

EARLY DESIGN GUIDANCE

MT. BAKER HOUSING ASSOCIATION | 2914 S. MCCLELLAN STREET



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PROJECT NUMBER: 3023562

PROJECT ADDRESS: 2914 S McClellan St. Seattle, WA 98144

TAX PARCELS: 000360-0029 and portion of 795400-0005

LEGAL DESCRIPTION

LEGAL DESCRIPTION – MT BAKER VILLAGE LYING EAST OF 29TH AVE S.

LOTS 1 THROUGH 14, INCLUSIVE, BLOCK 2, STADIUM VISTA ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 58 OF PLATS, PAGE 61, IN KING COUNTY, WASHINGTON; TOGETHER WITH THAT PORTION OF THE EDWARD HANFORD'S DONATION CLAIM NUMBER 44 IN THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 24 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY WASHINGTON, LYING NORTH OF MCCLELLAN STREET AS CONDEMNED BY THE CITY OF SEATTLE IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 59194, AS PROVIDED FOR IN ORDINANCE NUMBER 17060 OF SAID CITY, EAST OF LOT 11, BLOCK 2 OF STADIUM VISTA ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 58 OF PLATS, PAGE 61, IN KING COUNTY, WASHINGTON, SOUTH OF LOT 12, BLOCK 2, OF SAID ADDITION, AND WEST OF 30TH AVENUE SOUTH, AS CONDEMNED BY THE CITY OF SEATTLE, IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 102164, AS PROVIDED FOR IN ORDINANCE NUMBER 32153 OF SAID CITY.

MEETING DATE: JUNE 14, 2016

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PROJECT VISION

PRIMARY OBJECTIVES

The primary objectives of the project are:

CREATE MORE LOW-INCOME AFFORDABLE HOUSING NEAR TRANSIT

- 31 apartments – 20 two bedroom and 11 one bedroom

ENHANCE THE NEIGHBORHOOD

- Improve pedestrian environment

DEFINE THE URBAN EDGE

- Transition from residential to commercial zone
- Increase safety with eyes on the street
- Connect visually and physically to shared green spaces

DEVELOP AN ENDURING BUILDING

- Architecture design that is appropriate to the neighborhood
- Incorporate high quality, durable materials
- Guaranteed commercial tenant
- Connect to nature and increase landscape design



PROJECT VISION

INSPIRATION IMAGERY



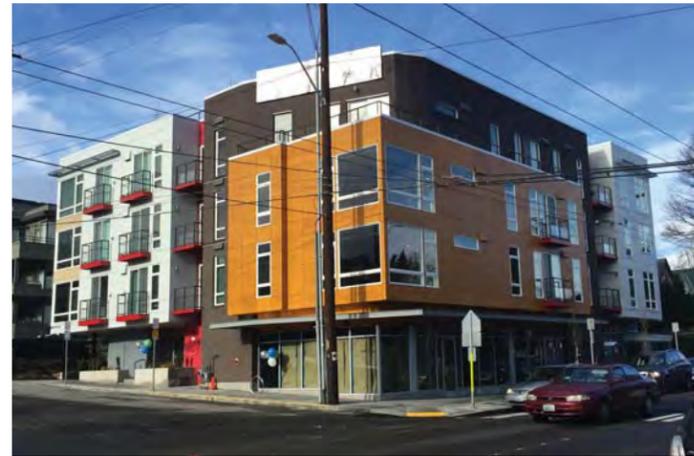
Building masses and materials help break up the scale of the building and step back at upper floors.



Building masses and materials help break up the scale of the building and step back at upper floors. Window bays provide further differentiation in scale.



Landscaped walkway with benches and trees help create a pleasant entry experience.



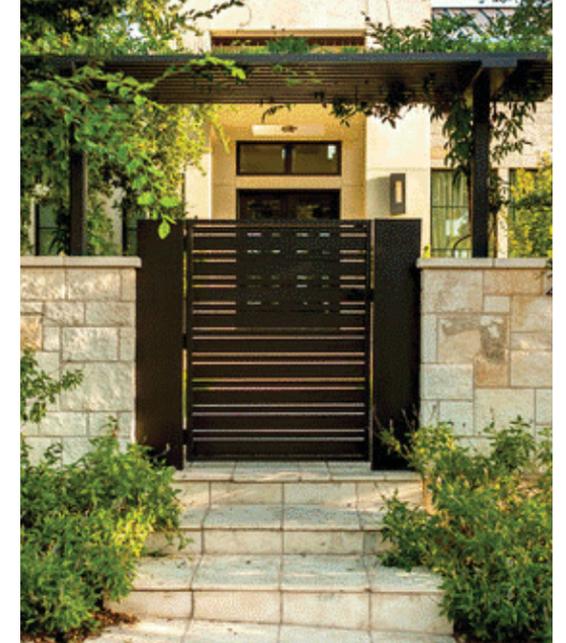
Building masses and materials help break up the scale of the building and step back at upper floors.



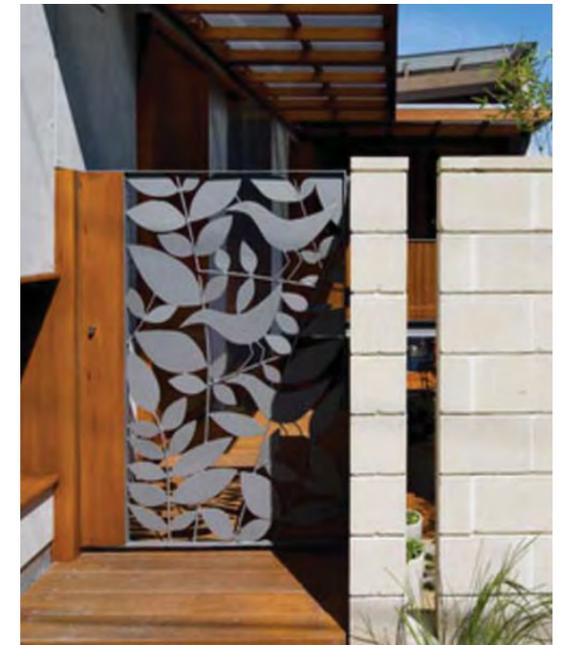
Bay windows differentiate uses within the building and provide massing differentiation.



Courtyard with seating and planting creates community space for residents.



Transparent entry gate provides privacy but allows for eyes on the street. Plantings and canopy help to designate entry.



Entry gate and canopy.

3.0 DEVELOPMENT OBJECTIVES

Project Description

The project is located at the southeast corner of the east parcel of an existing 9 building development known as Mt. Baker Village. The project, as well as Mt. Baker Village, is owned by Seattle non-profit affordable housing developer, Mt. Baker Housing Association. The proposed project of approximately 32,000 sf adds 31 low-income, affordable housing units to the Mt. Baker Village and approximately 3,000 sf of commercial office space intended for use by the Mt. Baker Housing Association.

The site is zoned NC1-40 with a small portion of SF-5000 to the north. An existing single story commercial building will be demolished for the new project. The project is within the Mt. Baker Station Overlay and the Rainier Urban Village. There are bus lines along S. McClellan and on near-by MLK Way S, Rainier Ave S, and 31st Ave S.

No parking is required or being added. The existing SF-5000 parcel to the north of the project provides on site parking for residents' use.

Site Description

The site is bound to the south by S. McClellan St, a major east/west thoroughfare. The eastern edge of the site is bound by 30th Ave S, a primarily single family street. The adjacent building to the west of the site, 2580 S McClellan, is a four story affordable housing building that includes a community room, exercise room, and laundry facilities for Mt. Baker Village residents. To the north is an existing surface parking lot, serving the needs of Mt. Baker Village.

The site slopes up to the east and up to the north. There is approximately 20.5 feet of grade change from the SW corner at 90' elevation to the NE corner at 110.5' elevation. There is an existing pedestrian path mid-block (south of the proposed project) to a landscape area and stairs to the north parking lot. There are existing street trees along 30th Ave South that will be preserved.

Required setback clearances from Seattle City Light's high voltage wires along both 30th Ave S and S McClellan will require the new building to reduce its allowable FAR square footages at the upper floors. Seattle City light will spread the high voltage wires out away from the property line for construction but will not allow them to remain in that configuration.

Neighborhood Character

The neighborhood is a mix of single family to the east and south, multi family to the northwest and commercial down the street to the west. The adjacent northwest multi-family housing is 1950's 3-story garden court design with mature plantings and a number of significant trees. The residential character on 30th Ave S. is a combination of smaller cottage style homes from approximately the late 1920s with 1950s brick homes and new townhomes further north.

The edges of the neighborhood 1 1/2 blocks south have proposed height increases for the "Mount Baker Town Center."

The project proposes to borrow cues from the existing Mt. Baker Village, by creating entry courtyards for residents with expressed commercial entry along the street edge.

Lowes Home Improvement is two blocks to the west as well as several single story businesses, including a few empty boarded up buildings. The Mt. Baker Station Light Rail, new ArtsSpace Apartments, and the QFC Grocery Store are another block to the west. The site is two blocks north of Franklin High School with easy access to the playfield and school entry.

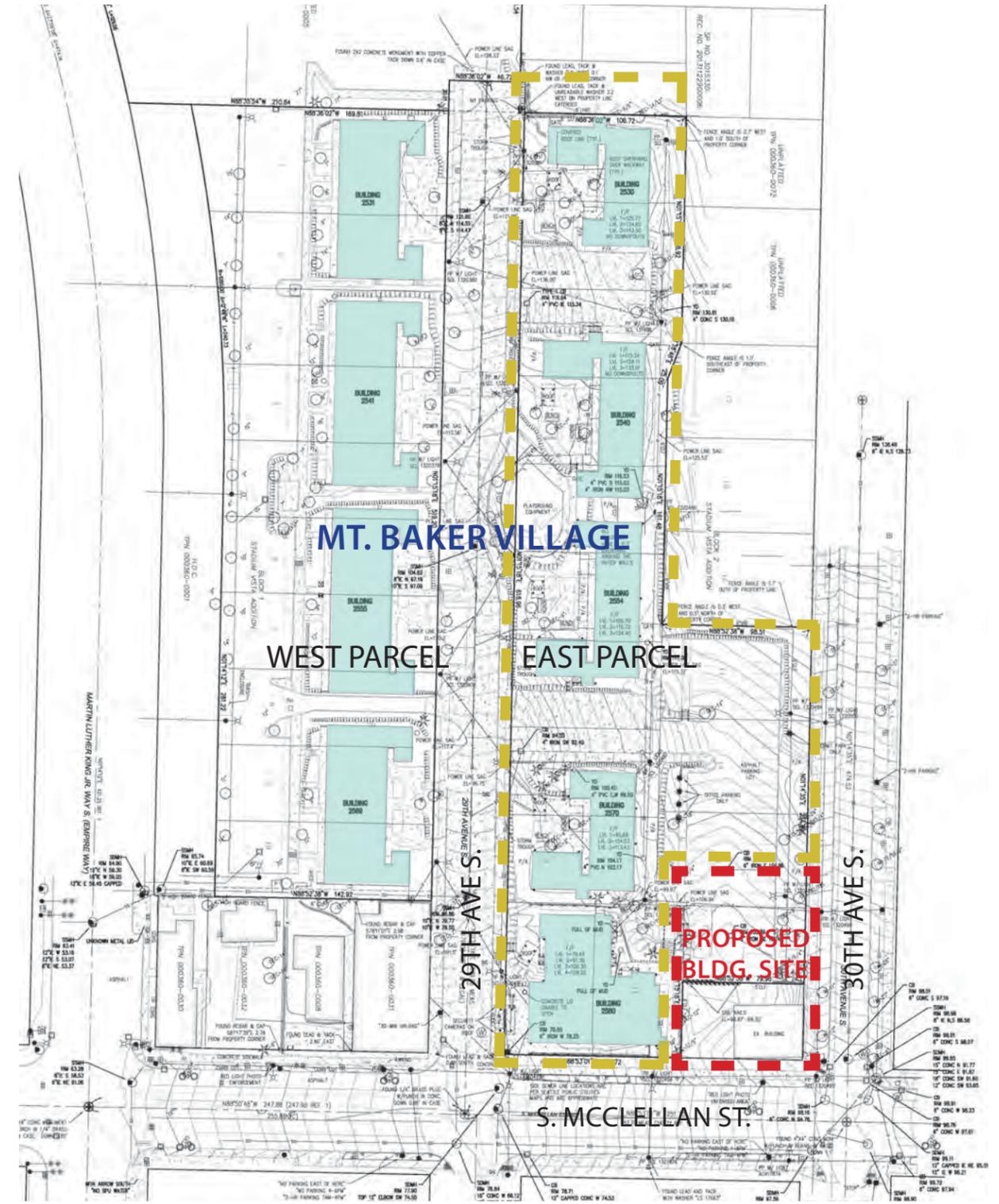
The project seeks to bridge from the commercial to the residential areas. The NC1-40 zone and sloping site work together to allow a building that steps up the site and transitions to the single family neighborhood. The new building will provide a commercial space with a welcoming entry and patio for the business.

