

7009 GREENWOOD AVE N

Design Review Recommendation Meeting
May 1, 2017
SDCI Project # 3023260

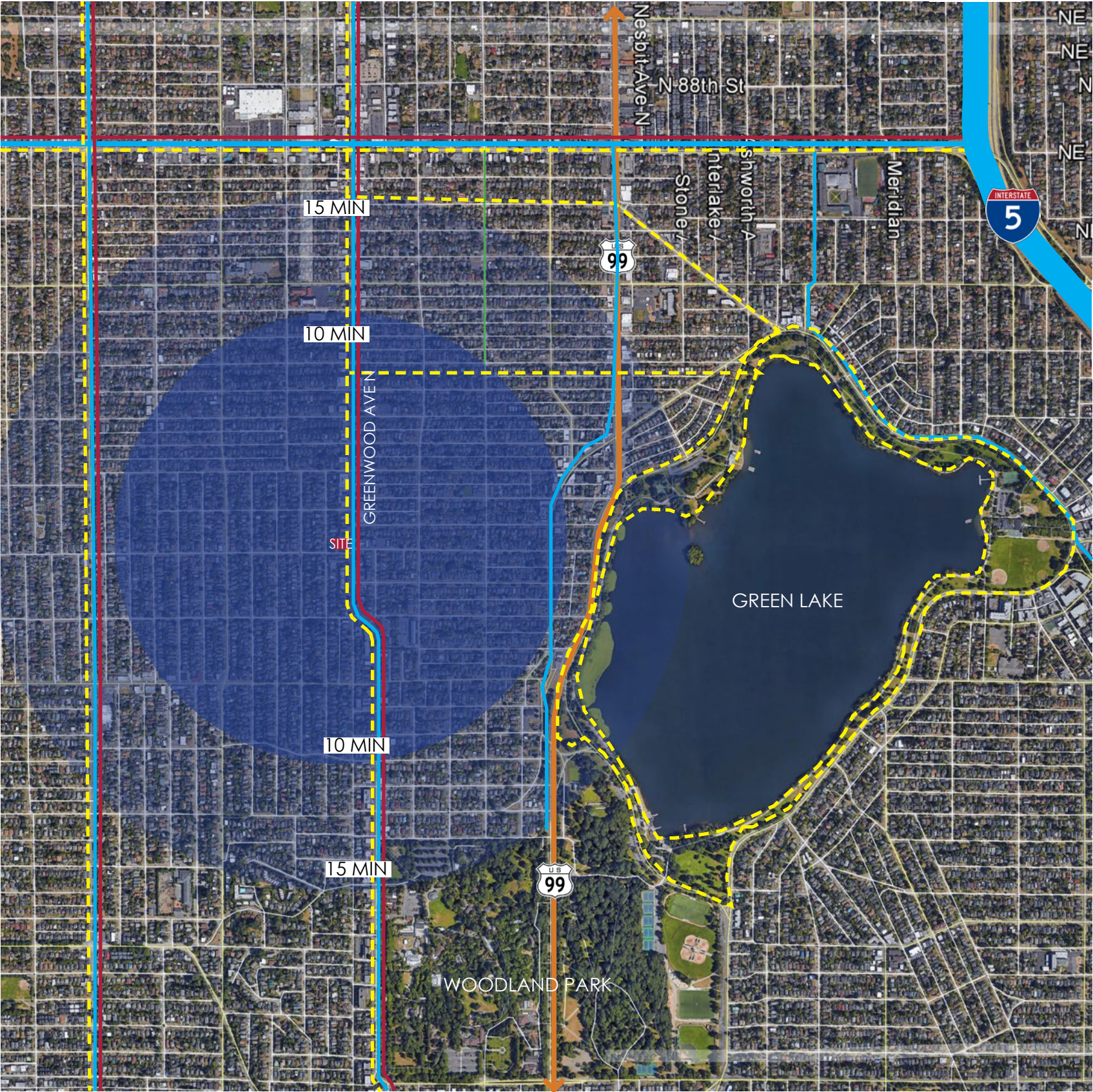
APPLICANT TEAM:
Architect: Johnston Architects PLLC
Landscape Architect: Site Workshop
Developer: 70th and Greenwood Ave LLC

JOHNSTON ARCHITECTS LLC



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 north

LEGEND

SITE

WALKSHED

HIGH SPEED MINOR ARTERIAL

EXISTING BUS LINE

INTERSTATE ROUTE

BICYCLE ROUTE

SITE AREA: 12,188 sf + 2 adjacent single family parcels to west

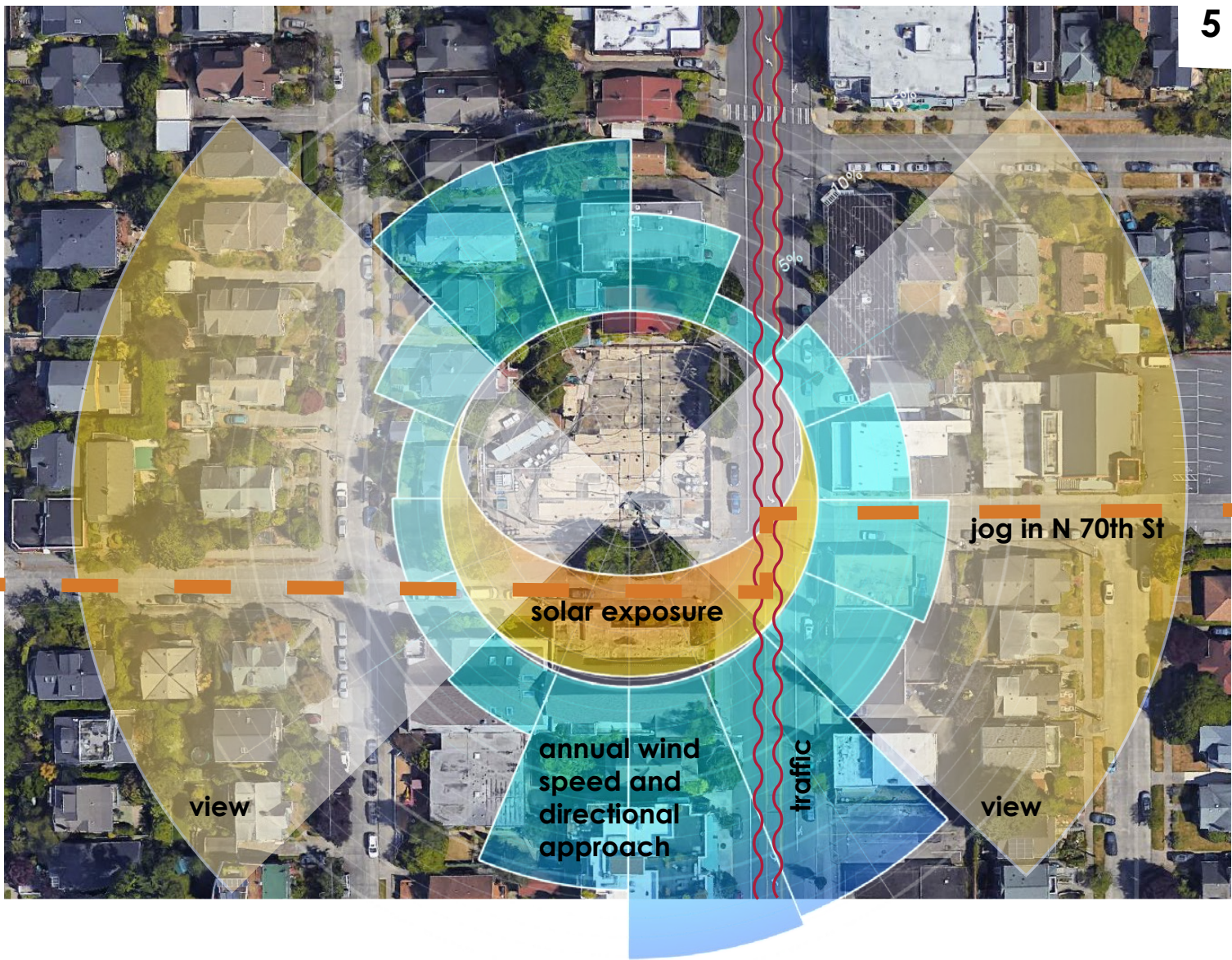
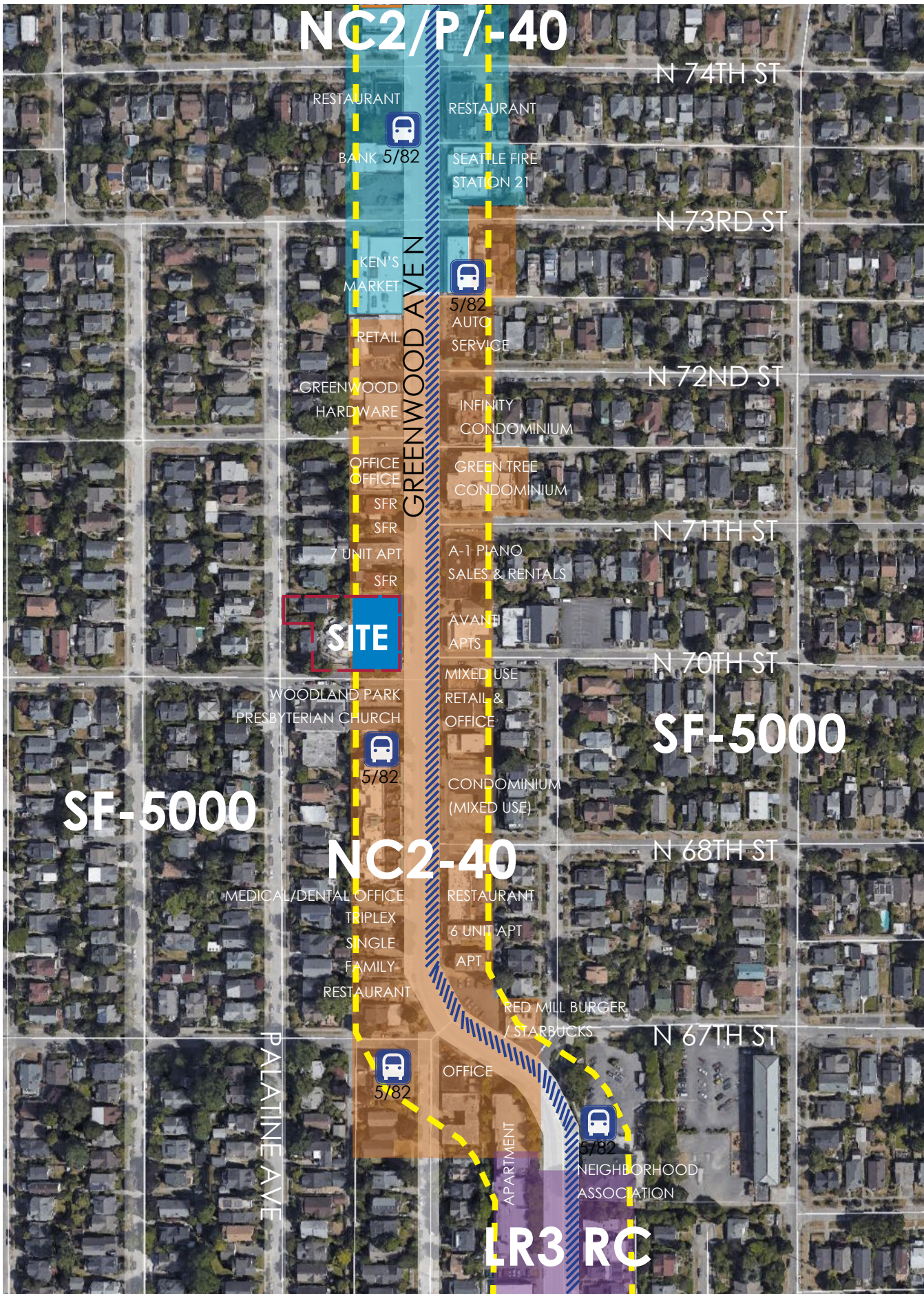
ZONING: existing zoning: NC2-40 (and SF-5000)
PROPOSED REZONE: NC2-65 with contract rezone (and SF-5000)

Greenwood-Phinney Residential Urban Village Overlay
Frequent Transit Overlay

PROJECT DESCRIPTION:
Proposal for a new 5-story mixed-use building with 35 residential units, 5,583 sf of ground floor retail, and occupied roof deck. 26 on-site parking spaces are proposed in a subgrade garage. The project includes a contract rezone from NC2-40 to NC2-65.

SUMMARY OF DEVELOPMENT STANDARDS (after NC2-65 contract rezone)

Height limit	Required: 65' max with allowed penthouse	Proposed: 55' max with allowed penthouse
Parking	Required: No parking required in urban village within 1,320 ft of frequent transit	Proposed: 0.74 spaces per dwelling unit (26 spaces)
FAR	Required: 4.75 max 4.75 × 12,188 = 57,893 sf	Proposed: 48,249 sf (3.95 FAR)
Setbacks	Required: Abutting a side or rear lot of an adjacent residential zone, a 15' setback up to 40' is req'd	Proposed: none (adjoining residential parcels are part of same development site)
Trash	Required: 426 sf with 12' min dimension	Proposed: 426 sf min within building
Amenity Area	Required: 5% of residential GSF 0.25 x 42,796 sf = 2,140 sf	Proposed: 2,200 sf at Level 1 & Level 5
Landscaping	Required: Green Factor of 0.3 or greater	Proposed: Green Factor of 0.3 or greater



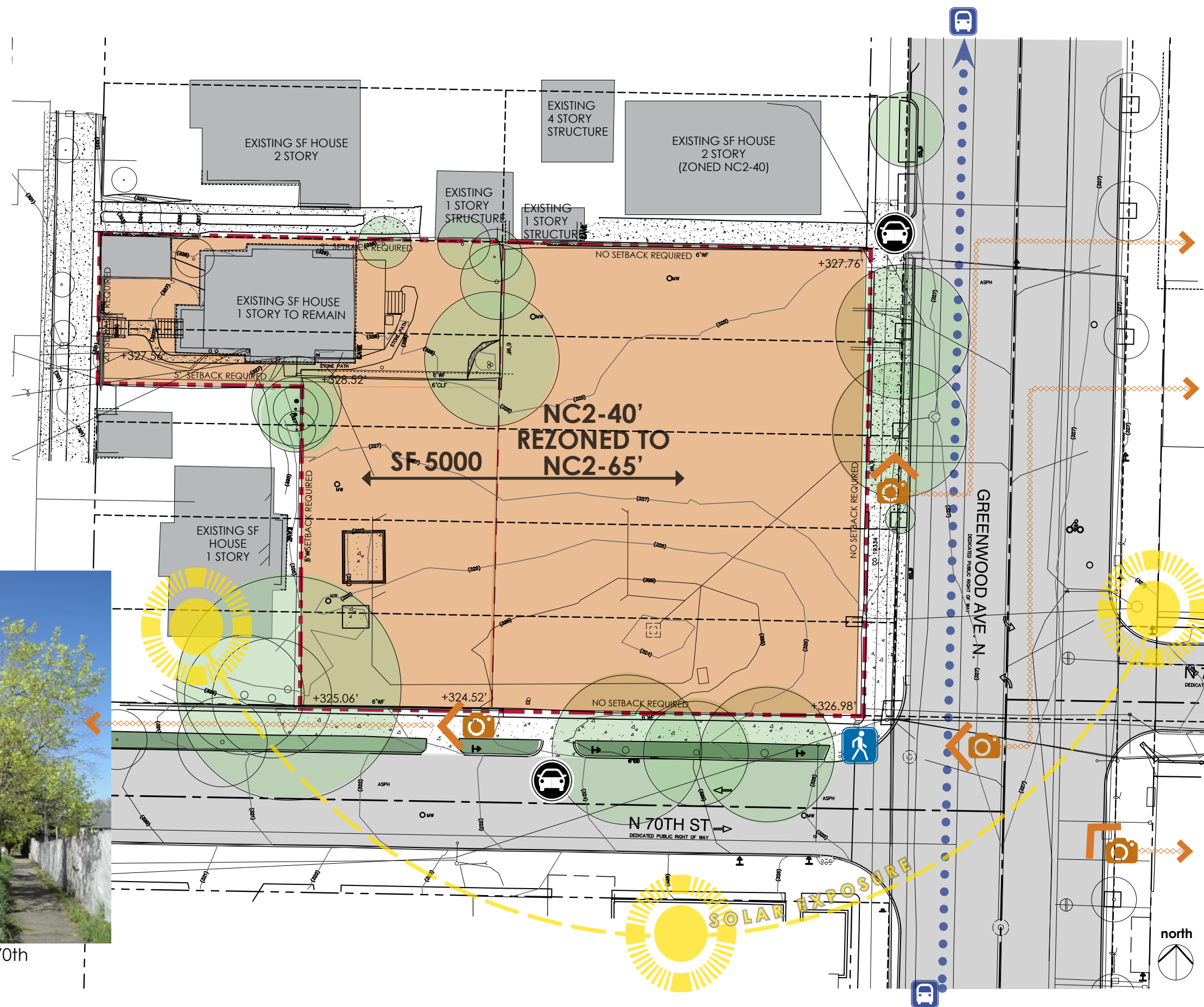
ZONING

- NC2 - 40 (SLATED FOR FUTURE COUNCIL REZONE TO HALA NC2 - 55)
- NC2 - 65 (REZONE FROM CURRENT NC2 - 40)
- LR3 RC
- NC2/P - 40
- SF-5000
- PHINNY RIDGE / GREENWOOD URBAN VILLAGE ZONE
- FREQUENT TRANSIT CORRIDOR





^ axon of 9-block area surrounding size





Priority Design Guidelines



CONTEXT & SITE

> CS2 A 2: Location in the City and Neighborhood: Architectural Presence

Design to the appropriate sense of presence/visibility within the existing context

Response: Due to street jog in 70th, this corner site is an important marker along Greenwood Ave N. The building mass holds the streetwalls, creating a strong corner

> CS2 B 2: Urban Pattern & Form: Connection to the Street

Identify opportunities for the project to make a strong connection to the street/public realm

Response: The proposed project provides diverse retail along both frontages with two large openings to publicly accessible courtyard space with additional retail and outdoor seating.

> CS2 D 1: Height, Bulk, & Scale: Existing Development and Zoning

Determine an appropriate complement or transition to existing and anticipated future development

Response: Modulation, material changes, and strategic setbacks provide a transition to existing neighboring uses, while the overall massing anticipates the area's future HALA upzone

> Greenwood/Phinney CS2-II: Height, Bulk, & Scale Compatibility

Consider the setback of upper stories along Greenwood Ave. New commercial development should respect the small-scale historic pattern of storefronts

Response: Material change at the upper floor and historic pattern of punched-opening storefronts at the ground floor within a masonry structure is proposed



PUBLIC LIFE

> PL1 A 2: Network of Open Spaces: Adding to Public Life

Seek opportunities to foster human interaction through size/quality of space available for the public

Response: Ground-floor courtyard and flanking retail encourage public life within the site

> Greenwood/Phinney PL1-I: Pedestrian Open Spaces

Small, useable open spaces are an important design objective with storefronts facing the open space

Response: Ground-floor courtyard and ample flanking retail encourages pedestrian activity



DESIGN CONCEPT

> Greenwood/Phinney DC1-I-i: Blank Walls: Storefronts

Storefronts are encouraged to be at the sidewalk edge

Response: Storefronts are proposed in a continuous rhythm and hold the sidewalk edge

> DC2 A 2: Reducing Perceived Mass

Use secondary architectural elements to reduce the perceived mass of larger projects

Response: vertical modulation and material changes are proposed to break down scale and create visual depth and interest

PRIORITIES AND BOARD RECOMMENDATIONS: PROJECT RESPONSE



ARCHITECTURAL CONCEPT

BOARD COMMENTS: the Board wanted the 6-story building massing presented at EDG to be further developed to provide a transition to adjacent zoning. A strong streetwall at ground level along Greenwood and 70th should be maintained, but the upper floors should be further developed to be responsive to the massing context. Provide thoughtful transitions to the adjacent single family to the west and north through site design revisions, privacy studies, and/or study upper level massing to provide meaningful transitions. Demonstrate how the architecture responds to the street jog in 70th. Provide perspectives from each building corner.

