



Looking East

**Table of Contents**

---

Project Information ..... 3

FAR Area Schedule ..... 4

Survey ..... 5

Context Map ..... 6

Existing Site Conditions ..... 9

Design Guidelines ..... 11

Graphic Narrative ..... 12

Building Plans ..... 14

Building Elevations ..... 20

Building Section ..... 24

Adjustments ..... 25

Material Board ..... 26

## Project Information

**Address:** 1112 13th Ave, Seattle, WA 98122

**Project Number:** 3023162

**Legal Description:** THE NORTH 16 FEET OF LOT 2 AND THE SOUTH 18 FEET OF LOT 3, BLOCK 16, SUPPLEMENTARY PLAT OF EDES AND KNIGHTS ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 194, RECORDS OF KING COUNTY, WA

**Parcel #:** 2254501205

**Site Area:** 4,352sf

**Zoning:** LR3

**Overlays:** 12th Ave (Urban Center Village)

**Misc:** Detached ADU's

**ECA:** None

**Existing Use:** Existing SFR to be Demolished

**Max FAR:** Townhouses: 1.4 (4,352 x 1.4 = 6,093sf)

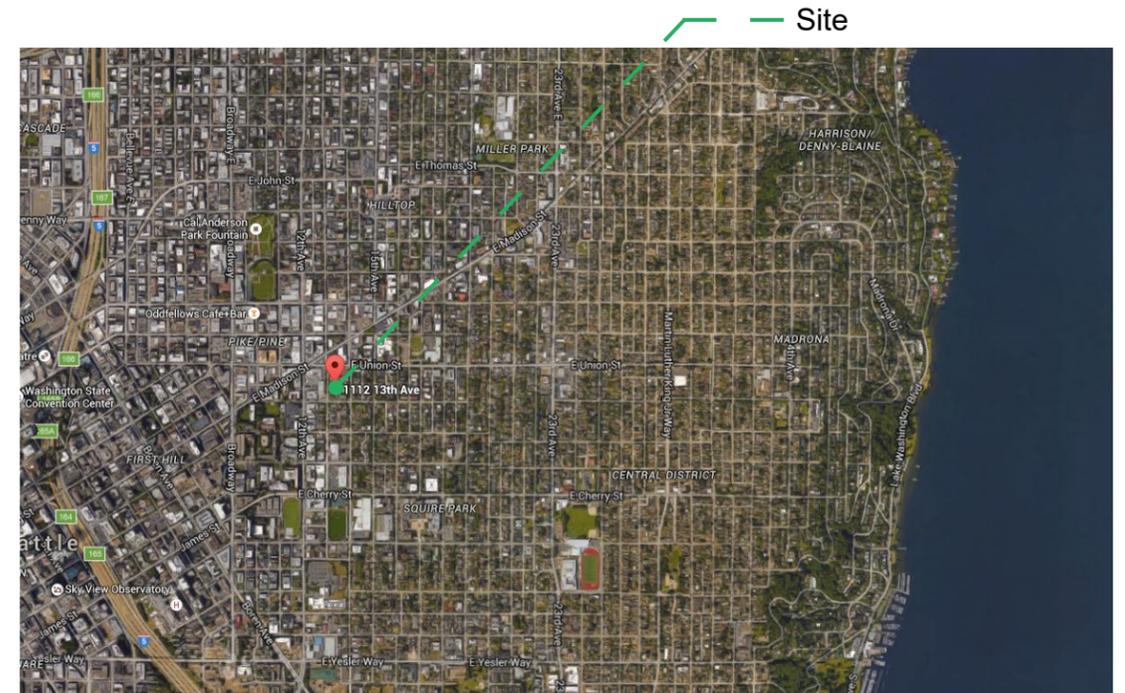
**Max Density:** Townhouses: No Limit

**Height:** 30' Above AGP Allowed/Provided

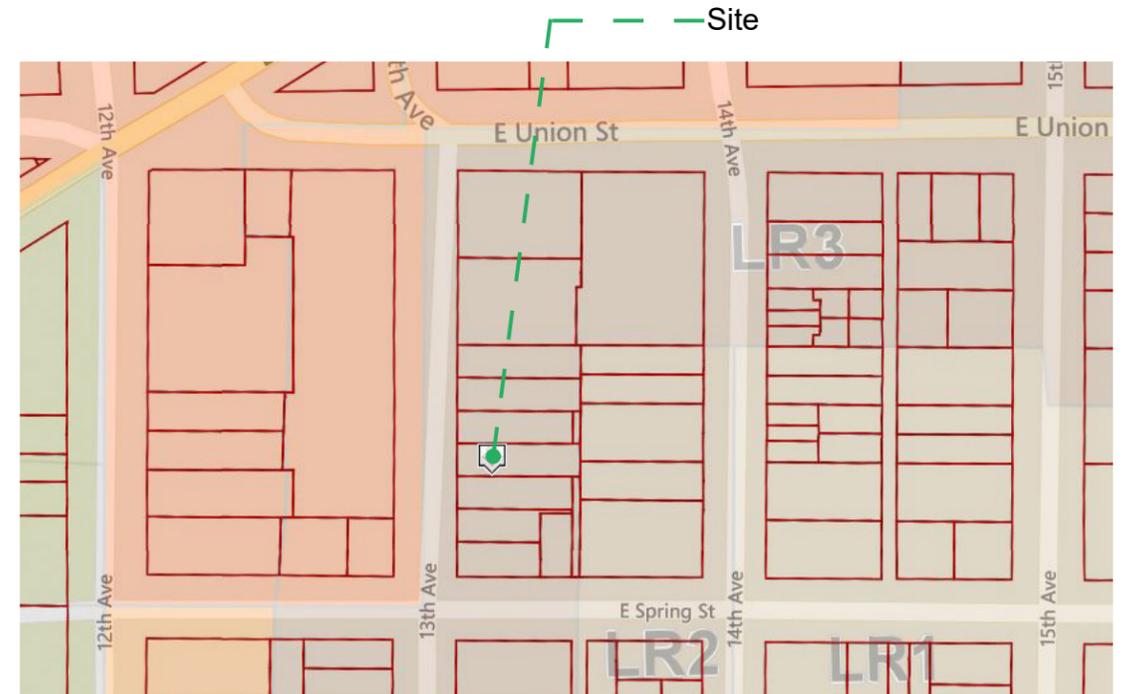
**Proposed Project Description:** Construct 6 townhouses. Existing structures to be demolished.