Proposed Building Summary:

- Number of Residential Units: 31
- Commercial Square Footage: 3,000 SF
- Number of Parking Stalls: existing on-site parking - no new required

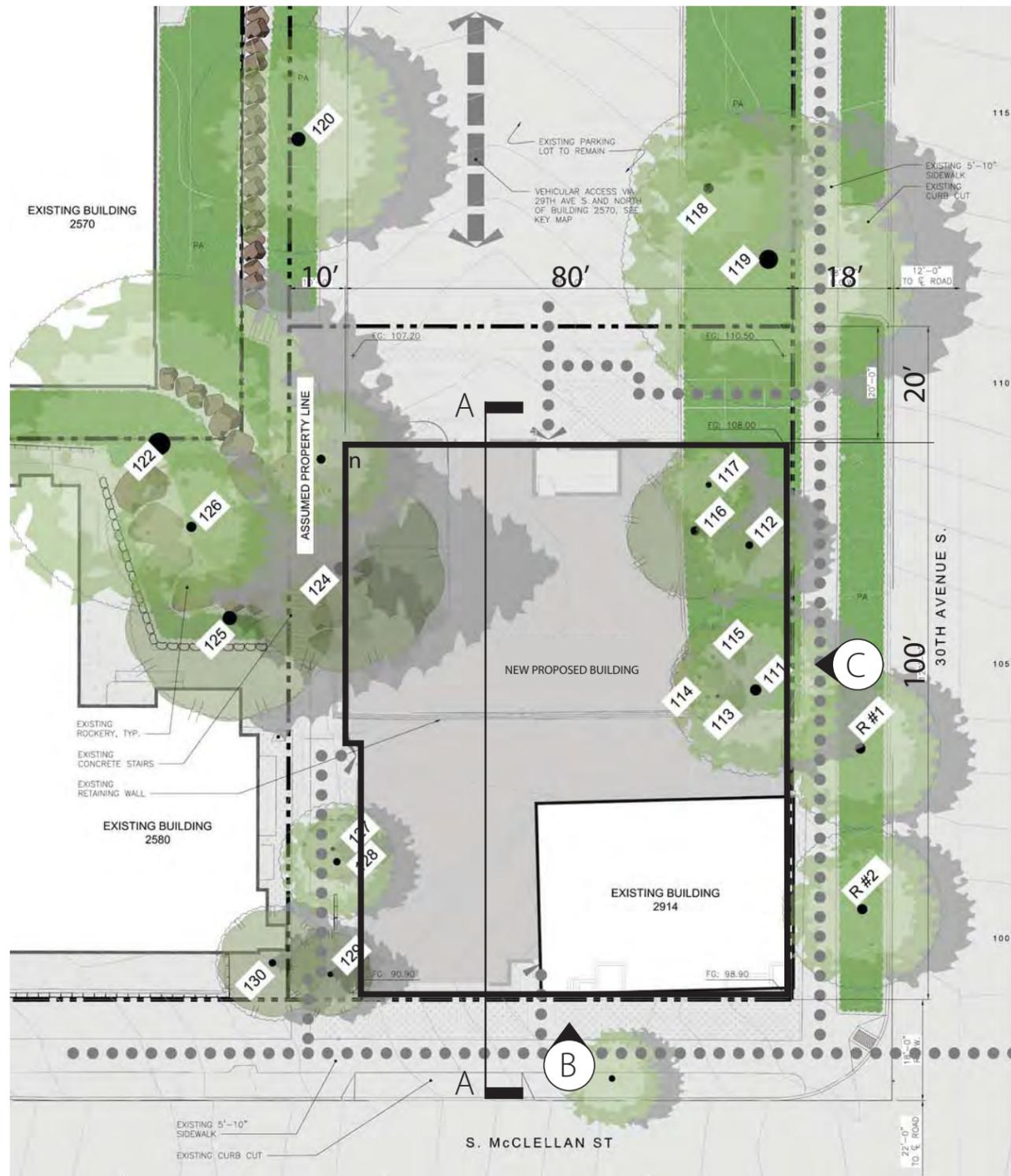


Mt. Baker Village building 2580 at S McClellan St.



MT. BAKER VILLAGE (clock icon)

4.0 SITE PLAN



SITE PLAN LEGEND

- ● ● ● PEDESTRIAN ACCESS ROUTE
- ▬ ▬ ▬ VEHICULAR ACCESS ROUTE
- ### ⊙ EXISTING TREE, SEE EXISTING TREES TABLE BELOW
- PA PLANTING AREA

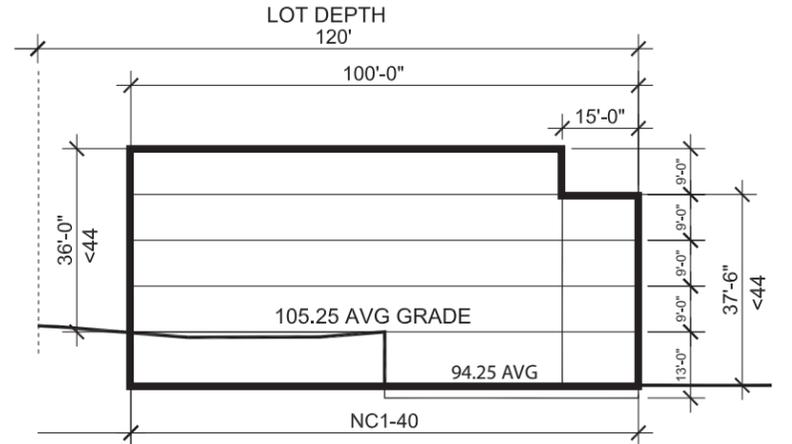
SITE PLAN NOTES

- SEE ARCHITECTURAL MASSING CONCEPTS FOR PROPOSED BUILDING INFORMATION.
- EXISTING BUILDING 2570: 4 STORY RESIDENTIAL BUILDING.
- EXISTING BUILDING 2580: 4 STORY BUILDING WITH OFFICES AT STREET LEVEL AND RESIDENTIAL UNITS ABOVE.
- EXISTING BUILDING 2914: 2 STORY COMMERCIAL BUILDING.

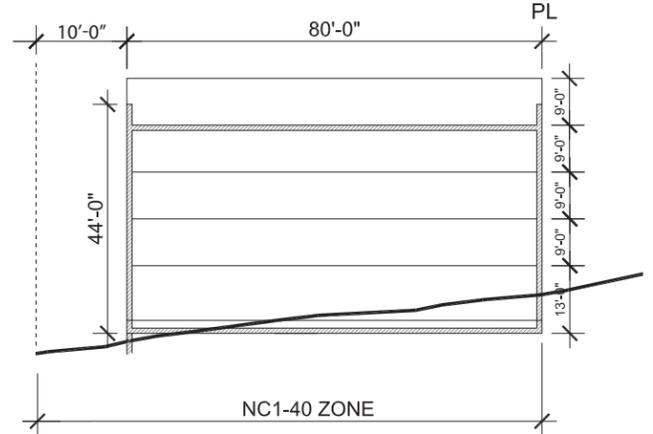
EXISTING TREES TABLE

TREE #	RETAIN / REMOVE	SCIENTIFIC NAME	COMMON NAME	DBH
111	REMOVE	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	14.8"
112*	REMOVE	MALUS DOMESTICA	FRUIT APPLE	13.5"
113	REMOVE	THUJA OCCIDENTALIS 'PYRAMIDALIS'	ARBORVITAE	6.4", 3.5"
114	REMOVE	THUJA OCCIDENTALIS 'PYRAMIDALIS'	ARBORVITAE	5.5"
115	REMOVE	THUJA OCCIDENTALIS 'PYRAMIDALIS'	ARBORVITAE	7.8", 5.9", 4.4"
116	REMOVE	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	12.1"
117*	REMOVE	MALUS DOMESTICA	FRUIT APPLE	9.2"
118	RETAIN	TSUGA CANADENSIS	EASTERN HEMLOCK	11.2", 17.5"
119	RETAIN	ZELKOVA SERRATA	JAPANESE ZELKOVA	15.9"
120	RETAIN	ZELKOVA SERRATA	JAPANESE ZELKOVA	15.3"
121	RETAIN	ZELKOVA SERRATA	JAPANESE ZELKOVA	18.7"
122*	REMOVE	SOPHORA JAPONICA	JAPANESE PAGODA TREE	25.3"
124	REMOVE	CEDRUS DEODORA	DEODORA CEDAR	18.5"
125	REMOVE	PINUS THUNBERGIANA	JAPANESE BLACK PINE	20.3"
126	REMOVE	PRUNUS SERRULATA	FLOWERING CHERRY	10.5"
127	RETAIN	CHAMAECYPARIS LAWSONIANA	PORT ORFORD CEDAR	9.8"
128	RETAIN	FRAXINUS LATIFOLIA	OREGON ASH	12.8"
129	RETAIN	JUNIPERUS CHINENSIS 'KETEKEERI'	KETELEERI JUNIPER	13", 5", 6"
130	RETAIN	CHAMAECYPARIS LAWSONIANA	PORT ORFORD CEDAR	9.8"
R #1	RETAIN	ACER PLATANOIDES	NORWAY MAPLE	10.2"
R #2	RETAIN	ACER PLATANOIDES	NORWAY MAPLE	11.6"

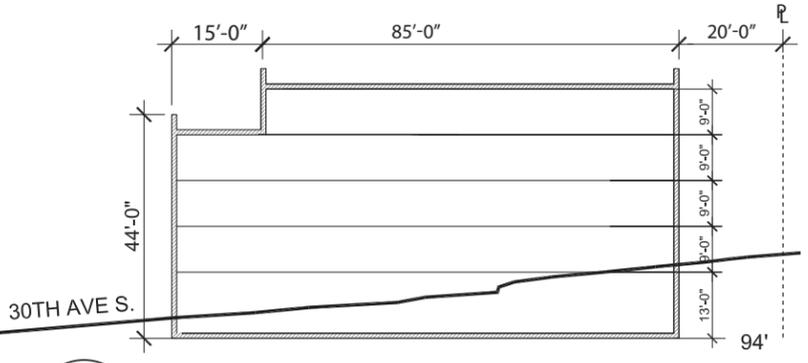
* INDICATES HAZARD / DEAD TREE
NOTE: NO EXCEPTIONAL TREES



A SITE SECTION



B SOUTH MCCLELLAN ST



C 30TH AVE SOUTH

SITE SECTIONS- zoning envelope

SITE PLAN

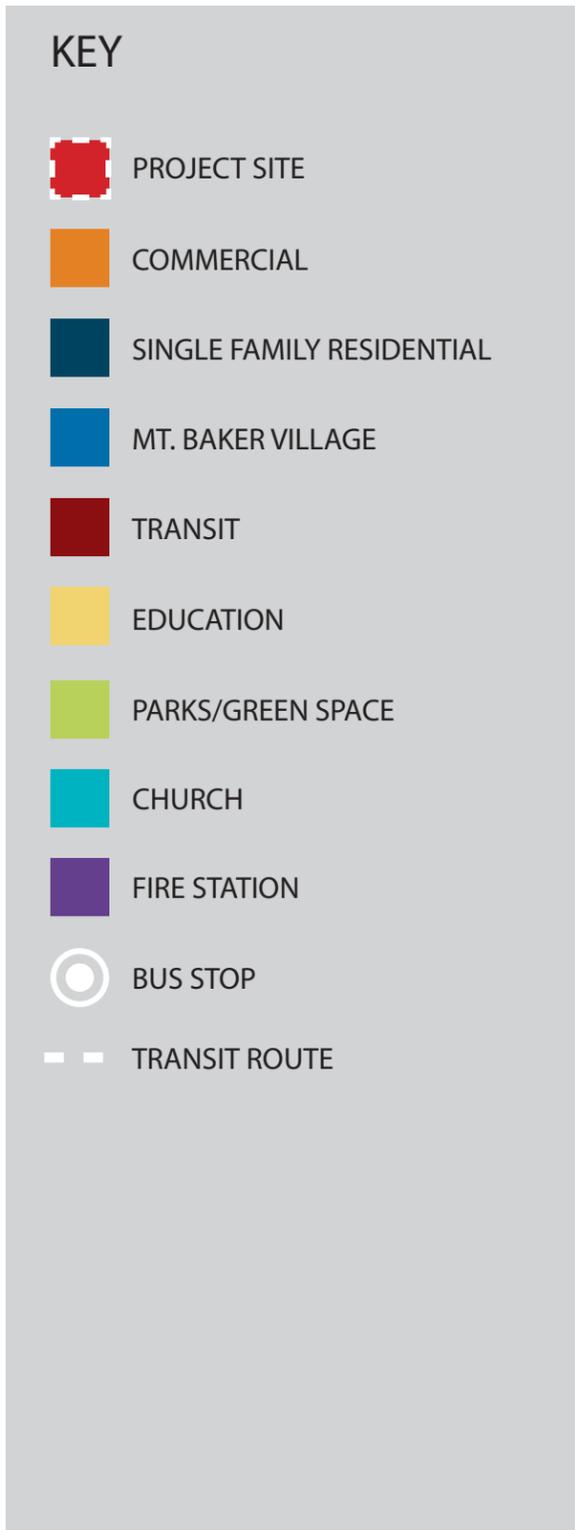
5.0 URBAN DESIGN ANALYSIS

AXONOMETRIC VIEW OF SITE ↻



5.0 URBAN DESIGN ANALYSIS

BUILDING USES & SITE OPPORTUNITIES



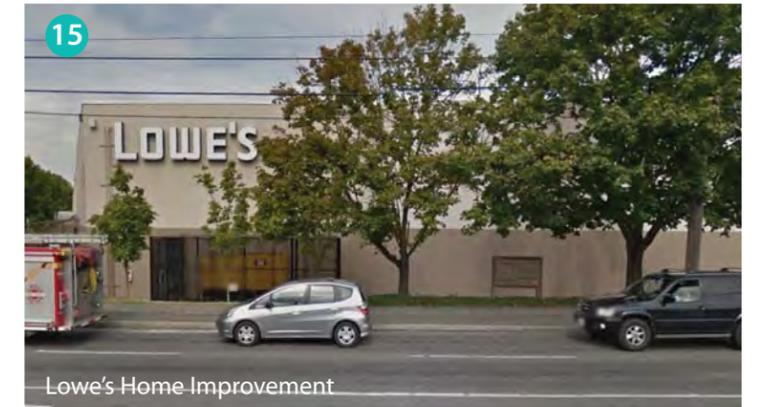
5.0 URBAN DESIGN ANALYSIS

NEIGHBORHOOD CONTEXT ①



5.0 URBAN DESIGN ANALYSIS

NEIGHBORHOOD CONTEXT



5.0 URBAN DESIGN ANALYSIS

MT. BAKER VILLAGE APARTMENTS



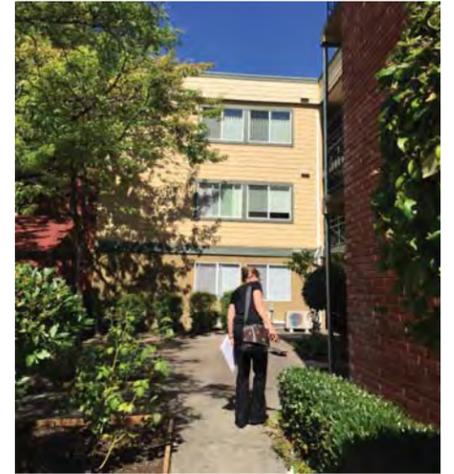
Mt. Baker Village Apartments at S McClellan St.



Mt. Baker Village Apartments at 29th Ave. S.



