

citizenM Hotel
201 Westlake Ave N

SDCI Project # 3023379

Design Review Board
West Design Review Board

Date: September 6, 2017

1 . 1 GENERAL

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INTRODUCTION

This is the third review by the Design Review Board for the Citizen M Hotel at 201 Westlake Ave N. This 264-room modular-built hotel received and accepted 4 conditions at the previous review and also requested 3 departures. The purpose of this review meeting is to discuss an additional departure as well as a significant design change on the facade.

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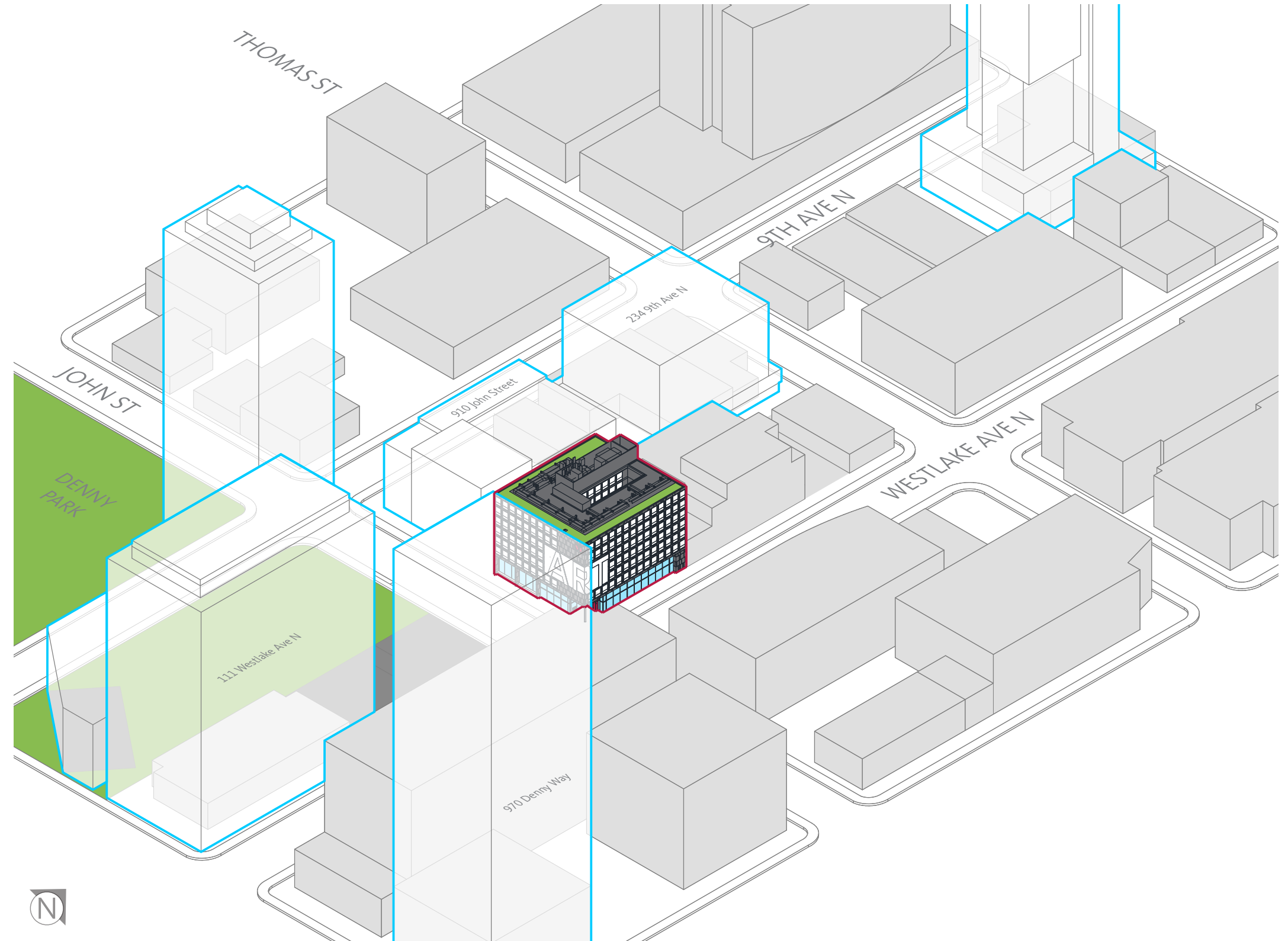
LANDSCAPE

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2.1
SITE ANALYSIS
Proposed + Under Construction

LEGEND

- Proposed Project
- Park
- Existing
- Proposed



3.1
DESIGN

Westlake Ave & John St



3.1
DESIGN

Westlake Ave Streetfront



3.1
DESIGN

View from Denny Park



3.1
DESIGN

Main Entry



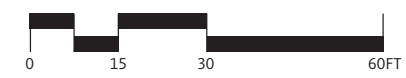
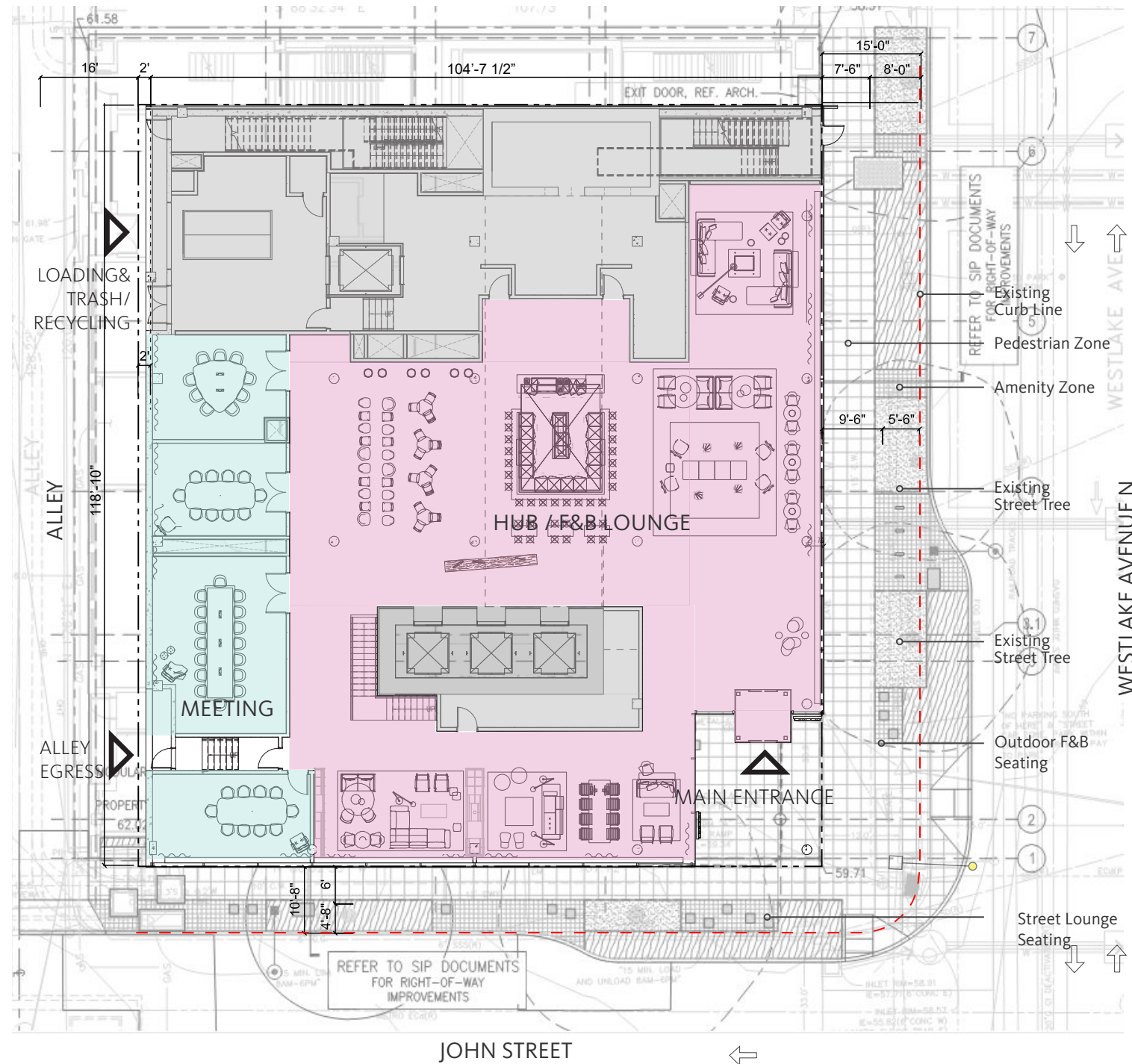
3.1
DESIGN

