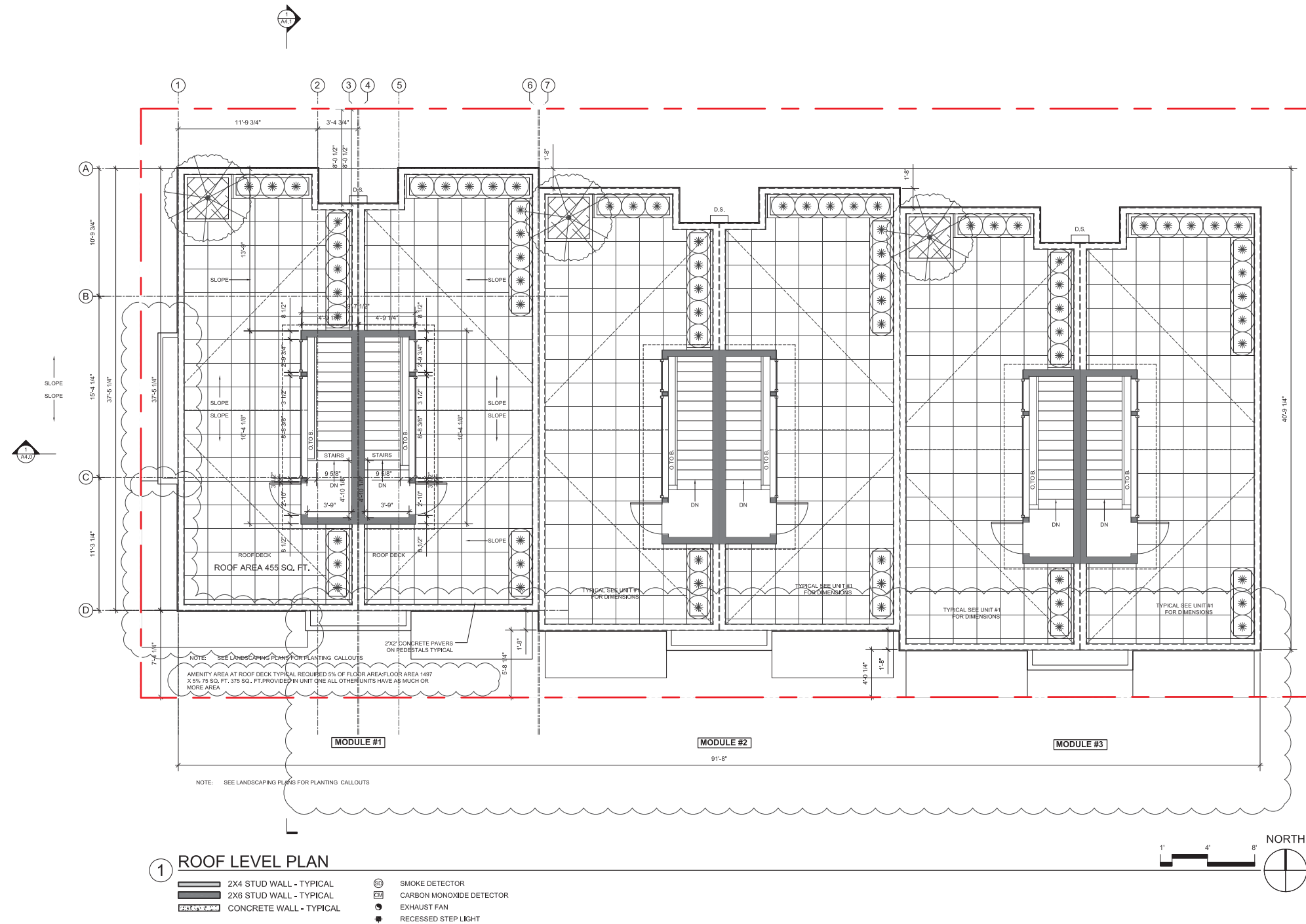
- 2X4 STUD WALL - TYPICAL
- 2X6 STUD WALL - TYPICAL
- CONCRETE WALL - TYPICAL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN
- RECESSED STEP LIGHT



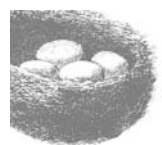
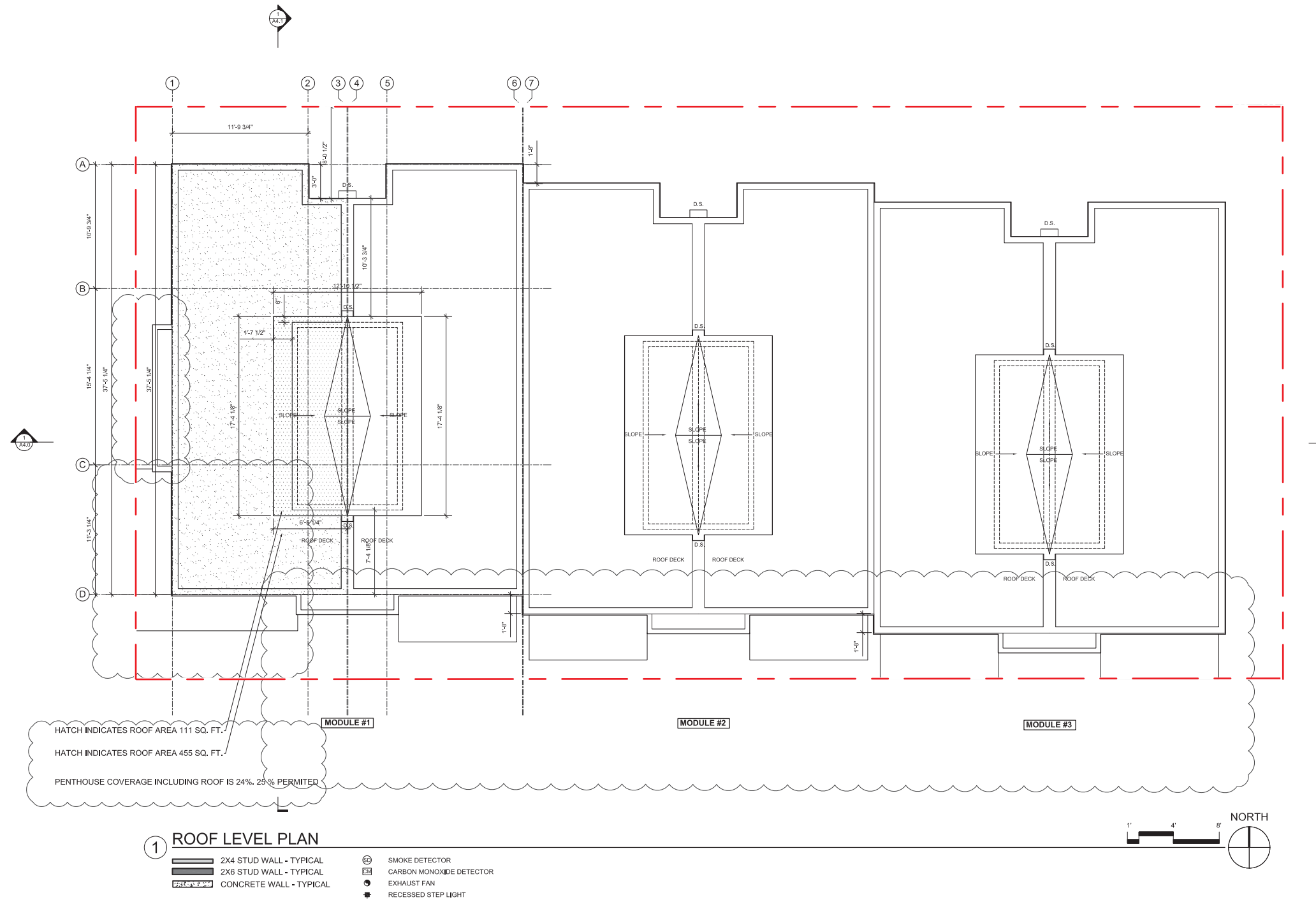
9.0 SECOND FLOOR PLAN