Design Response: one story has been removed from the project from the EDG proposal. Two adjacent single-family parcels to the west have been acquired by the owner and are part of the current development proposal, providing further opportunity for screening and transition. Upper floors have been modulated on all facades and the 5th floor is differentiated from the building base below to reduce perceived height. Perspectives and response diagrams have been provided to illustrate appropriate transitions to neighbors and site context.



COMMERCIAL CORRIDOR

BOARD COMMENTS: the Board noted that the open retail courtyard was integral to the success of the project. The Board wanted more information, including programming of the space, entry sequence, materials, lighting, and signage. The Board wanted to see the street-facing facades further developed along Greenwood. The Board also requested to see how right of way improvements and entry to the courtyard enhances the existing neighborhood character.

Design Response: the retail courtyard has been maintained from EDG and more information is provided on the flanking uses and pedestrian experience. To wrap the retail experience into the courtyard, the paving treatment, storefront system and facade material from the streetfront facades continues in the courtyard. A signage and lighting plan is provided to demonstrate ground-level wayfinding and the streetscape experience has been studied in greater detail.



PARK/OPEN SPACE

BOARD COMMENTS: the Board expressed concerns about the adjacent park space proposed at EDG and wanted to see the space further developed, including how the open space will be perceived and accessed from Greenwood, the pedestrian experience along the 70th St sidewalk, how a transition to adjacent single family uses would be made, and treatment of blank walls.

Design Response: the adjacent park space presented at EDG has been removed--the property will be maintained as a open lot (with possible Detached Accessory Dwelling Unit in the future) to aid in the transition to adjacent parcels. A landscape design for this parcel is provided and will serve as a buffer and transition zone between the proposed mixed-use project and adjacent single family to the west until a single family residence is built in the future.



ARCHITECTURAL CONTEXT AND MATERIALS

BOARD COMMENTS: the Board would like more information about how the design parti and material application will reduce the scale of the building. Durable, high-quality materials should be used

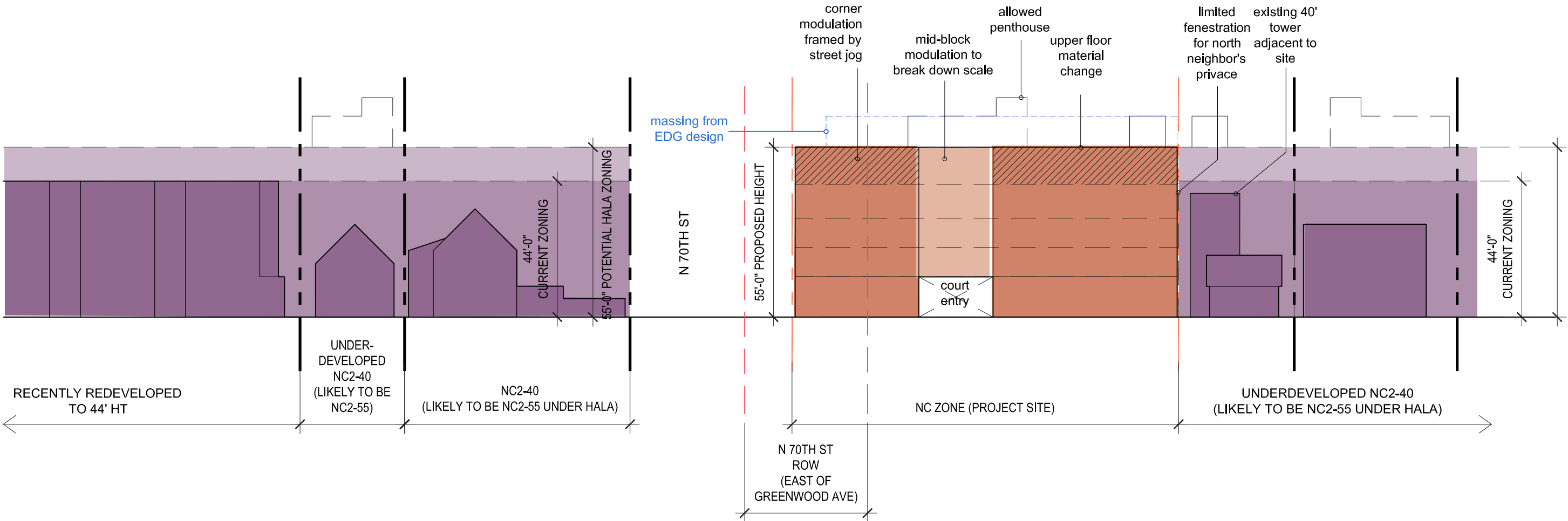
Design Response: Building upon the massing response above, material changes will highlight areas of setback and modulation. High-quality brick and durable painted cement board panelized siding is proposed.

direction: the Board suggested that the “building massing should be further developed to provide thoughtful transitions between the proposed building and adjacent building and zoning context.” The Board requested to “maintain a strong street wall at ground level along Greenwood Ave N and N 70th St and develop upper level massing to respond to future massing context along each street.” The Board encouraged the design team to explore scale and proportion, review a possible 2-story setback, consider strategic erosion, modulation, fenestration, and material application to develop an appropriate massing response.

response: the scale and proportion of future building context (through the lens of the pending 55' HALA upzone) has been studied. This informed a decision to remove the upper (6th level) floor from EDG for a reduced building height of 5 stories to better align with anticipated future zoning. In response to EDG feedback, the top floor has been differentiated from the building base with a material change, providing a vertical break to reduce perceived building height. Strategic modulation is proposed along each frontage to reduce perceived mass: each facade features a vertical setback/break to divide the building into three distinct zones from each vantage point. Additionally, the west end of the south (70th St) facade sets back the upper floor at the west end to provide a scale transition towards the less-intensive single family use.



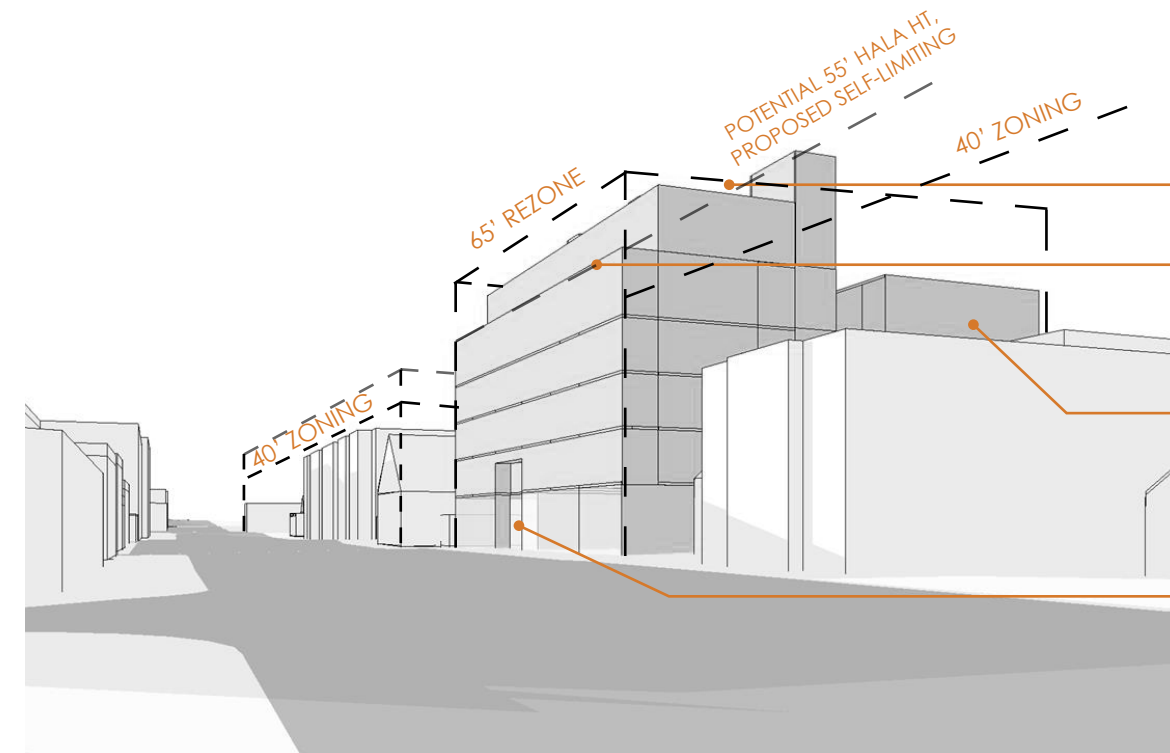
^ looking NW to project from intersection of Greenwood Ave N and N 70th St, showing mid-block modulation at each frontage



CURRENT DESIGN: elevation from east (greenwood ave n)

ELEVATION FROM EAST (GREENWOOD AVE N)

APPROVED DESIGN FROM EDG

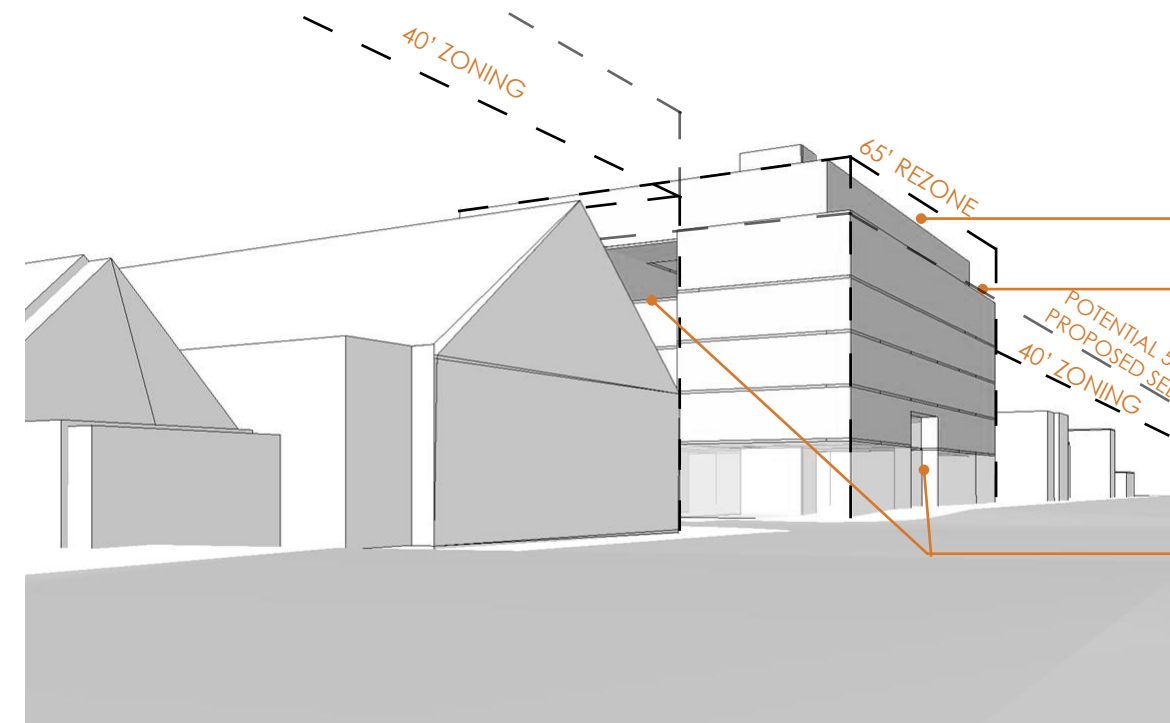


^ bird's eye from NE

CURRENT PROPOSED DESIGN



bird's eye from NE ^



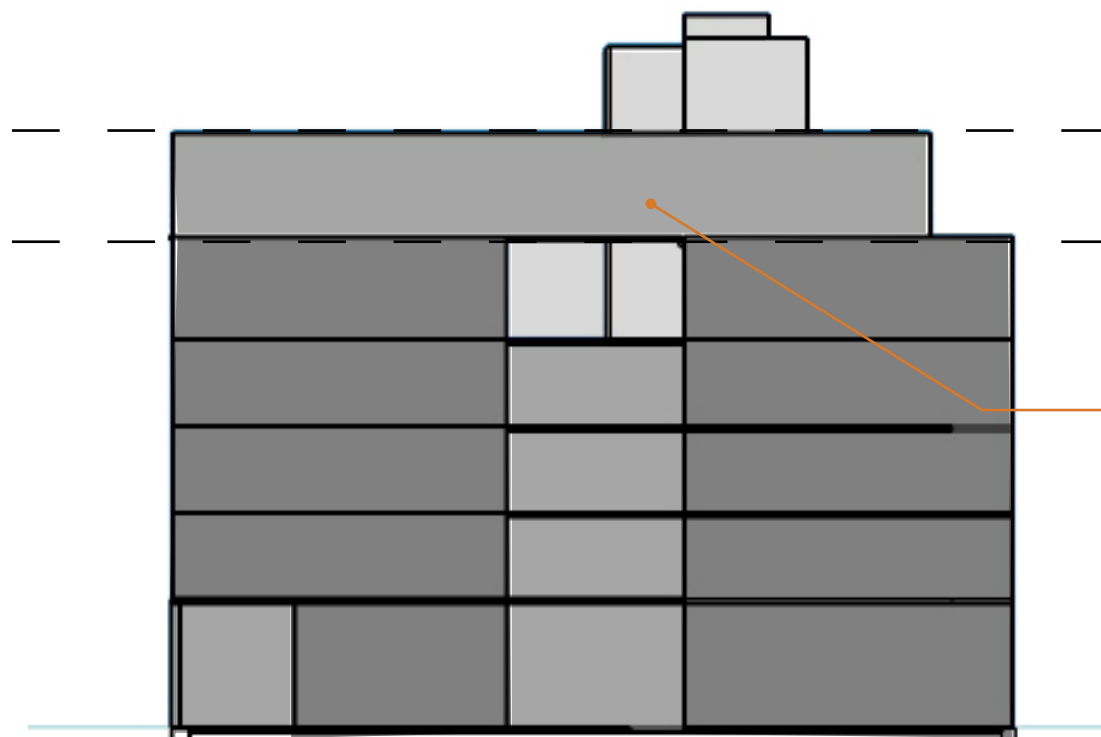
^ bird's eye from SE



bird's eye from SE ^

APPROVED DESIGN FROM EDG

CURRENT PROPOSED DESIGN



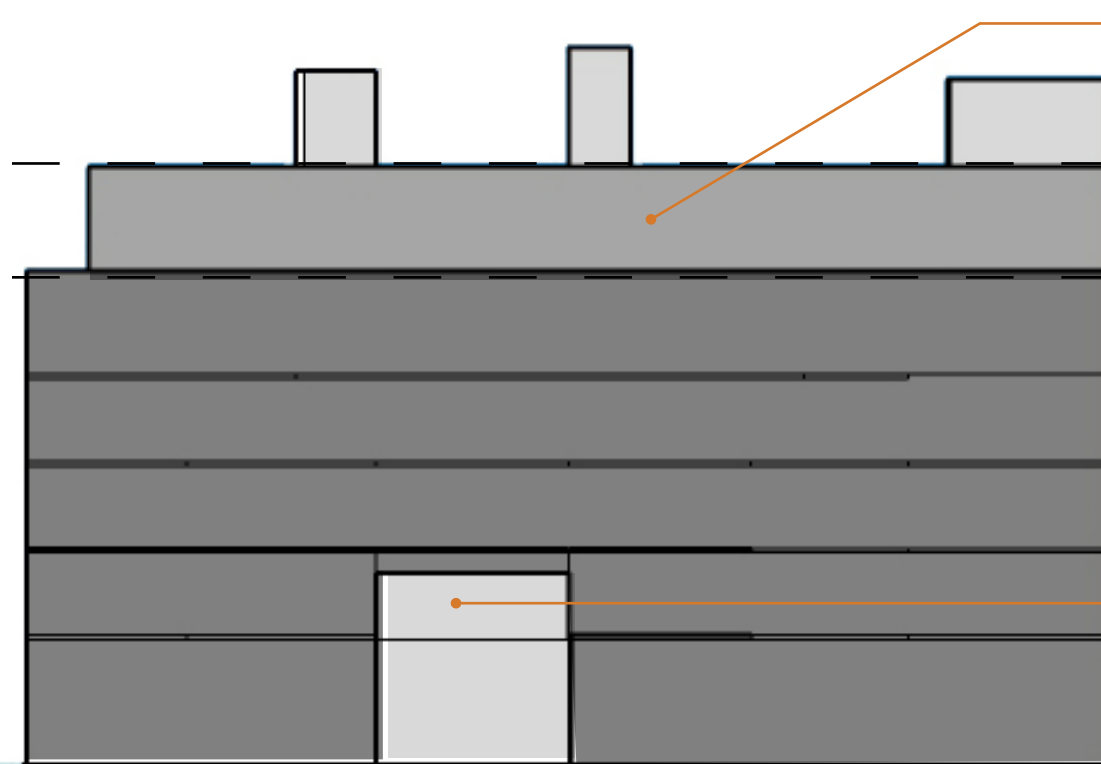
^ south (N 70th St) elevation

65' REZONE
POTENTIAL 55' HALA HT,
PROPOSED SELF-LIMITING

6th floor has been
removed



south (N 70th St) elevation ^



^ east (Greenwood Ave N) elevation

65' REZONE
POTENTIAL 55' HALA HT,
PROPOSED SELF-LIMITING

6th floor has been
removed

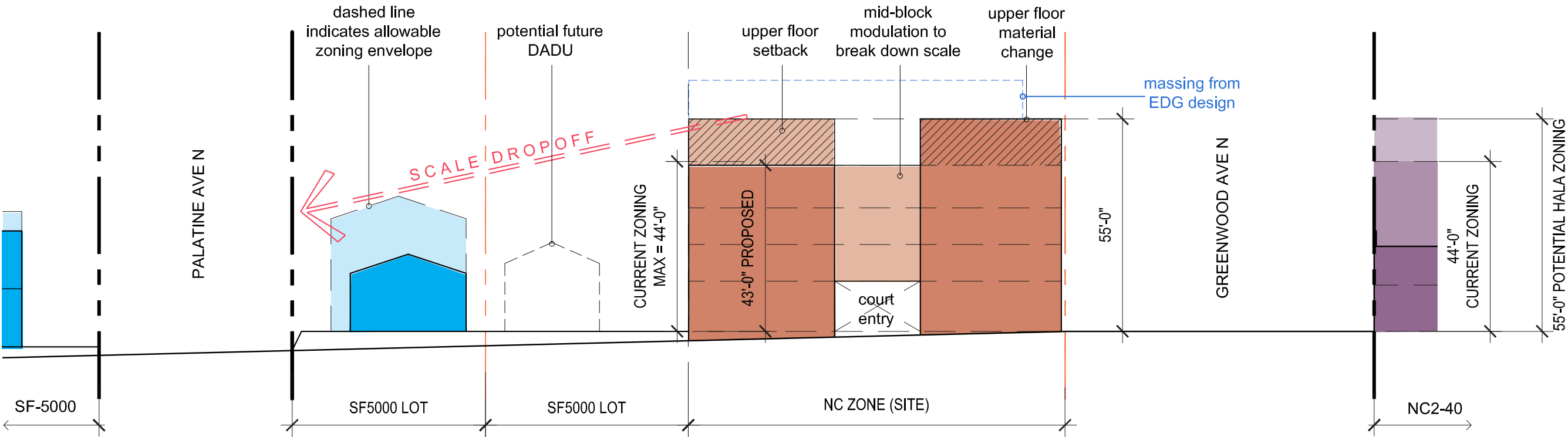
inset modulation
has been extended
the full height of
building



east (Greenwood Ave N) elevation ^



^ looking NE to project from N 70th St with upper floor setback and mid-block modulation



CURRENT DESIGN: elevation from south (n 70th st)