**Proposed Square Footage:** 5,458sf < 6,093sf, **Complies**

**Proposed Parking Provided:** None Provided or Required (Urban Center)



Context Map



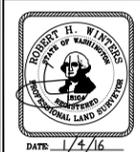
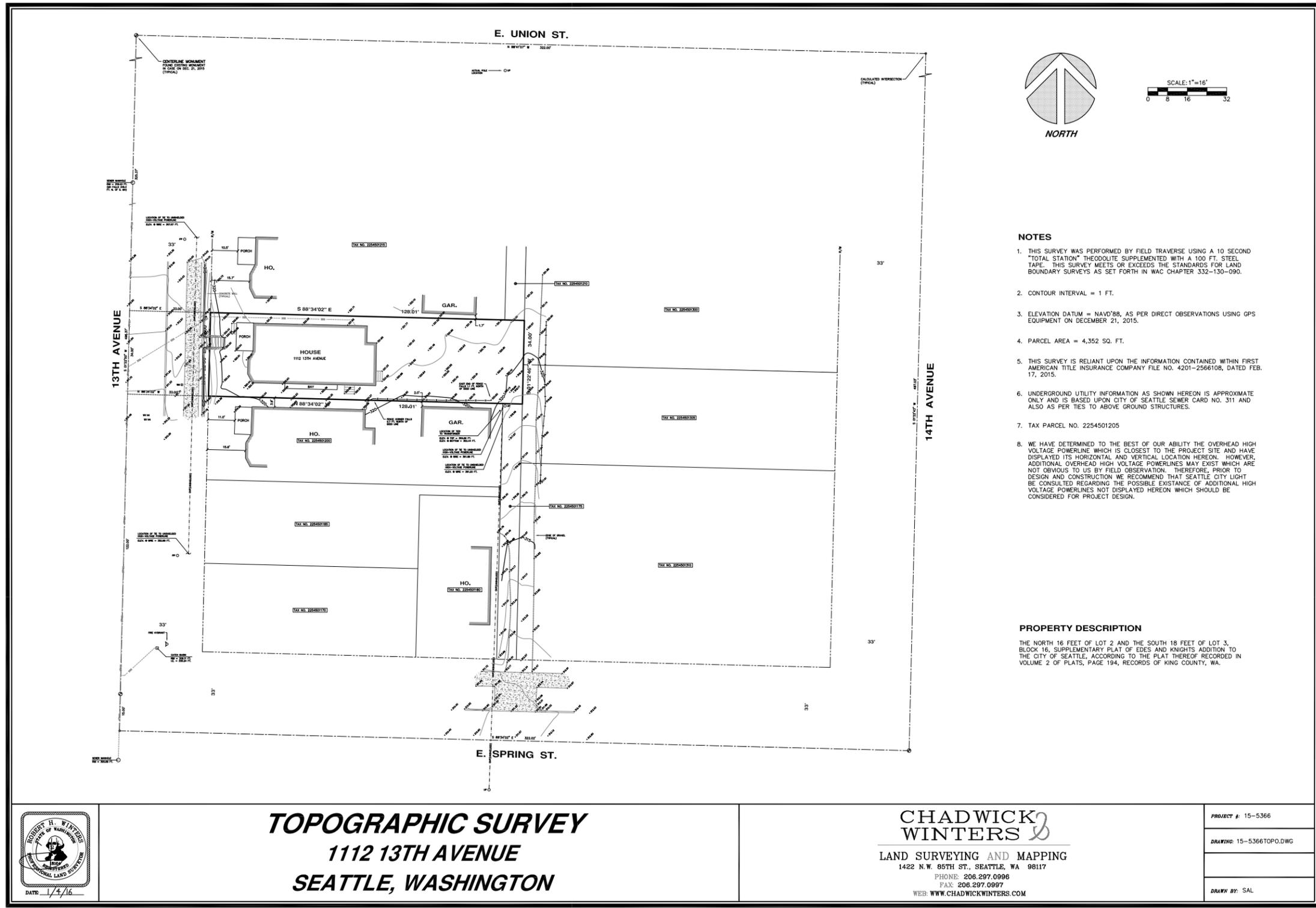
Zoning Map

Net Area Schedule (Inside Face of Wall)				
Number	Name	Level	Area	Area Type
TH 1				
TH 1	Level 1	Level 1	300 SF	Building Common Area
TH 1	Level 2	Level 2	300 SF	Building Common Area
TH 1	Level 3	Level 3	300 SF	Building Common Area
TH 1	Roof Deck (Excluded from FAR)	Roof Deck	225 SF	Building Common Area
TH 1	Roof Stair Heated	Roof Deck	10 SF	Building Common Area
TH 1	Roof Deck (Excluded from FAR)	Roof Deck	26 SF	Building Common Area
TH 1: 6			1160 SF	
TH 2				
TH 2	Level 1	Level 1	300 SF	Building Common Area
TH 2	Level 2	Level 2	300 SF	Building Common Area
TH 2	Level 3	Level 3	300 SF	Building Common Area
TH 2	Roof Deck (Excluded from FAR)	Roof Deck	225 SF	Building Common Area
TH 2	Roof Stair Heated	Roof Deck	10 SF	Building Common Area
TH 2	Roof Deck (Excluded from FAR)	Roof Deck	26 SF	Building Common Area
TH 2: 6			1161 SF	
TH 3				
TH 3	Level 1	Level 1	300 SF	Building Common Area
TH 3	Level 2	Level 2	300 SF	Building Common Area
TH 3	Level 3	Level 3	300 SF	Building Common Area
TH 3	Roof Deck (Excluded from FAR)	Roof Deck	225 SF	Building Common Area
TH 3	Roof Stair Heated	Roof Deck	10 SF	Building Common Area
TH 3	Roof Deck (Excluded from FAR)	Roof Deck	26 SF	Building Common Area
TH 3: 6			1161 SF	
TH 4				
TH 4	Level 1	Level 1	300 SF	Building Common Area
TH 4	Level 2	Level 2	300 SF	Building Common Area
TH 4	Level 3	Level 3	300 SF	Building Common Area
TH 4	Roof Deck (Excluded from FAR)	Roof Deck	225 SF	Building Common Area
TH 4	Roof Stair Heated	Roof Deck	10 SF	Building Common Area
TH 4	Roof Deck (Excluded from FAR)	Roof Deck	26 SF	Building Common Area
TH 4: 6			1161 SF	
TH 5				
TH 5	Level 1	Level 1	300 SF	Building Common Area
TH 5	Level 2	Level 2	300 SF	Building Common Area
TH 5	Level 3	Level 3	300 SF	Building Common Area
TH 5	Roof Deck (Excluded from FAR)	Roof Deck	225 SF	Building Common Area
TH 5	Roof Stair Heated	Roof Deck	10 SF	Building Common Area
TH 5	Roof Deck (Excluded from FAR)	Roof Deck	26 SF	Building Common Area
TH 5: 6			1160 SF	
TH 6				
TH 6	Level 1	Level 1	300 SF	Building Common Area
TH 6	Level 2	Level 2	300 SF	Building Common Area
TH 6	Level 3	Level 3	300 SF	Building Common Area
TH 6	Roof Deck (Excluded from FAR)	Roof Deck	225 SF	Building Common Area
TH 6	Roof Stair Heated	Roof Deck	10 SF	Building Common Area
TH 6	Roof Deck (Excluded from FAR)	Roof Deck	26 SF	Building Common Area
TH 6: 6			1160 SF	
Grand total: 36			6964 SF	

