



EARLY DESIGN GUIDANCE

Meeting Date - May 2, 2016
DPD #3023181

Project Address:

**9039 Greenwood Ave N
Seattle, WA**

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Featured Projects shown designed or
Developed by members of the project team

DEVELOPER

Greenwood Ave Investors
94 Pike St. #36
Seattle, WA 98101

Contact: Tejal Pastakia
tejalp@pastakiallc.com
206.669.6023

ARCHITECT

Encore Architects
1402 3rd Avenue, Suite 1000
Seattle, WA 98101

Contact: Bryan Bellissimo, AIA
bryanb@encorearchitects.com
206.661.6149

LANDSCAPE

Weisman Design Group
2329 E Madison St
Seattle, WA 98112

Contact: Andy Rasmussen
andy@wdginc.com
206.322.1732

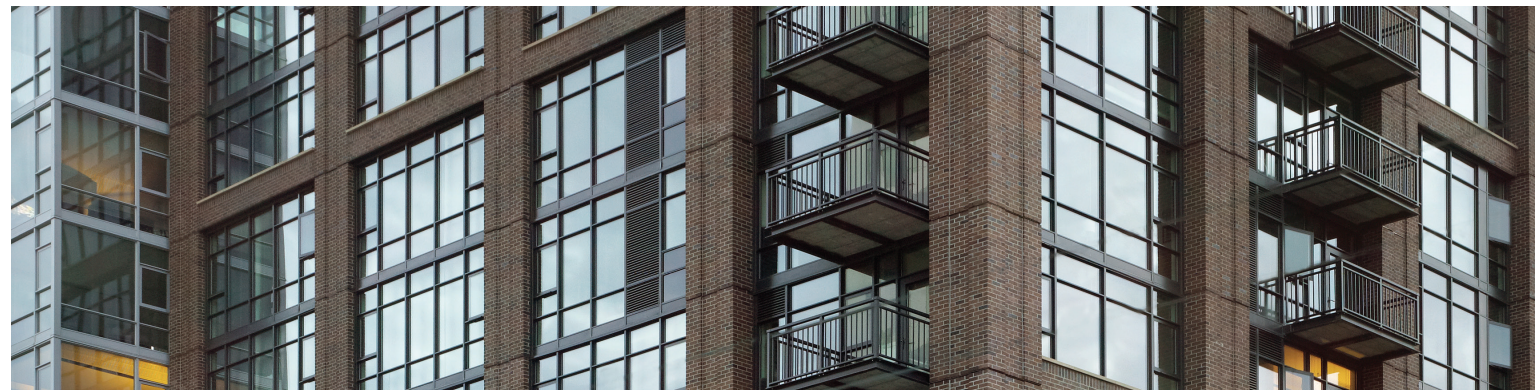
1 - PROJECT VISION

The vision for this development is to create a residential community that seamlessly blends into the established Greenwood / Phinney neighborhood as a timeless and elegant design that provides a comfortable place for residents and visitors.



Enhance the Neighborhood

- Complete the Urban Fabric by infilling vacant sites
- Define the urban edge by reinforcing the street
- Improve pedestrian amenity with landscape buffers
- Increase safety with eyes on the Street



Enduring Building

- Architectural design that references context
- Incorporate high quality, durable materials



Responsive to Unique needs of Greenwood Residents

- Create appropriate buffers for street level occupants
- Provide security and safety at exterior, access and interior spaces

Project Information

- Site Area	22,261 SF
- Residential Units	APPROX 80
- Parking Stalls	APPROX 50

Project Objectives

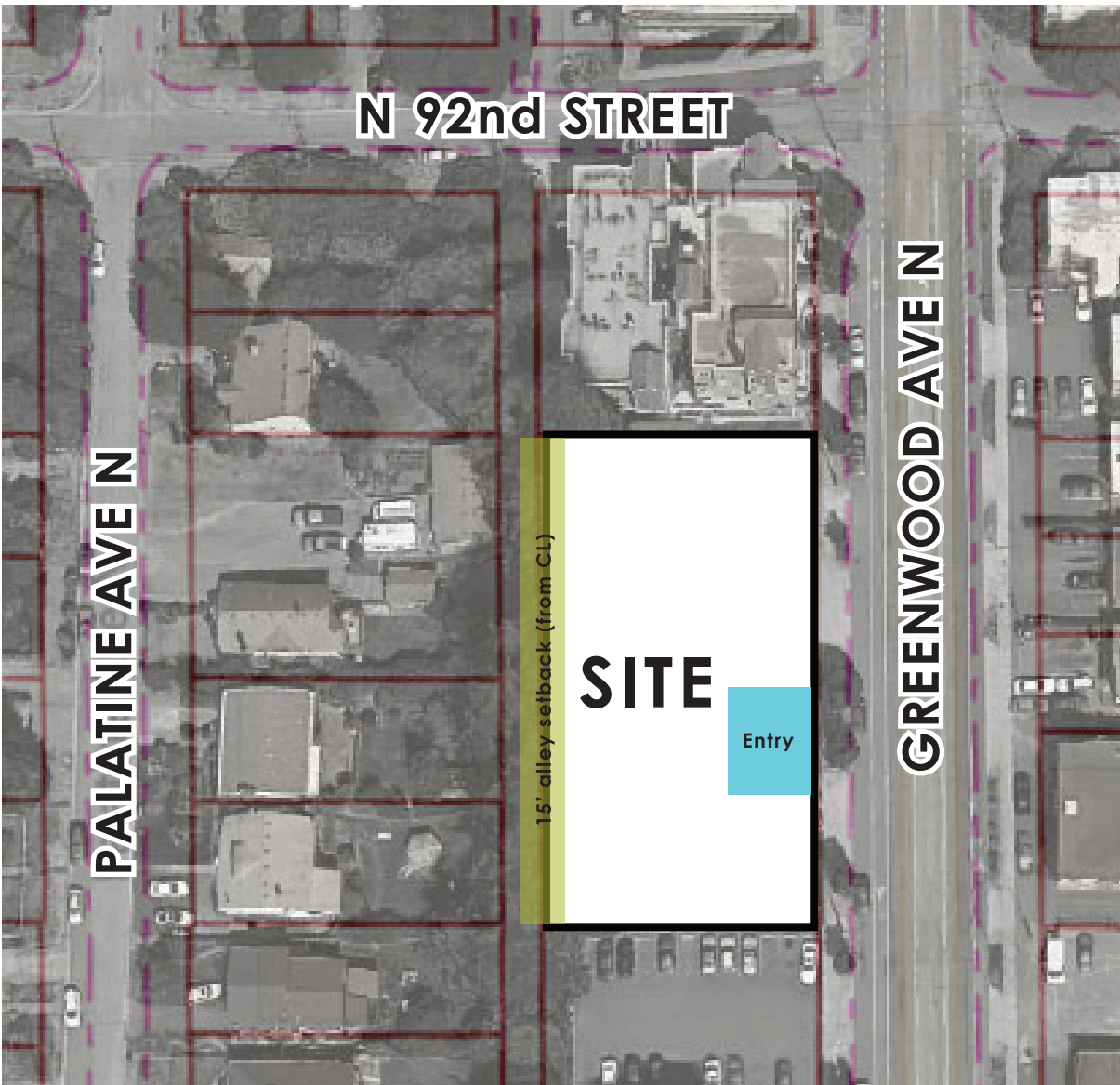
Greenwood Apartments is a proposed four story residential building located on Greenwood Ave N, just south of the N 92nd Steet crossing. This project is designed to serve the expanding Greenwood town center population by creating a residential community of high quality enduring design and increased density. The project will be responsive to the unique needs of Greenwood residents and will enhance the neighborhood with excellent walkability and an enriched streetscape design.

The project site area is 22,261 SF containing two adjacent parcels. The building is comprised of four wood frame levels over two levels of below grade concrete podium. The main entrance located on Greenwood Ave N. will provide direct entry into the building, providing an increased pedestrian activity. The project will have approximately 80 apartment units with approximately 50 parking stalls.

Through its scale, modulation and material selection, the proposed building will reflect characteristics of the area's recent & historical development, offering a vibrant, enduring asset to the community.



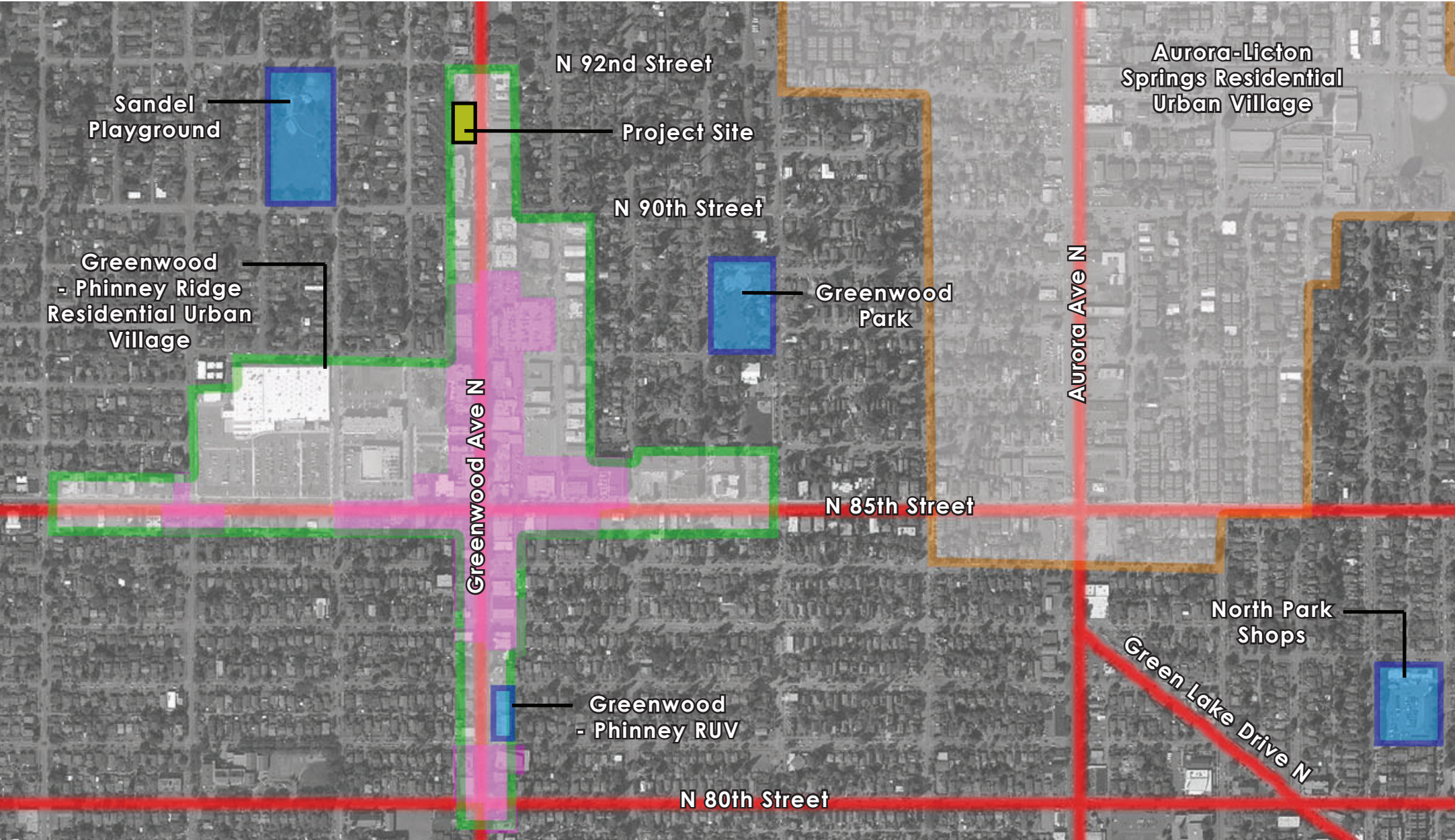
Example Streetscape Experience









Parti Concept Diagram



2 - CONTEXT ANALYSIS



Drawing Key

-  Project Site
-  Notable Green Space
-  Greenwood - Phinney Ridge Residential Urban Village
-  Aurora-Licton Springs Residential Urban Village
-  Pedestrian Areas
-  Arterials

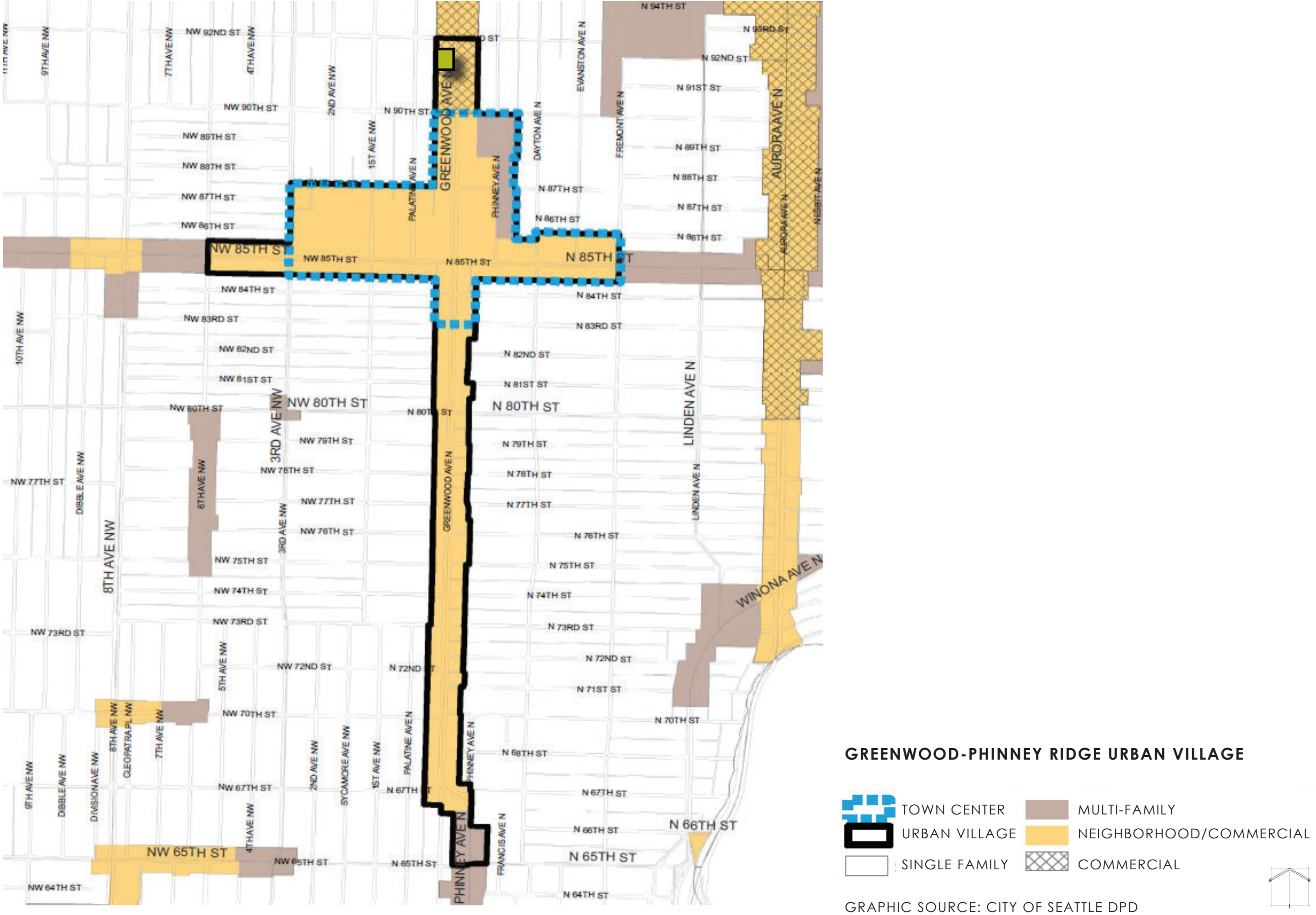
Walk score: 84

Transit score: 54

Bike score: 70

Source: www.walkscore.com











A. ADDRESS: **PROJECT SITE TODAY** - 9039/9041 GREENWOOD AVE N
BUILDING/USE: FOOD BANK



B. ADDRESS: 9057 GREENWOOD AVE N
BUILDING/USE: CONDOMINIUM BUILDING



C. ADDRESS: 9200 GREENWOOD AVE N
BUILDING/USE: MAISON CONDOMINIUMS



D. ADDRESS: 9050 GREENWOOD AVE N
BUILDING/USE: APARTMENT BUILDING



E. ADDRESS: 8760 GREENWOOD AVE N
BUILDING/USE: WESTVIEW NORTH - APARTMENT BUILDING



F. ADDRESS: 8750 GREENWOOD AVE N
BUILDING/USE: WESTVIEW SOUTH - APARTMENT BUILDING



G. ADDRESS: 8551 GREENWOOD AVE N
BUILDING/USE: TOWERS ON GREENWOOD -APARTMENT BUILDING

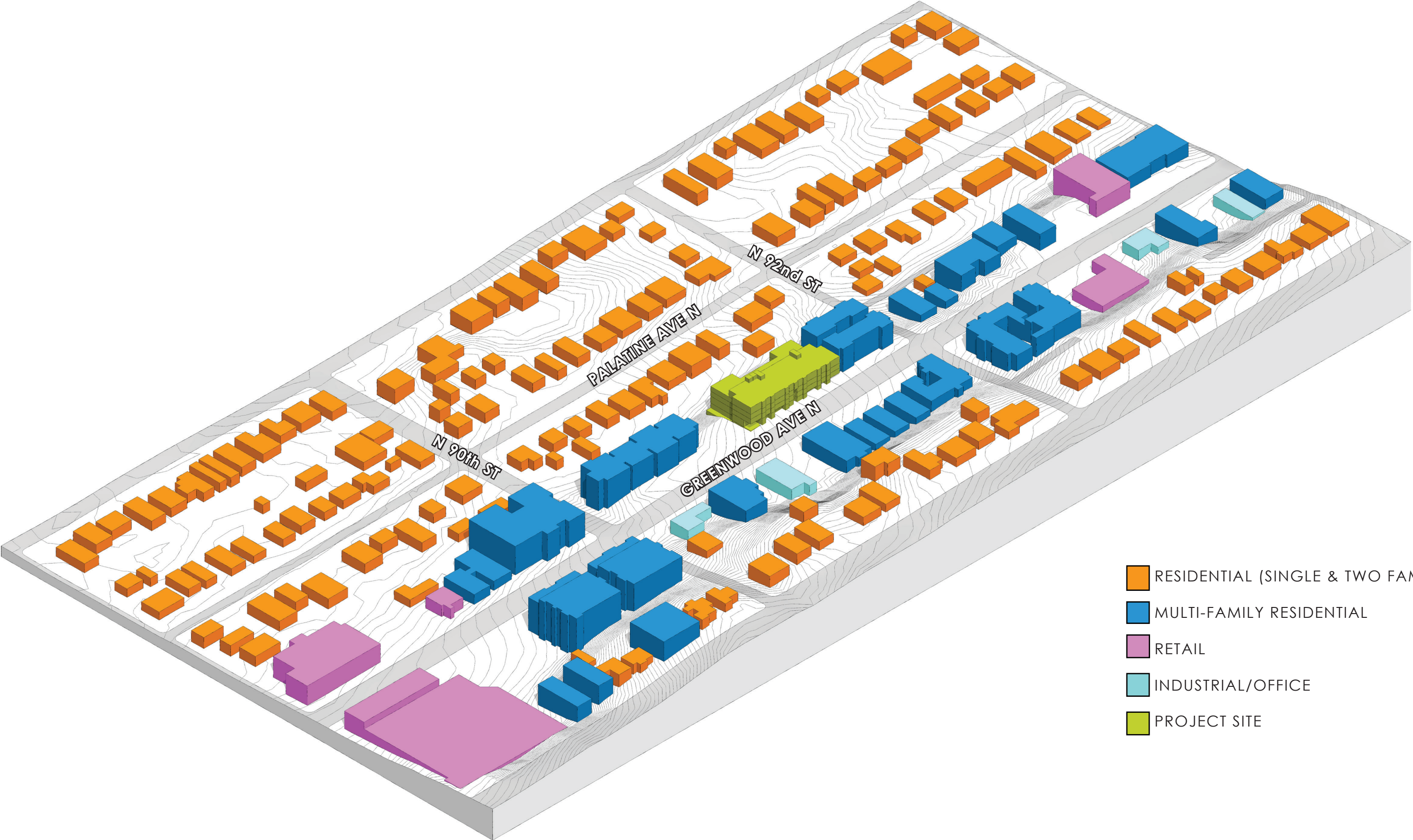


H. ADDRESS: 8745 GREENWOOD AVE N
BUILDING/USE: COOPER SQUARE - CONDOMINIUM BUILDING



I. ADDRESS: 9009 GREENWOOD AVE N
BUILDING/USE: LICTONWOOD - APARTMENT BUILDING





- RESIDENTIAL (SINGLE & TWO FAMILY)
- MULTI-FAMILY RESIDENTIAL
- RETAIL
- INDUSTRIAL/OFFICE
- PROJECT SITE

STREETSCAPE MONTAGE - N 90TH ST TO N 92ND ST ALONG GREENWOOD AVE N



ADJACENT APARTMENT BUILDING

PROJECT SITE

ADJACENT APARTMENT BUILDING



AERIAL MONTAGE - N 90TH ST TO N 92ND ST ALONG GREENWOOD AVE N



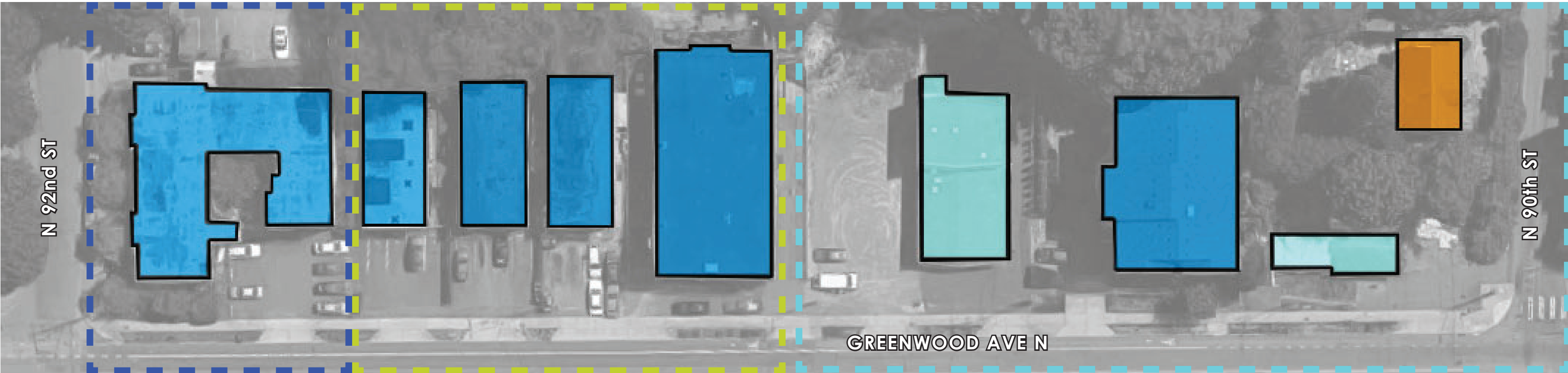
STREETSCAPE MONTAGE - N 90th ST TO N 92nd ST ALONG GREENWOOD AVE N (ACROSS STREET FROM PROJECT SITE)