- upper floor setback to provide transition to neighboring single-family parcel
- mid-block modulation to break down scale (divides facade into 3 parts)
- material change at 5th floor to break building up vertically
- previous 6th floor removed from EDG proposal
- mid-block modulation to break down scale (divides facade into 3 parts)
- strong retail streetwall along sidewalk maintained
- future NC2-55 (HALA) zoned mixed-use lot



looking NW to project from Greenwood Ave N & N 70th St intersection ^



^ Proposed Greenwood Ave N street elevation, looking west



^ Proposed N 70th St street elevation, looking north



^ looking S along Greenwood Ave N



^ looking N along Greenwood Ave N

direction: the Board expressed concern regarding “building mass and shadow impacts of the increased height in relationship to the adjacent single family” uses. The Board requested a “thoughtful transition,” including a revised site design that includes the adjacent single family parcels that are part of the development proposal, utilization of landscaping and site design to provide a ground-level transition to adjacent uses

response: the project development site now includes two adjacent single-family parcels that border the entire length of the site to the west. The southwest single family parcel will be landscaped and the northwest single family parcel contains a single-family house that is to remain. The previous pedestrian cut-through from Greenwood Ave N through the interior courtyard to the west single-family parcel has been eliminated to provide more privacy and a buffer between retail and adjacent residential uses. The ground floor courtyard helps break the at-grade expression down to a scale that is on par with the existing fabric of the neighborhood

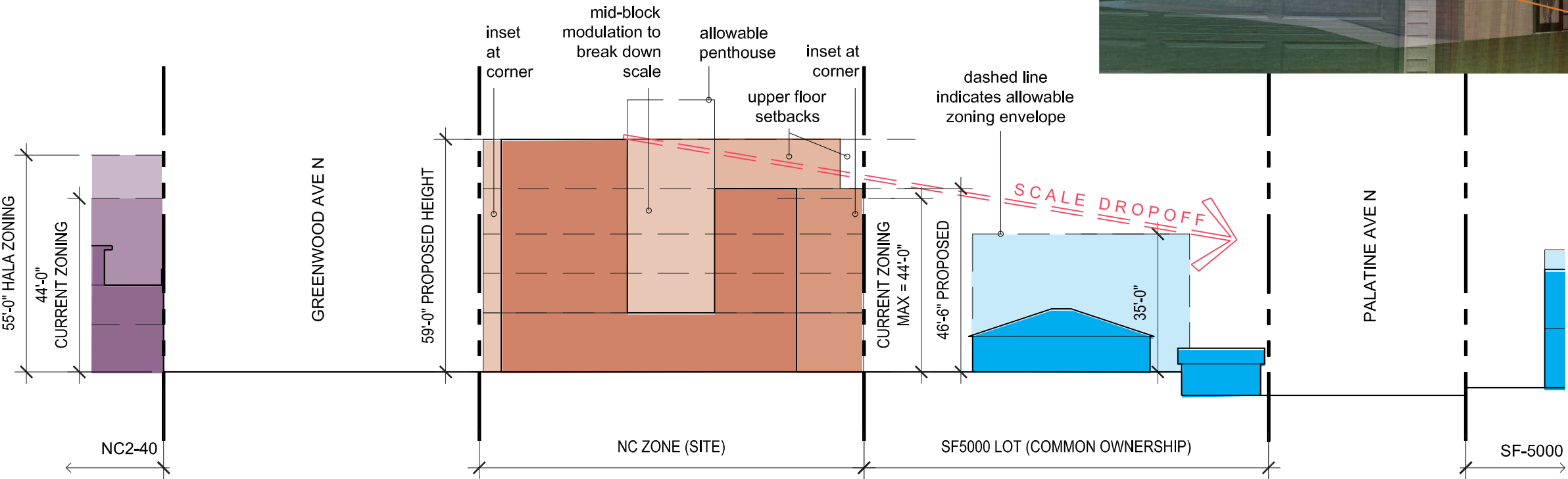


< figure-ground diagram showing proposed development within existing urban fabric

direction: the Board expressed concern regarding “building mass and shadow impacts of the increased height in relationship to the adjacent single family” uses. At the Recommendation Meeting, the Board requested a “thoughtful transition,” including the study of upper level massing to incorporate “meaningful and well-placed transitions” including upper-level setbacks, modulation, architectural detailing, and privacy studies.

response: building mass and shadow impact concerns raised at EDG have been reduced by eliminating the upper 6th floor (the current project proposal is 5 floors). Upper level massing includes setbacks facing west and at the west ends of the north and south facades, with a material change to transition to the less intensive neighboring single-family lots. Both the north and west facades also feature a mid-facade vertical setback/break along the facade to divide the elevations into three smaller parts.

- previous 6th floor has been removed from EDG proposal
- green screen for privacy to adjacent property
- upper floor setback and material change at 5th floor, NW corner
- setback/modulation to break up facade
- color change to reduce massing at northeast
- per neighbor's request, limited fenestration facing north property for privacy
- mid-block setback/modulation to break up facade
- ground floor pedestrian cut-through has been removed from EDG
- 10' wide landscaping buffer proposed on single-family parcels under common ownership



^ looking SE to project from single family lots to the west

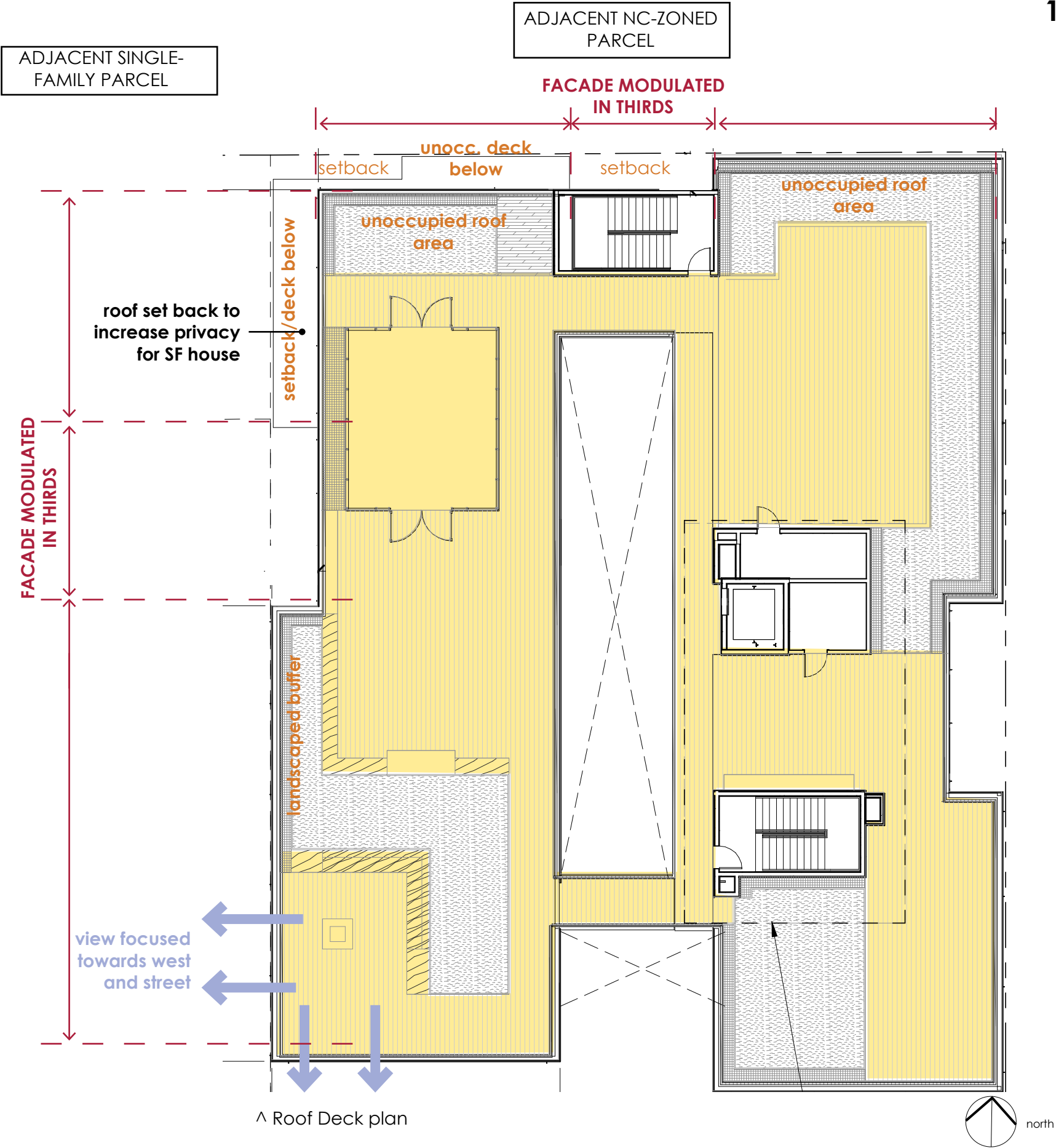
ELEVATION FROM NORTH (BLOCK INTERIOR)

direction: the Board expressed concern regarding “building mass and shadow impacts of the increased height in relationship to the adjacent single family” uses. At the Recommendation Meeting, the Board requested a “thoughtful transition,” including privacy studies to reduce line of sight concerns.

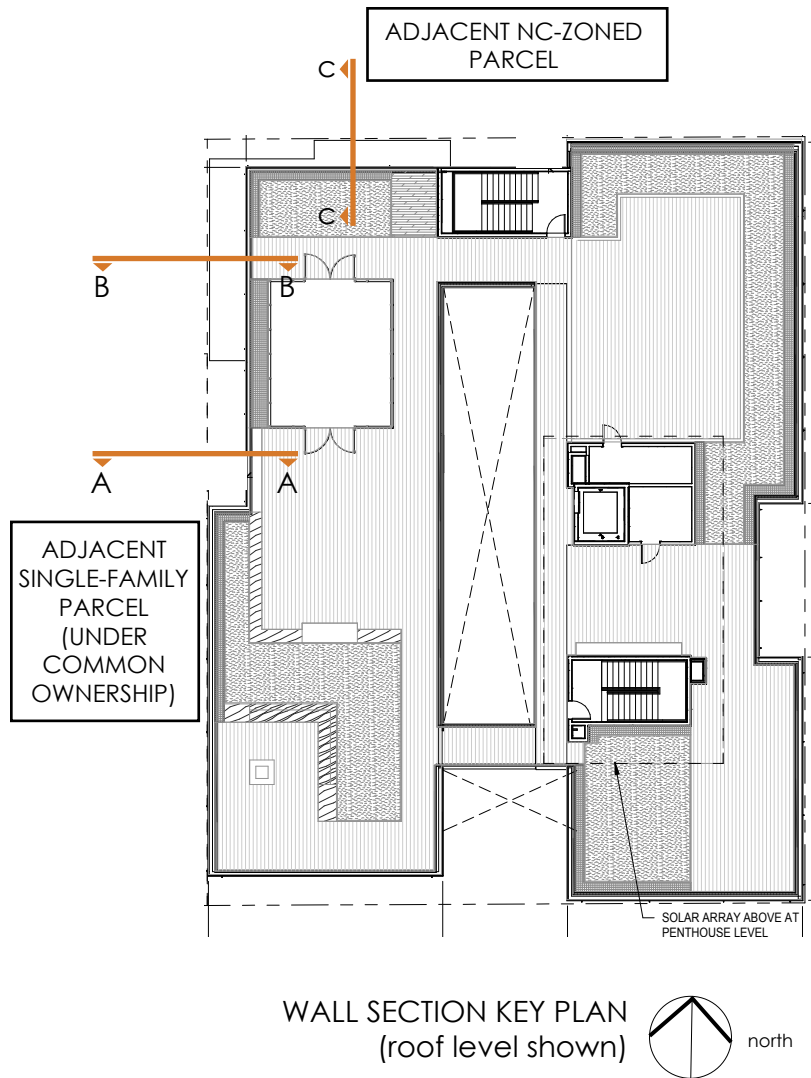
response: to address privacy concerns towards the property to the north, fenestration has been limited facing north and at the roof deck strategically-placed unoccupied green roof bands reduce line of sight concerns of building residents looking down to adjacent properties to the north. Toward the west, the two adjacent parcels are now under common ownership and provide a minimum 55’ wide buffer to adjacent single-family uses not under common ownership.



^ looking SE to project from single family lots to the west

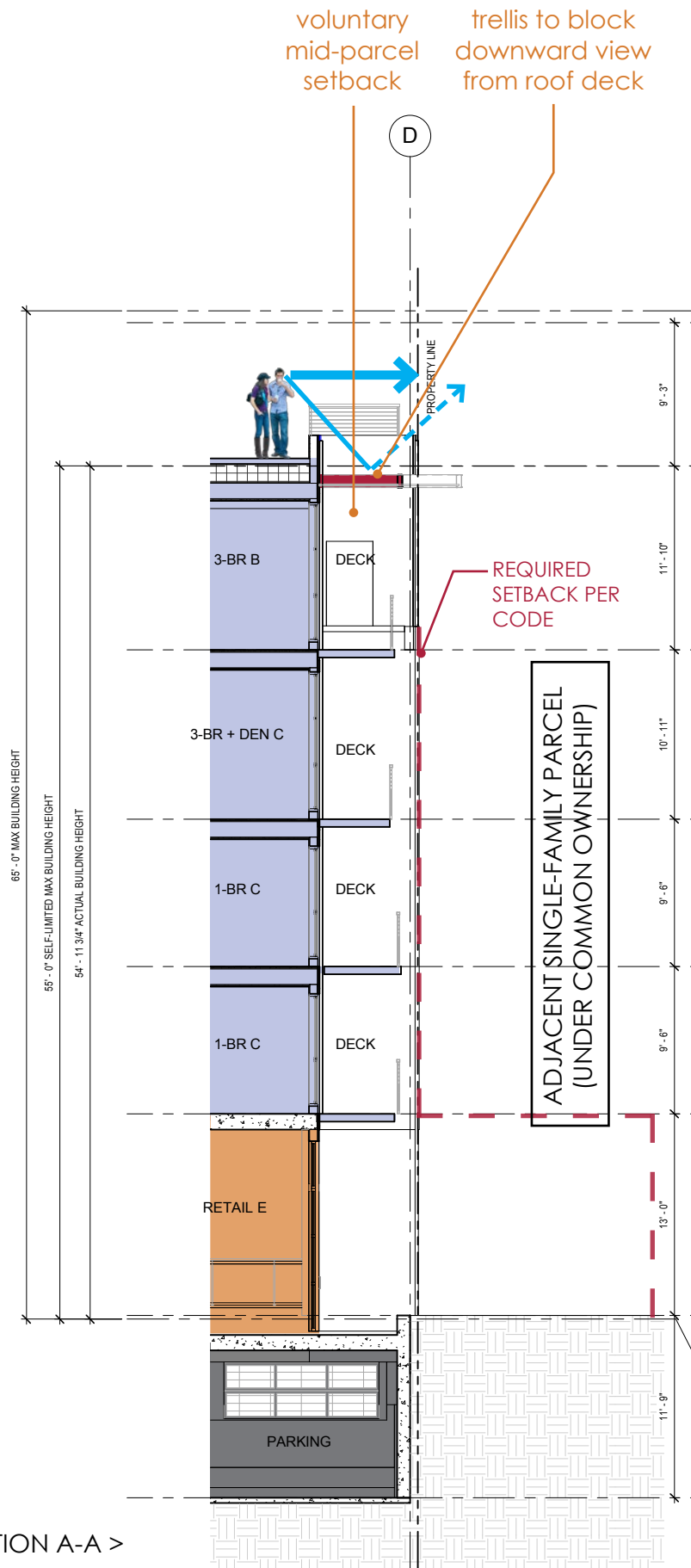


^ Roof Deck plan

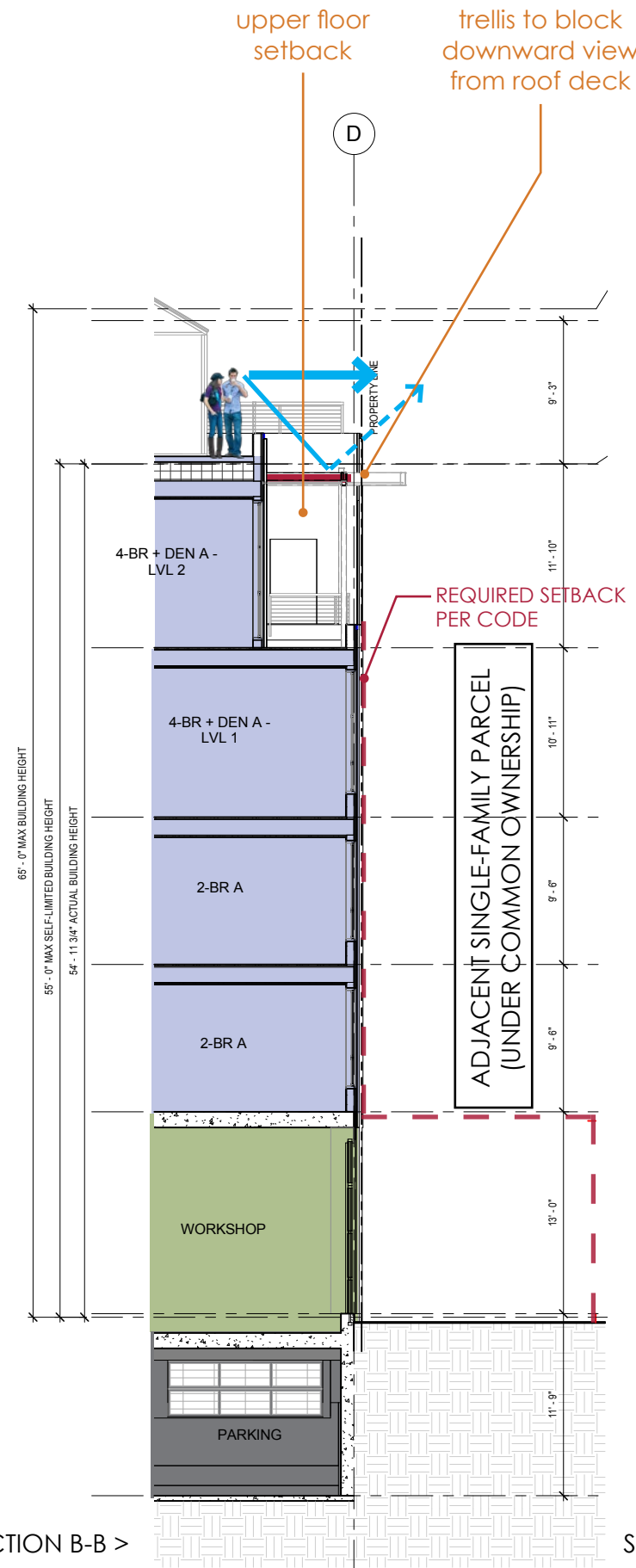


^ looking SE to project from single family lots to the west

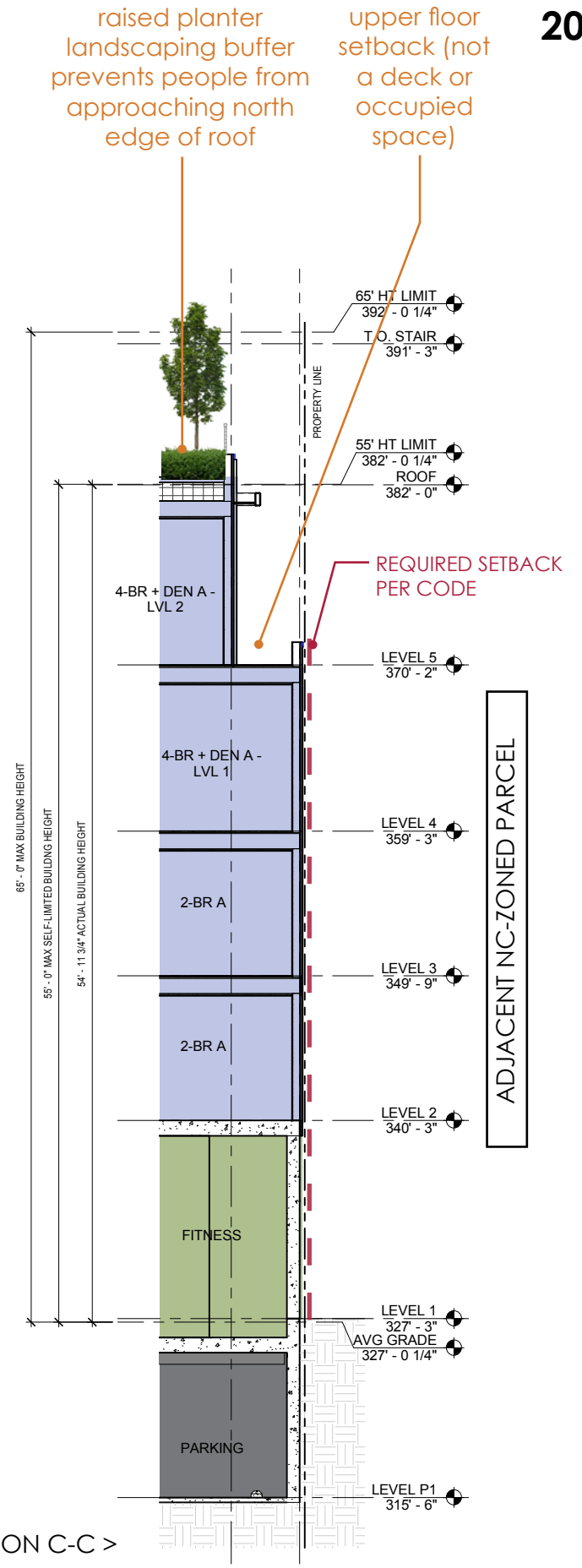
SECTION A-A >



SECTION B-B >



SECTION C-C >





A looking SE to project from single family lot to the nw with trees in winter

- trellis with vegetation for privacy
- hanging vegetation to break down scale of blank facade and create visual interest
- brick wraps corner
- high-quality brick continues along base



