# DESIGN RECOMMENDATION MEETING



# Mt. Baker Housing **a r c**



#### PROJECT NUMBER: 3023562

PROJECT ADDRESS: 2914 S McClellan St. Seattle, WA 98144

#### **TAX PARCELS:** 000360-0029

#### LEGAL DESCRIPTION

THAT PORTION OF THE EDWARD HANFORD'S DONATION CLAIM NUMBER 44, IN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 24 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON, LYING NORTH OF MCCLELLAN STREET AS CONDEMNED BY THE CITY OF SEATTLE IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 59194, AS PROVIDED FOR IN ORDINANCE NUMBER 17060 OF SAID CITY, EAST OF LOT 11, BLOCK 2 OF STADIUM VISTA ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 58 OF PLATS, PAGE 61, IN KING COUNTY, WASHINGTON, SOUTH OF LOT 12, BLOCK 2 OF SAID ADDITION, AND WEST OF 30TH AVENUE SOUTH, AS CONDEMNED BY THE CITY OF SEATTLE, IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 102164, AS PROVIDED FOR IN ORDINANCE NUMBER 32153 OF SAID CITY.

TOGETHER WITH THAT PORTION OF LOTS 11 AND 12, BLOCK 2, STADIUM VISTA ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 58 OF PLATS, PAGE 61, IN KING COUNTY, WASHINGTON, LYING EAST AND SOUTH OF THE FOLLOWING DESCRIBED LINE;

COMMENCING AT THE SOUTHWEST CORNER OF LOT 10 OF SAID ADDITION AND A POINT ON THE NORTH RIGHT-OF-WAY MARGIN OF SOUTH MCCLELLAN STREET; THENCE S88°53'01"E, ALONG THE SOUTH LINE OF SAID LOTS 10 AND 11 AND SAID MARGIN, 106.69 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE N01°15'18"E 120.00 FEET; THENCE S88°53'01"E 89.98 FEET TO THE EAST LINE OF LOT 12 OF SAID ADDITION AND THE WEST RIGHT-OF-WAY MARGIN OF 30TH AVENUE SOUTH.

#### MEETING DATE: October 26, 2016

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SECTION 17.0 DEPARTURES

#### OWNER:

Mount Baker Housing Association 1423 31st Ave S Seattle, WA 98144 206.725.4152 Contact: Michael Trower michaelt@mtbakerhousing.org

#### ARCHITECT:

a|r|c Architects 1101 E. Pike Street Floor 3 Seattle, WA 98122 206.322.3322 Contact: Emily Wheeler wheeler@arcarchitects.com

#### LANDSCAPE ARCHITECT:

Nakano Associates 853 Hiawatha Place S Seattle, WA 98144 Contact: Steve Nowaczyk sn@nakanoassociates.com

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#### **Project Description**

The project is located at the southeast corner of the east parcel of an existing 9 building development known as Mt. Baker Village. The project, as well as Mt. Baker Village, is owned by Seattle non-profit affordable housing developer, Mt. Baker Housing Association. The proposed project of approximately 32,000 sf adds 31 low-income, affordable housing units to the Mt. Baker Village and approximately 3,000 sf of commercial office space intended for use by the Mt. Baker Housing Association.

The site is zoned NC1-40 with a small portion of SF-5000 to the north. An existing single story commercial building will be demolished for the new project. The project is within the Mt. Baker Station Overlay and the Rainier Urban Village. There are bus lines along S. McClellan and on near-by MLK Way S, Rainier Ave S, and 31st Ave S.

No parking is required or being added. The existing SF-5000 parcel to the north of the project provides on site parking for residents' use.

#### **Site Description**

The site is bound to the south by S. McClellan St, a major east/ west thoroughfare. The eastern edge of the site is bound by 30th Ave S, a primarily single family street. The adjacent building to the west of the site, 2580 S McClellan, is a four story affordable housing building that includes a community room, exercise room, and laundry facilities for Mt. Baker Village residents. To the north is an existing surface parking lot, serving the needs of Mt. Baker Village.

The site slopes up to the east and up to the north. There is approximately 20.5 feet of grade change from the SW corner at 90' elevation to the NE corner at 110.5' elevation. There is an existing pedestrian path mid-block (south of the proposed project) to a landscape area and stairs to the north parking lot. There are existing street trees along 30th Ave South that will be preserved.

Required setback clearances from Seattle City Light's high voltage wires along both 30th Ave S and S McClellan will require the new building to reduce its allowable FAR square footages at the upper floors. Seattle City light will spread the high voltage wires out away from the property line for construction but will not allow them to remain in that configuration.

#### **Neighborhood Character**

The neighborhood is a mix of single family to the east and south, multi family to the northwest and commercial down the street to the west. The adjacent northwest multi-family housing is 1950's 3-story garden court design with mature plantings and a number of significant trees. The residential character on 30th Ave S. is a combination of smaller cottage style homes from approximately the late 1920s with 1950s brick homes and new townhomes further north.

The edges of the neighborhood 1 1/2 blocks south have proposed height increases for the "Mount Baker Town Center."

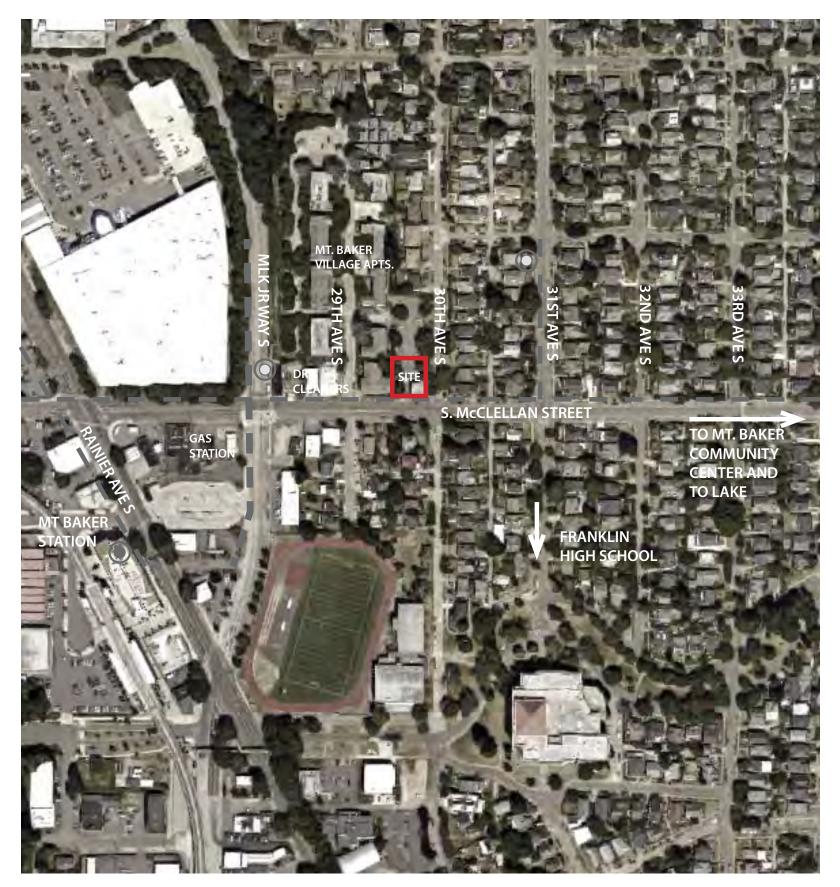
The project proposes to borrow cues from the existing Mt. Baker Village, by creating entry courtyards for residents with expressed commercial entry along the street edge.

Lowes Home Improvement is two blocks to the west as well as several single story businesses, including a few empty boarded up buildings. The Mt. Baker Station Light Rail, new ArtsSpace Apartments, and the QFC Grocery Store are another block to the west. The site is two blocks north of Franklin High School with easy access to the playfield and school entry.

The project seeks to bridge from the commercial to the residential areas. The NC1-40 zone and sloping site work together to allow a building that steps up the site and transitions to the single family neighborhood. The new building will provide a commercial space with a welcoming entry and patio for the business.

#### **Proposed Building Summary:**

Number of Residential Units: 31 Commercial Square Footage: 4,320 SF Number of Parking Stalls: existing on-site parking - no new required



# **PROJECT VISION**

### PRIMARY OBJECTIVES

The primary objectives of the project are:

# CREATE MORE LOW-INCOME AFFORDABLE HOUSING NEAR TRANSIT

• 31 apartments – 20 two bedroom and 11 one bedroom

#### ENHANCE THE NEIGHBORHOOD

- Improve pedestrian environment
- Define the urban edge
- Transition from residential to commercial zone
- Increase safety with eyes on the street
- Connect visually and physically to shared green spaces

#### DEVELOP AN ENDURING BUILDING

- Architecture design that is appropriate to the neighborhood
- Incorporate high quality, durable materials
- Guaranteed commercial tenant
- Connect to nature and increase landscape design











# **INSPIRATION IMAGERY**



Building masses and materials help break up the scale of the building and step back at upper floors.



