



3500 NE 125TH TOWNHOUSES

3023118-LU

DESIGN REVIEW RECOMMENDATION MEETING

MEETING DATE:
AUGUST 26TH, 2019

ADDRESS:
GOOD SHEPHERD CENTER
4649 SUNNYSIDE AVE N, ROOM 2
SEATTLE, WA 98103

HYBRID

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Table of Contents

DESIGN OVERVIEW

2Team / Development Objectives

3Project Site

CONTEXT & SITE ANALYSIS

4Site Zoning

5Zoning Analysis and Uses

6Urban Analysis and Transportation Routes

7Site Conditions

8Context Images

9Site Opportunities and Constraints

10Site Images

11-12Street Montages

13Site Survey

DESIGN EVOLUTION & DEVELOPMENT

14Seattle Muncipal Code Summary

15Design Guidelines Focus

16EDG Summary of Design Schemes

17-18EDG Guidance

15-25EDG Response to Guidance: Pedestrian Experience

26-29EDG Response to Guidance: Massing Options

31-33EDG Response to Guidance: Central Amenity Space

34-36EDG Response to Guidance: Roof Decks

37-44EDG Response to Guidance: Material and Color

45-47EDG Response to Guidance: Corner Treatment

PROJECT DRAWINGS

48-53Floor Plans

54-60Elevation Drawings

APPENDIX

61-62Material Board

63Privacy Study

64Shadow Anaylsis

65-66Departures

67Previous Relevant Projects

Thank You

Development Objectives / Project Information

Provide townhouses with a unique sense of community and connection.

PROJECT INFO

Address:	3500 NE 125th St, Seattle, WA 98145
SDCI #:	3023118-LU
Parcels:	1453602480, 1453602481, 1453602500
Site Area:	6,670 sf
Zoning:	LR2
Overlays:	Lake City Urban Village, Frequent Transit Area
Legal Description:	LOTS 12 AND 13, BLOCK 8 CEDAR PARK ADD LESS ST
Building Type:	44 Townhouse Units
Parking:	44 Sub-grade Parking Stalls

PROJECT TEAM

Architect:	Hybrid Architecture 1205 E. Pike Street, Seattle, WA
Developer:	Greenbuild, LLC 5512 17th Ave NW, Seattle, WA
Landscape Architect:	Root of Design, LLC 7104 265th St Nw #218, Standwood, WA


PROJECT DESCRIPTION

This project proposes 44 townhouse units with parking for 44 vehicles located in the Lake City neighborhood near the shoreline of Lake Washington. As this development increases the density of the Lake City neighborhood, the project aims to respect the existing residential scale through appropriate massing, proportion and materials. Street facing entries and stoops will activate the pedestrian experience along the two major streest (NE 125th & 35th Ave NE) increasing the livability and softening the transition from commercial uses on the west and the single family zoning in the west.