**FAR**

FAR Allowed: 1.4 x 4,352 = 6,092.8sf

FAR Proposed: 5,458 < 6,092.8sf, **Complies**

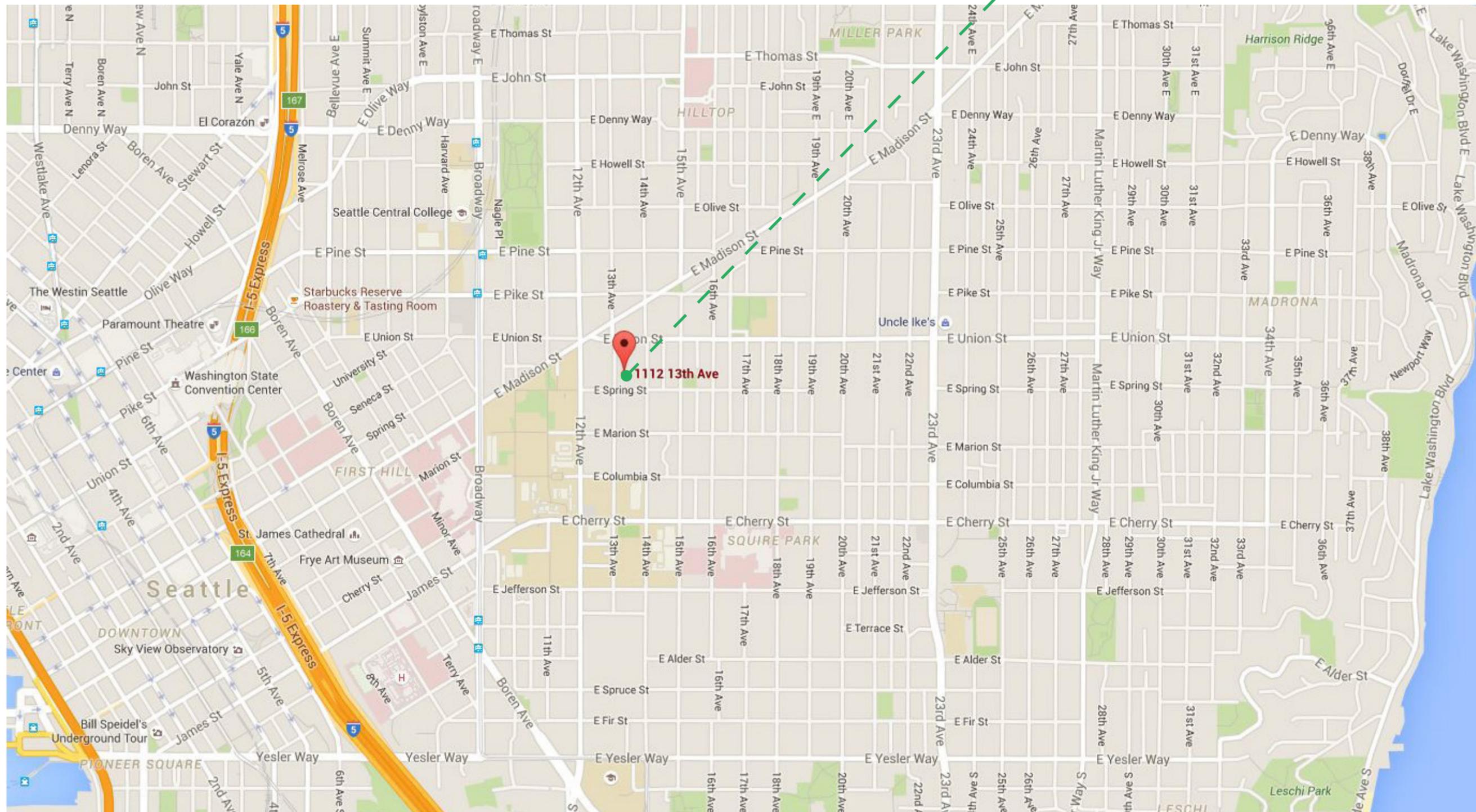


**TOPOGRAPHIC SURVEY**  
**1112 13TH AVENUE**  
**SEATTLE, WASHINGTON**

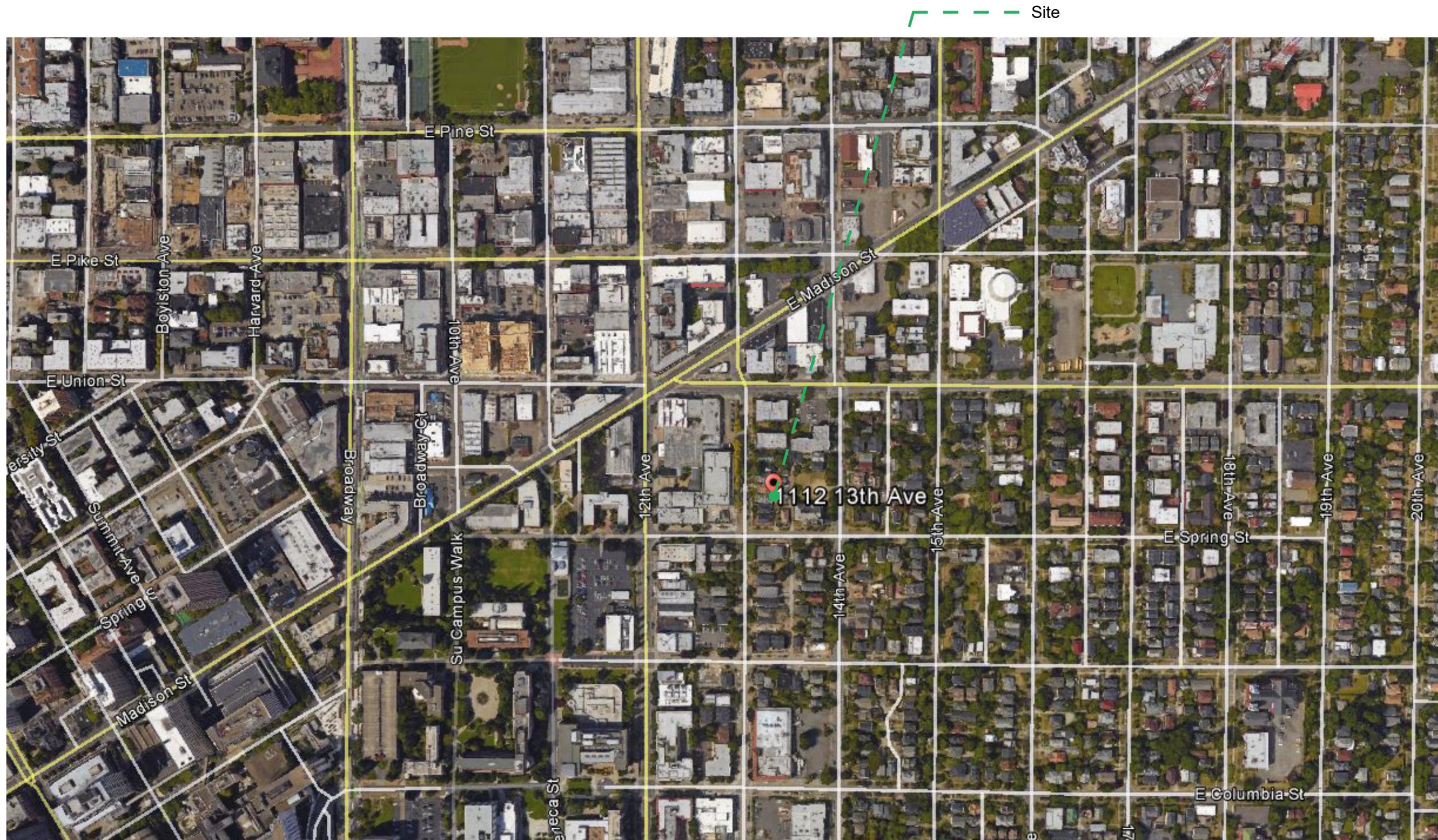
**CHADWICK WINTERS**  
 LAND SURVEYING AND MAPPING  
 1422 N.W. 85TH ST., SEATTLE, WA 98117  
 PHONE: 206.297.0996  
 FAX: 206.297.0997  
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PROJECT #: 15-5366
DRAWING: 15-5366TOPO.DWG
DRAWN BY: SAL