APARTMENT BUILDING - ACROSS STREET

ACROSS STREET FROM PROJECT SITE

OFFICE/INDUSTRIAL & MULTI-FAMILY DEVELOPMENTS - ACROSS STREET



AERIAL MONTAGE - N 90th ST TO N 92nd ST ALONG GREENWOOD AVE N (ACROSS STREET FROM PROJECT SITE)

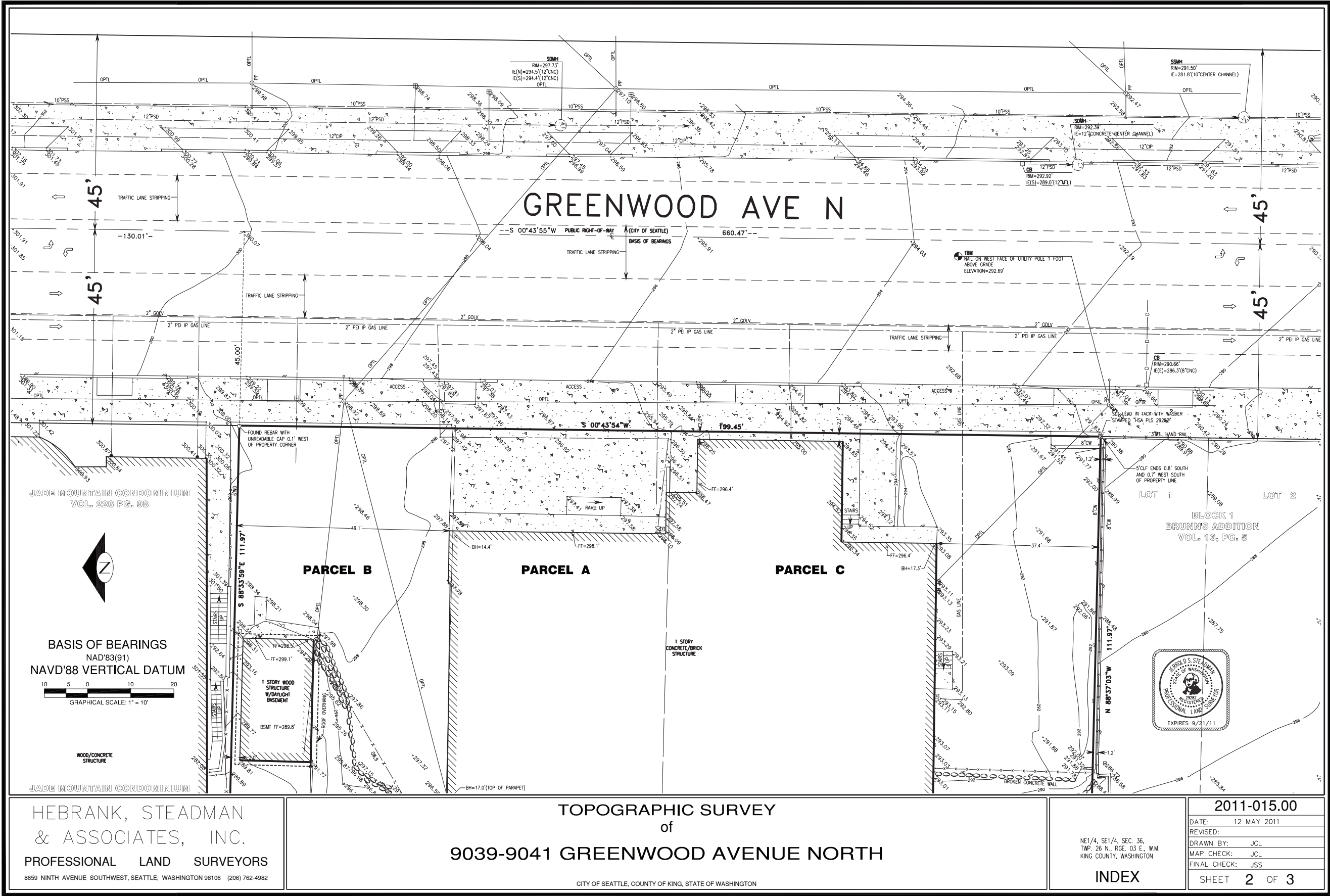


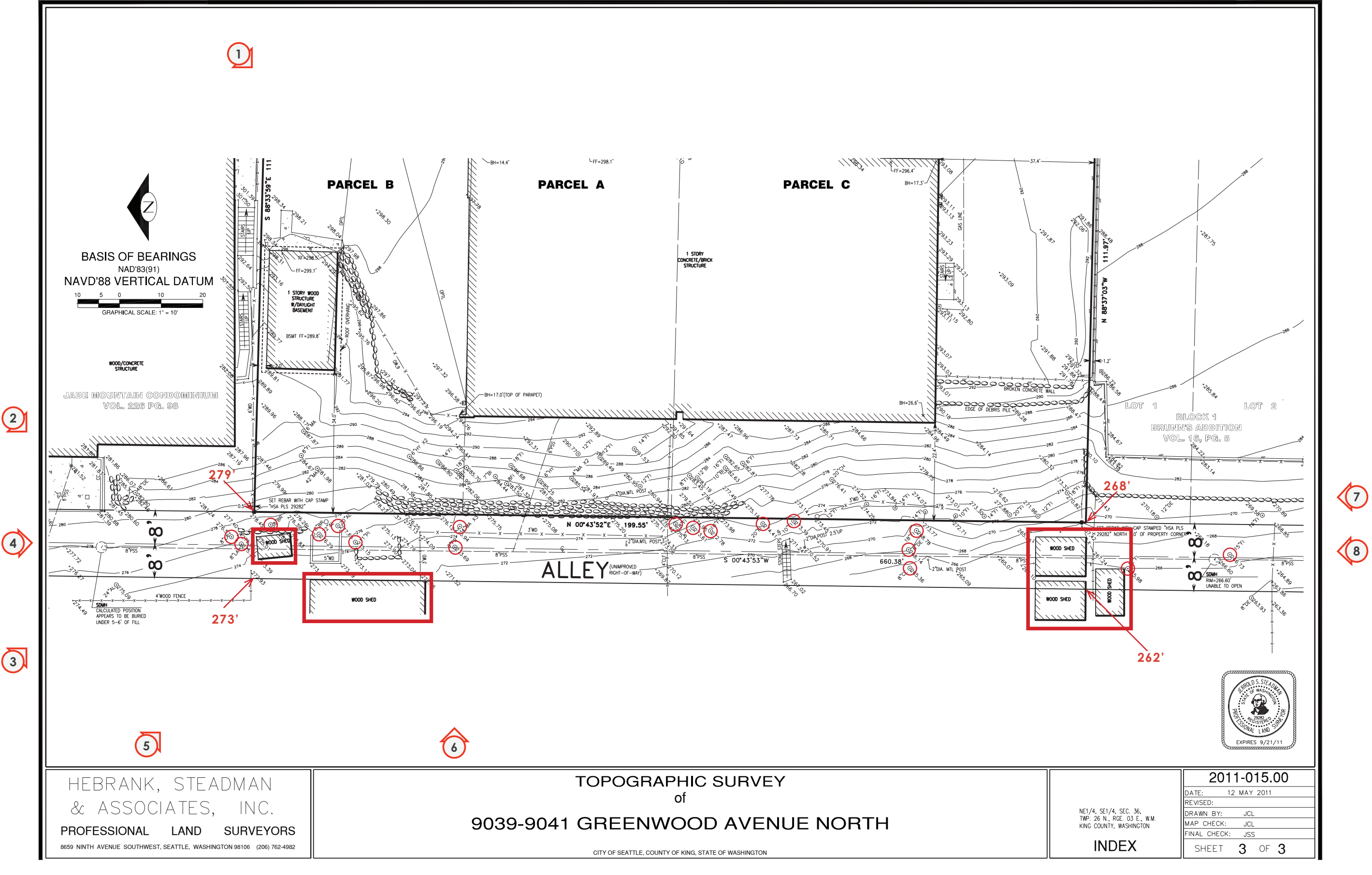


BIRD'S EYE VIEW OF SITE FROM PHINNEY AVE N - LOOKING WEST TOWARDS GREENWOOD AVE N



BIRD'S EYE VIEW OF SITE FROM UNIMPROVED ALLEY - LOOKING EAST TOWARDS GREENWOOD AVE N







1

EXISTING POWERPOLE
IN MIDDLE OF ALLEY



3

EXISTING POWERPOLE
IN MIDDLE OF ALLEY

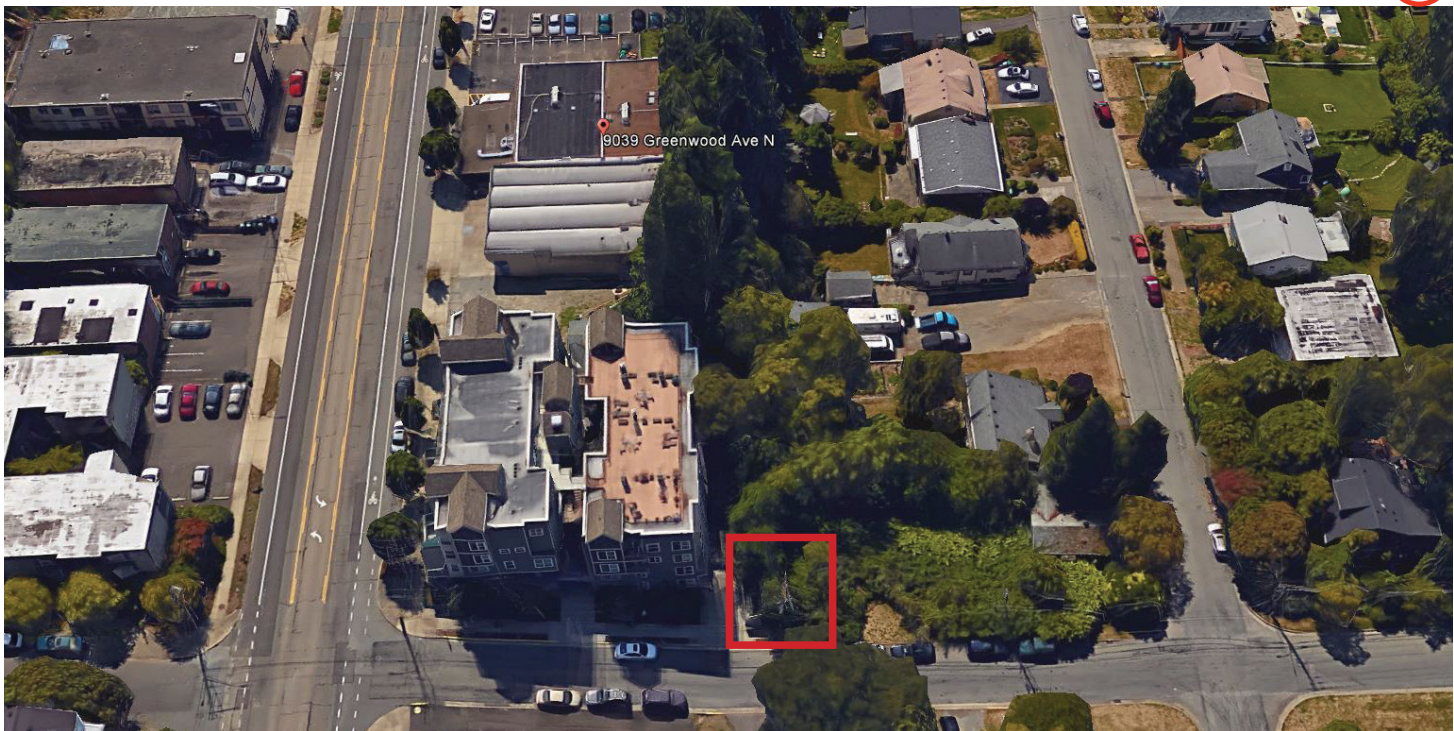
2

EXISTING POWERPOLE
IN MIDDLE OF ALLEY



4

EXISTING POWERPOLE
IN MIDDLE OF ALLEY





5



EXISTING POWERPOLE
IN MIDDLE OF ALLEY

7

6

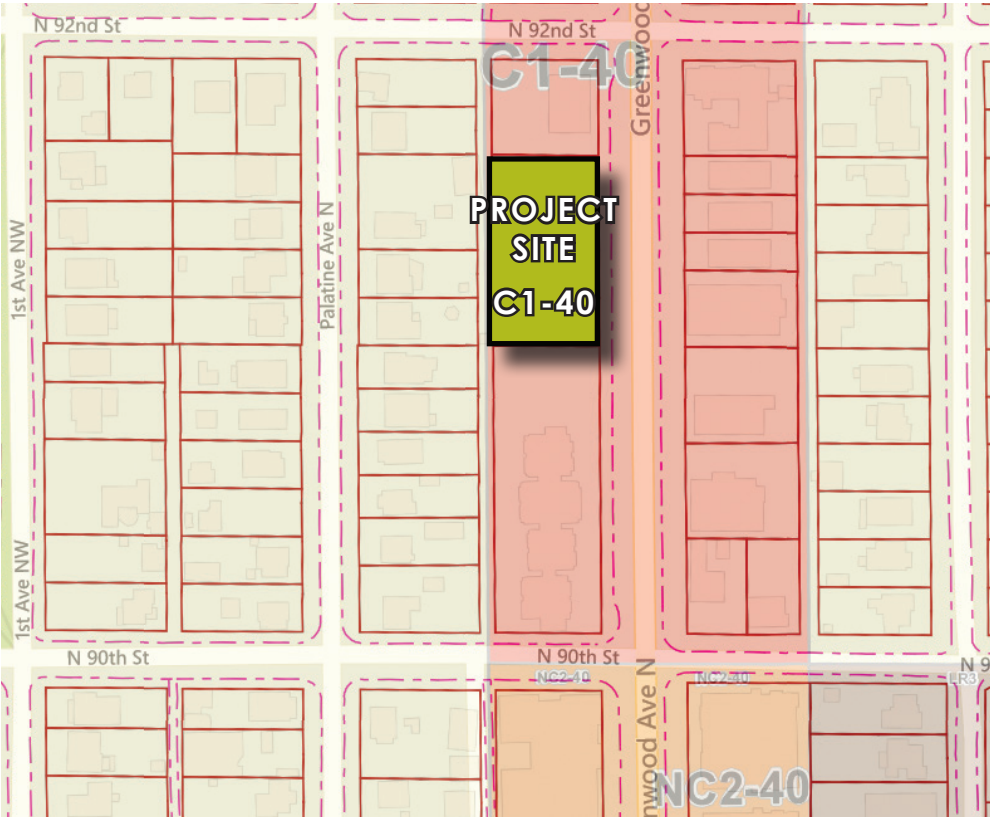
EXISTING RESIDENTIAL
SHEDS BUILT ON ALLEY



EXISTING POWERPOLE
IN MIDDLE OF ALLEY

8





GRAPHIC SOURCE: SEATTLE.GOV - DPD GIS

ZONING CODE: CITY OF SEATTLE ZONING CODE

ZONE: C1-40

LOT AREA: 22,244 SF

- 23.47A.005- STREET LEVEL USES
- Residential use is permitted outright in C1-40

- 23.47A.008- STREET LEVEL DEVELOPMENT STANDARDS
- Blank facades for purposes of this section are not considered blank if they include at least one of the following:
 1. Windows
 2. Entryways or doorways
 3. Stairs, stoops, or porticos
 4. Decks or balconies; or
 5. Screening and landscaping
 - Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width
 - Total of all blank facade segments may not exceed 40 percent of the width of the facade of the structure along the street
 - Street-level street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.
 - Where residential uses are located along a street-level street-facing facade the following requirements apply unless exempted by subsection 23.47A.008.G:
 1. At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry; and
 2. The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.
 - When a live-work unit is located on a street-level street-facing facade, the provisions of subsections 23.47A.008.A and 23.47A.008.B, and the following requirements, apply:
 1. The portion of each such live-work unit in which business is conducted must be located between the principal street and the residential portion of the live-work unit. The non-residential portions of the unit shall extend the width of the street-level street-facing facade, shall extend a minimum depth of 15 feet from the street-level street-facing facade, and shall not contain any of the primary features of the residential (live) portion of the live-work unit, such as kitchen, bathroom, sleeping, or laundry facilities. These basic residential features shall be designed and arranged to be separate from the work portion of the live-work unit.
 2. Each live-work unit must include an exterior sign with the name of the business associated with the live-work unit. Such signage shall be clearly associated with the unit and visible to pedestrians outside of the building.
 3. The owner of each live-work unit must keep a copy of the current business license associated with the business located in that unit on file.

- 23.47A.012- STRUCTURE HEIGHT
- Rooftop elements: there are numerous additional height allowances for rooftop elements, appurtenances, or features in Section 23.47A.012.C.4
 - Stair and elevator penthouses may extend above the applicable height limit up to 16 feet. When additional height is needed to accommodate energy-efficient elevators in zones with height limits of 125 feet or greater, elevator penthouses may extend the minimum amount necessary to accommodate energy-efficient elevators, up to 25 feet above the applicable height limit. Energy-efficient elevators shall be defined by Director's Rule. When additional height is allowed for an energy-efficient elevator, stair penthouses may be granted the same additional height if they are co-located with the elevator penthouse.
 - The rooftop features listed in this subsection 23.47A.012.C.7 shall be located at least 10 feet from the north edge of the roof unless a shadow diagram is provided that demonstrates that locating such features within 10 feet of the north edge of the roof would not shade property to the north on January 21st at noon more than would a structure built to maximum permitted height and FAR:
 - a. Solar collectors;
 - b. Planters;
 - c. Clerestories;
 - d. Greenhouses and solariums;
 - e. Minor communication utilities and accessory communication devices, permitted pursuant to the provisions of Section 23.57.012;
 - f. Non-firewall parapets;
 - g. Play equipment.