B proposed north building elevation

- upper floor setback
- mid-block modulation to break down scale
- outline of proposed building
- location of windows in proposed building does not overlap neighboring buildings' windows
- no fenestration and a recess in building opposite neighbor's windows



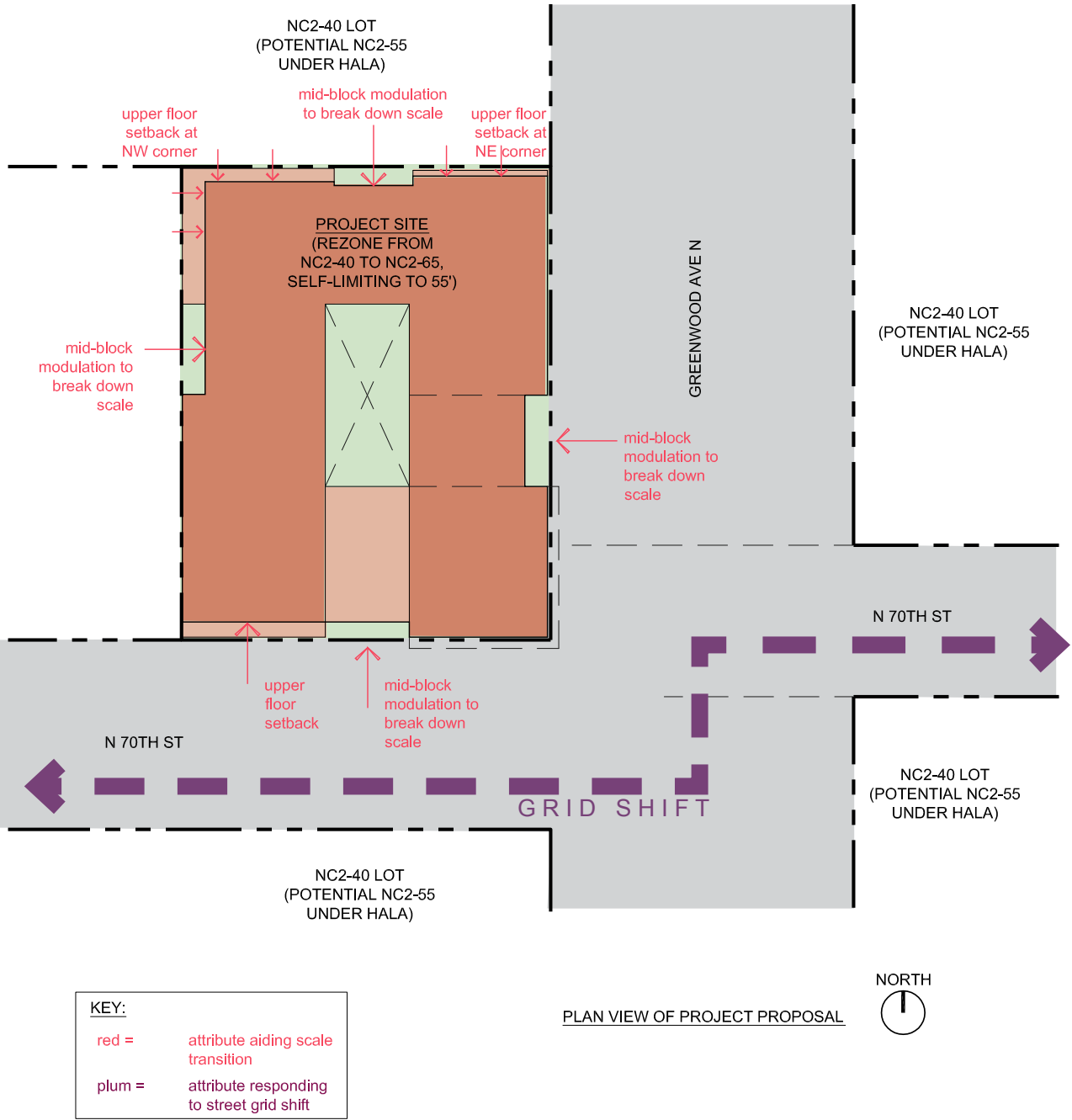
C elevation of home in NC-zone with fenestration of proposed building overlaid, note: no overlap of windows

GREENWOOD AVE N

GREENWOOD AVE N

direction: “the building is positioned at the terminus of N 70th St heading west from Greenwood. The Board would like more detail demonstrating how the architectural concept...responds to the unique jog in the street grid.”

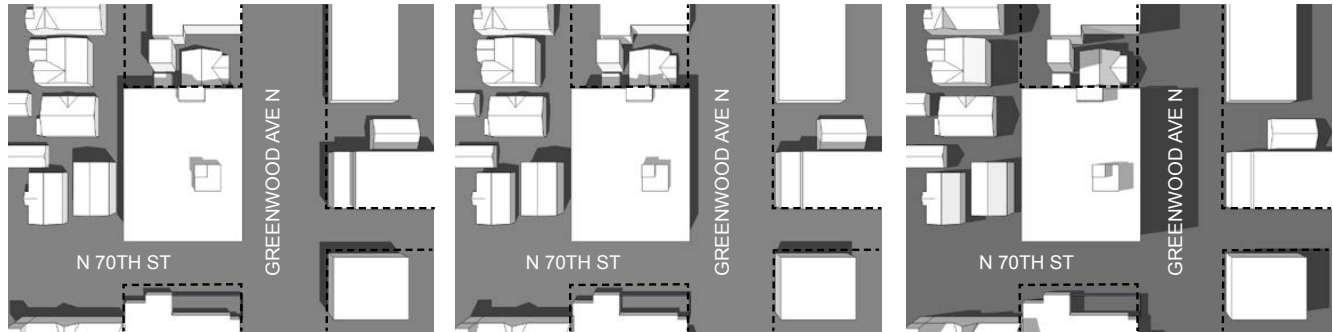
response: the unique street jog is addressed through a strong streetwall facing Greenwood Ave, and building mass pulled to the street to create a strong presence and reinforce this site as an important corner in the neighborhood. The east (Greenwood) elevation is divided into three parts, with the south portion forming a strong corner framed in the westerly view from N 70th St to the east.



^ view of project looking west along N 70th St

direction: “At the Recommendation Meeting, the Board requested additional shadow studies”
showing impact to the single family structures to the north and west

response: a shadow study of impacts to adjacent north and west properties is provided at right. Primary properties impacted are the neighbor to the north (zoned neighborhood commercial and likely to be upzoned to HC2-55 under HALA in the near future) and to the northwest, a single-family lot. At the NW corner, upper floor setbacks are proposed to partially mitigate shadowing to the northwest. The two lots bordering to the site to the west are under common ownership.



SUMMER SOLSTICE | 10A

SUMMER SOLSTICE | 12P

SUMMER SOLSTICE | 3P



SUMMER SOLSTICE | 10A

SUMMER SOLSTICE | 12P

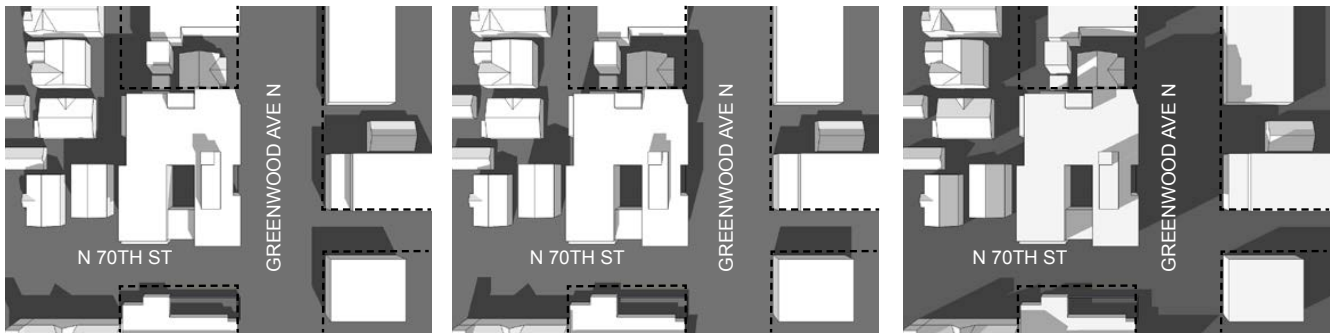
SUMMER SOLSTICE | 3P



EQUINOX | 10A

EQUINOX | 12P

EQUINOX | 3P



EQUINOX | 10A

EQUINOX | 12P

EQUINOX | 3P



WINTER SOLSTICE | 10A

WINTER SOLSTICE | 12P

WINTER SOLSTICE | 3P



WINTER SOLSTICE | 10A

WINTER SOLSTICE | 12P

WINTER SOLSTICE | 3P

CURRENT NC2-40 ZONING SHADOW STUDIES
(showing 44' allowable height)

PROPOSED NC2-65 REZONE SHADOW STUDIES
(showing self-limited 55' height)





view from NW ^



^ view from NE



view from SW ^



^ view from SE

COMMERCIAL CORRIDOR

direction: "The Board noted that the open retail courtyard was integral to the success of the architectural concept." At the Recommendation Meeting, the Board requested more information about programming and the legibility of the space to residential, retail, and public users

response: The open retail courtyard has been retained from EDG and connects Greenwood and 70th to the site interior. The previous courtyard connection to the single-family parcel at the west has been eliminated to maximize privacy to the west and better provide a use intensity transition. The internal courtyard is activated at ground level by flanking retail spaces at a variety of scales. Small "micro retail" is also included to maximize varied uses fronting the space.

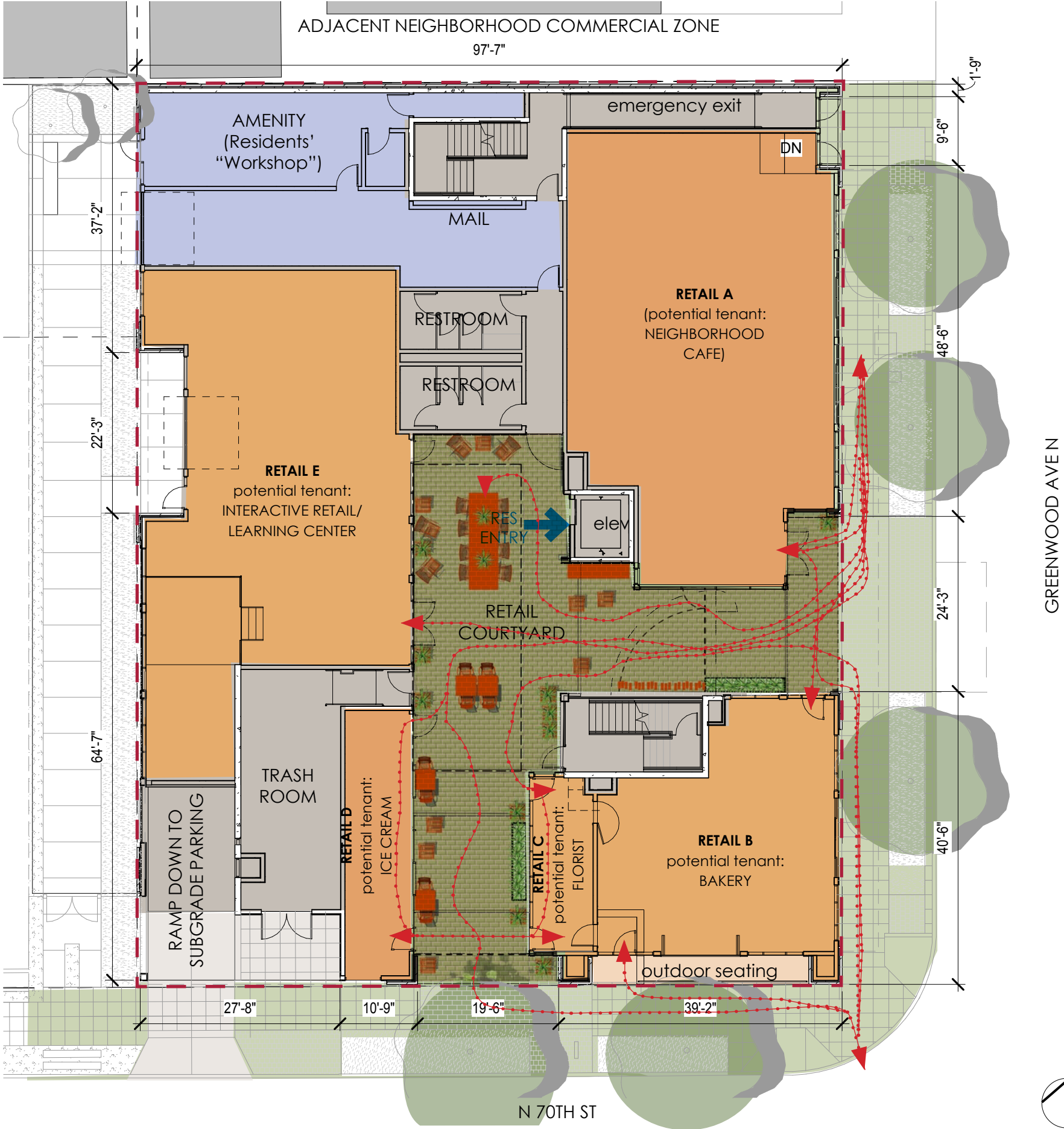
USE KEY:

Retail

Public Access

Residential

Utility/Back of House





Example Space: Chophouse Row



Example of Kinetic Sculpture



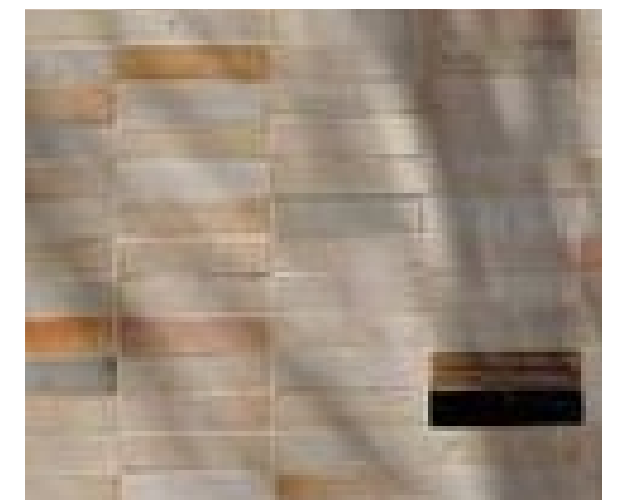
Repurposed and Found Objects



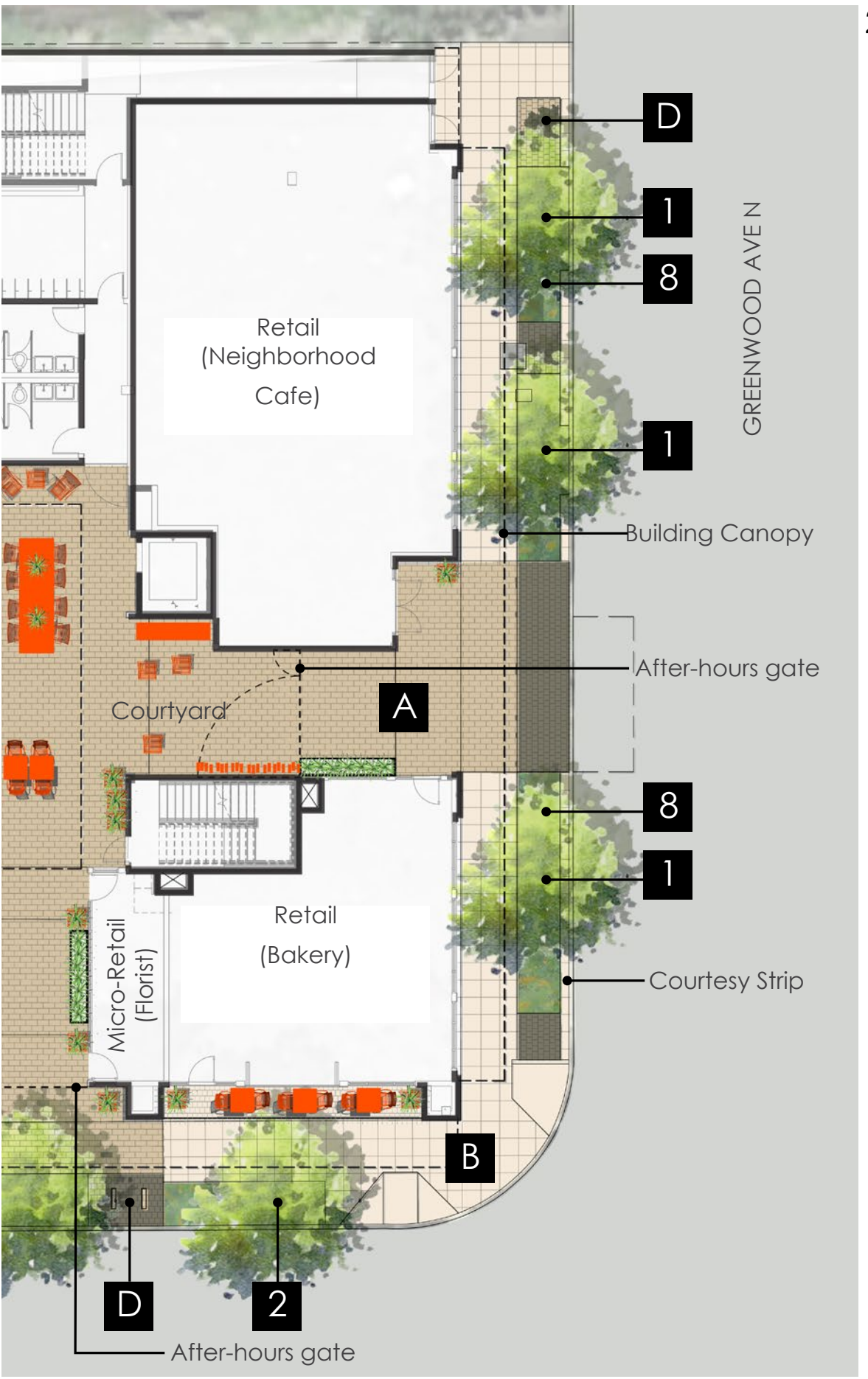
Potted Plants



Retail Displays



Textural Paving







^ view of courtyard entrance
from Greenwood Ave N



entering courtyard from
Greenwood Ave N >



textural paving

^ courtyard interior looking south to N 70th St

view of courtyard entrance from N 70th St >



light stained wood siding & soffit

aluminum-clad wood storefront

painted steel canopy

EXTERIOR SIGNAGE KEY:



^ externally-
or internally-
illuminated
under
canopy signs
personalized
to each
retailer (street-
facing retail)

^ externally-
illuminated
wall-mounted
retail signage
(courtyard interior)

< wall-mounted
wayfinding
signage

■ wall-
mounted
building
address/
name
lettering >

< bracket-
mounted
banner on
blank wall

■ residential
parking
wayfinding
signage >



EXTERIOR LIGHTING KEY:



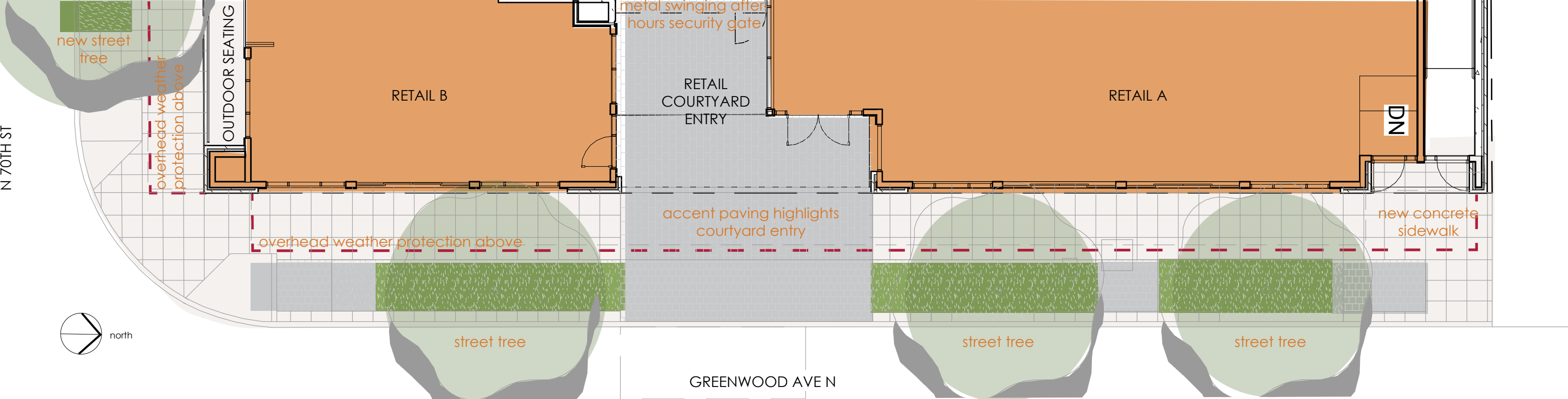
ENTRANCE TYPE KEY:

- MAIN RESIDENTIAL ENTRY
- PARKING ENTRY
- RETAIL ENTRY
- EMERGENCY EXIT ONLY

^ ground floor lighting and signage plan

direction: "The Board agreed that the commercial storefronts along Greenwood Ave N required the same level of design detail as the interior courtyard spaces" and should be developed consistent with the neighborhood-specific guidelines for commercial corridors and storefront design. The Board additionally requested more information on proposed right-of-way improvements and how the design "contributes to and enhances the existing neighborhood character."

response: The ground-level, street-facing facade fronting Greenwood Ave N has been further developed to include ample transparency and a regular human-scale fenestration rhythm reflective of the facade above. The design follows the Greenwood/Phinney Design Guidelines as it is built up to the sidewalk [CS2.I.i.] with a "utilitarian, non-flamboyant, traditional architectural style" consistent with existing character along the Greenwood corridor [CS3.I and CS3.II]. Brick is brought down to the building base and lends texture, durability, historic character, and human scale. Continuous overhead weather protection is provided [PL2.I.i.c], which coupled with the transparency of the ground-floor facade encourages pedestrian activity along the sidewalk. Right of way improvements include new street trees and sidewalk paving, with accent paving highlighting the mid-block courtyard entry. The design guidelines encourage mid-block connections, so the mid-block retail courtyard entry is highlighted in both the building facade design, sidewalk accent paving, and associated gap in street tree grid. Lastly, all vehicle and "back-of-house" spaces are provided away from the Greenwood Ave pedestrian experience.

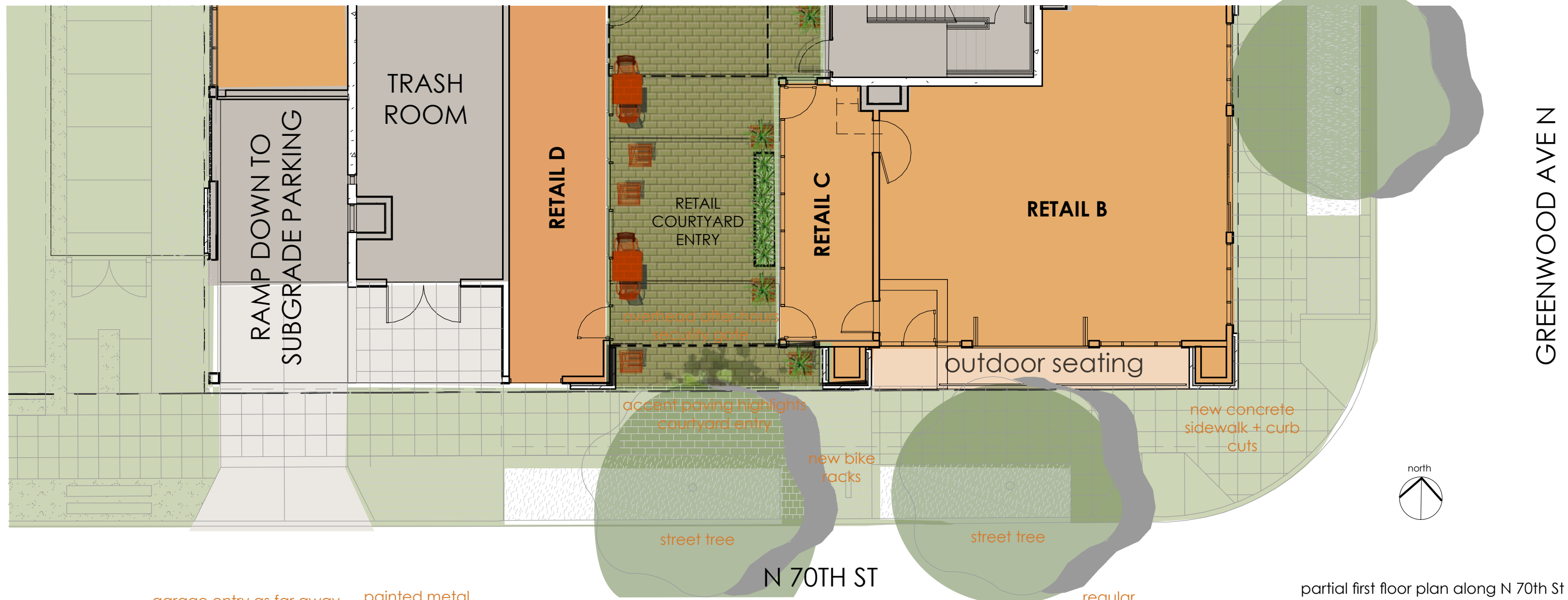


partial first floor plan along Greenwood Ave N ^

- brick brought down to building base
- regular rhythm of human-scale storefront windows
- board-formed concrete base
- recessed entrances
- under-canopy signage
- continuous painted steel w/ light stained wood soffit canopy
- pedestrian-scaled lighting



ground floor storefront elevation along Greenwood Ave N ^



- garage entry as far away from retail as possible for pedestrian safety; aluminum garage door with metal mesh infill
- painting metal trash room door
- gas meters enclosed with perforated metal
- painting steel w/ light stained wood soffit canopy covers all retail frontage
- under-canopy signage
- outdoor seating at prominent corner
- folding glass door
- regular rhythm of human-scale storefront windows
- pedestrian-scaled lighting
- brick comes down to sidewalk



ground floor storefront elevation along Greenwood Ave N ^



^ looking north along
Greenwood Ave sidewalk

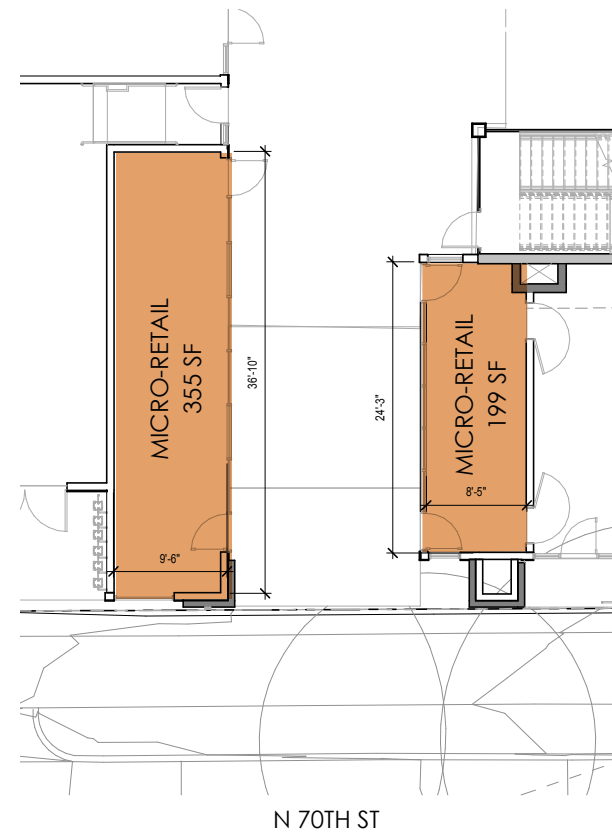


^ looking west down N
70th St sidewalk

MOLLY MOON'S, MADRONA



KURT FARM SHOP, CHOPHOUSE ROW



NICHE, CHOPHOUSE ROW

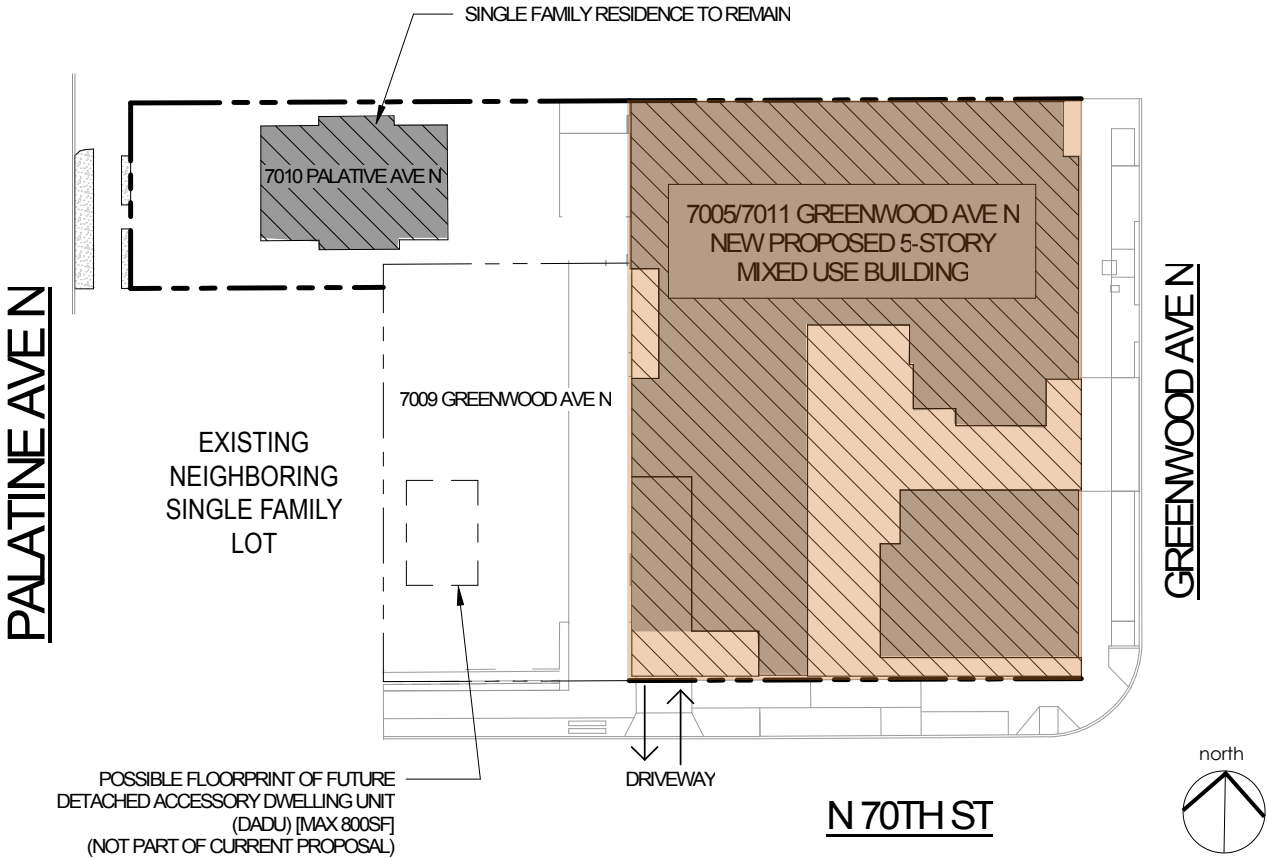
"As small business owners in Seattle, having found a retail space less than 300 SF was not easy to come by. Our shop at the Chophouse Row is roughly 285 SF and meets all our needs to host our dream boutique. It allows us to showcase our goods in a gem-like, modest setting without exceeding our cost to merchandise it, while creating an intimate location where shoppers can interact with us more personally. Having said all of the above, we wish there were more small retail shops in Seattle like ours so that more small business owners could live out their dreams too without having to take larger risks with unrealistic commercial lease agreements. Big is not always better when it comes to independently owned boutiques. Small is the answer to promoting that platform."

^ Nisha Klein, owner



direction: The Board “expressed concerns regarding the programming and detailed design” of the publicly accessible park space presented on the adjacent single-family parcel SW of the mixed-use building. The updated design needs to take safety, grade transitions, and proximity of the subgrade parking entry into consideration, while providing a “considerate transition” to neighboring existing single family uses. Any blank walls need to be “engaging and integrated into the overall design.”

response: After negative community feedback and safety concerns, the previously-presented public park space has been removed from the project. The SW portion of the parcel will be maintained as a landscaped area with a possible DADU to be added at a later date. In the meantime, the parcel will be landscaped, with a 10' wide area adjacent to the mixed-use building held aside as a permanent easement/buffer. The landscape design of the 10' buffer will be directly visible from the 70th sidewalk for safety/security, but will be gated and therefore not publicly accessible



Overall site plan of subject property showing parcel uses ^



Landscape plan showing proposed improvements on the western single-family parcels ^



MATERIALS



A

Unit Paving



B

Concrete Paving



C

Stepping Stones at Planting Strip



D

No-Scratch Bike Racks



E

Fence at SF Lot

TREES



1

Quercus frainetto
Italian Oak



2

Liriodendron tulipifera 'JFS-OZ'
Emerald City Tulip



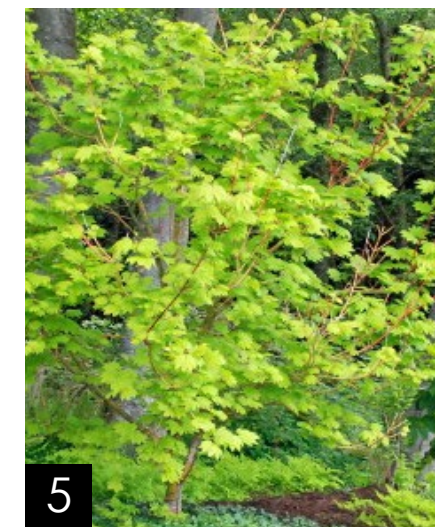
3

Calocedrus decurrens
California Incense Cedar



4

Quercus rubra
Northern Red Oak



5

Acer circinatum
Vine Maple

UNDERSTORY



6

Salvia spp.
Sage



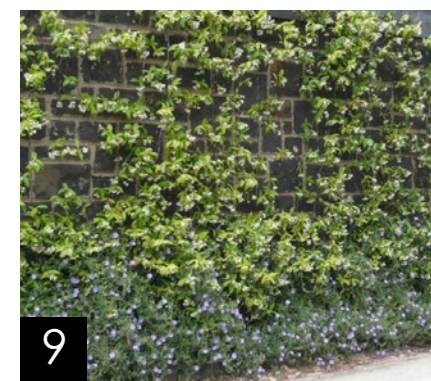
7

Molinia caerulea
Purple Moor Grass



8

Lonicera pileata
Box-leaf Honeysuckle



9

Trachelospermum jasminoides
Star Jasmine (on wall trellis)



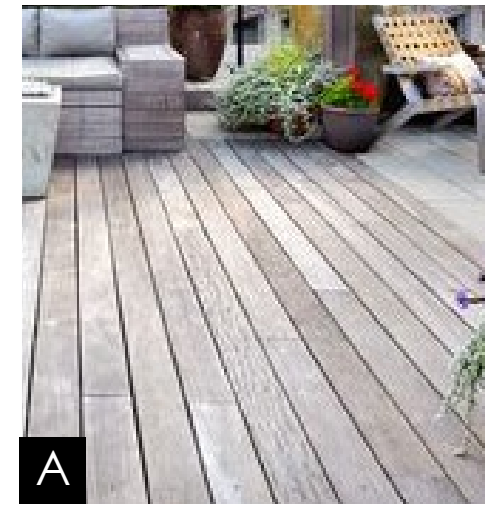
^ WEST ELEVATION



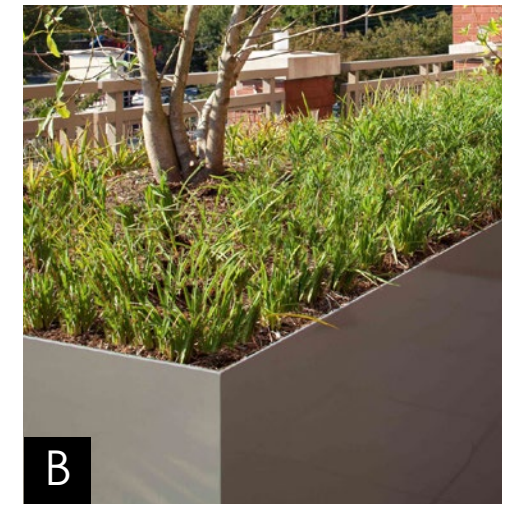
^ SOUTH (N 70th ST) ELEVATION



MATERIALS



A
Pedestal Paving



B
Raised Planters

PLANTS



Sesleria autumnalis
Autumn Moor Grass



Lavandula angustifolia 'Munstead'.
English Lavender



Polystichum munitum
Western Sword Fern



Asarum caudatum
Wild Ginger

residential
"workshop"
amenity space
(beyond)

previous public walk-
through from retail
courtyard has been
removed for privacy,
safety, and security
(beyond)

planted green
walls break up
"blank facade"
of parking ramp

driveway width
minimized
(one-way
traffic only)

gas meters
enclosed with
perforated
metal

retail
courtyard
entry

retail spaces
concentrated
towards the east
(held away from
single family zone)



N 70th St, looking towards SW corner and lanscape buffer ^

direction: The Board noted that the “proposed building is located within a neighborhood with strong residential character” and requested more information showing “how the design parti and material application will reduce the scale of the building” and “utilize durable, high quality materials”