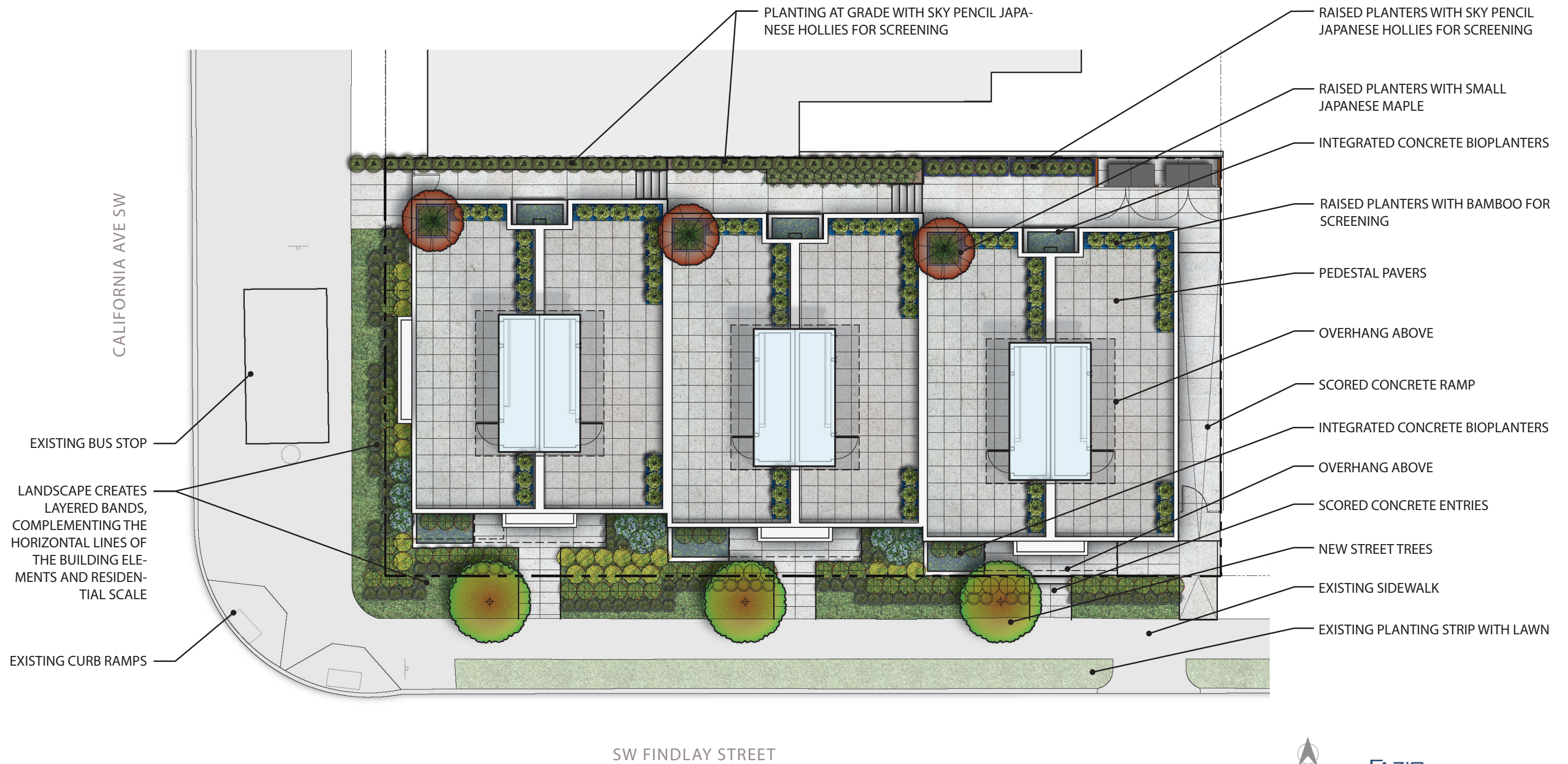
9.0 THIRD FLOOR PLAN



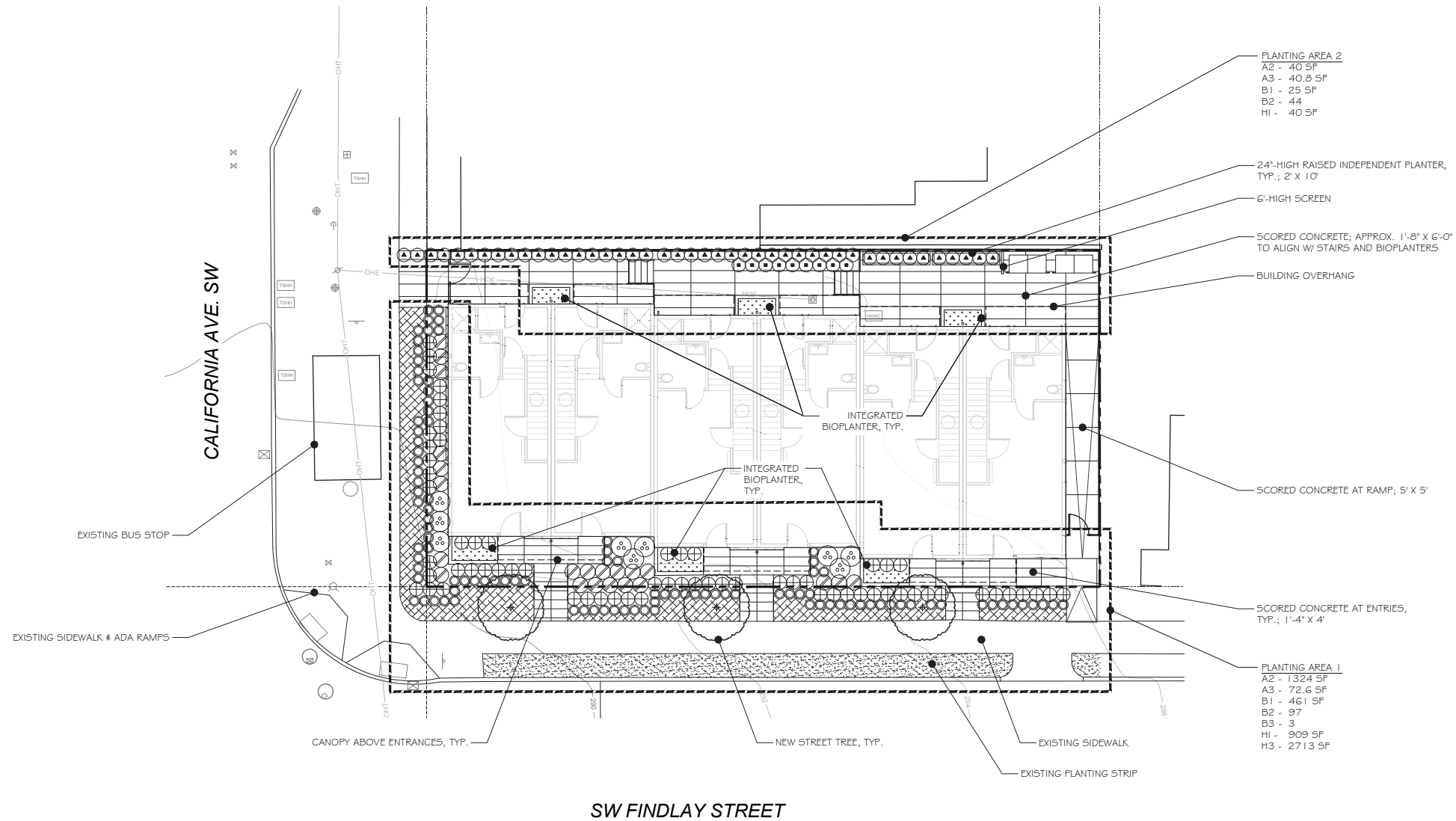
9.0 ROOF PLAN



10.0 COMPOSITE LANDSCAPE/ HARDSCAPE PLAN



10.0 COMPOSITE LANDSCAPE/ HARDSCAPE PLAN



PLANTING AREA 2
 A2 - 40 SF
 A3 - 40.8 SF
 B1 - 25 SF
 B2 - 44
 H1 - 40 SF

24"-HIGH RAISED INDEPENDENT PLANTER, TYP.; 2' X 10'

6'-HIGH SCREEN

SCORED CONCRETE; APPROX. 1'-8" X 6'-0" TO ALIGN W/ STAIRS AND BIOPLANTERS

BUILDING OVERHANG

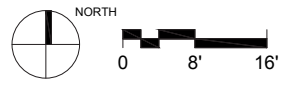
SCORED CONCRETE AT RAMP; 5' X 5'

SCORED CONCRETE AT ENTRIES, TYP.; 1'-4" X 4'