23.47A.013- FLOOR AREA RATIO

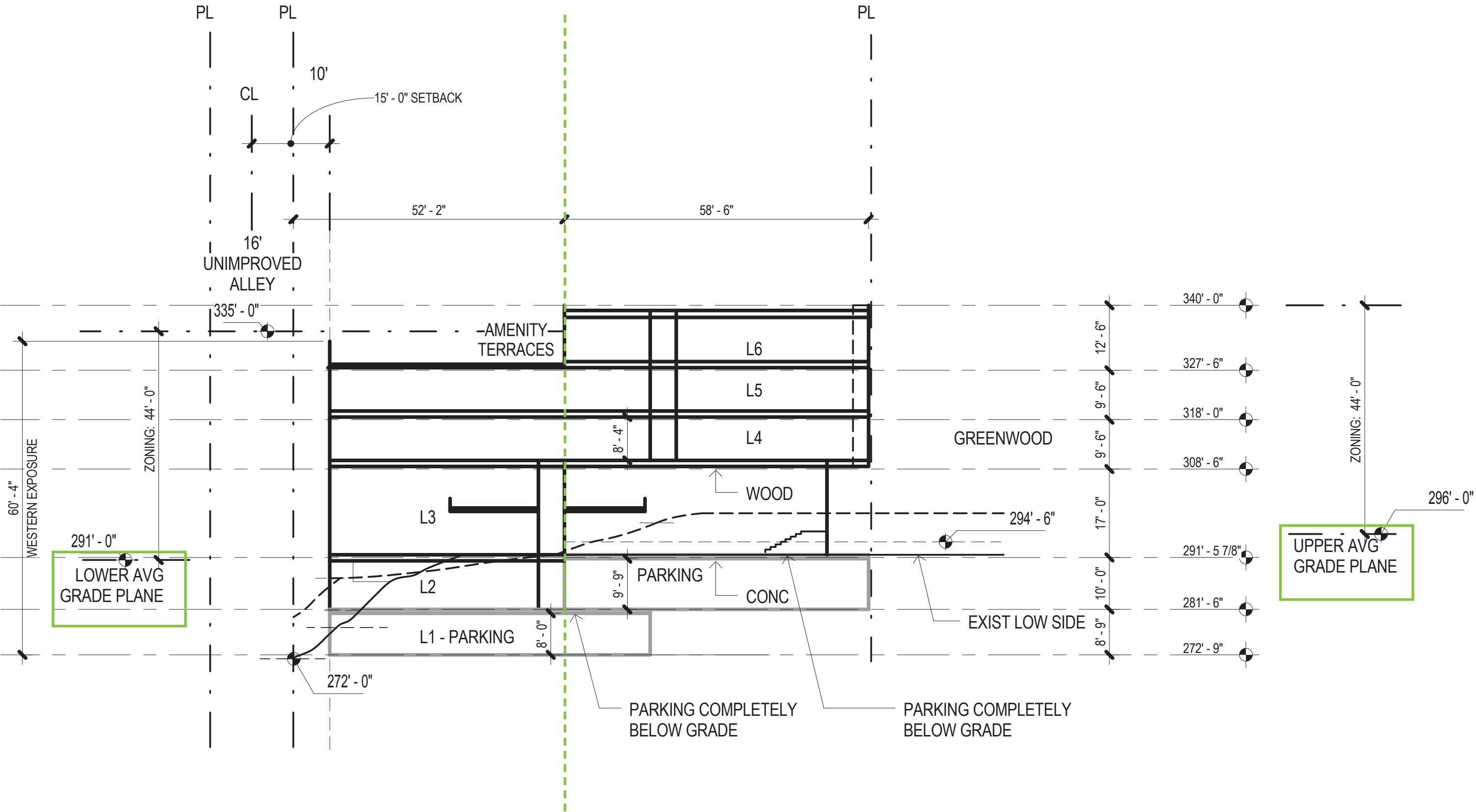
- The following gross floor area is not counted toward maximum FAR:
 1. All gross floor area underground;
 2. All portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access;

23.47A.016- LANDSCAPING AND SCREENING STANDARDS

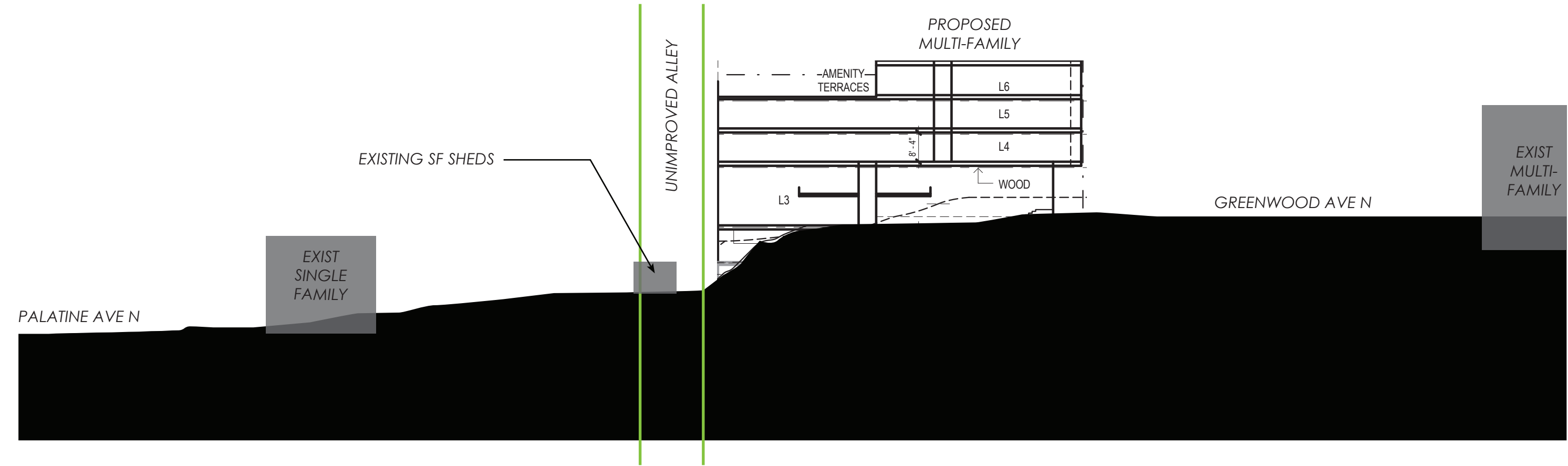
- Landscaping that achieves a Green Factor score of 0.3 or greater, pursuant to Section 23.86.019, is required for any lot with:
 1. development containing more than four new dwelling units or a congregate residence
- Street trees are required when any development is proposed, except as provided in subsection 23.47A.016.B.2 and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal. The Director, in consultation with the Director of Transportation, will determine the number, type and placement of street trees to be provided:
 - a. to improve public safety;
 - b. to promote compatibility with existing street trees;
 - c. to match trees to the available space in the planting strip;
 - d. to maintain and expand the urban forest canopy;
 - e. to encourage healthy growth through appropriate spacing;
 - f. to protect utilities; and
 - g. to allow access to the street, buildings and lot.
- General standards for screening and landscaping where required for specific uses.
 1. Screening shall consist of fences, walls, hedges, or landscaped berms. Any type of screening shall be at least as tall as the height specified in subsection 23.47A.016.D.
 2. Landscaped areas and berms required under subsection 23.47A.016.D must meet rules promulgated by the Director pursuant to subsection 23.47A.016.A.1. Decorative features such as decorative pavers, sculptures or fountains, or pedestrian access meeting the Seattle Building Code, Chapter 11, may cover a maximum of 30 percent of each landscaped area or berm used to satisfy requirements under subsection 23.47A.016.D.

23.47A.024- AMENITY AREA

- Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use, except as otherwise specifically provided in this Chapter 23.47A. Gross floor area, for the purposes of this subsection, excludes areas used for mechanical equipment and accessory parking.
- Required amenity areas shall meet the following standards, as applicable:
 1. All residents shall have access to at least one common or private amenity area;
 2. Amenity areas shall not be enclosed;
 3. Parking areas, vehicular access easements, and driveways do not count as amenity areas, except that a woonerf may provide a maximum of 50 percent of the amenity area if the design of the woonerf is approved through a design review process pursuant to Chapter 23.41;
 4. Common amenity areas shall have a minimum horizontal dimension of 10 feet, and no common amenity area shall be less than 250 square feet in size;
 5. Private balconies and decks shall have a minimum area of 60 square feet, and no horizontal dimension shall be less than 6 feet.
 6. Rooftop areas excluded because they are near minor communication utilities and accessory communication devices, pursuant to Section 23.57.012.C.1.d, do not qualify as amenity areas.

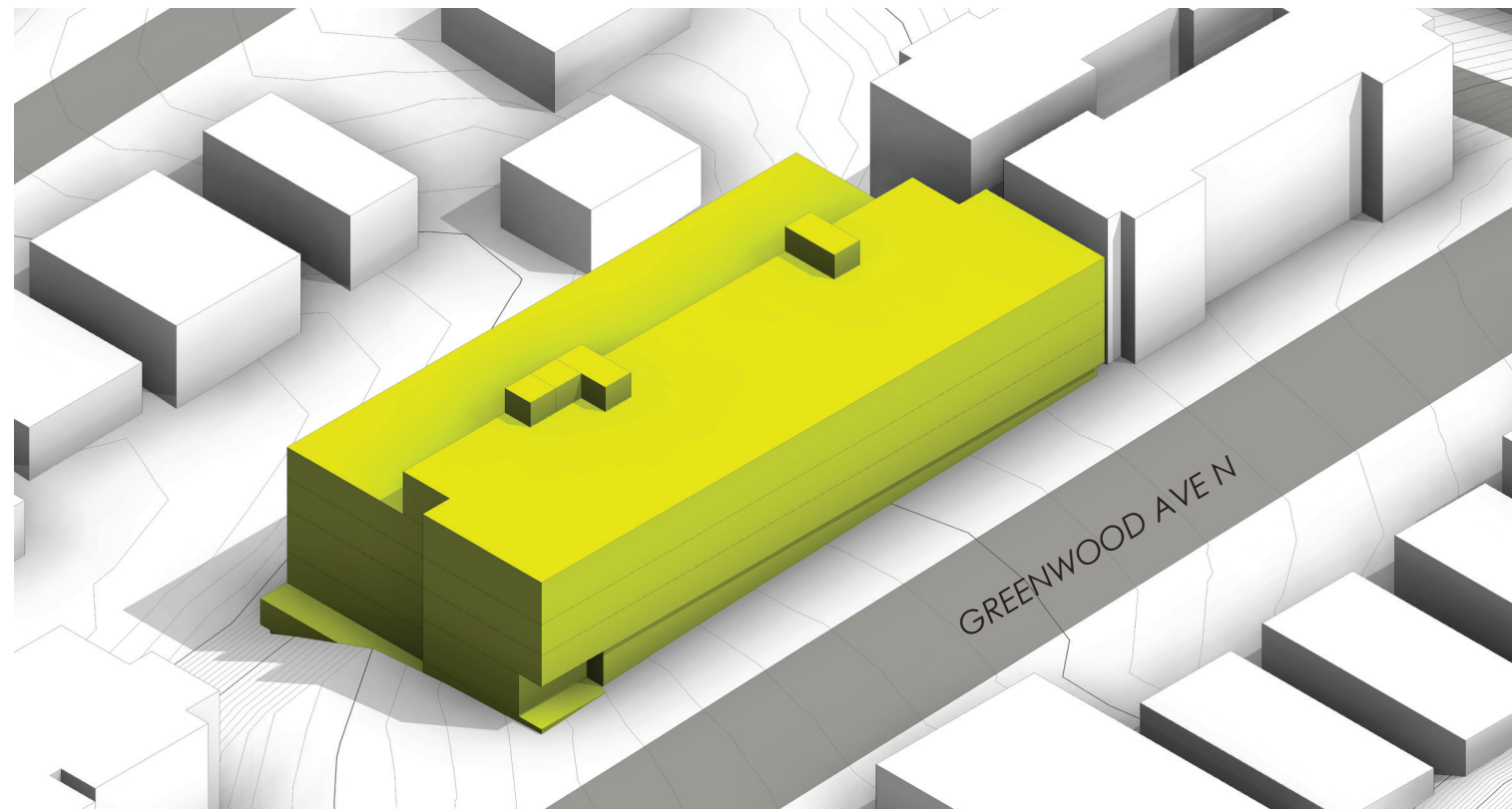


BUILDING SECTION

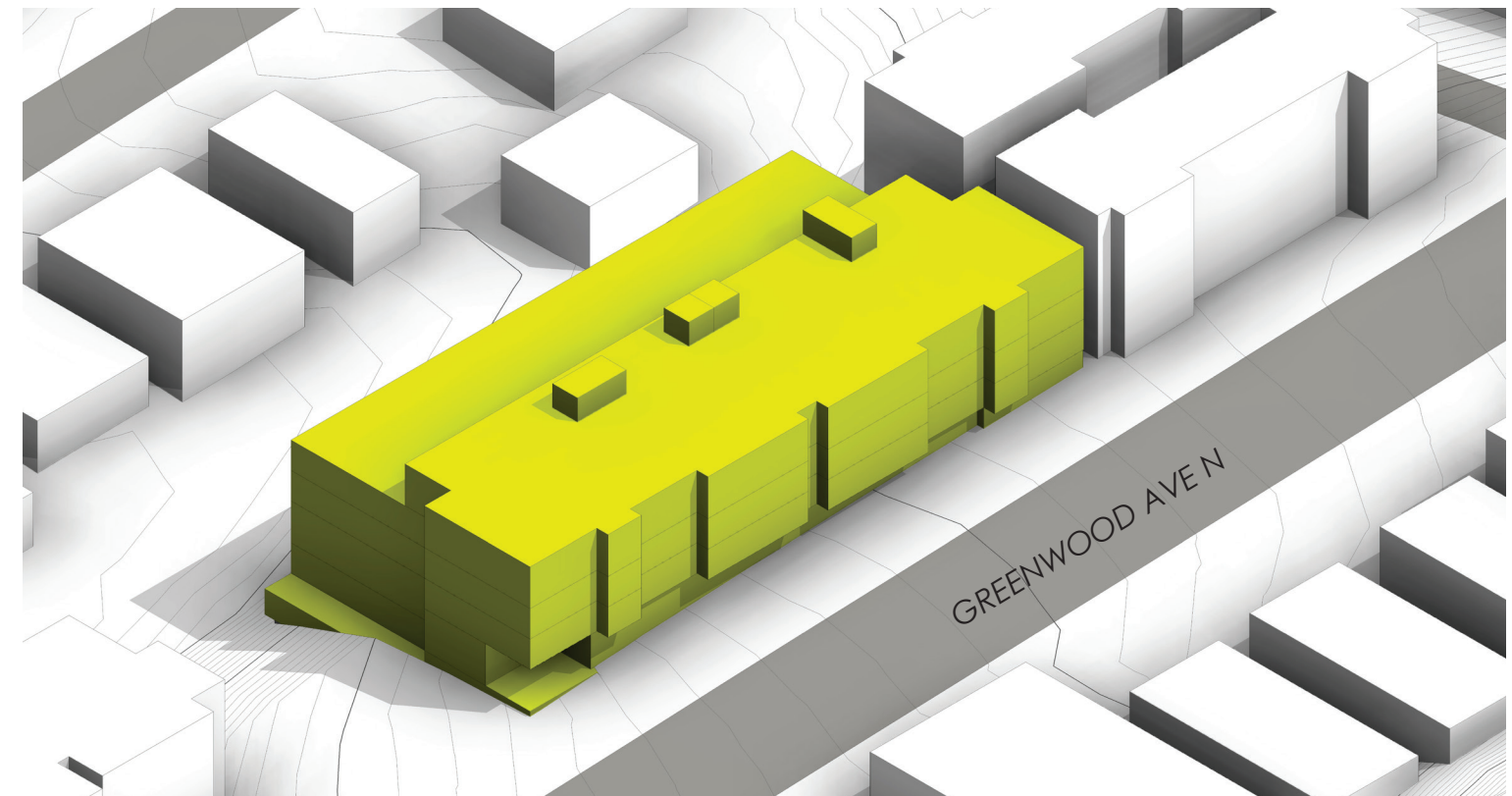


SITE SECTION

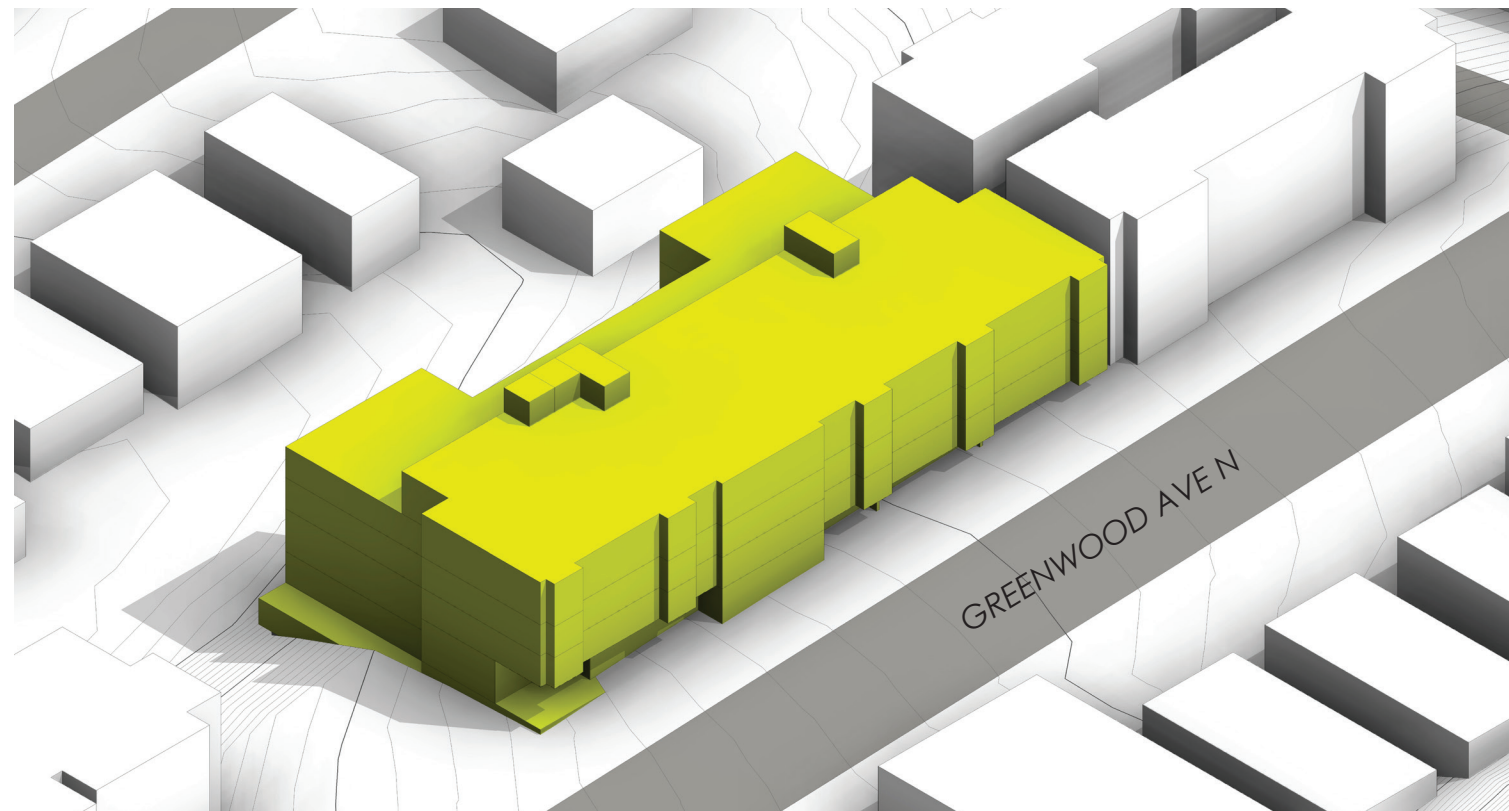
3 - MASSING OPTIONS



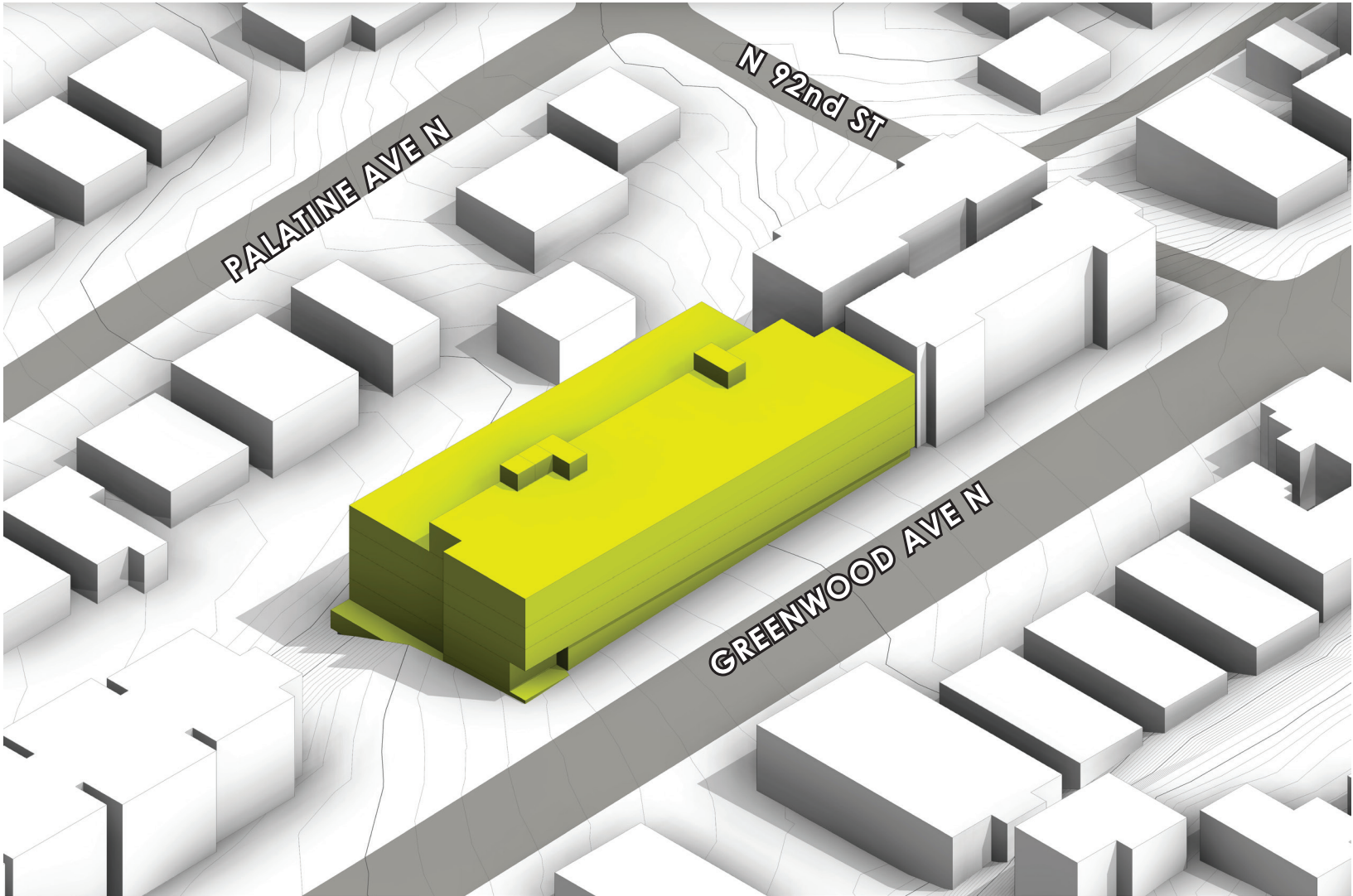
MASSING OPTION A
“CLEAN CORNERS”



MASSING OPTION B
“LARGE BAYS”



MASSING OPTION C
(preferred)
“DOUBLE TERRACE”



AXONOMETRIC VIEW

PROPOSAL:

This concept focuses on creating a more clean and contemporary overall form. The form caters to the “non-flamboyant” nature of the neighborhood, as outlined in the design guidelines, and offers opportunity for a fresh aesthetic. The building includes 4 levels of wood framed Type-V construction on the Greenwood Ave N exposure and 5 levels of Type-V construction on the western exposure. The wood construction is located over 2 below grade, concrete parking structures that terrace into the hill. A terrace is located on the western facing roof of level 4 where views of the Olympic Mountains can be captured. However, the “clean” mass of the building offers little modulation for the street facing exposure.

On the street level, a series of two story Live/Work lofts front the public ROW, providing increased commercial ceiling heights, ample glazing, and activity in the pedestrian realm. However, the lower level setback is minimal and does not allow for ample landscaping to occupy both edges of the sidewalk.