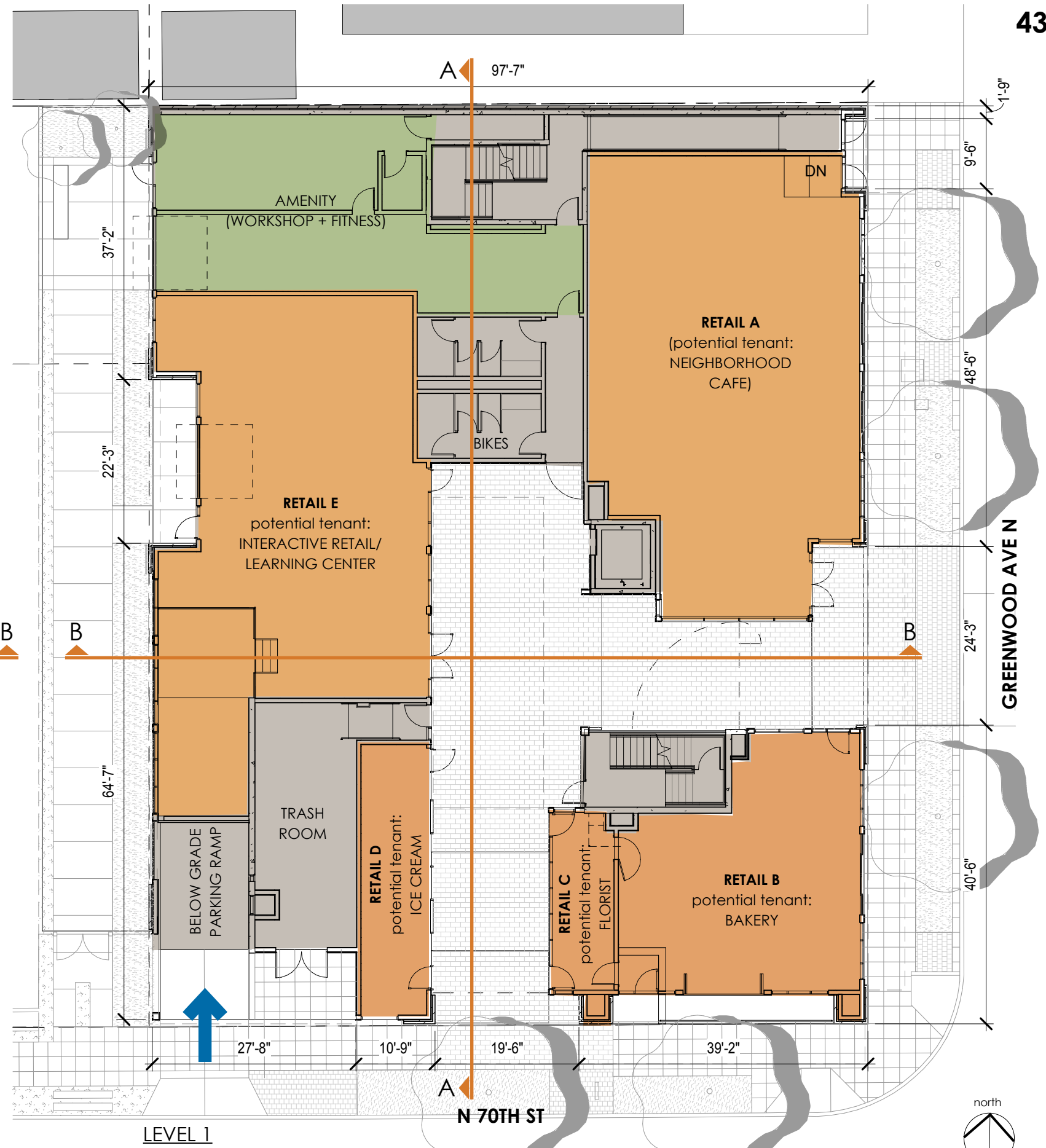
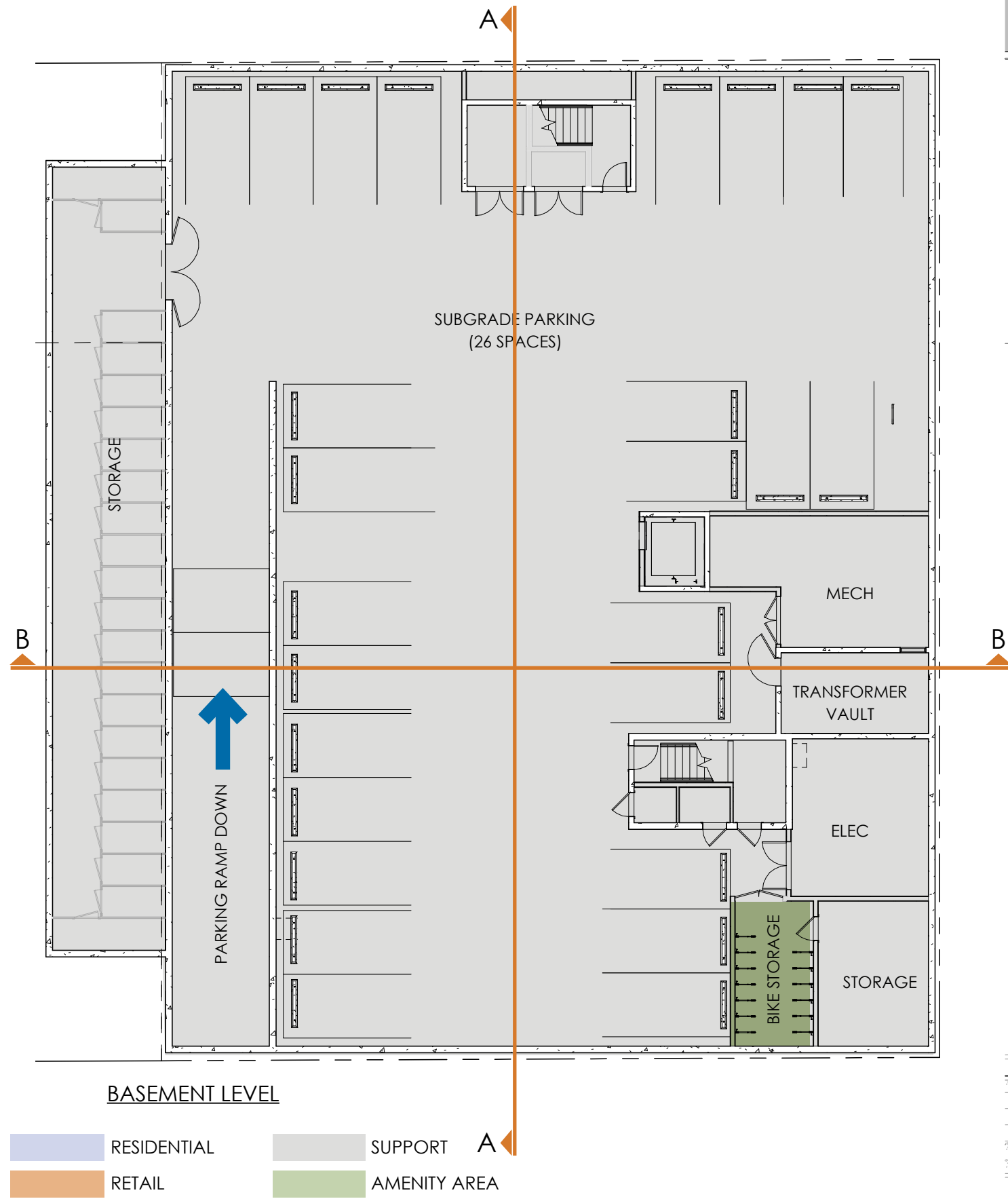
response: Siding material and window pattern is varied at areas of modulation, strengthening the visual break in the massing to reduce scale. The project’s primary street-facing facades will feature brick, a prominent material in the neighborhood with a durable, high-quality, historic/timeless, and human scale character. Supporting materials will include textured board-formed concrete along the building base and cement board panelized siding at areas of inset modulation and at upper floor setbacks.

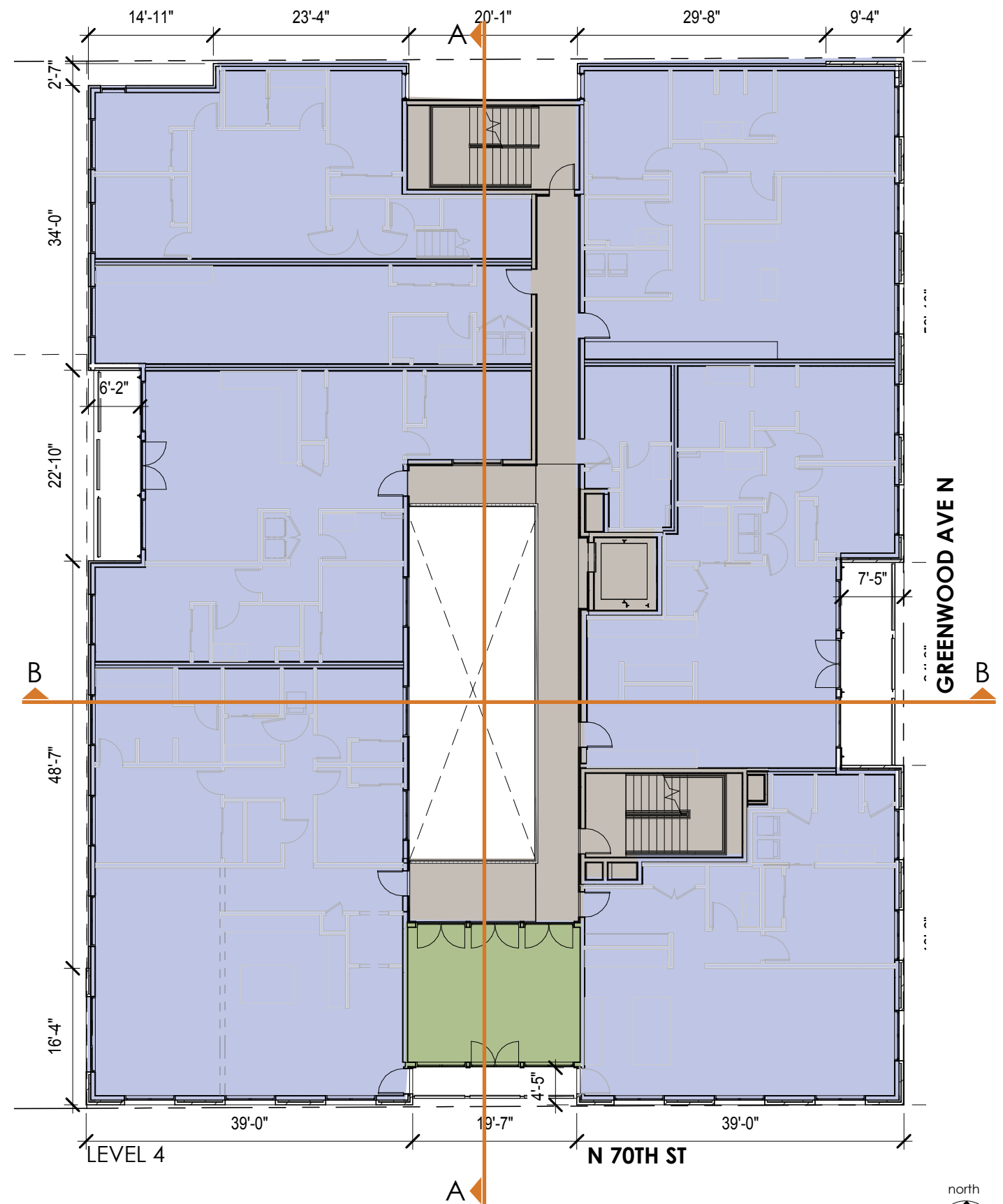


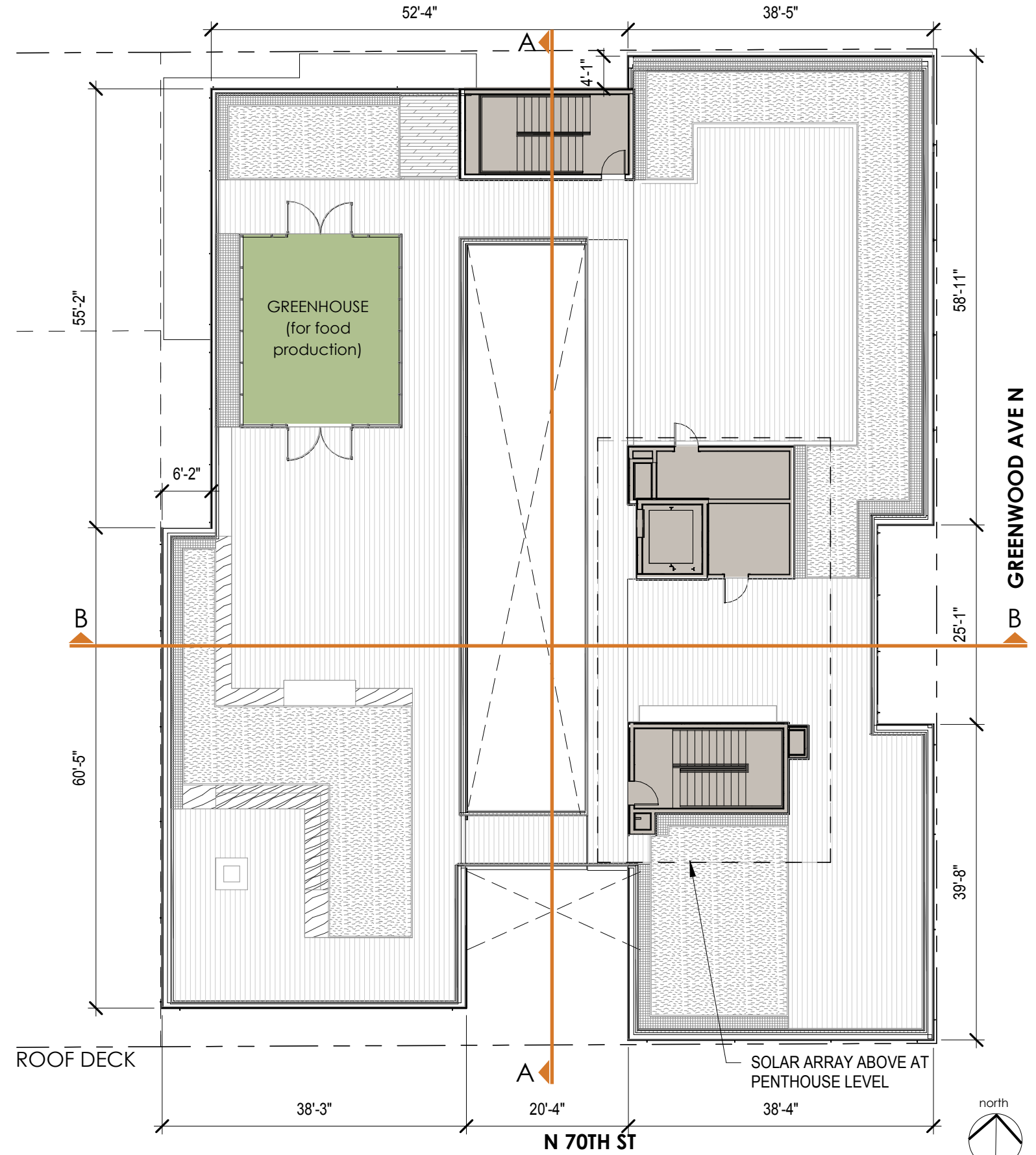
looking towards NW corner from adjacent single-family zone ^