Landscaped walkway with benches and trees help create a pleasant entry experience.



Building masses and materials help break up the scale of the building and step back at upper floors. Window bays provide further differentiation in scale.



Building masses and materials help break up the scale of the building and step back at upper floors.

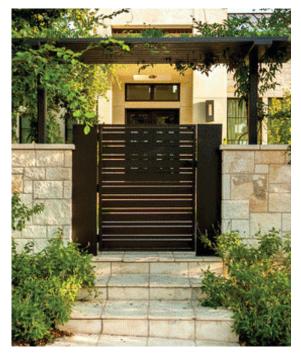


Bay windows differentiate uses within the building and provide massing differentiation.



Courtyard with seating and planting creates community space for residents.





Transparent entry gate provides privacy but allows for eyes on the street. Plantings and canopy help to designate entry.



Entry gate and canopy.

# AXONOMETRIC VIEW OF SITE 🔿



BUILDING USES & SITE OPPORTUNITIES (1)



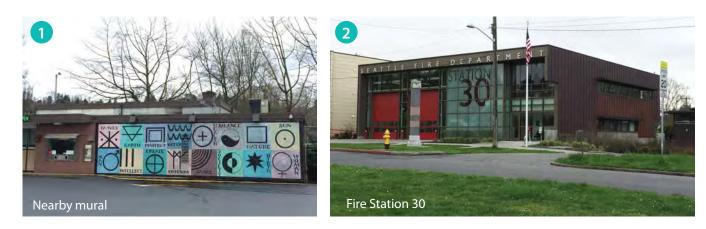
SINGLE FAMILY RESIDENTIAL

PARKS/GREEN SPACE

# 4.0 & 5.0 SUMMARY CONTEXT ANALYSIS & EXISTING SITE CONDITIONS

# NEIGHBORHOOD CONTEXT ①





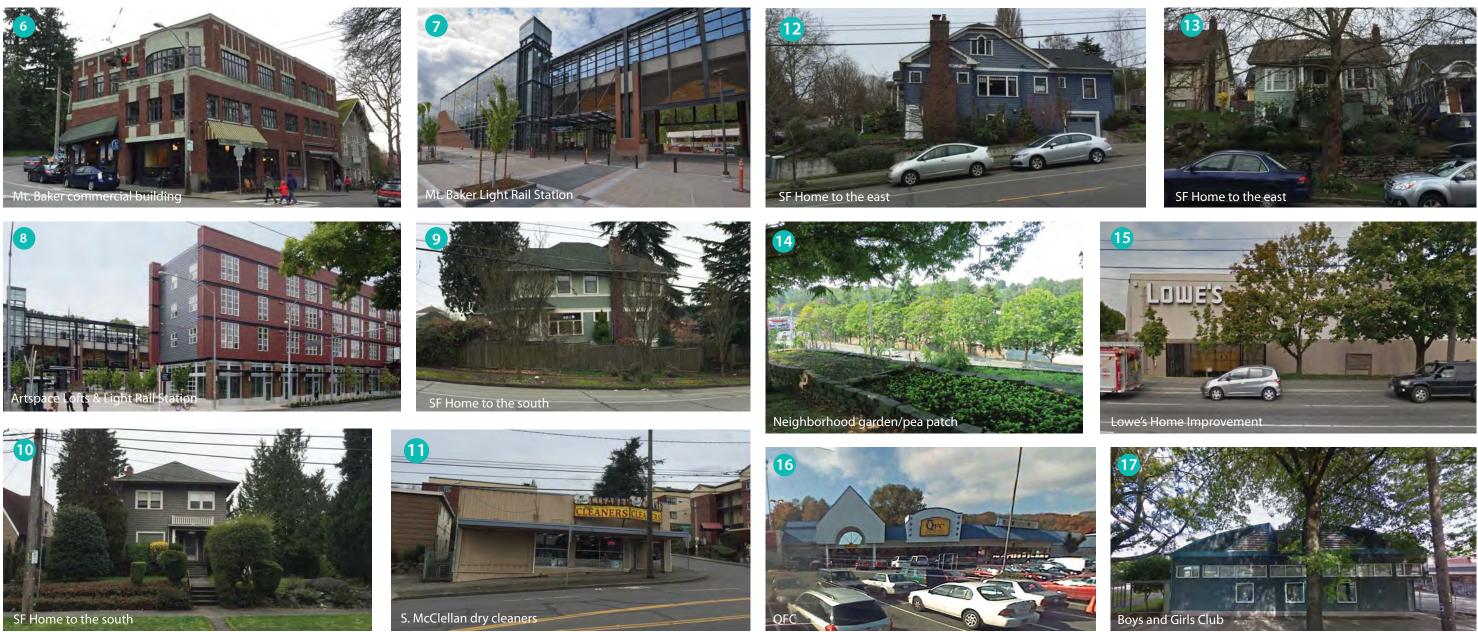






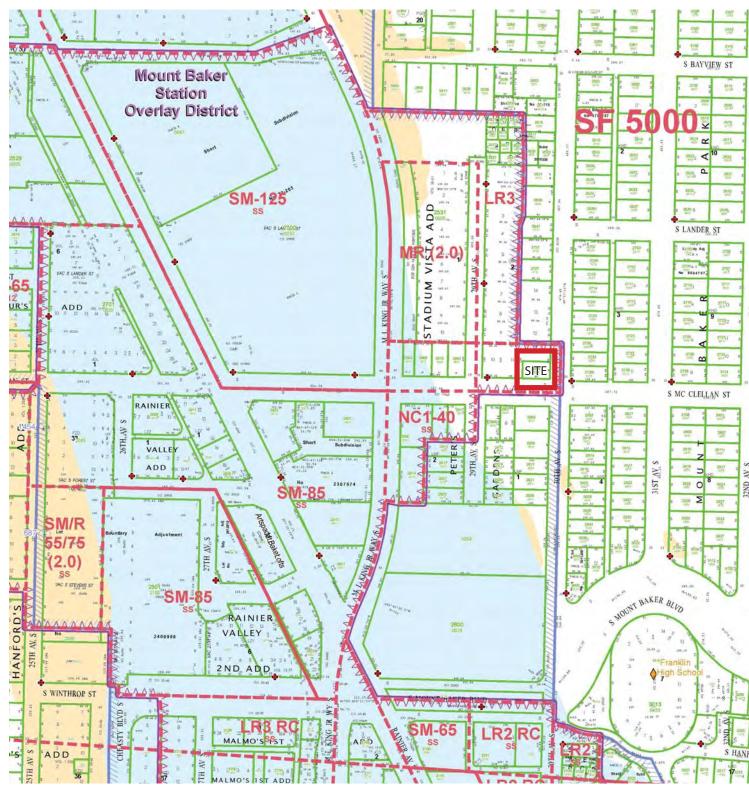
# 4.0 & 5.0 SUMMARY CONTEXT ANALYSIS & EXISTING SITE CONDITIONS

# NEIGHBORHOOD CONTEXT





# **ZONING ANALYSIS**



ZONING MAP (1)

Site Address: 2914 S. McClellan Street Zoning Classification: NC1-40 and SF-5000

#### Neighborhood Overlay:

Rainier Urban Village Frequent Transit available Mount Baker Station Overlay

#### Topography:

Site slopes from SW up to NE - with 20.5 feet of grade change.

#### Site Area

Site area is 90' x 120' = 10,800 SF

LAND USE CODE: CHAPTER 23.47A - COMMERCIAL

#### 23.47A.005 - STREET-LEVEL USES - RESIDENTIAL USES AT STREET LEVEL

C.1 - IN ALL NC AND C ZONES, RESIDENTIAL USES MAY OCCUPY, IN THE AGGREGATE, NO MORE THAN 20 PERCENT OF THE STREET-LEVEL STREET-FACING FACADE IN THE FOLLOWING CIRCUMSTANCES OR LOCATIONS. This project will have 3,000 SF commercial / office space on the ground floor facing S. McClellan Street. Intended tenant is the owner.

#### 23.17A.008 - STREET-LEVEL DEVELOPMENT STANDARDS

B.2.A - SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT The sidewalk slopes so the project will meet the intent of this requirement.

B.3 - NON-RESIDENTIAL USES SHALL EXTEND AN AVERAGE DEPTH OF AT LEAST 30 FEET AND A MINIMUM DEPTH OF 15 FEET FROM THE STREET-LEVEL STREET-FACING FACADE.

B.4 - HEIGHT PROVISIONS FOR NEW STRUCTURES OR NEW ADDITIONS TO EXISTING STRUCTURES. NON-RESIDENTIAL USES AT STREET LEVEL SHALL HAVE A FLOOR-TO-FLOOR HEIGHT OF AT LEAST 13 FEET.