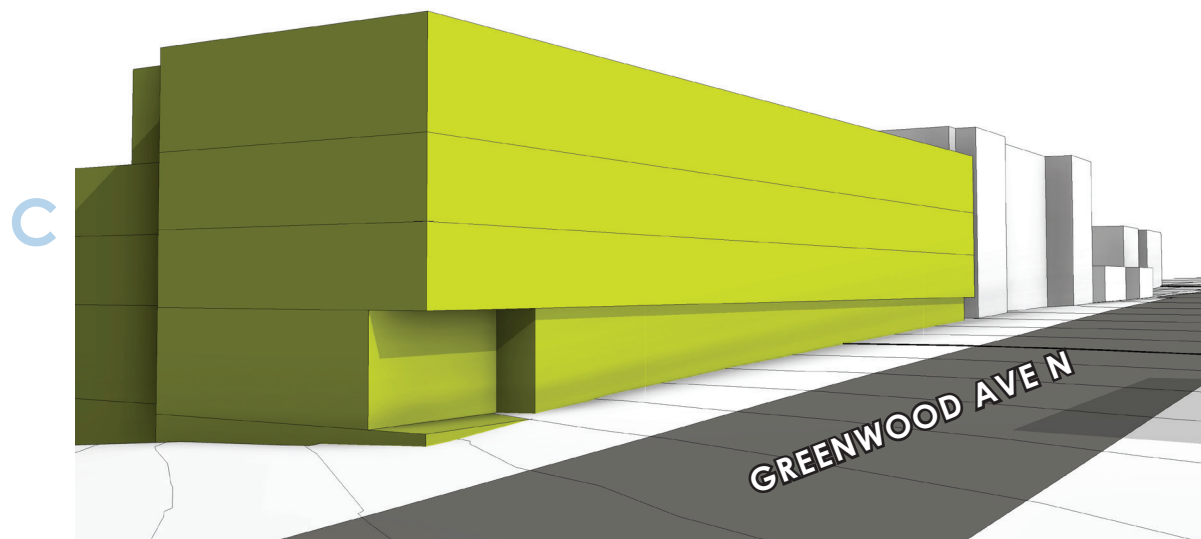
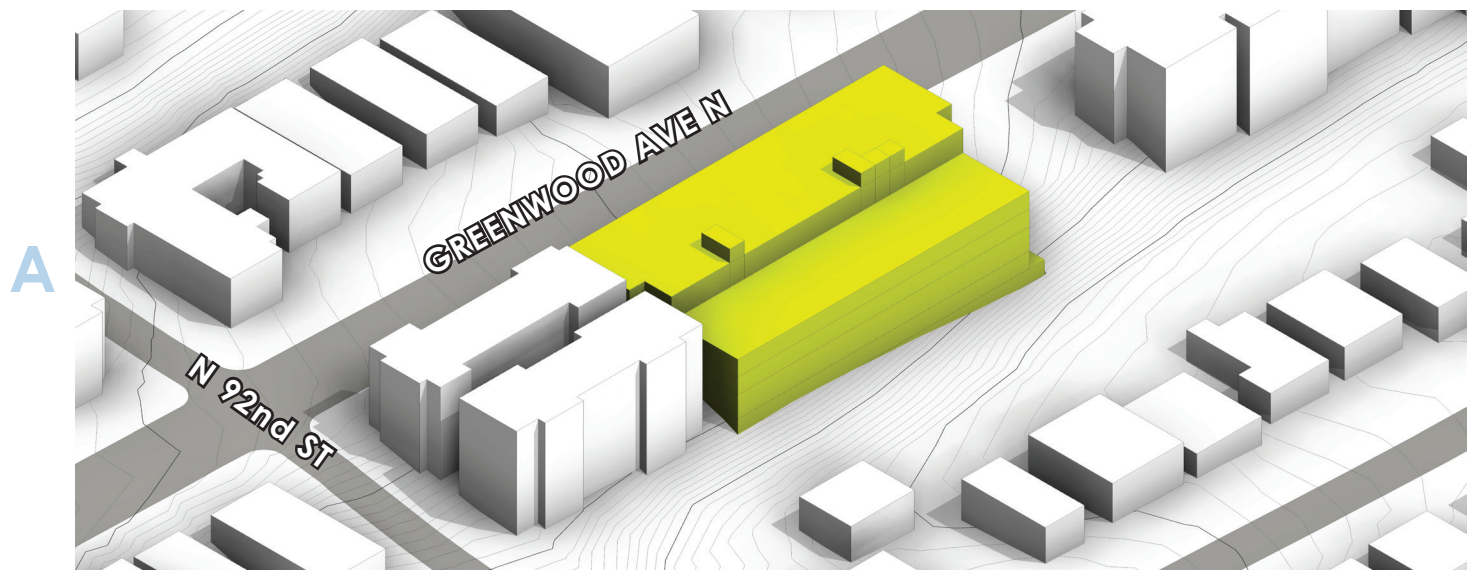
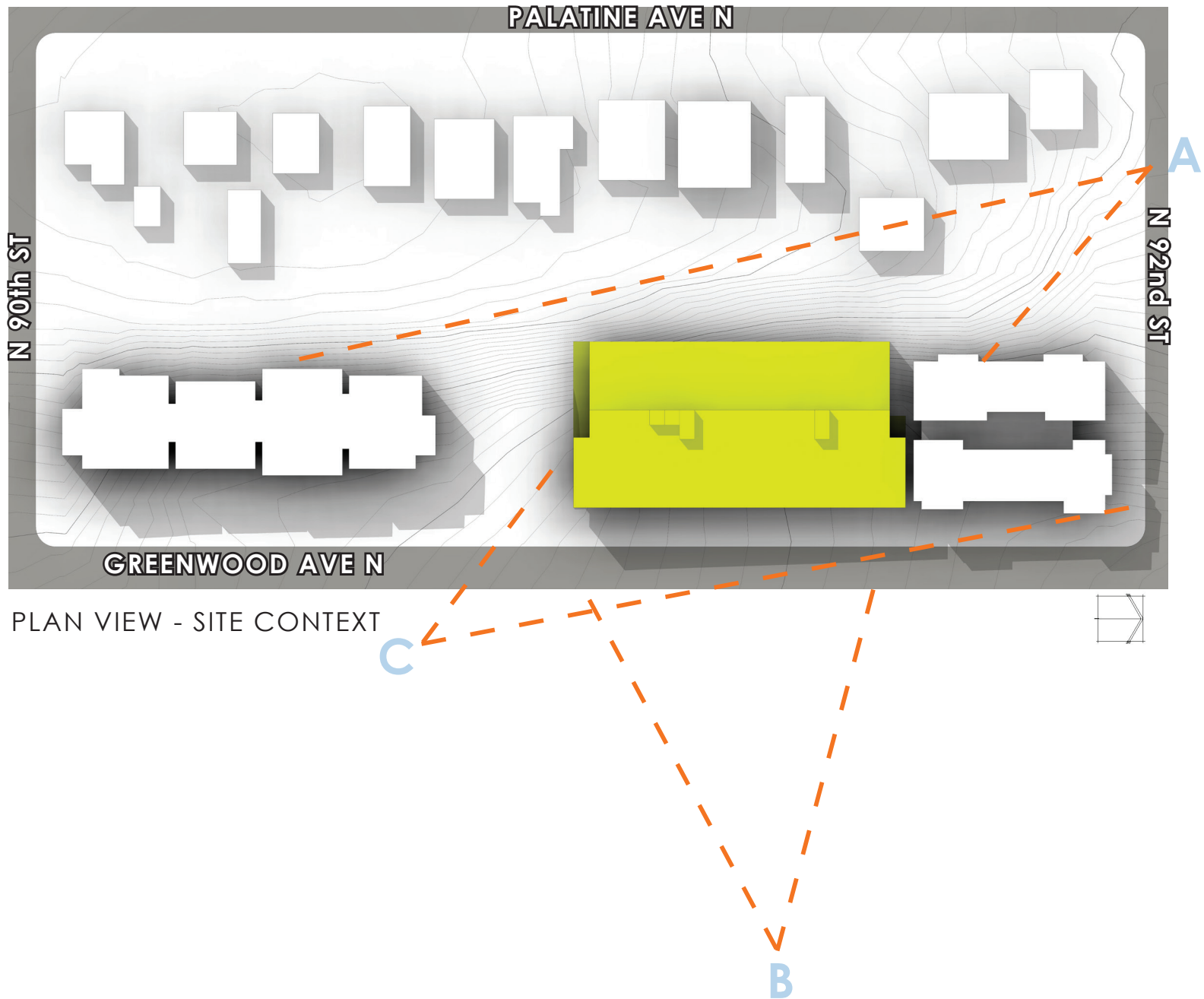
Parking is accessed from the SE corner of the site and the lower level parking is accessed via an internal ramp.

PROS:

- Increased roof terrace area for views and daylight, accessible to all residences.
- Increased commercial exposure on Greenwood Ave N
- Off-street parking

CONS:

- No modulation on the street-facing upper volume
- Large vertical exposure facing the single family homes
- Decreased street-level setback for landscaping
- Decreased defensible space & privacy for the ground level L/W units
- Lessened sense of hierarchy for the primary residential entries
- Lack of building overhang for weather protection
- Parking access and primary building access are in close proximity





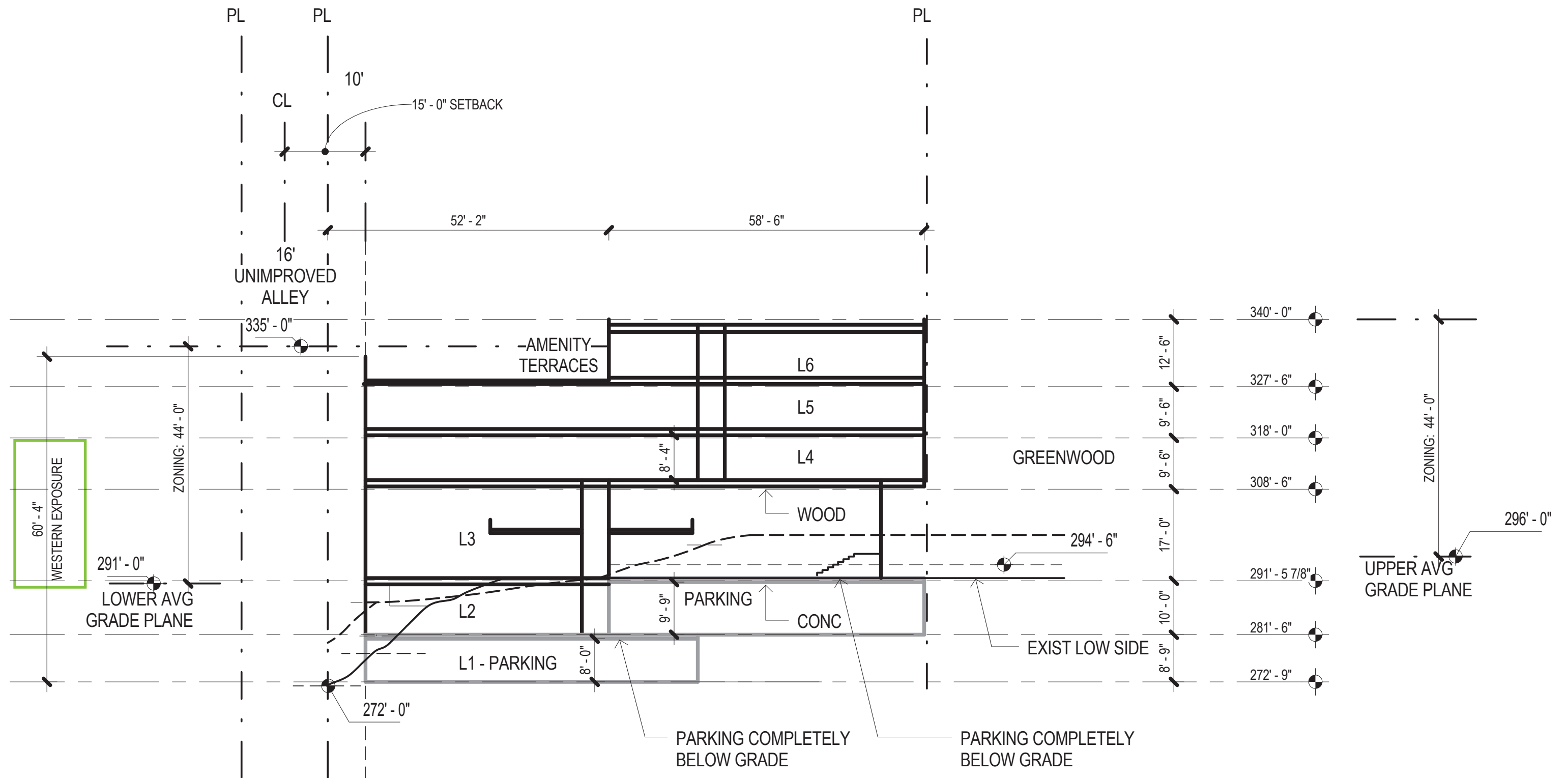
1



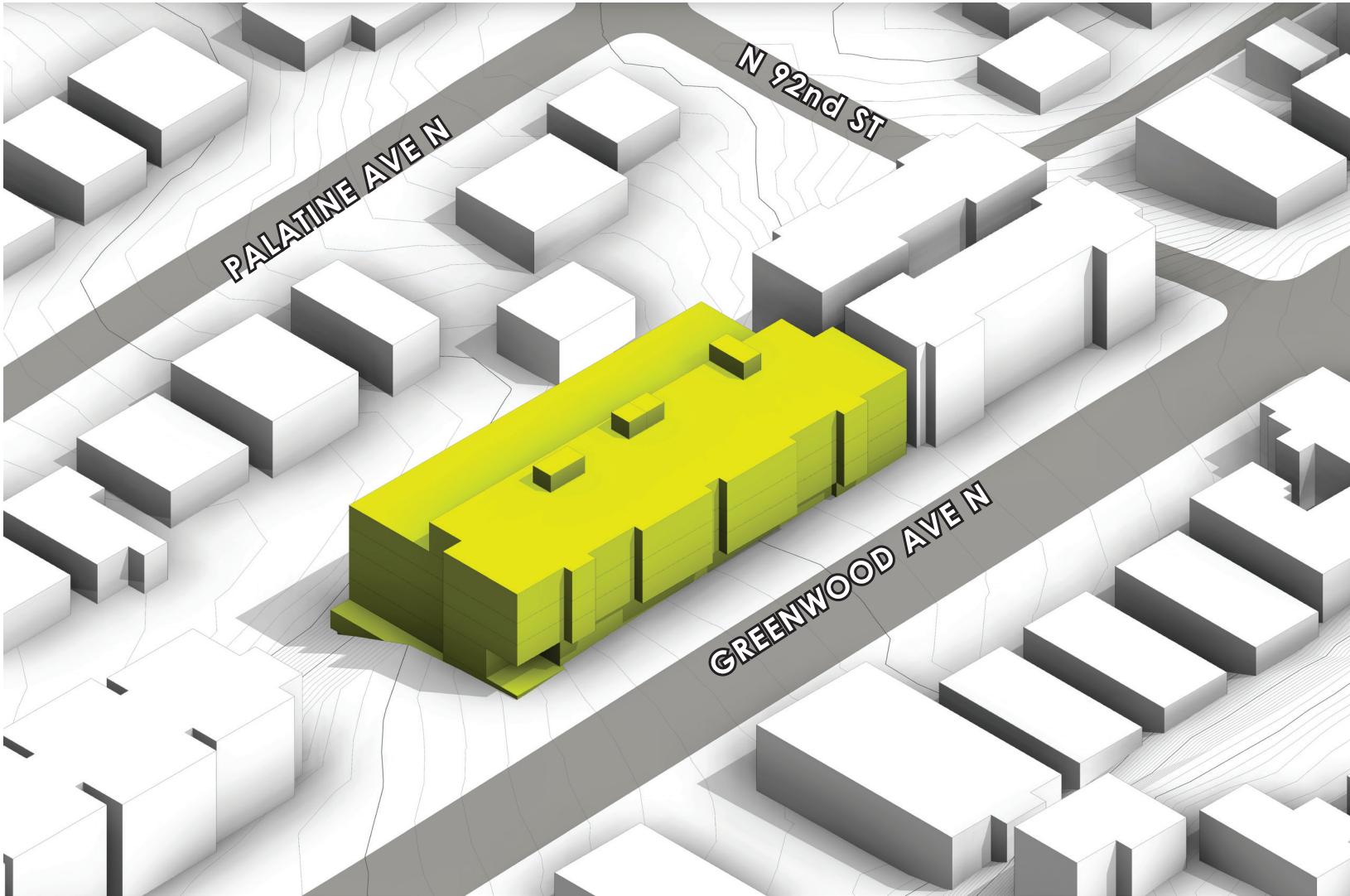
2



(3)



BUILDING SECTION



AXONOMETRIC VIEW

PROPOSAL:

This concept focuses on creating a centralized rhythm of smaller and larger portions of modulation. The form caters to a sense of hierarchy and leans toward a traditional expression. The building includes 4 levels of wood framed Type-V construction on the Greenwood Ave N exposure and 5 levels of Type-V construction on the western exposure. The wood construction is located over 2 below grade, concrete parking structures that terrace into the hill. A terrace is located on the western facing roof of level 4 where views of the Olympic Mountains can be captured. However, the modulation does not relate directly to the lower level entry conditions.

On the street level, a series of two story Live/Work lofts front the public ROW, providing increased commercial ceiling heights, ample glazing, and activity in the pedestrian realm. Although the setback is increased to provide some pedestrian weather protection, it does not quite accomplish a sense of defensible space for the ground level units.

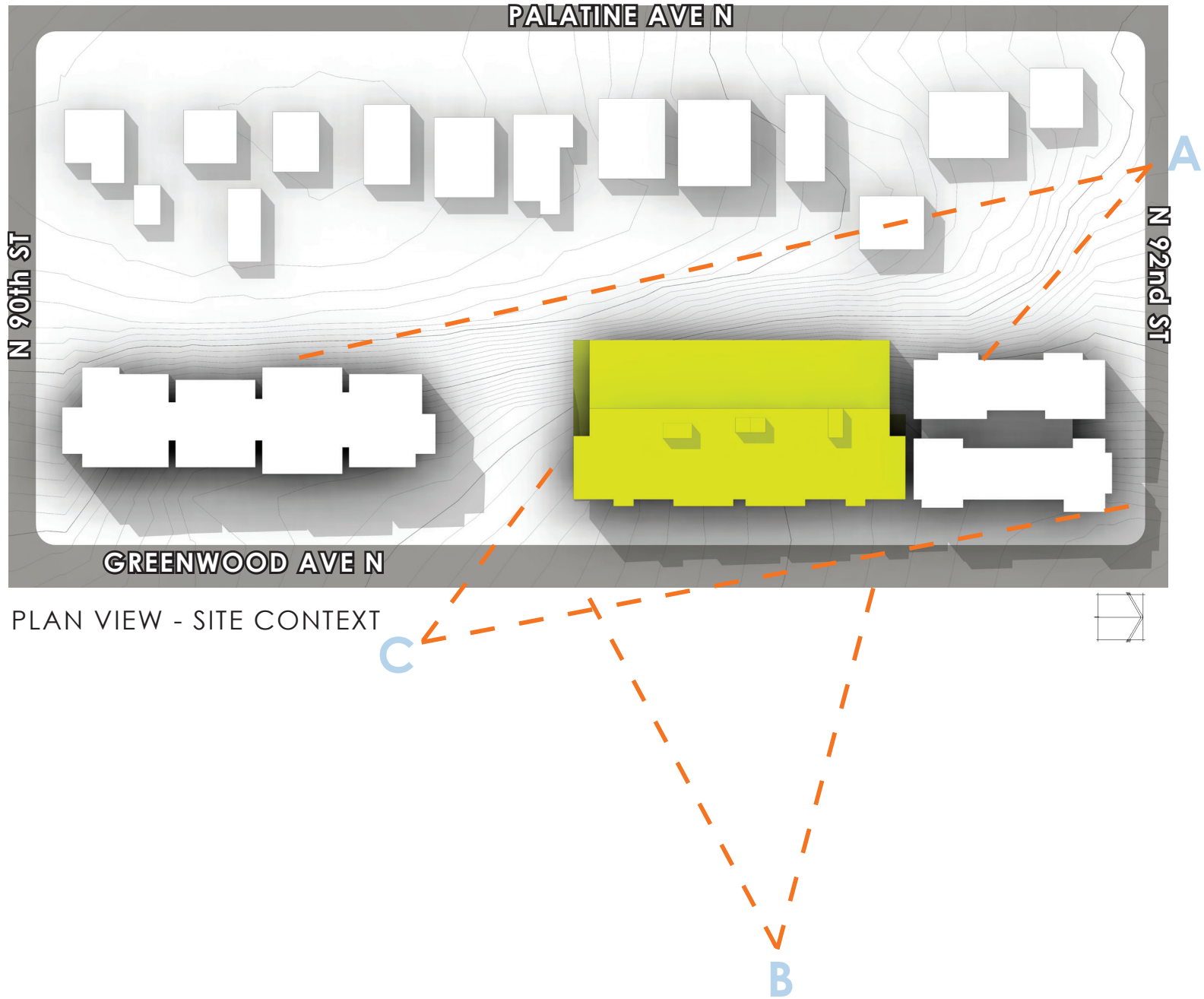
Parking is accessed from the SE corner of the site and the lower level parking is accessed via an internal ramp.