PLANTING AREA 1

A2 - 1324 SF
 A3 - 72.6 SF
 B1 - 461 SF
 B2 - 97
 B3 - 3
 H1 - 909 SF
 H3 - 2713 SF

1 GROUND LEVEL LANDSCAPE PLAN
 1/8"=1'-0"

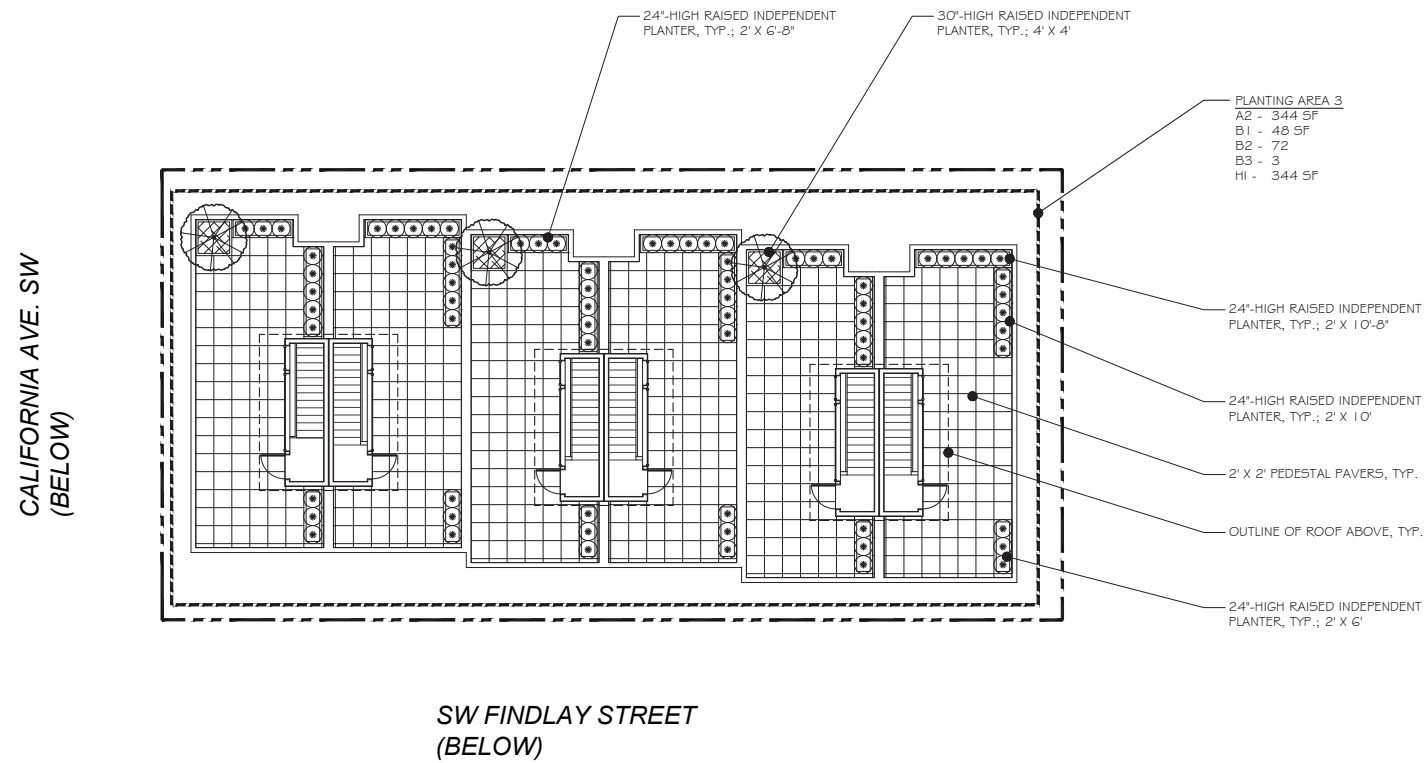


GENERAL NOTES

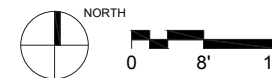
- SEE L1.00 SHEET SERIES FOR ADDITIONAL PLANS AND INFORMATION.
- SEE L2.00 SHEET SERIES FOR PLANTING SCHEDULE, GREENFACTOR DOCS, NOTES AND DETAILS.
- ALL PLANTING IN PUBLIC R.O.W. SHALL BE PER CITY OF SEATTLE STANDARD PLANS AND SPECIFICATIONS.



10.0 COMPOSITE LANDSCAPE/ HARDSCAPE PLAN



1 ROOF LEVEL LANDSCAPE PLAN
1/8"=1'-0"



GENERAL NOTES

- SEE L1.00 SHEET SERIES FOR ADDITIONAL PLANS AND INFORMATION.
- SEE L2.00 SHEET SERIES FOR PLANTING SCHEDULE, GREENFACTOR DOCS, NOTES AND DETAILS.
- ALL PLANTING IN PUBLIC R.O.W. SHALL BE PER CITY OF SEATTLE STANDARD PLANS AND SPECIFICATIONS.



10.0 COMPOSITE LANDSCAPE/ HARDSCAPE PLAN

Planting Schedule

Symbol	Qty	Type	Size/Comments
STREET TREES			
		Quercus rober x alba 'JFS-KW2QX' / Skinny Genes® Oak	2 1/2" cal., B&B See note #6
DECIDUOUS TREES			
		Acer palmatum 'Bloodgood' / Japanese Maple	1" cal., B&B
LARGE/MEDIUM/SMALL SHRUBS			
		Fargesia sp. 'Rufa' / Bamboo	4' min. ht., in clumps
		Blechnum spicant / Deer Fern	18" min. ht., see plans
		Cornus sericea 'Flaviramea' / Yellowtwig Dogwood	18" min. ht., see plans
		Cornus sericea 'Kelsey' / Kelsey Dogwood	18" min. ht., see plans
		Hydrangea macrophylla / Bigleaf Hydrangea	36" min. ht., see plans
		Ilex crenata 'Sky Pencil' / Japanese Holly	4' min. ht., see plans
		Lavandula angustifolia / English Lavender	18" min. ht., see plans
GROUNDCOVER			
		Arctostaphylos uva-ursi / Kinnickinnick	4" pot, 12" O.C.
		Carex obnupta / Slough Sedge	4" pot, 12" O.C.
		Existing lawn to be protected and restored as necessary	

PLANTING NOTES:

- ALL PLANTING AREAS ON THE GROUND-PLANE (ALL R.O.W., PLANTERS, ETC.) SHALL HAVE A TRADITIONAL IRRIGATION SYSTEM TO BE INTEGRATED WITH A CONTROLLER. RAIN SENSORS AND OTHER EQUIPMENT WILL BE INCORPORATED INTO DESIGN TO MAXIMIZE EFFICIENCY AND LOWER OVERALL MAINTENANCE.
- ALL INDEPENDENT RAISED PLANTERS SHALL HAVE DRIP IRRIGATION AND INTEGRATED WITH RESPECTIVE CONTROLLER.
- NO PLANTS TO BE INSTALLED WITHIN 2' DIA. OF PROPOSED STREET TREES.
