

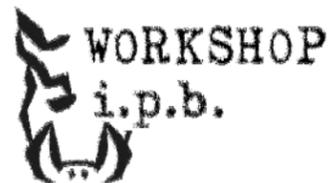


VIEW OF CAPITOL HILL LIGHT RAIL STATION

PROPOSAL:  
STREAMLINED DESIGN REVIEW. DEMOLISH EXISTING STRUCTURES.  
CONSTRUCT (15) SMALL EFFICIENCY DWELLING UNIT APARTMENT. NO  
PARKING PROPOSED

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EARLY DESIGN GUIDANCE  
1821 13TH AVE - SEATTLE, WA 98122  
DPD# 3023385 | 4.27.16  
PARCEL#: 6003001455

PACKET CONTENT:

PROPOSAL - STATEMENT OF DEVELOPMENT OBJECTIVES  
INDICATING TYPES OF DESIRED USES, STRUCTURE HEIGHT,  
NUMBER OF RESIDENTIAL UNITS, AMOUNT OF COMMERCIAL  
SQUARE FOOTAGE AND NUMBER OF PARKING STALLS.

ANALYSIS OF CONTEXT - INITIAL SITE ANALYSIS ADDRESSING SITE  
OPPORTUNITIES AND CONSTRAINTS, ADJACENT BUILDINGS, ZONING  
OF THE SITE AND ADJACENT PROPERTIES, OVERLAY  
DESIGNATIONS, SOLAR ACCESS, VIEWS, CIRCULATION PATTERNS,  
COMMUNITY NODES, LANDMARKS, AND EXISTING ARCHITECTURAL  
AND SITING PATTERNS.

EXISTING SITE CONDITIONS - A DRAWING OF EXISTING SITE  
CONDITIONS, INDICATING TOPOGRAPHY OF THE SITE OR OTHER  
PHYSICAL FEATURES AND LOCATION OF STRUCTURES AND  
PROMINENT LANDSCAPE ELEMENTS ON THE SITE INCLUDING BUT  
NOT LIMITED TO ALL TREES 6 INCHES OR GREATER IN DIAMETER  
MEASURED 4.5' ABOVE THE GROUND (SEE TIP 242).

SITE PLAN - A PRELIMINARY SITE PLAN INCLUDING PROPOSED  
STRUCTURES, OPEN SPACES, VEHICULAR AND PEDESTRIAN  
ACCESS, AND LANDSCAPING. INCLUDE ALL DIMENSIONS.

DESIGN GUIDELINES - A BRIEF DESCRIPTION OF HOW THE  
PROPOSAL MEETS THE INTENT OF THE APPLICABLE CITYWIDE AND  
NEIGHBORHOOD DESIGN REVIEW GUIDELINES. IDENTIFY DESIGN  
GUIDELINES MOST RELEVANT TO THE PROPOSAL.

ARCHITECTURAL CONCEPT - ONE OR MORE COLOR RENDERINGS  
ADEQUATE TO DEPICT THE OVERALL MASSING OF STRUCTURES  
AND THE DESIGN CONCEPT. GRAPHICS SHOULD SHOW PROPOSED  
SITING, MASSING, OPEN SPACE, AND FAÇADE TREATMENTS. THREE  
DIMENSIONAL STUDIES AND SKETCHES, INCLUDING THOSE AT THE  
STREET LEVEL ARE OPTIONAL, AND MAY ASSIST THE PLANNER TO  
EVALUATE THE DESIGN PROPOSAL. MAY ALSO INCLUDE IMAGES  
FROM THE NEIGHBORHOOD OR BEYOND THAT WILL INFORM THE  
DESIGN DEVELOPMENT OF THE PROPOSED DEVELOPMENT.

ADJUSTMENTS AND/OR DEPARTURES - A SUMMARY OF POTENTIAL  
DEVELOPMENT STANDARD ADJUSTMENTS (OR DEPARTURES). A  
TABLE COMPARING CODE REQUIREMENTS WITH THE PROPOSED  
DESIGN SHOULD BE INCLUDED.



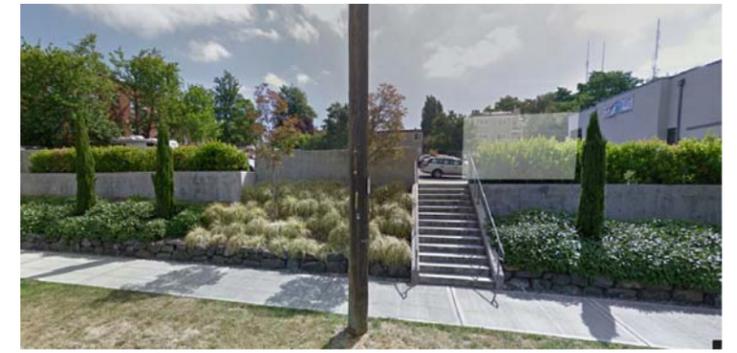
1 - APARTMENT (BOXY FORM)