PROS:

- Increased roof terrace area for views and daylight, accessible to all residences.
- Increased commercial exposure on Greenwood Ave N
- Modulation on the street facing facade
- Off-street parking

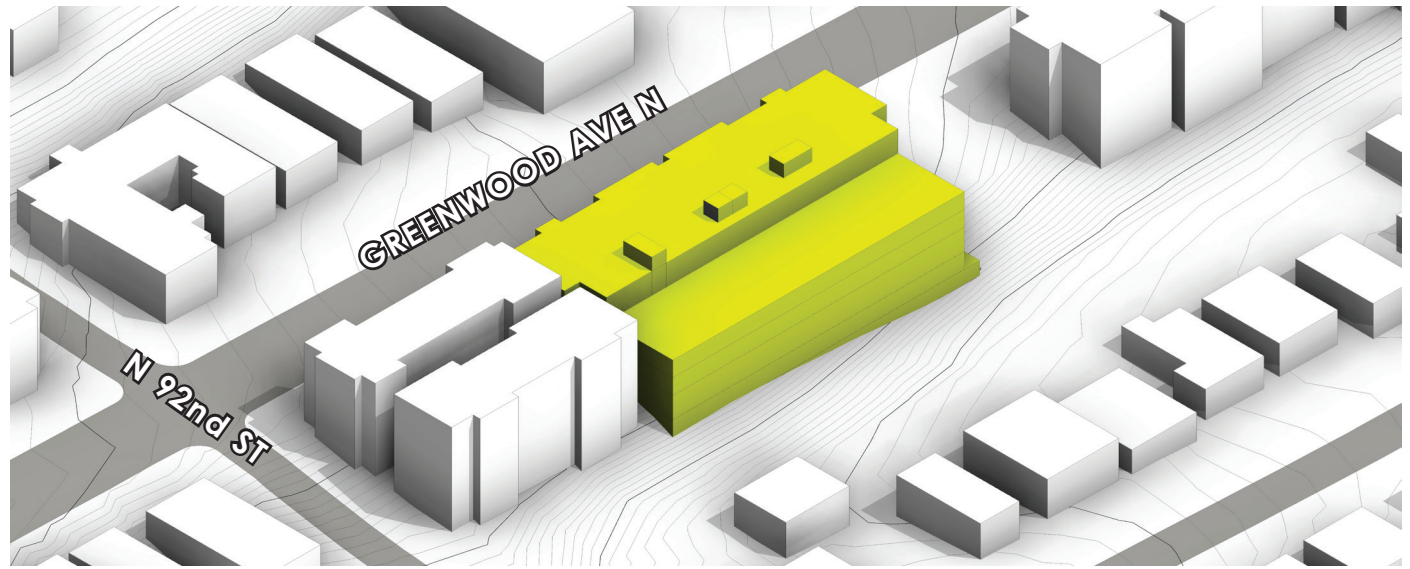
CONS:

- Modulation does not relate to the ground level condition
- Large vertical exposure facing the single family homes
- Street level setback does not provide defensible space
- Parking access and primary building access are in close proximity



PLAN VIEW - SITE CONTEXT

A



AXONOMETRIC - CORNER OF N 92nd ST & GREENWOOD AVE N

B



BIRD'S EYE PERSPECTIVE VIEW TOWARDS FRONT FACADE - VIEW LOOKING WEST

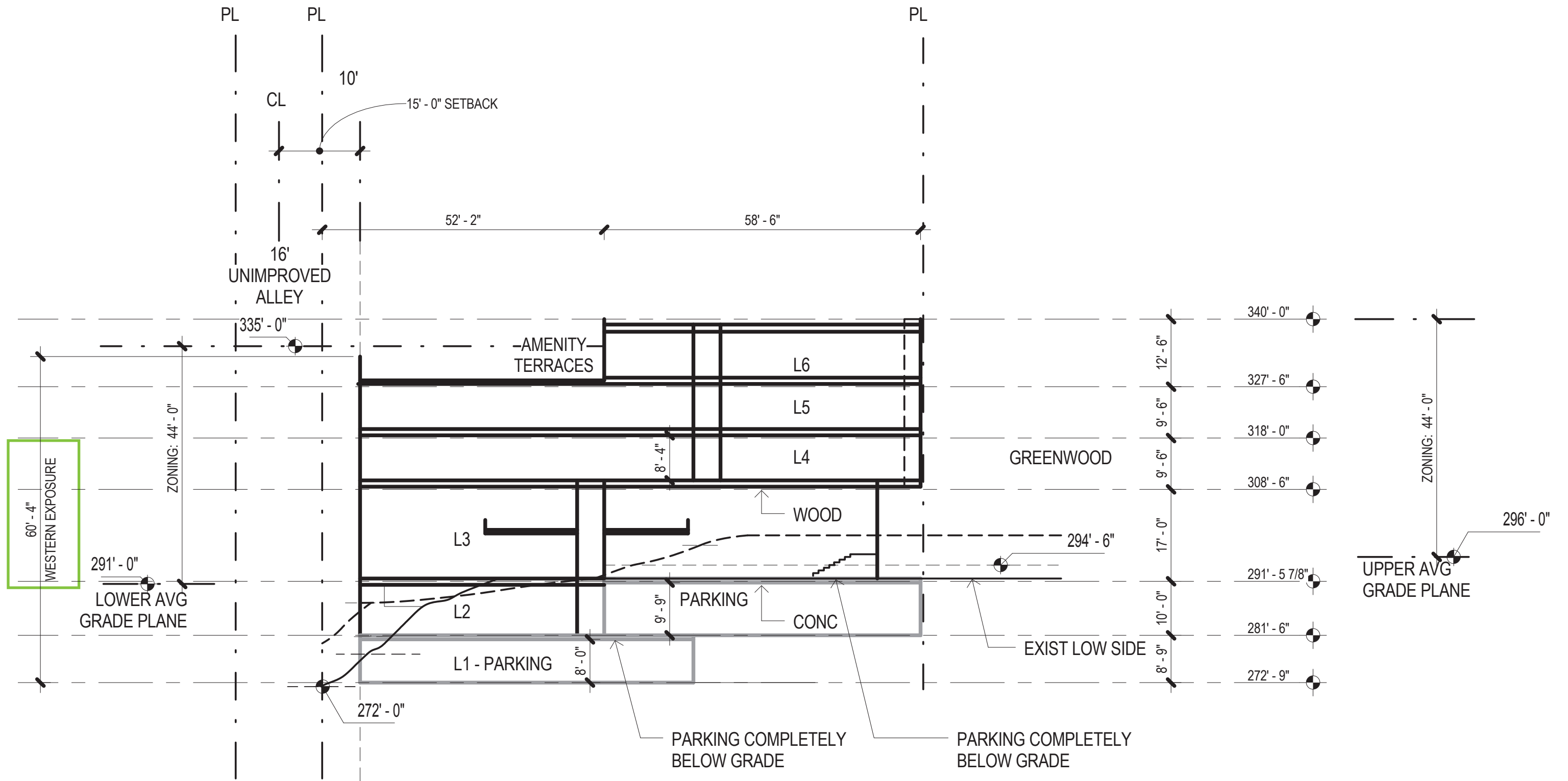
C



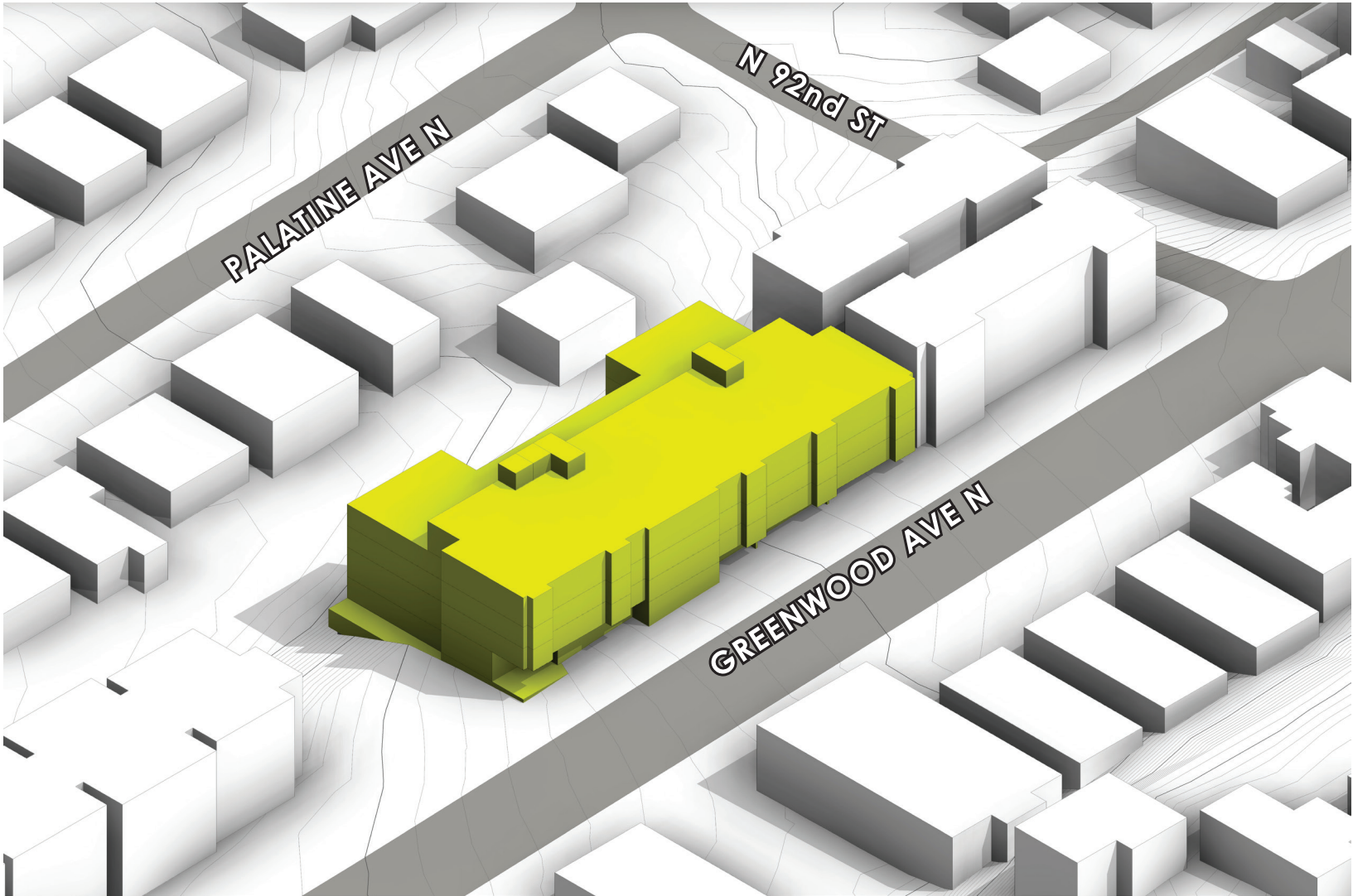
STREET PERSPECTIVE-LOOKING NORTH



TYPICAL FLOOR PLANS



BUILDING SECTION



AXONOMETRIC VIEW

PROPOSAL:

This concept focuses on creating a rhythm of modulation that draws direct relationship to the ground level condition. The form caters to a sense of hierarchy and introduces modulation in a way that more contemporary in nature. The building includes 4 levels of wood framed Type-V construction on the Greenwood Ave N exposure and 5 levels of Type-V construction on the western exposure. However, the mass is reduced on the western exposure by carving out a second, lower terrace level. The wood construction is located over 2 below grade, concrete parking structures that terrace into the hill. The outdoor roof space becomes a more linear element that pulls back from the edge of the property, thus offering increase privacy for the adjacent single family zone.

On the street level, a series of two story Live/Work lofts front the public ROW, providing increased commercial ceiling heights, ample glazing, and activity in the pedestrian realm. The setback is increased to provide ample pedestrian weather protection and enough ground level space to create at-grade entry courts for each L/W unit. This offers defensible space that also helps to designate each business' individuality.

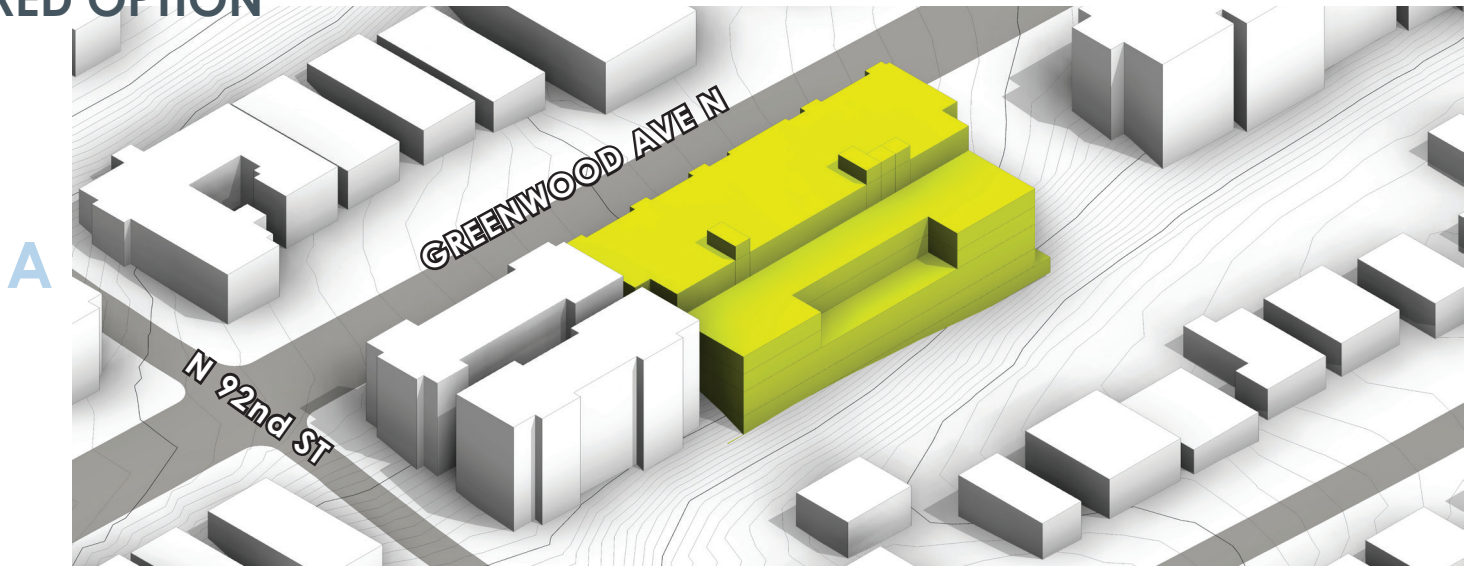
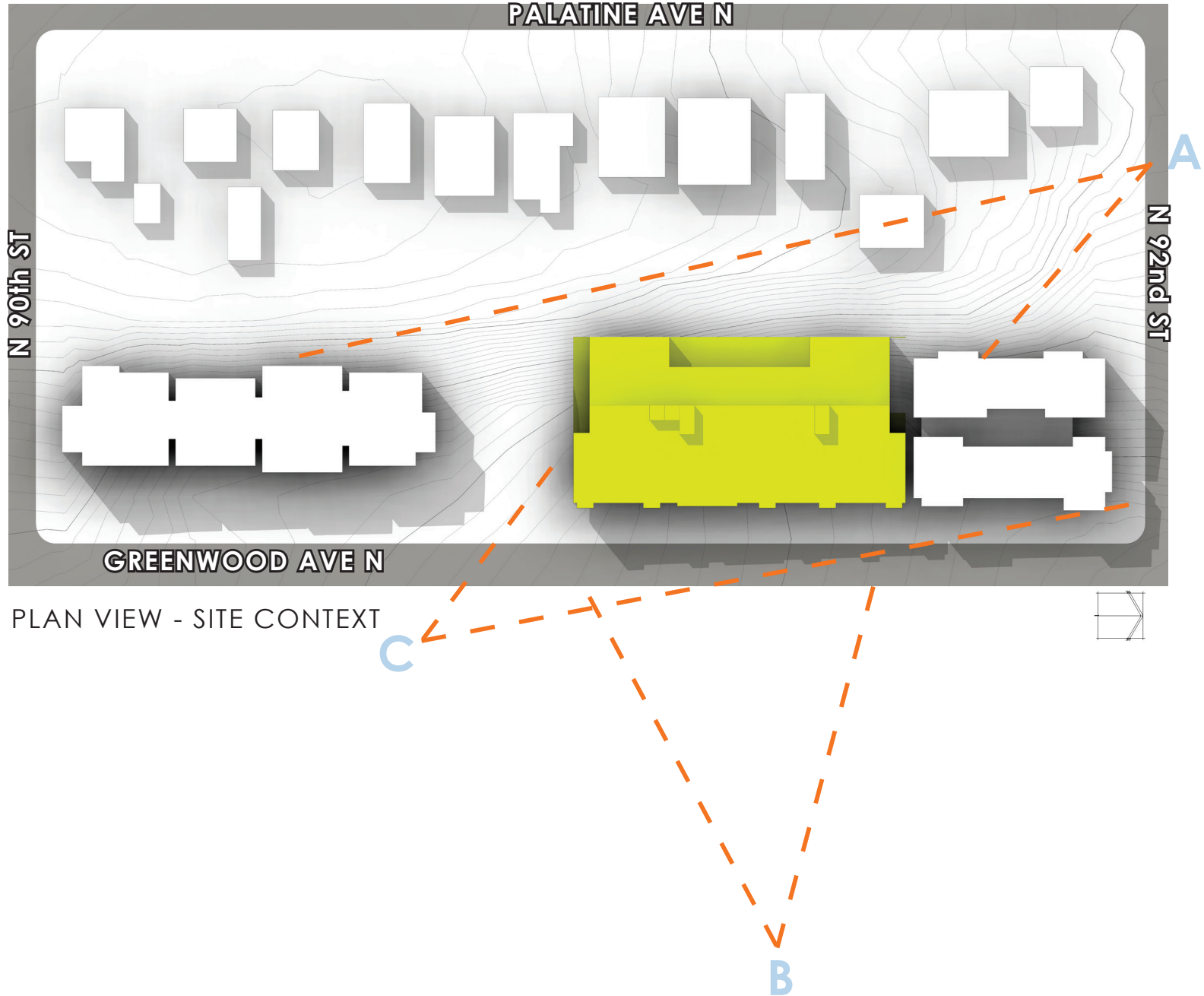
Parking is accessed from the SE corner of the site and the lower level parking is accessed via an internal ramp.

PROS:

- Decreased vertical exposure on the west façade
- Linear roof terrace provides views while increasing privacy for single family zone
- Increased commercial exposure on Greenwood Ave N
- Modulation on the street facing façade that directly relates to ground level
- Off-street parking
- Defensible space for individual L/W units
- Increased weather protection on Greenwood Ave N
- Added separation between vehicular access and pedestrian access
- Reduces the perceived scale from single family zone
- Introduction of commercial component

CONS:

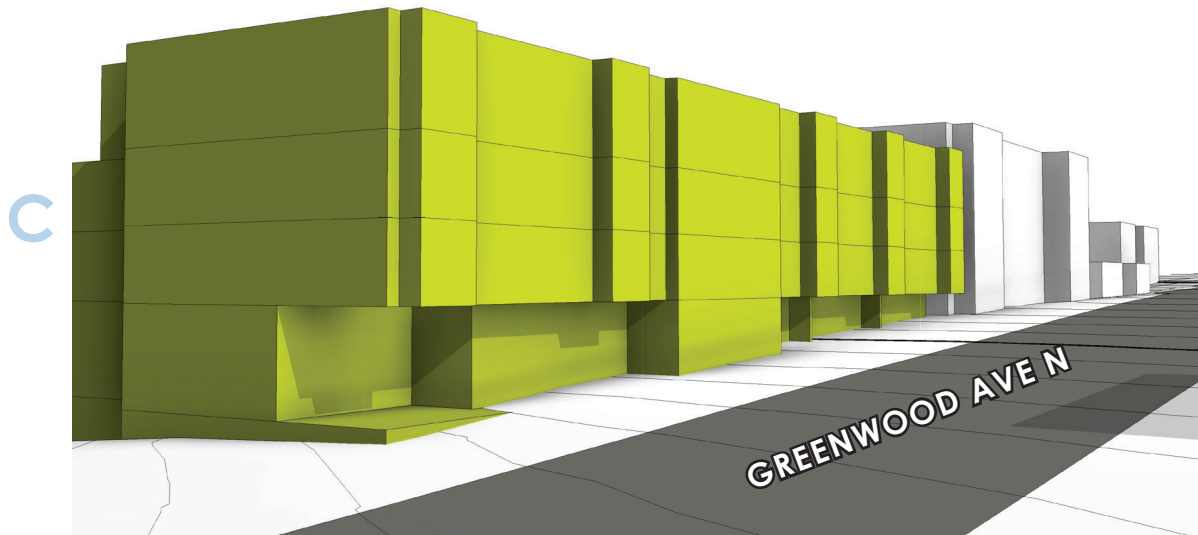
- Decreased sunlight for the lower level terrace
- Decreased depth of amenity terrace on roof



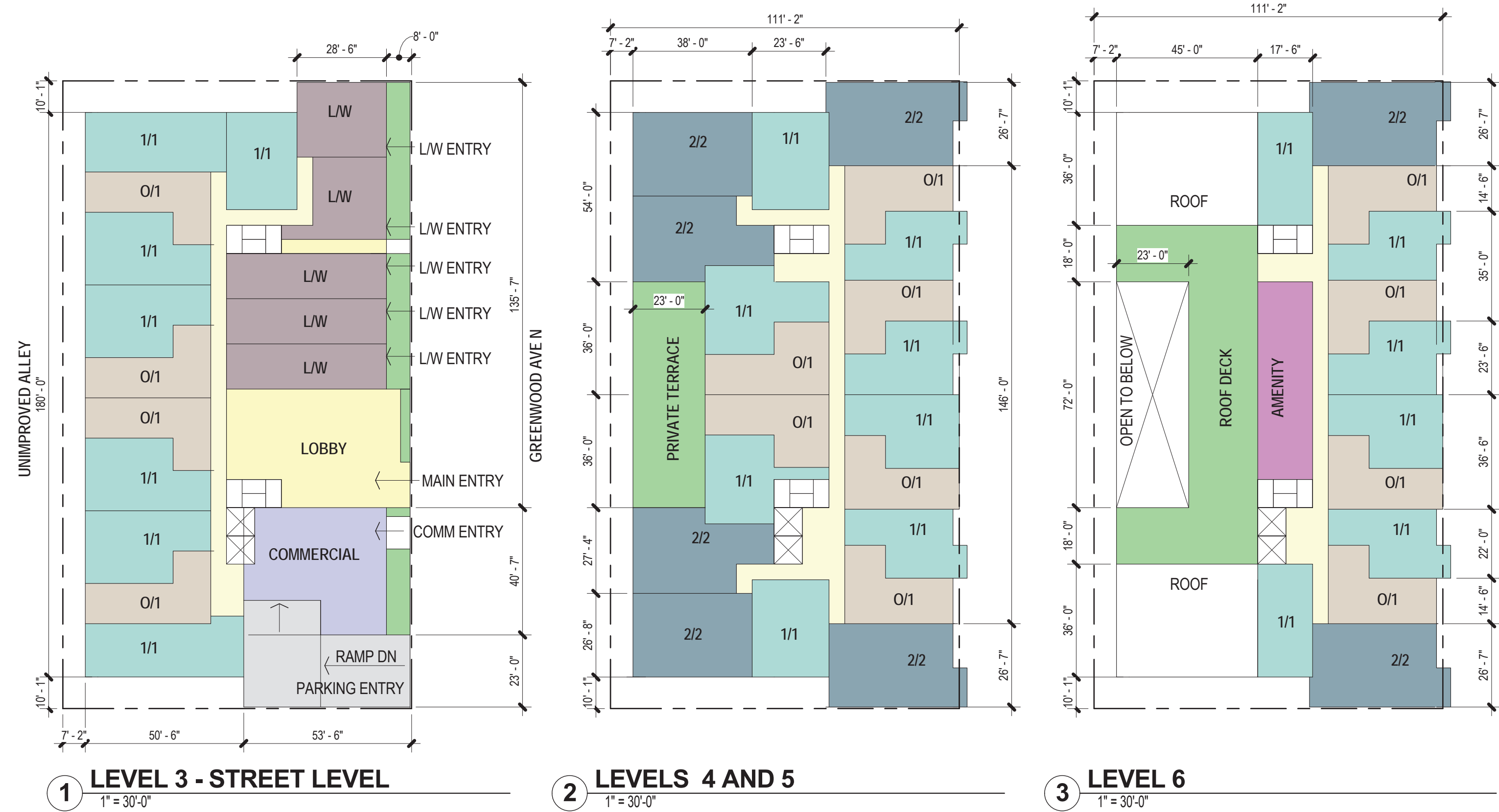
AXONOMETRIC - CORNER OF N 92nd ST & GREENWOOD AVE N