Typical courtyard entry at MBV Apartments



Vegetated walkway in entry courtyard



Entry gate to MBV courtyard



Entry gate to MBV courtyard



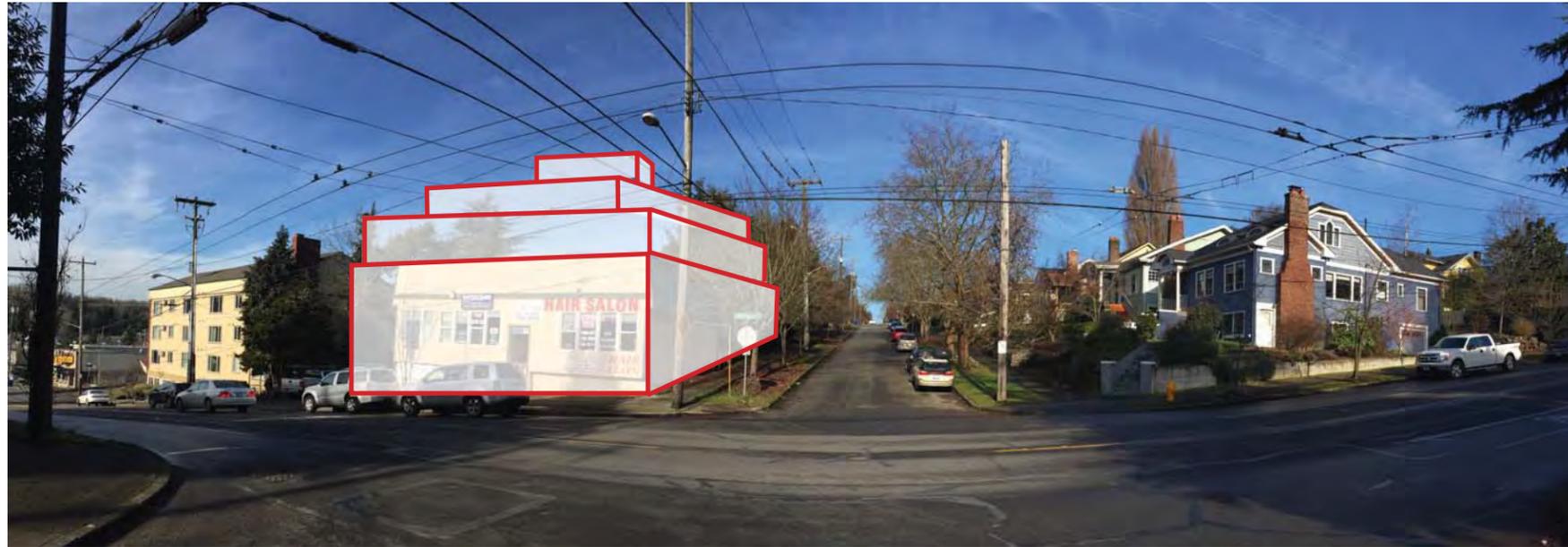
MBV courtyard and balconies



Existing vegetation in typical MBV courtyard

5.0 URBAN DESIGN ANALYSIS

SITE PHOTOS



Site with existing nail salon



MBHA Parking lot to north

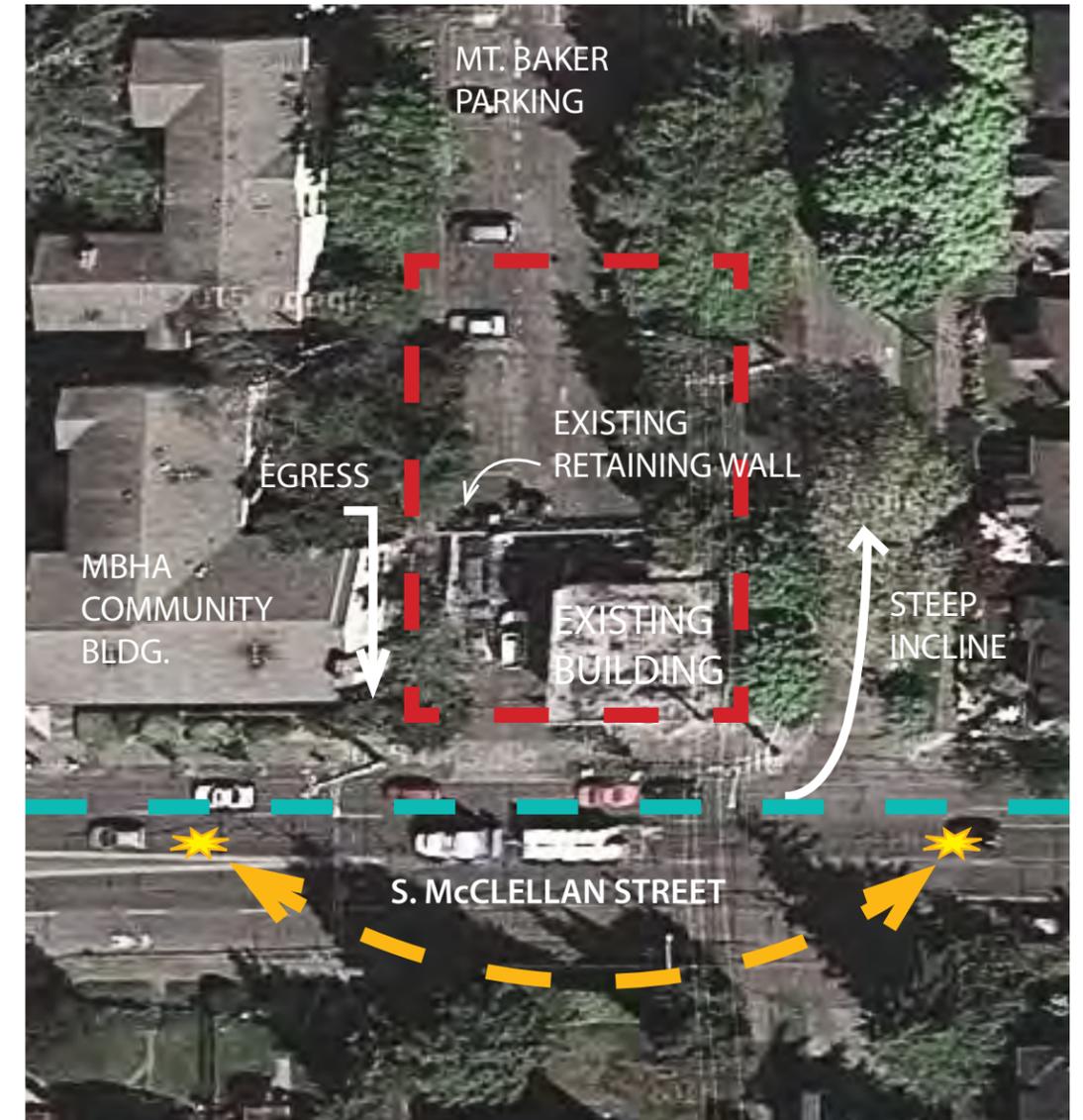


Future pedestrian entry



Existing green space

MAP OF ACCESS OPPORTUNITIES & CONSTRAINTS ⓘ



- — — SITE
- — — TRANSIT ROUTE
- — — SUN PATH

5.0 URBAN DESIGN ANALYSIS

STREETSCAPE ELEVATIONS



S. MCCLELLAN ST. - SOUTH ELEVATION



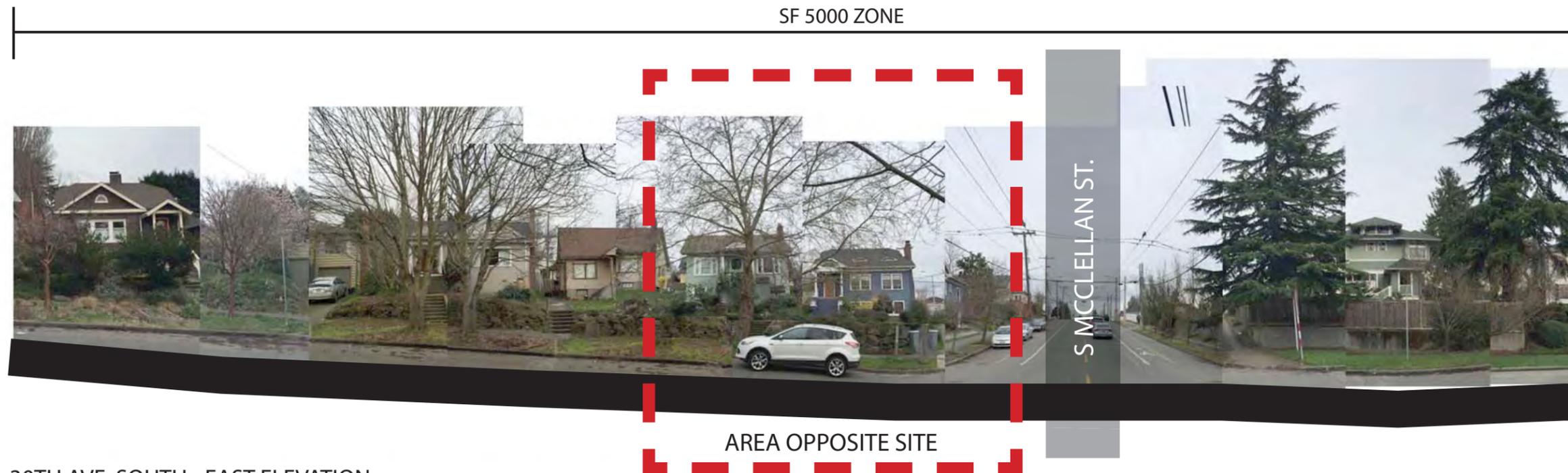
S. MCCLELLAN ST. - NORTH ELEVATION

5.0 URBAN DESIGN ANALYSIS

STREETSCAPE ELEVATIONS



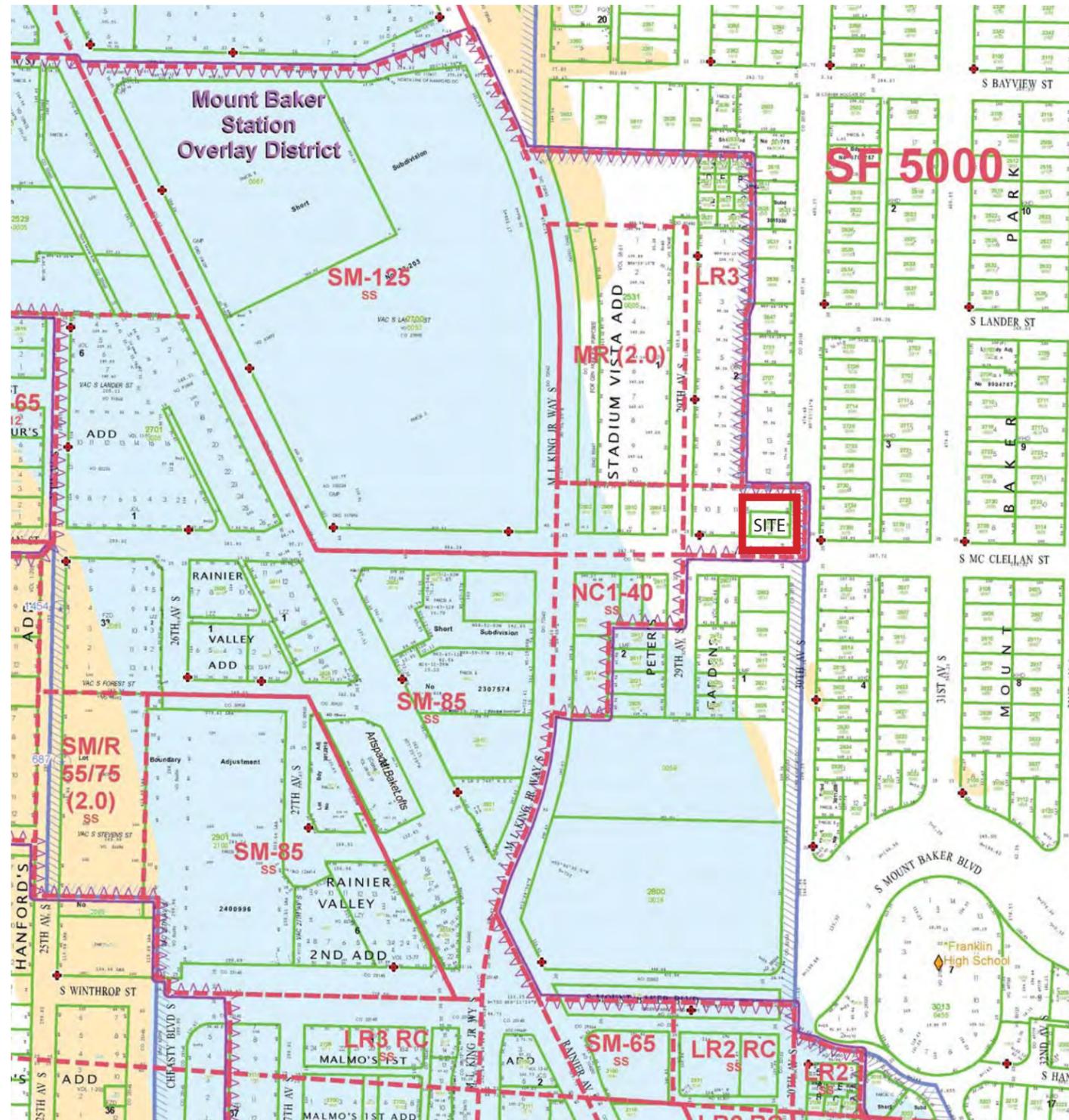
30TH AVE. SOUTH - WEST ELEVATION



30TH AVE. SOUTH - EAST ELEVATION

6.0 ZONING ANALYSIS

ZONING ANALYSIS



Site Address: 2914 S. McClellan Street
 Zoning Classification: NC1-40 and SF-5000

Neighborhood Overlay:
 Rainier Urban Village
 Frequent Transit available
 Mount Baker Station Overlay

Topography:
 Site slopes from SW up to NE - with 20.5 feet of grade change.

Site Area
 Site area is 90' x 120' = 10,800 SF

LAND USE CODE: CHAPTER 23.47A - COMMERCIAL

23.47A.005 - STREET-LEVEL USES - RESIDENTIAL USES AT STREET LEVEL

C.1 - IN ALL NC AND C ZONES, RESIDENTIAL USES MAY OCCUPY, IN THE AGGREGATE, NO MORE THAN 20 PERCENT OF THE STREET-LEVEL STREET-FACING FACADE IN THE FOLLOWING CIRCUMSTANCES OR LOCATIONS.

This project will have 3,000 SF commercial / office space on the ground floor facing S. McClellan Street. Intended tenant is the owner.

23.17A.008 - STREET-LEVEL DEVELOPMENT STANDARDS

B.2.A - SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT. The sidewalk slopes so the project will meet the intent of this requirement.

B.3 - NON-RESIDENTIAL USES SHALL EXTEND AN AVERAGE DEPTH OF AT LEAST 30 FEET AND A MINIMUM DEPTH OF 15 FEET FROM THE STREET-LEVEL STREET-FACING FACADE.