Let Us Introduce Ourselves


Rob Humble

Architect




Barrett Eastwood

Architect




Scott Goodner

Project Manager




Alyssa DeLaFrance

Designer



Bill Nicholson

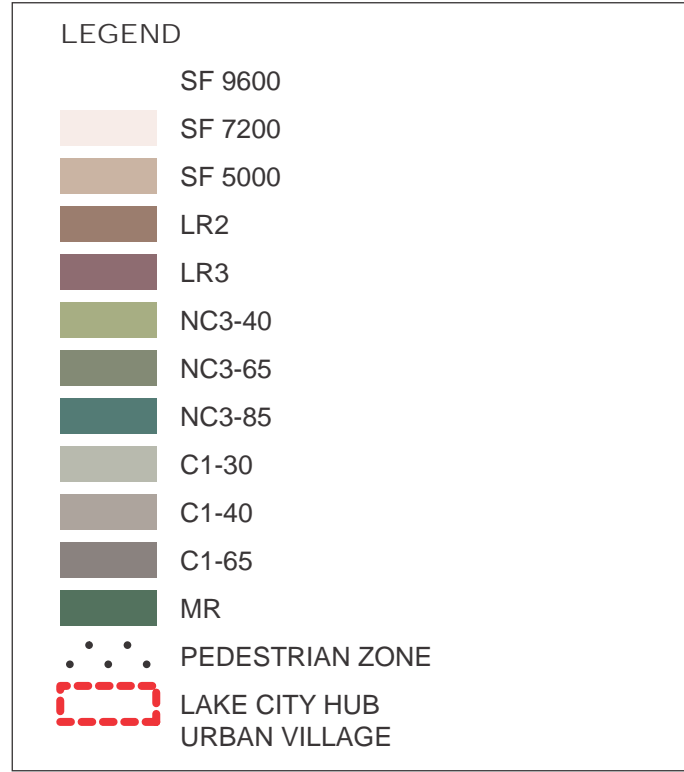
Designer



Project Site

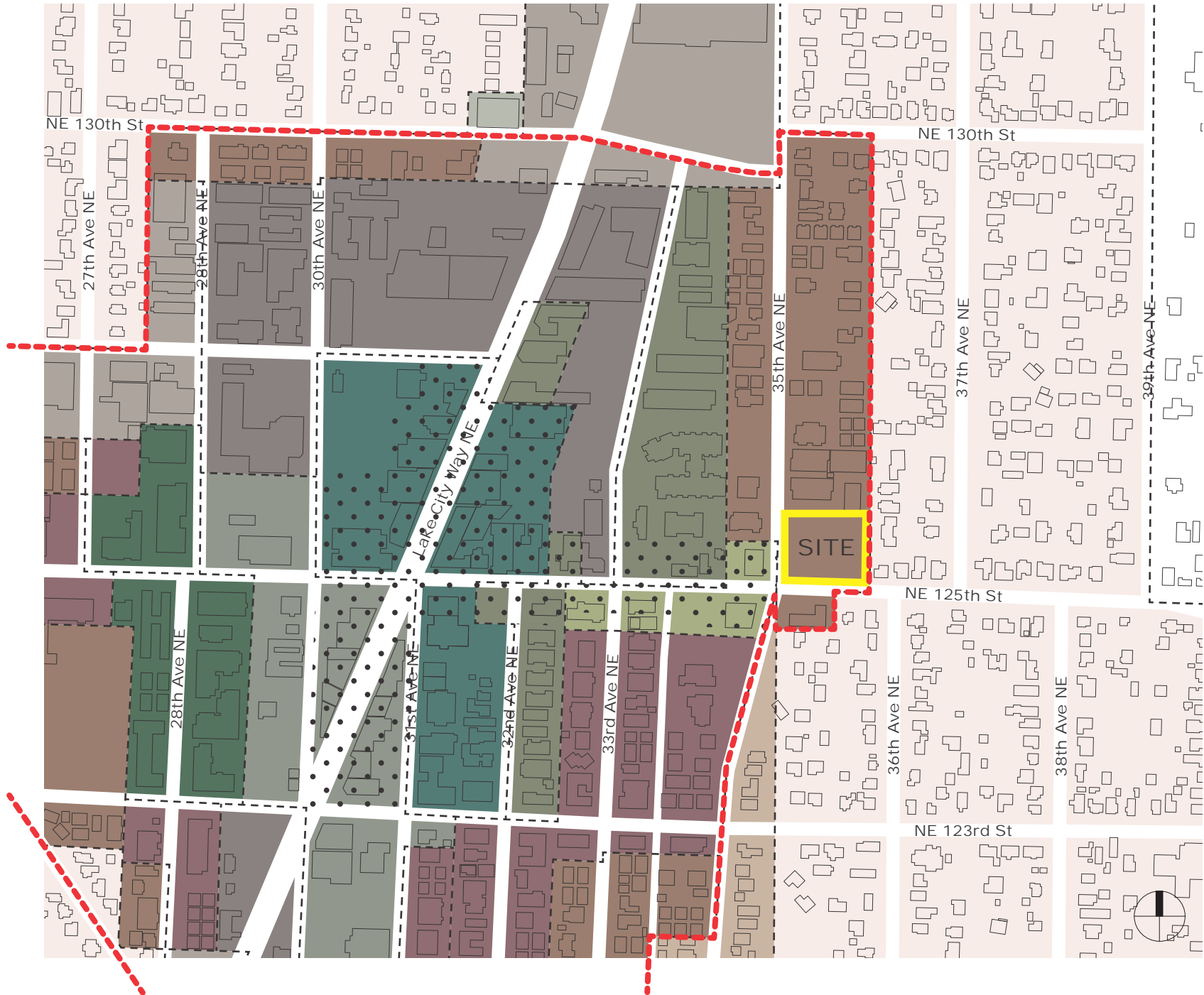


Zoning

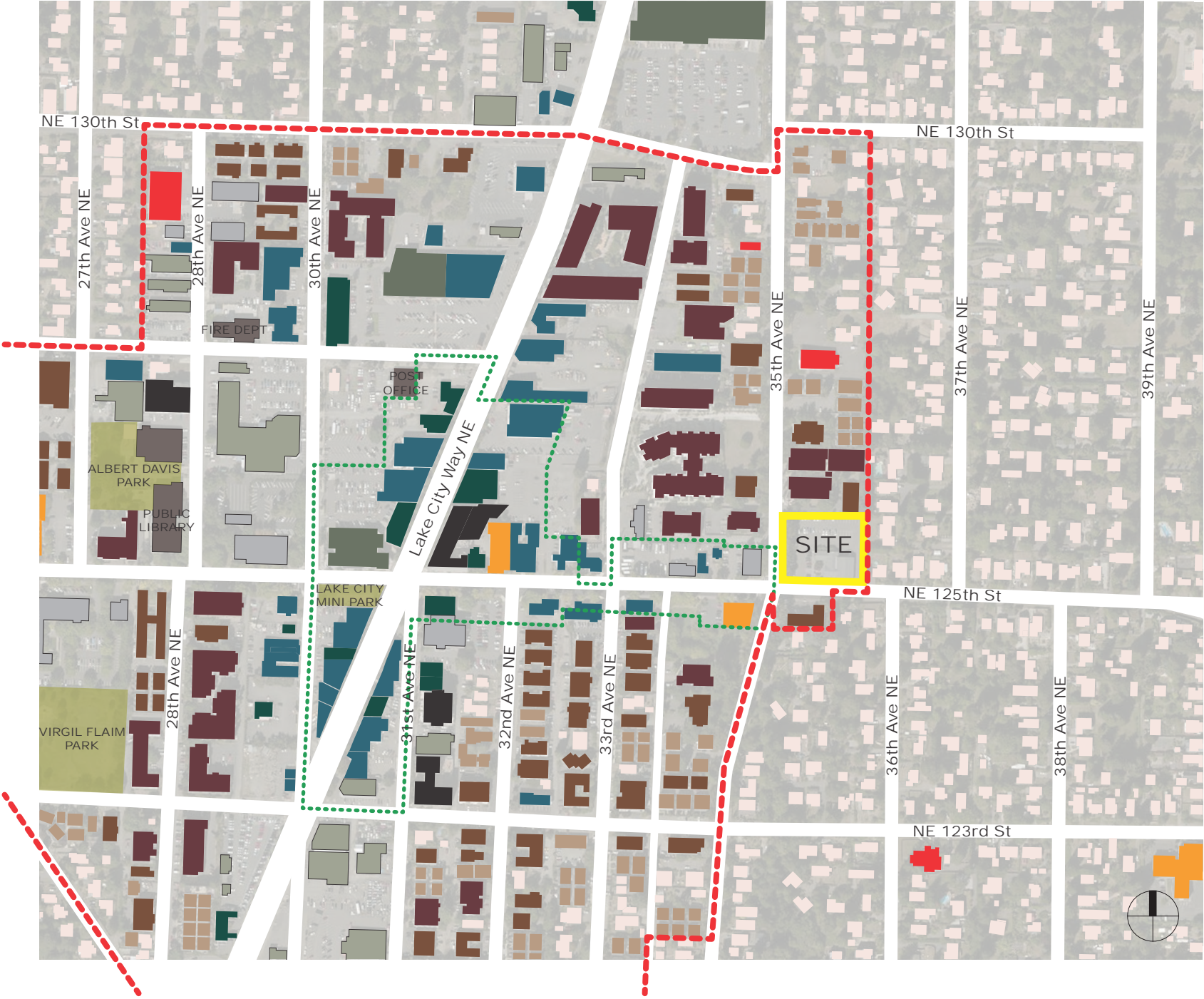


ZONING:

The site is zoned lowrise 2 (LR2), within the Lake City Hub Urban Village. The LR2 zoning acts as a transition from neighborhood commercial (NC3-40) to the west and single family (SF 5000) to the east. The LR2 zoning continues to the north of the site, spreading to both sides of 35th Ave NE. A pedestrian zone overlay is centered around the downtown area along Lake City Way NE, with a branch extending to the southwest edge of the site.



Zoning Analysis and Adjacent Uses



LEGEND

SINGLE FAMILY

DUPLEX / TRIPLEX

RESIDENTIAL - 4 - 10 UNITS

RESIDENTIAL - 10+ UNITS

MIXED USE

RETAIL

RESTAURANT

GROCERY

PARK

EDUCATIONAL

RELIGIOUS

OFFICE

NEIGHBORHOOD AMENITIES

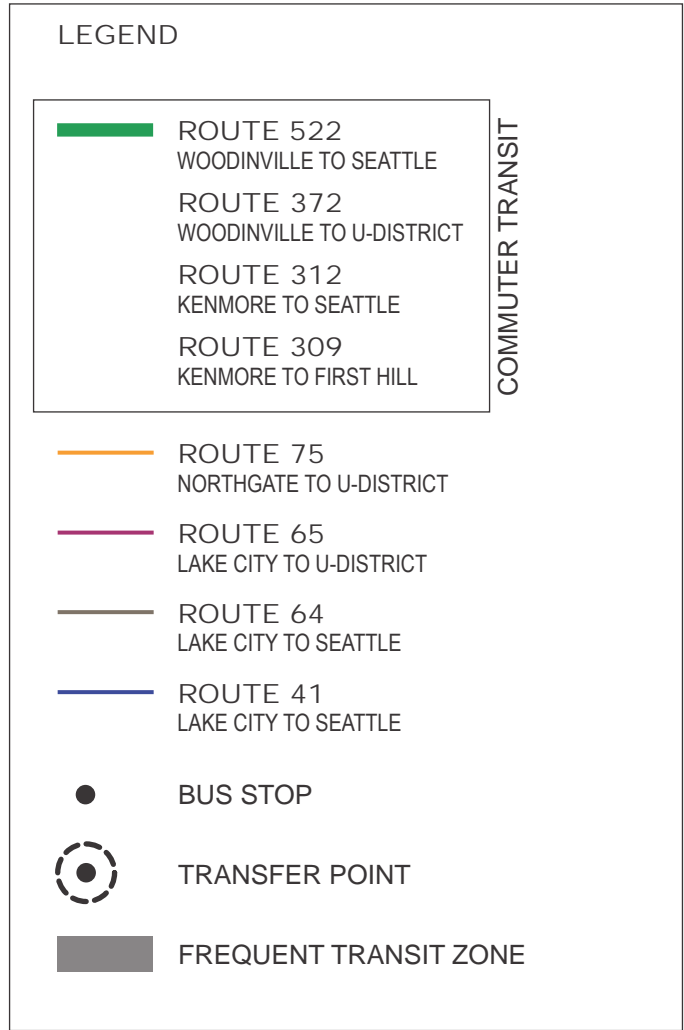
COMMERCIAL

PEDESTRIAN ZONING

ADJACENT USES:

The proposed development is located 2 blocks to the east of Lake City Way and at the edge of the pedestrian zoned downtown area. There is an abundance of mixed-use development along Lake City way with a wide variety of restaurants, retail, grocery and services within blocks of the site. Some downtown amenities include the Public Library, Lake City Mini Park, Albert Davis Park and Virgil Flaim Park.

Site Context: Bus Routes and Transportation



LOCAL TRANSPORTATION:

The site is located within the frequent transit area centered on Lake City Way. The area is well served by commuter transit with transfer point bus stops roughly 2 blocks from the site serving 4 commuter transit routes as well as access to 4 other local routes.



Site Conditions



3D VIEW OF 9 BLOCK RADIUS

SITE CONDITIONS:

The site is located at a major transition from commercial zoning to single family zoning. Development to the north, along 35th Ave NE is predominantly multifamily with a mixture of contemporary 4 story apartment buildings, and clusters of traditional 3 story townhomes. To the west, the older structures are mainly 1-2 story retail and office buildings with a large amount of newer, large apartments and mixed use developments up to 6 stories centered along Lake City Way. To the east and southeast are primarily 1 story single family residences. To the north and south, 35th Ave NE has a dense tree canopy, the existing mature trees on site will be preserved to retain that effect. The tree canopy coverage along NE 125th St is not as consistent, a new planting strip along the south property line will help to strengthen it.

Site Conditions - Context Photos



1
APARTMENTS



2



3



4
TOWNHOMES



5



6



7



8
OFFICE BUILDINGS



9



0

Existing Site Conditions

OPPORTUNITIES AND CONSTRAINTS:

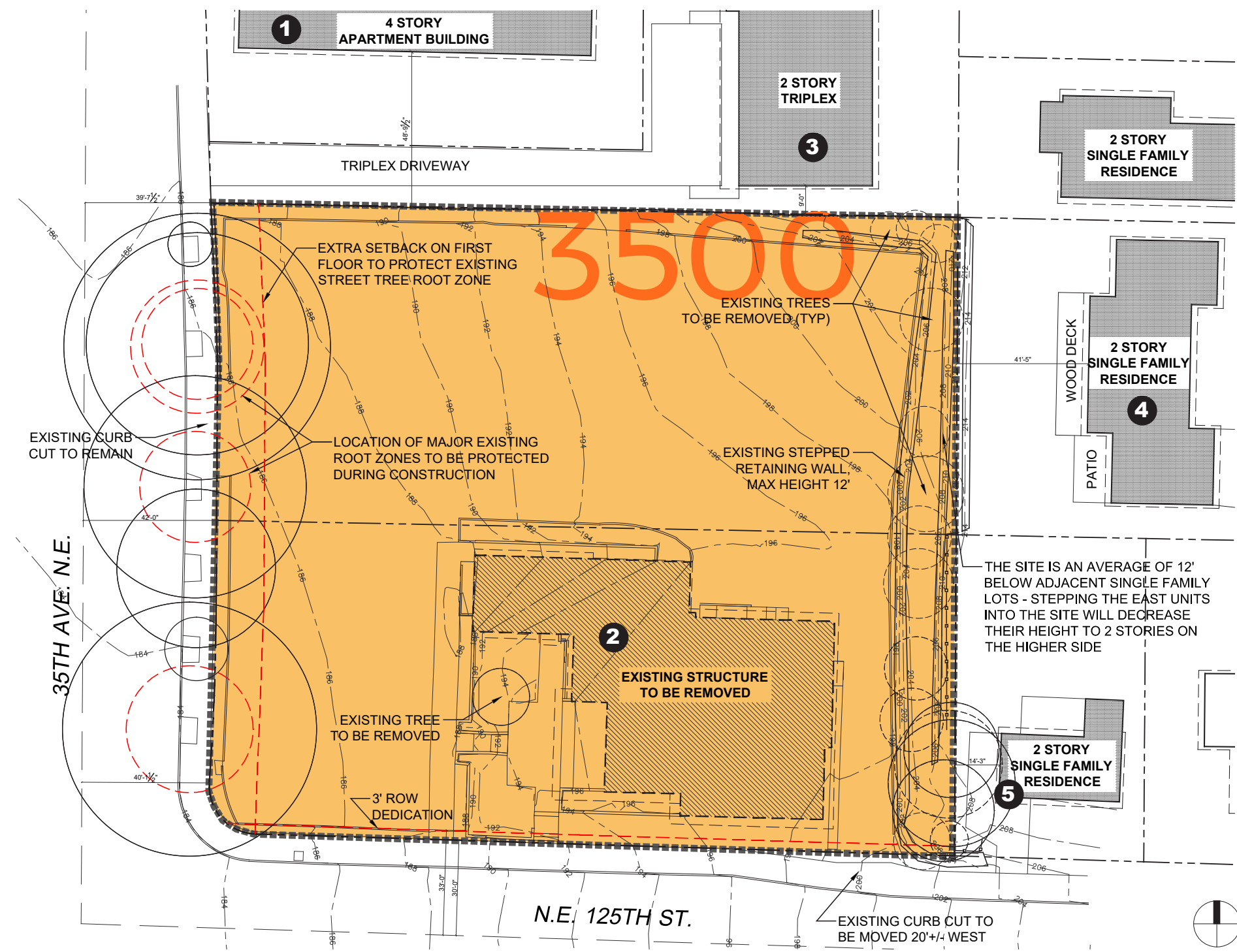
The existing site consists of a 5,339 sf masonry church and parking for 72 +/- vehicles on 2 lots totaling 46,625 sf. The structure and pavement will be removed.