Westlake Ave View



4.1 DESIGN

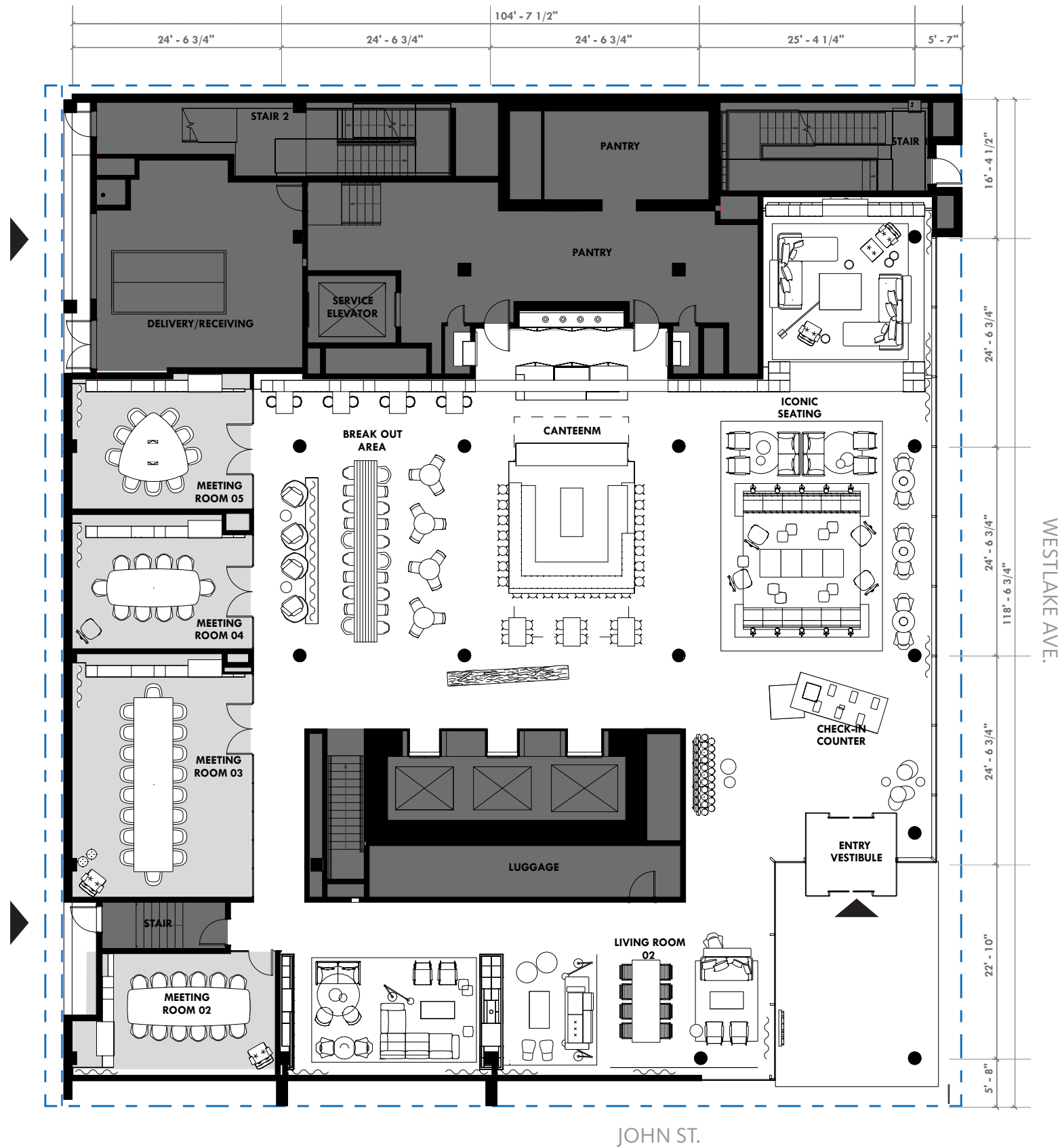
Site Plan



Proposed Site Plan

4.2 DESIGN

Level 1 Floor Plan



canteenM



collectionM store



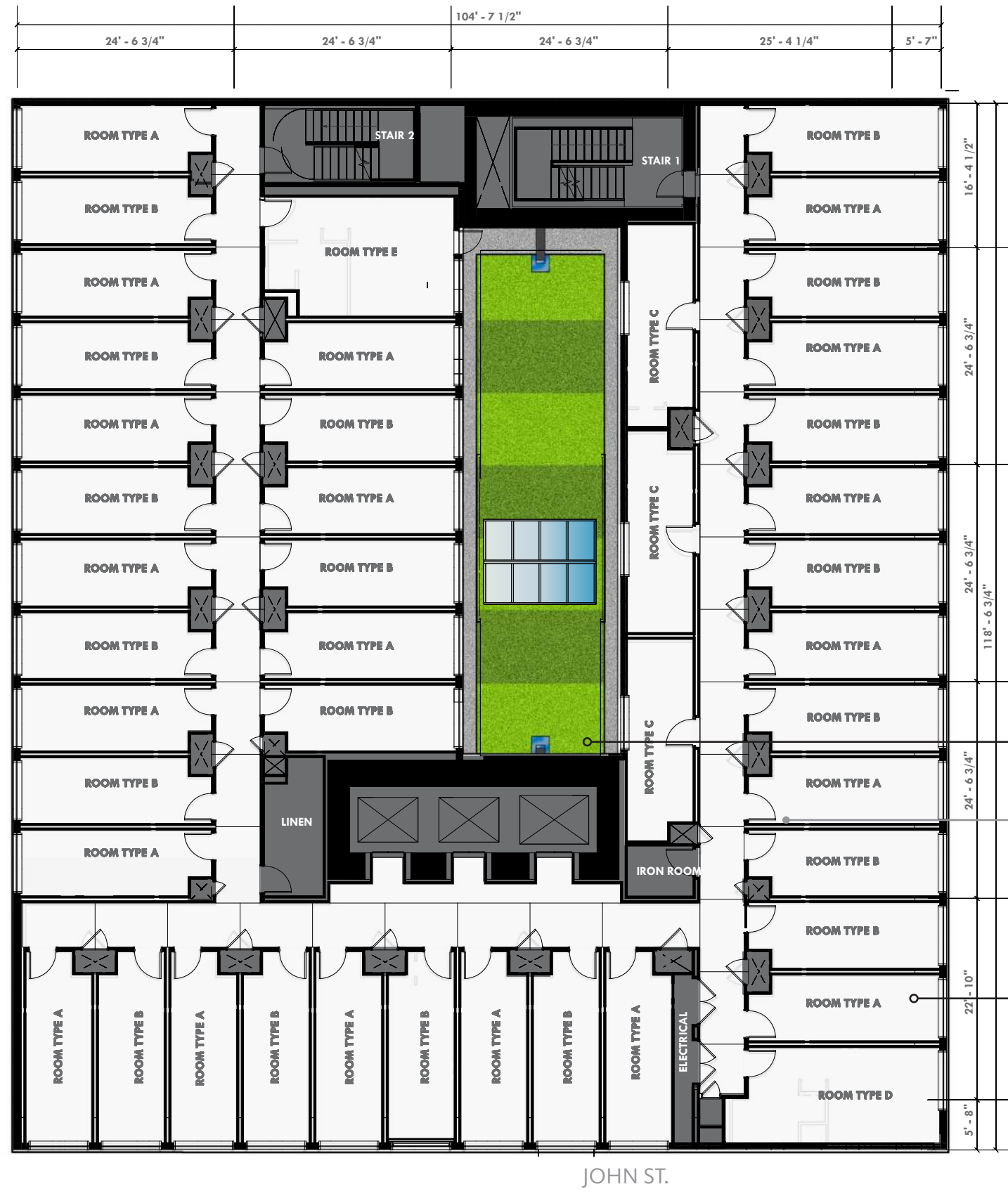
living room



societyM

4.3 DESIGN

Level 2-7 Floor Plan



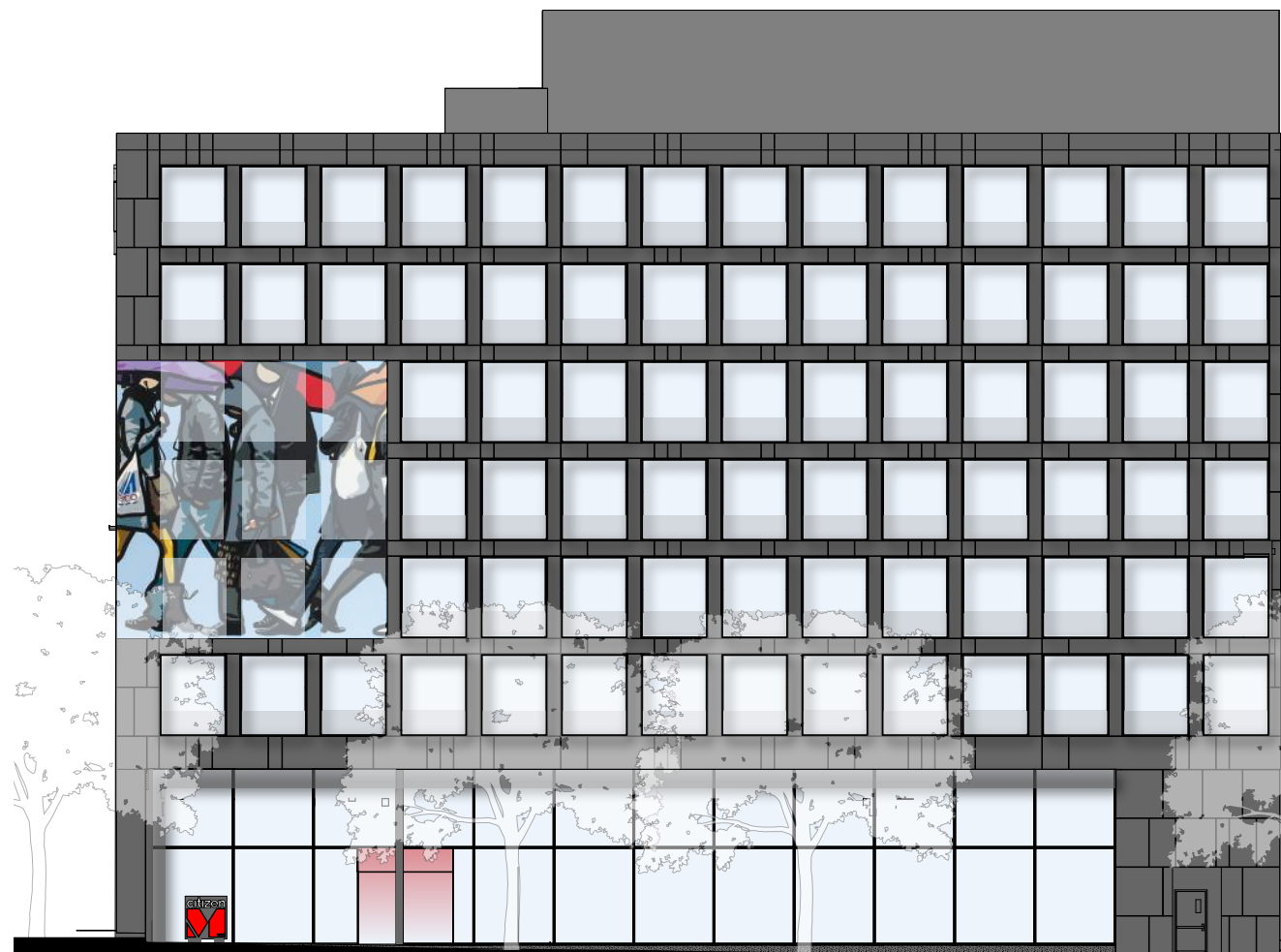
Bio-retention planting

Typical guestroom plan

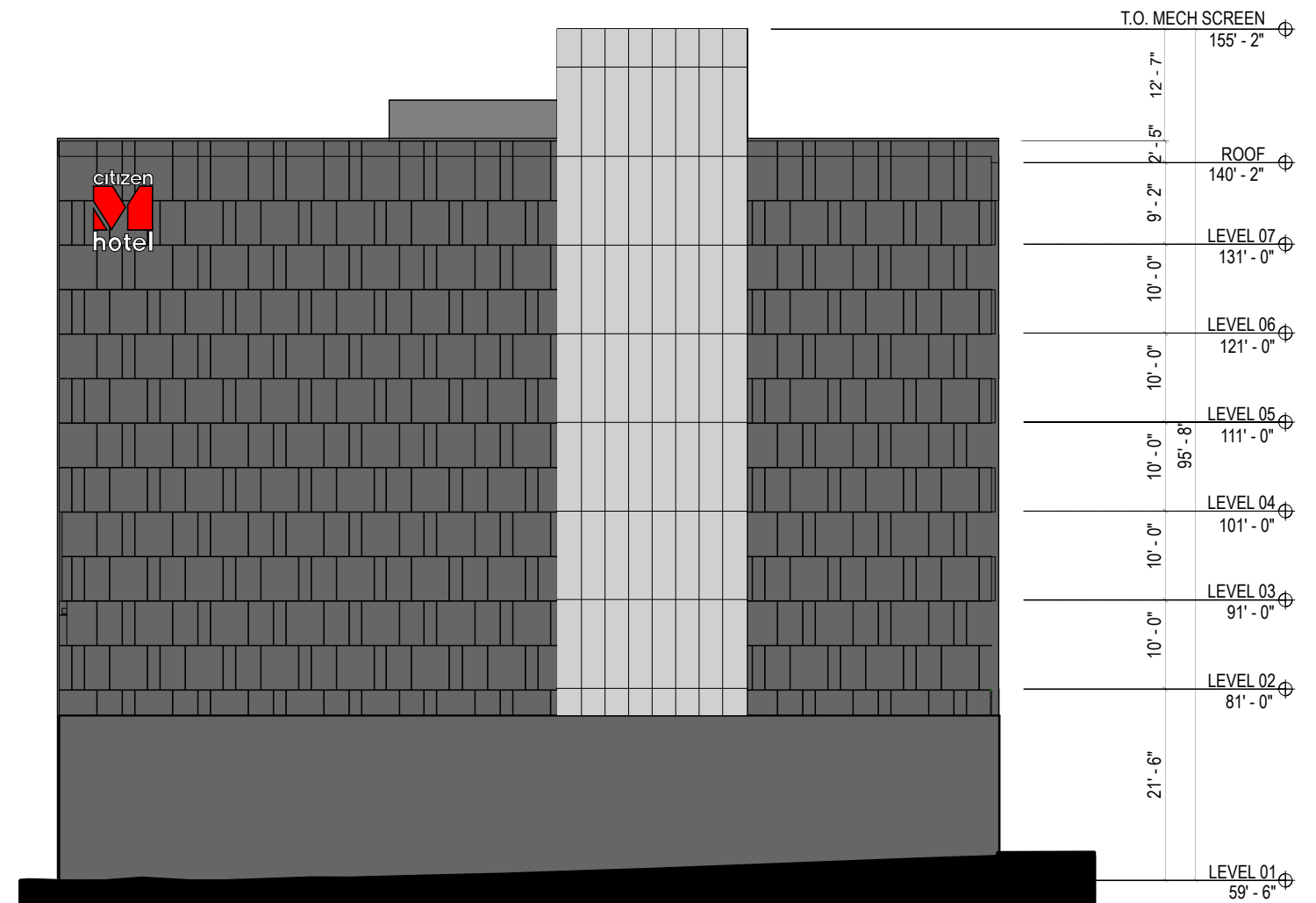


4.4
DESIGN

Elevations Westlake Ave & North



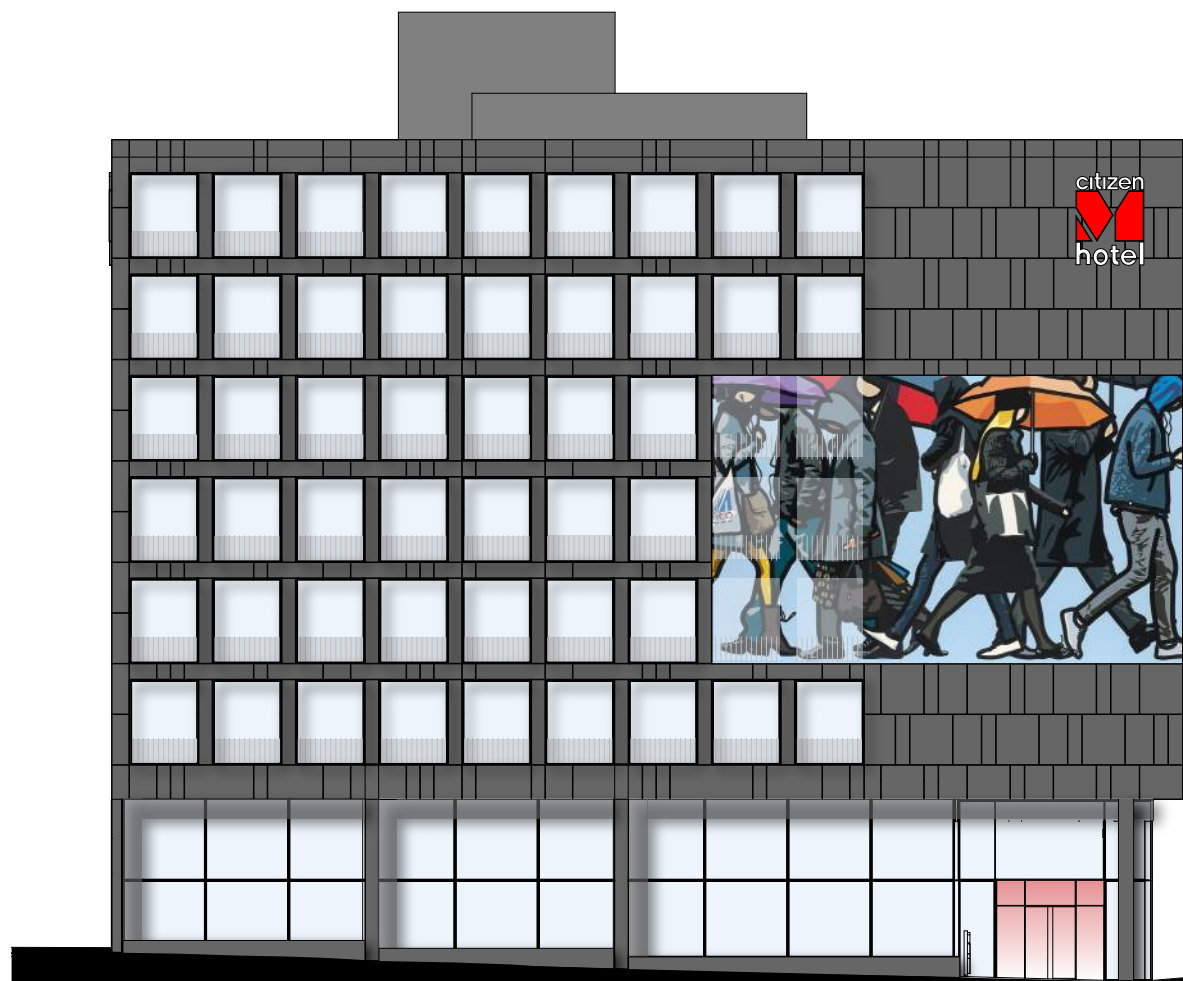
WESTLAKE AVE ELEVATION



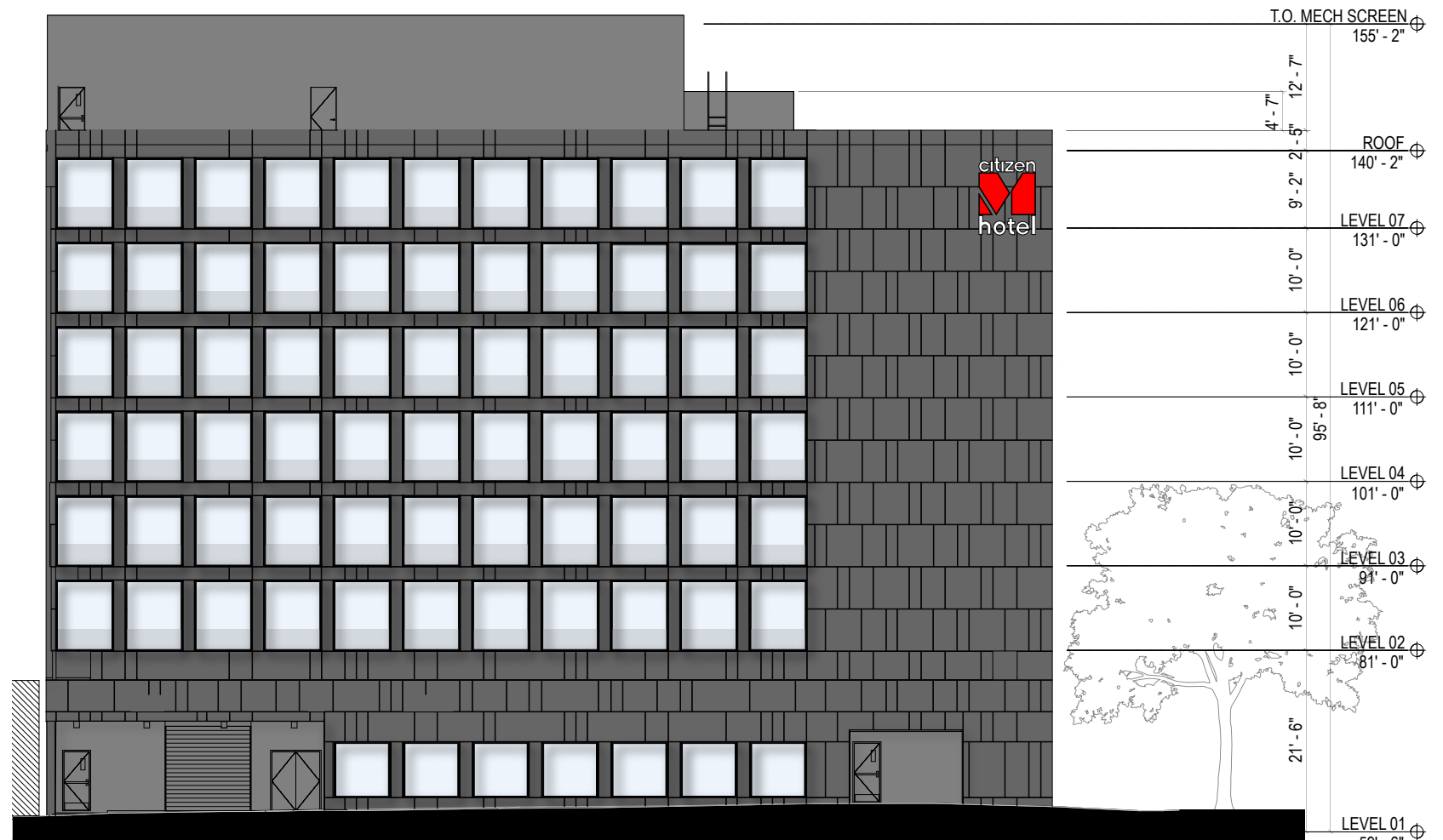
NORTH ELEVATION

4.4
DESIGN

Elevations John Street & Alley



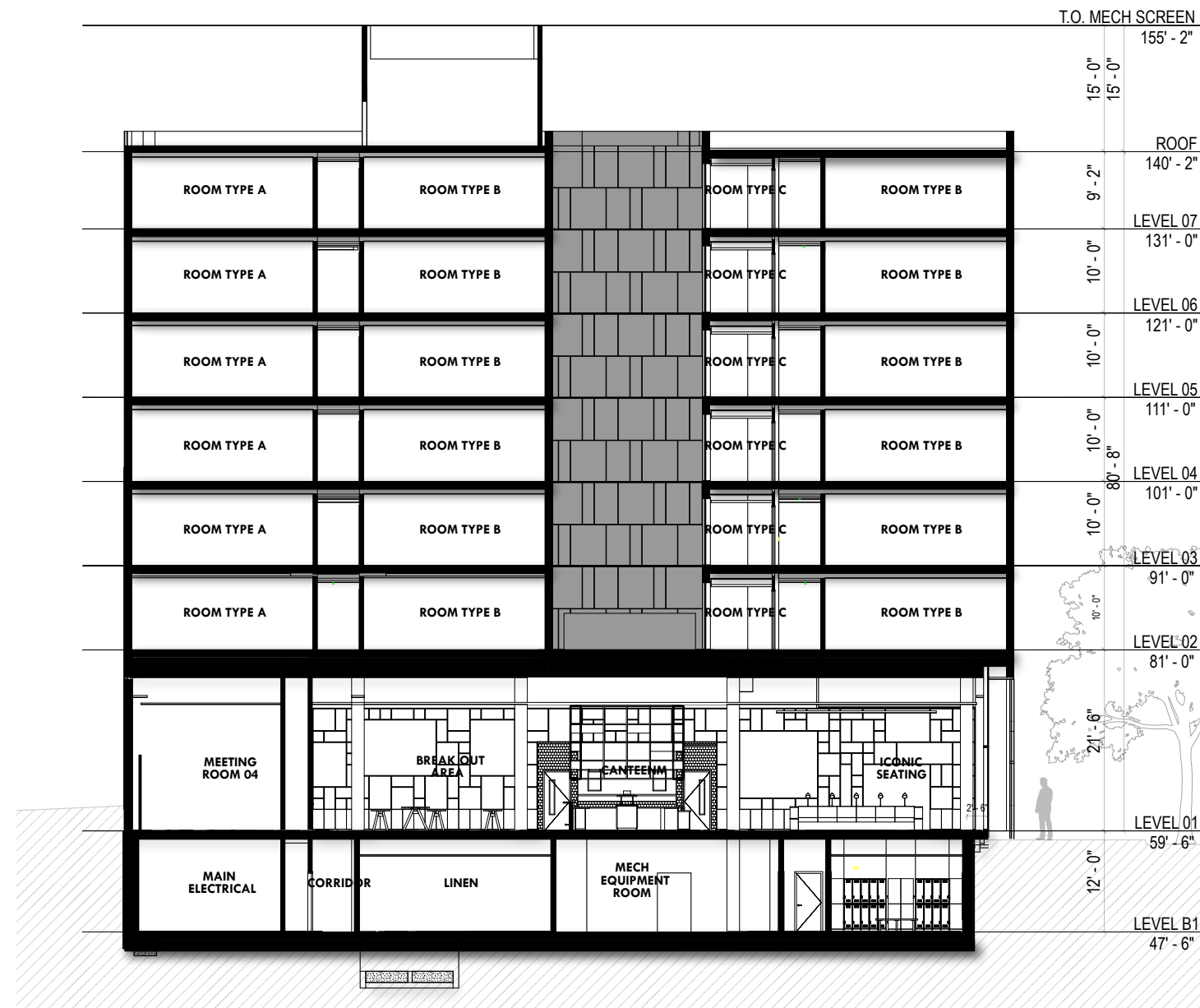
JOHN ST ELEVATION



ALLEY ELEVATION

4.5 DESIGN

Sections East-West & N-S Courtyard



EAST-WEST SECTION



NORTH-SOUTH SECTION

5.1 BOARD GUIDANCE

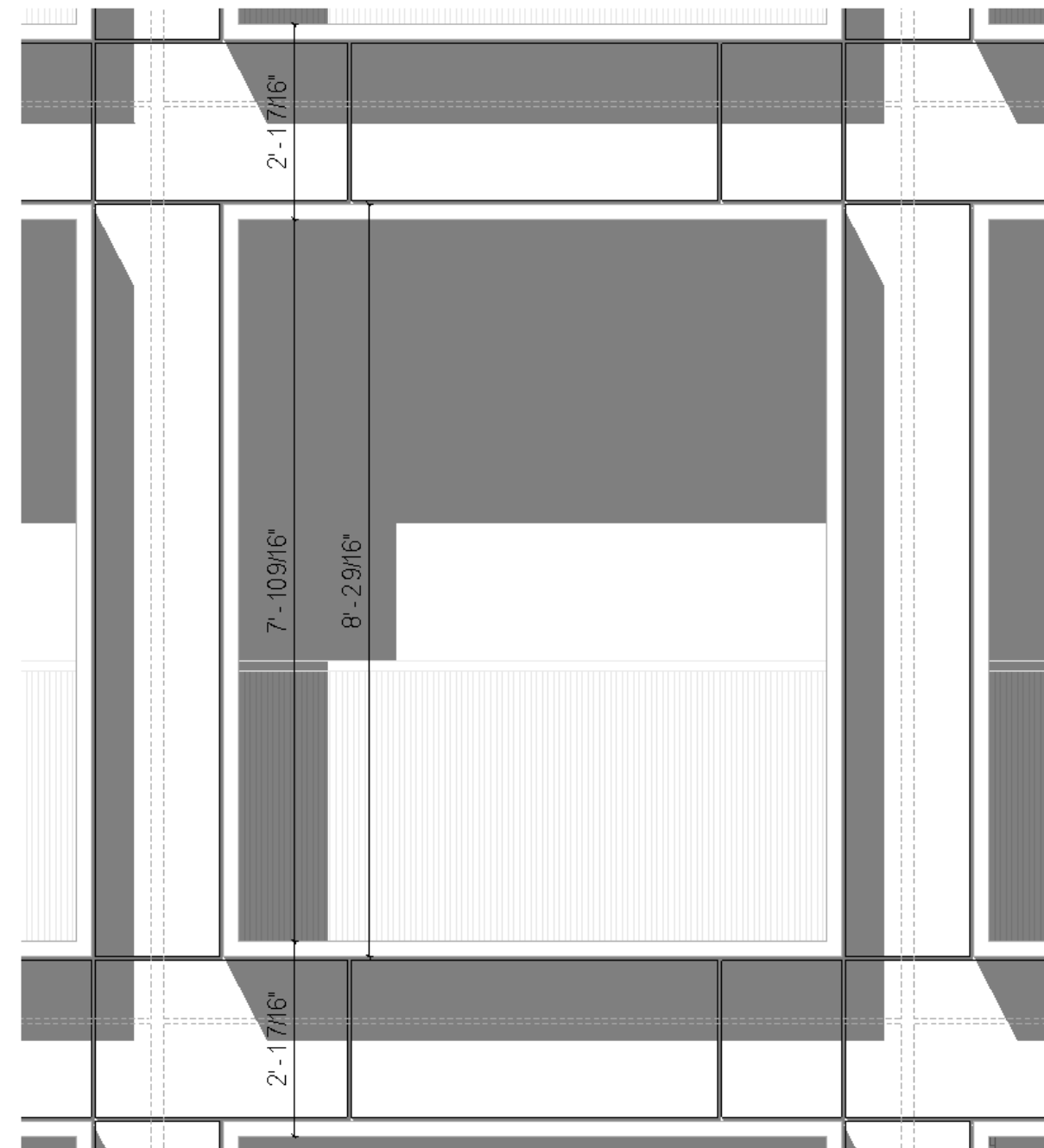
Guestroom Window Mullion Depths

BOARD RECOMMENDED CONDITION #1

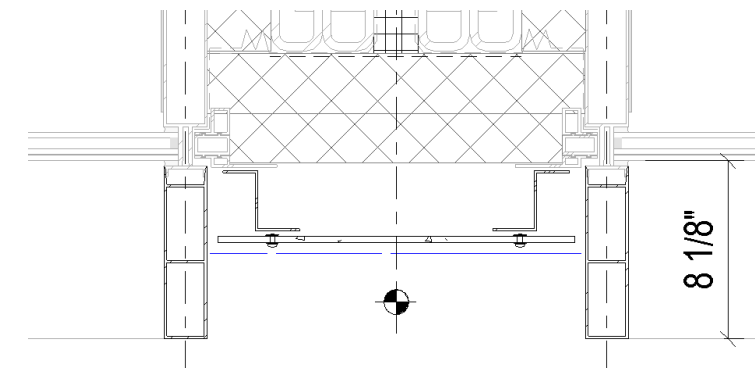
'Provide guestroom curtainwall mullion caps that allow a 7" depth from face of glazing to face of mullion.' (DC2-A, DC2-B-1, DC2-C-2, DC4-A-1)