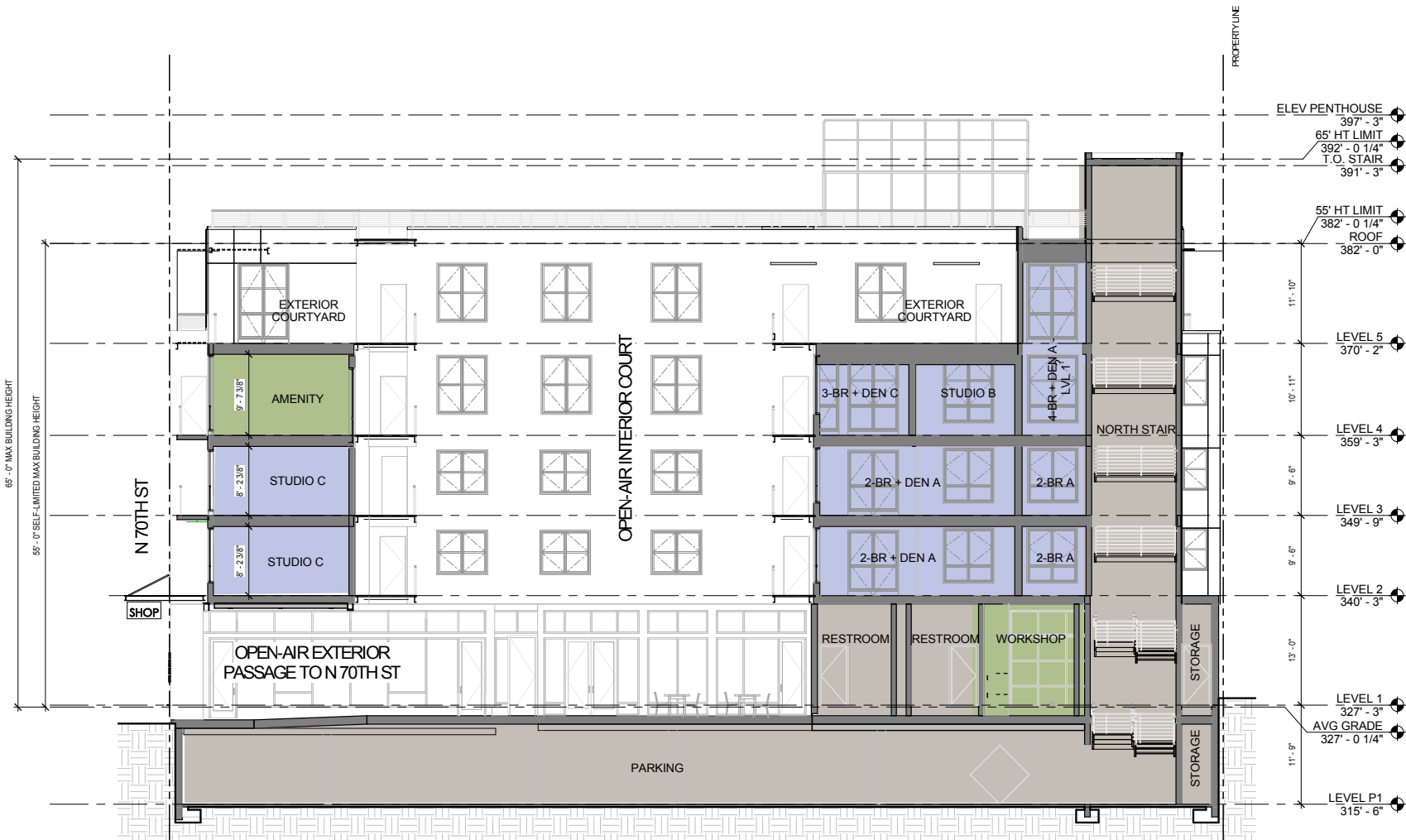


Intersection of 70th & Greenwood, looking towards SE corner ^

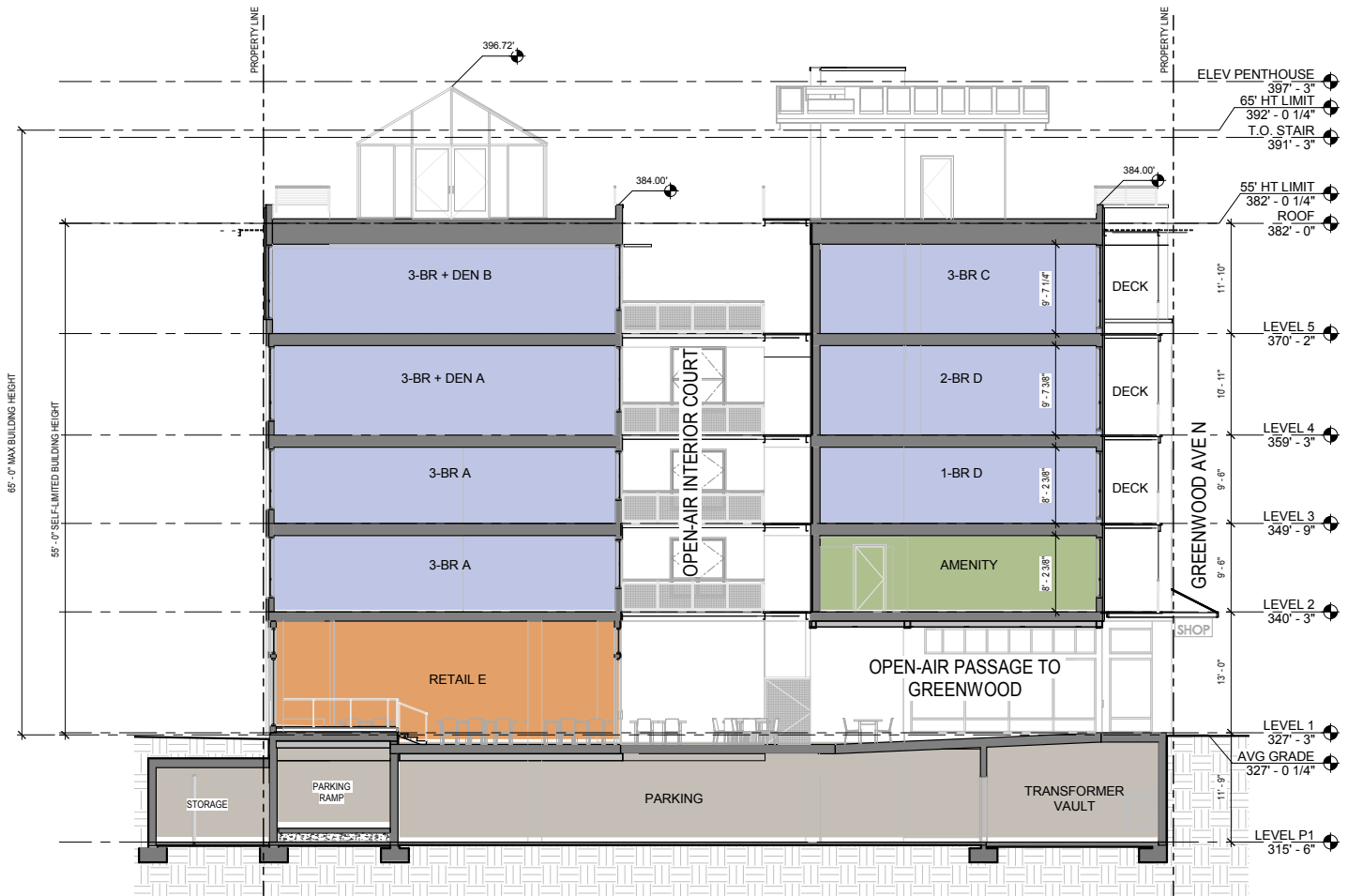






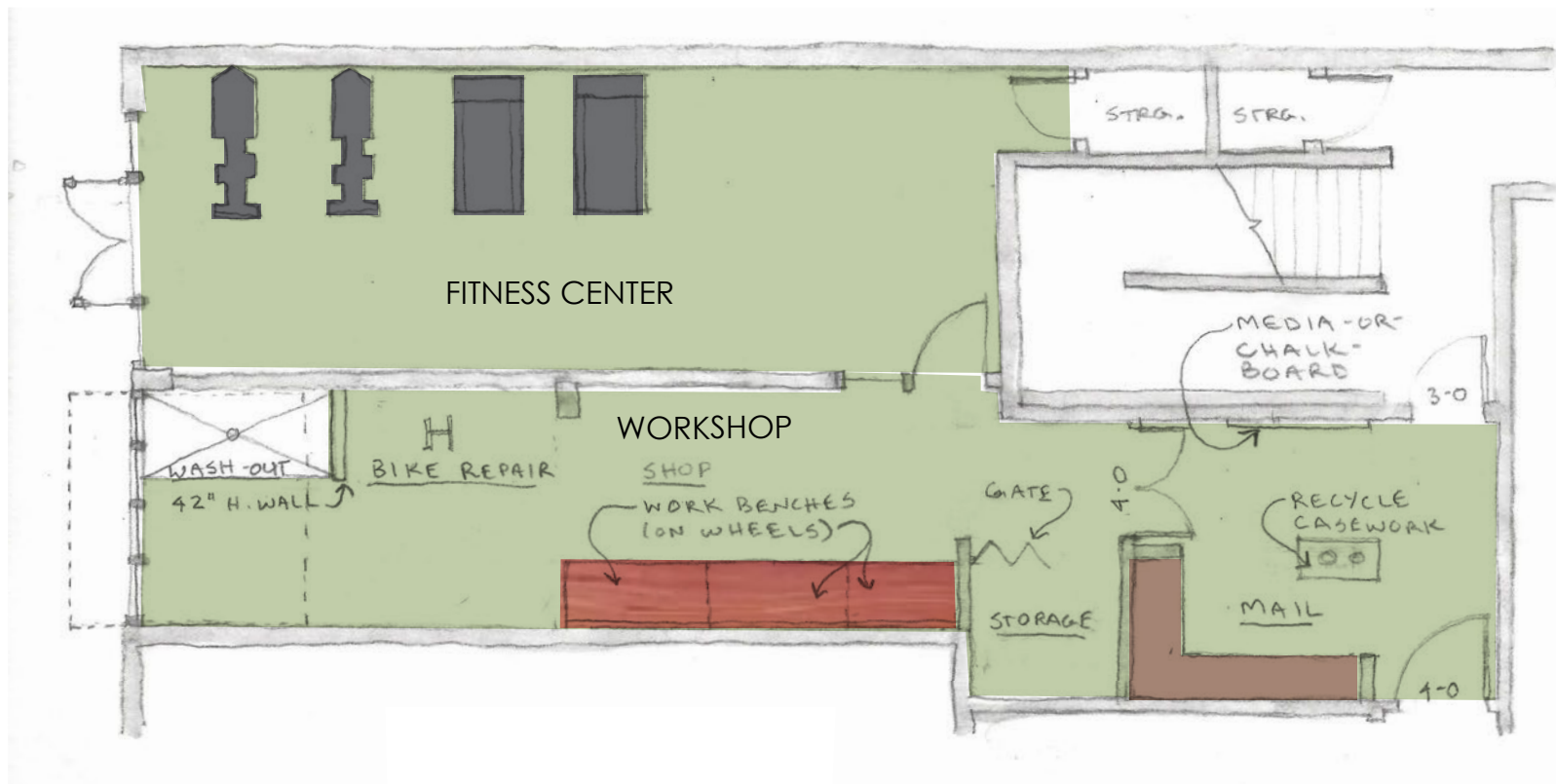


A: NORTH-SOUTH SECTION THROUGH COURTYARD

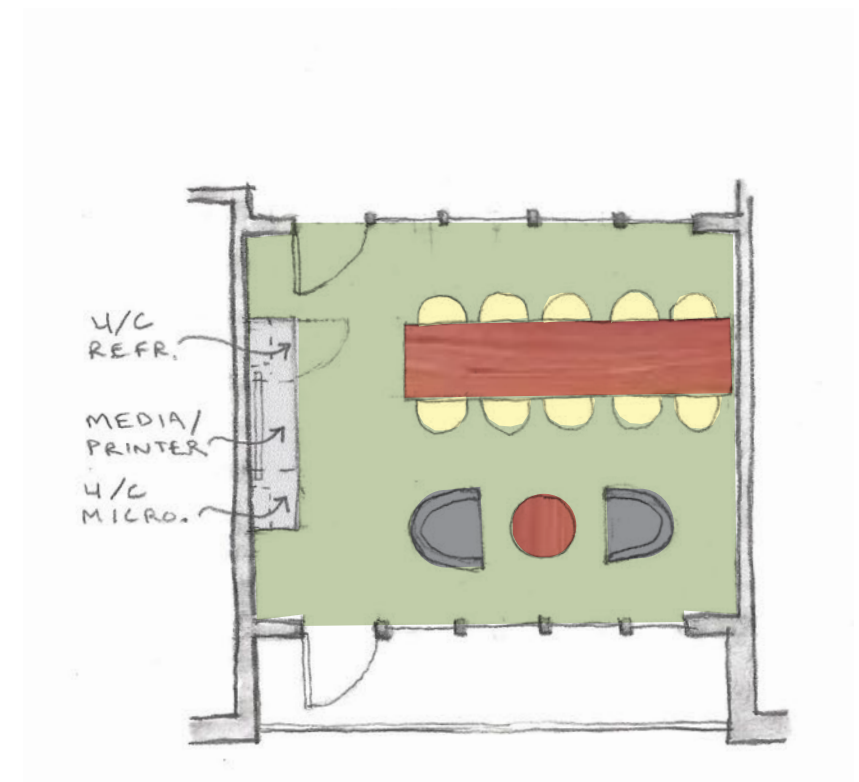


B: EAST-WEST SECTION THROUGH EAST ENTRY

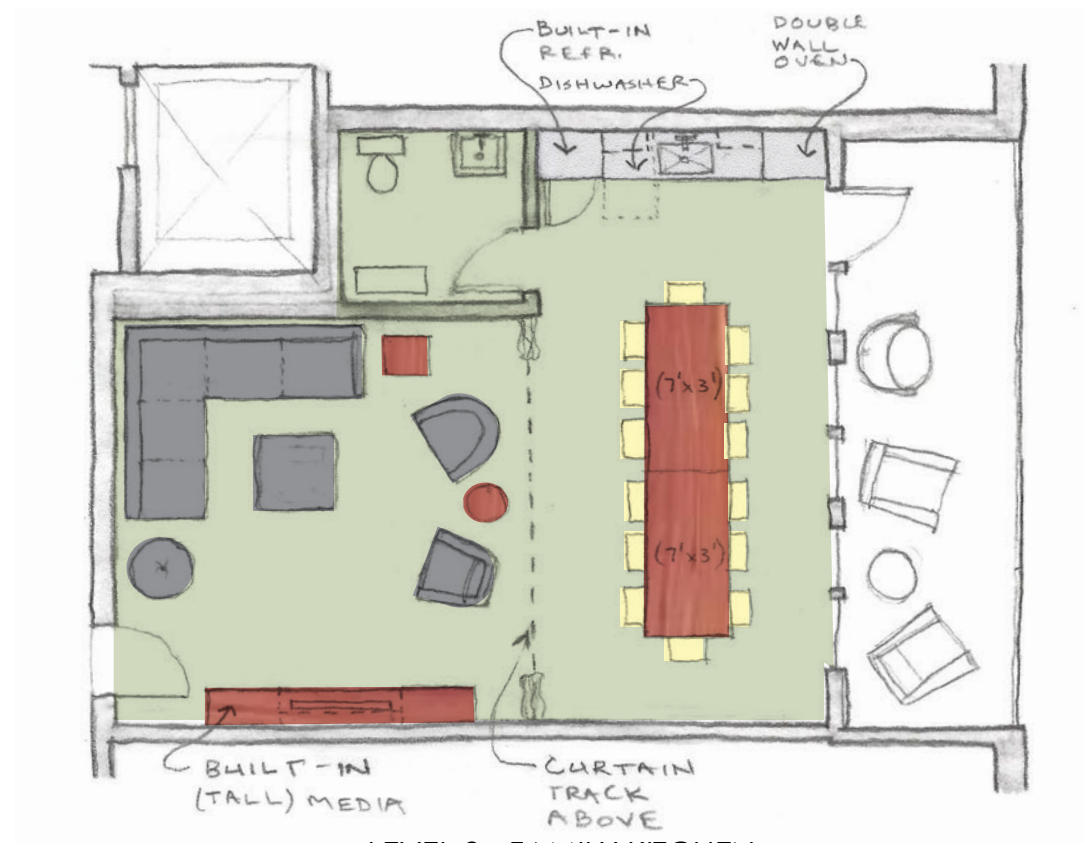
- RESIDENTIAL
- RETAIL
- SUPPORT
- AMENITY AREA



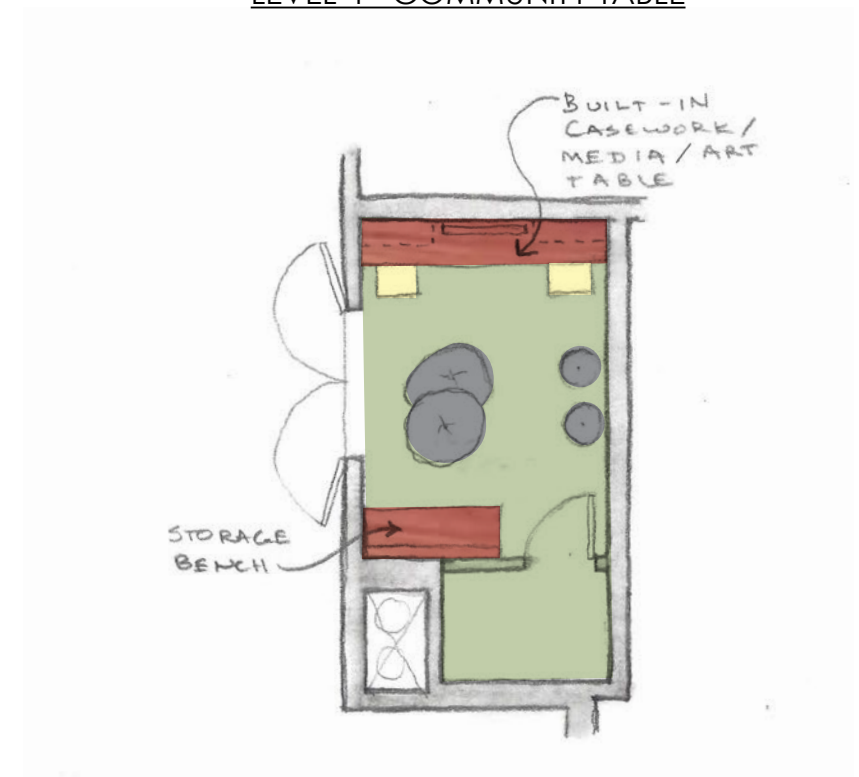
LEVEL 1 - WORKSHOP + FITNESS CENTER



LEVEL 4 - COMMUNITY TABLE



LEVEL 2 - FAMILY KITCHEN



LEVEL 4 - MEDIA ROOM



EAST (GREENWOOD AVE N) ELEVATION



SOUTH (N 70TH ST) ELEVATION

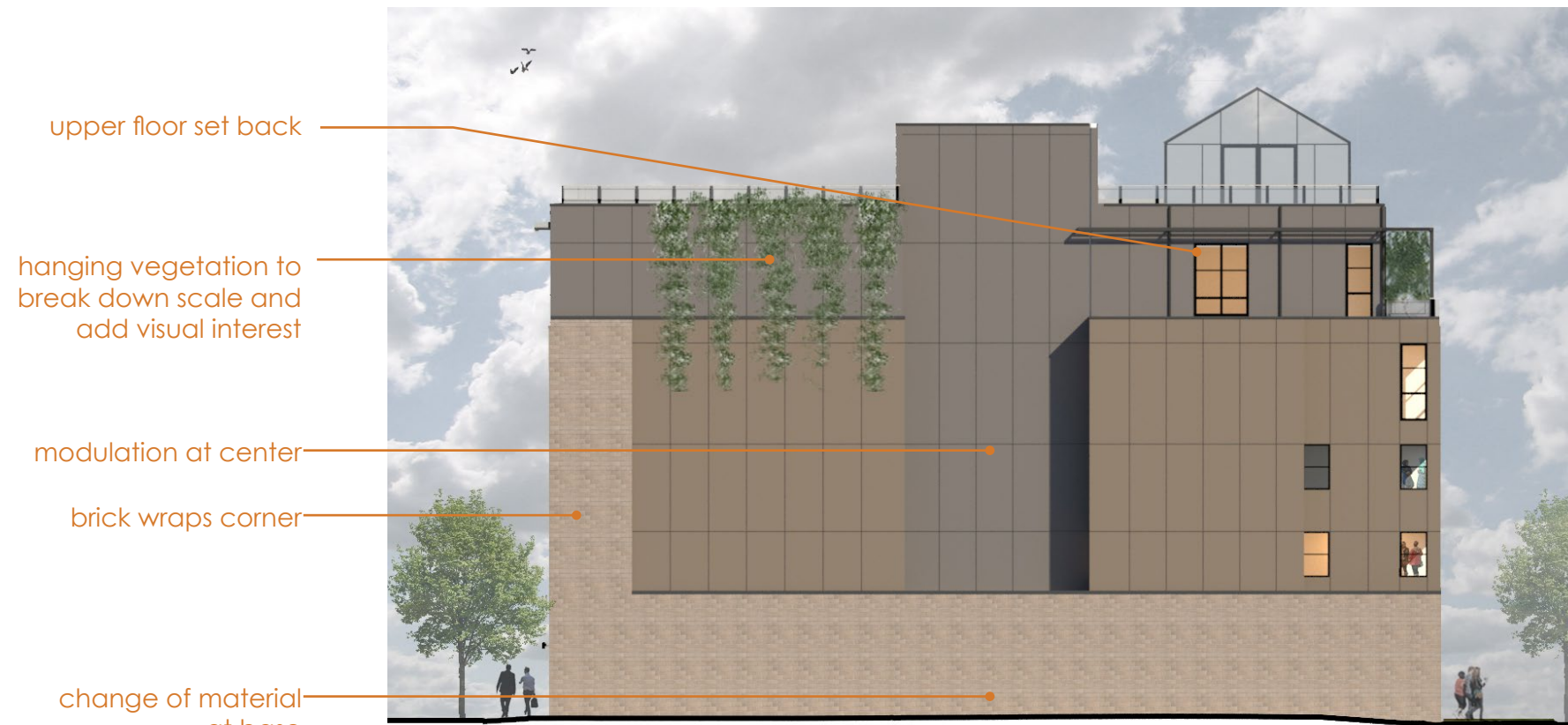


WEST ELEVATION

NORTH ELEVATION

Per the Greenwood/Phinney Neighborhood Design Guidelines (Section D-2), "consider treating blank walls with one or more of the methods suggested in the Citywide Design Guidelines, including:

- installing vertical trellis in front of the wall
not feasible as plant material will not grow on north side of building
- employing small setbacks
top floor steps back, center stair tower is set back to add modulation
- employing different texture, colors, or materials
materials & textures change from board-formed concrete at the base to a flat, panelized system above; colors vary to break down the mass
- providing art or mural"
building proposes use of hanging vegetation to add visual interest



NORTH ELEVATION

MATERIAL LEGEND

- BRICK W/ METAL COPING
- STAINED WOOD SIDING
- PAINTED FIBER CEMENT SIDING W/ METAL COPING
- BLACK STOREFRONT WINDOWS
- BOARD-FORMED CAST-IN-PLACE CONCRETE
- BLACK RESIDENTIAL WINDOWS
- STEEL & GLASS RAILING
- PAINTED STEEL CANOPY WITH WOOD SOFFIT
- STEEL TRELLIS & COLUMNS/ PILASTERS