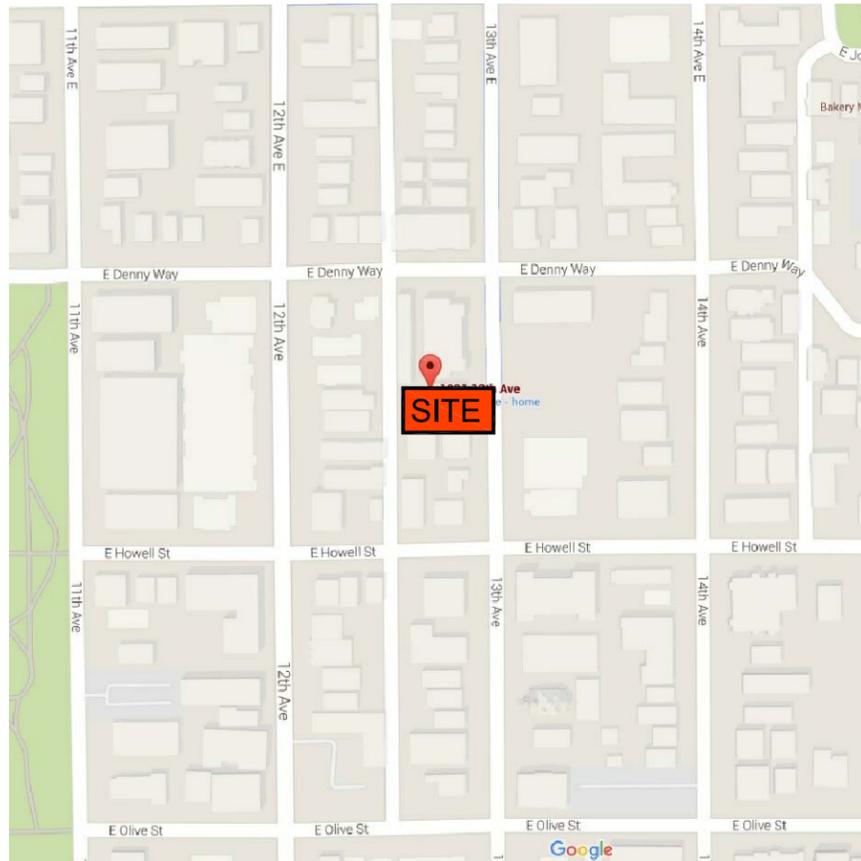
2 - FOURPLEX (FRONT ENTRY)



3 - CHURCH

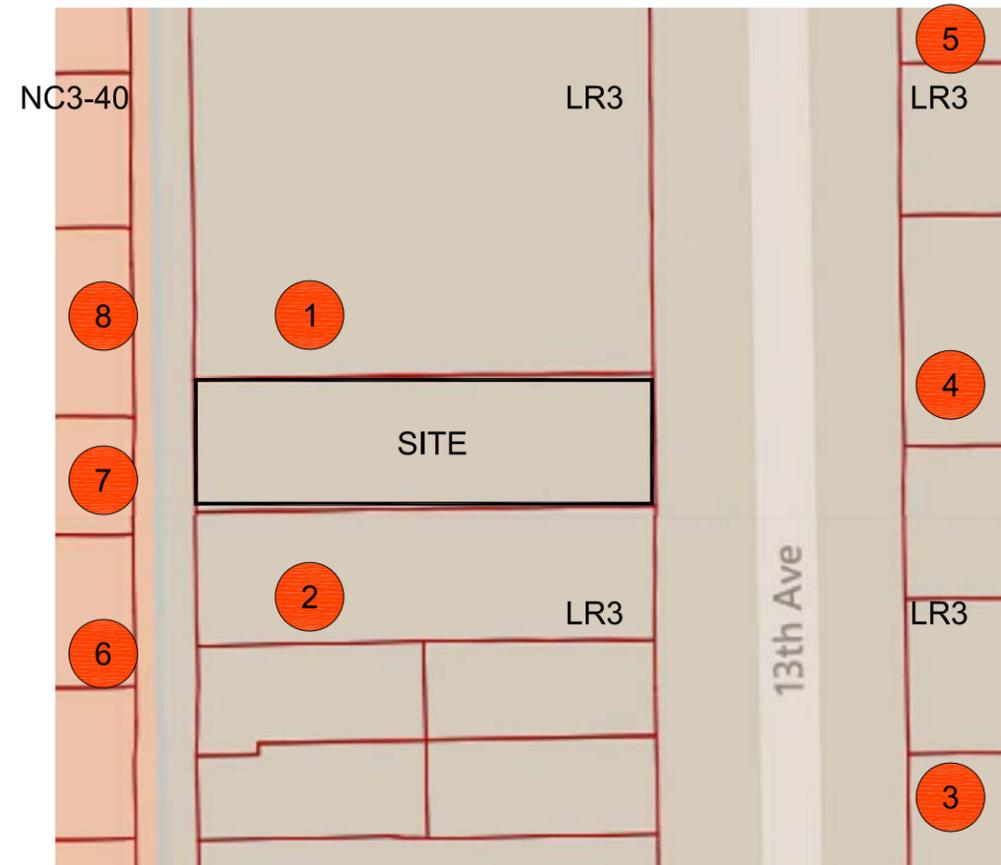


4 - PARKING LOT



VICINITY MAP

**CONTEXT ANALYSIS:**  
 THE SITE SITS IN THE NEIGHBORHOOD OF CAPITOL HILL. IT IS 4200SF IN SIZE AND IS IN LR3 ZONE  
 13TH AVE PROVIDES NORTH AND SOUTH VEHICULAR ACCESS AND E DENNY ST PROVIDE PRIMARY EAST AND WEST VEHICULAR ACCESS. BROADWAY AVE TO THE WEST, CONTAINS TRAIN AND BUS STOPS AS WELL AS VARIOUS RESTAURANTS AND GROCERY OPPORTUNITIES. RECREATIONAL AMENITIES INCLUDE CAL ANDERSON PARK 2 BLOCKS TO THE WEST. THE SITE HAS POSSIBLE WEST TERRITORIAL VIEWS AND POSSIBLE NORTH WEST VIEW OF LAKE UNION.