RESPONSE TO BOARD COMMENTS

- The depth of all guestroom curtainwall mullion caps has been increased to 8 1/8" from face of glazing to face of mullion to provide even more shade and shadow on the facade.



GUESTROOM WINDOW
ELEVATION DETAIL AND
PLAN DETAIL



5.2 BOARD GUIDANCE

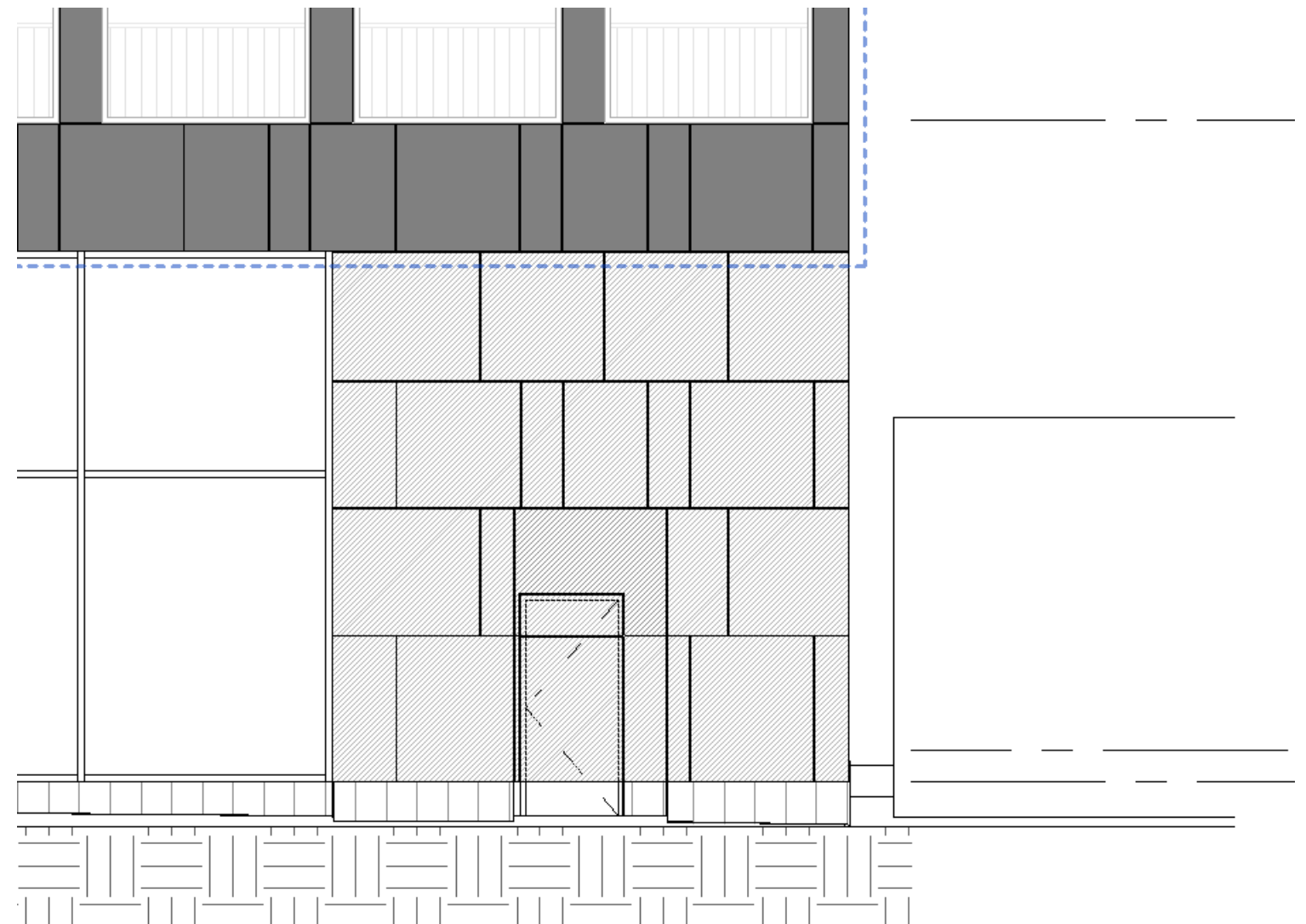
Westlake Avenue Egress Door

BOARD RECOMMENDED CONDITION #2

Ensure the egress door along the Westlake frontage is of a high quality, as related to requested departure #1. (DC2-B-1, DC2-B-2)

RESPONSE TO BOARD COMMENTS

- The Egress door on Westlake Ave will be custom-clad in the same dark gray Equitone panels as the surrounding facade. The panel pattern will also be continuous.



WESTLAKE AVE EGRESS DOOR ELEVATION DETAIL

5.3 BOARD GUIDANCE

John Street Facade Programming

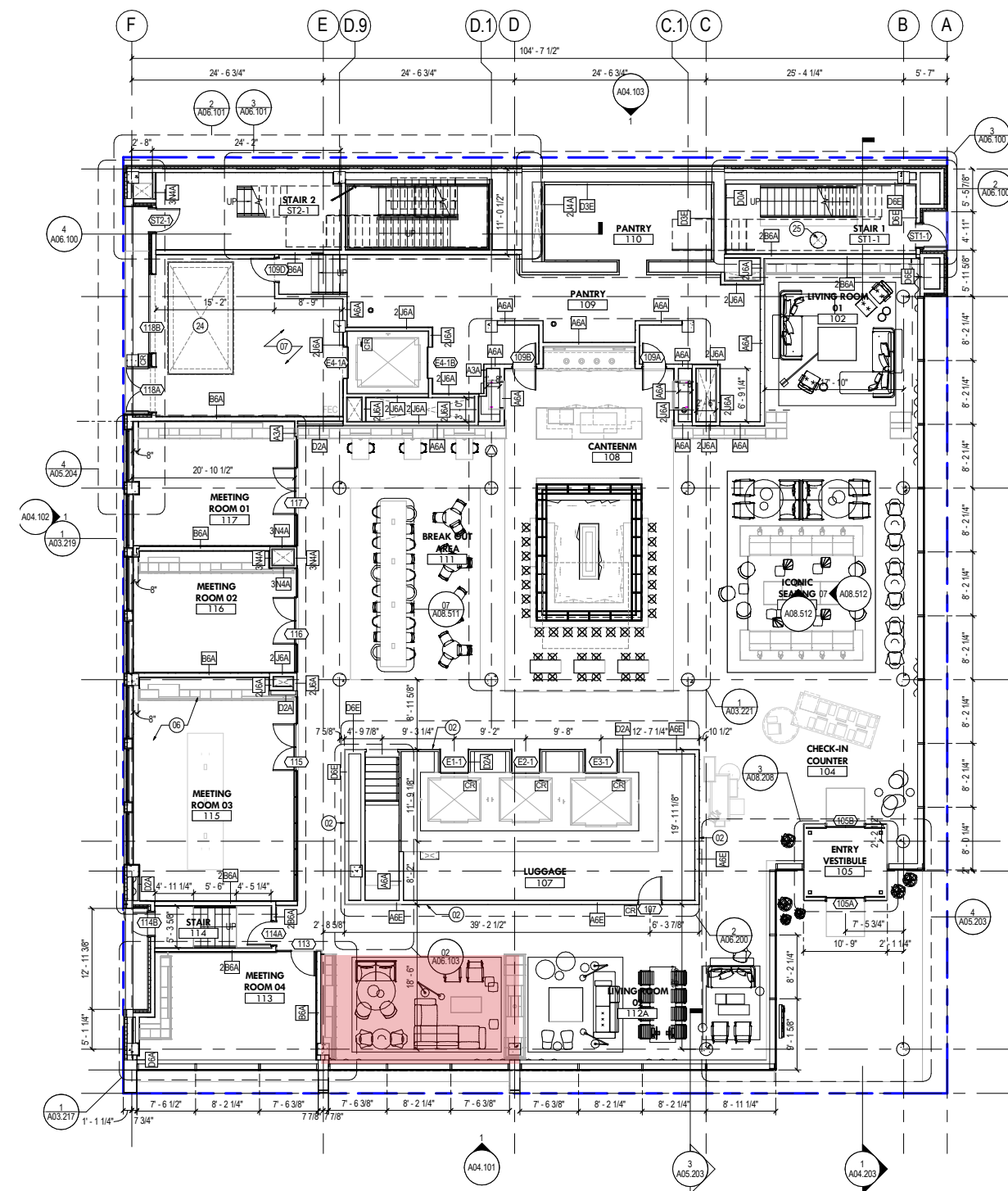
BOARD RECOMMENDED CONDITION #3

'Eliminate the easternmost societyM room on John in favor of more lounge-like programming. No workspaces along John past the corner societyM room.'