The 4 story apartment building to the north is 48' from the property line, with decks and windows oriented toward the property. The 2 story triplex is located 9 feet from the north property line with a 10 ft driveway extending along the property line to 35th Ave NE. The large single family residence to the east that overlooks the property is 41 ft from the property line and the smaller residence along NE 125th St is 14 ft from the property.

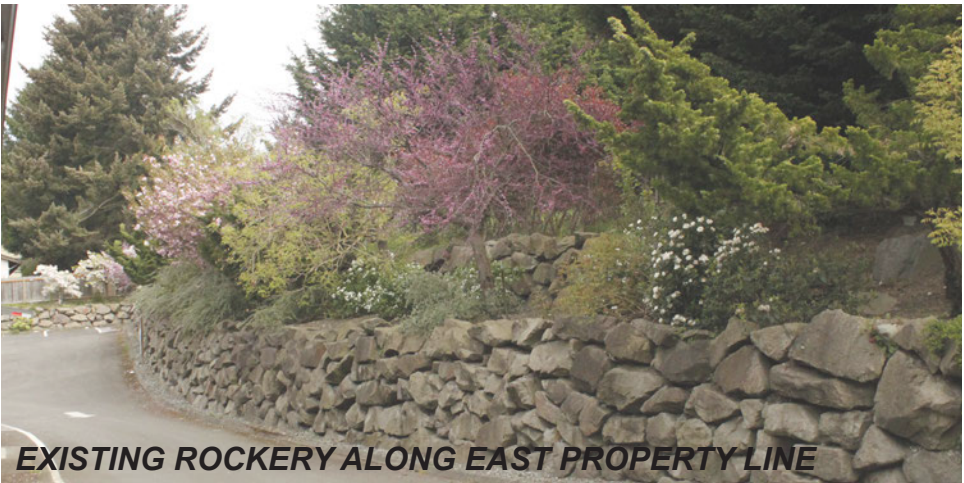
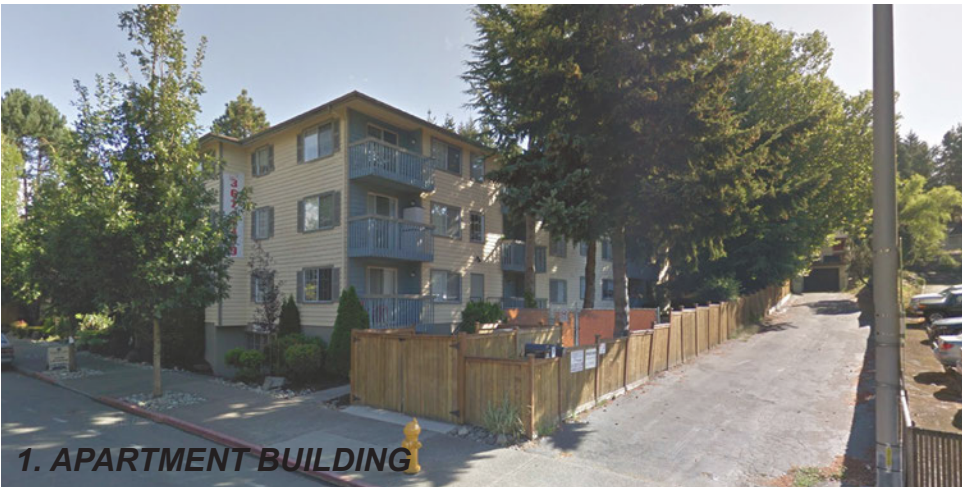
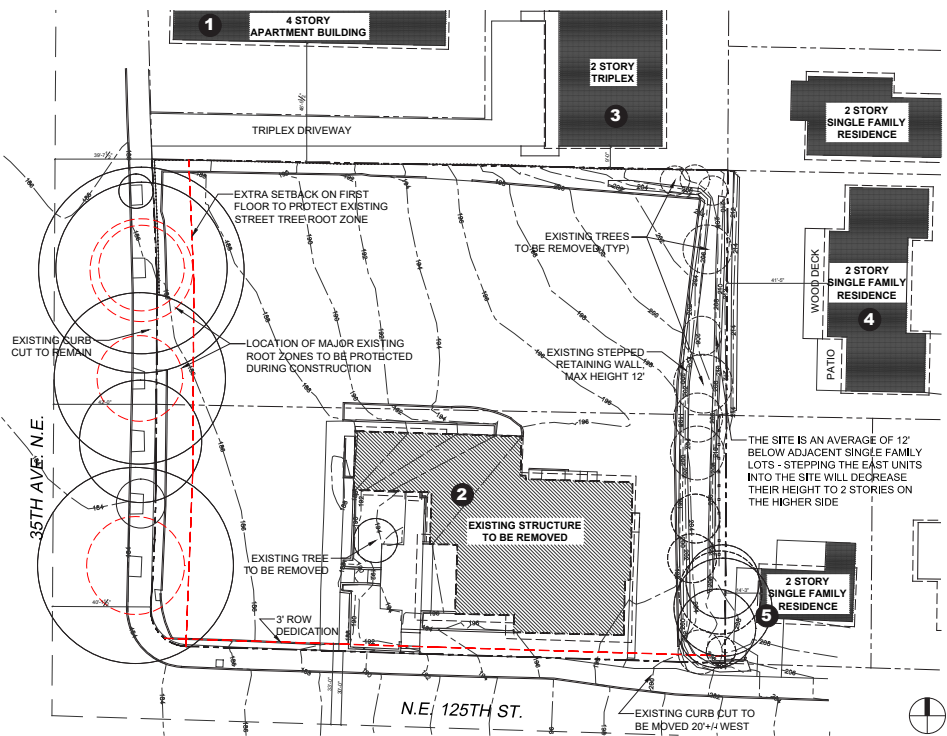
There are 5 mature street trees along 35th Ave NE that will be preserved and protected throughout construction, a larger setback on the first floor is proposed for all options to prevent excavation from encroaching on the existing root zones. All other trees on site will be removed and replaced with new plantings after construction.

A 3 ft ROW dedication is required along the south property line to allow for a new sidewalk and planting strip along NE 125th St it will increase the ROW from 30 ft to 33 ft. The existing curb cut on 35th Ave NE is proposed to remain and the existing curb cut on NE 125th St is proposed to shift west by 20 ft +/-, see option plans for location.

The property slopes 20 ft in height from the northeast coner (high) to the southwest corner (low). A tiered rockery wall along the east property line retains another 12 ft.