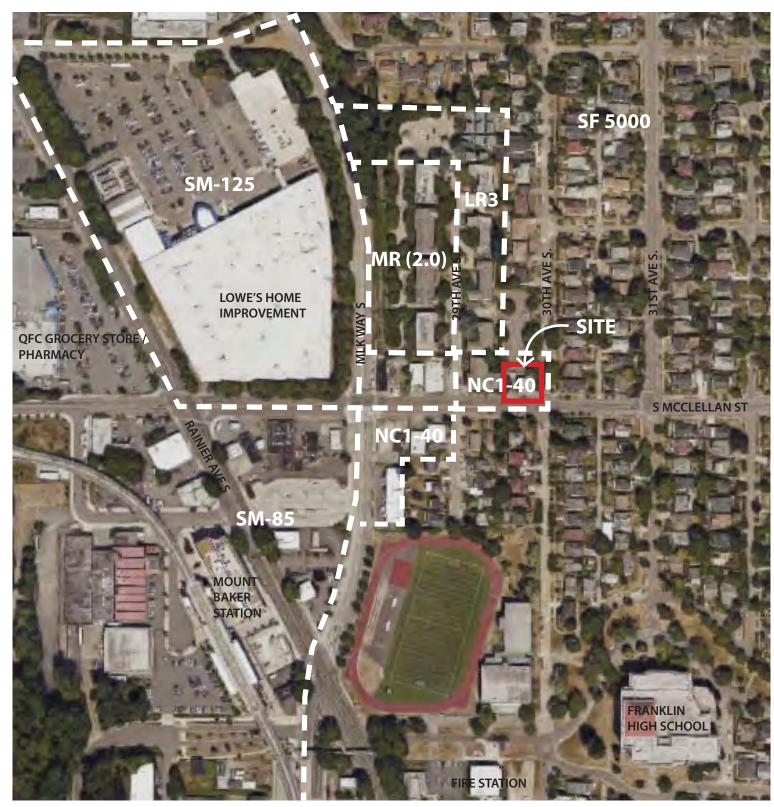
D.1 - AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY; AND This project proposes to have prominent residential entry courtyards, one on 30th Avenue South and one on S McClellan Street.

D.2 - THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK. The sloping site provides for units that are above grade, at grade, and slightly below grade.

#### 23.47A.012 - STRUCTURE HEIGHT

A.1.A - IN ZONES WITH A 30 FOOT OR 40 FOOT MAPPED HEIGHT LIMIT: THE HEIGHT OF A STRUCTURE MAY EXCEED THE OTHERWISE APPLICABLE LIMIT BY UP TO 4 FEET, SUBJECT TO SUBSECTION 23.47A.012.A.1.C, PROVIDED THE FOLLOWING CONDITIONS ARE MET: A.- A FLOOR TO FLOOR HEIGHT OF 13 FEET OR MORE IS PROVIDED FOR NON-RESIDENTIAL USES AT STREET LEVEL C.2 - OPEN RAILINGS, PARAPETS MAY EXTEND AS HIGH AS THE HIGHEST RIDGE OF A PITCHED ROOF PERMITTED BY 23.47A.012B OR UP TO 4 FEET ABOVE THE OTHERWISE APPLICABLE HEIGHT LIMIT, WHICHEVER IS HIGHER. 4.F - STAIR AND ELEVATOR PENTHOUSES MAY EXTEND ABOVE THE APPLICABLE HEIGHT LIMIT UP TO 16 FEET.

DEPARTURES



#### ZONING MAP ①

#### 12.47A.013 - FLOOR AREA RATIO

C. - MAXIMUM FAR ALLOWED IN NC ZONES OR C ZONES WITHIN THE STATION AREA OVERLAY DISTRICT IS SHOWN IN TABLE B (FOR A HEIGHT LIMIT OF 40') - THE MAXIMUM FAR IS 4.
2. FAR APPLIES TO ALL PORTIONS OF A STORY THAT EXTEND NO MORE THAN 4 FEET ABOVE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, EXCLUDING ACCESS.
90'x 100' = 10,800 SF X 4.0 = 36,000 SF > Proposed building is 32,000 SF

#### 23.47A.014 - SETBACK REQUIREMENTS

B.1 - A SETBACK IS REQUIRED WHERE A LOT ABUTS THE INTERSECTION OF A SIDE LOT LINE AND FRONT LOT LINE OF A LOT IN A RESIDENTIAL ZONE. THE REQUIRED SETBACK FORMS A TRIANGULAR AREA. TWO SIDES OF THE TRIANGLE EXTEND ALONG THE STREET LOT LINE AND SIDE LOT LINE 15 FEET FROM THE INTERSECTION OF THE RESIDENTIALLY ZONED LOT'S FRONT LOT LINE AND THE SIDE LOT LINE ABUTTING THE RESIDENTIALLY ZONED LOT. THE THIRD SIDE CONNECTS THESE TWO SIDES WITH A DIAGONAL LINE ACROSS THE COMMERCIALLY-ZONED LOT. The setback will be from the north property line.

B.3 - FOR A STRUCTURE CONTAINING A RESIDENTIAL USE, A SETBACK IS REQUIRED ALONG ANY SIDE OR REAR LOT LINE THAT ABUTS A LOT IN A RESIDENTIAL ZONE AS FOLLOWS:

a. FIFTEEN FEET FOR PORTIONS OF STRUCTURES ABOVE 13' IN HEIGHT TO A MAXIMUM OF 40' IN HEIGHT b. FOR EACH PORTION OF A STRUCTURE ABOVE 40 FEET IN HEIGHT, ADDITIONAL SETBACK AT THE RATE OF 2 FEET OF SETBACK FOR EVERY 10 FEET BY WHICH THE HEIGHT OF SUCH PORTION EXCEEDS 40 FEET The setback will be from the north property line.

#### 23.47A.016 - LANDSCAPE AND SCREENING

A.2. LANDSCAPING THAT ACHIEVES A GREEN FACTOR SCORE OF 0.3 OR GREATER IS REQUIRED.The project proposes to include the north 20' of property in the Green Factor, as this area will be landscaped with benches and entry porch.B. STREET TREES ARE REQUIRED

New street trees will be provided along S. McClellan & 30th Ave. S. Existing trees on 30th Avenue South will be maintained.

D.3. OTHER USES OR CIRCUMSTANCES

PER TABLE D. ITEM d. GARBAGE DUMPSTERS REQUIRE SCREENING 6 FEET HIGH. The dumpster enclosure will have a 6' high wood fence & gates with steel supports.

#### 23.47A.024 - AMENITY AREA

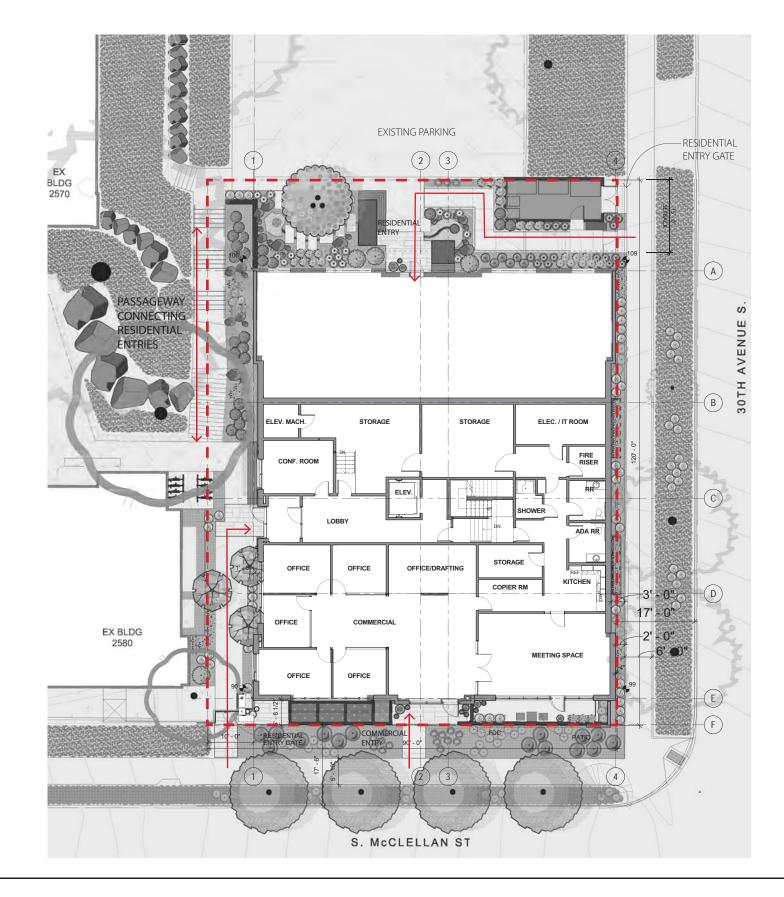
A.- AMENITY AREAS ARE REQUIRED IN AN AMOUNT EQUAL TO 5 PERCENT OF THE TOTAL GROSS FLOOR AREA IN RESIDENTIAL USE, EXCEPT AS OTHERWISE SPECITICALLY PROVIDED IN CHAPTER 23.47A This project proposes to include the north 20' of the property for the amenity area, with benches and entry porch.