'If the room where the easternmost societyM room remains – with lounge-like programming –, the east wall of the room will be glass' (DC1-A, PL3-C-1)

RESPONSE TO BOARD COMMENTS

- The easternmost conference room has been converted into another lounge space with an open and inviting seating layout that will encourage lively activity visible from the street.



GROUND FLOOR PLAN

5.4 BOARD GUIDANCE

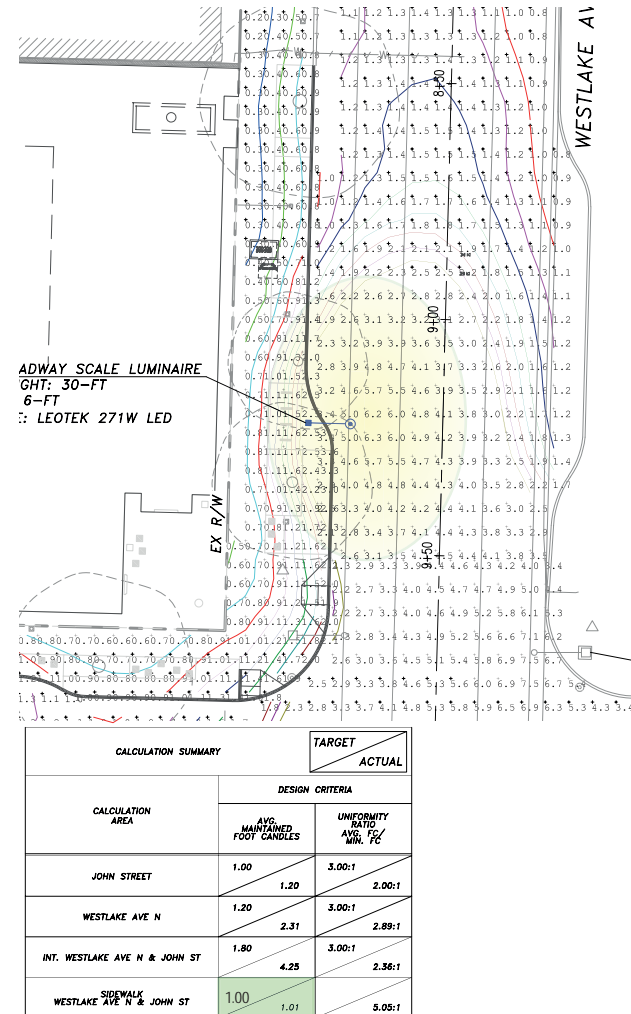
Westlake Avenue Light Levels

BOARD RECOMMENDED CONDITION #4

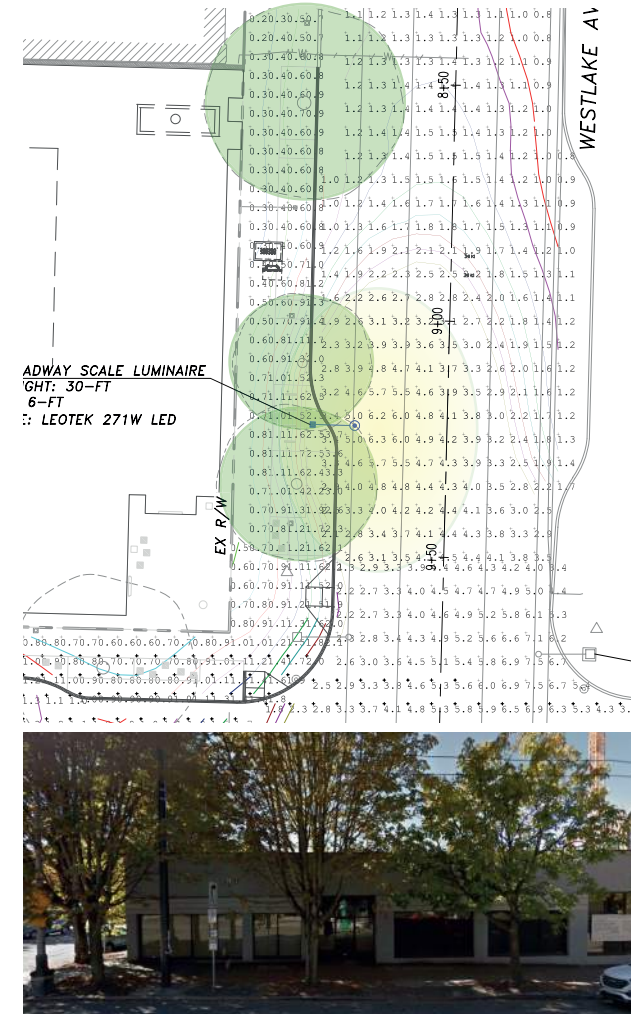
'Provide adequate light levels at the sidewalk along Westlake.'

RESPONSE TO BOARD COMMENTS

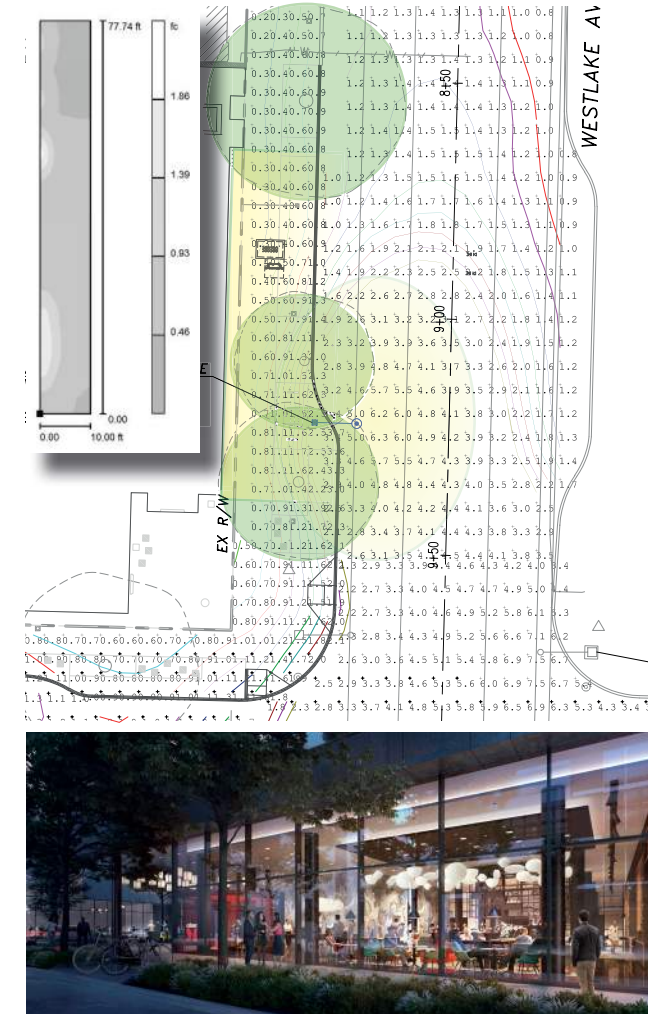
- The proposed design will provide sufficient lighting for safety and security on the sidewalk at Westlake Ave N without requiring the incorporation of additional facade-mounted light fixtures.
- The exterior lighting design also complies with the guidelines indicated in the DRB recommendations previously outlined.
- Pathway illumination will be sufficient for safety and security. Adequate vertical illumination is provided while not over-lighting the pathway. Recessed down-lights are included at entry alcoves to provide egress illumination.
- Glowing lanterns located at the entrance canopy increase site safety while highlighting the main entrance to the hotel and aid orientation.
- Glare is mitigated through careful selection of luminaires with good cut-offs, careful orientation of fixtures, and not over lighting (limited use of high power fixtures). Fixtures with an omni-directional flow are located underneath an opaque canopy. Facade art lighting will be turned off automatically from midnight to 6 am to minimize light pollution.



Light levels without taking into account tree cover meet the target light level indicated by the draft lighting standards.



The tree cover on site is assumed to block 50% of the light from the street lights. This would drop the 1 fc average at left to approximately 0.5 fc average.



The visual light transmission of the curtainwall glass is about 0.5, which means that half of the light falling on the inside surface of the glazing will provide spill light onto the sidewalk. Based on calculations, spill light provides an average of 0.67 fc on the sidewalk. This, in addition to the 0.5 fc from the street lights, results in over 1 fc avg on the sidewalk.

6.1 APPROVED DEPARTURE UPDATE

Departure: SMC 23.48.040.B.2 Blank Facades
 Addressed at 4/26/2017 Recommendation meeting

LAND USE REQUIREMENT

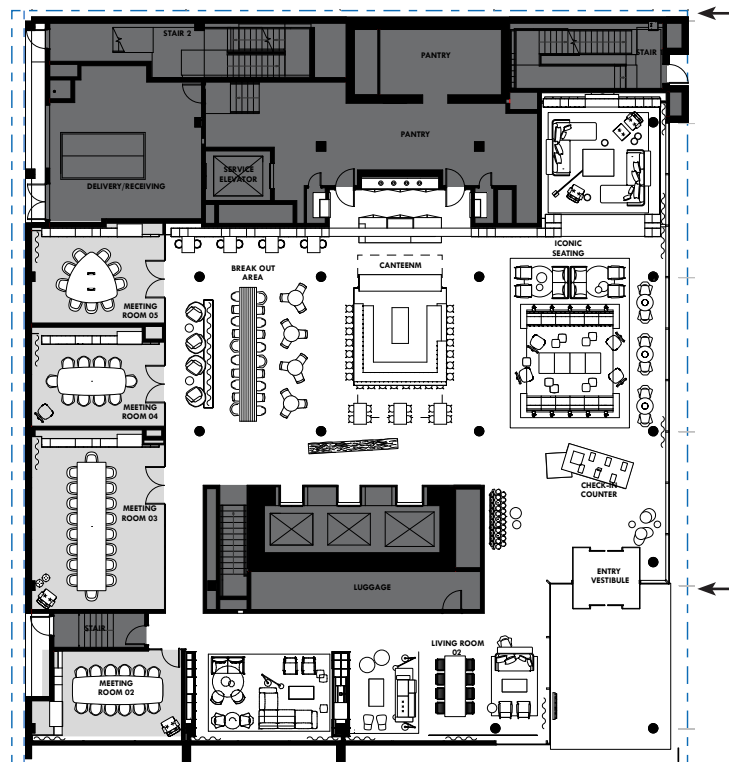
- The Code (23.48.040.B.2) limits blank facades located along the street level to 15'. The applicant proposed 16'-10 3/4" of blank wall facade in order to align with the regular rhythm of the adjacent storefront.

REQUESTED DEPARTURE

- At the northeast corner of the building along Westlake Avenue, the project seeks a departure for a 16'-10 3/4" length of blank facade. The proposed design allows the regular rhythm of the storefront glazing to terminate at the start of the solid portion of the base at the northeast corner. This rhythm works in concert with the column structure at street level and corresponds to the guestroom bay structure above.

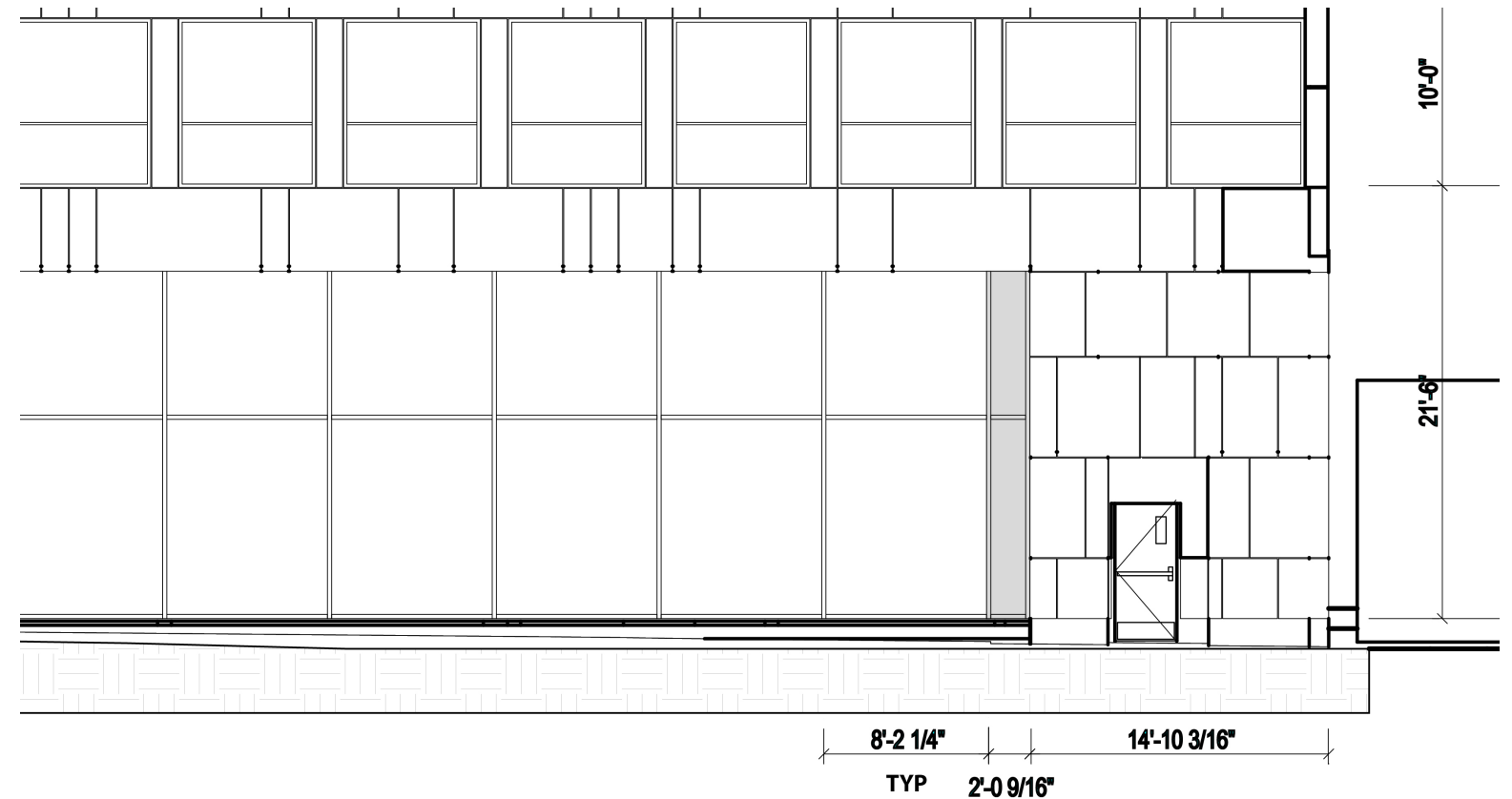
BOARD DIRECTION

- The Board recommended approval of the departure request, provided the egress door is of a high quality to improve the visual appearance. The Board agreed that following the storefront spacing and a high quality door would improve the composition of the entire facade and would better meet Design Guidelines DC2-B-1 Facade Composition and DC2-B-2 Blank Walls, subject to the conditions listed at the end of this report.