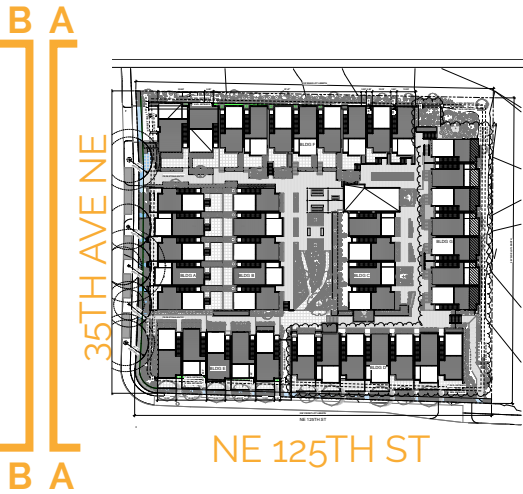


Existing Site Conditions

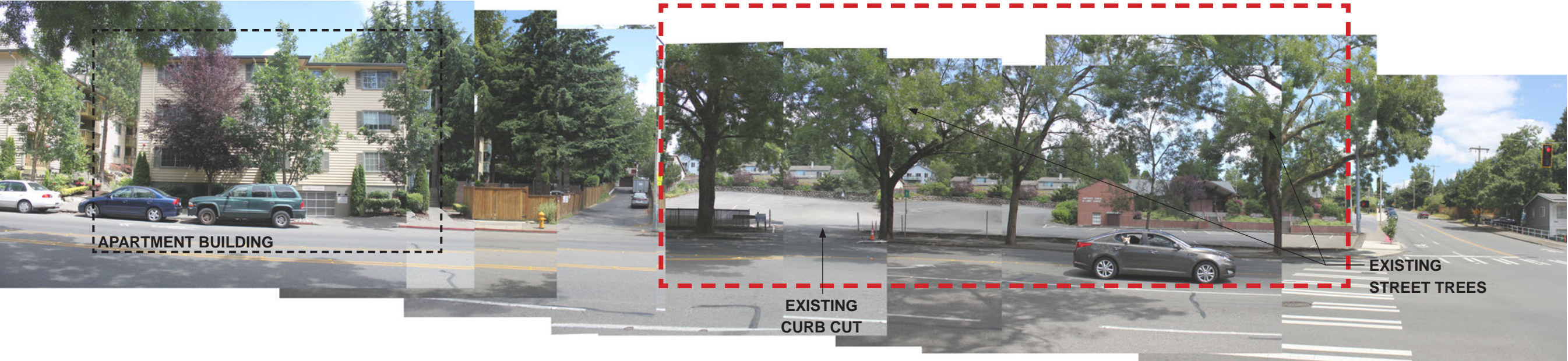


Street Montages

Existing Street Elevation : 35th Ave NE



A



35TH AVE NE LOOKING EAST

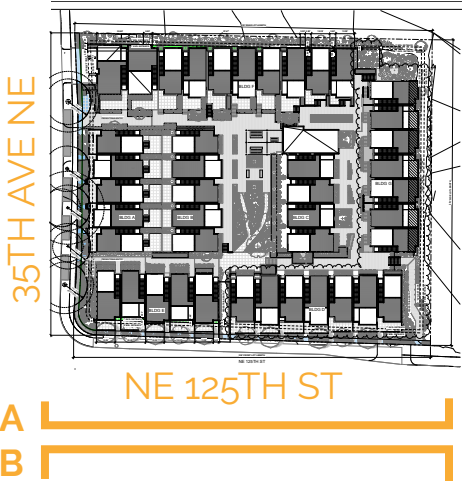
B



35TH AVE NE LOOKING WEST

Street Montages

Existing Street Elevation : NE 125th Street



A

SITE

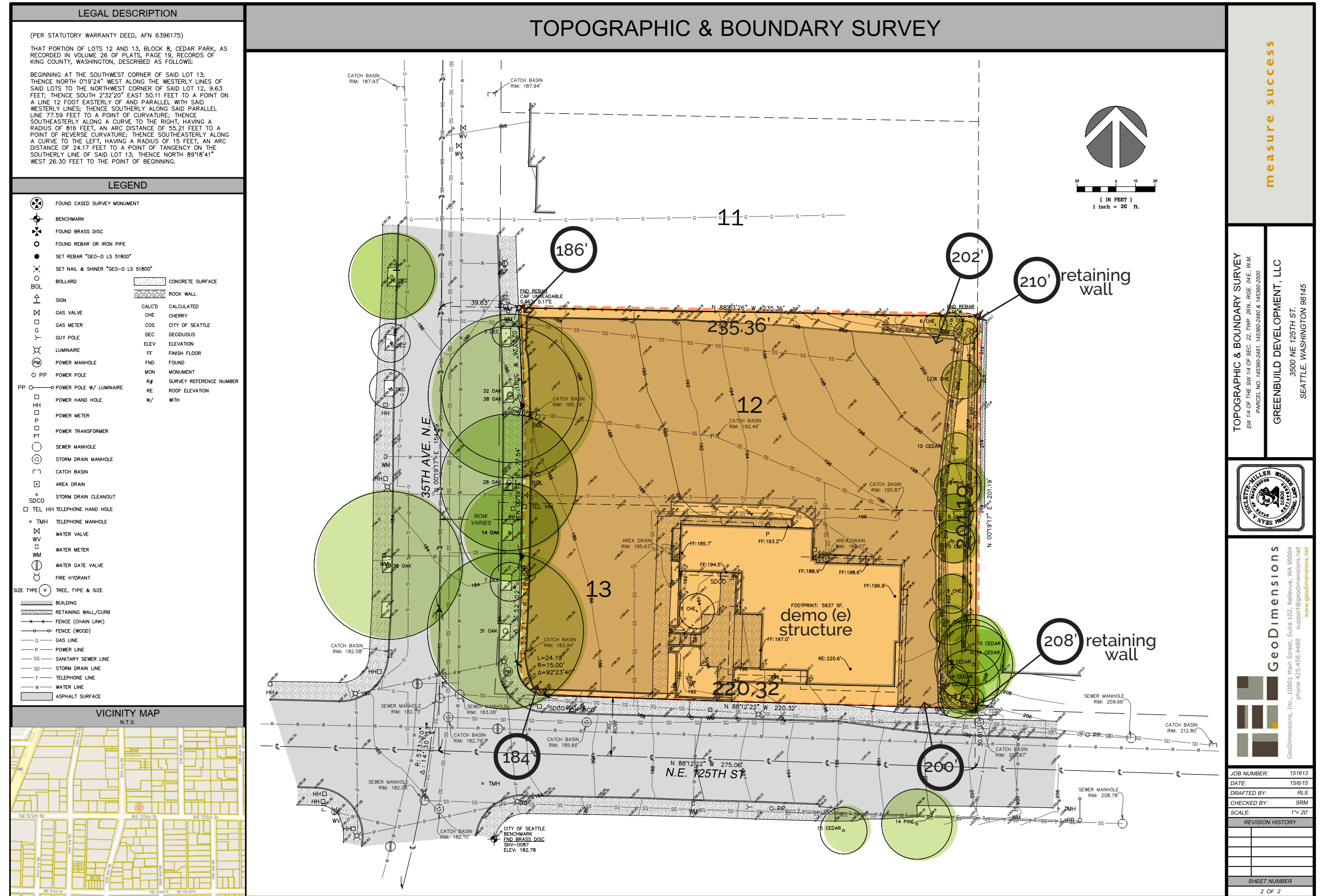


NE 125TH ST LOOKING NORTH

B



Site Survey



Seattle Muncipal Code Summary

23.45.510 FAR LIMITS:

- B. Rowhouse developments in LR2 zone: 1.3
- Townhouse developments in LR2 zone: 1.2
- 23.45.510 C
 - structures must meet a Built Green 4-star rating or higher
 - parking must be totally enclosed or located at the rear of the lot
- E1. Floor area within portions of a structure that are completely underground are exempt from FAR limits.
- E5. For rowhouse and townhouse developments that qualify for the higher FAR limit, floor area within a structure that is partially above grade, is used for parking, does not exceed 1 story, has no additional stories above and the roof area is used as amenity area is exempt from FAR limits.

23.45.512 DENSITY LIMITS:

- A. Rowhouse and townhouse developments in LR2 zones have no density limits

23.45.514 STRUCTURE HEIGHT:

- A. Rowhouse and townhouse developments in LR2 zones have a maximum height limit of 30’.
- H. Roof surfaces completely enclosed by a parapet may exceed the applicable height limit to allow for a slope.
- J2. Open railings, planters and parapets may extend 4 ft above the maximum height limit.
- J4. Stair penthouses may extend 10 ft above the height limit if the total coverage of all features does not exceed 15 percent of the roof area.

23.45.518 SETBACKS AND SEPARATIONS:

- A. Rowhouse:
 - Front - 5 ft min
 - Rear - 7 ft avg, 5 ft min
 - Side - 3.5 ft min/ 5 ft when abutting single family zone/ 0 ft when abutting rowhome
- Townhouse:
 - Front - 7 ft avg, 5 ft min
 - Rear - 7 ft avg, 5 ft min
 - Side - 5 ft min/ 7 ft avg, 5 ft min for facades greater than 40 ft in length
- F1. Minimum required separation between buildings is 10 ft.
- F2. If principle structures are separated by a driveway or parking aisle, the minimum separation is increased by 2 ft. Projections that enclose floor area may extend a maximum of 3 ft into required separation.
- H1. Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.
- H4. Unenclosed decks up to 18 in above grade may project into required setbacks to the lot line.
- H5. Unenclosed porches or steps no higher than 4 ft above grade may extend to within 4 ft of the lot line.
- I. Unenclosed decks and balconies may project a maximum of 4 ft into required setbacks if each one is: 1. no closer than 5 ft to a lot line, 2. no more than 20 ft wide, 3. separated from other decks on the same facade by a distance equal to half the projected width.

23.45.522 AMENITY AREA

- A1. Rowhouse and townhouse developments in LR2 zones is 25% of the lot area.
 - a minimum of 50% must be provided at ground level or on the roof of a structure that meets 23.45.510 E5
- D4. a. if a private amenity area abuts a side lot line, the minimum horizontal dimension is 10 ft.
 - b. an unenclosed porch of 60 sf minimum may be counted as private amenity area.
- D5 a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet.
 - b1. At least 50 percent of common amenity area shall be landscaped with grass, ground cover, bushes and/or trees.
 - b2. Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.

23.45.524 LANDSCAPING

- A2 a. Landscaping that achieves a Green Factor score of 0.6 or greater is required for any lot within a LR zone if development is proposed that has more than one dwelling unit. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score.
- B1. Existing street trees shall be retained and new street trees added.