B.4 - HEIGHT PROVISIONS FOR NEW STRUCTURES OR NEW ADDITIONS TO EXISTING STRUCTURES. NON-RESIDENTIAL USES AT STREET LEVEL SHALL HAVE A FLOOR-TO-FLOOR HEIGHT OF AT LEAST 13 FEET.

D.1 - AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY; AND

This project proposes to have prominent residential entry courtyards, one on 30th Avenue South and one on S McClellan Street.

D.2 - THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK.

The sloping site provides for units that are above grade, at grade, and slightly below grade.

23.47A.012 - STRUCTURE HEIGHT

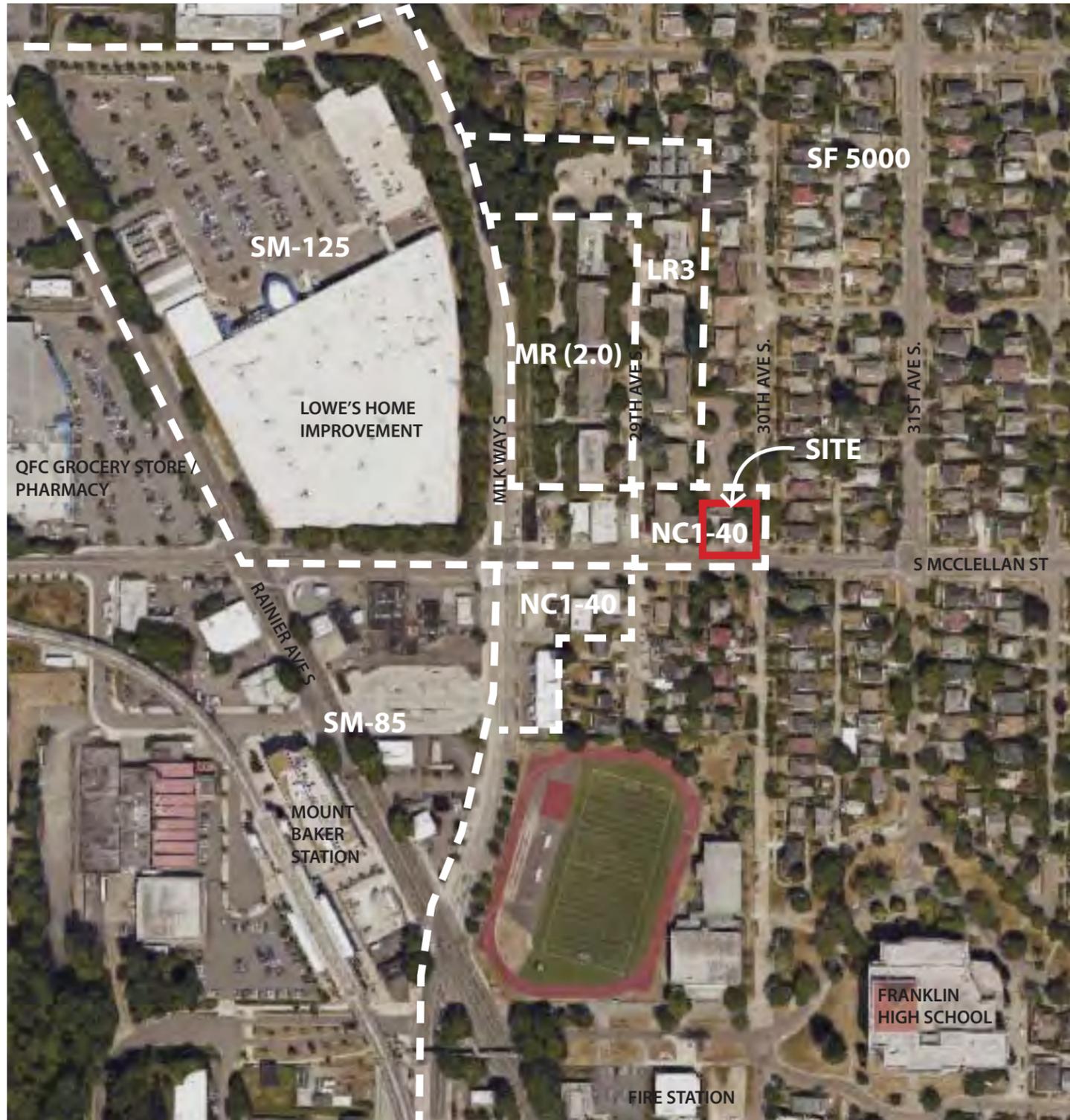
A.1.A - IN ZONES WITH A 30 FOOT OR 40 FOOT MAPPED HEIGHT LIMIT: THE HEIGHT OF A STRUCTURE MAY EXCEED THE OTHERWISE APPLICABLE LIMIT BY UP TO 4 FEET, SUBJECT TO SUBSECTION 23.47A.012.A.1.C, PROVIDED THE FOLLOWING CONDITIONS ARE MET:

A.- A FLOOR TO FLOOR HEIGHT OF 13 FEET OR MORE IS PROVIDED FOR NON-RESIDENTIAL USES AT STREET LEVEL

C.2 - OPEN RAILINGS, PARAPETS MAY EXTEND AS HIGH AS THE HIGHEST RIDGE OF A PITCHED ROOF PERMITTED BY 23.47A.012B OR UP TO 4 FEET ABOVE THE OTHERWISE APPLICABLE HEIGHT LIMIT, WHICHEVER IS HIGHER.

4.F - STAIR AND ELEVATOR PENTHOUSES MAY EXTEND ABOVE THE APPLICABLE HEIGHT LIMIT UP TO 16 FEET.

6.0 ZONING ANALYSIS



ZONING MAP ⓘ

12.47A.013 - FLOOR AREA RATIO

C. - MAXIMUM FAR ALLOWED IN NC ZONES OR C ZONES WITHIN THE STATION AREA OVERLAY DISTRICT IS SHOWN IN TABLE B (FOR A HEIGHT LIMIT OF 40') - THE MAXIMUM FAR IS 4.

2. FAR APPLIES TO ALL PORTIONS OF A STORY THAT EXTEND NO MORE THAN 4 FEET ABOVE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER, EXCLUDING ACCESS.

$90' \times 100' = 10,800 \text{ SF} \times 4.0 = 36,000 \text{ SF} >$ Proposed building is 32,000 SF

23.47A.014 - SETBACK REQUIREMENTS

B.1 - A SETBACK IS REQUIRED WHERE A LOT ABUTS THE INTERSECTION OF A SIDE LOT LINE AND FRONT LOT LINE OF A LOT IN A RESIDENTIAL ZONE. THE REQUIRED SETBACK FORMS A TRIANGULAR AREA. TWO SIDES OF THE TRIANGLE EXTEND ALONG THE STREET LOT LINE AND SIDE LOT LINE 15 FEET FROM THE INTERSECTION OF THE RESIDENTIALLY ZONED LOT'S FRONT LOT LINE AND THE SIDE LOT LINE ABUTTING THE RESIDENTIALLY ZONED LOT. THE THIRD SIDE CONNECTS THESE TWO SIDES WITH A DIAGONAL LINE ACROSS THE COMMERCIALY-ZONED LOT.

The setback will be from the north property line.

B.3 - FOR A STRUCTURE CONTAINING A RESIDENTIAL USE, A SETBACK IS REQUIRED ALONG ANY SIDE OR REAR LOT LINE THAT ABUTS A LOT IN A RESIDENTIAL ZONE AS FOLLOWS:

a. FIFTEEN FEET FOR PORTIONS OF STRUCTURES ABOVE 13' IN HEIGHT TO A MAXIMUM OF 40' IN HEIGHT

b. FOR EACH PORTION OF A STRUCTURE ABOVE 40 FEET IN HEIGHT, ADDITIONAL SETBACK AT THE RATE OF 2 FEET OF SETBACK FOR EVERY 10 FEET BY WHICH THE HEIGHT OF SUCH PORTION EXCEEDS 40 FEET

The setback will be from the north property line.

23.47A.016 - LANDSCAPE AND SCREENING

A.2. LANDSCAPING THAT ACHIEVES A GREEN FACTOR SCORE OF 0.3 OR GREATER IS REQUIRED.

The project proposes to include the north 20' of property in the Green Factor, as this area will be landscaped with benches and entry porch.

B. STREET TREES ARE REQUIRED

New street trees will be provided along S. McClellan. Existing trees on 30th Avenue South will be maintained.

D.3. OTHER USES OR CIRCUMSTANCES

PER TABLE D. ITEM d. GARBAGE DUMPSTERS REQUIRE SCREENING 6 FEET HIGH.

The project proposes to have the dumpster enclosure at the north parking lot.

23.47A.024 - AMENITY AREA

A.- AMENITY AREAS ARE REQUIRED IN AN AMOUNT EQUAL TO 5 PERCENT OF THE TOTAL GROSS FLOOR AREA IN RESIDENTIAL USE, EXCEPT AS OTHERWISE SPECIFICALLY PROVIDED IN CHAPTER 23.47A

This project proposes to include the north 20' of the property for the amenity area, with benches and entry porch.

24.54.040 - SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS

EXCEPT AS PROVIDED IN SUBSECTION 23.54.040.I, IN DOWNTOWN, MULTIFAMILY, MASTER PLANNED COMMUNITY, AND COMMERCIAL ZONES, STORAGE SPACE FOR SOLID WASTE AND RECYCLABLE MATERIALS CONTAINERS SHALL BE PROVIDED AS SHOWN IN TABLE A FOR 23.54.040 FOR ALL NEW STRUCTURES, AND FOR EXISTING STRUCTURES TO WHICH TWO OR MORE DWELLING UNITS ARE ADDED. TABLE A STATES: FOR RESIDENTIAL DEVELOPMENTS WITH 26-50 DWELLING UNITS, THE MINIMUM AREA FOR SHARED STORAGE SPACE IS 375 FEET.

The project proposes to include this in the north 20' of property with access from 30th Ave South.

CONTEXT AND SITE

CS1 Natural Systems and Site Features

B. Sunlight and Natural Ventilation

GUIDELINE: B2 – Daylight and Shading: Maximize daylight for interior and exterior spaces and minimize shading on adjacent sites through the placement and/or design of structures on the site.

RESPONSE: The project has windows at the south end of a double loaded hallway to provide natural daylight and connections to the outside on each floor. The building will set back 20' from the north property line, minimizing shading on the adjacent property.

GUIDELINE: B3 – Managing Solar Gain: Manage direct sunlight falling on south and west facing facades through shading devices and existing or newly planted trees.

RESPONSE: New street trees on the south side will provide natural shading. A canopy will provide shading for the south facing commercial space. Along the west side of the building, the existing garden court trees will provide natural shading in the afternoon and evenings.

C. Topography

GUIDELINE: C1 – Land Form: Use the natural topography and/or other desirable land forms or features to inform the project design.

RESPONSE:

1. The natural topography of the site allows the commercial space to be partly below grade, which reduces its impact on the residential zone to the east.
2. There is a natural vegetated space with stairs along the length of the western side of the site. A residential entry courtyard is planned along this edge. It will be able to be accessed from the heavily trafficked S. McClellan St, the existing upper parking lot, and internally by residents in other Mt. Baker Village apartments.

GUIDELINE: C2 – Elevation Changes: Use the existing site topography when locating structures and open spaces on the site. Consider “stepping up or down” hillsides to accommodate significant changes in elevation.

RESPONSE: Utilizing the slope along 30th Ave South, the building will step up the hill, providing residential entrances on 2 levels. The commercial entry is planned to be at the mid point of the building along S. McClellan with a protected entry area and landscaping in addition to required R.O.W. plantings.

D. Plans and Habitat

GUIDELINE: D1 – On-Site Features: Incorporate on-site natural habitats and landscape elements such as: existing trees, native plant species or other vegetation into project design.

RESPONSE: There is an existing vegetated space with boulders and stairs along the western edge of the site. This area is proposed for enhanced native vegetation to create a calm and quiet entry courtyard for the new residential entry.

CS2 Urban Pattern and Form

A. Location in the City and Neighborhood

GUIDELINE: A2 – Architectural Presence: Evaluate the degree of visibility or architectural presence that is appropriate or desired given the context, and design accordingly. Buildings that contribute to a strong street edge, especially at the first three floors, are particularly important to the creation of a quality public realm that invites social interaction and economic activity.

RESPONSE: The street and neighborhood presence of this new building are important. It will be replacing a single story commercial building and is across the street from SF-5000 zoned parcels. The new building will have lots of glazing, landscaping, and an entry canopy along the commercial street. The corner site and sloping topography give the building additional presence. The façade facing S. McClellan will be the most prominent and the 30th Ave South will be important for providing a residential feel to the building.



EXISTING MT. BAKER VILLAGE APARTMENTS



EXISTING STAIRS BEHIND PROJECT SITE



EXISTING COURTYARD WEST OF PROJECT SITE



EXISTING COURTYARD

7.0 DESIGN GUIDELINES

B. Adjacent Sites, Streets, and Open Spaces

GUIDELINE: B1 – Site Characteristics: Allow characteristics of sites to inform the design, especially where the street grid and topography create unusually shaped lots that can add distinction to the building massing.

RESPONSE: The site topography contributes greatly to the design and layout of this building. The existing shared green open space to the NW is an amenity that will be expanded and contributed to by the new building and residents. The residential entry is connected to this green space and is opened up as a shared space for residents of both buildings.

GUIDELINE: B2 – Connection to the Street: Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm.

RESPONSE: The main residential entry off S. McClellan is through a new courtyard enhancing an existing green space. Many residents will be using buses and light rail located to the west. This courtyard on the west makes it easy for residents to walk up S. McClellan, through the courtyard, and into the building and up to their units. For residents, coming from the east or parking to the north, there will be a similar landscaped connection from 30th Ave South to the residential patio and entry on the north side.

The steep slope along S. McClellan provides a challenge and opportunity for siting an ADA entry and outdoor area for the commercial space. The project intends to design a low seat wall and landscaping to form a south facing entry area. This south facing façade will get a lot of great light and a covered seating area would be a welcome space for many months of the year. An entry canopy will provide protection from the rain and add detail & definition to this facade.

D. Height, Bulk, and Scale

GUIDELINE: D1 – Existing Development and Zoning: Review the height, bulk, and scale of neighboring building as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.

RESPONSE: The adjacent building is a 4 story apartment building with resident services and offices on the ground floor – it is very similar in scale to the proposed project but does sit lower due to the slope of S. McClellan Street. The other 3 corners of S. McClellan and 30th Ave South are zoned SF-5000 and have existing houses. The homes to the south, across S. McClellan have large trees screening them and can hardly be seen from the site. The existing 2 story home to the east across 30th Ave S is an early 1900's craftsman that sits up about 7' from the street. It will be most impacted by the new building, but it too has street trees and a landscape buffer.