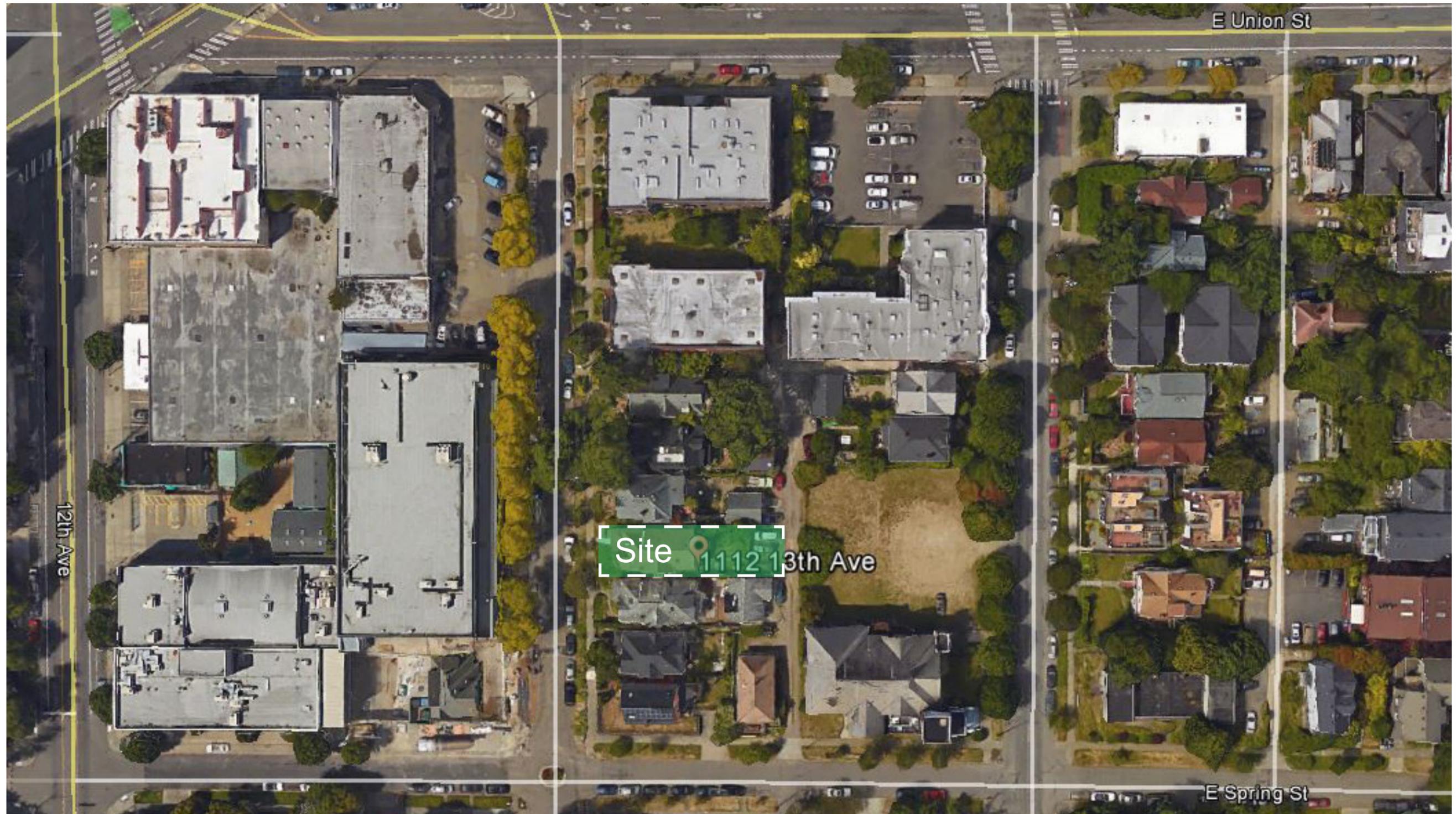
Site



Context Map 



Context Map 



Context Map





Looking East on 13th Ave



Looking East on 13th Ave



Across from Site

Looking West on 13th Ave

The surrounding built environment is a mixture of multifamily and single family homes with commercial buildings located nearby along E Madison St. Public transportation is easily accessible from the site with the closest bus stop being about a minute walk to the North in addition to the nearby Light Rail station. The site is within close proximity to Interstate 5 allowing quick access to the greater Seattle area. Nearby attractions include Seattle University, TT Minor Playground, Cal Anderson Park, and Garfield High School.

## Seattle Design Guidelines

## Design Response

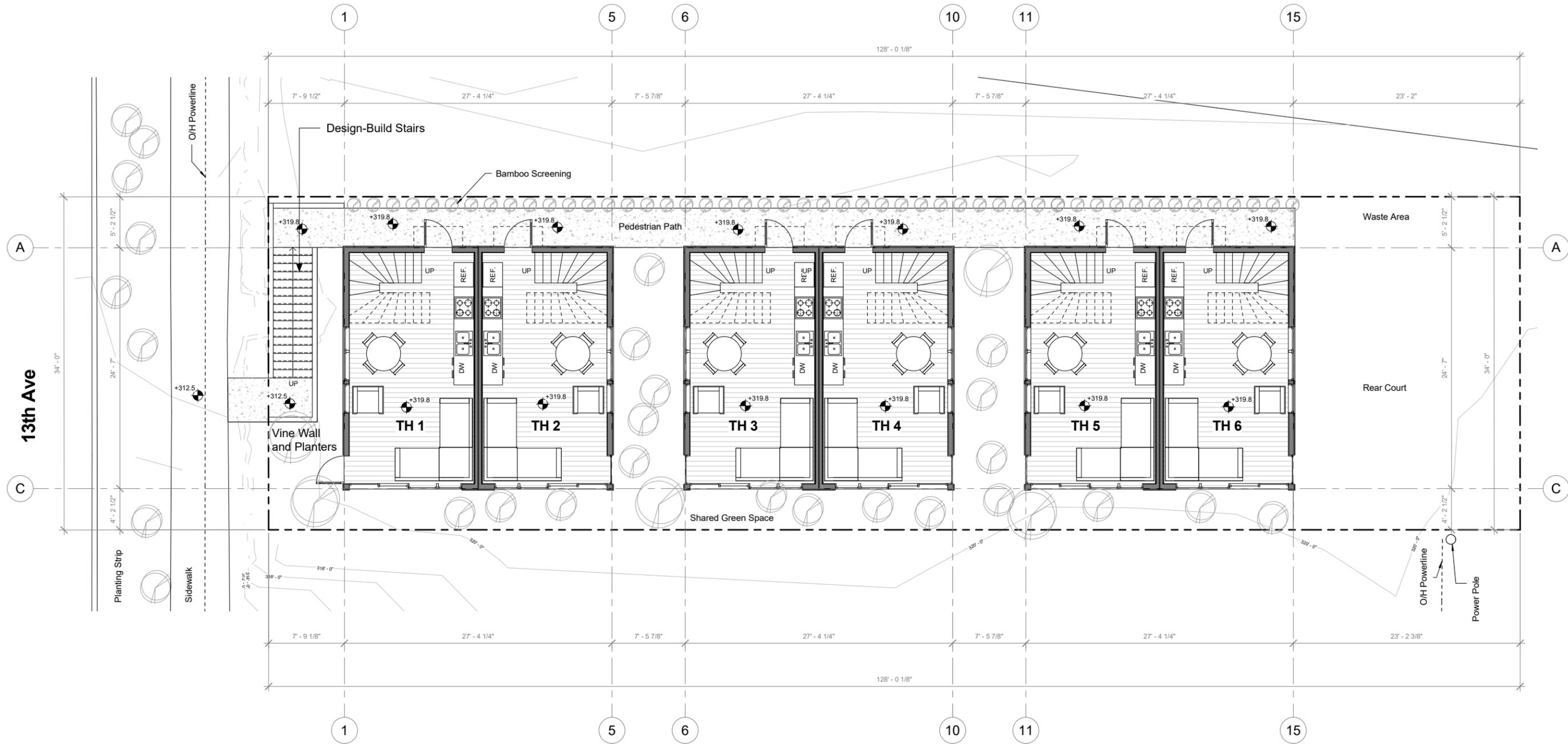
<b>CS2. Urban Pattern and Form</b> B. Adjacent Sites, Streets, and Open Spaces	Landscaping materials, such as plants and screens, will be used to prevent light and glare onto adjacent properties. Clearly denoted paths create clear pedestrian circulation of the site.
<b>CS2. Urban Pattern and Form</b> C. Relationship to the Block	Multifamily and single family houses surround the site on the East side of 13th Ave. Along the West side is a large commercial building. The proposed buildings will fit within the surrounding neighborhood context in terms of shape, form, and height.
<b>PL3. Street Level Interaction</b> A. Entries	Each of the individual units has its own private covered entrance to help distinguish the unit entrances. At night, each of the entry canopies are further illuminated with a light fixture.
<b>PL3. Street Level Interaction</b> C. Residential Edges	The residential edge of 13th has been designed to be visually appealing to the surrounding community while also allowing the units to have security and privacy. Unit entrances are along a private pathway separated from the street by steps and a landscape buffer.
<b>DC2. Architectural Concept</b> C. Secondary Architectural Features	Variations in building materials give the units depth while keeping the form simple. Windows sizes and openings in the facade are organized to reveal the public/ semipublic functions of the building.
<b>DC4. Exterior Elements and Materials</b> A. Exterior Elements and Finishes	A prominent goal of the project through the design phase was to keep the building form inherently simple for scale, rhythm, and tectonics, in order to use durable and high quality building materials. All finish materials will be durable and easy to maintain in Seattle's climate long term.