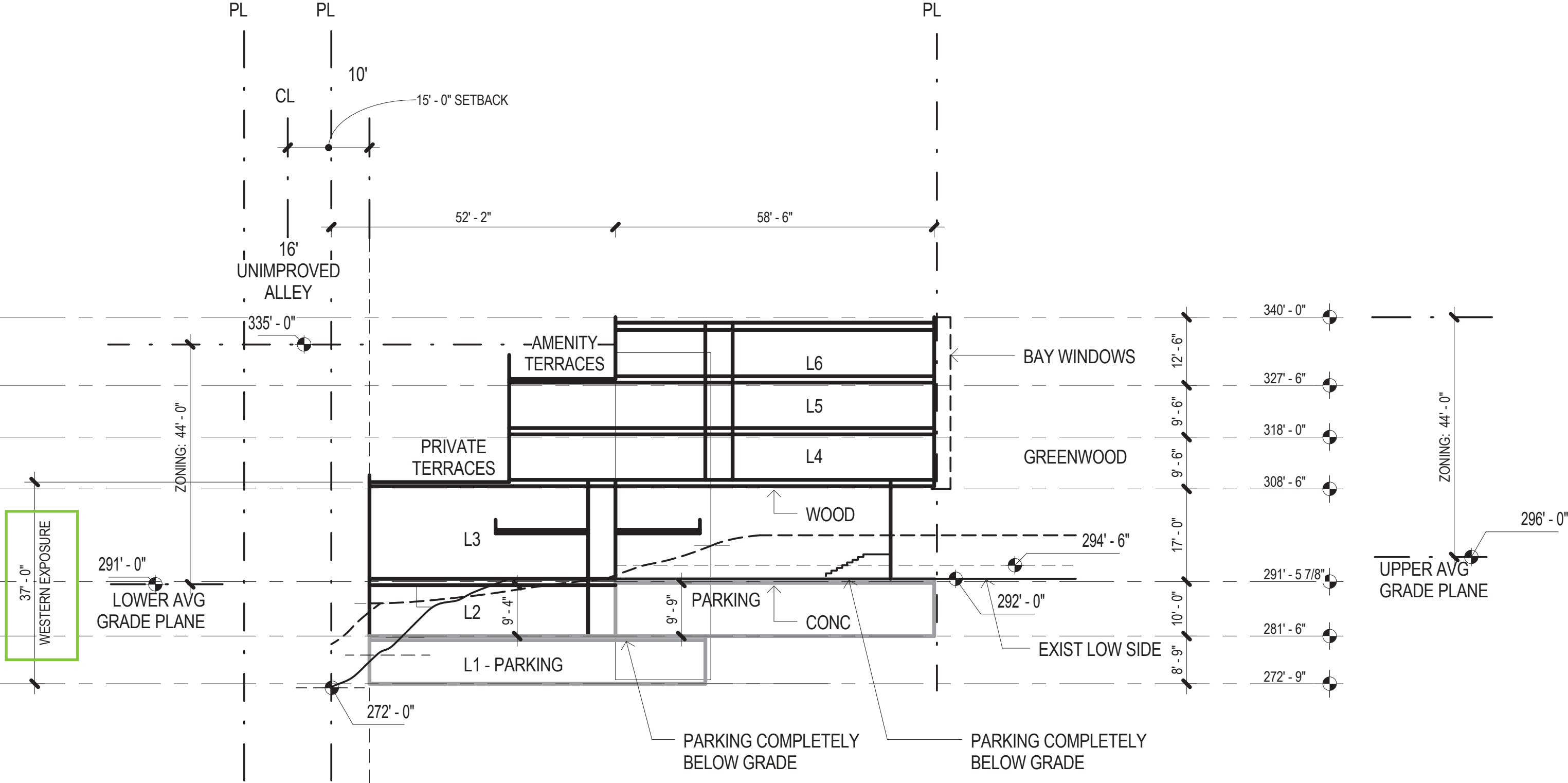
BIRD'S EYE PERSPECTIVE VIEW TOWARDS FRONT FACADE - VIEW LOOKING WEST



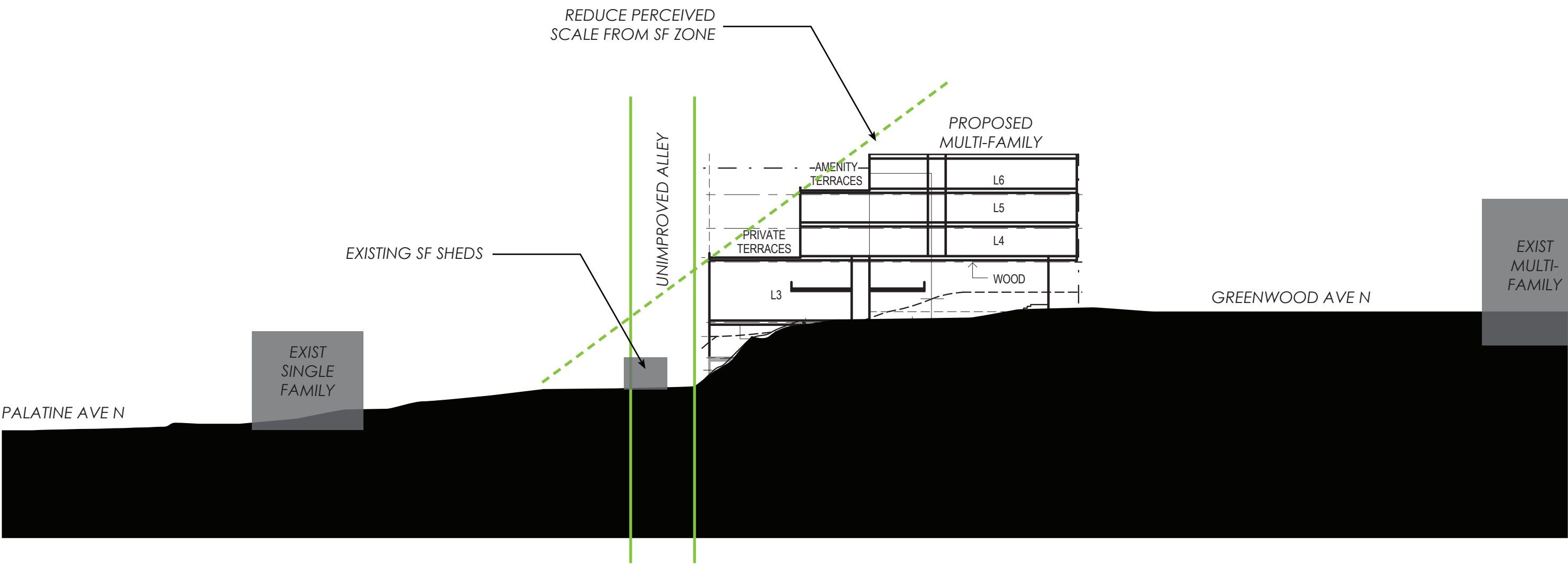
STREET PERSPECTIVE-LOOKING NORTH



TYPICAL FLOOR PLANS



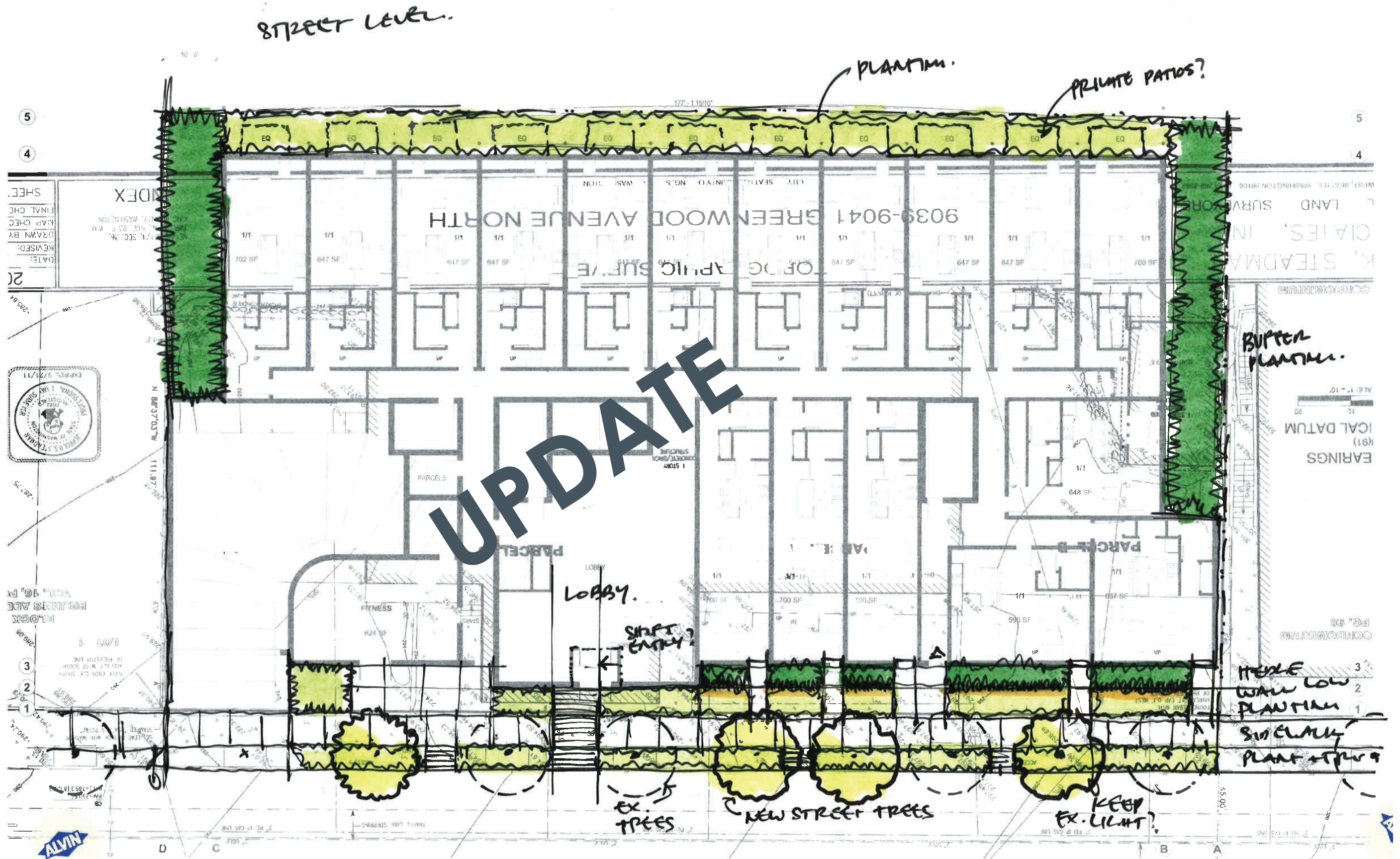
BUILDING SECTION

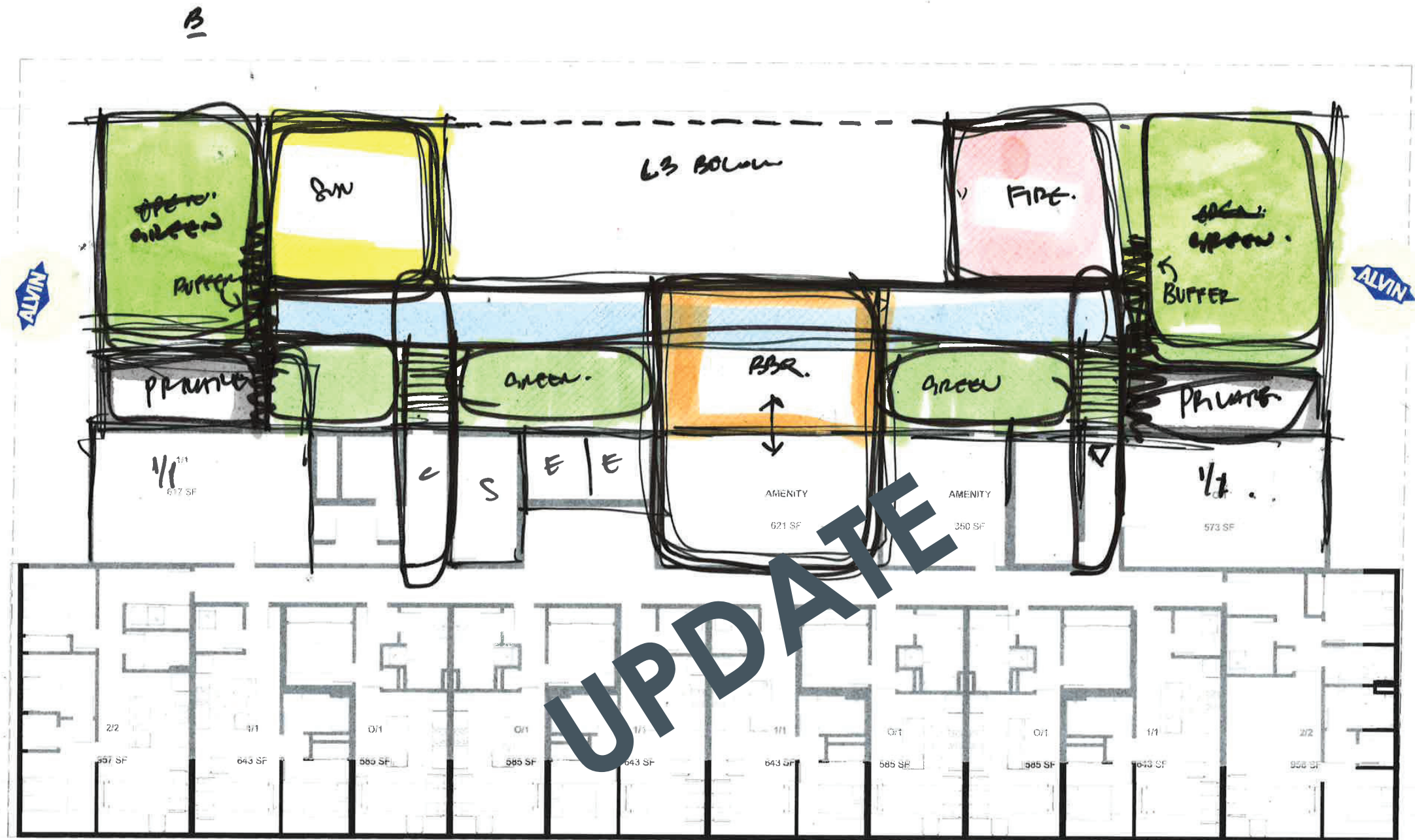


SITE SECTION - RESPONSE TO CONTEXTUAL ZONING

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4 - LANDSCAPE DESIGN | STREET LEVEL CONCEPT





5 - KEY DESIGN GUIDELINES

CS2 - URBAN PATTERN AND FORM

CS2. II. - Height, Bulk and Scale Compatibility | i. Impact of New Buildings on the Street ; Zone Edges:

i. Impact of New Buildings on the Street:

Consider the setback of upper stories of new mixed-use development on Greenwood Avenue North and North/Northwest 85th Street to reduce the dominance of new buildings on the street.

Also, new commercial development should respect the small-scale historical pattern of storefronts on Greenwood Avenue North. Typically, the older storefronts are about 50 feet in width and feature brick, stone or other masonry units. Some also feature architectural details that provide interest and a human scale to the buildings.

Zone Edges: Careful siting, building design and massing are important to achieve a sensitive transition between more intensive and less intensive zones. Consider design techniques including:

- increasing the building setback from the zone edge at the ground level;
- reducing the bulk of the building's upper floors nearest to the less intensive zone;
- reducing the overall height of the structure; and
- using extensive landscaping or decorative screening.

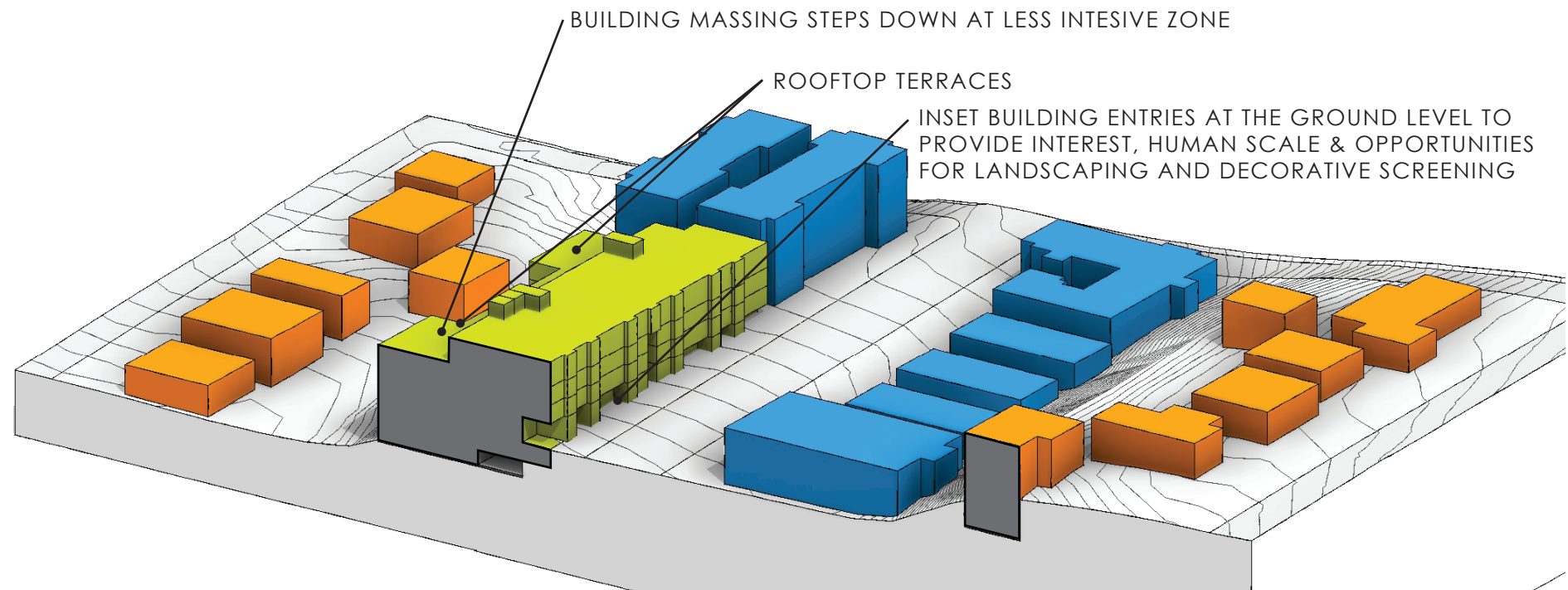
CS2. II. - RESPONSE:

A rhythm of Live/Work units facing the street will work to respect the scale and materiality of the small-scale historical pattern of storefronts. The juxtaposition of ample glazing with that of brick modules on the lower level will further reinforce this contextual relationship.

The overall mass of the structure takes on a "stepped" form. The stepping of the building down the hill helps to transition the bulk of the building toward the less intensive SF5000 zone to the west. The roof surfaces of the stepped form will be inhabited by lush landscape terraces that further soften the presence of the building.



STREET-LEVEL RHYTHM - SMALL SCALE PATTERN OF FENESTRATION AND BRICK



DIAGRAMMATIC BUILDING SECTION WITH CONTEXT

CS3 - Architectural Context and Character

CS3. I. - Architectural Concept and Consistency

Architectural Styles: The Greenwood Avenue North/Phinney Avenue North and North/Northwest 85th Street corridors are characterized by their utilitarian, non-flamboyant, traditional architectural styles (except for churches). Some important points to consider in making new development consistent and compatible with existing development include:

- i. small-scale architectural details at the ground level, including color, texture/patterns, materials, window treatment, sculptural elements, etc;
- ii. landscaping is an important component of the overall character, particularly for residential development; and
- iii. personalization of individual businesses is a key feature of both corridors.

CS3. I. - RESPONSE:

The overall form of the building offers a clean and contemporary form with “crisp” edges, and rigid modulation. These design characteristics relate to the more utilitarian architectural styles of the neighborhood. Through the use of modulation and material transition, the ground level will offer human scale texture and detailing. The recessed lower level offers the opportunity for landscaping to occupy both sides of the sidewalk that highlight the entry to each individual business entry. Signage will work in tandem with the landscaping to further reinforce this concept.