#### 24.54.040 - SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS

EXCEPT AS PROVIDED IN SUBSECTION 23.54.040.1, IN DOWNTOWN, MULTIFAMILY, MASTER PLANNED COMMUNITY, AND COMMERCIAL ZONES, STORAGE SPACE FOR SOLID WASTE AND RECYCLABLE MATERIALS CONTAINERS SHALL BE PROVIDED AS SHOWN IN TABLE A FOR 23.54.040 FOR ALL NEW STRUCTURES, AND FOR EXISTING STRUCTURES TO WHICH TWO OR MORE DWELLING UNITS ARE ADDED. TABLE A STATES: FOR RESIDENTIAL DEVELOPMENTS WITH 26-50 DWELLING UNITS, THE MINIUMUM AREA FOR SHARED STORAGE SPACE IS 375 FEET.

The project proposes to include this in the north 20' of property with access from 30th Ave South. The enclosure will be 282 SF and access is from an existing curb cut along 30th Ave S.

# 7.0 COMPOSITE SITE PLAN



# **8.0 ITEMIZED RESPONSE TO EDG**

#### EARLY DESIGN GUIDANCE June 14, 2016

The board was in favor of the preferred option (option 1) presented at the EDG meeting. This option stepped back at upper levels, and included variation in scale and massing throughout the building, which creates an appropriate scale building for the neighborhood. The board also approved the four requested departures presented at the Early Design Guidance meeting. These are discussed in detail in section 17.0 of this packet. Below are the specific board recommendations and responses.

#### **PRIORITIES & BOARD RECOMMENDATIONS**

#### **1. HEIGHT, BULK, AND SCALE:**

BOARD RECOMMENDATION 1a: The Board favored the preferred massing option (shown as Option 1 in the presentation materials). They acknowledged and supported the stepping in of the fifth story and the clear separation of the base and upper mass present on McClellan as positive aspects of the project that should be carried forward to recommendation. (DC2-C)

BOARD RECOMMENDATION 1b: The Board especially liked the 30" of modulation present on bays facing 30th Ave S. on Options 2 & 3 and wanted to see this level of modulation continue as the project design evolves to the recommendation phase. (DC2-D)

RESPONSE 1a & 1b: The project has maintained the overall massing as shown in Option 1 and included the deeper bays along 30th Ave South as shown in Option 2 & 3.

#### 2. STREETSCAPE:

BOARD RECOMMENDATION 2a : The Board stressed that the southeast corner is the first commercial structure seen by pedestrians and motorists traveling west on McClellan. As such, the corner should be designed with a more commercial character. The Board offered a suggestion of achieving this appearance would be to wrap the corner in windows or create a stark transition. (CS3-A)

**RESPONSE 2a**: The SE corner is important and needs to have a strong relationship to the commercial street on S. McClellan. The design now includes added window on the commercial ground floor that wraps the corner as requested. The project has also cut back the concrete retaining wall at the SE corner and added stepped landscape planters to form a strong edge and welcoming corner. The design has also extended the entry canopy and emphasized the central commercial entry. These changes can be seen in the renderings on pages 24 & 25 of this packet.

BOARD RECOMMENDATION 2b: Blank walls along 30th should be avoided to limit the perception of the building turning its back on the neighborhood. (DC2-B)

**RESPONSE 2b**: The project has set the middle of the building back 1 foot from the property and added concrete planters and additional landscaping along 30th Ave South. The windows are also larger to connect with the street and provide residents with better views. This is shown in the east elevation drawings in this packet, on page 20, and again on page 37.

BOARD RECOMMENDATION 2c: The dumpster location needs to be changed to limit the impact of trash pick-up on street. As shown, this location could create an unpleasant streetscape for neighbors across 30th. (DC1-C)

**RESPONSE 2c**: The dumpsters cannot be picked up on McClellan due to overhead bus lines. There was thorough exploration of moving the dumpster from its current location to the NW corner just north of the property line and accessed from the current parking lot. However, this is not a viable option, as it is not allowed by code to have the dumpster located on a different property or the SF-5000 zone. The dumpster enclosure will be a 6' high wood fence and a new street tree will grow up in front of it.

BOARD RECOMMENDATION 2d : Departures related to transparency and separation of residential entries should be mitigated by layered landscaping. The Board advocated for a larger setback at 30th to allow for more plantings. At the next meeting, the applicant should provide site sections from each side of the structure so the Board can understand how the building will meet adjacent grade. (DC4-D)

RESPONSE 2d: See response 2b above. Entire building sections can be found on pages 30-31, and more detailed sections of 30th street can be found on p. 36.

#### **3. EXTERIOR ELEMENTS:**

BOARD RECOMMENDATION 3a : The Board felt the project needed more transparency near the street. The east and south elevations should include substantial windows on levels 1-3. (DC4-A)

**RESPONSE 3a**: On the south and east elevations, some of the windows have been made larger and windows have been added to increase the transparency on level 1 -3. There is also a nice patio on the ground commercial floor to increase transparency & connection to the street. South and east elevations are on pages 19-20, and a perspective of the southeast corner is on page 25.

BOARD RECOMMENDATION 3b: More usable ground level space should be designed near the McClellan Street side of the project. To this end, the west entry should include some gathering space. (PL2-D)

RESPONSE 3b: There are concrete planters along S. McClellan Street that can be used for casual seating. There is a large canopy and bench in the west courtyard for residents to gather. Stairs connect the west courtyard up to the north gate. The primary gathering space for residents will be the garden on the north side of the building. See landscape plans and renderings on pages 34-35 for more information.

BOARD RECOMMENDATION 3c: While the Board supported a departure for a residential lobby at the street, the applicant should consider a public amenity at grade on the 30th Street. This will improve the project's interface with the neighborhood. (CS2-C)

RESPONSE 3c: The primary public street is along S. McClellan and there is a patio for the office space, new 8' deep landscape beds, new 5' of landscaping along the edge of the street and street trees, and landscape planters for amenity along this street. Along 30th Ave South, there are also new concrete planters and landscaping improvements for the neighborhood and pedestrians.