ZONING AND CONTEXT MAP



5 - APARTMENT (BOXY FORM)



6 - APARTMENT (SHED ROOF)



7 - SINGLE FAMILY



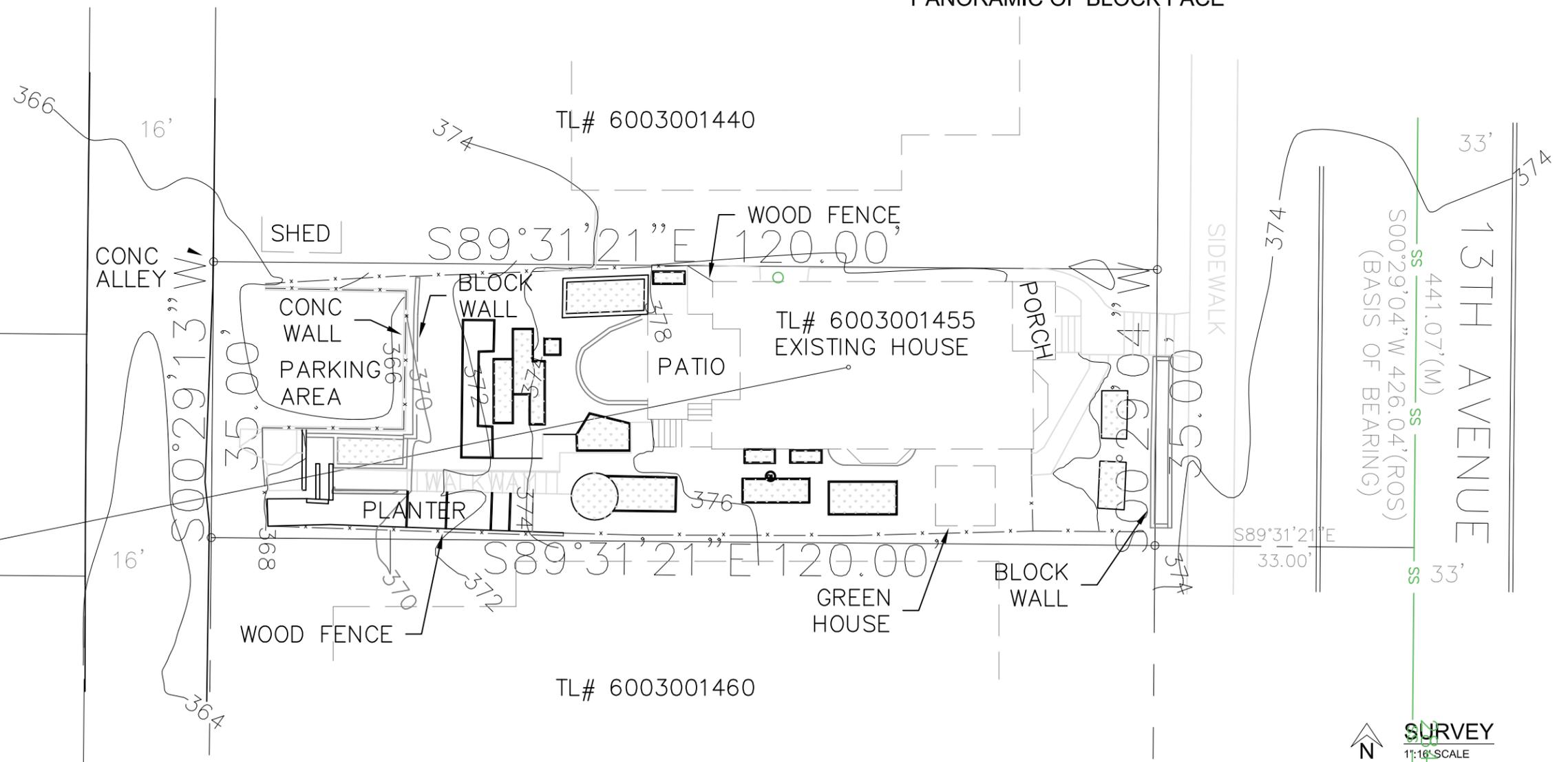
8 - OFFICE (SIGNAGE)