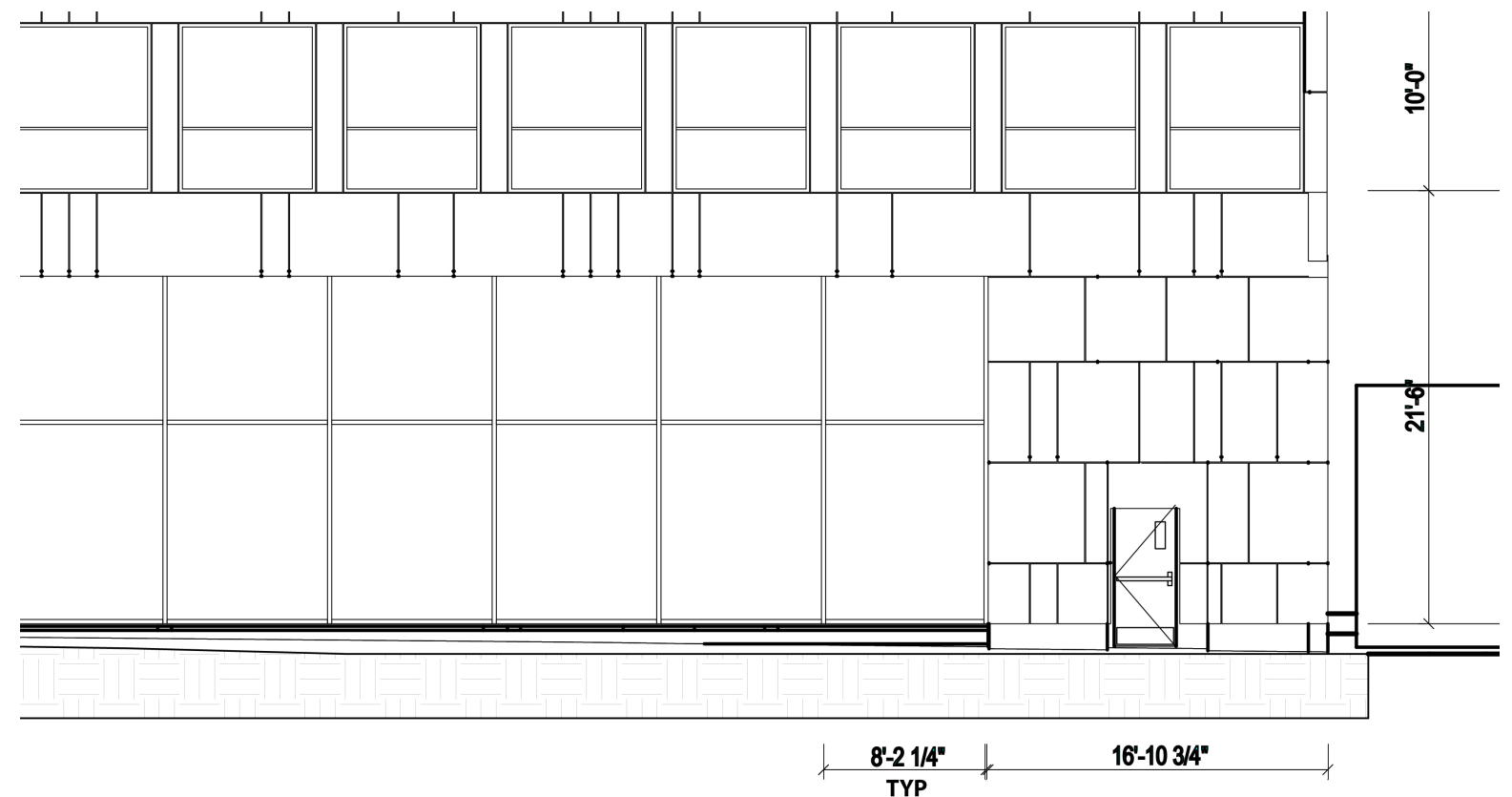


Key plan

DEPARTURE INCORPORATED INTO MUP DRAWINGS



ENLARGED WESTLAKE AVE ELEVATION PER SMC 23.48.040.2



ENLARGED WESTLAKE AVE ELEVATION WITH REQUESTED DEPARTURE

6.2 APPROVED DEPARTURE UPDATE

Departure: SMC 23.48.040.C.1 Street-Level Uses
Addressed at 4/26/2017 Recommendation meeting

LAND USE REQUIREMENT

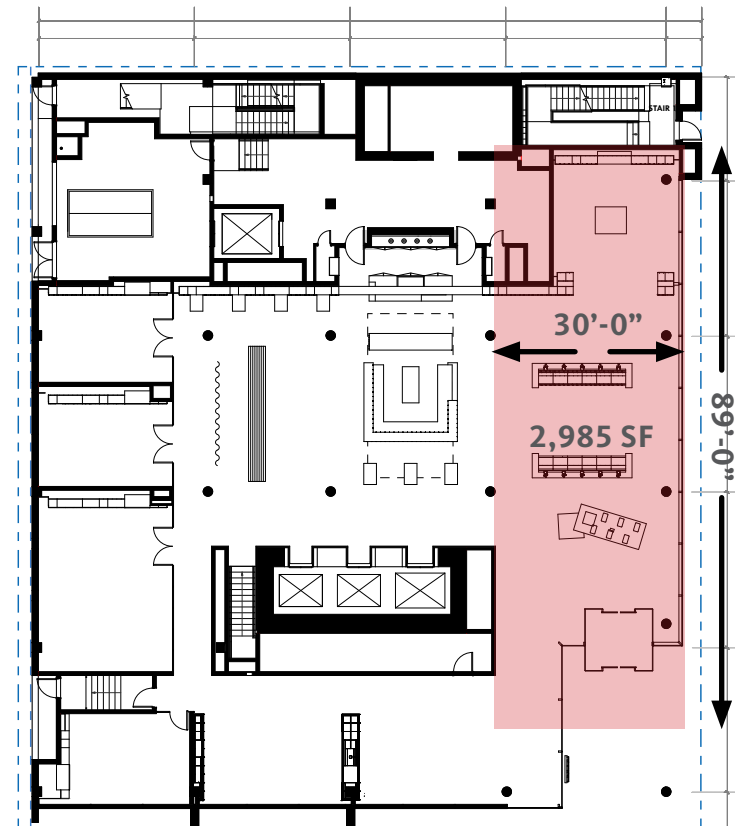
SMC 23.48.040.C1 requires qualifying street level uses along 75% of the Westlake Ave facade, which amounts to 89'. The applicant proposes street level uses for 57% along Westlake Ave for a length of 67'-8".

RESPONSE TO BOARD COMMENTS

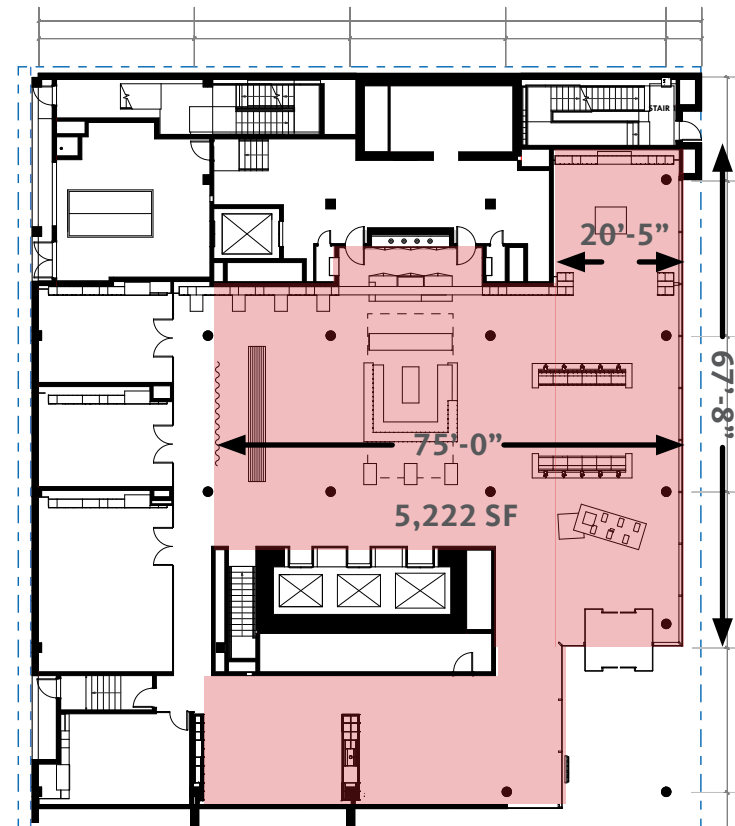
- Due to the compact nature of the site, the substantial elevator core wall dimensions and the planning of the back of house areas and per SMC 23.41.012.B.2, the design team seeks a departure to allow a reconfigured street-level uses meeting the intent of the code, if not the letter.
- Along Westlake Avenue, 89'-0" of street-level use is required. Here, the team proposes a street-level use length of 67'-8". Due to interior planning requirements, the depth of this use varies. In much of the area, the depth is much greater than the required 30'
- In aggregate, the total street-level use is significantly larger than the required. The area of the required street-level along Westlake is 2,985 SF. The total proposed street-level use area along Westlake and John is 5,222 SF.
- The interior ceiling height is proposed to be 15'. This is significantly more than the required 13' floor-to-floor and will contribute greatly the perception of the interior volume at the sidewalk.

BOARD DIRECTION

- The Board recommended approval of the departure request as the depth and openness of the lounge area allows for layers of the activities to occur. The Board also found the extended storefront height maximizes the amount of ground level transparency to connect to the pedestrian realm. The resulting design better meets Design Guidelines CS2-B-2 Connection to the Street and PL3-C-1 Porous Edge and opportunities to visually interact are upheld.



Level 1 Plan with Required Street-Level Uses per SMC 23.48.040.C



Level 1 Plan with Requested Departure to Required Street-Level Uses



DEPARTURE REQUEST SUPERCEDED IN THIS BOOKLET

6.3 APPROVED DEPARTURE UPDATE

Departure: SMC 23.48.040.C.3 Street-Level Development Standards Addressed at 4/26/2017 Recommendation meeting

LAND USE REQUIREMENT

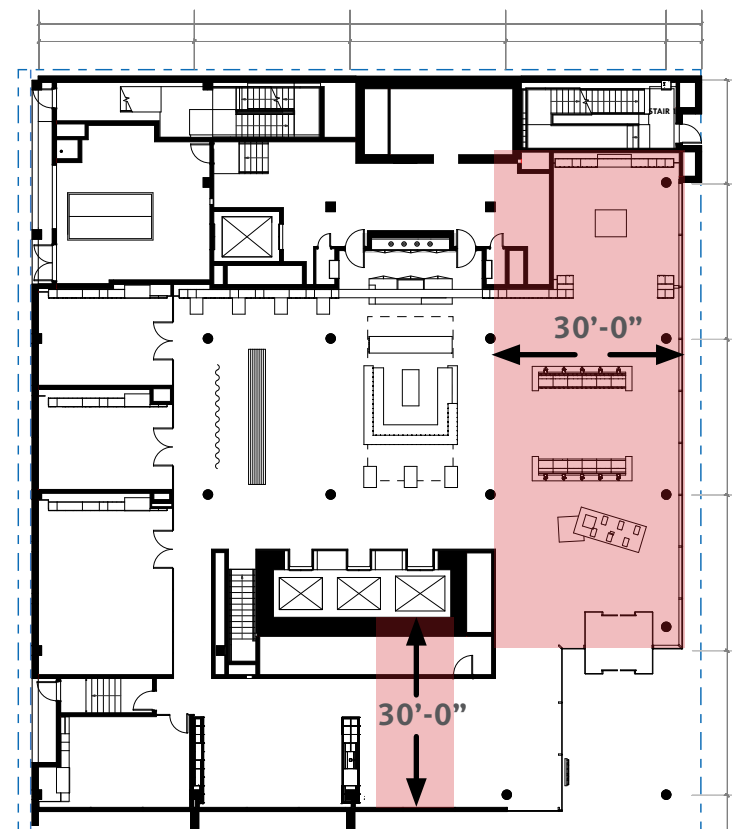
SMC 23.48.040.C3 requires a non-residential depth to be at least 30'. The applicant proposes a 20'-5" interior depth for a portion of the Westlake Ave facade and 21' interior depth for the John St facade.

RESPONSE TO BOARD COMMENTS

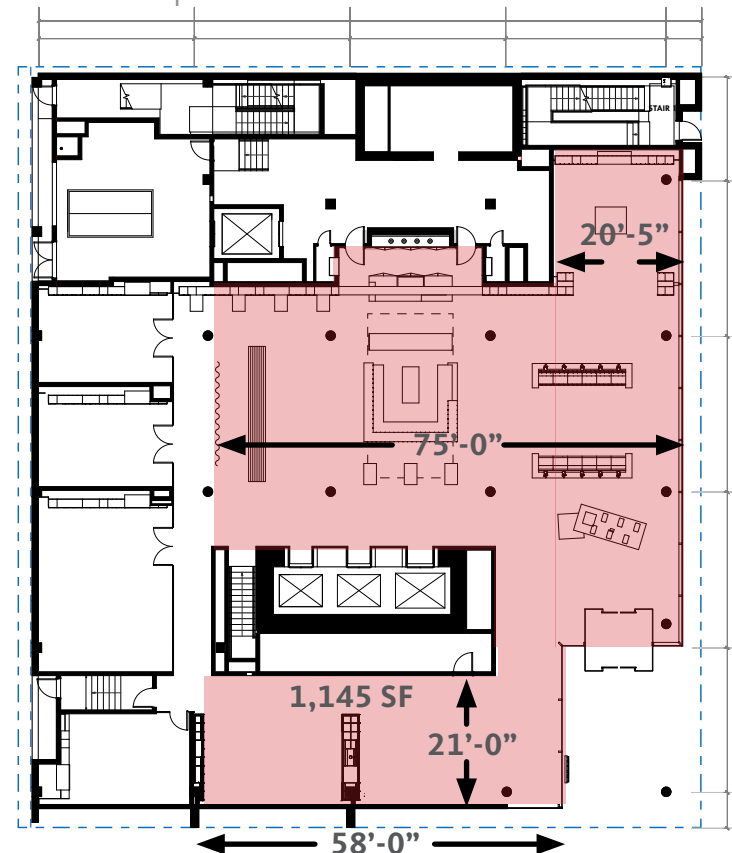
- Along Westlake Avenue, 89'-0" of street-level use is required. Here, the team proposes a street-level use length of 67'-8". Due to interior planning requirements, the depth of this use varies. In much of the area, the depth is much greater than the required 30'.
- Along John Street, 10'-6" of street-level use is required. Here the team proposes a street-level use length of 58'-0". While the provided length is much larger than the requirement, the depth is only 20'-11". In total, approximately 1,145 SF of space is provide here, far greater than the 315 SF required.