# 9.0 FLOOR PLANS



GROUND FLOOR PLAN ①

FIRST FLOOR PLAN  $\bigcirc$ 

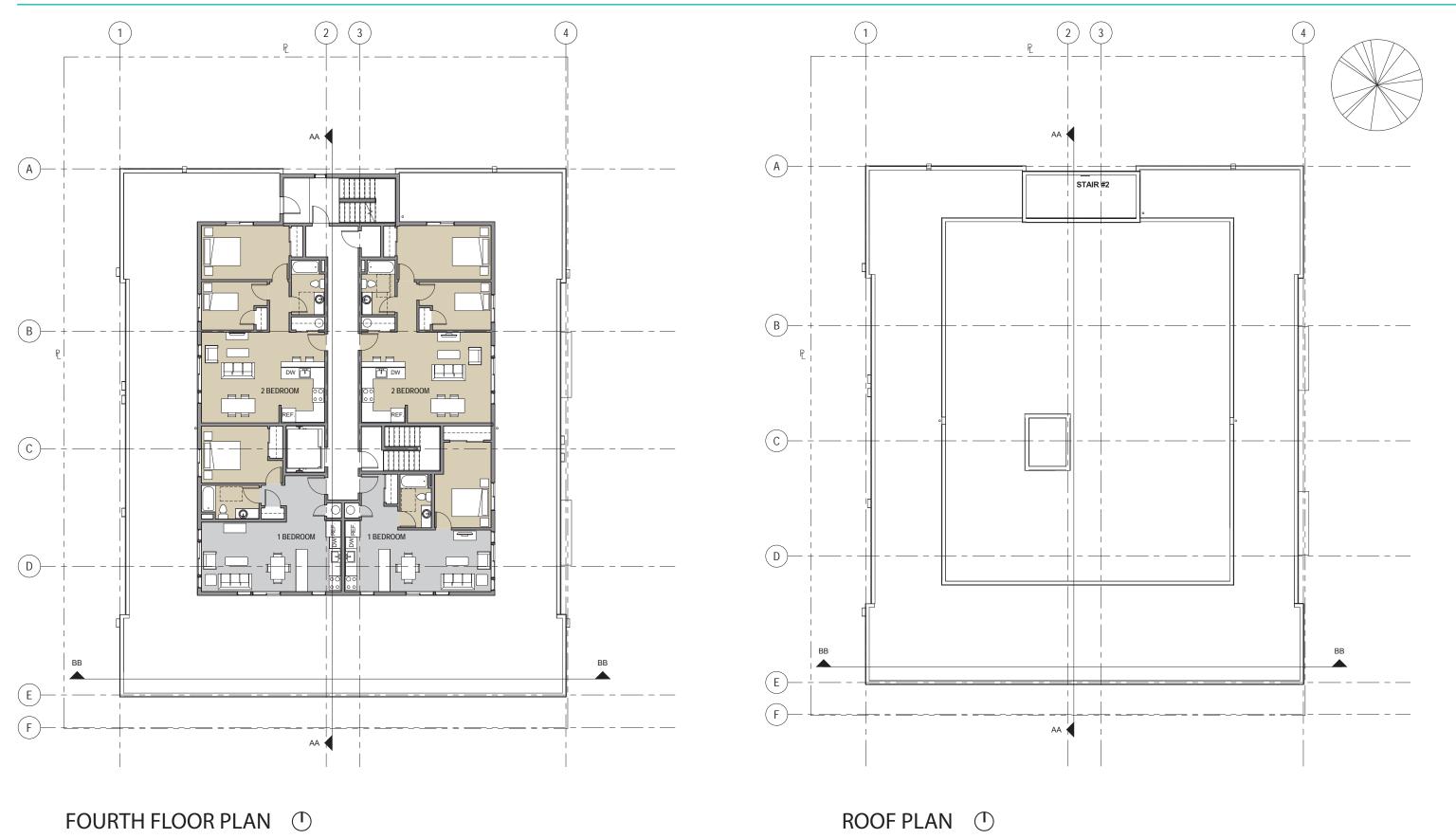
# 9.0 FLOOR PLANS



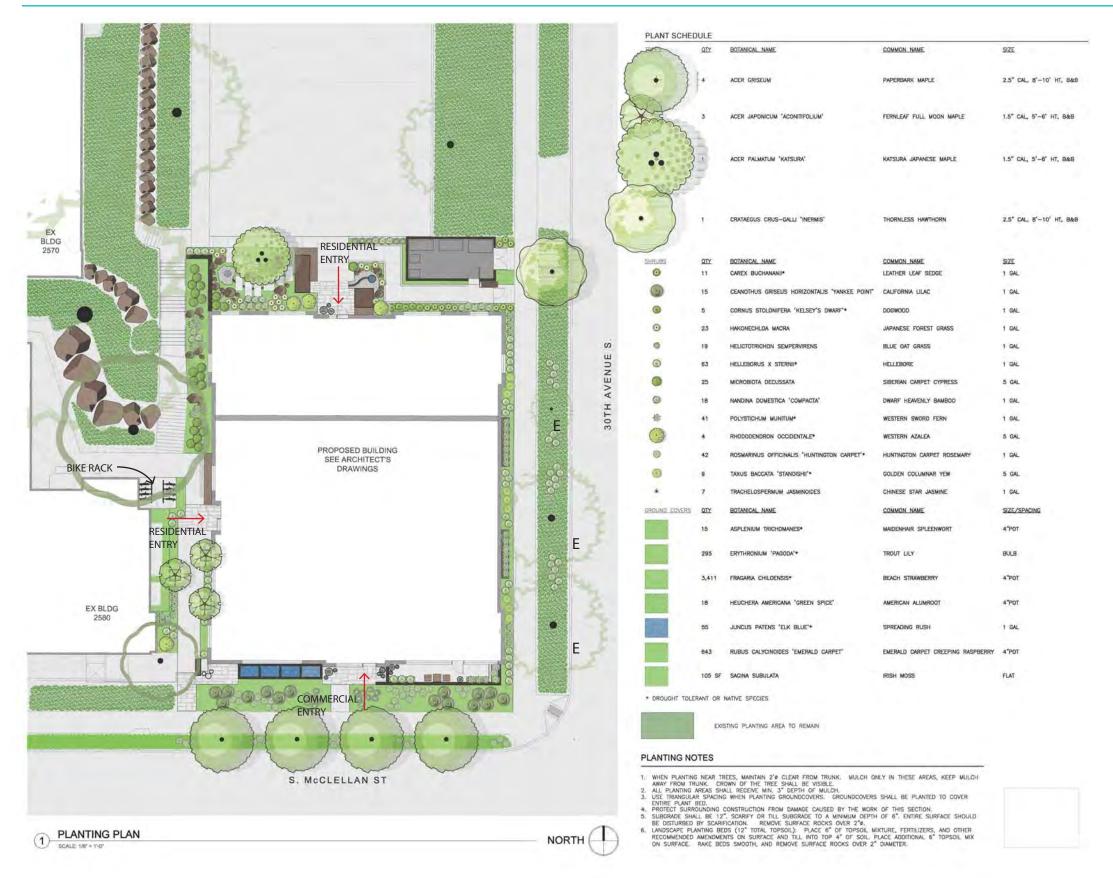
# SECOND FLOOR PLAN $\bigcirc$

THIRD FLOOR PLAN ①

# 9.0 FLOOR PLANS



# 10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN







# 10.0 COMPOSITE LANDSCAPE / HARDSCAPE PLAN - PLANT IMAGES

#### TREES



Acer Griseum - Paperbark



Acer Japonicum 'Aconitfolium' -Fernleaf Full Moon Maple



Acer Palmatum Katsura -Katsura Japanese Maple

# SHRUBS

Maple



Ceanothus Griseus Horicontalis 'Yankee Point'- California Lilac



Cornus Stolonifera 'Kelsey's Dwarf' - Dogwood



Microbiota Decussata - Siberian Carpet Cypress



Nandina Domestica' Compacta' -Dwarf Heavenly Bamboo





Carex Buchanii - Leather Leaf Sedge



Polystichum Munitum - Western Sword Fern

#### GROUNDCOVER



Fragaria Chiloensis - Beach Strawberry



Rubus Calycinoides ' Emerald Carpet; - Emerald Carpet Creeping Raspberry





Rhododendron Occidentale - Western Azalea

# **11.0 ELEVATIONS - SOUTH ELEVATION**



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# **11.0 ELEVATIONS - EAST ELEVATION**