Looking NE

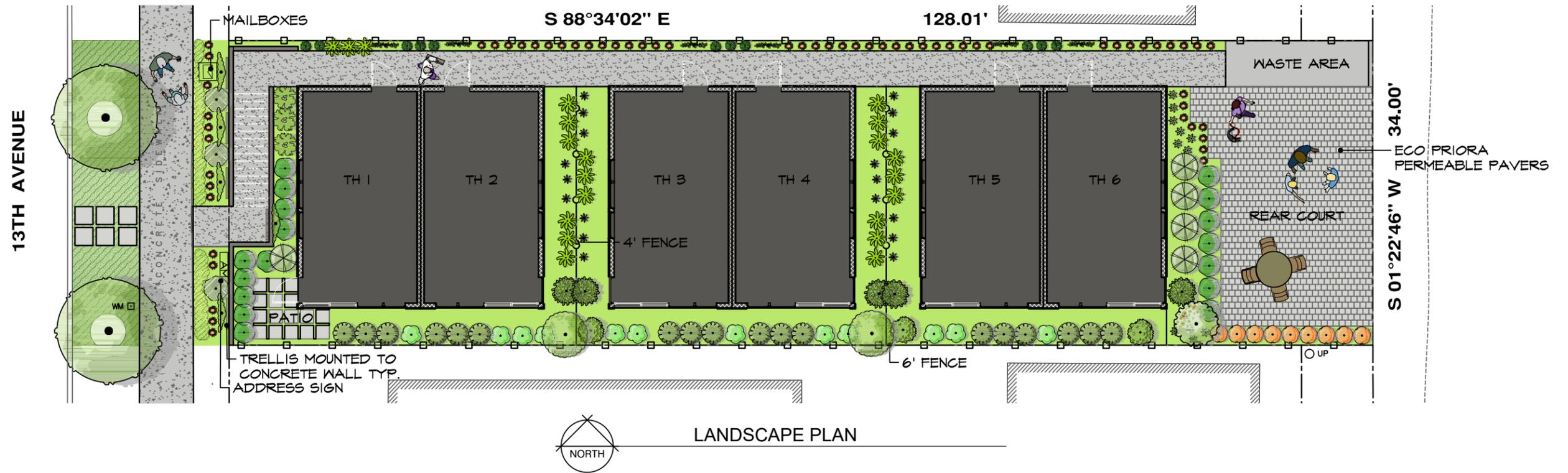


Looking SE



**Site Plan**  
3/32" = 1'-0"

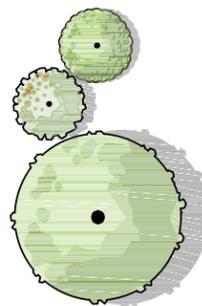




**PLANT SCHEDULE**

TREES

BOTANICAL NAME / COMMON NAME



- Acer circinatum / Vine Maple
- Prunus serrulata 'Amanogawa' / Japanese Flowering Cherry
- Street Tree / Street Tree Variety TBD

SHRUBS

BOTANICAL NAME / COMMON NAME



- Berberis thunbergii 'Orange Rocket' / Orange Rocket Barberry
- Blechnum spicant / Deer Fern
- Camellia x Espalier Variety / Espalier Camellia
- Carex oshimensis 'Everillo' / Everillo Japanese Sedge
- Carex testacea / Orange Sedge

SHRUBS



BOTANICAL NAME / COMMON NAME

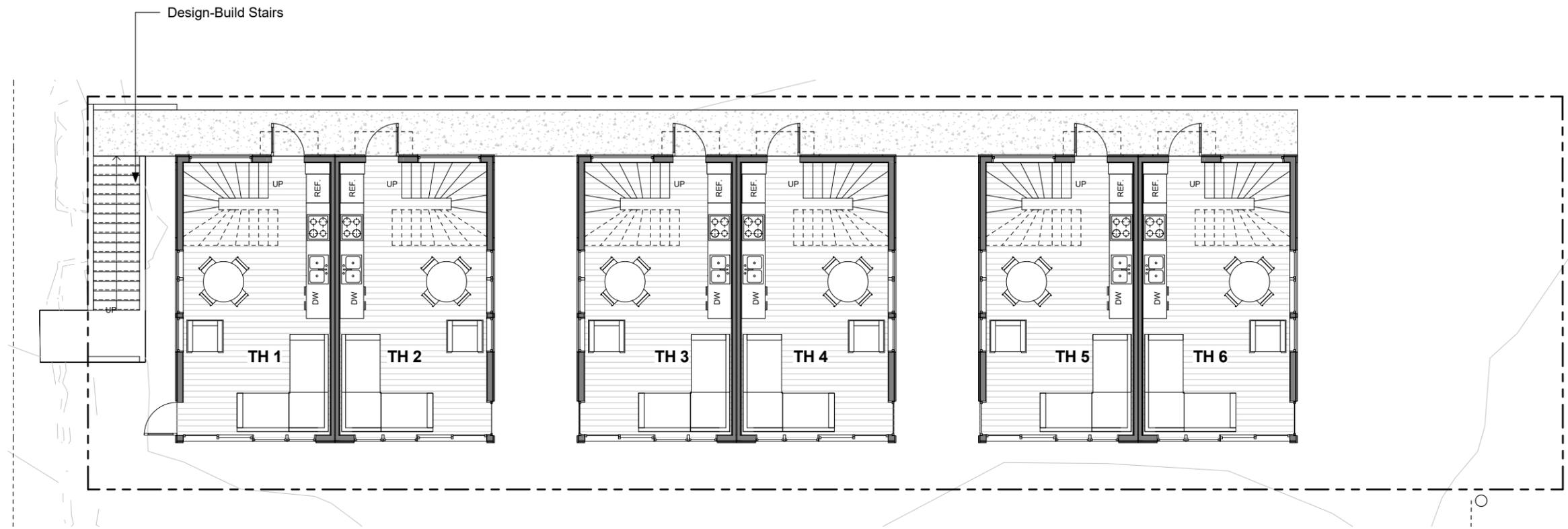
- Euphorbia x 'Ruby Glow' / Ruby Glow Euphorbia
- Fargesia robusta / Fountain Bamboo
- Fatsia japonica / Japanese Fatsia
- Hakonechloa macra 'All Gold' / Japanese Forest Grass
- Hydrangea quercifolia / Oakleaf Hydrangea
- Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper
- Leucothoe fontanesiana 'Rainbow' / Rainbow Leucothoe
- Miscanthus sinensis 'Morning Light' / Morning Light Maiden Grass
- Sarcococca ruscifolia / Fragrant Sarcococca
- Taxus x media 'Hicksii' / Hicks Yew