- ALL SHRUBS AND GROUNDCOVERS TO BE LAYED OUT IN FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANT TREES IN R.O.W. PER COS STANDARD PLAN 100A. INCLUDE ROOT BARRIER 18" DEEP X 6" LONG CENTERED ON EACH TREE AND PLACED ALONG SIDEWALK EDGE.
- AMENDED SOILS IN PLANTER STRIP PER COS STANDARD PLAN 142.
- SEE CIVIL SHEETS FOR PROPOSED GRADING, STREET PROFILES AND UTILITY LOCATIONS.

Green Factor Score Sheet		SEATTLE green factor	
Project title:	enter sq ft of parcel	Score	0.503
Parcel size (enter this value first)	5,000		
Landscape Elements**		Totals from GF worksheet	Factor Total
A Landscaped areas (select one of the following for each area)			
1	Landscaped areas with a soil depth of less than 24"	0	0.1
2	Landscaped areas with a soil depth of 24" or greater	1732	0.6 1,039.2
3	Bioretention facilities	113.4	1.0 113.4
B Plantings (credit for plants in landscaped areas from Section A)			
1	Mulch, ground covers, or other plants less than 2' tall at maturity	558	0.1 56
2	Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	213	2566 0.3 767
3	Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	6	450 0.3 135
4	Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	0	0 0.3 -
5	Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	0	0 0.4 -
6	Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	0	0 0.4 -
7	Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	0	0 0.8 -
C Green roofs			
1	Over at least 2" and less than 4" of growth medium	0	0.4 -
2	Over at least 4" of growth medium	0	0.7 -
D Vegetated walls			
1	Vegetated walls	0	0.7 -
E Approved water features			
1	Approved water features	0	0.7 -
F Permeable paving			
1	Permeable paving over at least 6" and less than 24" of soil or gravel	0	0.2 -
2	Permeable paving over at least 24" of soil or gravel	0	0.5 -
G Structural soil systems			
1	Structural soil systems	0	0.2 -
sub-total of sq ft =		5,409	
H Bonuses			
1	Drought-tolerant or native plant species	1317	0.1 131.7
2	Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	0	0.2 -
3	Landscaping visible to passersby from adjacent public right of way or public open spaces	2,737	0.1 274
4	Landscaping in food cultivation	0	0.1 -
Green Factor numerator =		3,516	