23.45.526 LEED, BUILT GREEN, AND EVERGREEN SUSTAINABLE DEVELOPMENT STANDARDS

- A. Built Green 4-star rating compliance must be demonstrated per 23.45.510 C.

23.45.526 STRUCTURE WIDTH AND FACADE LENGTH LIMITS

- A. Max. structure width for rowhomes in LR2 zones: no limit
 - Max. structure width for townhomes in LR2 zones: 90 ft
- B. Max. combined facade length within 15 feet of side property line: 65% depth of lot.

23.54.015 PARKING REQUIREMENTS

- Table B - II M. No minimum parking requirement for residential uses in multifamily zones within urban villages if the residential use is located within 1,320 ft of a street with frequent transit service.
- Table D - D.2. 1 long-term bicycle parking space required per 4 units.

23.54.040 SOLID WASTE AND RECYCLABLES

- Table A. 26 - 50 dwelling units require a minimum of 375 sf
- D1. For developments with 9 dwelling units or more, the minimum horizontal dimension of required storage space is 12 ft.
- D2. The floor of the storage space shall be level and hard-surfaced
- D3. If located outdoors, the storage space shall be screened from public view and designed to minimize light and glare impacts.
- E1. The storage space shall not be located between a street facing facade of the structure and the street
- F1. Containers to be manually pulled shall be placed no more than 50 ft from a curb cut or collection location.
 - Access ramps to the storage space shall not exceed a grade of 6%
 - Any gates or access routes for trucks shall be a minimum of 10 ft wide

Design Guidelines Focus

It was important to the design team to develop the project by through design guidelines. Below is an outline summary of the various ways the team approached the guidelines, some comments received and corresponding results incorporated into the design.



CS2 Urban Patter and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

All proposed townhouses along the street edge, broken into several structures to relate in scale to the larger multi-family structures along 35th Ave NE. The units have private entry patios, wide pathways and large windows set at the first floor, inviting more activity adjacent to the street and sidewalks.

Careful siting, building design and massing at the upper levels should be used to achieve a positive transition at sensitive edges (zone transition, topographic changes, disparity between lot sizes).

Townhouse units along the east edge of the site are stepped, aligning with the existing topography of the site so that only two floors extend above the level of the existing, neighboring yards.



PL1 Connectivity

Complement and contribute to the network of open spaces around the site and the connections among them.

The developed design proposes over 22,000 of open amenity space around the site, broken up into several scales of gathering including an open courtyard in the middle of the development. Various walkways cross the site connect all the units to the open space and back to the street.

For large developments, consider pulling back from the street edge for open space, provided that the continuity of the building definition of the street is not excessively interrupted.

A 3' easement along NE 125th allows the ROW to expand, increasing the setback of the units from the existing street. Units along the street edge are pulled back from the sidewalk to provide a landscape buffer from the sidewalk.



PL2 Walkability

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing to pedestrian walkways and features.

The design proposes 4 main pedestrian entrances from the street through a break between buildings, articulated signage and entrance courts. All pedestrian walkways adjacent to vehicular entries are separated from the vehicle lane through a differentiating of paving patterns.



DC2 Architectural Concept

The proper articulation of a building;s facade should add to the quality and variety of Lake City's Hub Urban Village architecture.

The proposed development will have a consistent, modern apperance as a whole while including modulation, details and material changes that differentiate each building in the development., so that each has a unique sense of character.

Design building's when possible to encourage multi-tenant occupancy and walk-in traffic at the street level. Generous street-level windows and entrances will animate the street.

Living areas have been located on the first floor in the proposed development to further enhance the street-level transparency and provide views for residents to the common courtyard space in the center of the project.



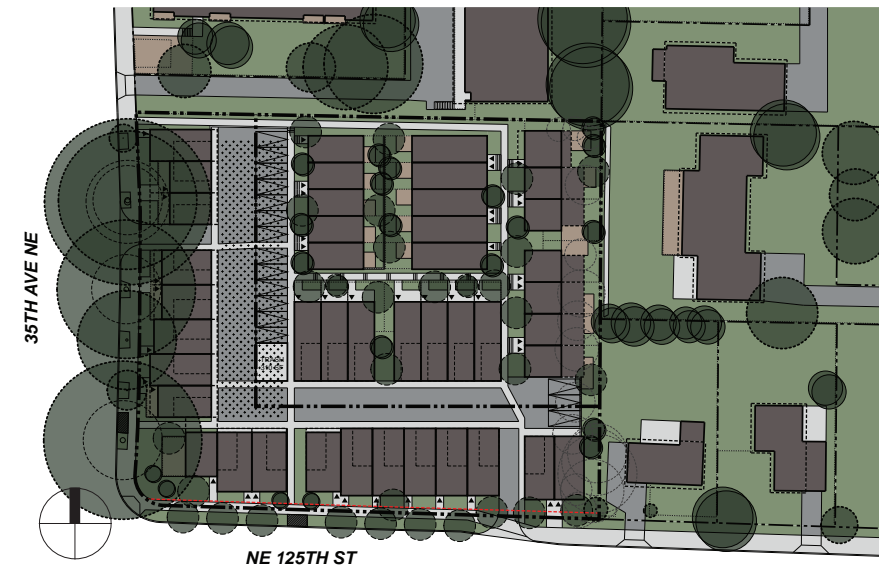
DC4 Exterior Elements and Finishes

Use appropriate and high quality elements and finishes for the building and its open spaces.

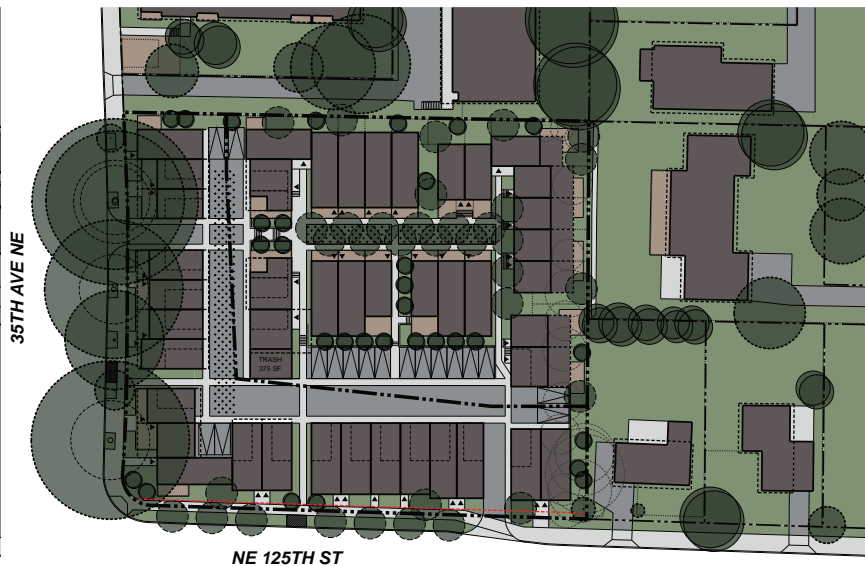
All exterior finishes will be durable and varied, with clean lines and window detailing to add texture and interest. Window openings will be maximized to make unit interiors feel larger and decrease the amount of blank walls. A combination of pathway lighting, sconces and wall fixtures will all work together to incease safety and usability of the site. All lights to be shielded and directed away from neighboring properties.

All plantings are chosen to complement the design and add interest to the amenity areas throughout the year.

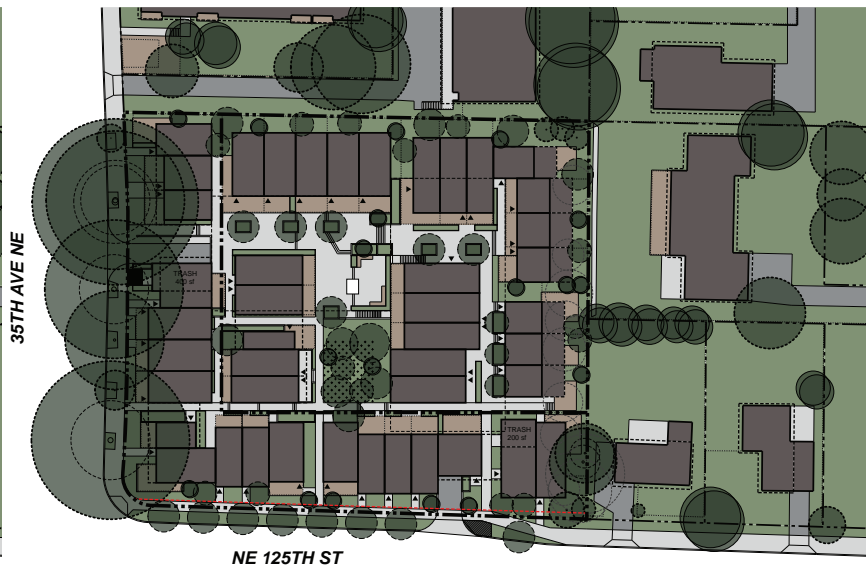
Early Design Guidance Summary



OPTION 1



OPTION 2



OPTION 3 - PREFERRED

SUMMARY

UNITS: 43 units + 40 parking spaces
TOTAL FAR: 53,268 sf (living space)
AMENITY: 11,826 sf @ ground
14,172 sf @ ground

STORMWATER MANAGEMENT: 4500 sf permeable pavement facility

PROS: More private amenity area at ground level for townhouse units
Rowhouses are setback farthest from SW corner
Offers large permeable pavement facility

CONS: Only 21% of units are 3 bedroom
Units are shifted closer together to fit parking and turnaround
West Rowhomes close to property line
Rowhomes have minimal amenity area at ground
Private garages take up 6,400 sf interior space
10,772 sf exposed pavement for vehicle access
3 units without parking