BOARD DIRECTION

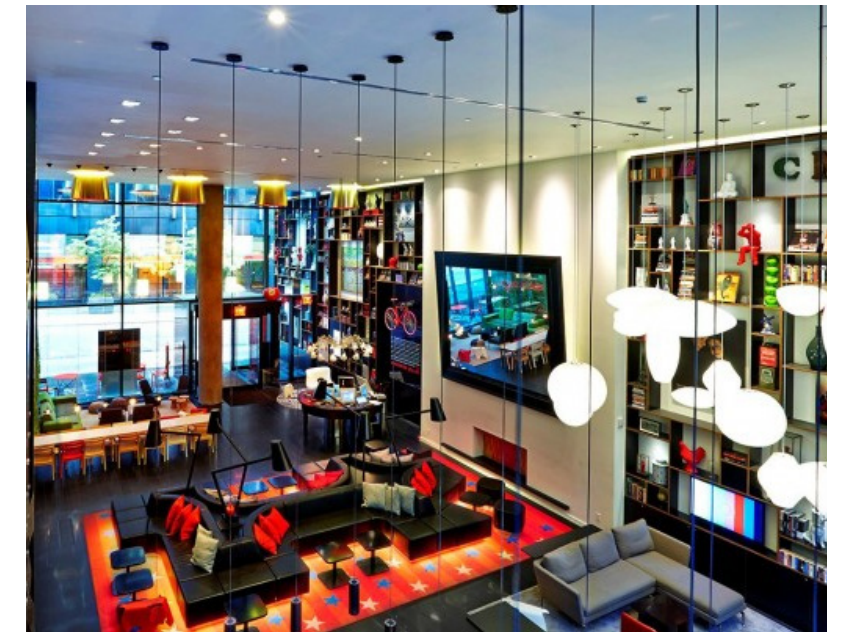
- The Board recommended approval of the departure, provided the central meeting room along John is omitted for additional open lounge space. The resulting design locates more active spaces along John than required by code and the potential to better activate the pedestrian realm and transition to the sidewalk along Westlake Ave. The resulting design better meets Design Guidelines DC1-A Arrangement of Interior Uses and PL3-C-1 Porous Edge, subject to the conditions listed at the end of this report.



Level 1 Plan with Required Street-Level Development Standards per SMC 23.48.040.C.3



Level 1 Plan with Requested Required Street-Level Development Standards



DEPARTURE NOT REQUIRED BY LAND USE CODE

6.4 DEPARTURE

Departure Request: SMC 23.48.040.C Required Street-Level Uses along Class I Pedestrian Streets

SMC 23.48.040.C.1

"...a minimum of 75 percent of the street-facing facade...shall be occupied by uses listed in subsection 23.48.005.D.1"

SMC 23.48.040.C.3

"...a minimum floor-to-floor height of 13 feet and extend at least 30 feet deep..."

REQUEST

Along Westlake Avenue N (Class 1), provide 0 linear feet of street level use complying with SMC 23.48.005.D.1.

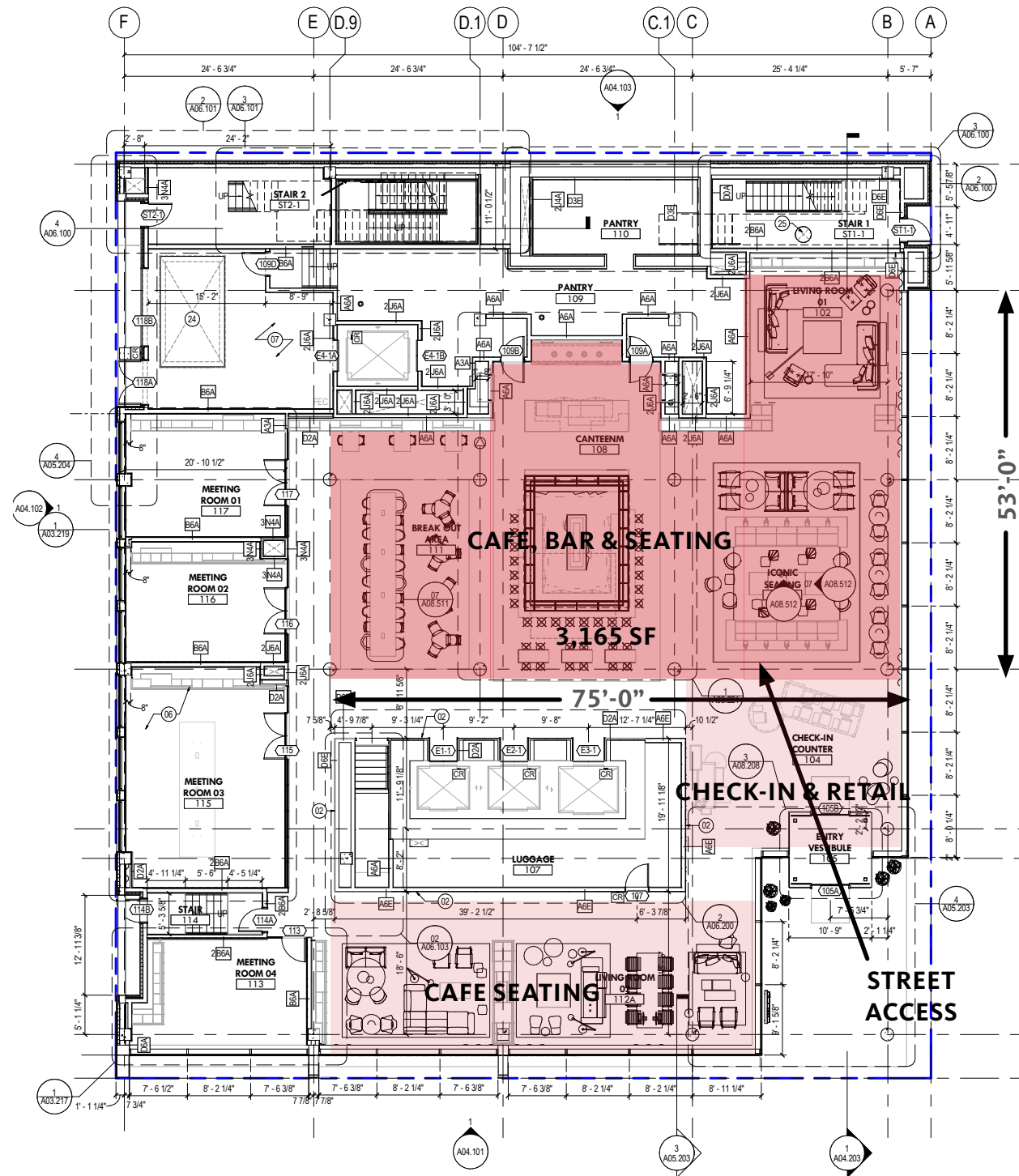
RATIONAL

The hotel's canteenM (cafe) and bar along with its seating areas comprises a total of 3,165 SF. The required size of the required street-level use (30' deep by 67'-8") is 2,030 SF. The volume of space is considerably larger than would be required due to the 15' clear ceilings.

Public area spaces within a citizenM Hotel are not technically hotel spaces. They are food and beverage spaces akin to a cafe or coffee shop and they provide very active spaces along street frontage. This is in keeping with the spirit of the street-level use requirement.

A typical canteenM and bar are used in the mornings for breakfast, throughout the day as a coffee shop (akin to Starbucks, where people eat, drink and work) and in the evening as a bar. The variety of seating types (lounge, cafe tables, high seating) speak to the various ways in which cafes are used in current society.

Access to the canteenM is through the main entry.

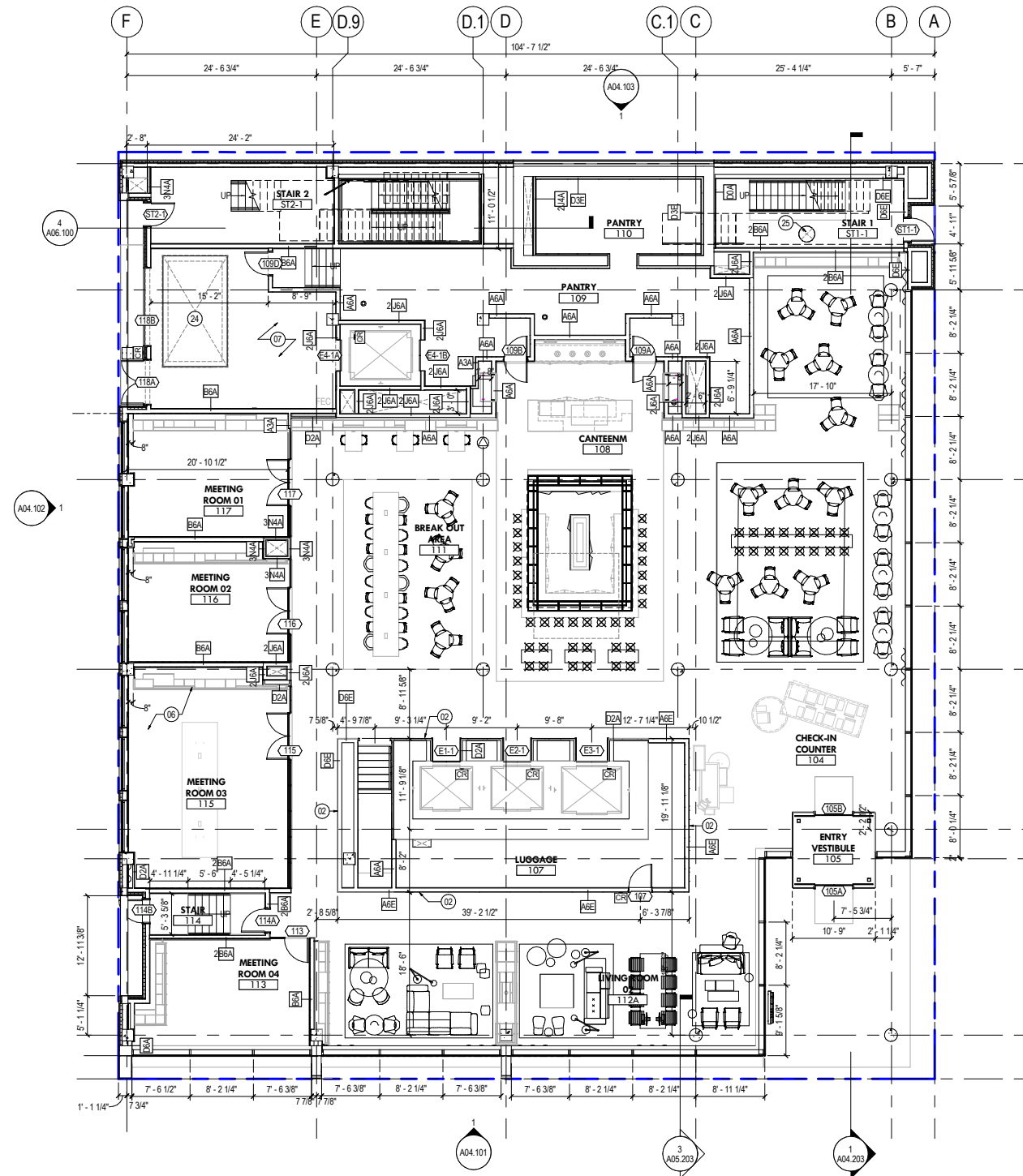


GROUND FLOOR PLAN



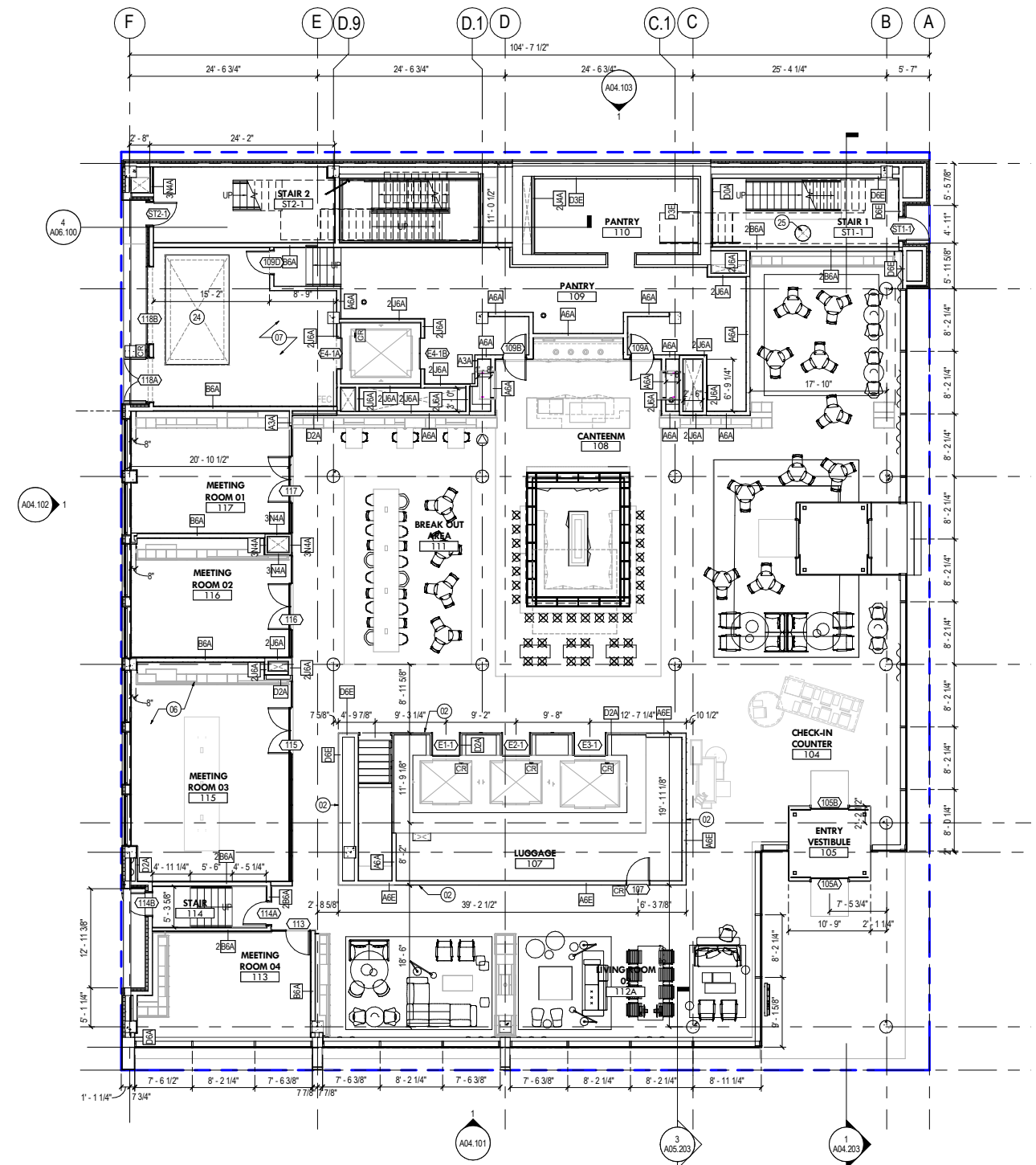
6.3 DEPARTURE

Departure: SMC 23.48.040.C Street-Level Uses



GROUND FLOOR PLAN (CAFE SEATING)

- Cafe seating is more typical of a food-only establishment, but not a cafe



GROUND FLOOR PLAN (CAFE SEATING WITH ENTRY VESTIBULE)

- Vestibule directly from Westlake disrupts the street frontage and runs counter to the spirit of the street level use