To the west, the zoning is NC1-40 and MR and these properties are mostly 1 story commercial buildings some of which are closed or abandoned. It is anticipated that these properties will one day be developed with 4-6 story buildings, especially given the proximity of the Light Rail Station.

D. Height, Bulk, and Scale

GUIDELINE: D2 – Existing Site Features: Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.

RESPONSE: The site topography is challenging and an opportunity to set the building in the landscape and transition from commercial to residential at the NE corner. The new building is set into the topography with the commercial ground floor partially buried along 30th and the commercial entry designed with a south facing landscaped seating area.

GUIDELINE: D3 – Zone Transitions: For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s).

RESPONSE: This building is at the edge of NC1-40 to SF-5000 zones and it will use the slope, trees, and setbacks to provide an appropriate transition. There is 20' of property to the north of the building that will allow a residential entry at this side, provide landscaping, and more light to the adjacent property (which is currently a parking lot). The architecture will also use scale, bays, and window details to connect with the adjacent residential homes.

GUIDELINE: D4 – Massing Choices: Strive for a successful transition between zones where a project abuts a less intense zone.

GUIDELINE: D5 – Respect for Adjacent Sites: Respect adjacent properties with design and site planning to minimize disrupting the provacy and outdoor activities of residents in adjacent buildings.

RESPONSE: The north façade will have an entry canopy, patio area with bench seating and landscaping and will feel very residential. The building will have residential scale windows and have just 8 apartments facing to the north. The existing generous street trees will screen the new building as well. Modulation of the facade along 30th through the use of bay projections will help break up and reduce the building scale.

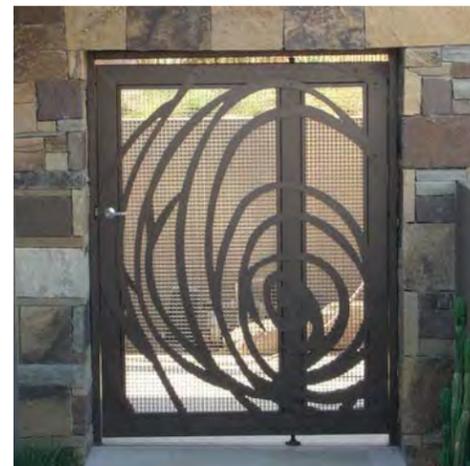


IMAGE INSPIRATION

CS3 Architectural Context and Character

A. Emphasizing Positive Neighborhood Attributes

GUIDELINE: A1 – Fitting Old and New Together: Create compatibility between new projects and existing architectural context.

The existing 3 and 4 story apartment buildings of Mt. Baker Village were built in 1959 and have simple design with open railing balconies facing entry courtyards. There are brick walls on each building at the open exit stairs and brick at some of the corners which help ground the buildings and give a sense of permanence.

RESPONSE: There are a lot of mature trees in the neighborhood including several evergreen trees to the south on S. McClellan Street. The mature landscaping within the Mt. Baker Village apartment complex adds to the residential feel of the neighborhood. The new building proposes to add to this landscaping and develop additional landscape entries for the residents.

PUBLIC LIFE

PL1 Connectivity

B. Walkways and Connections:

GUIDELINE: Pedestrian Infrastructure - Pedestrian Volumes - Pedestrian Amenities: The project has focused on the pedestrian experience from the bus stops, Light Rail, MBHA Community Rooms, Franklin High School and adjacent businesses. The streetscape will be enhanced with street trees, patio, canopy and lighting. There will be residential entries from both S. McClellan and 30th Ave South through green spaces.

RESPONSE: The outdoor space for residents to the north will be available for gathering, picnics, play, and relaxing. It will be well lit with benches and a covered porch.

DESIGN CONCEPT

DC2 Architectural Concept

A. Massing

GUIDELINE: A1 - Site Characteristics and Uses: Arrange the mass of the building taking into consideration the characteristics of the site and the proposed uses of the building and its open space.

RESPONSE: This building will step down the hill and be a welcome presence in the community. Smaller scale bays, window grouping, canopies, and recessed entry will help reduce the scale of the building.

B. Architectural and Facade Composition

GUIDELINE: B1. Facade Composition: Design all building facades considering the composition and architectural expression of the building as a whole.

RESPONSE: The existing apartment buildings of Mt. Baker Village have a brick vertical element that ties the overall site together. This project is considering use of similar color material to connect to the Village buildings and accent the entries.

DC3 Open Space Concept

B. Open Space Uses and Activities

B4 - Multifamily Open Space: Design common and private open spaces in multifamily projects for use by all residents to encourage physical activity and social interaction.

The main residential entries are through landscaped courtyards on the west and north sides of the new building. This allows the residents to have a meeting place and a protected space that is on the property and is welcoming them home. Lighting, benches, trees, and landscaping will add the scale and texture of these entry courtyards.

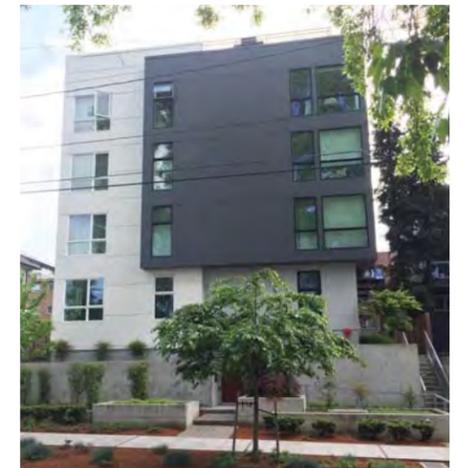
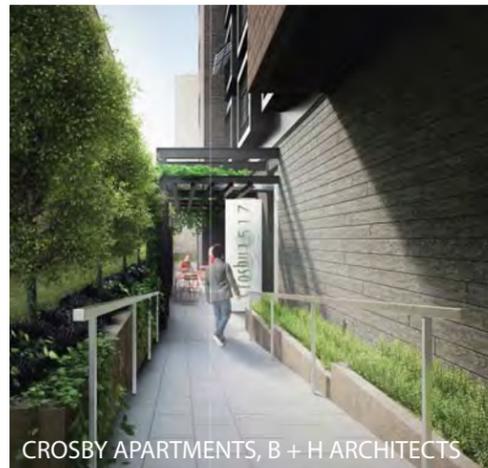


IMAGE INSPIRATION

8.0 ARCHITECTURAL MASSING CONCEPTS

OPTIONS SUMMARY

DESIGN OPTION 1 - PREFERRED CONCEPT



ADVANTAGES

- Bays located on the south and east facades help to break down the scale and form of the building
- The commercial patio located south of the building along McClellan helps to soften the pedestrian walkway
- 4th floor steps back on west for more light in the green space
- 3rd & 4th floors step back from S. McClellan reducing the scale
- 4th floor steps back from 30th Ave S. reducing the scale
- Stair core at north side of building less prominent from street, reducing scale
- Smaller bays at 2nd and 3rd floor only, reducing scale and stepping back from the ground floor

DISADVANTAGES

- Less commercial space due to patio along McClellan St.

DESIGN OPTION 2



ADVANTAGES

- Larger bays on the east facade along 30th Ave S.
- Bays along 30th are on the 2nd and 3rd stories only, providing a greater clearance at the sidewalk level
- Bay located at northeast corner breaks down the massing of the building and reduces the scale at street level.
- 3rd & 4th floors step back from S. McClellan reducing the scale
- 4th floor steps back from 30th Ave S. reducing the scale

DISADVANTAGES

- 4th floor does not step back on west for more light in the green space & greater perceived building mass.
- Less commercial space due to patio along McClellan St.

DESIGN OPTION 3



ADVANTAGES

- More commercial space
- Wrapping the corner adds to the prominence of the building
- Larger bays at east are higher above the sidewalk
- 4th floor steps back on west for more light in the green space
- 3rd & 4th floors step back from S. McClellan reducing the scale
- 4th floor steps back from 30th Ave S. reducing the scale

DISADVANTAGES

- Doesn't have an outdoor patio at the south along McClellan Street
- Stair core at roof located closer to McClellan, increasing apparent building height from street

8.0 ARCHITECTURAL MASSING CONCEPTS

DESIGN OPTION 1 - PREFERRED CONCEPT



SE CORNER AERIAL

- ▶ COMMERCIAL ENTRY
- ▶ RESIDENT ENTRY

ADVANTAGES

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DISADVANTAGES

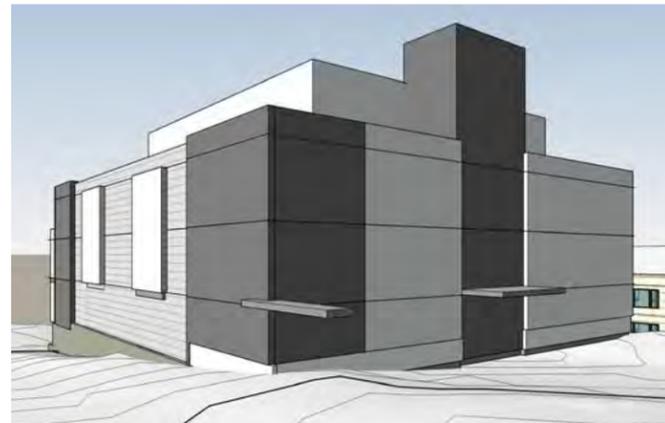
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MASSING SEEN FROM 30TH AVE S AND S MCCLELLAN ST