PANORAMIC OF BLOCK FACE



SUBJECT SITE



EXISTING HOUSE TO BE DEMOLISHED

EXISTING SITE CONDITIONS

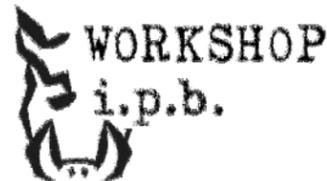
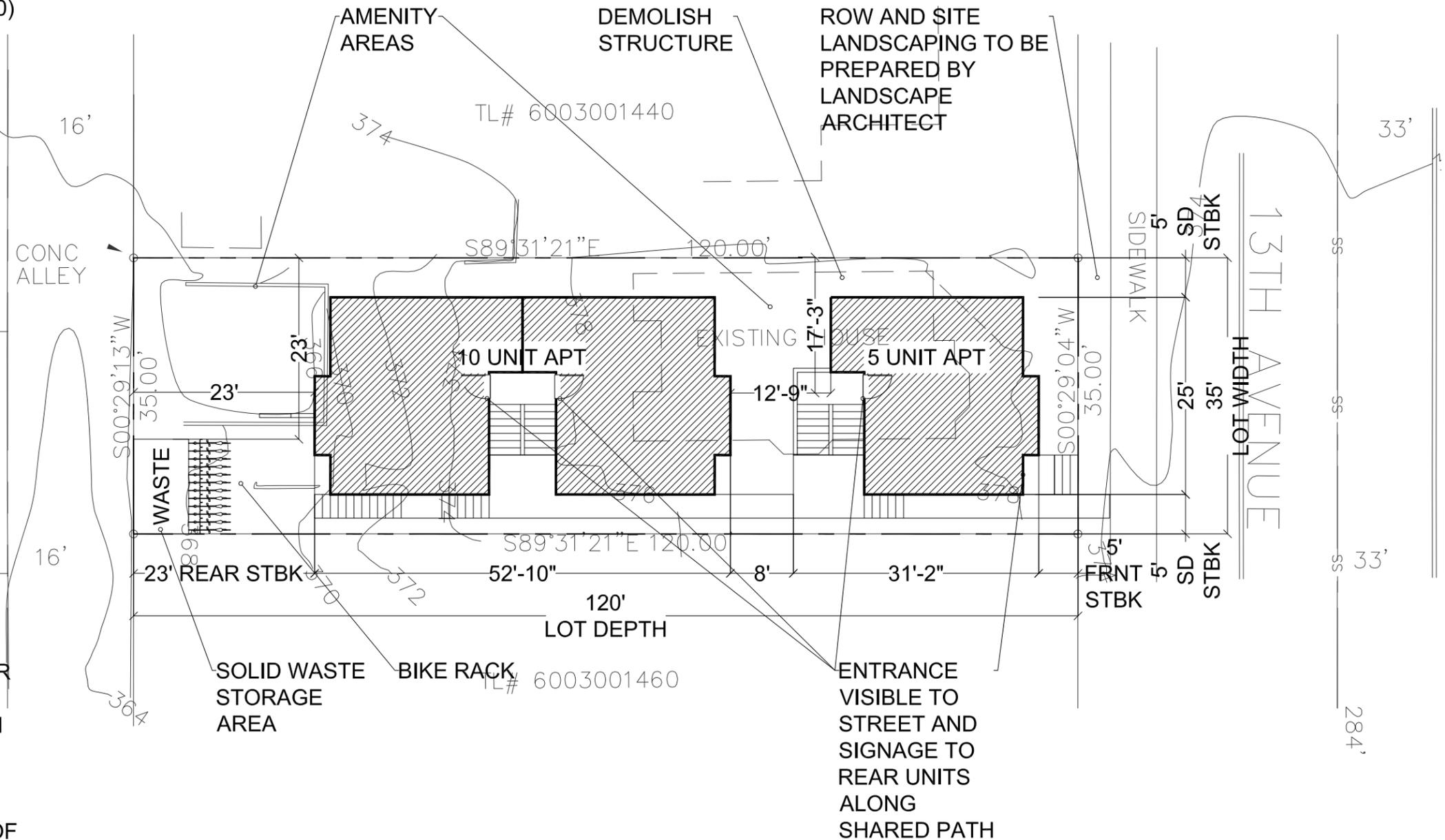


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 1821 13TH AVE - SEATTLE, WA 98122  
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N SURVEY  
 1"=10' SCALE

PROJECT ADDRESS:  
 1821 13TH AVE  
 SEATTLE, WA 98122  
 PARCEL#:6003001455  
 LEGAL DESCRIPTION:  
 NAGLES ADD N 35 FT OF S 40 FT LESS ALLEY  
 PLat Block: 38  
 Plat Lot: 9  
 ZONE: LR3  
 LOT SQ FT: 4,200SF  
 PROJECT DESCRIPTION:  
 DEMOLISH EXISTING STRUCTURES. CONSTRUCT (30)  
 UNIT APARTMENT. PARKING PER PLAN