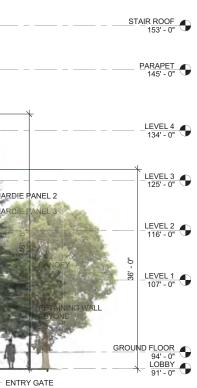


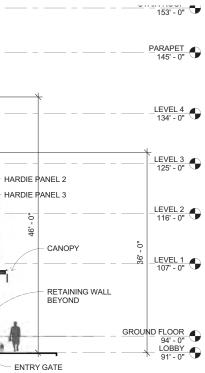
# **11.0 ELEVATIONS - NORTH ELEVATION**



# **11.0 ELEVATIONS - WEST ELEVATION**







# **12.0 MATERIAL AND COLOR PALETTE**

Α WARM GRAY SIDING

В ORANGE COLORED PANEL SIDING

С WHITE HARDIE PANEL

D GRAY HARDIE PANEL

Ε WOODEN PLANTER BOXES AND PLANTING

F CONCRETE

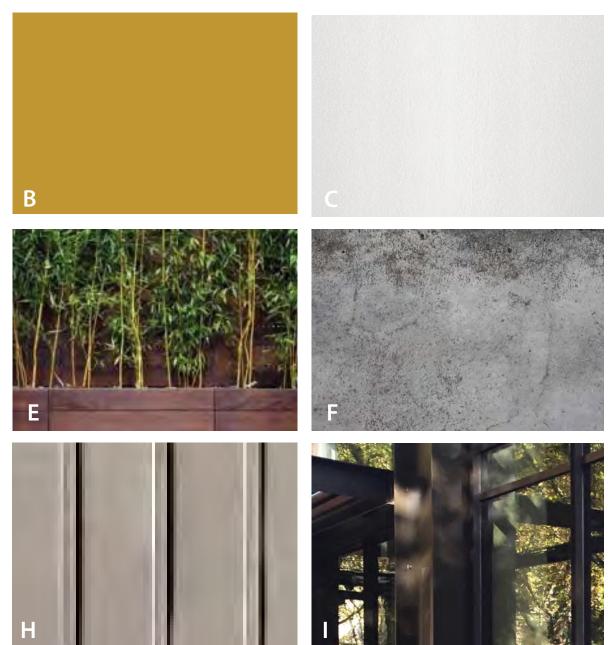
G GALVANIZED STEEL

Η HORIZONTAL HARDIE BATTEN SIDING

**BRONZE STOREFRONT** 

J BLACK STEEL GATE















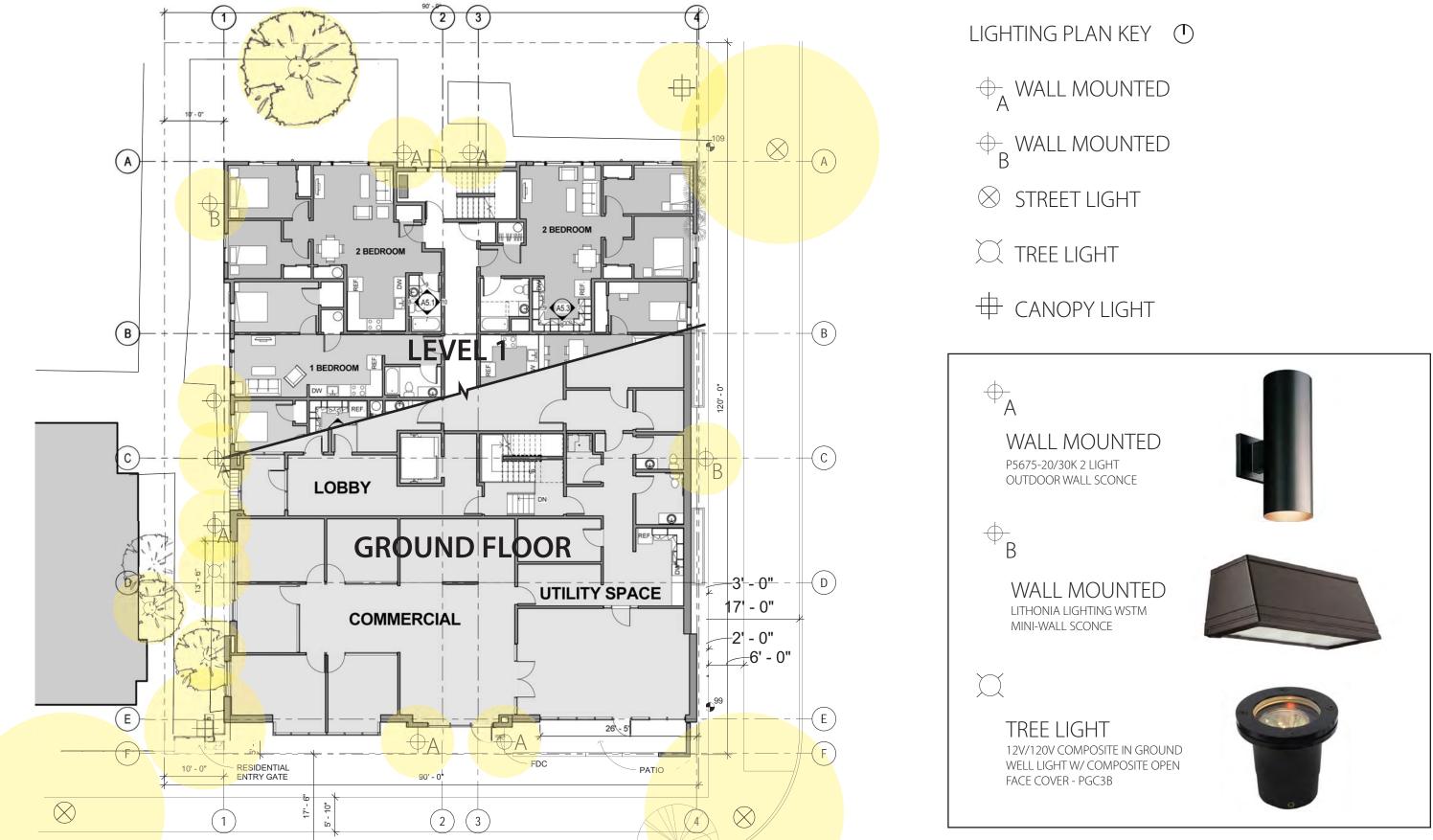


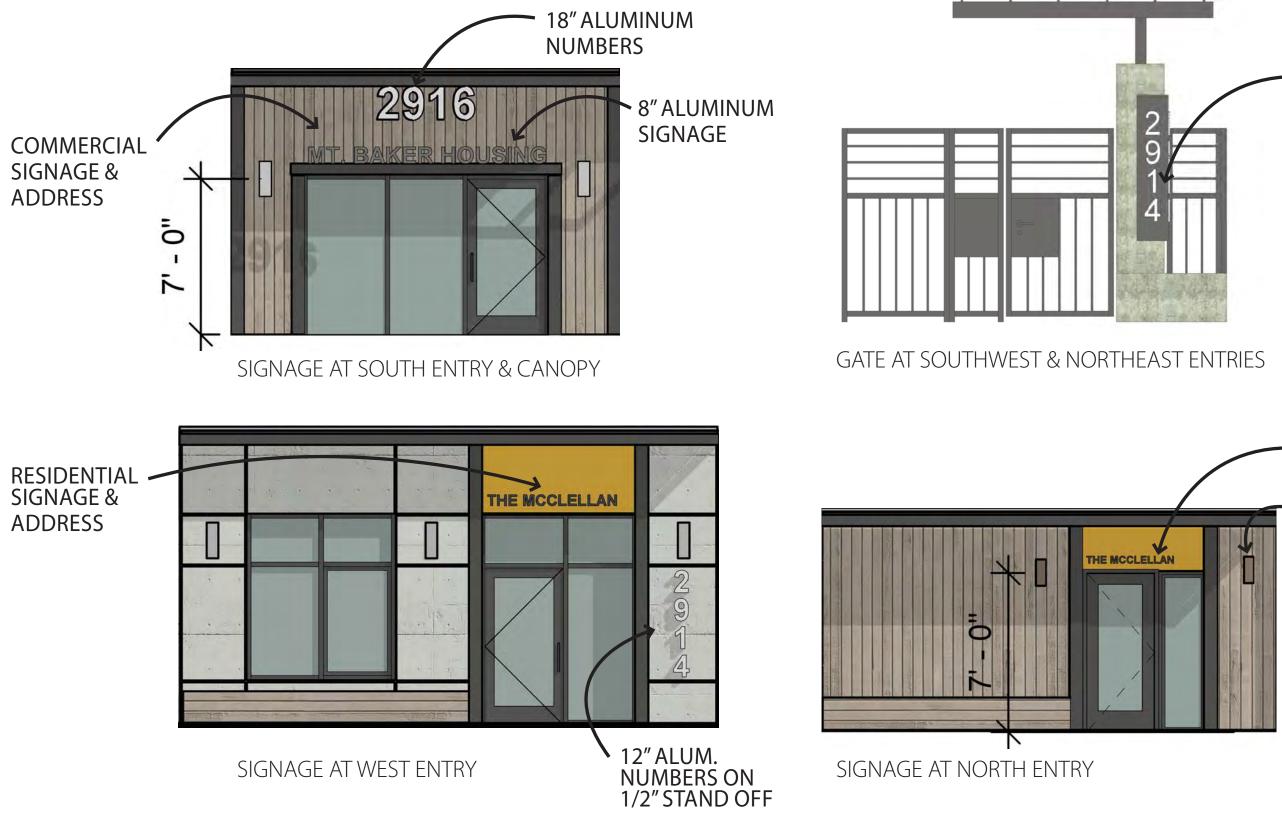






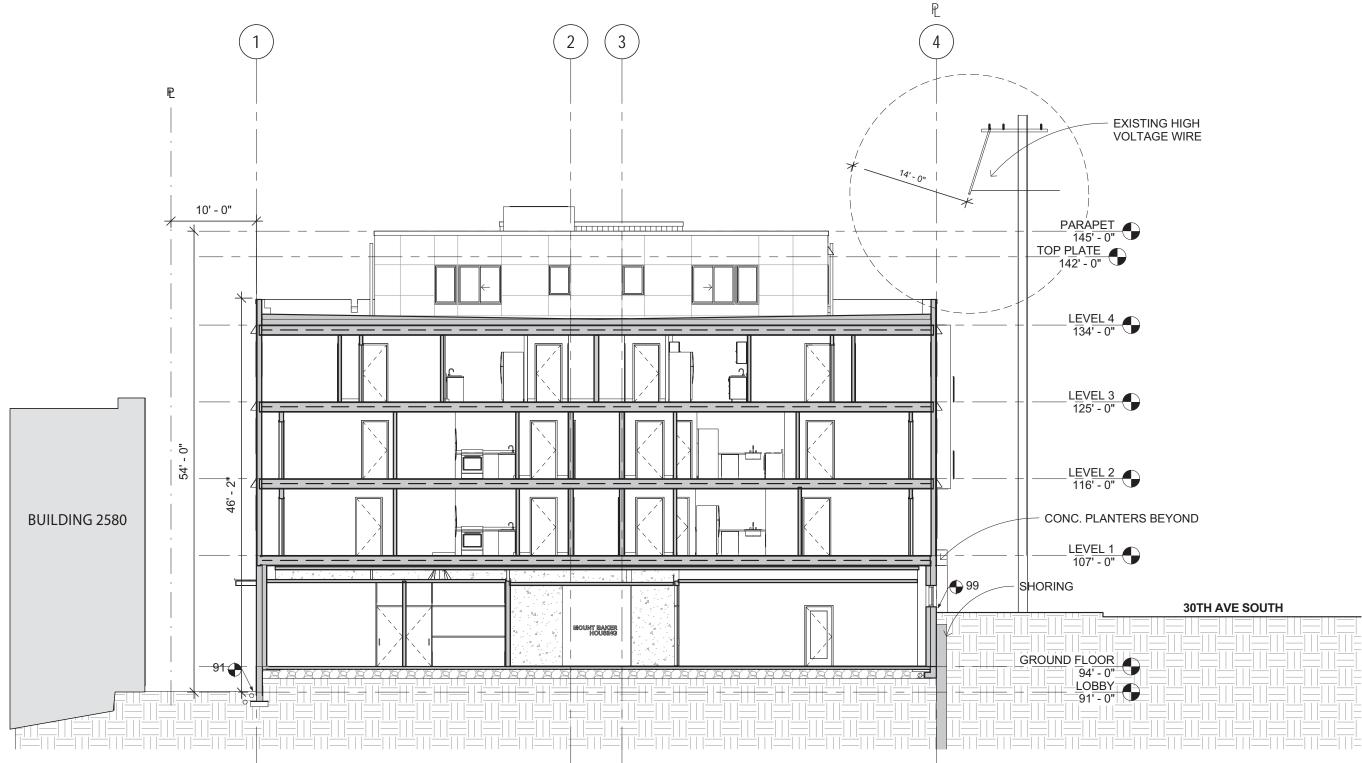
# **14.0 EXTERIOR LIGHTING PLAN**



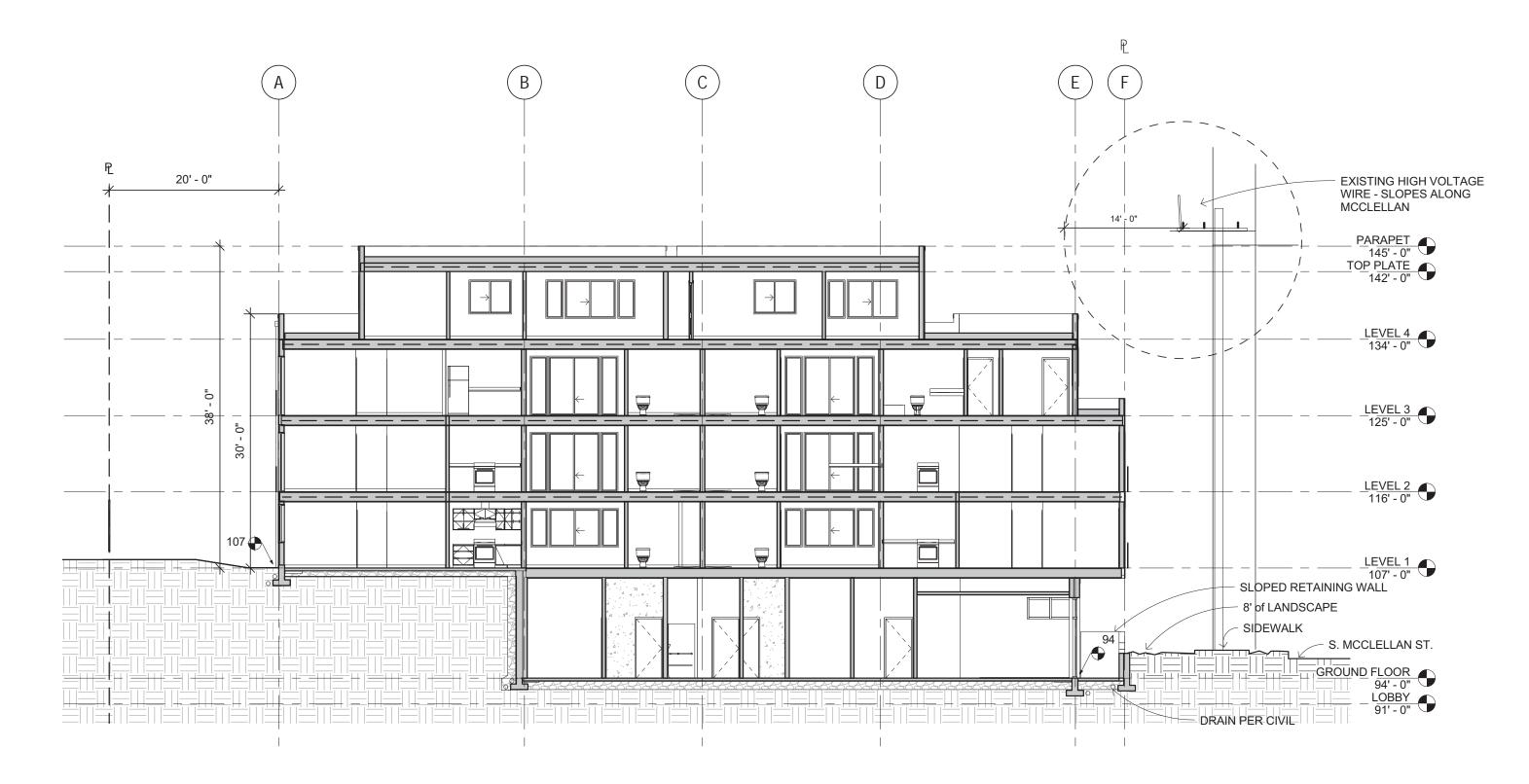


#### LASER-CUT NUMBERS IN STEEL PLATE **BACK LIT WITH** HIDDEN LED LIGHT STRIP

# **BUILDING SIGNAGE** ABOVE DOOR (NAME TO BE DETERMINED) LIGHT FIXTURES @ EACH SIDE



EAST-WEST SECTION - BB



# NORTH-SOUTH SECTION - AA

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# DEPARTURE SUMMARY TABLE

	CODE CITATION	CODE REQUIREMENT	PROPOSED DEPARTURE & RATIO
DEPARTURE	SMC 23.47A.008.D1	AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY;	There will be two residential entry located at 30th that lead to courty, both be visually prominent, welcour resident entry courtyard pattern as a consistency throughout the entime
DEPARTURE 2	SMC 23.47A.008.D.2	THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET- LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK.	Due to the steep slope of the site, the required 4' above or below gra building will step back a foot from boxes located directly below reside additional landscaping between th
DEPARTURE 3	SMC 23.47A.008.B.2	TRANSPARENCY DEPARTURE ON 30TH - SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT.	The site slope limits the amount of Since the slope at the southeast co on the commercial portion of the texture will help create a human so DC2.D Scale & Texture. The raised p and texture of the landscaping all o
DEPARTURE	SMC 23.47A.005.C.1	IN ALL NC AND C ZONES, RESIDENTIAL USES MAY OCCUPY, IN THE AGGREGATE, NO MORE THAN 20 PERCENT OF THE STREET-LEVEL STREET-FACING FACADE IN THE FOLLOWING CIRCUMSTANCES OR LOCATIONS	30th Ave South is a residential stree of the intersections are zoned SF-5 Providing primarily residential uses 30th Ave South is consistent with t zoning. This meets the intent of CS
DEPARTURE 5	SMC 23.54.015.K	THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES FOR BICYCLES REQUIRED FOR SPECIFIED USES IS SET FORTH IN TABLE D FOR 23.54.015.	Bicycle parking will be provided fo located on the adjacent property a departure. This location is desirable biking up to the building and is a s

#### **FIONALE**

try gates, one located at S McClellan St and one rtyards and semi-private entries. These gates will coming, and well lit. These entries follow the same as the current Mt Baker Village apartments, creating ntire village.