VINES



BOTANICAL NAME / COMMON NAME

- Akebia quinata / Chocolate Vine



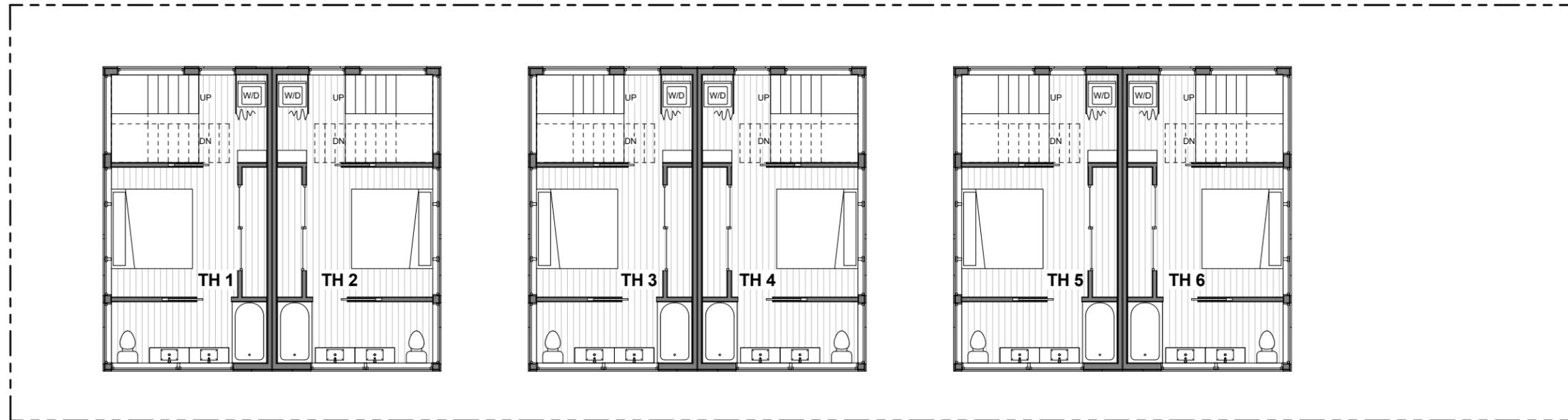
**Level 1 Plan**  
 3/32" = 1'-0"





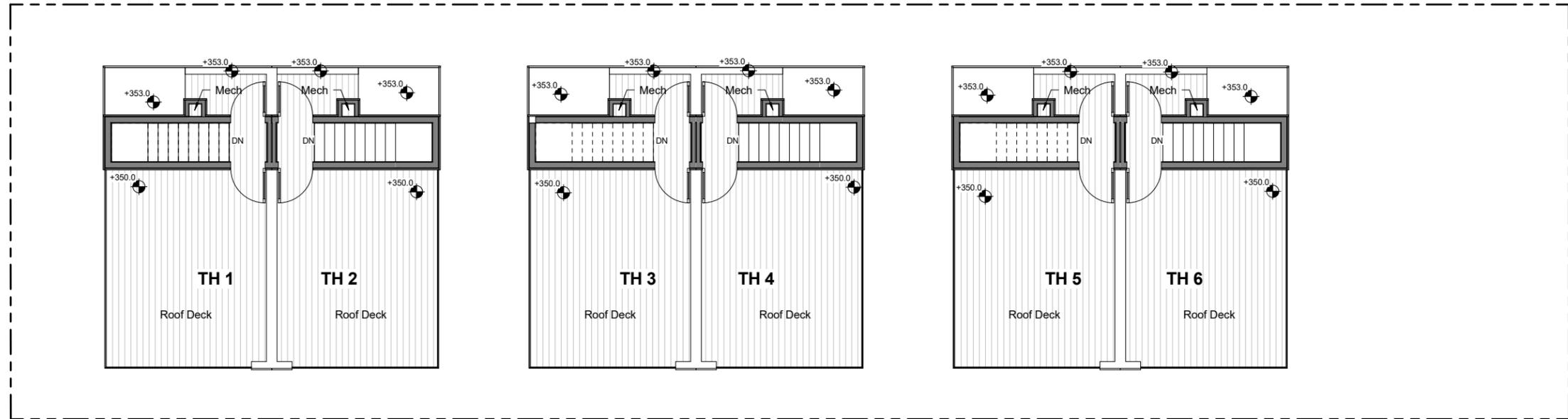
**Level 2 Plan**  
 3/32" = 1'-0"





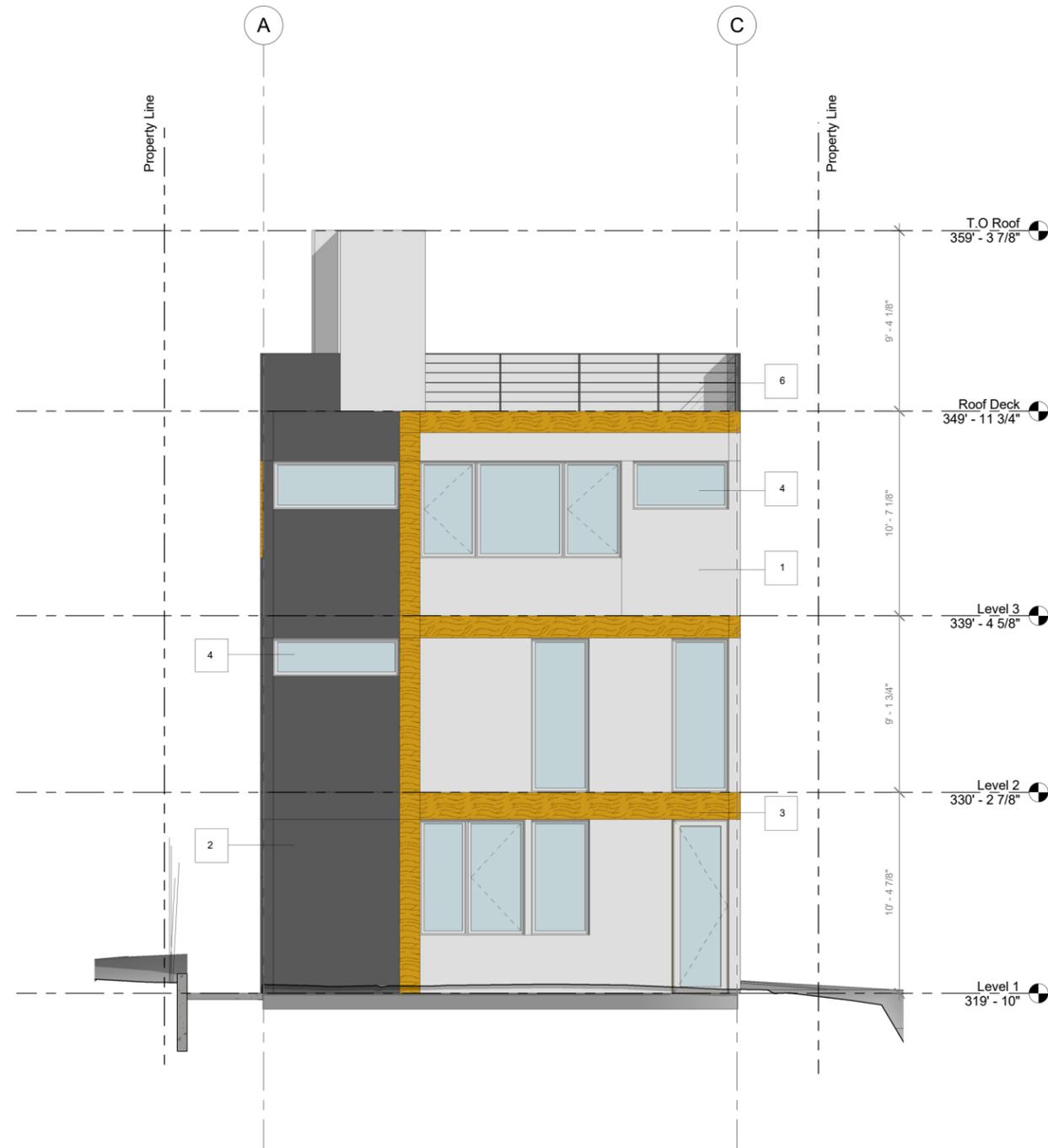
**Level 3 Plan**  
 3/32" = 1'-0"