CODE COMPLIANCE:  
 SMC 23.45.510 FLOOR AREA RATIO (FAR) LIMITS  
 ALLOWABLE FAR: @2\*4200SF = 8400SF  
 PROPOSED:7350.4SF  
 SMC 23.45.512 DENSITY LIMITS -- LOWRISE ZONES  
 ALLOWED: UNLIMITED WITH 4 STAR BUILT GREEN  
 PROPOSED: (15) UNITS (4 STAR BUILT GREEN)  
 SMC 23.45.514 STRUCTURE HEIGHT  
 ALLOWED: 40' FROM AVERAGE GRADE  
 PROPOSED: 40' FROM AVERAGE GRADE  
 SMC 23.45.518 SETBACKS AND SEPARATIONS  
 REQUIRED FRONT: 5' MIN  
 PROPOSED FRONT: 5' MIN  
 REQUIRED REAR: 10' MIN  
 PROPOSED REAR: 23' MIN  
 REQUIRED SIDE: 5' MIN (STRUCTURE =< 40')  
 PROPOSED SIDE: 5' MIN; 7' AVG  
 SMC 23.45.522 AMENITY AREA  
 REQUIRED: .25\*4200 = 1050SF  
 PROVIDED: >1050SF GROUND RELATED  
 SMC 23.45.524 LANDSCAPING STANDARDS  
 REQUIRED: .6\*4200 = 2520SF GREEN FACTOR AREA  
 PROVIDED: LANDSCAPE ARCHITECT TO DESIGN FOR  
 EVENTUAL BUILDING PERMIT  
 SMC 23.45.527 STRUCTURE WIDTH/FAÇADE LENGTH  
 ALLOWED WIDTH: 150' MAX  
 PROPOSED WIDTH: 25'  
 ALLOWED LENGTH: .65\*120 =78'  
 PROPOSED LENGTH: 78' MAX FAÇADE FOR PARTS OF  
 STRUCTURE WITHIN 15' OF SIDE PROPERTY LINE



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N  
 SITE PLAN  
 1"=16' SCALE

SITE PLAN | ZONING ANALYSIS

## ARCHITECTURAL ELEMENTS AND MATERIALS

### CS1 CONTEXT AND SITE

- NOTE SCIENTIFIC AND COMMON NAMES FOR EXISTING TREES ON SITE PLAN  
RESPONSE: BUILDING PERMIT APPLICATION WILL BE ACCOMPANIED BY ARBORIST REPORT

### CS2 URBAN PATTERN AND FORM

- IDENTIFY OPPORTUNITIES FOR THE PROJECT TO MAKE A STRONG CONNECTION TO THE STREET/ALLEY.  
RESPONSE: PLANTING AND AMENITY AREAS TO SERVE AS TRANSITION TO STRUCTURES.
- USE VEGETATION OR STRUCTURES TO HELP MAKE A SUCCESSFUL FIT WITH ADJACENT PROPERTIES  
RESPONSE: PLANTING AND AMENITY AREAS TO SERVE AS TRANSITION TO STRUCTURES AND FIT IT INTO CONTEXT OF ADJACENT NEIGHBORS.
- RESPECT ADJACENT PROPERTIES WITH DESIGN AND SITE PLANNING  
RESPONSE: TWO STRUCTURES PROPOSED TO CREATE SMALLER SCALE OF OVERALL SCHEME.
- MINIMIZE DISRUPTING THE PRIVACY AND OUTDOOR ACTIVITIES OF RESIDENTS IN ADJACENT BUILDINGS  
RESPONSE: PROPOSAL INCLUDES WINDOW STUDY. PRIMARY WINDOWS FACE PROPOSALS OWN AMENITY OR ROW.

### CS3 ARCHITECTURAL CONTEXT AND CHARACTER

- CREATE COMPATIBILITY BETWEEN NEW PROJECTS AND EXISTING CONTEXT, THROUGH BUILDING ARTICULATION, SCALE AND PROPORTION, DETAILING, FENESTRATION, AND MATERIALS.  
RESPONSE: THERE IS NO STRONG ARCHITECTURAL PRECEDENT TO FOLLOW.

### PL3 STREET LEVEL INTERACTION

- DESIGN PRIMARY ENTRIES TO BE OBVIOUS, IDENTIFIABLE, AND DISTINCTIVE WITH CLEAR LINES OF SIGHT AND LOBBIES VISUALLY CONNECTED TO THE STREET.  
RESPONSE: PRIMARY ENTRANCE TO GROUND RELATED UNIT FACES STREET. OTHER UNITS HAVE OBVIOUS SHARED ENTRY WALK.

### PL4 ACTIVE TRANSIT

- FACILITIES SUCH AS BIKE RACKS FOR BICYCLIST SHOULD BE LOCATED TO MAXIMIZE CONVENIENCE, SECURITY, AND SAFETY  
RESPONSE: BIKE RACKS TO BE LOCATED ADJACENT TO ALLEY.

### DC2 ARCHITECTURAL CONCEPT

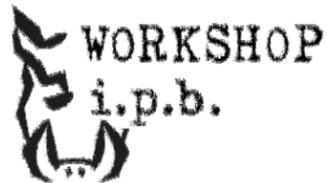
- DESIGN ALL BUILDING FACADES- CONSIDERING THE COMPOSITION AND ARCHITECTURAL EXPRESSION AS A WHOLE.  
RESPONSE: WHILE THE UNITS ARE IDENTICAL, THE EXTERIOR IS BROKEN UP INTO VARIOUS MATERIALS AND COLORS TO CONTROL SCALE.
- CONSIDER ARCHITECTURAL FEATURES THAT CAN BE DUAL PURPOSE - ADDING DEPTH, TEXTURE, AND SCALE AS WELL AS SERVING OTHER PROJECT FUNCTIONS  
RESPONSE: ENTRY STAIR PROVIDES ACCESS TO UNITS AS WELL AS WEATHER PROTECTION AND EXTERIOR DECKS.
- TO STRIVE FOR A FINE-GRAINED SCALE  
RESPONSE: NOT SURE WHAT FINE GRAINED SCALE IS.