COURTYARD SOUTH ELEVATION



COURTYARD EAST ELEVATION



COURTYARD NORTH ELEVATION

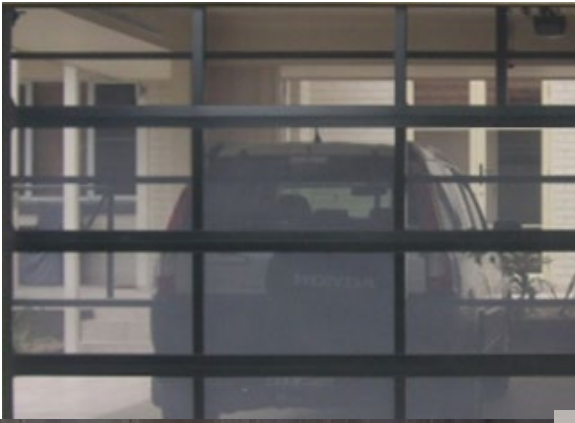


COURTYARD WEST ELEVATION

MATERIAL LEGEND

- BRICK W/ METAL COPING
- STAINED WOOD SIDING
- PAINTED FIBER CEMENT SIDING W/ METAL COPING
- BLACK STOREFRONT WINDOWS
- BOARD-FORMED CAST-IN-PLACE CONCRETE
- BLACK RESIDENTIAL WINDOWS
- STEEL & GLASS RAILING
- PAINTED STEEL CANOPY WITH WOOD SOFFIT
- STEEL TRELLIS & COLUMNS/PILASTERS

aluminum & open metal mesh
V garage door



V black steel trash room doors



^ black steel + glass railings



^ steel plate awnings @ courtyard interior



^ painted fiber cement accent siding with black windows



wood accent siding >



^ planted mesh walls



^ boardformed cast-in-place concrete

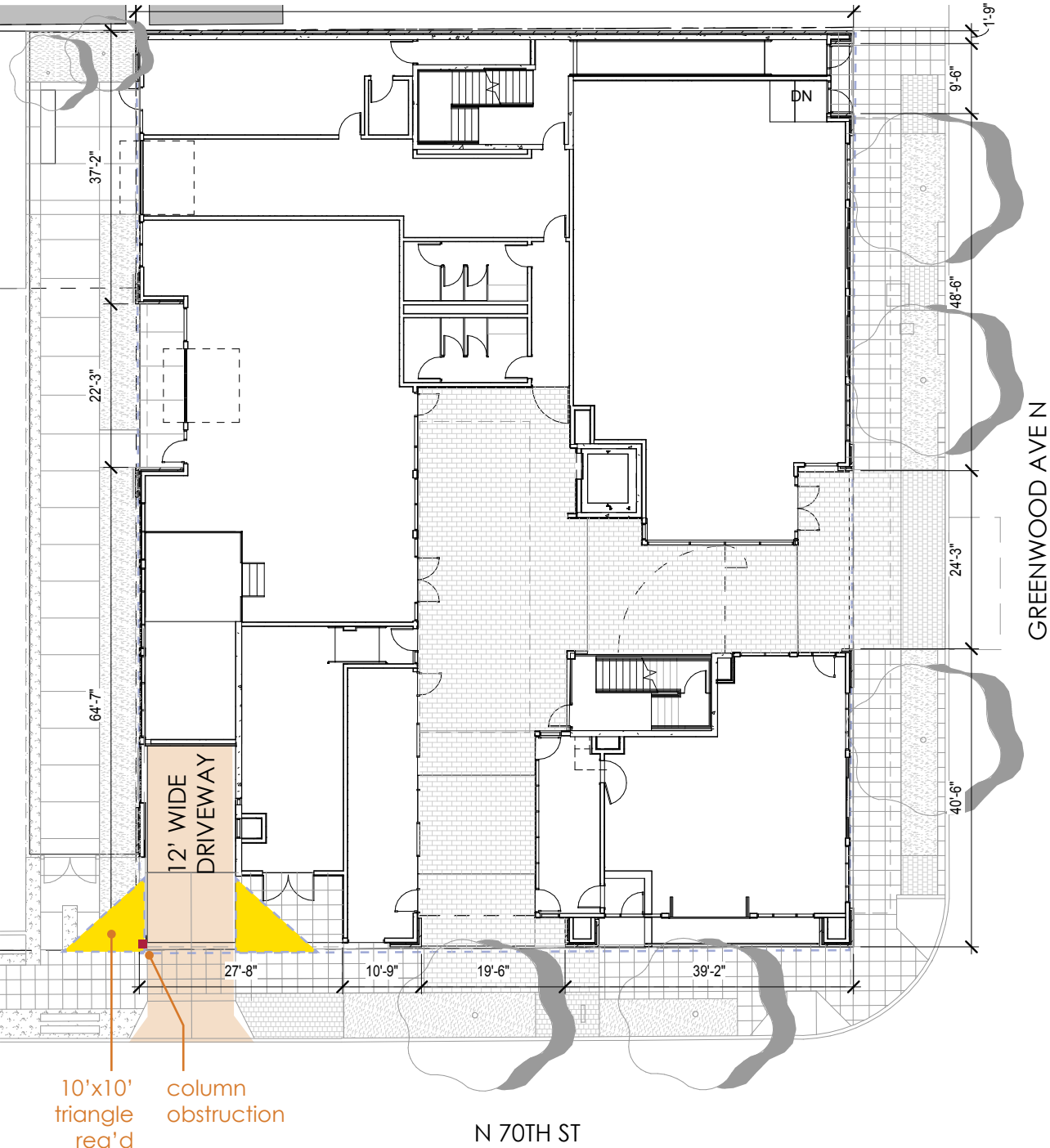


painted steel canopy with wood soffit; black storefronts >

< brick



DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Encroachment in Sight Triangle at Driveway	23.54.030 G 3 The code requires a 10' sight triangle from the intersection of the driveway and sidewalk clear of obstructions in the vertical space between 32"-82" from the ground	A 10' sight triangle is provided at either side of the driveway, except for one 10"x10" square structural column at the SW corner	The driveway is located in the southwest corner along N 70th St in order to maximize ground floor retail and to have the least impact on the pedestrian environment, which is concentrated toward the east (Greenwood Ave N) retail presence. The addition of a column at this corner maintains consistency with the masonry architectural design concept of the building, reducing the visual impact of the parking entry [Guideline DC1-C-2: Parking and Service Uses: Visual Impacts]. A code-compliant design would have a large structural cantilever in this corner, which is a more "modern" expression than is fitting for the building's "load-bearing" masonry aesthetic. To enhance the safety of the driveway, a 12' width is proposed which is 2' wider than the 10' code minimum size for residential use.

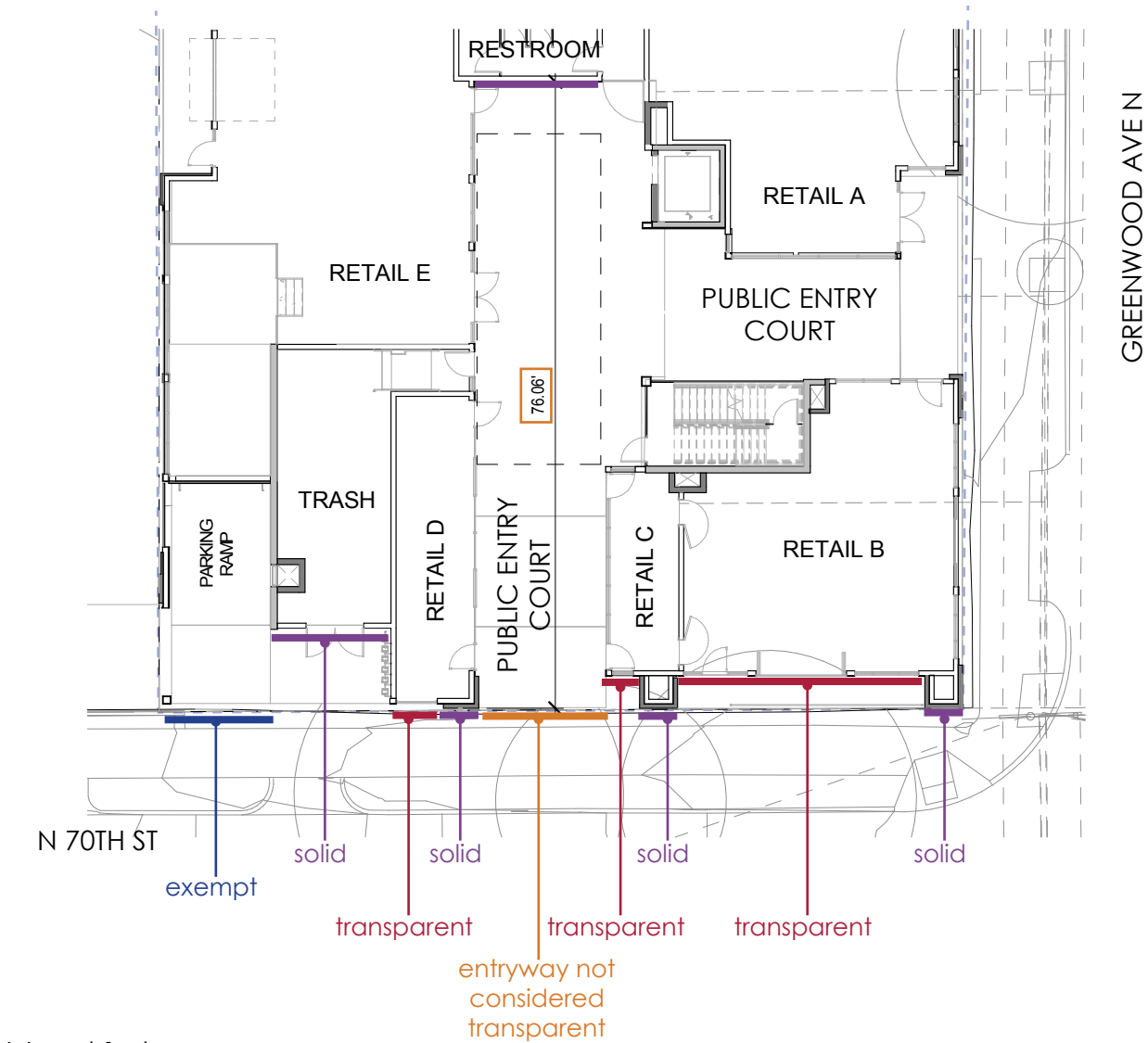


^ Level 1 plan



^ view of SW corner from N 70th St showing structural column at corner

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Street-Level Standards: Transparency	23.47A.008.B.2.a In an NC-zone, the code requires 60% of street-facing facade between 2' & 8' above sidewalk shall be transparent	The south (n 70th st) elevation is only 40.3% transparent	The intent of the Code is to ensure that the street-facing facade along a Neighborhood Commercial zone is activated with transparency and views into and out of active spacing in the structure (23.47A.008.B.2.b). The project proposed a public entry court in order to contribute open space to both residents and the neighborhood (<u>PL1-A-1: Network of Open Spaces: Enhancing Open Space</u>). However, Seattle DCI (SDCI) does not consider an open entryway leading to a public courtyard as transparent at its face, even though this would seem to be the most transparent "wall" possible. Instead SDCI requires the inclusion of the facade behind the entryway as part of the Transparency Calculations, even though that wall is 76' from the sidewalk. If the entryway was considered transparent for our calculations, we would meet the 60% transparent requirement.



^ Level 1 plan



^ south elevation

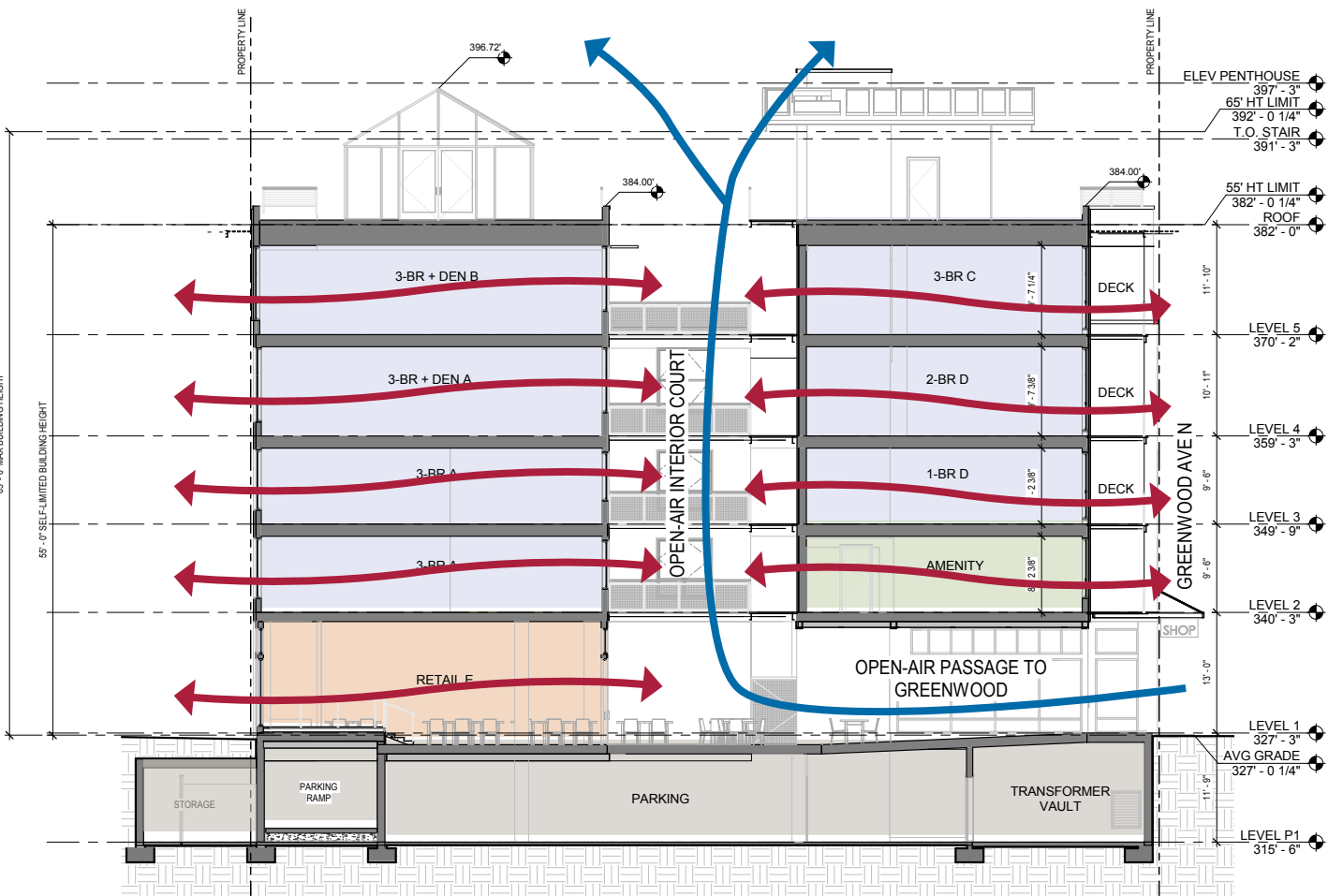
SUSTAINABILITY MEASURES

The project targets **LEED Gold** and **Built Green**, both of which is rare for multi-family. Our proposal is nearly twice as energy efficient as most multi-family projects in Seattle. The project is currently designed to an Energy Use Index (EUI) that is half the level of most multi-family projects (15-20 EUI versus 40 EUI in Seattle versus an average of 78 EUI nationwide). Although the energy code savings created by these systems technically exempt the project from providing solar on the roof, the project still proposes solar on the roof. The mechanical system has been designed to reduce the single greatest hogs of energy and carbon in residential construction. Sustainability measures include:

- > Photovoltaic array at roof
- > Heat recovery ventilators
- > Split system heat pumps
- > Central boiler
- > Natural ventilation
- > Low albedo roof (no exposed roof membrane)
- > Green house for food production

low albedo roof surfaces

photovoltaic array above (shown orange)



- KEY:**
- ↔ Cross Ventilation
 - ↗ Stack Effect

NATURAL VENTILATION DIAGRAM
EAST-WEST SECTION

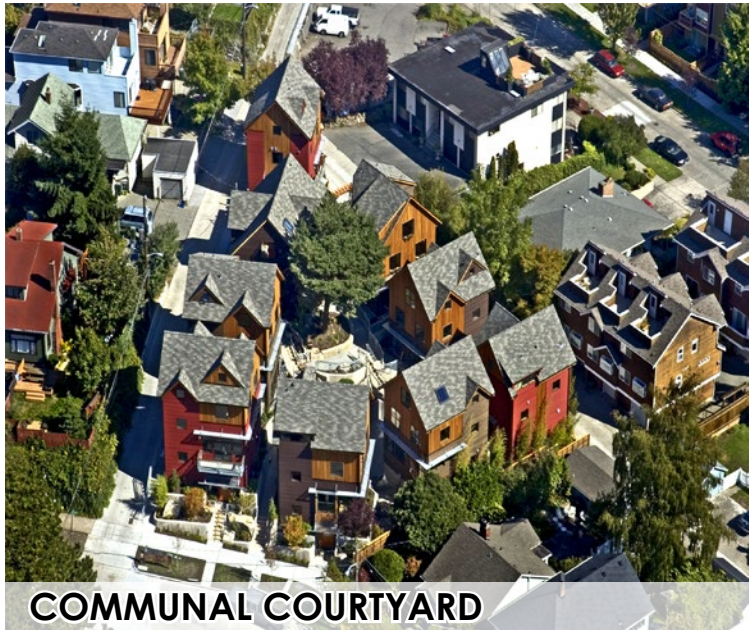


SUSTAINABILITY DIAGRAM
ROOF PLAN





HIGH-QUALITY MATERIALS



COMMUNAL COURTYARD



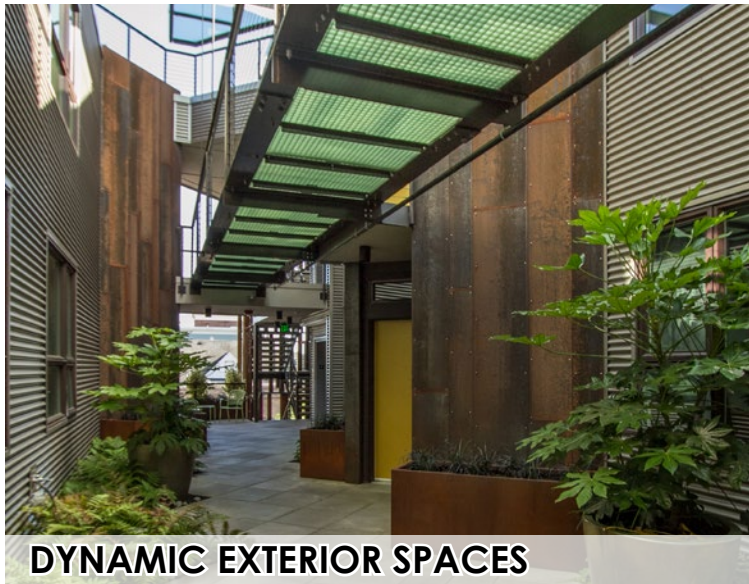
TACTILE MATERIALS



CREATIVE SITE DESIGN



VISIBLE SUSTAINABLE PRACTICES



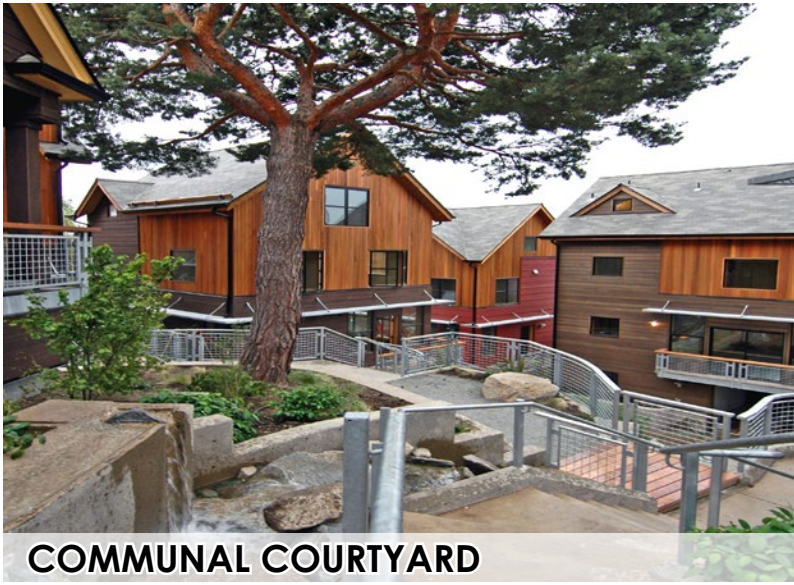
DYNAMIC EXTERIOR SPACES



LIVABLE COMMUNAL SPACE



MODULATION AND MATERIAL CHANGE



COMMUNAL COURTYARD



STREET-LEVEL ENGAGEMENT



FINE-GRAIN ARCHITECTURAL DETAIL



ARTICULATION OF MASSING