PL2 - Walkability

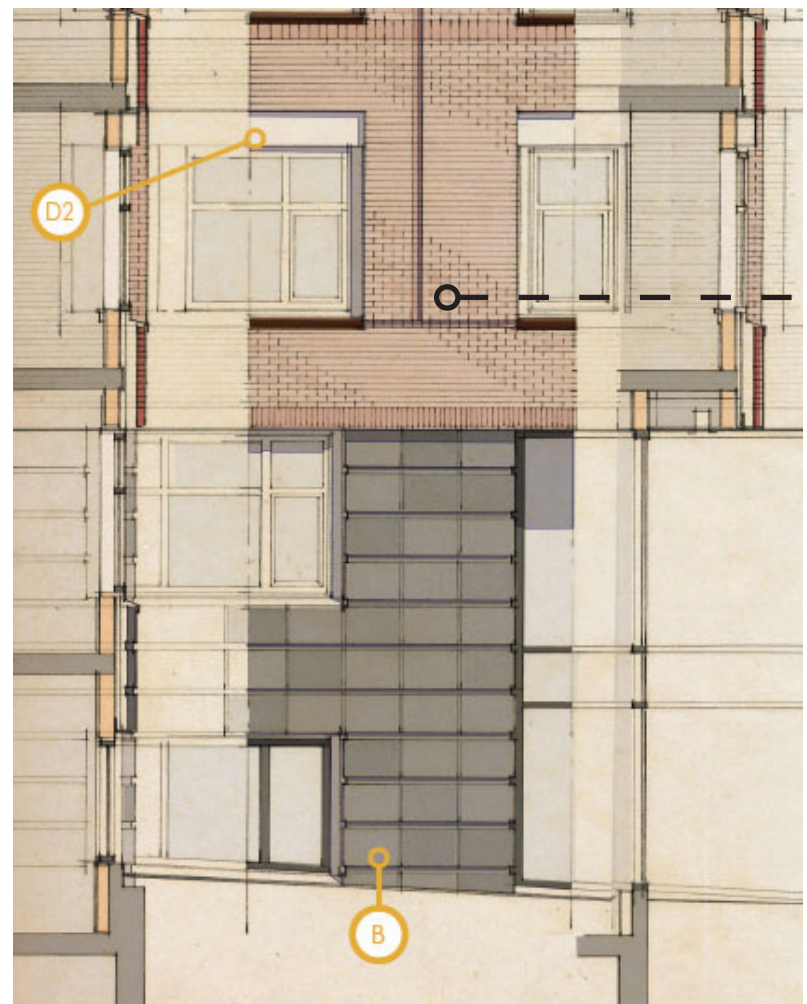
PL2. I - Pedestrian Open Spaces and Entrances

i. North/Northwest 85th Street Corridor and Greenwood Avenue North Corridor, North of North 87th Street: New development should enhance the pedestrian environment and encourage pedestrian activity along the North/Northwest 85th Street corridor and the Greenwood Avenue North corridor, north of North 87th Street. The following measures should be encouraged:

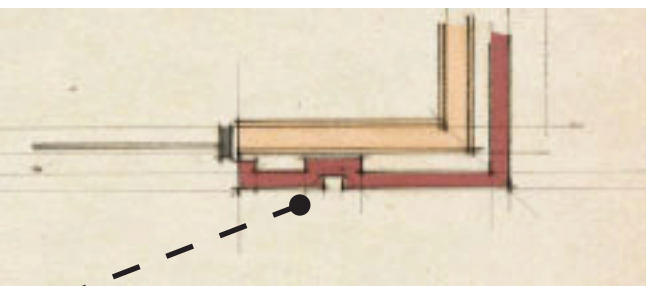
- a. Building entries facing the street
- b. Pedestrian-oriented facades
- c. Weather protection
- d. Below-grade parking, when possible

PL2. I. - RESPONSE:

Both the primary pedestrian entry and the individual entries for street-facing Live/Work units are oriented toward Greenwood Ave N. The street facing facade of the building introduces a small recess at the ground level to not only offer weather protection, but also offer a more human scale at the sidewalk. All parking for the project is proposed to be below below grade.



EXAMPLE - BRICK DETAILING



BRICK REVEAL DETAIL TO BREAK DOWN FACADE AND ADD SENSE OF HUMAN SCALE



TEXTURE, COLOR, & WAY-FINDING THROUGH LANDSCAPE & SIGNAGE



BUILDING ENTRY FACING STREET - WEATHER PROTECTION



EXAMPLE - RECESSED LOWER LEVEL HUMAN SCALE OVERHANG

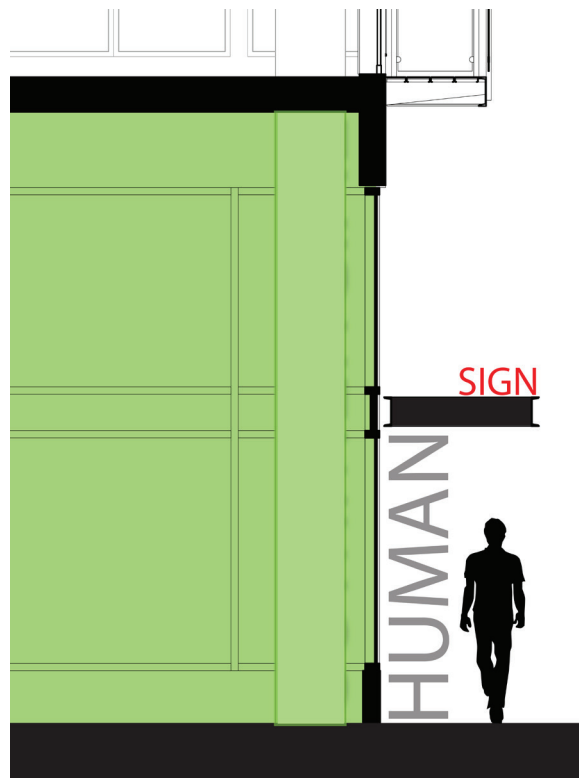
DC2 - Architectural Concept

DC2. II. - Human Scale

New multi-story developments should consider methods to coordinate a building's upper and lower stories. The parts should function as a composition—not necessarily requiring the top and bottom to be the same or similar.

DC2. II. - RESPONSE:

Working in conjunction with the recessed buffer zone, the residential planters and soffit overhangs will more appropriately bring the building to a human scale as it meets the sidewalk. These elements will provide interest at the eye level and elements of color through the use of lighting and landscaping. The slightly recessed lobby area and canopy will not only provide pedestrian friendly signage, but also provide weather protection.



EXAMPLE PROJECT - SIGNAGE & CANOPIES PROMOTE HUMAN SCALE

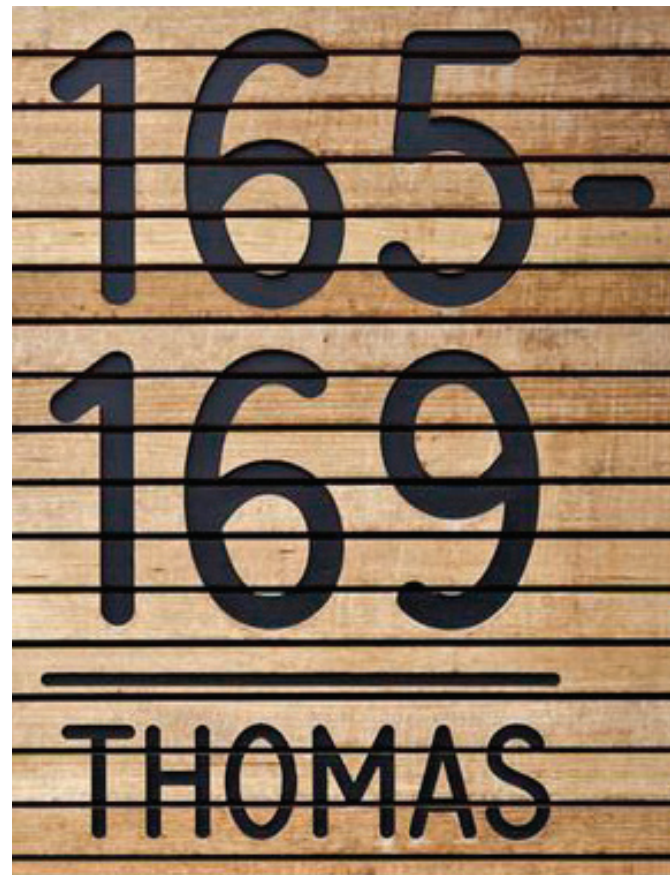
DC4 - Exterior Elements and Finishes

DC4. I. - Architectural Context | Signage

Signage: The design and placement of signs plays an important role in the visual character and identity of the community. Key aspects of this effort are to ensure that the signs are at an appropriate scale and fit in with the building's architecture and the local district. Small signs are encouraged in the building's architecture, along a sign band, on awnings or marquees, located in windows or hung perpendicular to the building façade.

DC4. I. - RESPONSE:

By using signage materials that relate to other architectural accent materials throughout the project, the signage can seamlessly integrate into the architectural language. Materiality that is selected for the landscape elements and entry canopies can draw relationships to the main building signage and address numbers for the individual Live/Work units.



EXAMPLE - ARCHITECTURAL AND APPROPRIATELY SCALED SIGNAGE

DC4 - Exterior Elements and Finishes

DC4. II. - Exterior Finish Materials

New buildings should feature durable, attractive and well-detailed finish materials.

i. Building Materials in the Greenwood Avenue North/Phinney Avenue North and North/Northwest 85th Street Corridors: Again, buildings within these corridors are characterized by their utilitarian, nonflamboyant, traditional architectural styles. Brick is the most common surface treatment in the commercial areas and should be encouraged. Plastic awnings should be strongly discouraged. As an alternative, architectural canopies are encouraged to provide weather protection and a place for business signage.

DC4. II. - RESPONSE:

In response to both the historical continuity and the desire to create a cohesive appearance, a clear organization will be created within the fenestration patters. This organization will be further reinforced by materiality and landscape relationships at the ground level. A simple palette of colors and textures will be implemented as to create architectural interest in a way that remains timeless to the surrounding neighborhood context.