PROPOSED DEPARTURES:
No departures proposed, code compliant scheme

UNITS: 43 units + 39 parking spaces
TOTAL FAR: 53,865 sf (living space)
AMENITY: 11,208 sf @ ground
14,516 sf @ roof deck

STORMWATER MANAGEMENT: 1482 sf permeable pavement facility
921 sf (series of) infiltrating bio-cell

PROS: Large common courtyard with private decks overlooking
Offer 2 infiltrating facilities for stormwater management

CONS: Only 33% of units are 3 bedroom
Units are shifted closer together to fit parking and turnaround
West Rowhomes close to property line
Rowhomes have minimal amenity area at ground
Private garages take up 2,000 sf interior space
9,960 sf exposed pavement for vehicle access
4 units without parking

PROPOSED DEPARTURES:
SETBACKS - Townhouse RY from 5'-0" min to 0'-9" min
FACADE LENGTH - Rowhouse SY from 65% lot depth to 69.2% lot depth
Townhouse FY from 65% lot depth to 83.5% lot depth
Townhouse SY(W) from 65% lot depth to 76.3% lot depth
Townhouse SY(E) from 65% lot depth to 79.7% lot depth

UNITS: 44 units + 44 parking spaces
TOTAL FAR: 57,845 sf (living space)
AMENITY: 20,026 sf @ ground
14,812 sf @ roof deck

STORMWATER MANAGEMENT: 841 sf (series of) infiltrating bio-cell

PROS: Underground garages minimize required exposed paving
Amenity space at ground almost doubles
Allows large common gathering spaces throughout development
57% of units are 3 bedrooms - more family oriented
All units have parking in common garage
More planting space at ground, creating privacy between units

CONS: Underground garages require much more grading of site
Requires more units to be sprinkled

PROPOSED DEPARTURES:
SETBACKS - Townhouse FY from 7'-0" avg to 5'-9" avg
Townhouse SY(W) from 7'-0" avg to 6'-0" avg
FACADE LENGTH - Rowhouse SY from 65% lot depth to 88.6% lot depth
Townhouse SY(W) from 65% lot depth to 70.5% lot depth
Townhouse SY(E) from 65% lot depth to 68.2% lot depth

EDG GUIDANCE AND RESPONSE

The board indicated support for option 3 as the central courtyard and open space concept strengthens the overall site plan. The design continues to explore opportunities to create a sense of community through shared space and pedestrian oriented connectivity.

PUBLIC COMMENT

The following public comments were offered at this meeting:

- The three story buildings may negatively impact privacy.
- Buildings should not be too close to the sidewalk.
- The 125th Street facades will be a gateway to the Lake City urban hub.
- Street trees should protected and preserved.
- Doors and entries need to address the street.
- Favored Option 3 for the underground parking and large central open space
- Rooftop spaces need to respect the privacy of existing neighbors.
- Each townhome should be unique.

PRIORITIES & BOARD RECOMMENDATIONS

1. Pedestrian Experience:

- a. Pedestrian oriented views should be included at the Recommendation phase for perspectives at the street and amenity areas. Vignettes at the Recommendation phase showing pedestrian entrances along 35th and 125th are essential as well. (PL1-B,C, & PL3-A)
- b. The Board acknowledged public comment regarding the trees and noted that the four Raywood Ash trees proposed for preservation on 35th Street are a large part of the area's identity. The modulation shown to stay out of their root zones was commended by the Board. A forthcoming arborist report for the MUP will detail preservation measures. (CS2-B)
- c. Dumpster loading and move in/move out spaces needs to be depicted and analyzed at the Recommendation meeting. (DC1-C)

2. Massing Options:

- a. The Board agreed with public comment and favored the third option for the underground parking, the large central amenity space, and the amount of modulation present. (DC2-B and DC3-A&B)
- b. Groups of townhomes should have unique character broken up into groups of two or three. (DC2-B)

3. Central Amenity Space:

- The Board favored the large central open space and commended the precedent images shown in the packet. The Board provided the following guidance related to the integration and activation of the open space.
- a. There should be an elevator from the garage or a well-designed ramp for accessibility. Both should be integrated into the open space and not hidden. (CS1-C)
- b. Board stressed that consideration of the walkways and amenity space for universal accessibility i.e. wheelchairs, strollers, bikes is critical. Since there is substantial grade change from the sidewalk, individual unit access from the amenity area should be considered. (DC3-C, PL1-A, PL2-A)
- c. Explore opportunities to create a sense of community through shared space such as location of the mail boxes. (PL1-C)

4. Roof Decks:

- The Board provided the following guidance related to the stair towers and roof:
- a. No detail of individual roof decks was provided at EDG. Stair towers are evident in the axonometric drawing and should not obstruct views. Penthouse stairs should be minimized to reduce perceived height. (CS2-D)
- b. Echoing public comment regarding privacy impacts, the Board agreed that screens or planters should be added to the roof decks to keep residents from the north and east property lines. (DC3-B)

5. Material and Color:

- The Boards encouraged the creation of unique groups of townhomes to assist in wayfinding and expressing individuality. They suggested bold colors servicing the modulation of the units.
- a. At the Recommendation phase, the Board wants to see details of fences, gates, lighting, and guardrails. (DC4-A)
- b. Landscaping needs to be durable and appropriate for residential use. (DC4-D)

6. Corner Treatment:

- a. The Board did not support the erosion of the corner as the overall development is modulated enough to reduce the sense of bulk at the corner. No formal element or node is needed, simply a sense of careful design. Different material or signage could highlight the corner element.
- b. The Board noted that a unique gate or deck may be appropriate. The corner unit could aid in wayfinding for the project.
- c. The fenestration should be unique and thoughtfully composed. (DC-2)

Development Standard Departures

- At the time of the Early Design Guidance the following departures were requested:
1. Front and Street Setbacks (SMC 23.45.518): The Code requires front and street side setbacks of 7 feet average and 5 feet minimum. The applicant proposes reductions to down to 5' min, 5' 9" average. The project is broken up into two parcels so the departures are needed at the streets and at the borders of the interior of site. These departures allow for additional open space in the interior of the project.
- The Board indicated early support for these departures as they felt the large central open space present in Massing Option 3 was a desirable design element that strengthens the overall site plan. They advised that close attention to building spacing with respect to window openings should be provided as the design progresses. (DC3-B)
2. Façade Length (SMC 23.45.526): The Code requires a maximum combined façade length within 15ft of property line is 65% depth of lot. The applicant proposes to exceed this standard in two locations in between the rowhouses and townhomes locations 88.6% at the north boundary and 70.5% at the west boundary. The only external façade length departure is along the east property line and is 68.2%. These departures result in maximized internal open space.

The Board favored these departures and had no concerns about the departures internal to the overall project area. They accepted the eastern façade length departure as it increased the amount of central open space. In addition, the change in topography between the subject property and the adjacent parcel to the east helps mitigate the impact of the development. (DC3-B)

EDG GUIDANCE:

- 1 Pedestrian Experience
- 2 Massing Options
- 3 Central Amenity Space
- 4 Roof Decks
- 5 Material and Color
- 6 Corner Treatment



The **pedestrian experience** is essential to the success of the design of the development. Vignettes showing **pedestrian oriented views at the street level, amenity space and unit entries** should be included at the recommendation stage.

EDG DESIGN GUIDANCE:

1. Pedestrian Experience:
- a. Pedestrian oriented views should be included at the Recommendation phase for perspectives at the street and amenity areas. Vignettes at the Recommendation phase showing pedestrian entrances along 35th and 125th are essential as well. (PL1-B,C, & PL3-A)

b. The Board acknowledged public comment regarding the trees and noted that the four Raywood Ash trees proposed for preservation on 35th Street are a large part of the area's identity. The modulation shown to stay out of their root zones was commended by the Board. A forthcoming arborist report for the MUP will detail preservation measures. (CS2-B)