te, 2 of the dwelling units will be located less than grade. In order to maintain privacy for these units, the pm the property line. There will be concrete planter sident's windows to create screening for privacy, and in the units & sidewalk.

t of transparency possible on 30th Ave & S. McClellan. t corner minimizes the amount of glazing possible he 30th Ave. elevation, the development of scale and n scale in the building facade as recommended in ed planters, steps in the facade, variety of windows, all contribute to the scale of the building.

street to the north and south. The other 3 corners F-5000 and have single family homes on them. Ises and not having visible commercial space on th the established neighborhood development and F CS3A, emphasizing positive neighborhood attributes.

I for 9 bicycles. The bike racks would be partially ty also owned by Mt. Baker Village, which requires a able because is at the lowest elevation for residents a secure location within the courtyard.



#### D.1 - SMC 23.47A.008.D1

# AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY;

#### **RESPONSE:**

The project proposes to have visually prominent entry portals and pedestrian courtyards for residential entry from both streets. This experiential approach to the building draws it's inspiration from the adjacent Mt. Baker Village garden courts and the traditional garden approaches typical in the adjacent single family neighborhood.

Along McClellan Street, we propose to have a designated residential entry with a prominent, architecturally significant portal that is visibile from the street, readily signed and easily recognizable as a pedestrian entry. This gated portal and landscaped entry way will be located to the west of the building, and will enhance the existing vegetated space so as to take advantage of the current attributes of the site.

The gate will serve as an entry marker and will provide visibility into the landscaped courtyard while simultaneously providing security for the residents and restricted access into the courtyard for residents only. This entry will also be adjacent to the commercial space along McClellan, allowing for more natural light in the commercial space as well as views to the landscaped courtyard from within the commercial space.

#### PL3-A STREET LEVEL INTERACTION - A. ENTRIES

The design meets the prioritization & intent described in PL3-A.

a. **Office/commercial lobbies:** The office/commercial lobby is visually connected to the street through the primary entry.

b. **Retail entries:** The office/commercial lobby entrance has adequate space for several patrons to enter & exit simultaneously and under cover from weather

c. **Common entries to multi-story residential buildings:** Common entries to the residential space provide privacy & security and are welcoming & identifiable to visitors. The entry gate has a semi-private space & recessed entry as recommended in the design guidelines.