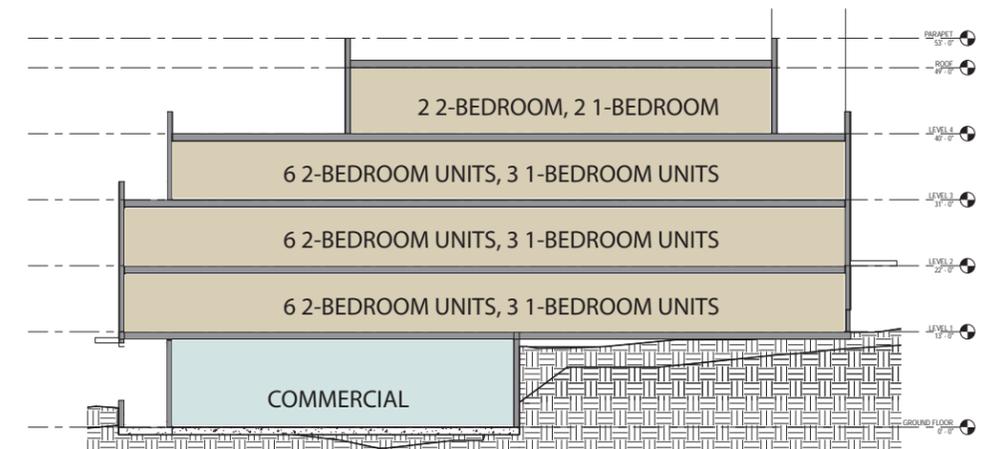
SE CORNER



NE CORNER



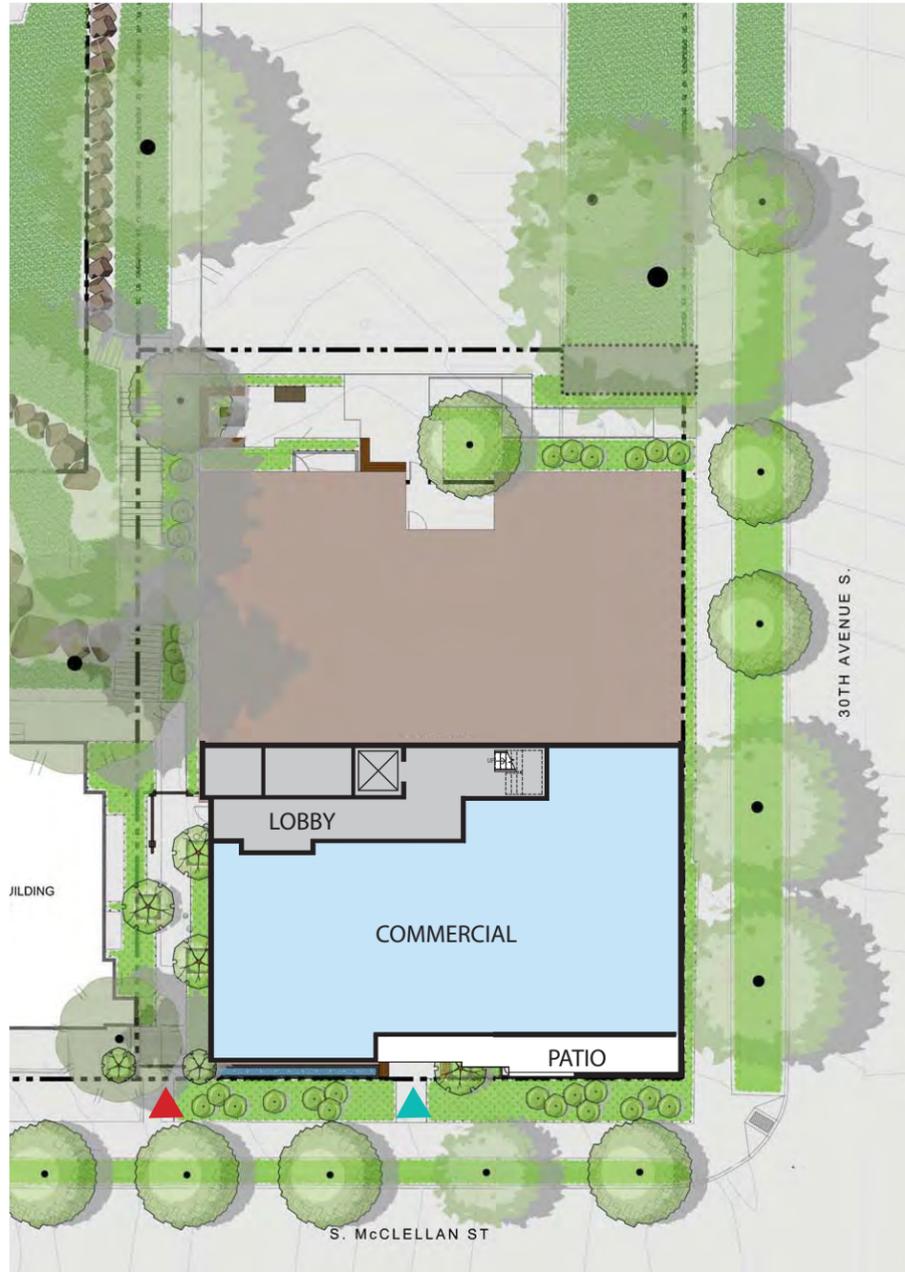
SW CORNER



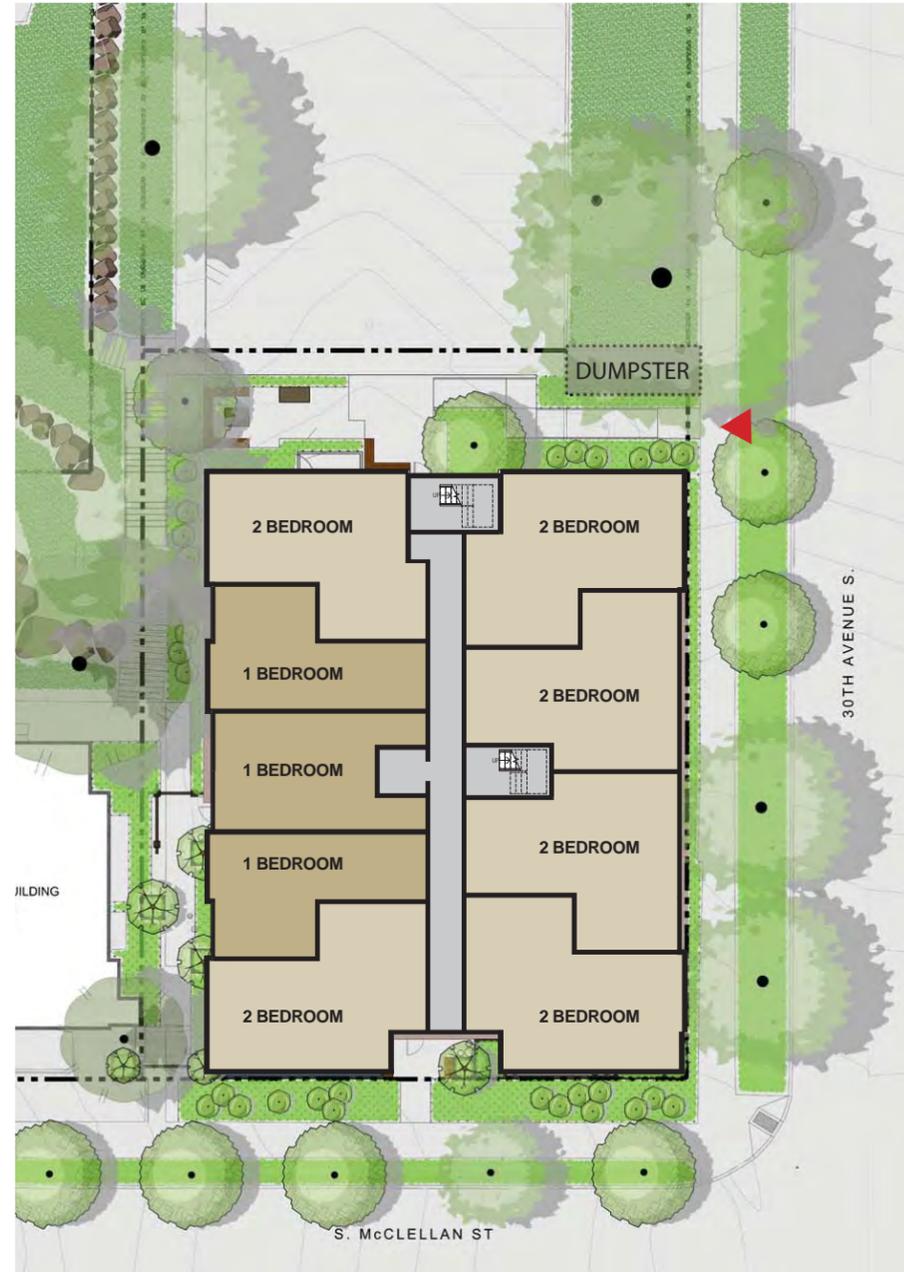
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8.0 ARCHITECTURAL MASSING CONCEPTS

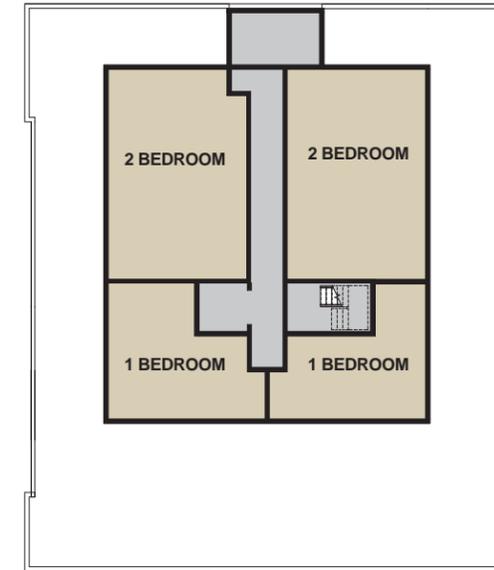
DESIGN OPTION 1 - PREFERRED CONCEPT



GROUND FLOOR PLAN



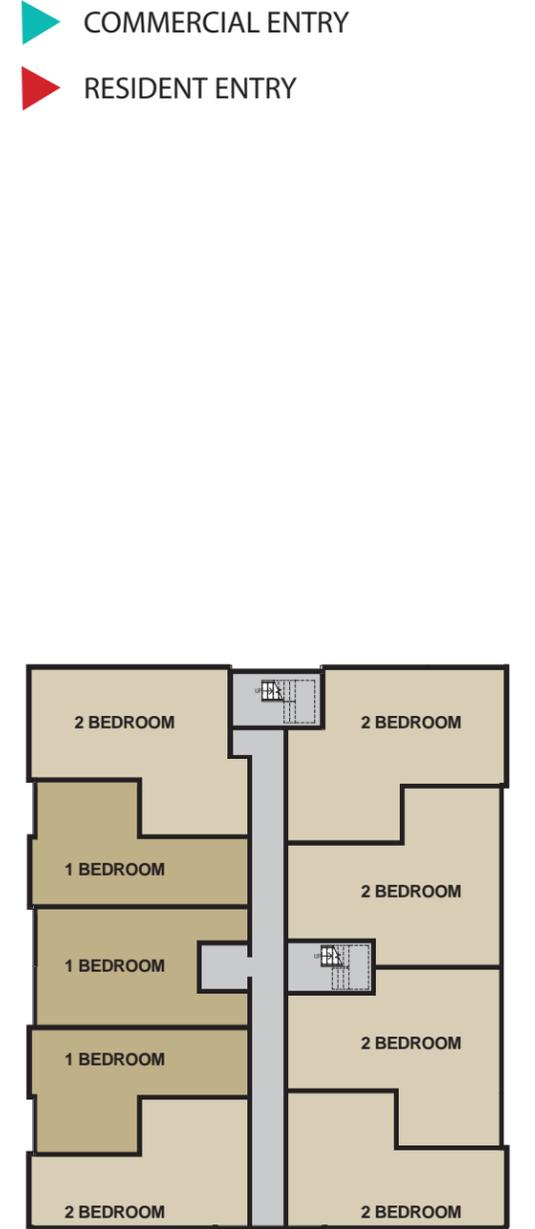
LEVEL 1



LEVEL 4



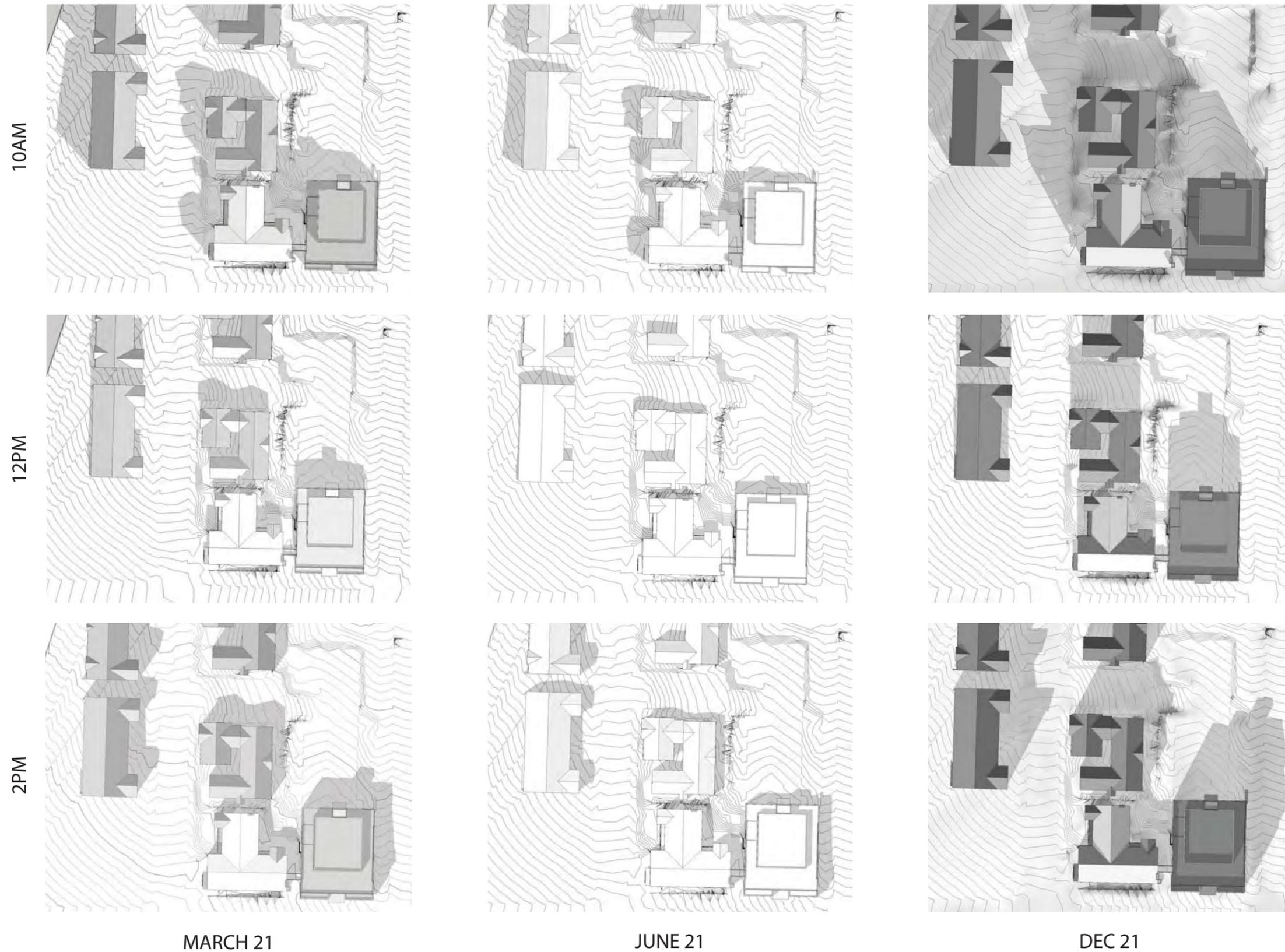
LEVEL 2



LEVEL 3

- COMMERCIAL ENTRY
- RESIDENT ENTRY

SUN STUDY

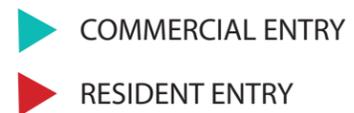


SECTION TITLE 8.0 ARCHITECTURAL MASSING CONCEPTS

DESIGN OPTION 2



SE CORNER AERIAL



ADVANTAGES

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MASSING SEEN FROM 30TH AVE S AND S MCCLELLAN ST



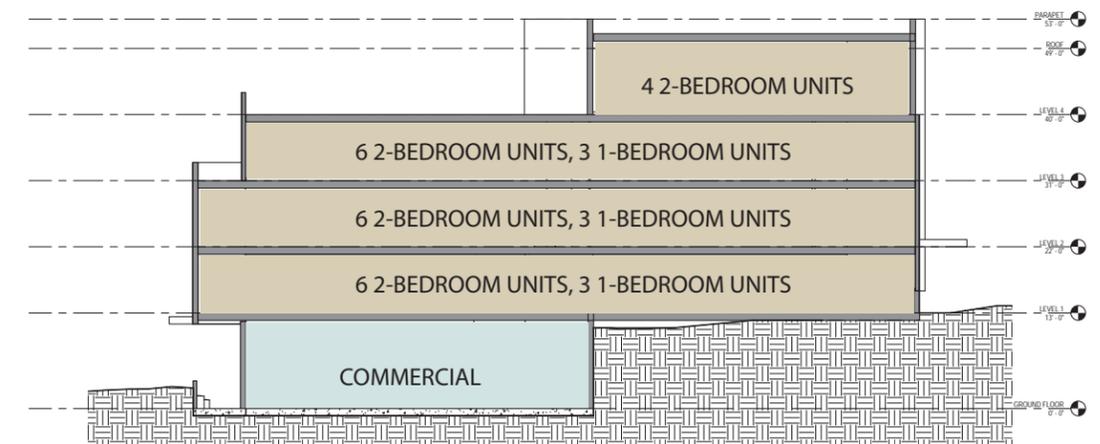
SE CORNER



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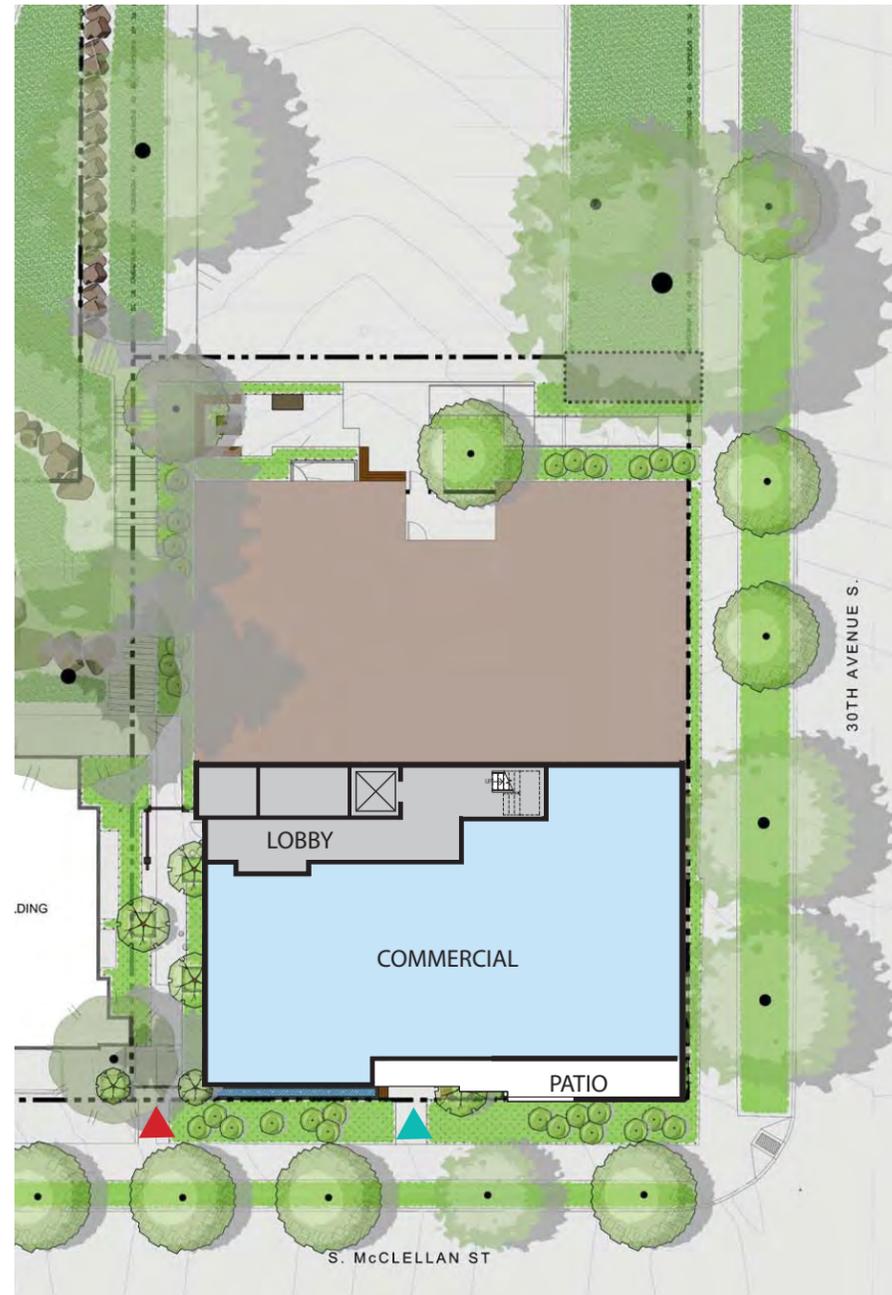
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SECTION FACING WEST