7.1 DESIGN REFINEMENT

Facade Panelization

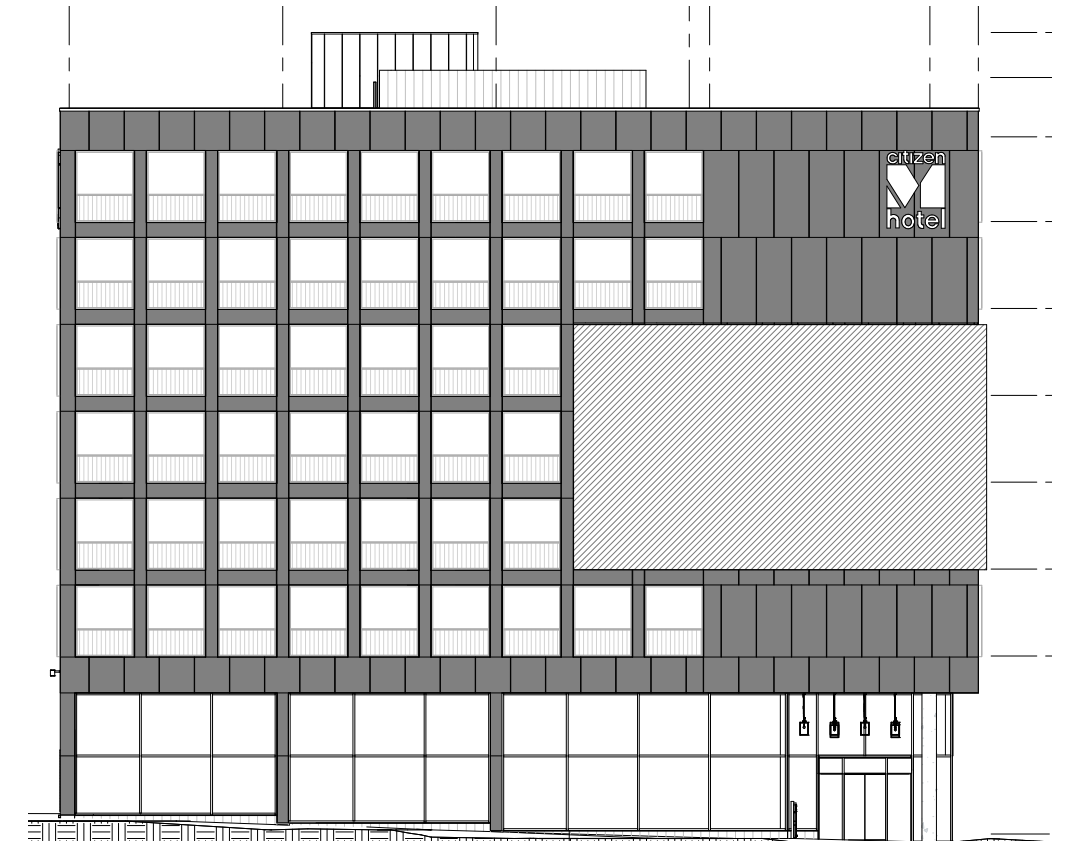
BOARD COMMENTS

“...The Board strongly supported the quality of materials proposed and cohesive approach to detailing, including the staggered pattern and the added texture of the exposed fasteners of the Equitone panels. (DC2-B-1, DC2-D-2, DC4-A-1)... For the North blank wall, the Board supported the proposed monochromatic treatment using two contrasting tones of high quality Equitone panels. The Board approved the crisp appearance and the differentiation of the stair tower with contrasting tone and panel pattern (DC2-B-S, DC2-D-2, DC4-A-1)”

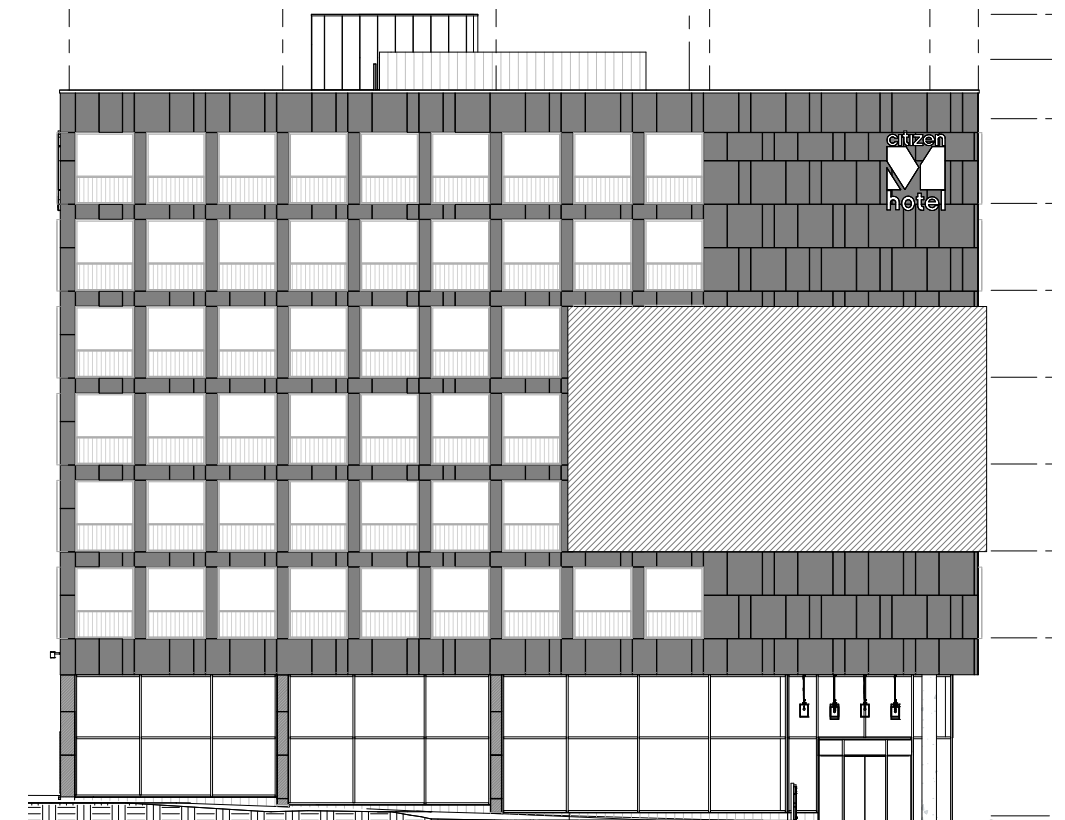
REQUESTED DEPARTURE

- The facade panelization pattern has been changed in order to eliminate construction waste. The Equitone fiber cement facade panels are manufactured in 4'x10' sheets. The previous pattern, which would have required many small cuts to achieve a sequence divisible by 5, would have resulted in roughly 20% of the 4'x10' sheet going to waste in a landfill. The new pattern, which relies on a whole 4'x10' sheet as the basic facade module achieves much greater material efficiency with far fewer cuts and waste.
- The 4'x10' facade module relates well to the scale and proportions of the architecture. The floor-to-floor height, for instance, is 10'. 4' is almost exactly half the width of the 8'-2 1/2" wide guestroom modules.
- The North (blank) facade will continue to make use of two different tones of Equitone panel (light gray and dark gray) to break up the mass and articulate the taller height of the stair tower in relation to the rest of the facade.
- The new panel module spacing will also establish a more regular rhythm of the exposed metal fasteners as there will be fewer changes in the spacing sequence.

JOHN ST ELEVATION
(REQUESTED
PATTERN
DEPARTURE)

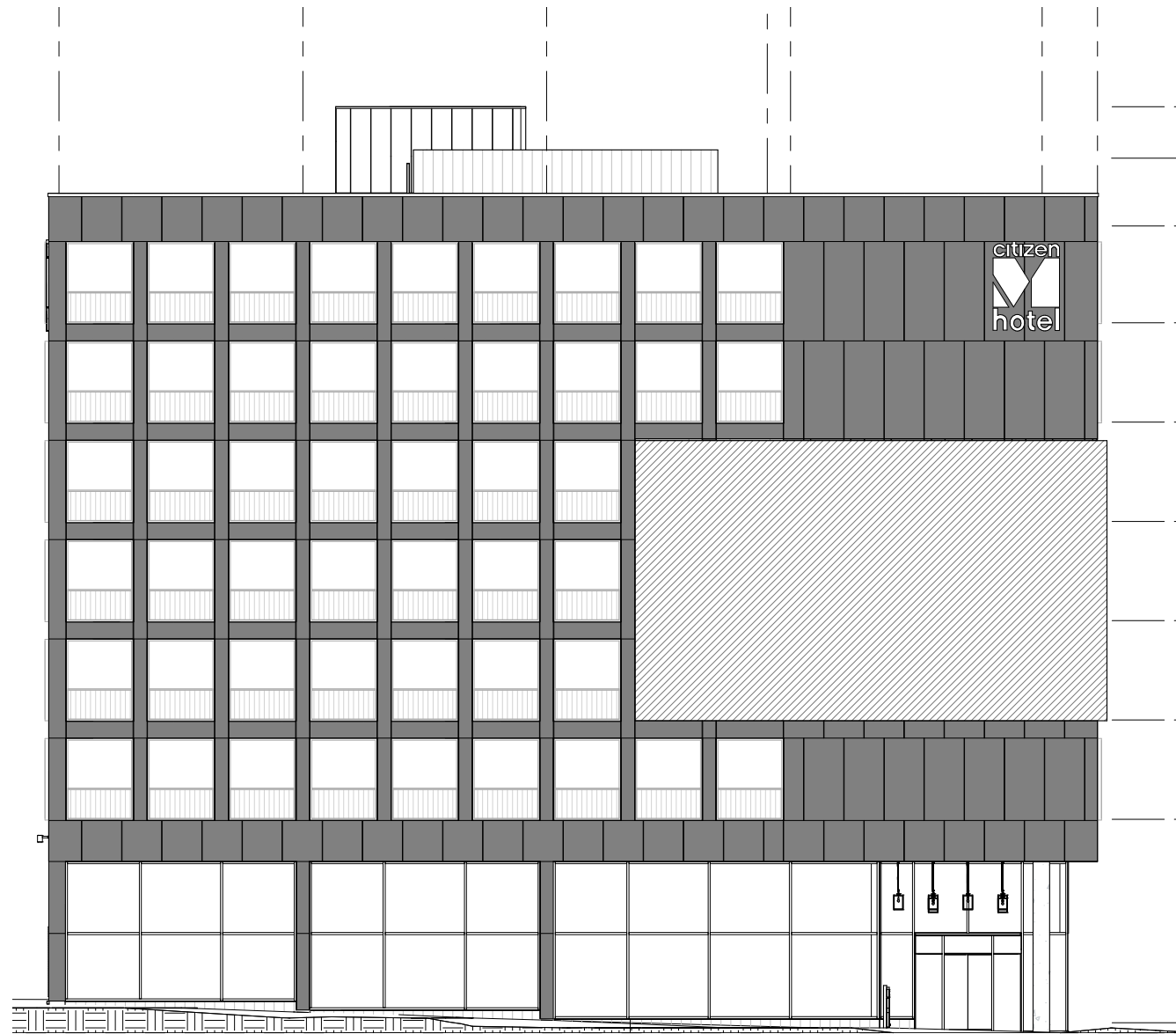


JOHN ST ELEVATION
(APPROVED FACADE
PATTERN)