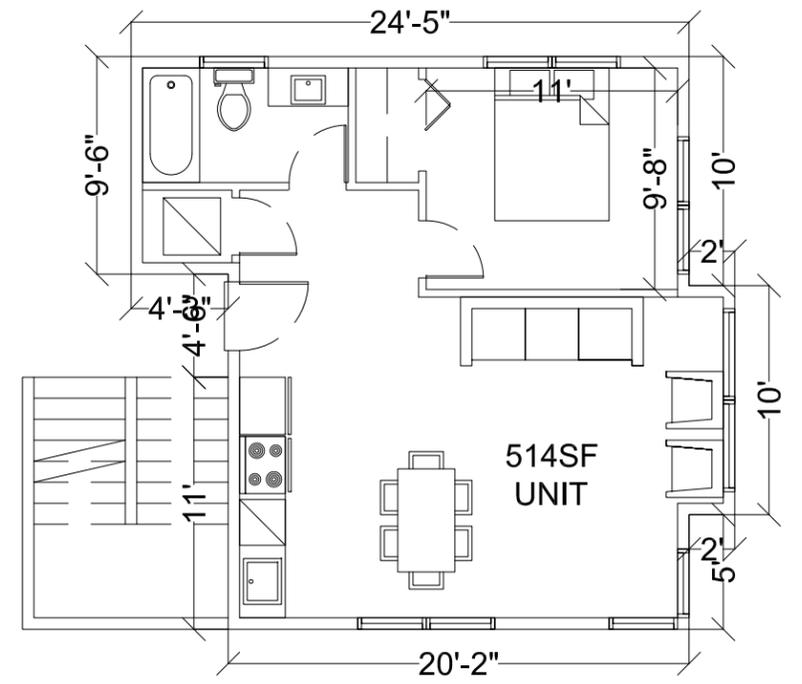
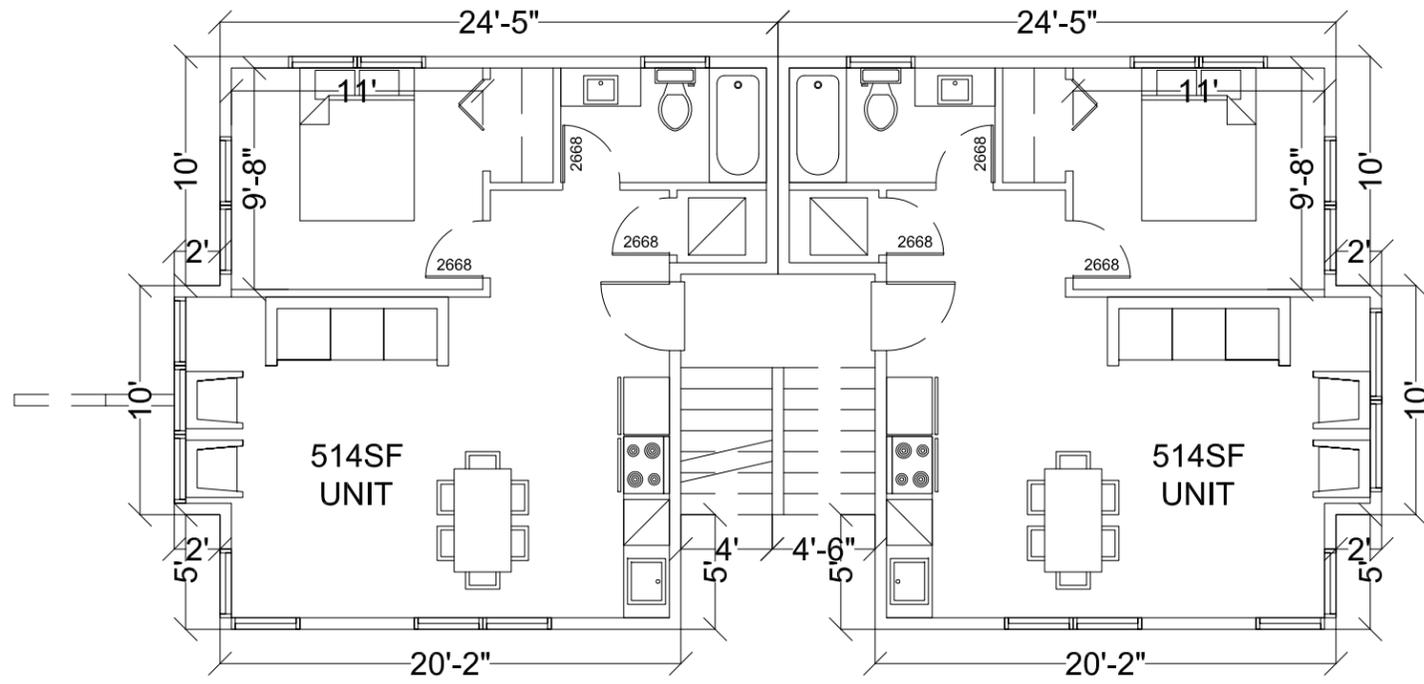
### DC3 OPEN SPACE CONCEPT

- DESIGN COMMON OPEN SPACES FOR USE BY ALL RESIDENTS TO ENCOURAGE PHYSICAL ACTIVITY AND SOCIAL INTERACTION  
RESPONSE: COMMON OPEN SPACE PROVIDE AMPLE RECREATION OPPORTUNITY.