**Roof Deck Plan**  
 3/32" = 1'-0"

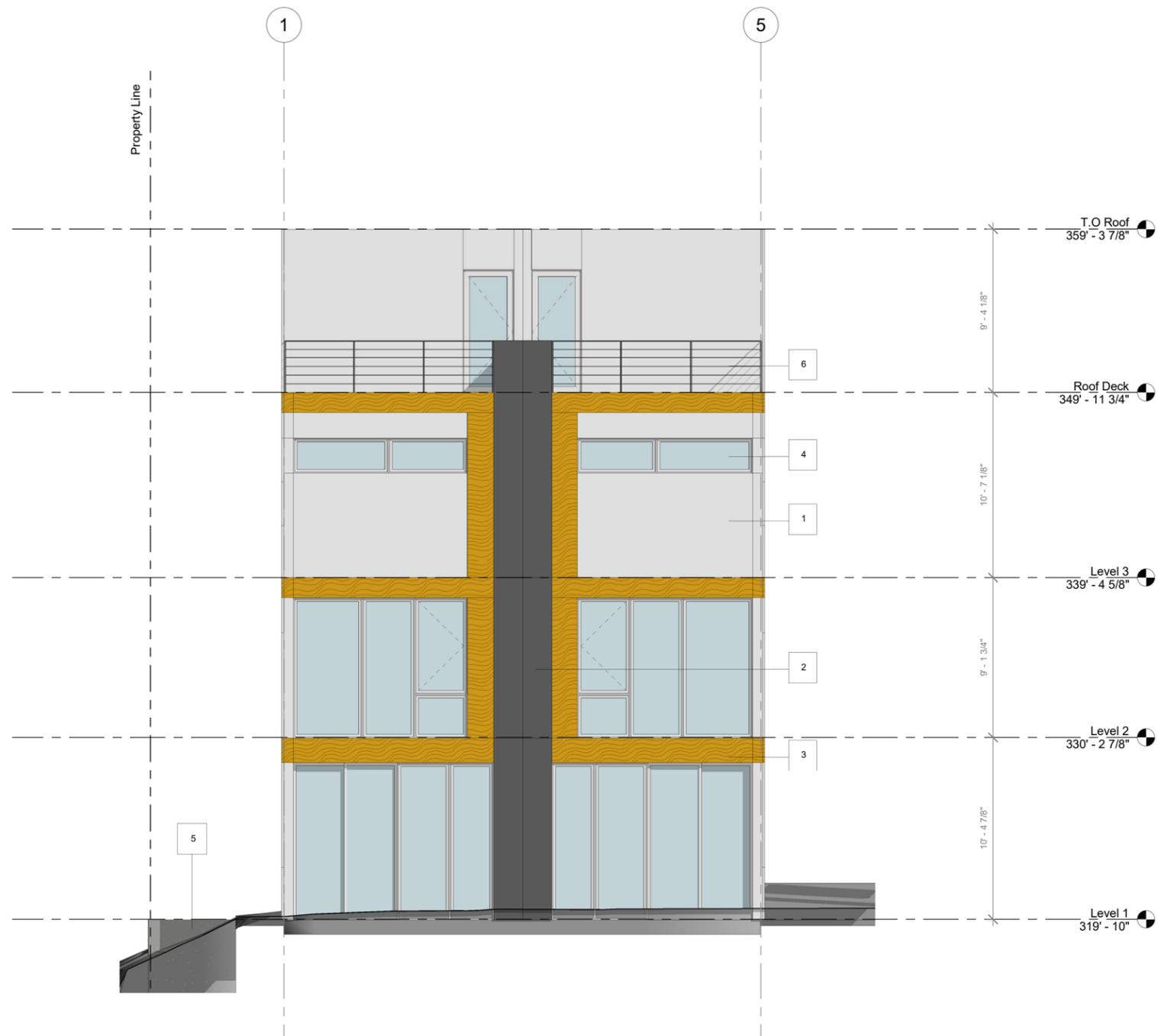




**Material Legend**

- 1. Fiber Cement Panel, White
- 2. Fiber Cement Panel, Dark Gray
- 3. Composite Panel
- 4. Cast-in-Place Concrete
- 5. Vinyl Window, White
- 6. Metal Rail

**Typical Unit Module - West Elevation**  
 1/8" = 1'-0"



**Material Legend**

- 1. Fiber Cement Panel, White
- 2. Fiber Cement Panel, Dark Gray
- 3. Composite Panel
- 4. Cast-in-Place Concrete
- 5. Vinyl Window, White
- 6. Metal Rail

**Typical Unit Module - South Elevation**  
 1/8" = 1'-0"



**Material Legend**

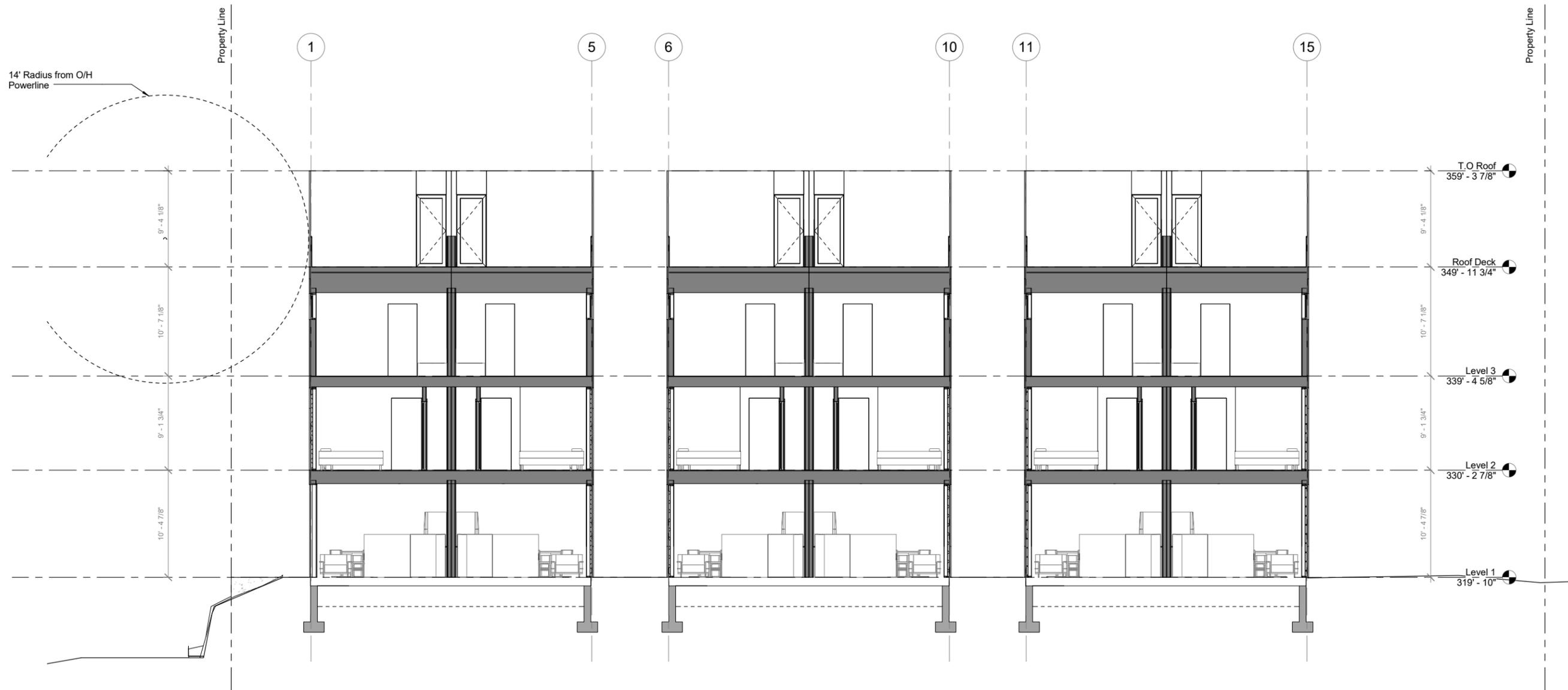
- 1. Fiber Cement Panel, White
- 2. Fiber Cement Panel, Dark Gray
- 3. Composite Panel
- 4. Cast-in-Place Concrete
- 5. Vinyl Window, White
- 6. Metal Rail