8.0 ARCHITECTURAL MASSING CONCEPTS

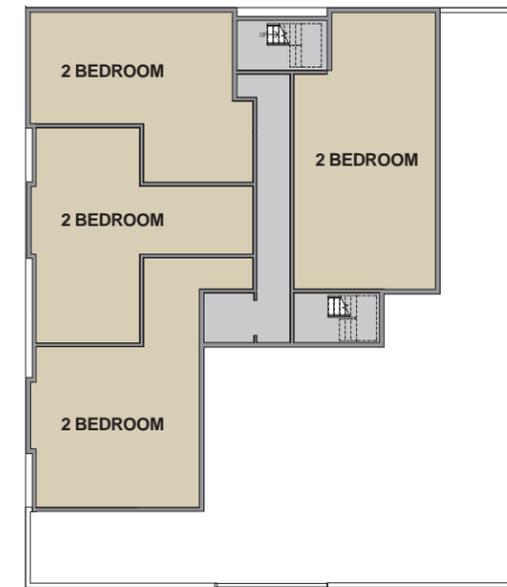
DESIGN OPTION 2



GROUND FLOOR PLAN



LEVEL 1



LEVEL 4



LEVEL 2

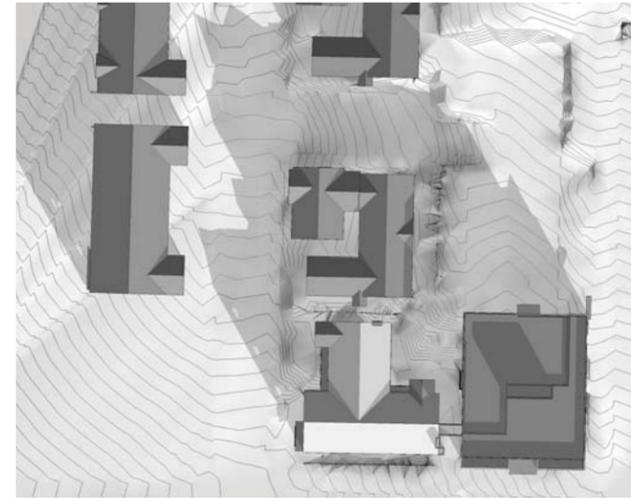


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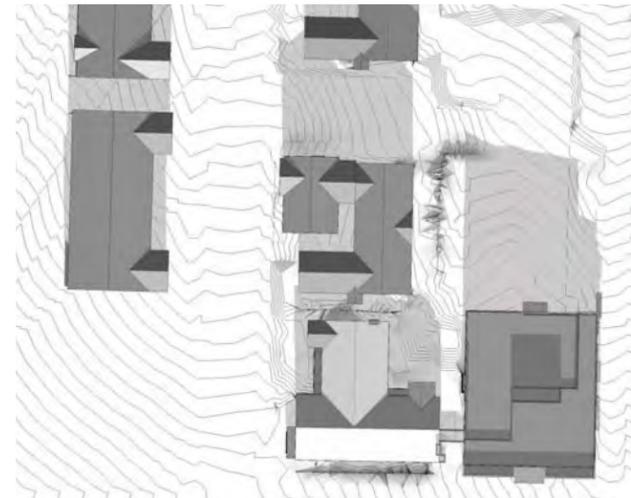
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- RESIDENT ENTRY

SUN STUDY

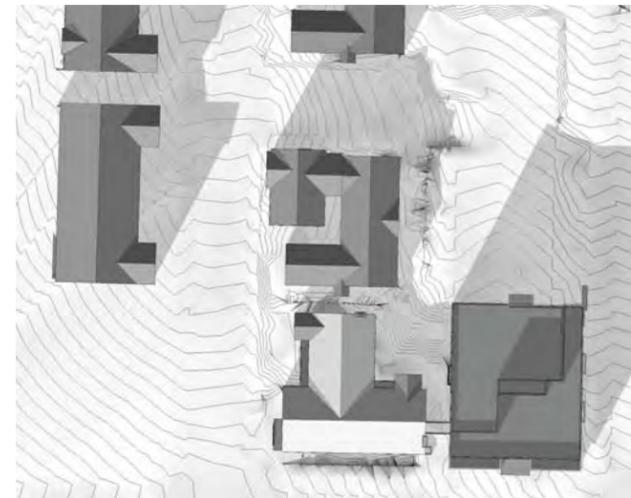
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12PM