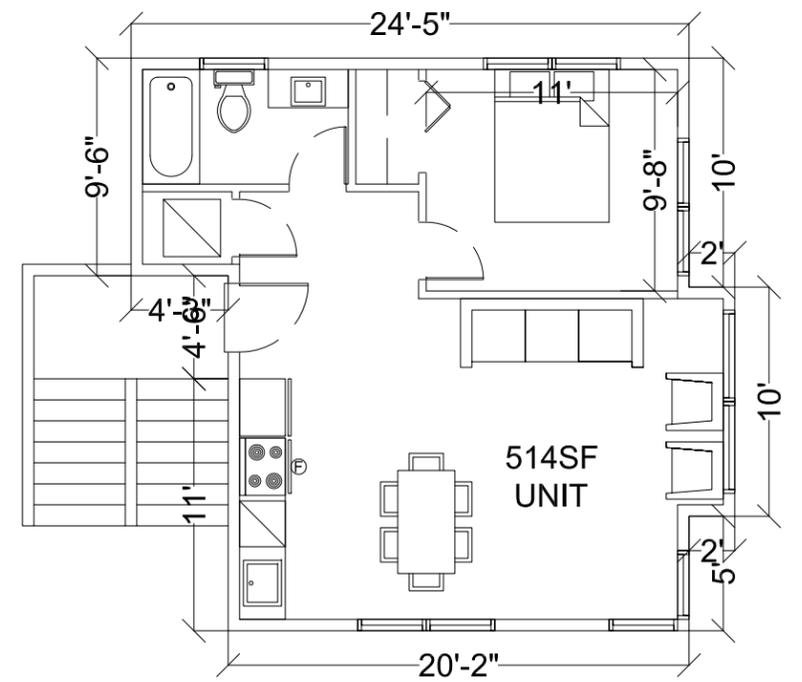
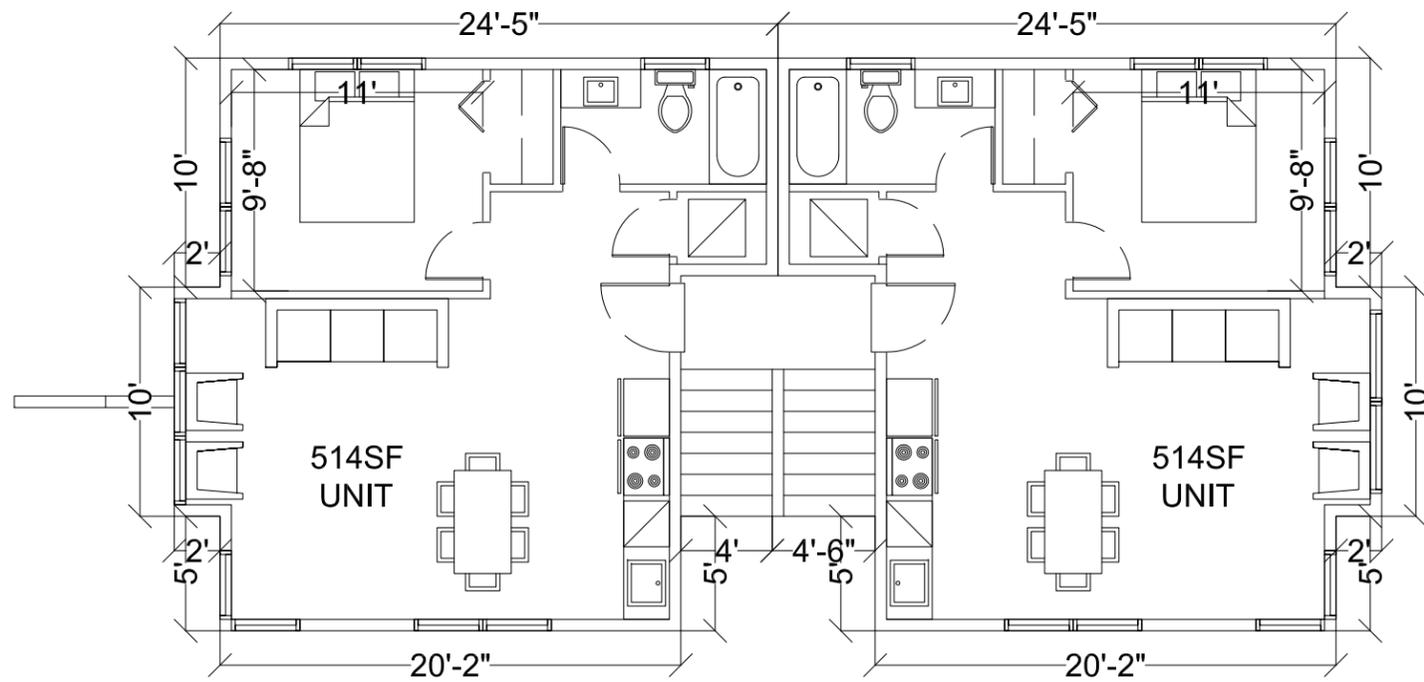
### DC4 EXTERIOR ELEMENTS AND MATERIALS

- BUILDING EXTERIORS SHOULD BE CONSTRUCTED OF DURABLE AND MAINTAINABLE MATERIALS THAT ARE ATTRACTIVE EVEN WHEN VIEWED UP CLOSE  
RESPONSE: HARDIE, STANDING SEAM, AND CEDAR ARE ALL DURABLE ATTRACTIVE MATERIALS.