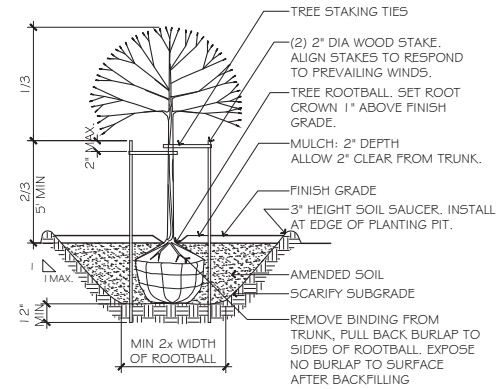
* Do not count public rights-of-way in parcel size calculation.
 ** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)

Green Factor Worksheet*		SEATTLE green factor			TOTAL**
	Planting Area	1	2	3	
A1	square feet				0
A2	square feet	1324	40	344	1708
A3	square feet	72.6	40.8		113.4
B1	square feet	461	25	48	534
B2	# of plants	97	44	72	213
B3	# of trees	3		3	6
B4	# of trees				0
B5	# of trees				0
B6	# of trees				0
B7	# of trees				0
C1	square feet				0
C2	square feet				0
D	square feet				0
E	square feet				0
F1	square feet				0
F2	square feet				0
G	square feet				0
H1	square feet	909	40	344	1293
H2	square feet				0
H3	square feet	2713			2713
H4	square feet				0

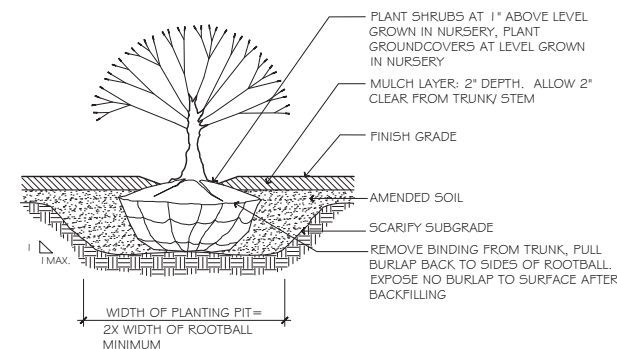
* See Green Factor score sheet for category definitions
 ** Enter totals on the Green Factor score sheet



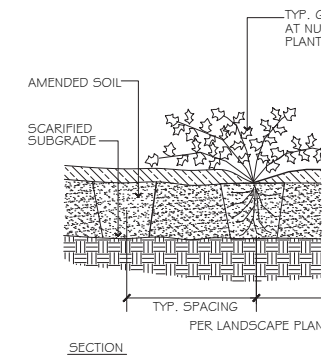
10.0 COMPOSITE LANDSCAPE/ HARDSCAPE PLAN



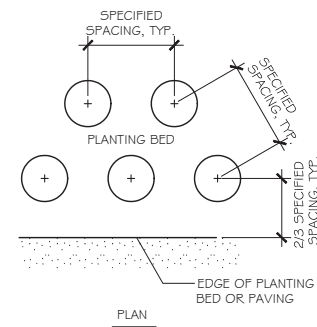
① DECIDUOUS TREE PLANTING & STAKING
NOT TO SCALE P_decree



② SHRUB PLANTING
NOT TO SCALE P_shrub



③ GROUND COVER PLANTING
NOT TO SCALE



④ SHRUB & GROUND COVER SPACING
NOT TO SCALE P_spacing



10.0 COMPOSITE LANDSCAPE/ HARDSCAPE PLAN



RAISED PLANTER WITH JAPANESE MAPLE



RAISED PLANTERS WITH BAMBOO



PEDESTAL PAVERS



INTEGRATED BIOPLANTERS



LINEAR CONCRETE PAVING AT ENTRIES



10.0 COMPOSITE LANDSCAPE/ HARDSCAPE PLAN



SKINNY GENES OAK



JAPANESE MAPLE



RUFA BAMBOO



SKY PENCIL JAPANESE HOLLY



KELSEY DOGWOOD



YELLOWTWIG DOGWOOD



BIGLEAF HYDRANGEA



DEER FERN



ENGLISH LAVENDER



SLOUGH SEDGE



KINNIKINICK



LAWN



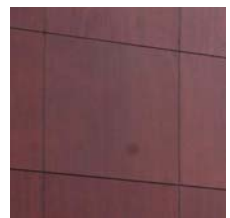
11.0 ELEVATIONS



HARDIE PLANK
Painted a deep grey.



HARDIE PANEL
Painted a deep grey.



PRODEMA PANEL
In "Deep Brown".



RAILINGS AND WINDOW FRAMES
Black.



DOORS AND AWNINGS
Deep red.



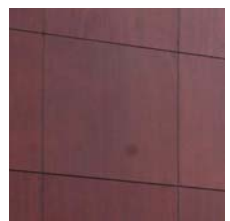
11.0 ELEVATIONS



HARDIE PLANK
Painted a deep grey.



HARDIE PANEL
Painted deep grey or deep red.



PRODEMA PANEL
In "Deep Brown".



RAILINGS AND WINDOW FRAMES
Black.



DOORS AND AWNINGS
Deep red.



EXTERIOR VENT
Painted to match siding.



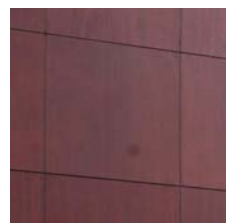
11.0 ELEVATIONS



HARDIE PLANK
Painted a deep grey.



HARDIE PANEL
Painted deep grey or deep red.



PRODEMA PANEL
In "Deep Brown".



RAILINGS AND WINDOW FRAMES
Black.