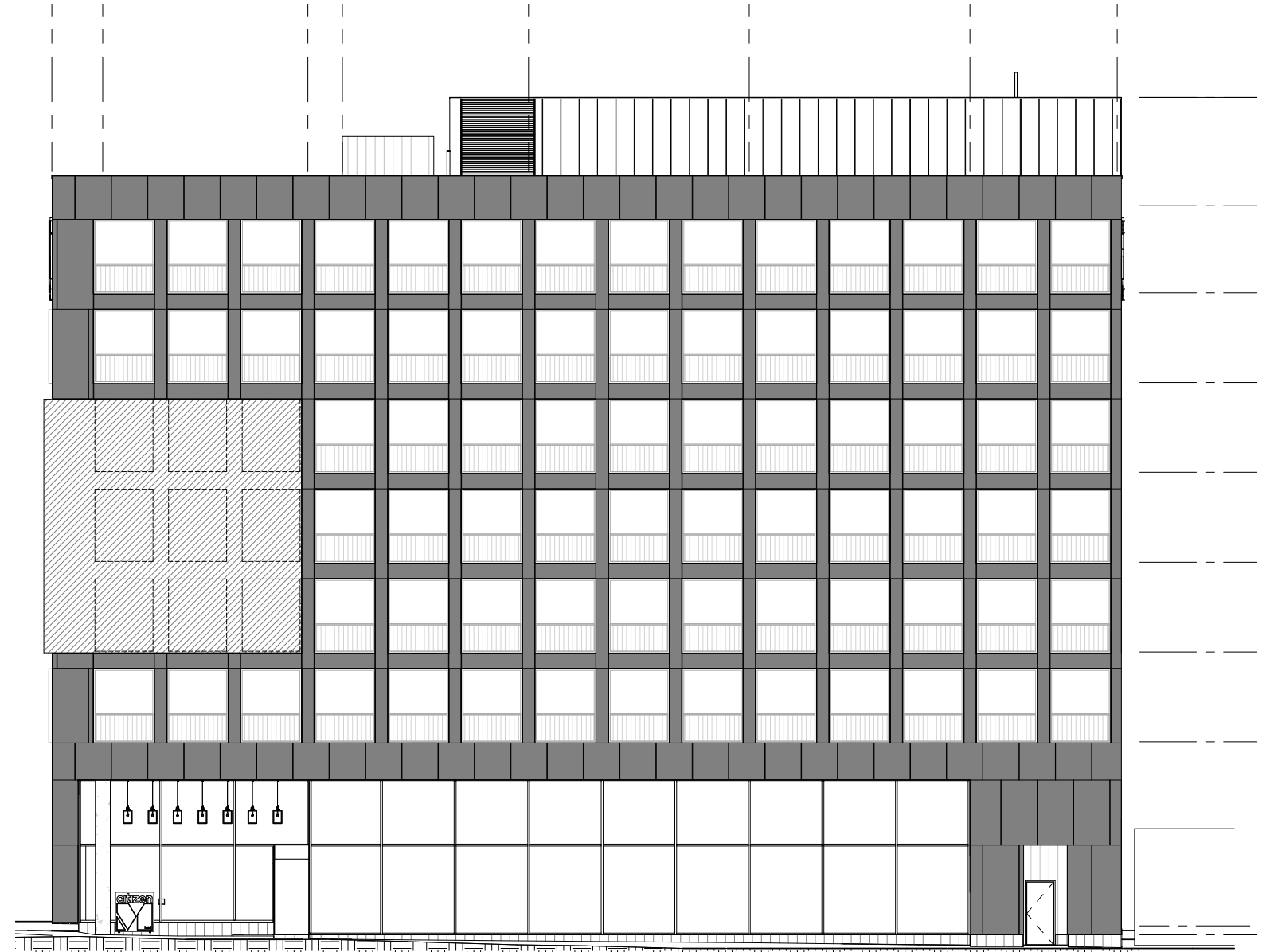


7.1
DESIGN REFINEMENT

Facade Panelization



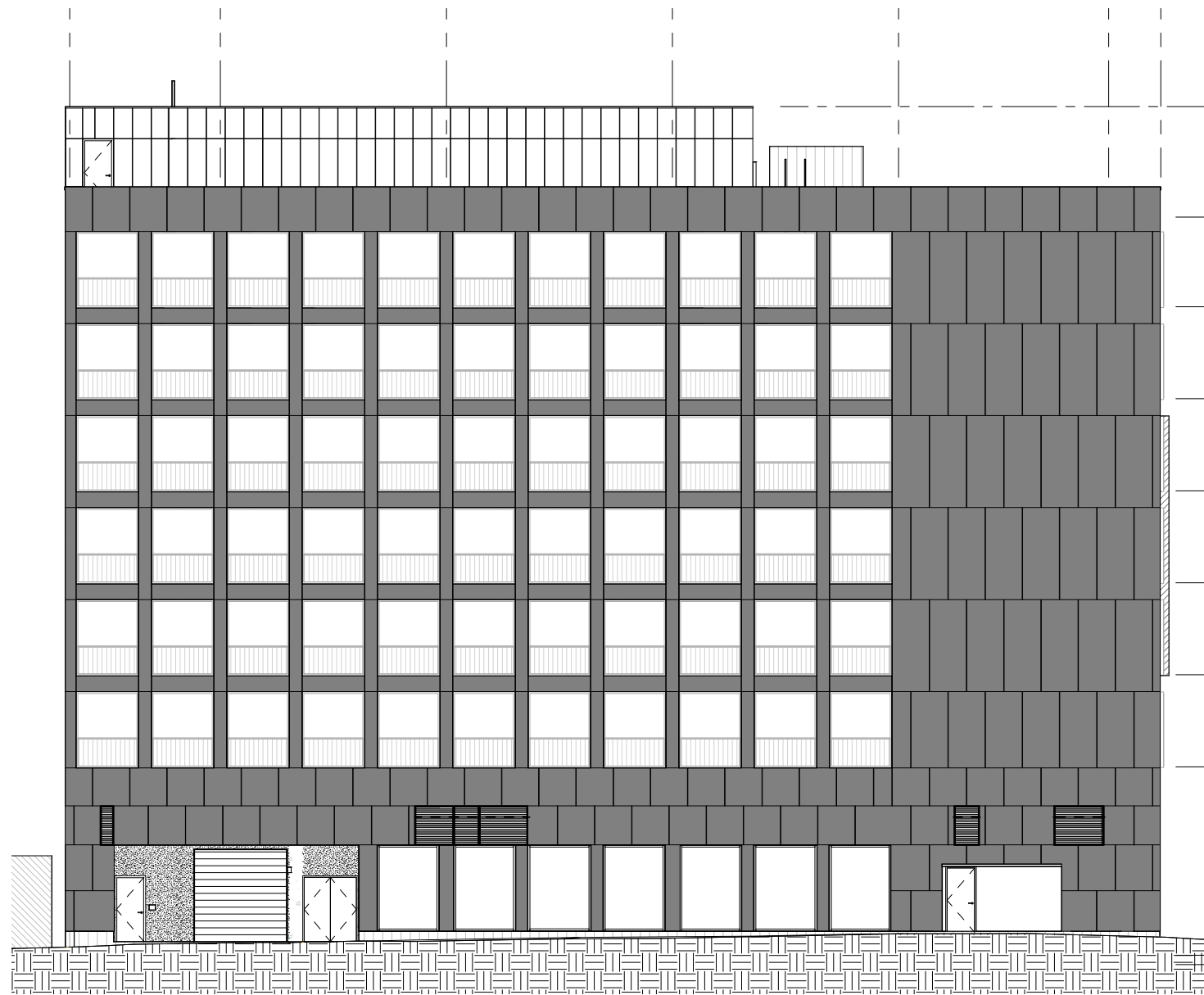
JOHN ST ELEVATION



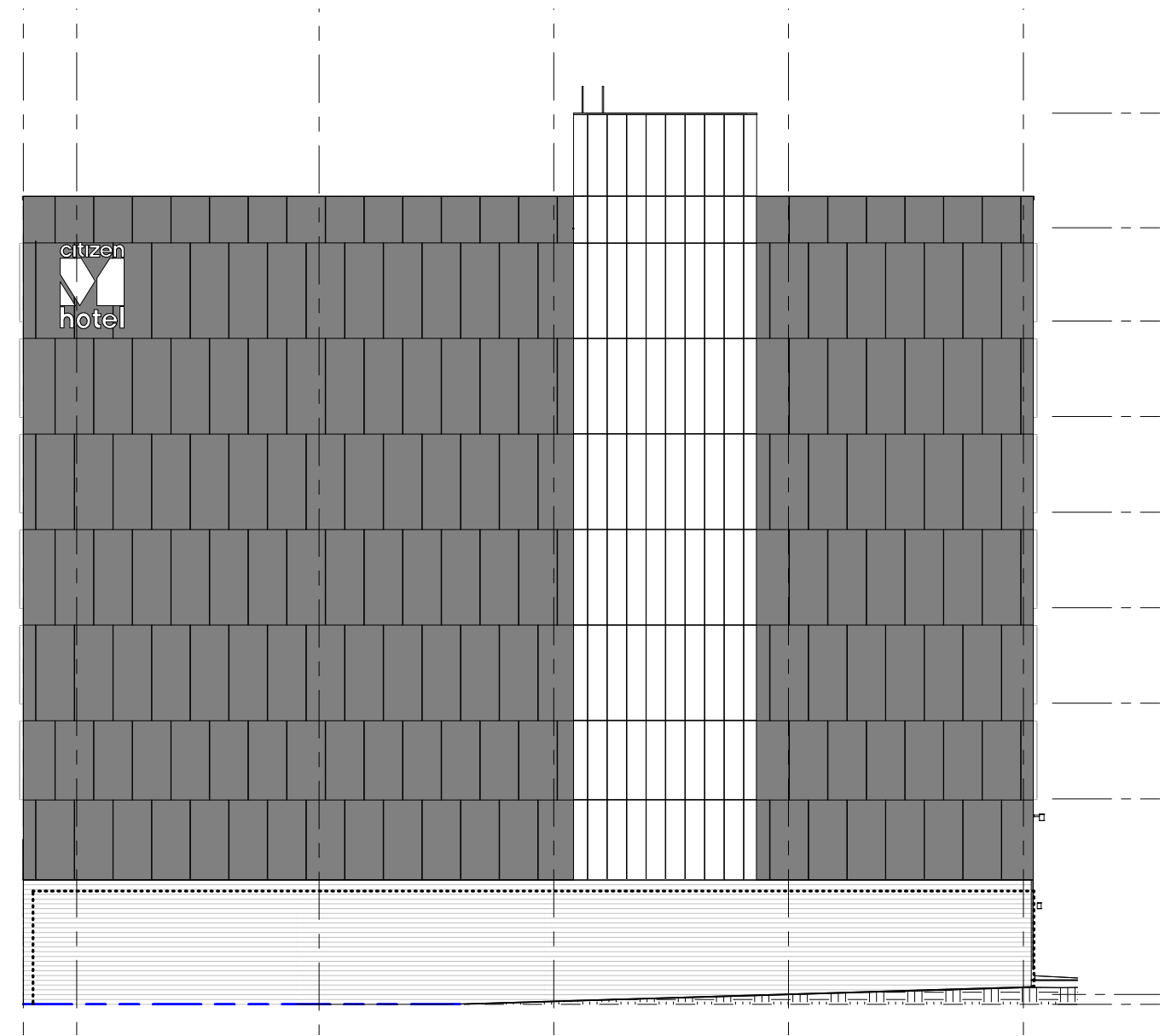
WESTLAKE AVE ELEVATION

7.1
DESIGN REFINEMENT

Facade Panelization



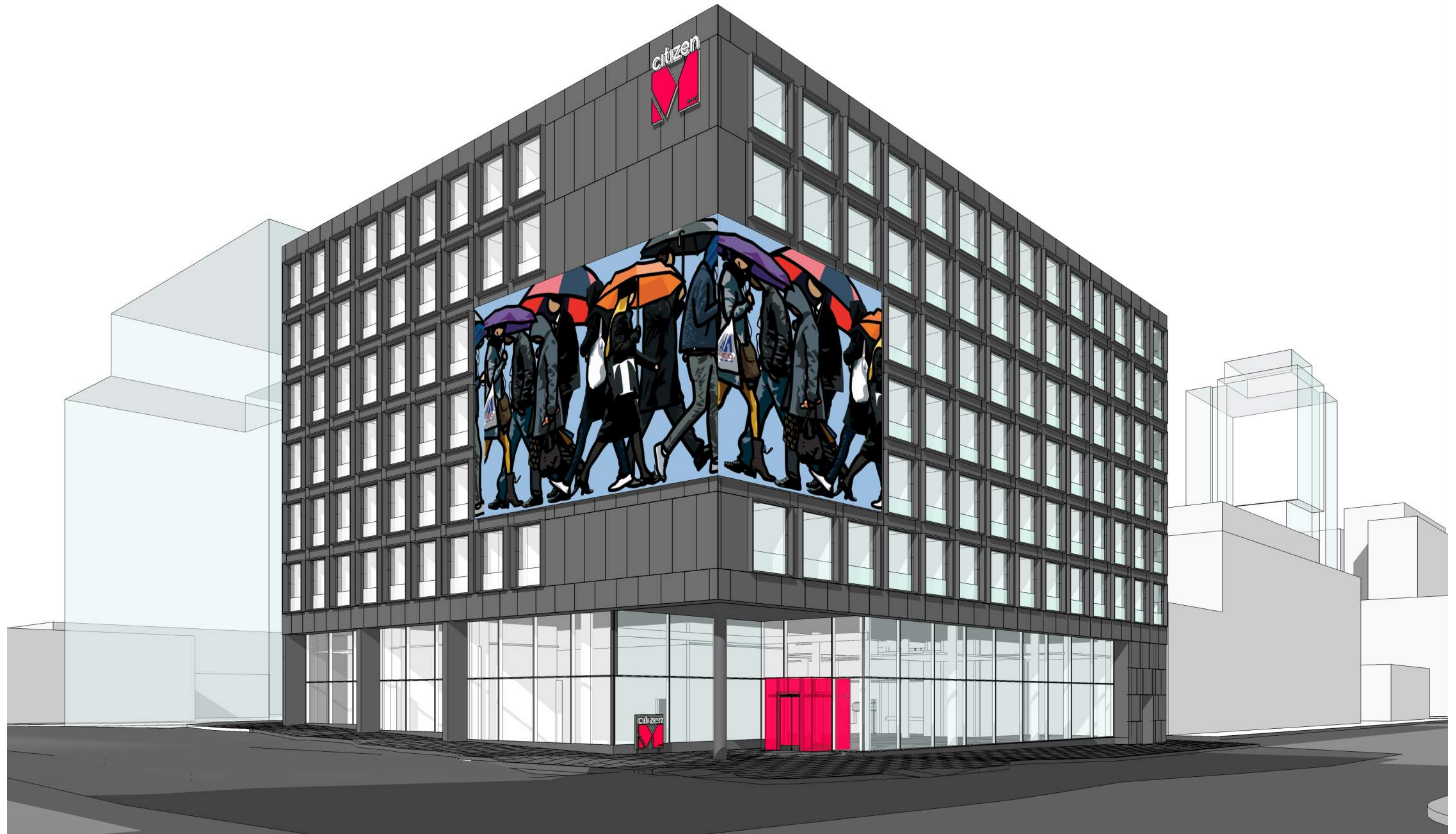
ALLEY ELEVATION



NORTH ELEVATION

7.1
DESIGN REFINEMENT

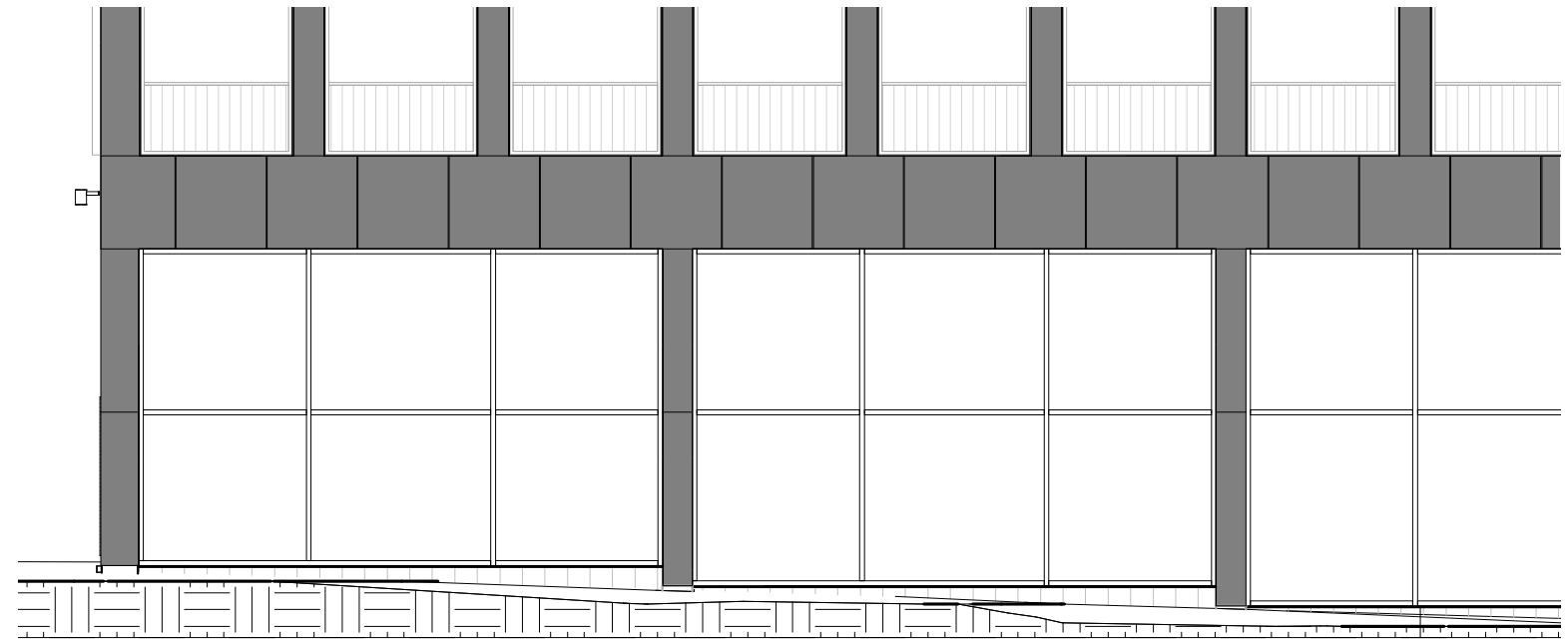
Facade Panelization



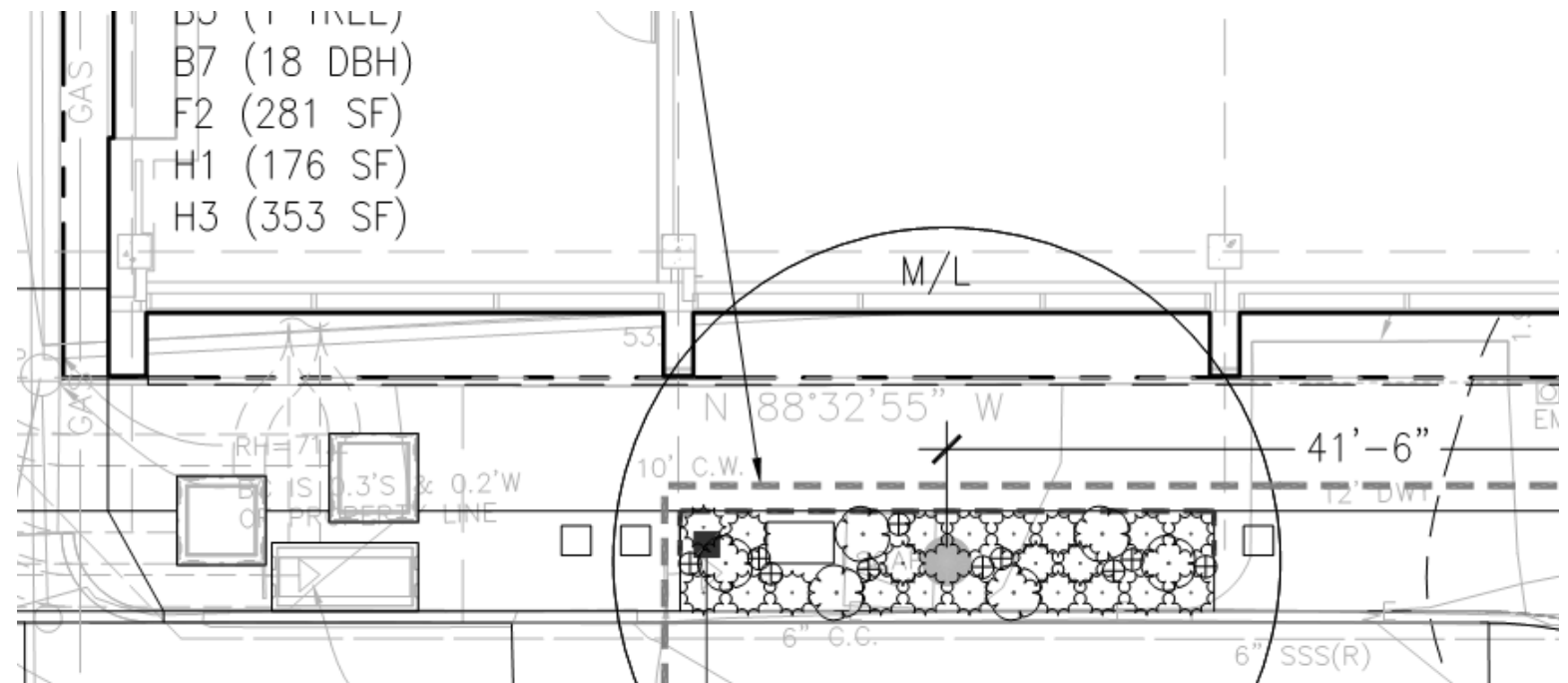
7.2 DESIGN REFINEMENT

John Street Facade

- The planters along the John Street facade have been eliminated. Nearby street planting, courtyard bioretention, and green roof will satisfy the required green factor.



JOHN ST ELEVATION DETAIL



JOHN ST PLAN DETAIL

APPENDIX

Roof Floor Plan