CORNER WINDOW DETAILING — — —
GANGED WINDOWS & PRONOUNCED 'FIN' — — —
BRICK EXTERIOR — — —



SIMPLE, YET ELEGANT MATERIAL PALETTE & FENESTRATION TO RELATE TO CONTEXT



EXAMPLE PROJECT - ARCHITECTURAL CANOPIES WITH BUILDING SIGNAGE

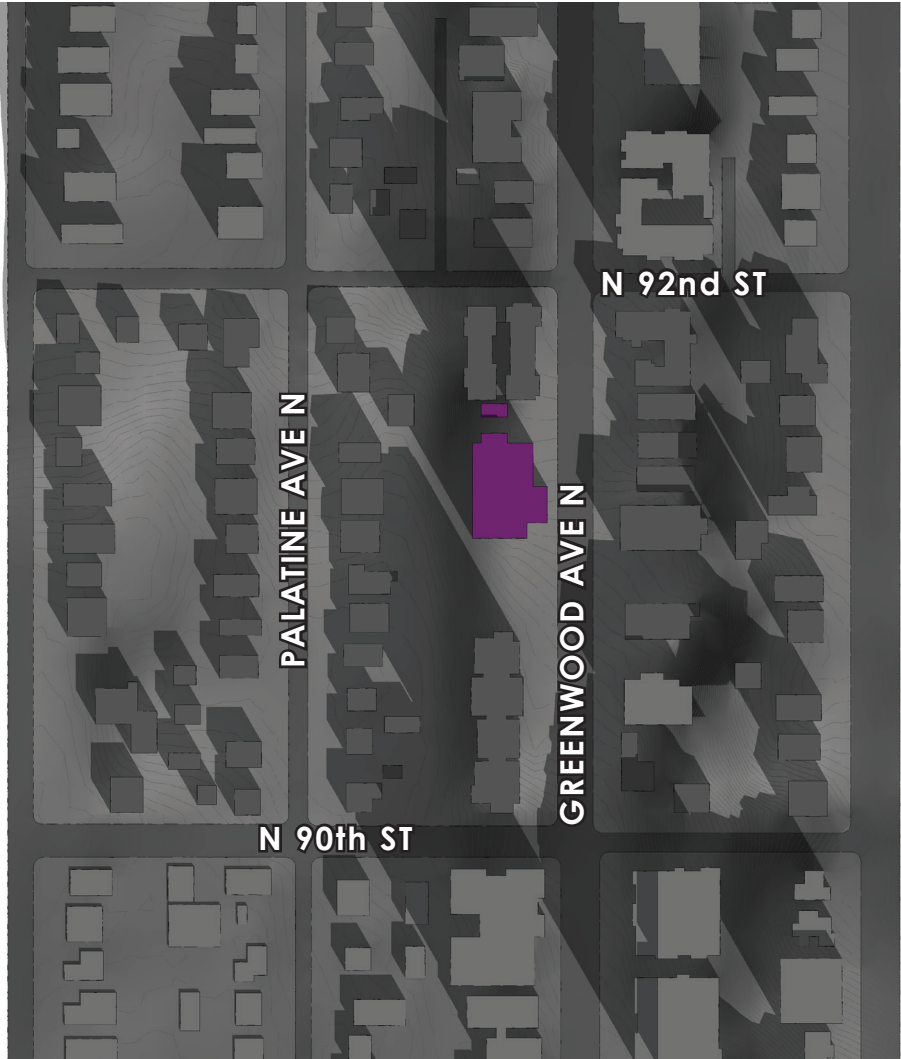


VIEW LOOKING SOUTH ON GREENWOOD AVE N



VIEW OF GROUND LEVEL RESIDENTIAL ENRIES ALONG GREENWOOD AVE N

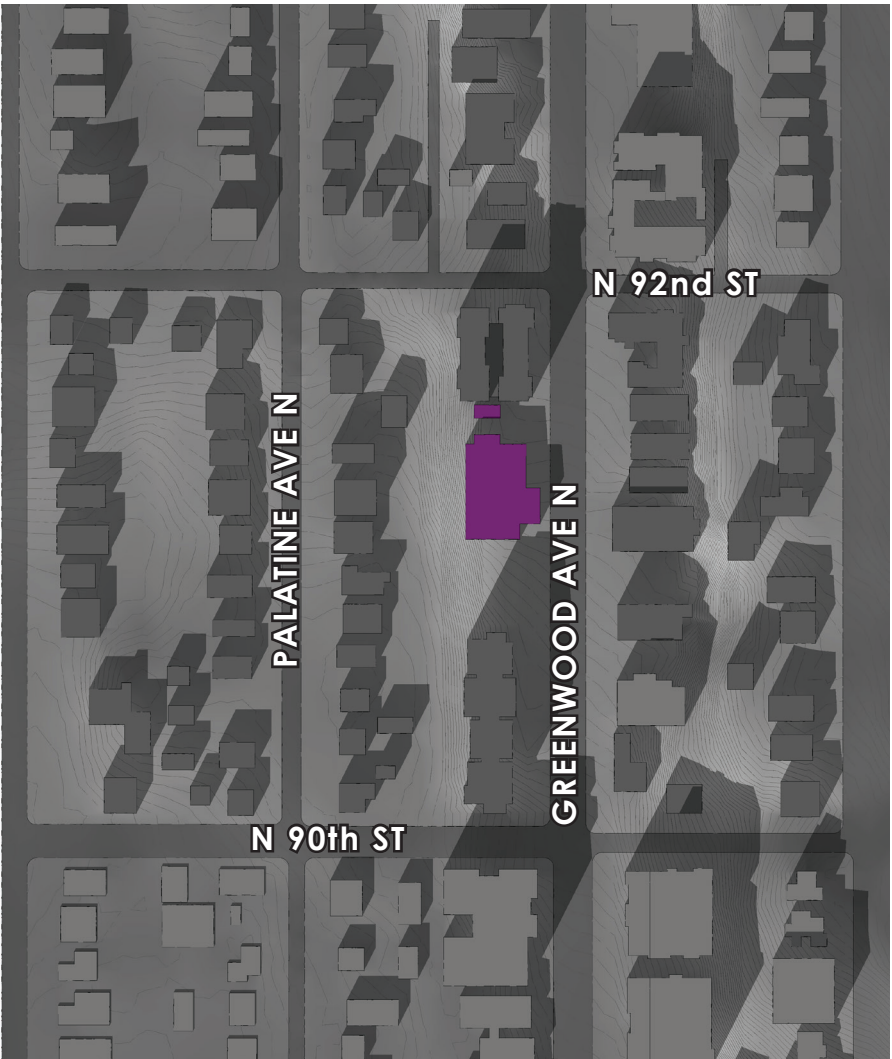
EXISTING SUN STUDY - WINTER SOLSTICE



WINTER SOLSTICE
DECEMBER 21ST
10 AM



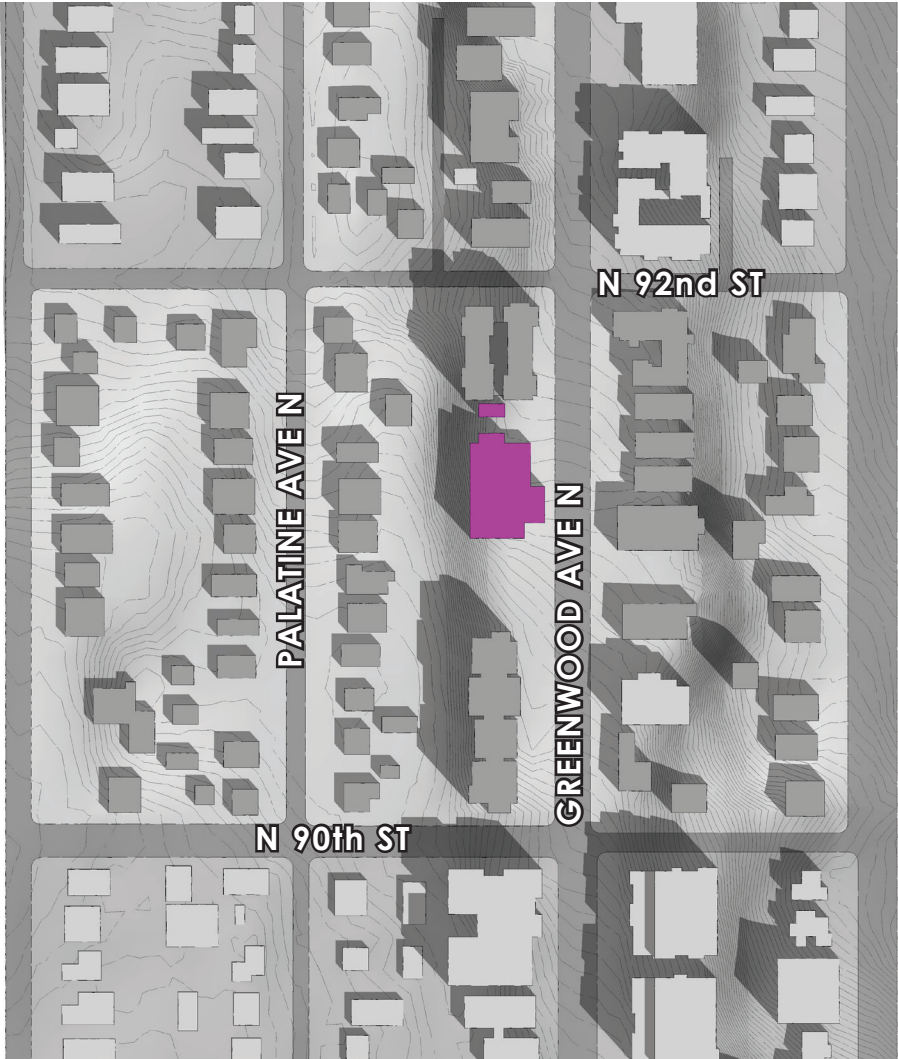
WINTER SOLSTICE
DECEMBER 21ST
12 PM



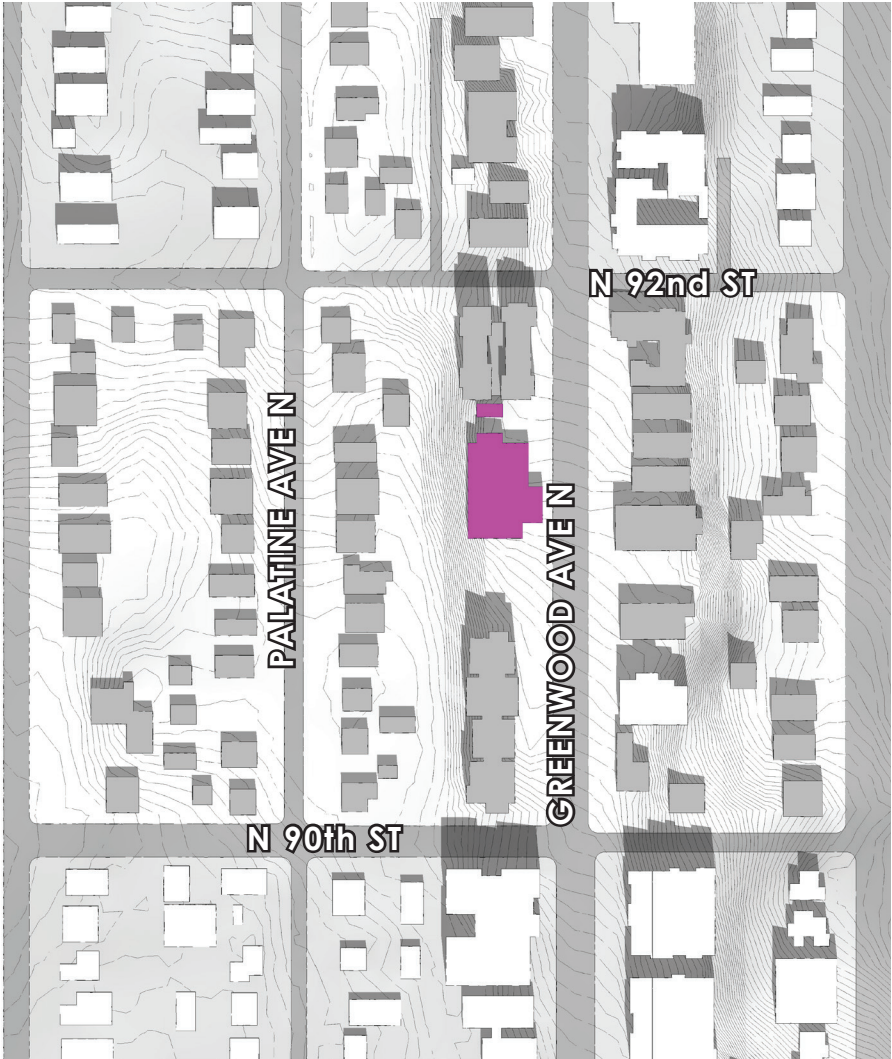
WINTER SOLSTICE
DECEMBER 21ST
2 PM



EXISTING SUN STUDY - SPRING EQUINOX



SPRING EQUINOX
MARCH 20TH
10 AM



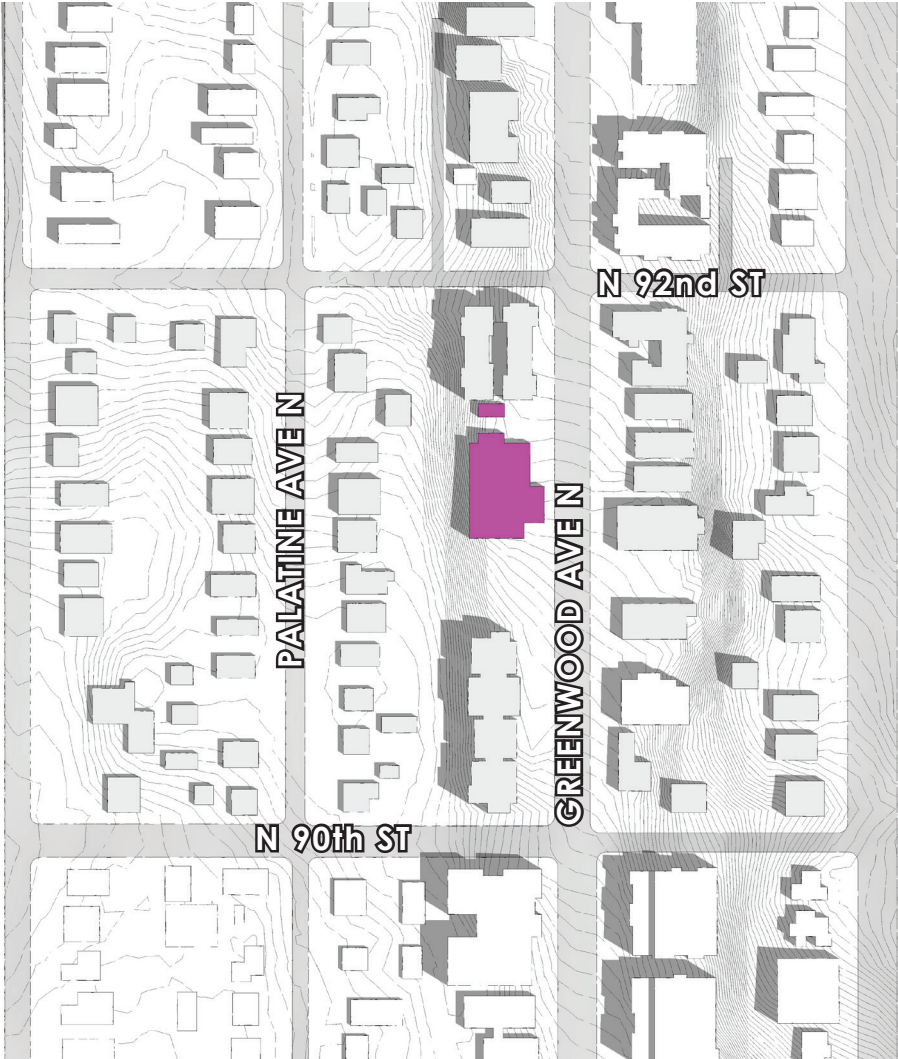
SPRING EQUINOX
MARCH 20TH
12 PM



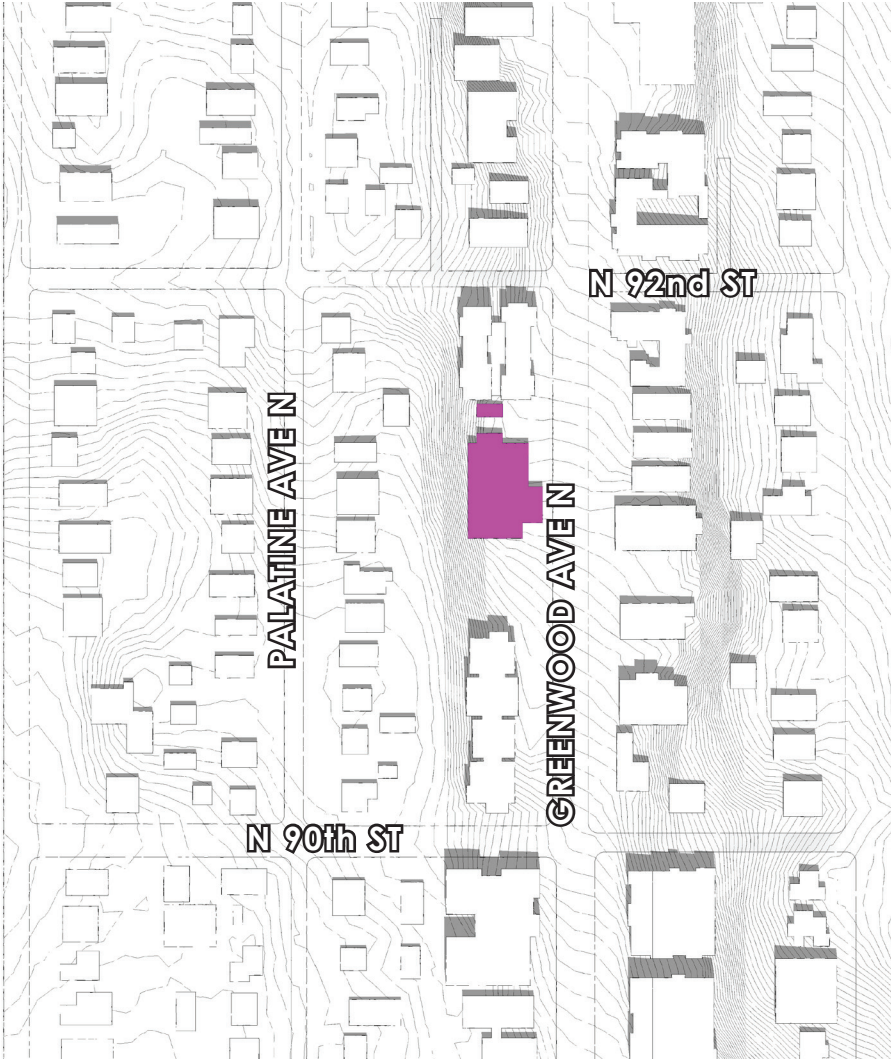
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MARCH 20TH
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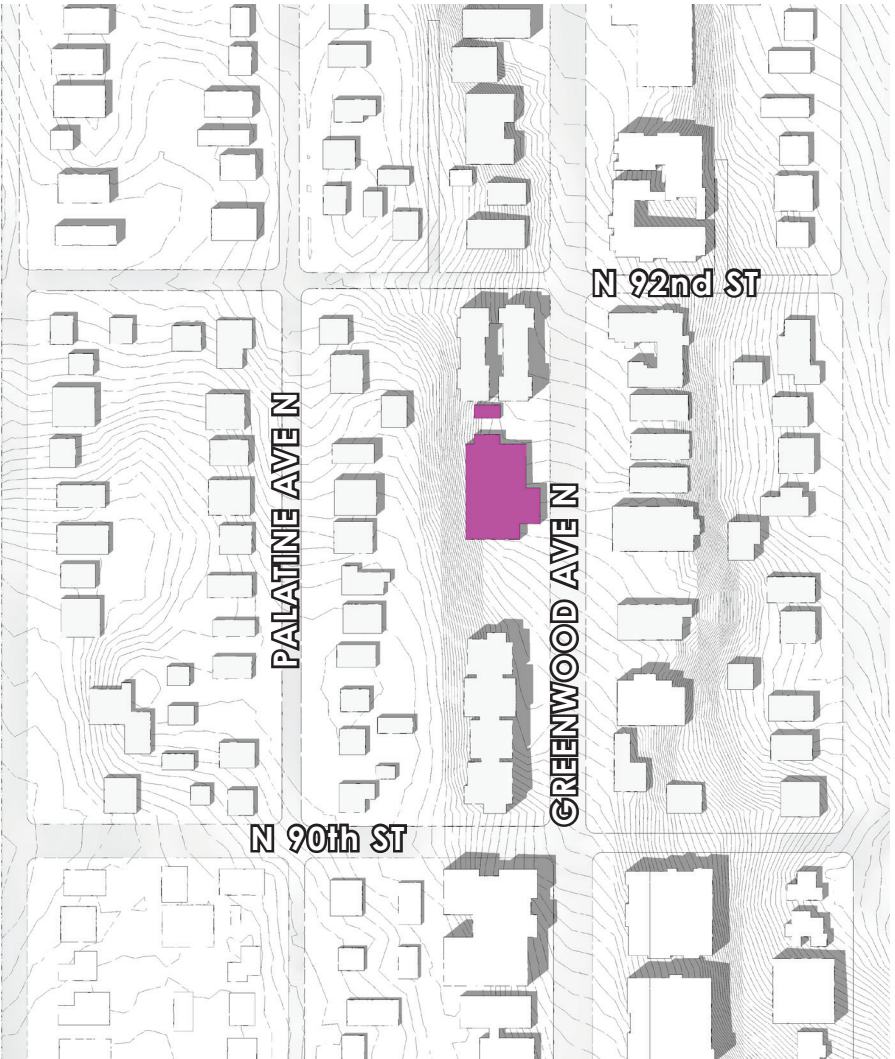
EXISTING SUN STUDY - SUMMER SOLSTICE



SUMMER SOLSTICE
JUNE 21ST
10 AM



SUMMER SOLSTICE
JUNE 21ST
12 PM



SUMMER SOLSTICE
JUNE 21ST
2 PM



PROPOSED SUN STUDY - WINTER SOLSTICE



WINTER SOLSTICE
DECEMBER 21ST
10 AM



WINTER SOLSTICE
DECEMBER 21ST
12 PM



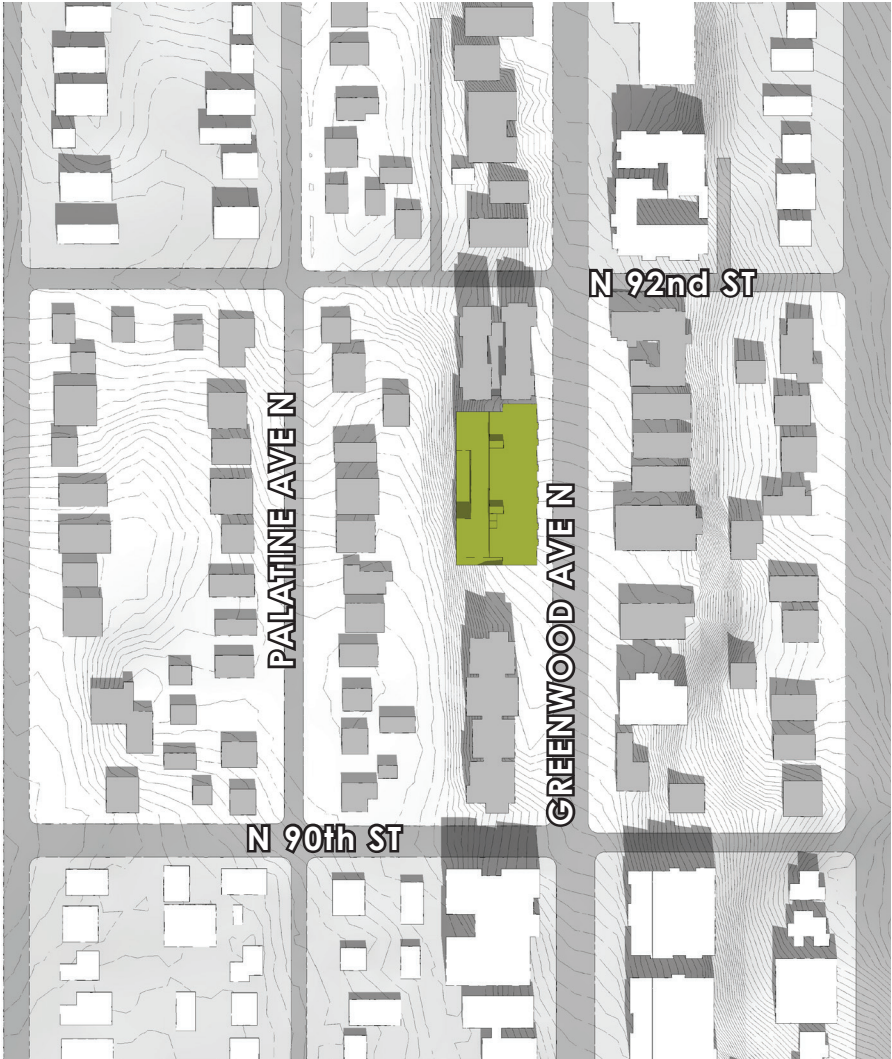
WINTER SOLSTICE
DECEMBER 21ST
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PROPOSED SUN STUDY - SPRING EQUINOX



SPRING EQUINOX
MARCH 20TH
10 AM



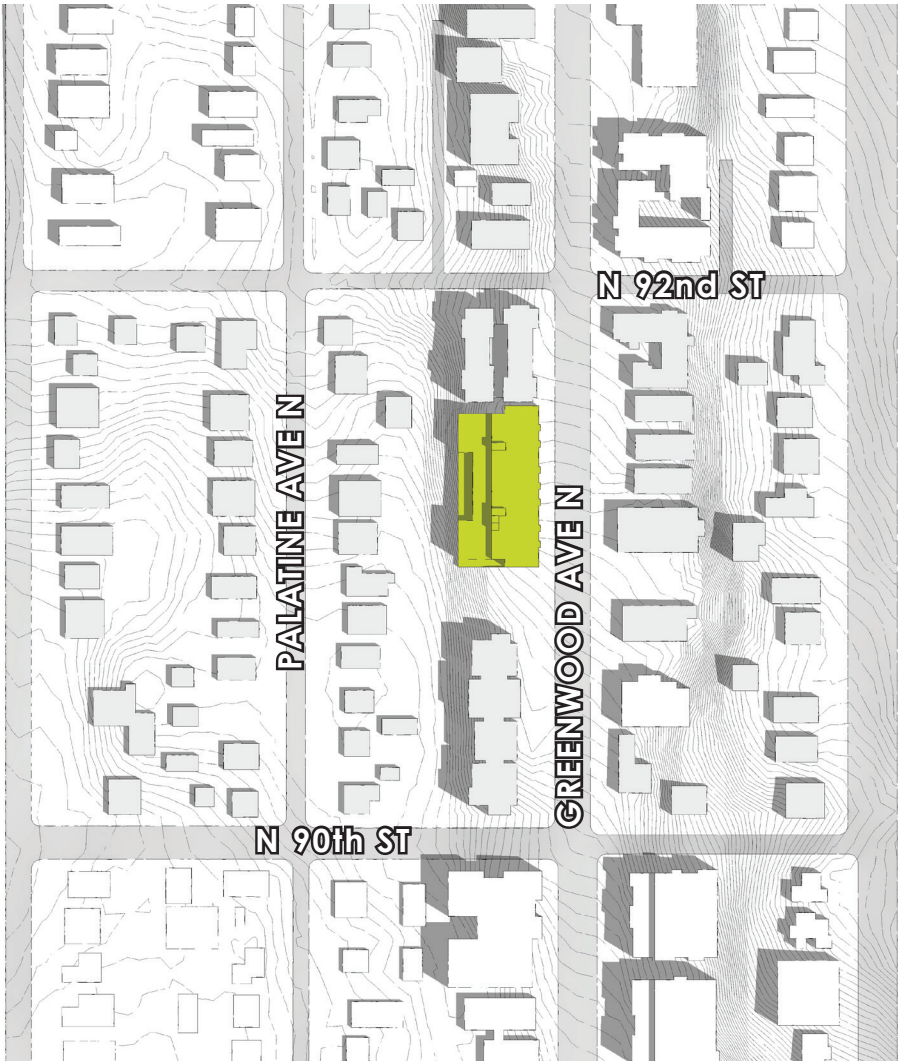
SPRING EQUINOX
MARCH 20TH
12 PM



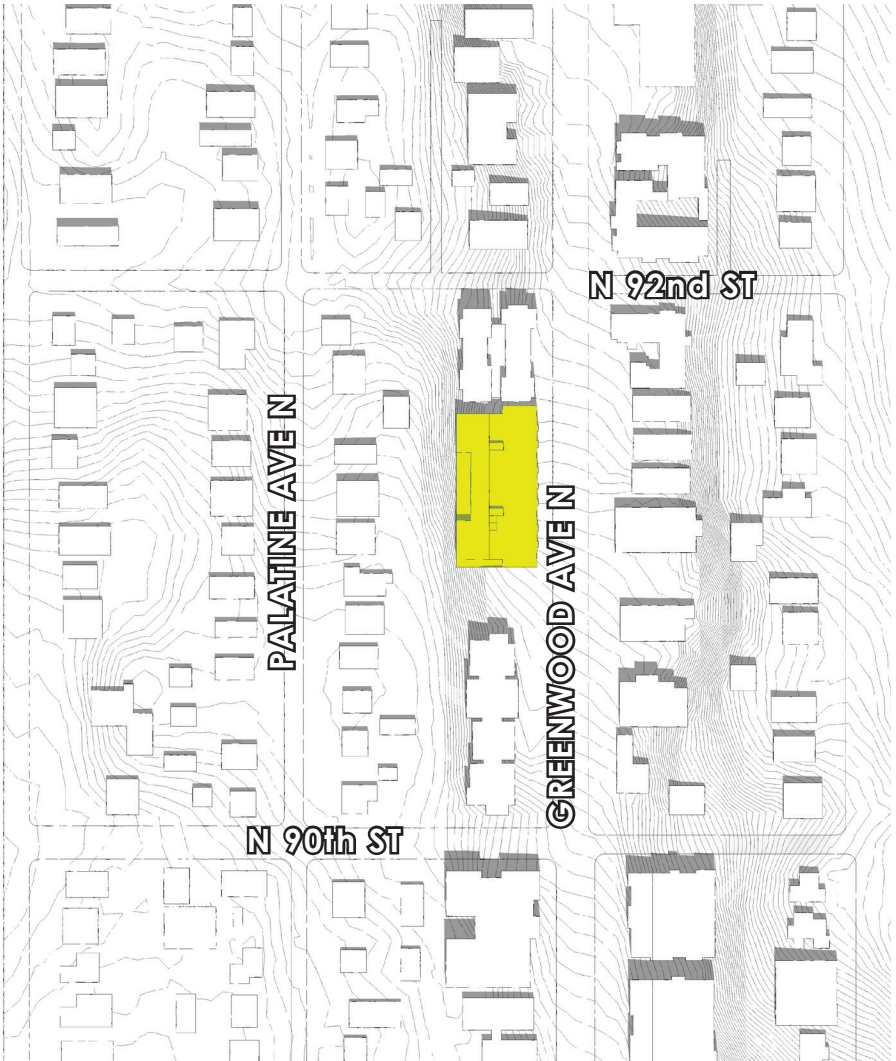
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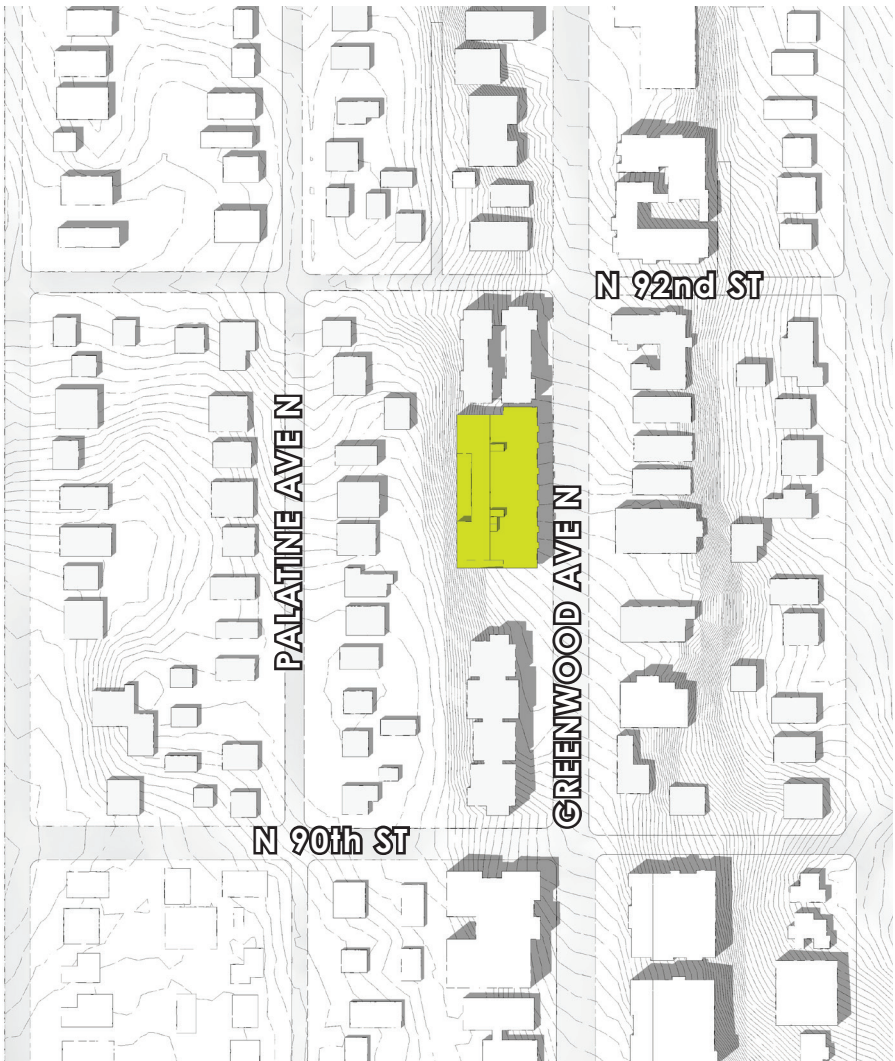
PROPOSED SUN STUDY - SUMMER SOLSTICE



SUMMER SOLSTICE
JUNE 21ST
10 AM



SUMMER SOLSTICE
JUNE 21ST
12 PM



SUMMER SOLSTICE
JUNE 21ST
2 PM