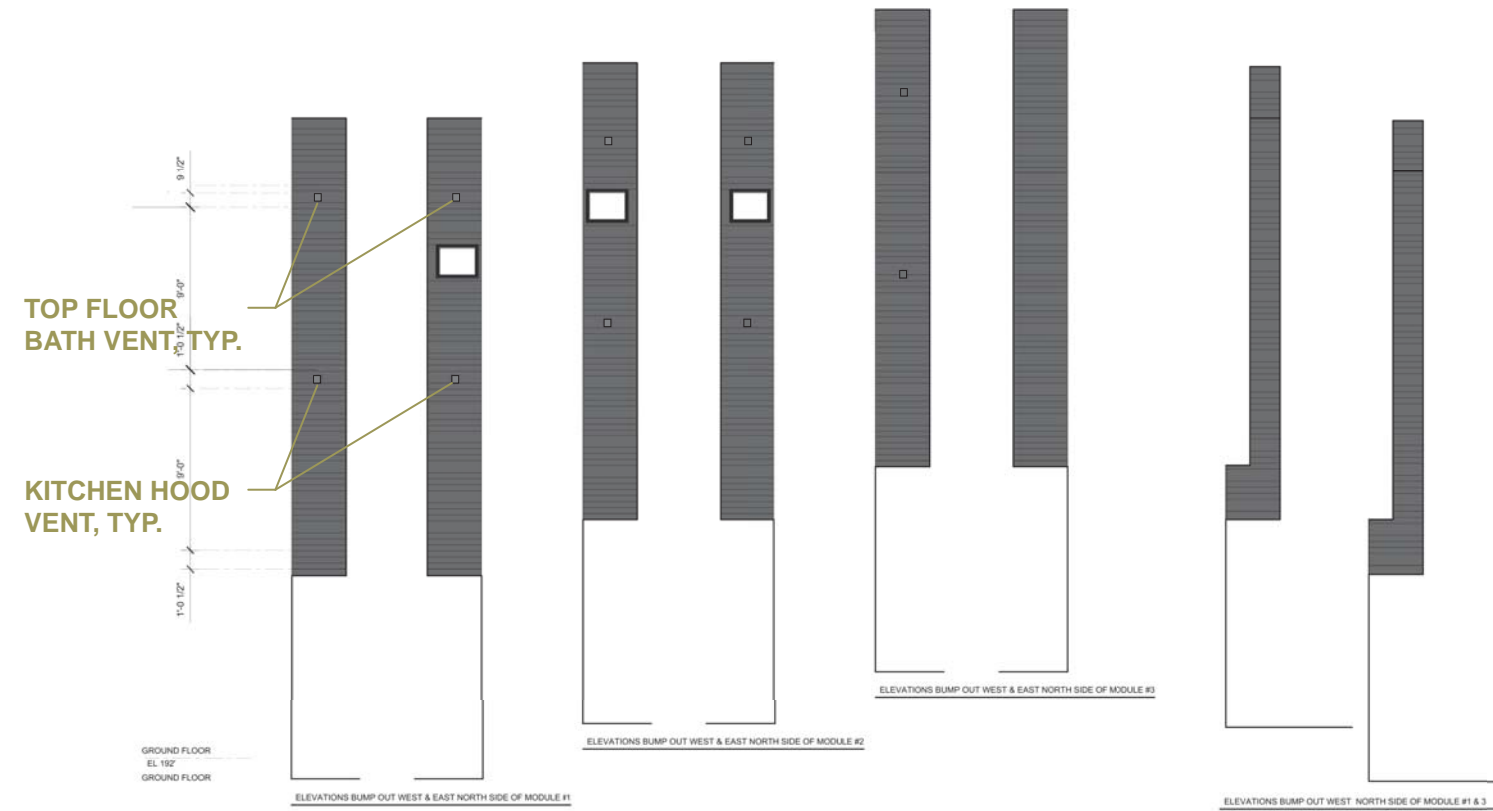
DOORS AND AWNINGS
Deep red.



EXTERIOR VENT
Painted to match siding.



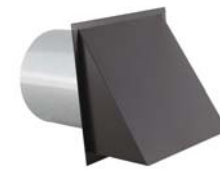
11.0 ELEVATIONS



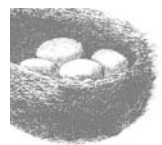
HARDIE PLANK
Painted a deep grey.



RAILINGS AND WINDOW FRAMES
Black.



EXTERIOR VENT
Painted to match siding.

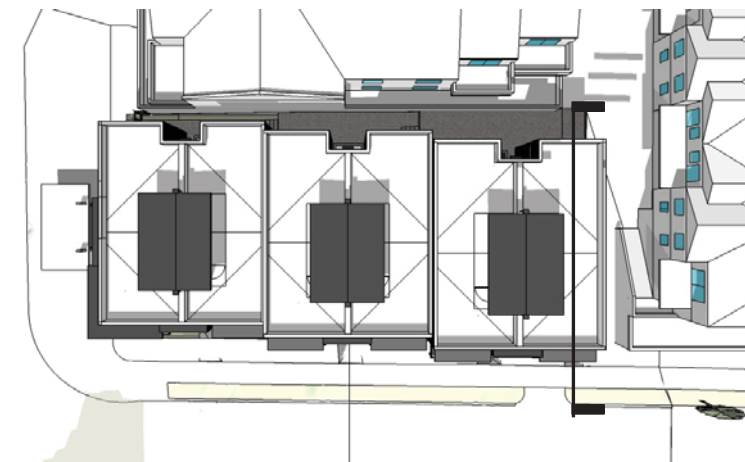


11.0 ELEVATIONS



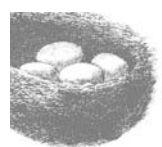
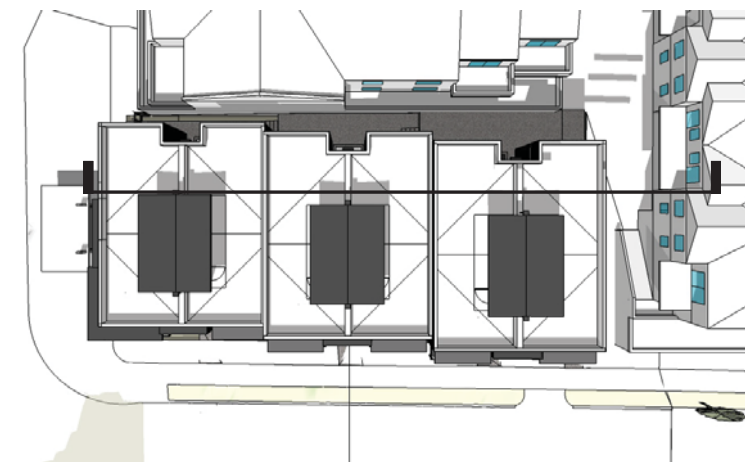
WINDOWS TO THE EAST

Windows facing East are generally placed high on the walls to avoid creating privacy issues. Windows at the southeast corner will not face directly into the neighboring building as it is stepped back from the street.