#### SITE PLAN



# PEDESTRIAN ENTRIES

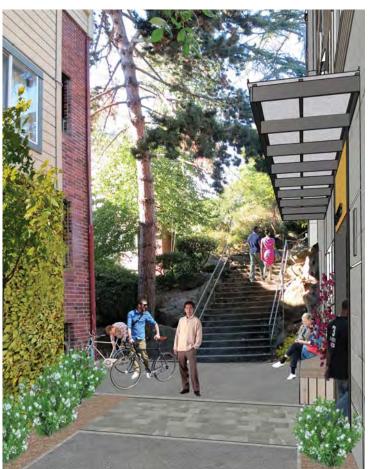


# ENTRY GATE AT S. MCCLELLAN

Within this courtyard, residents will have access to a bike rack, bench seating, and a stairway leading around the building to the zen garden, parking, and entry located to the north.

We believe that providing this type of entry will enhance the street presence of the residential use at this location. The gates will be clearly marked with the street address and name of the building, and will be designed with as much consideration as the rest of the building. We also believe that the scale of these gates will reflect the current character of the neighborhood, as many single family homes are entered by a front gate in similar nature and scale.









# ENTRY GATE AT 30TH AVE. SOUTH

Along 30th, a similar portal will be designed, with a canopy leading residents along 30th and wrapping the corner to the north entry of the building. This area will also be landscaped, with seating areas for residents. The majority of resident seating and gathering space will be located in this area. This area will provide residents with similar security and access to the outdoor area.

To the north, the entry courtyard provides an accessible entry for residents using the north parking lot.







D.2 - SMC 23.47A.008.D.2

#### THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK.

#### **RESPONSE:**

Because of the site slope along 30th Avenue South and the desire to create an ADA accessible entry at the north from the parking lot and sidewalk - the 1st residential floor will be located at elevation 107'.

As such, there is one unit at 6'-6" above grade and one at 4'-6" above grade, both of which meet the code. Two additional units fall short of code, one unit at 2'6" above grade and one unit 1'-6" below grade. Because of the steep slope of the site, the project cannot maintain the quantity of affordable family housing if required to meet this requirement. We propose to meet the intent of the code by prividing privacy and screening for the residents at the ground floor units.

To provide screening and privacy for these units, we will step back a foot on the ground floor along 30th to create a greater distance between these units and the sidewalk. We have designed planter boxes that will be located directly beneath the living room windows, which provide a space for plants that will help shade these units from pedestrians. Further, there are trees located between the sidewalk and 30th Ave. South, which will act as an additional barrier layer between the apartments and traffic.

The northeast corner of the project will have a prominent residential entry with a gate and landscaping. The corner apartment has a bedroom with the window located to the north rather than east, and this window will also be screened by plants to provide privacy from residents walking past to the north.

#### PL3- STREET LEVEL INTERACTION - B. RESIDENTIAL EDGES

The 30th Ave South is a residential street with large street trees and 9' deep landscaping between the sidewalk and street. The building is 2'-4' from the sidewalk and includes a variety of plants for depth, height, and seasonal color. Concrete planters under the living room windows for additional detail and buffer. The windows are larger than presented at EDG to provide more eyes on the street and potential for interaction from the residents to the residential street. The entry gate at the north end is prominent and has uplighting on the canopy cover. This entry canopy provides a focus for the pedestrian and a visible identifiable entry for visitors.





**30TH ST. SECTION - SOUTH END** 

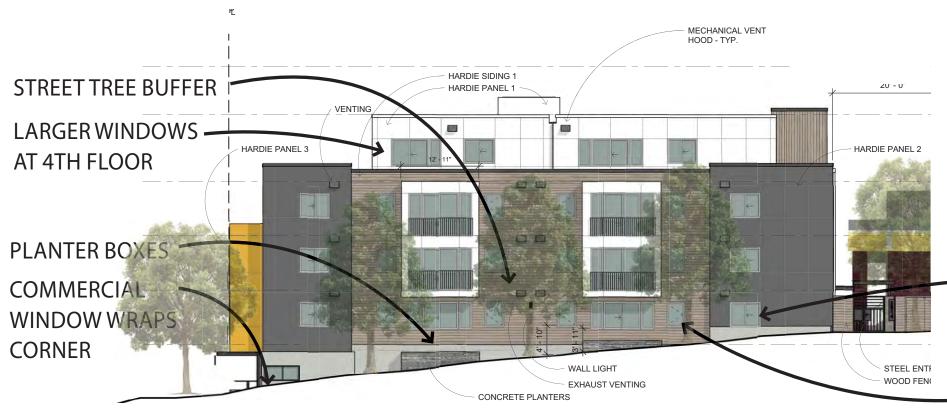






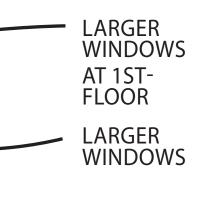


# EAST ELEVATION - BEFORE EDG



# EAST ELEVATION - AFTER EDG







#### D.3 - SMC 23.47A.008.B.2

TRANSPARENCY DEPARTURE ON 30TH - SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT.

#### **RESPONSE:**

Due to the sloping nature of the site, the commercial space along 30th Ave. S. will not meet the required transparency percentage. Currently, the site slopes approximately 20.5 feet from the southwest corner to the northeast corner. The commercial space has its entry along S. McClellan and is almost entirely burried undergroud by the time the slope reaches 30th Ave S. Due to this fact, glazing has been removed from this elevation at the commercial level to provide privacy to the tenant, who will be working at a level well below that of the sidewalk.

Further, not meeting the transparency requirement also helps separate the commercial space from the adjacent single family homes, providing privacy to the neighborhood's current residents as well.

#### DC2 ARCHITECTURAL CONCEPT - D. SCALE AND TEXTURE

Since the slope minimizes the amount of glazing possible on the 30th Ave South – the development of scale and texture help create human scale in the building façade. The raised planters, the steps in the façade, the variety of windows, and texture of the landscaping all contribute to the scale of the building. The siding along the middle section is 6" horizontal siding painted in a medium tan color provides a nice backdrop for the variety of plants and the large existaing street trees. The exposed concrete base of the foundations and the planters will be another texture and subtle color to this façade.





D.4 - 23.47A.005.C.1 - STREET-LEVEL USES - RESIDENTIAL USES AT STREET LEVEL

IN ALL NC AND C ZONES, RESIDENTIAL USES MAY OCCUPY, IN THE AGGREGATE, NO MORE THAN 20 PERCENT OF THE STREET-LEVEL STREET-FACING FACADE IN THE FOLLOWING CIRCUMSTANCES OR LOCATIONS

Response: This project will have 4,320 SF commercial / office space on the Ground Floor with 100% of the S. McClellan street facade dediated to commercial use. Intended tenant is the Owner/Non=-profit Mt. Baker Housing Association.

Departure: Due to the slope and the residential nature of 30th Ave South, there will be more than 20% residential use along 30th Ave South. Design Review Board indicated in the EDG Report that this wouldbe acceptable response to the single-family nieghbohrhood across the street and sloping site.

#### CS3 ARCHITECTURAL CONTEXT AND CHARACTER - A. **EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES**

30th Ave South is a residential street to the north and to the south. The other 3 corners of the intersections are zoned SF-5000 and have single family homes on them. Providing primarily residential uses and not having visible commercial space on 30th Ave South is consistent with the established neighborhood development and zoning.

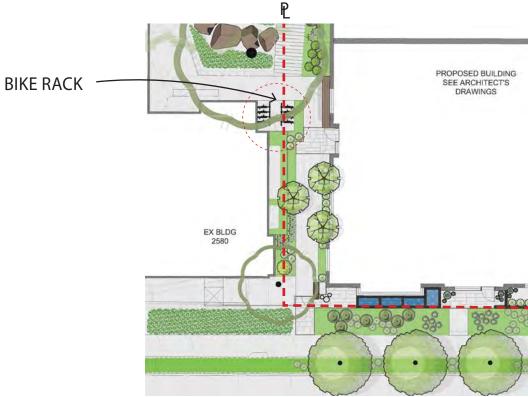


#### Bicycle Parking (SMC 23.54.015.K)

Bicycle parking will be provided for 9 bicycles. This is an additional departure request to locate the bike racks in the west courtyard between the new building and the existing building. The departure is required as the bike racks would be partially located on the adjacent property also owned by Mt. Baker Village. This location is at the lowest elevation for residents biking up to the building and is a secure location within the courtyard. The bike racks could be located on the north garden area but this is 17' higher than the west courtyard and would be more challenging to access on a bike.

#### **PL1 CONNECTIVITY**

Bicycle parking at this shared space at the main residential entry from S. McClellan Street meets the intent of PL1 for Connectivity of walkways and pedestrian spaces and amenities.



Building 2914 will share much of the presently existing community space with adjacent building 2580. The ground floor of 2580 currently houses the resident mail, tenant office, laundry room, fitness center, community room, and storage for residents who reside in the Mt. Baker Village Apartments. Tenants in the new 2914 will have direct access to these ammenities, which will be ADA compliant due to the lift being installed at the southeast corner of building 2580. Residents of 2914 will also have access to additional ammenities that are being built specifically for the new building, such as a conference room, reservable meeting space, and a landscaped zen garden.