N BASEMENT FL  
1/8"=1' SCALE



N TYP FL (1-4)  
1/8"=1' SCALE

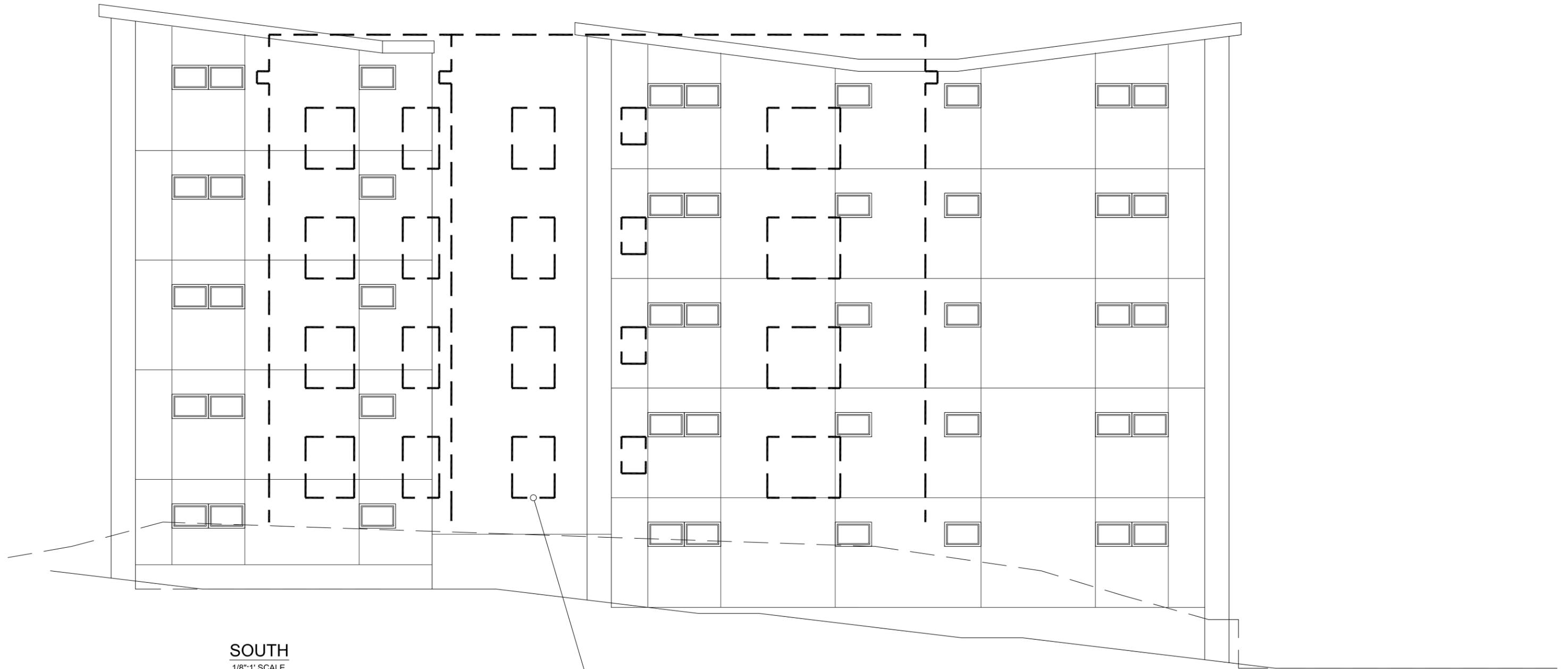


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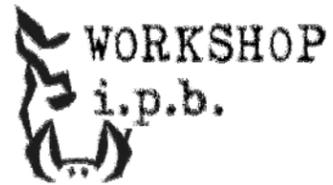
DASHED LINES OF ADJACENT  
FOURPLEX TO THE SOUTH.  
PROPOSAL HAS INSIGNIFICANT  
IMPACT ON IT'S PRIVACY

SOUTH  
1/8":1' SCALE



**SOUTH**  
1/8"=1' SCALE

DASHED LINES OF ADJACENT APARTMENT TO THE NORTH. PROPOSAL ONLY HAS HIGH WINDOWS FOR LIGHT AND VENTILATION ON NORTH SIDE, SO AFFECTING THE NEIGHBOR WITH PROPOSED WINDOWS IS MINIMAL.



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RED STANDING SEAM SIDING

BLUE STANDING SEAM SIDING

DARK GRAY HARDIE

MEDIUM GRAY HARDIE

CEDAR SIDING

FRONT ENTRY AND AWNING

EAST ELEVATION



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NORTH ELEVATION



SOUTH ELEVATION

BLUE  
STANDING  
SEAM SIDING

RED STANDING  
SEAM SIDING

DARK GRAY  
HARDIE

CEDAR SIDING

TRELLIS



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LIGHT GRAY  
HARDIE

MEDIUM GRAY  
HARDIE

DARK GRAY  
HARDIE

CEDAR SIDING

WEST ELEVATION



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