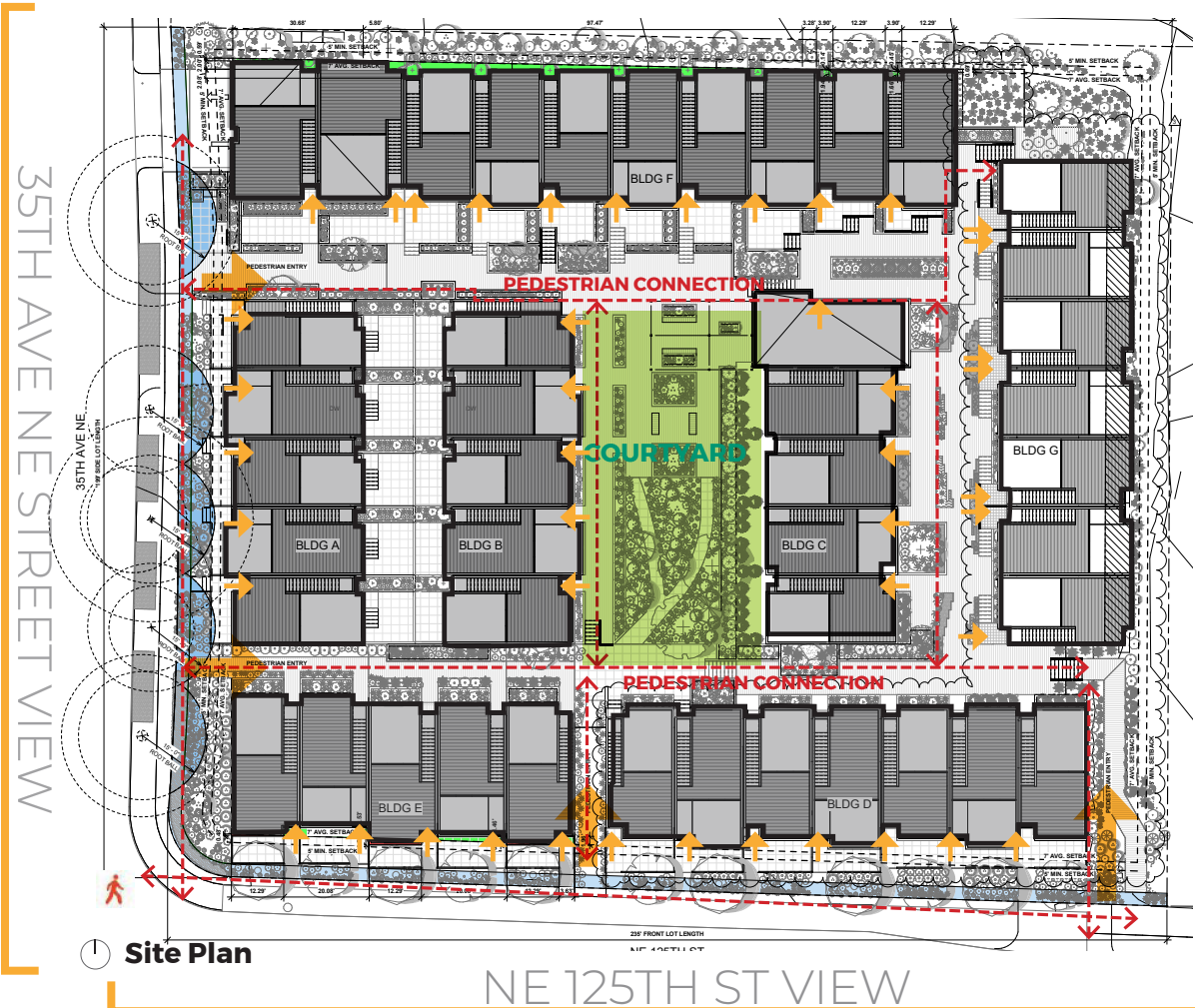
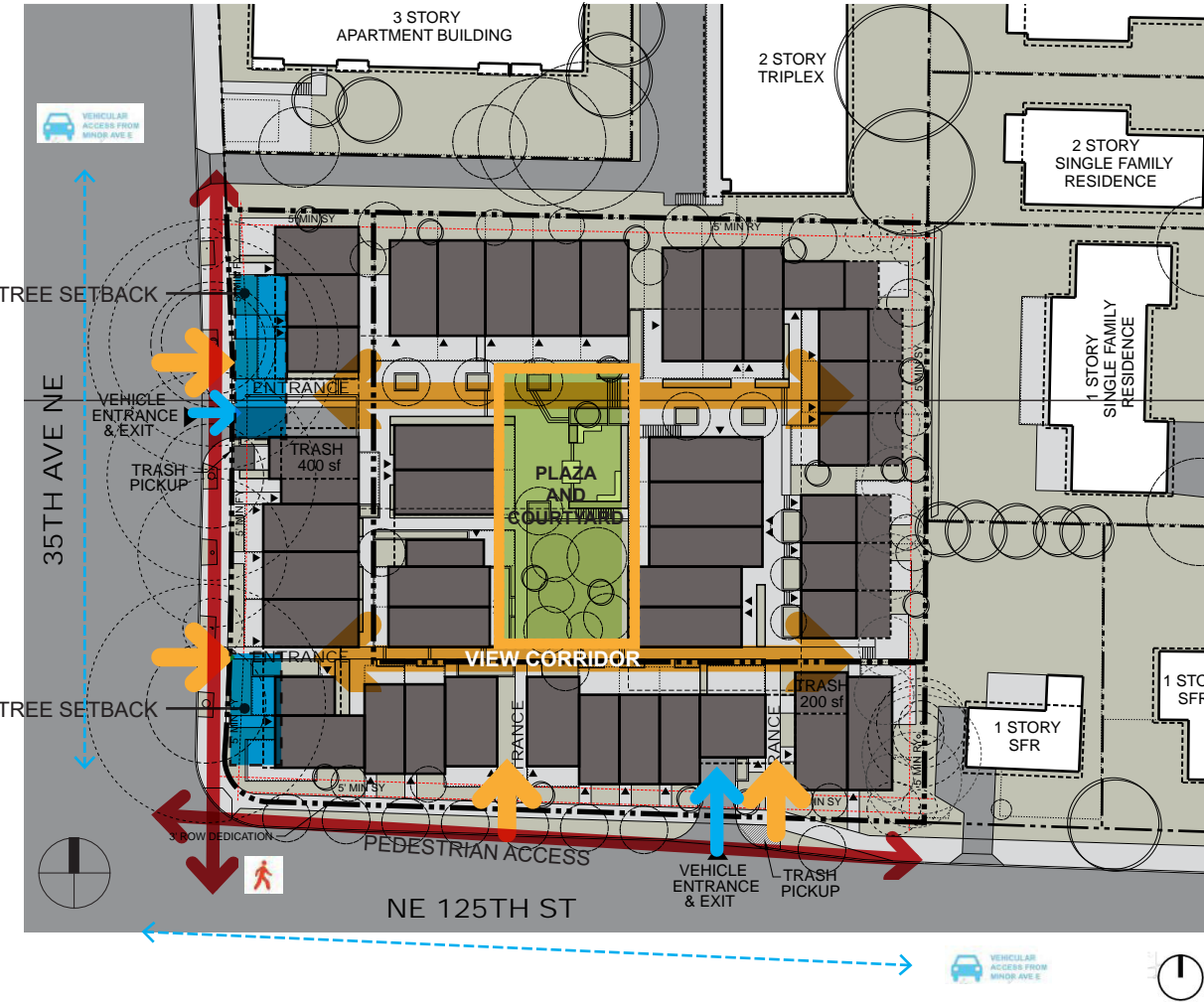
RESPONSE:

The pedestrian experience was essential in the success of developing the design for recommendation. Specific attention was given to landscape buffers, amenity areas and courtyard space and residential unit entries. Along the street edges, the Raywood Ash trees have been preserved in the design in order to maintain the dense streetscape along 35th Ave NE, allowing the building to react and modulate as needed to stay out of root zones. Additional landscape buffers, private fenced yards, and gates help define the transition between the public zone and sidewalk area to the more private space of the residential entry stoops. Additional views and plans of each type of unit entry has been included in this packet.

EDG Option 3

DEVELOPMENT

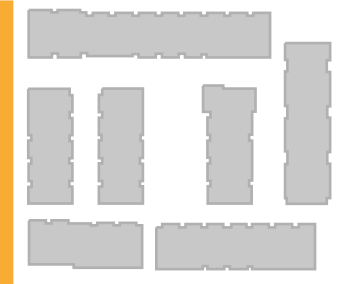
Recommendation



Pedestrian Views at Street Level

35TH AVE NE STREET VIEW

Key >



vehicular entry to parking garage

main community wide pedestrian entry with tiered landscape planters

color gasket emphasizes modulation in massing

guardrails at roof deck provide detail and help break up the mass, allowing more views to the sky from the pedestrian experience

screened waste storage staging areas

differentiated paving pattern for vehicle entry

bright yellow painted, recessed entry way doors inject color and life into pedestrian experience

existing street trees to be maintained and protected during

lush, landscape buffer between private residential entrance and patio and the sidewalk / street

secondary pedestrian connection and entry point into the community

Pedestrian Views at Street Level

NE 125TH STREET VIEW

Key >



existing street trees to be maintained and protected during

large windows provide street level transparency to help activate streetscape

guardrails at roof deck provide detail and help break up the mass, allowing more views to the sky from the pedestrian experience