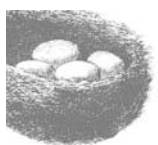


WINDOWS TO THE NORTH

Windows from the western three units pose no privacy issues as the building to the north of those units is a blank wall. Other windows align only at the clerestory level with the first floor, behind which, raised beds will house screening plantings. In the far eastern unit, where the live-work building and the building to the north are both set back from the property line, the kitchen window aligns with a window set behind a deck in the building to the north.



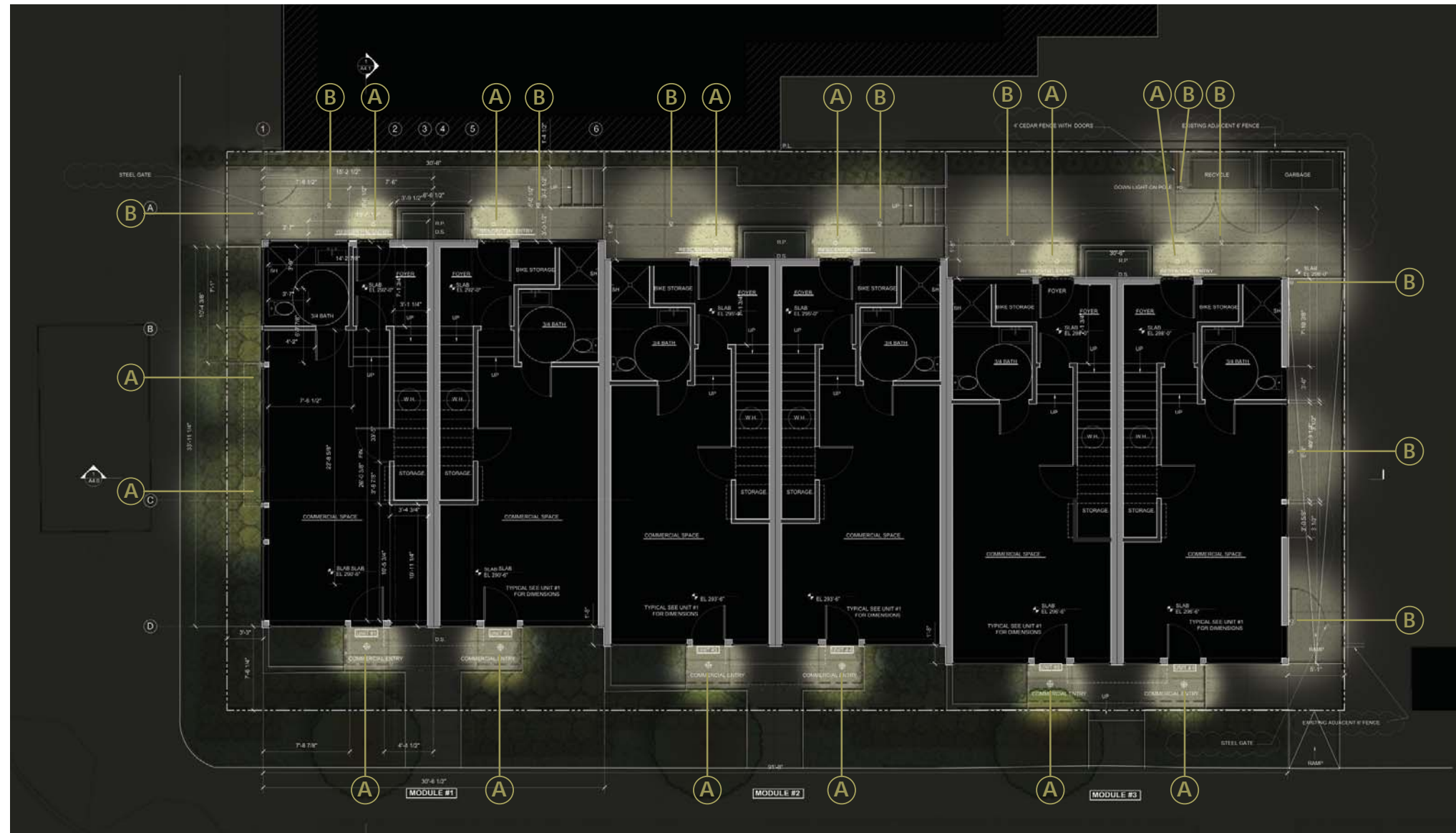
13.0 RENDERINGS



13.0 RENDERINGS



14.0 EXTERIOR LIGHTING PLAN



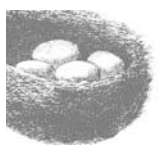
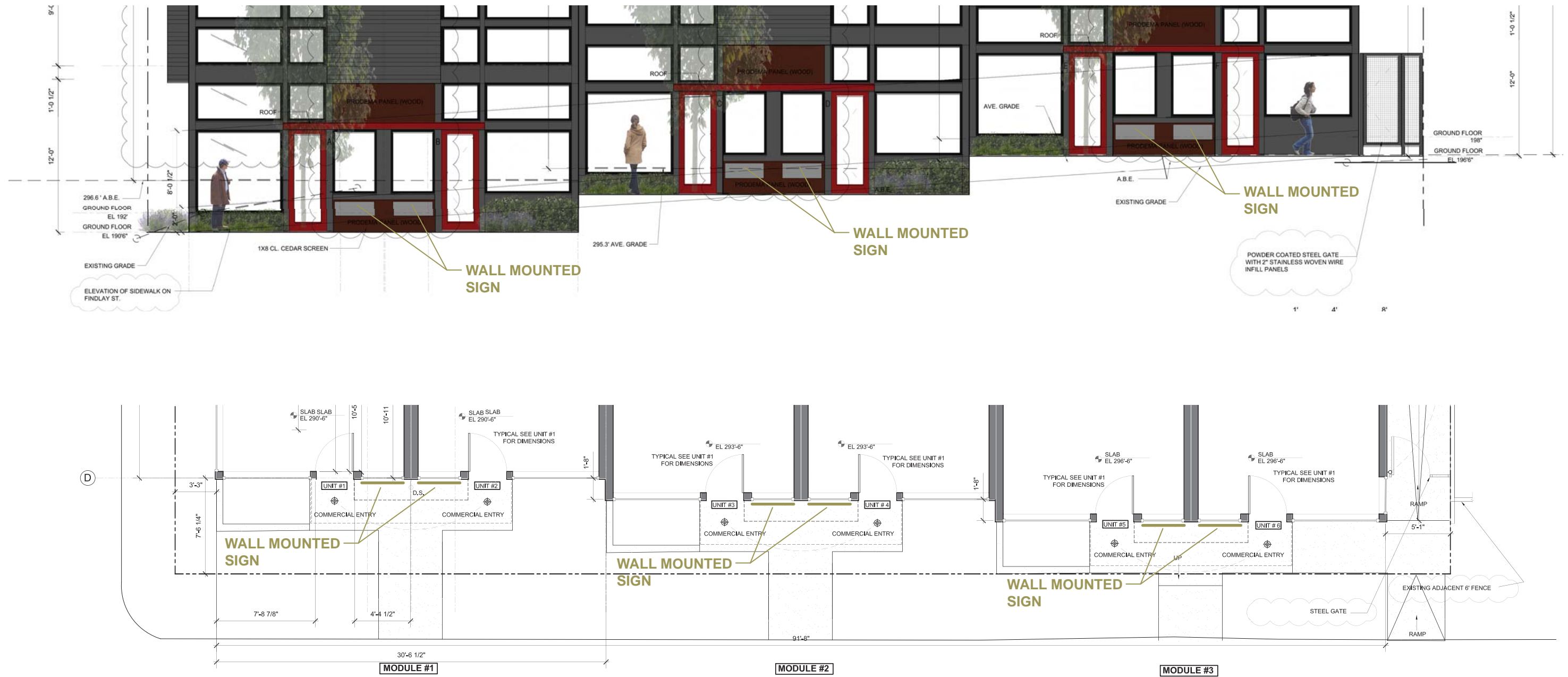
WAC Lighting FM-W2612
Mounted under awnings and bump-outs.



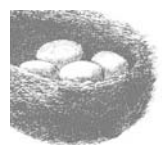
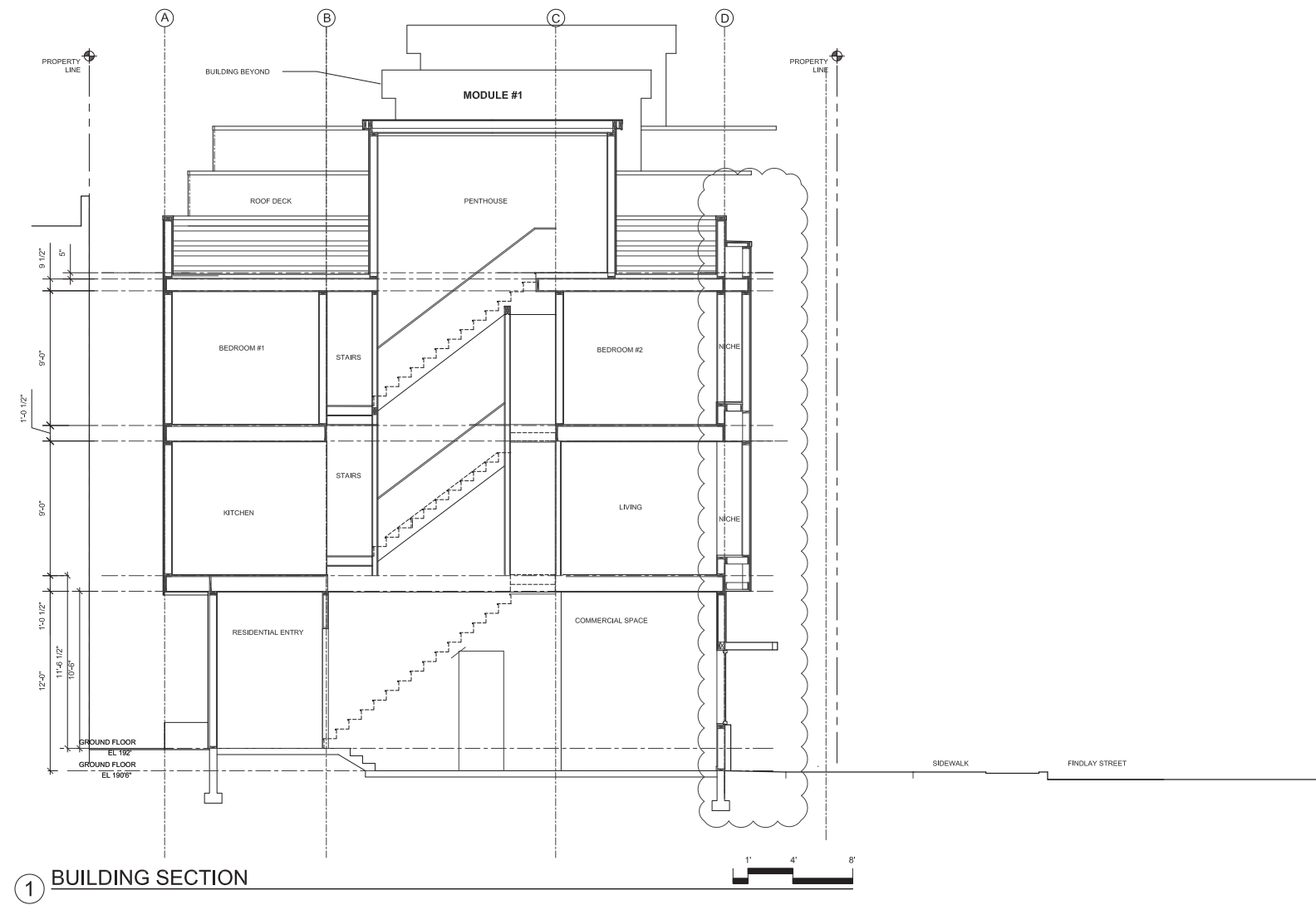
WAC Lighting DS-WD08
Surface mounted on building or posts for area lighting.



15.0 SIGNAGE CONCEPT PLAN



16.0 BUILDING SECTIONS



16.0 BUILDING SECTIONS