**Typical Unit Module - East Elevation**  
 1/8" = 1'-0"



**Typical Unit Module - North Elevation**

1/8" = 1'-0"



**East-West Building Section**  
3/32" = 1'-0"

## Adjustments Requested

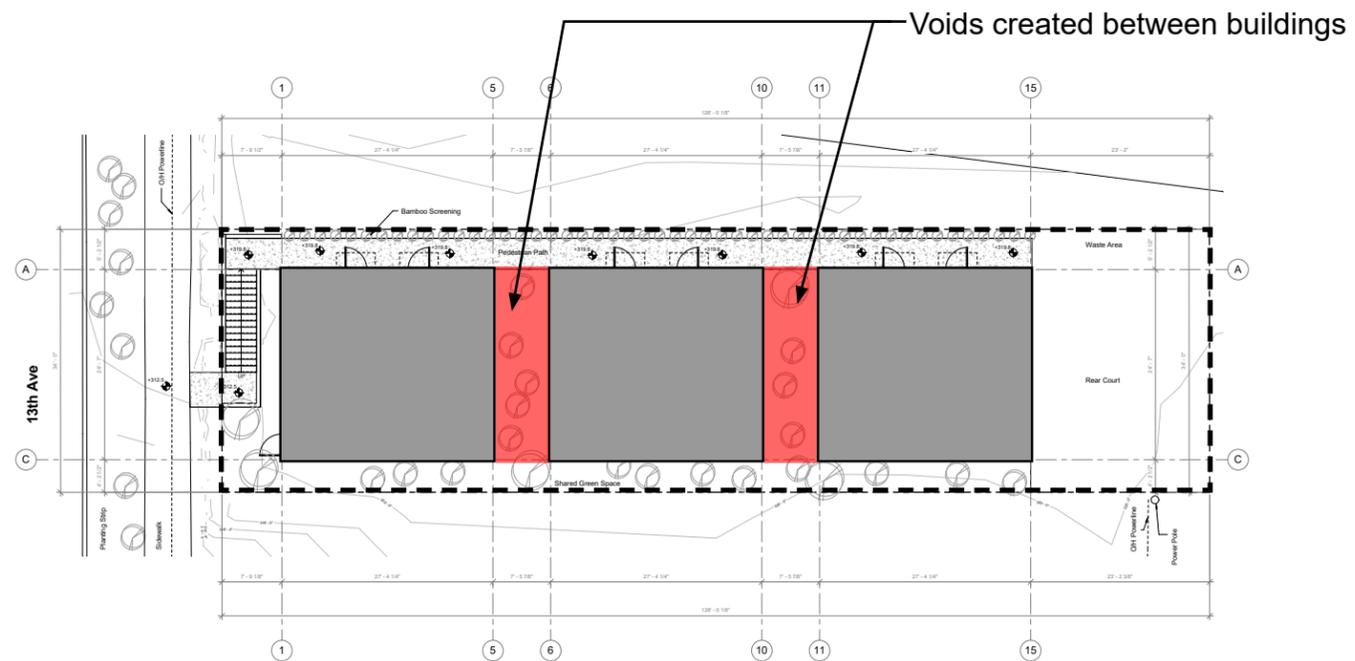
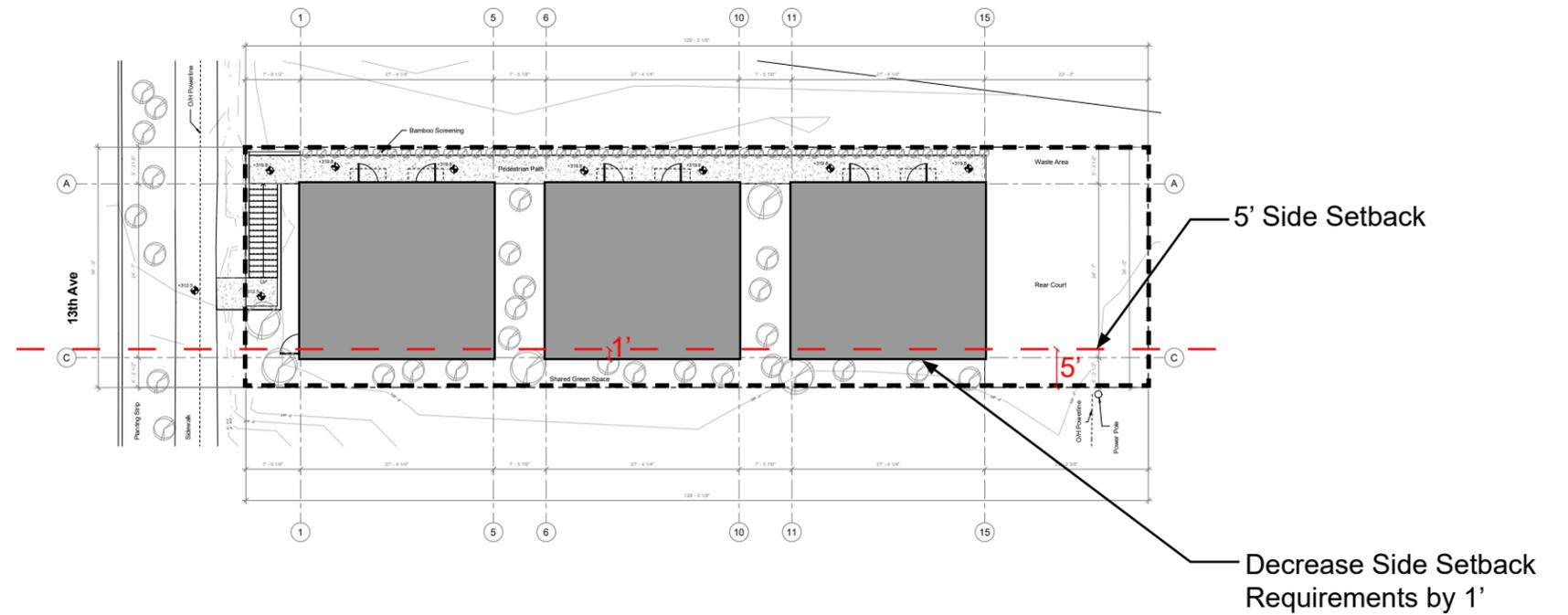
### Decrease Side Setback Requirements by 1'

Code Citation: 23.45.518.A

Required Side Setback 5' Side

Proposed Side Setback: 4' Side

**Explanation:** To create much more shared open space for residents between structures, we will need to encroach slightly on the South property line side setback. This will help maintain greater access to light and air for adjacent structures due to the 15' overall clear separation between the 3 proposed structures.





**Material Legend**

- 1. Fiber Cement Panel, White
- 2. Fiber Cement Panel, Dark Gray
- 3. Composite Panel
- 4. Cast-in-Place Concrete
- 5. Vinyl Window, White
- 6. Metal Rail