2PM



MARCH 21

JUNE 21

DEC 21

8.0 ARCHITECTURAL MASSING CONCEPTS

DESIGN OPTION 3



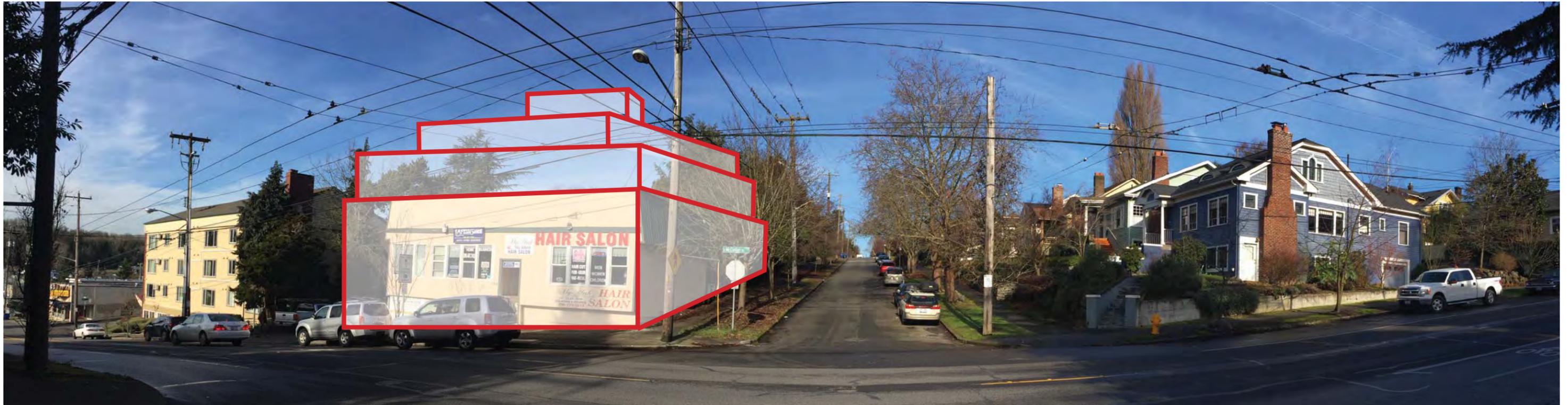
SE CORNER AERIAL

ADVANTAGES

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MASSING SEEN FROM 30TH AVE S AND S MCCLELLAN ST



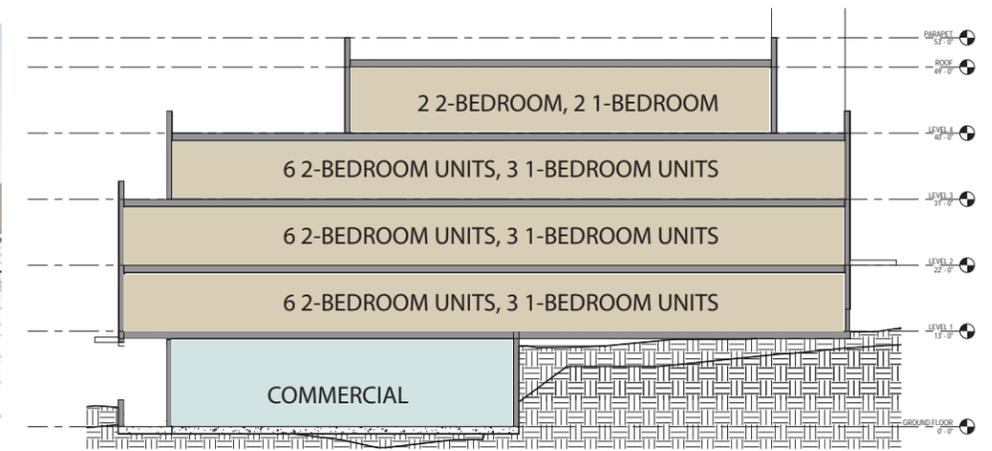
SE CORNER



NE CORNER



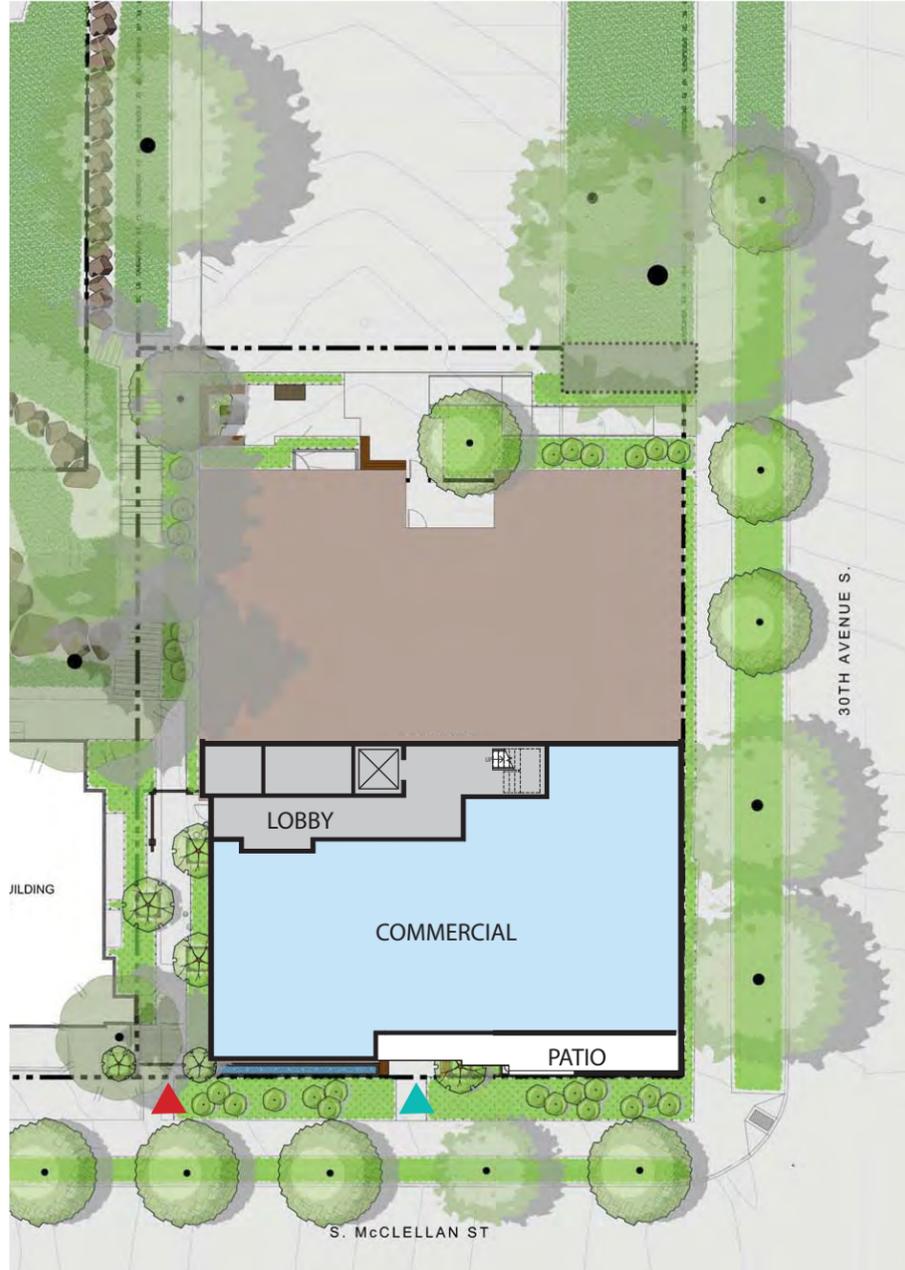
SW CORNER



SECTION FACING WEST

8.0 ARCHITECTURAL MASSING CONCEPTS

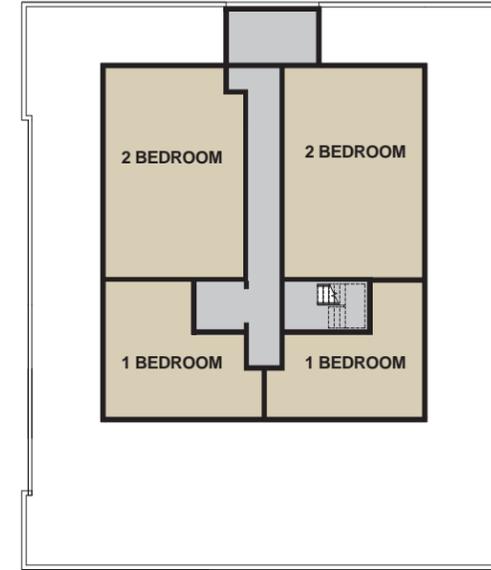
DESIGN OPTION 3



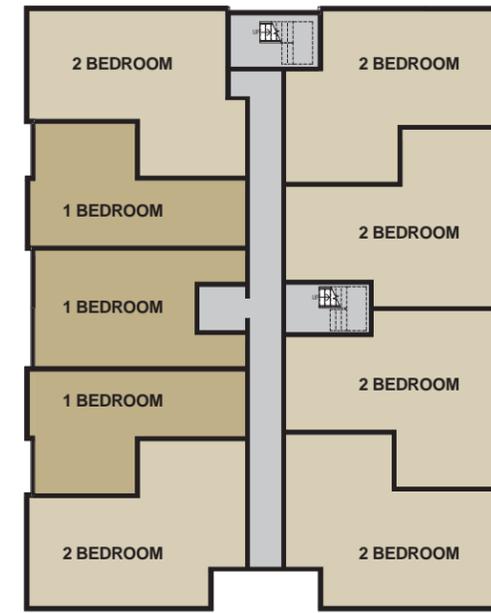
GROUND FLOOR PLAN



LEVEL 1



LEVEL 4



LEVEL 2

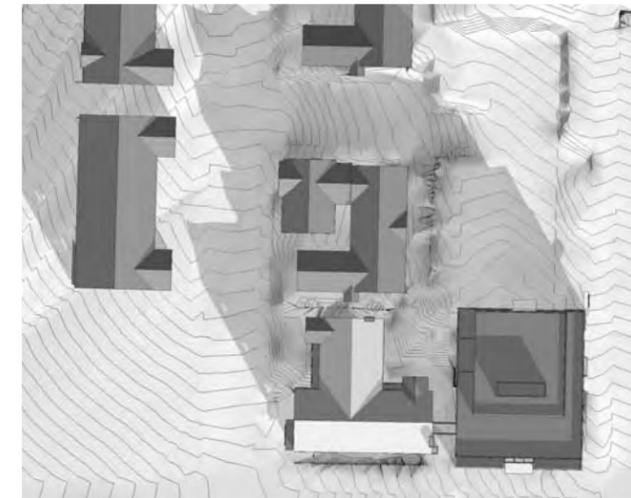
- ▶ COMMERCIAL ENTRY
- ▶ RESIDENT ENTRY



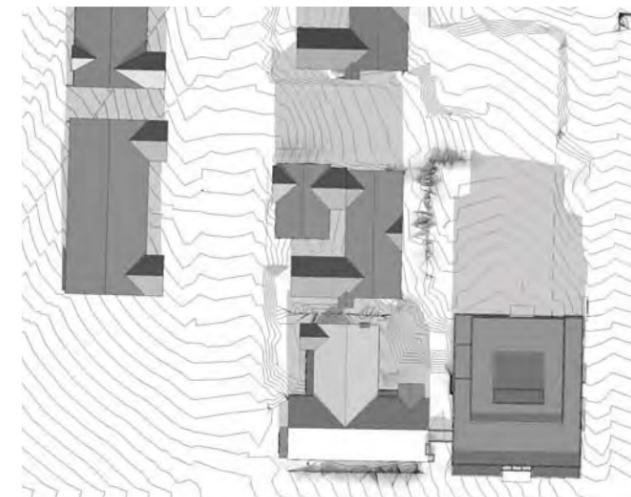
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SUN STUDY

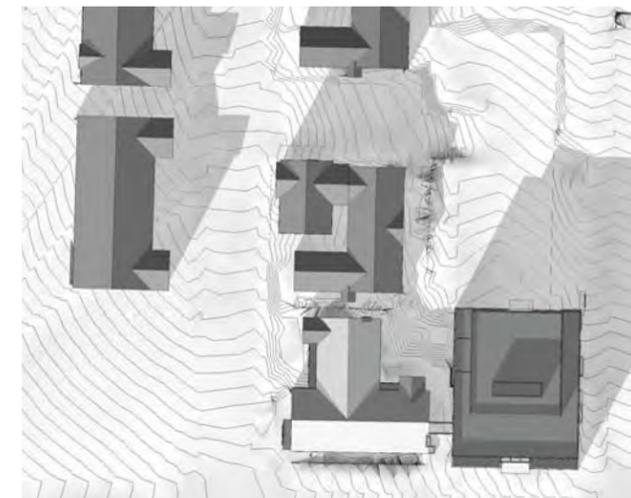
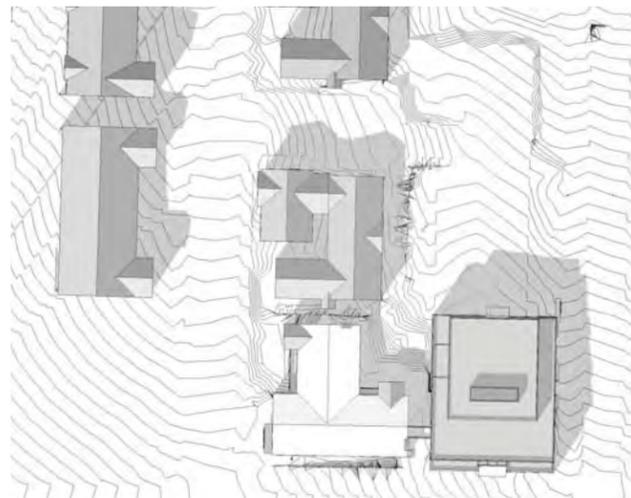
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12PM



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MARCH 21

JUNE 21

DEC 21

9.0 DEPARTURES

Departures



D.1 - AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY;

RESPONSE:

The project proposes to have visually prominent entry portals and pedestrian courtyards for residential entry from both streets. This experiential approach to the building draws its inspiration from the adjacent Mt. Baker Village garden courts and the traditional garden approaches typical in the adjacent single family neighborhood.

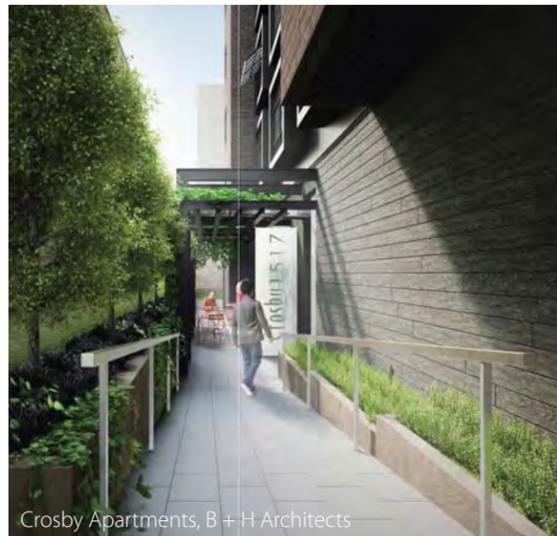
Along McClellan Street, we propose to have a designated residential entry with a prominent, architecturally significant portal that is visible from the street, readily signed and easily recognizable as a pedestrian entry. This gated portal and landscaped entry way will be located to the west of the building, and will enhance the existing vegetated space so as to take advantage of the current attributes of the site.

The gate itself will serve as an entry marker and will provide visibility into the landscaped courtyard while simultaneously providing security for the residents and restricted access into the courtyard for residents only. This entry will also be adjacent to the commercial space along McClellan, allowing for more natural light in the commercial space as well as views to the landscaped courtyard from within the commercial space.

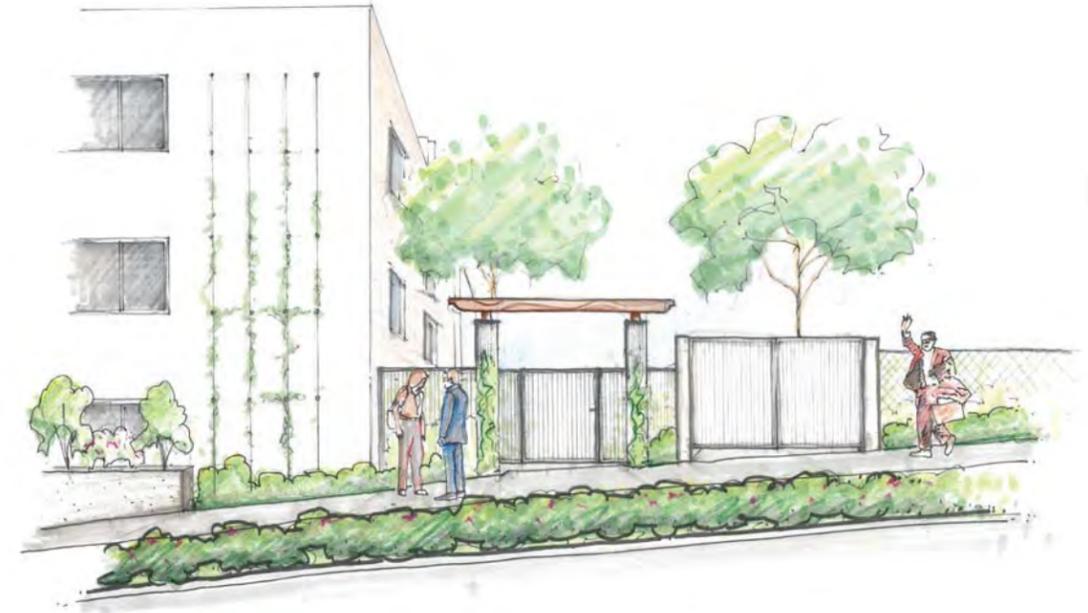
Along 30th Street, a similar portal will be designed, with a canopy leading residents along 30th and wrapping the corner to the north entry of the building. This area will also be landscaped, with seating areas for residents. This area will provide residents with similar security and access to the outdoor area.

We believe that providing this type of entry will enhance the street presence of the residential use at this location. The gates will be clearly marked with the street address and name of the building, and will be designed with as much consideration as the rest of the building. We also believe that the scale of these gates will reflect the current character of the neighborhood, as many single family homes are entered by a front gate in similar nature and scale.

To the north, the entry courtyard provides an accessible entry for residents using the north parking lot.



Crosby Apartments, B + H Architects



COURTYARD ENTRY ON SW 30TH AVE S



COURTYARD ENTRY S MCCLELLAN ST

9.0 DEPARTURES

D.2 - THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK.

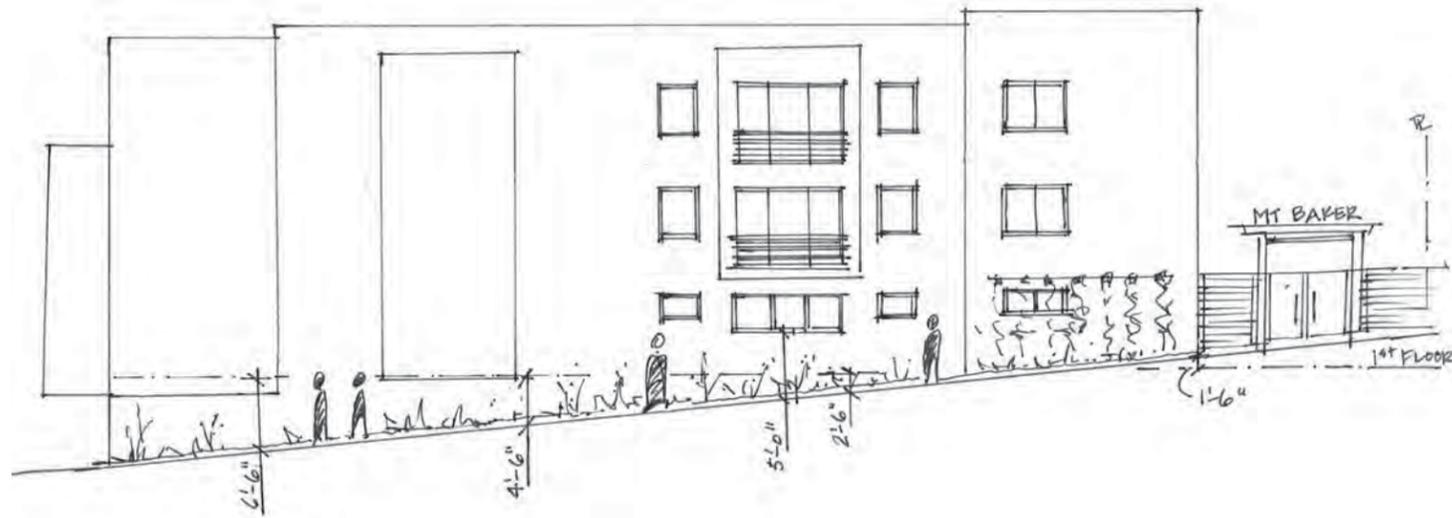
RESPONSE:

Because of the site slope along 30th Avenue South and the desire to create an ADA accessible entry at the north from the parking lot and sidewalk - the 1st residential floor will be located at elevation 107'.

As such, there is one unit at 6'-6" above grade, one at 4'-6" above grade, one unit at 2'-6" above grade and one unit 1'-6" below grade. Because of the steep slope of the site, the project cannot meet this requirement but will work to provide privacy and screening for the residents at the ground floor units.

Pertaining to the unit located 2'-6" above grade, we are looking at options for smaller bedroom windows and screening from the sidewalk. We will locate the windows for this unit at a height 5' above the sidewalk, increasing the level of privacy these units receive while still providing light into the unit.

The northeast corner will have a prominent residential entry with a gate and landscaping. The corner apartment will need to have some screening designed to help mitigate its proximity to the sidewalk and the north entry.



D.3 - TRANSPARENCY DEPARTURE ON 30TH - SIXTY PERCENT OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT.

RESPONSE:

Due to the sloping nature of the site, the commercial space along 30th Ave. S. will not meet the required transparency percentage. Currently, the site slopes approximately 20.5 feet from the southwest corner to the northeast corner. The commercial space has its entry along S. McClellan and is almost entirely buried underground by the time the slope reaches 30th Ave S. Due to this fact, glazing has been removed from this elevation at the commercial level to provide privacy to the tenant, who will be working at a level well below that of the sidewalk.

Further, not meeting the transparency requirement also helps separate the commercial space from the adjacent single family homes, providing privacy to the neighborhood's current residents as well.