color gasket emphasizes modulation in massing

landscape buffer between semi-private residential patios and public sidewalk

expanded ROW off NE 125TH adds additional landscape buffer

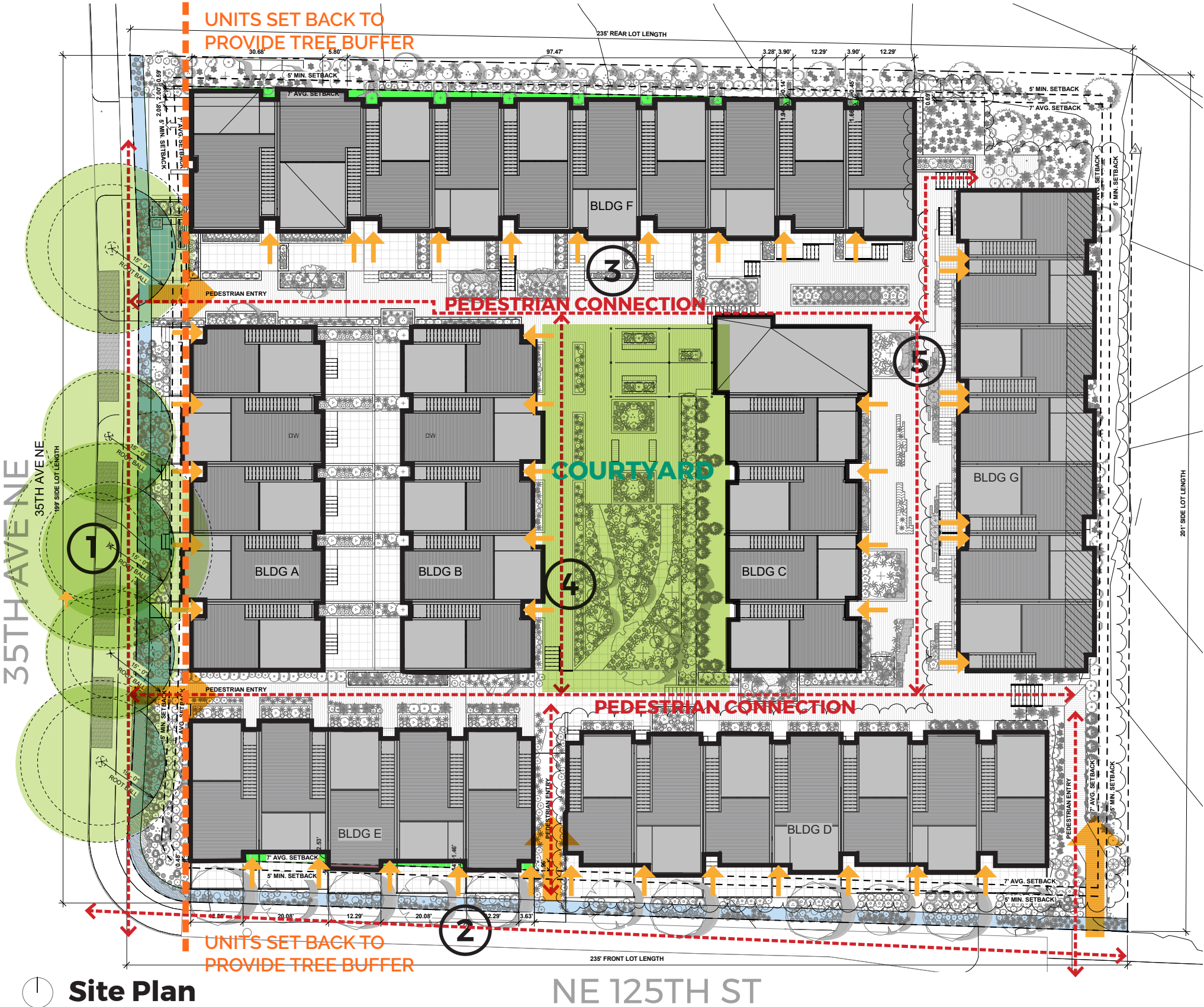
bright yellow painted, recessed entry way doors inject color and life into pedestrian experience

lush, landscape buffer between private residential entrance and patio and the sidewalk / street

secondary pedestrian connection and entry point into the community off NE 125TH, 10'-0" wide

massing steps up the hill as the street and sidewalk grade changes

Residential Entries and Tree Protection



Site Plan

Project Development

- 1 35TH AVE NE STREET UNIT ENTRY
- 2 NE 125TH ST STREET UNIT ENTRY
- 3 NORTH UNITS - RES ENTRY
- 4 COURTYARD UNITS - RES ENTRY
- 5 EAST UNITS - RES ENTRY

EDG DESIGN GUIDANCE:

- 1. Pedestrian Experience:
 - b. The Board acknowledged public comment regarding the trees and noted that the four Raywood Ash trees proposed for preservation on 35th Street are a large part of the area's identity. The modulation shown to stay out of their root zones was commended by the Board. A forthcoming arborist report for the MUP will detail preservation measures. (CS2-B)



RESPONSE:

A formal arborist report was conducted by a certified arborist to evaluate the health and condition of all trees on and around the site. The four Raywood Ash trees will be preserved per arborists recommendations in order to provide much needed ecosystem services, shade during the summer months and light filtering during the winter. The buildings along 35th Ave NE have been setback per the required distance. Additional trees will also be planted throughout the new development, per the landscape plan.

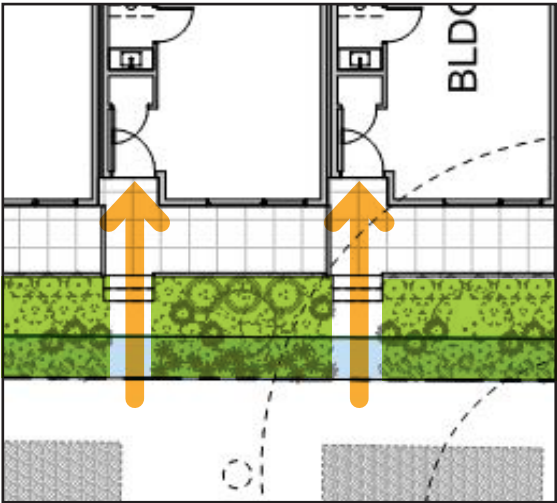
Residential Entry Vignettes

1

35TH AVE NE (STREET ENTRY VIEW)

Pedestrian Experience:

The street trees off 35th Ave Ne have been preserved and the residential entries setback with a landscape buffer in order to protect the tree canopies. This allows for a broad entry path up to an elevated private patio for residents to use as well as activate the street.



Plan View



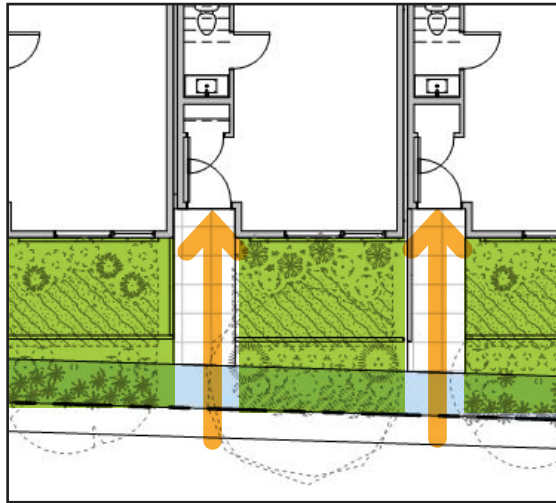
Vignette

2

NE 125TH ST (STREET ENTRY VIEW)

Pedestrian Experience:

The ROW has been expanded off NE 125th Street allowing for a generous setback from the sidewalk. Fenced yards / res entry gates allow a level of transparency while still not impeding street level transparency from the living area on the ground floor.

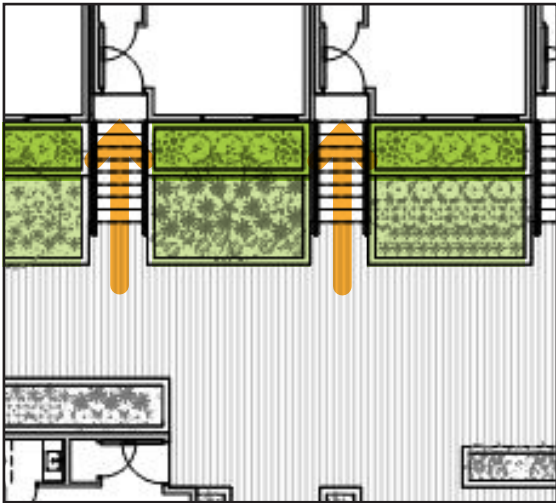


3

NORTH UNITS (RES ENTRY)

Pedestrian Experience:

The north units are accessed off the main community entry and are elevated, banked on each side by a tiered planter and bio-retention planter for a planting screening and separation from the pedestrian connection and community courtyard beyond.

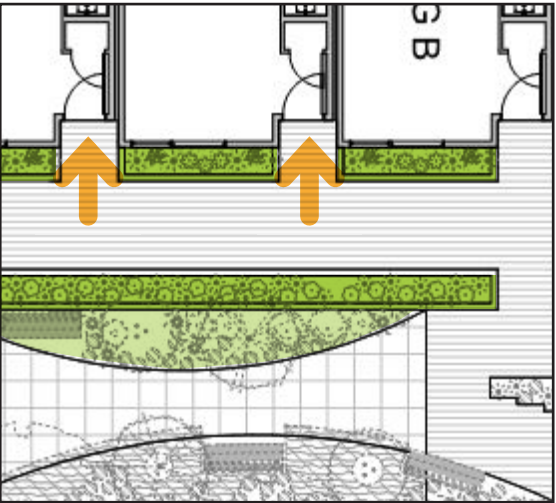


4

COURTYARD UNITS (RES ENTRY)

Pedestrian Experience:

The courtyard units have a secondary community connection that runs north south. A small planter allows for a landscape buffer but views from the ground floor living space look out onto the lushly planted courtyard with several new planted trees.

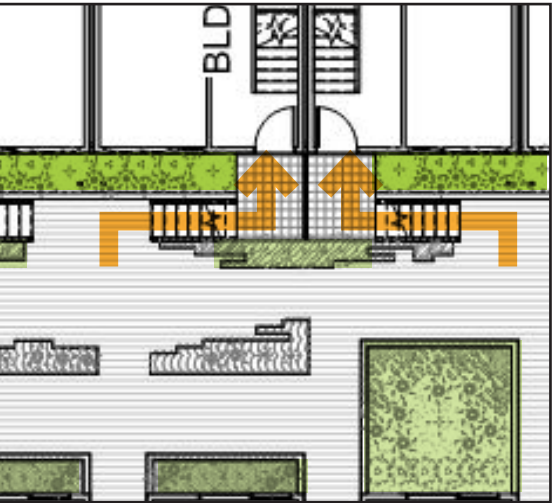


5

EAST UNITS (RES ENTRY)

Pedestrian Experience:

As each of the buildings have a unique character in regards to breaking down the mass of the buildings, the unit entries for the east units are ganged together and elevated over the residential pedestrian pathway.



Waste Management + Parking

EDG DESIGN GUIDANCE:

- 1. Pedestrian Experience:
c. Dumpster loading and move in/move out spaces needs to be depicted and analyzed at the Recommendation meeting. (DC1-C)

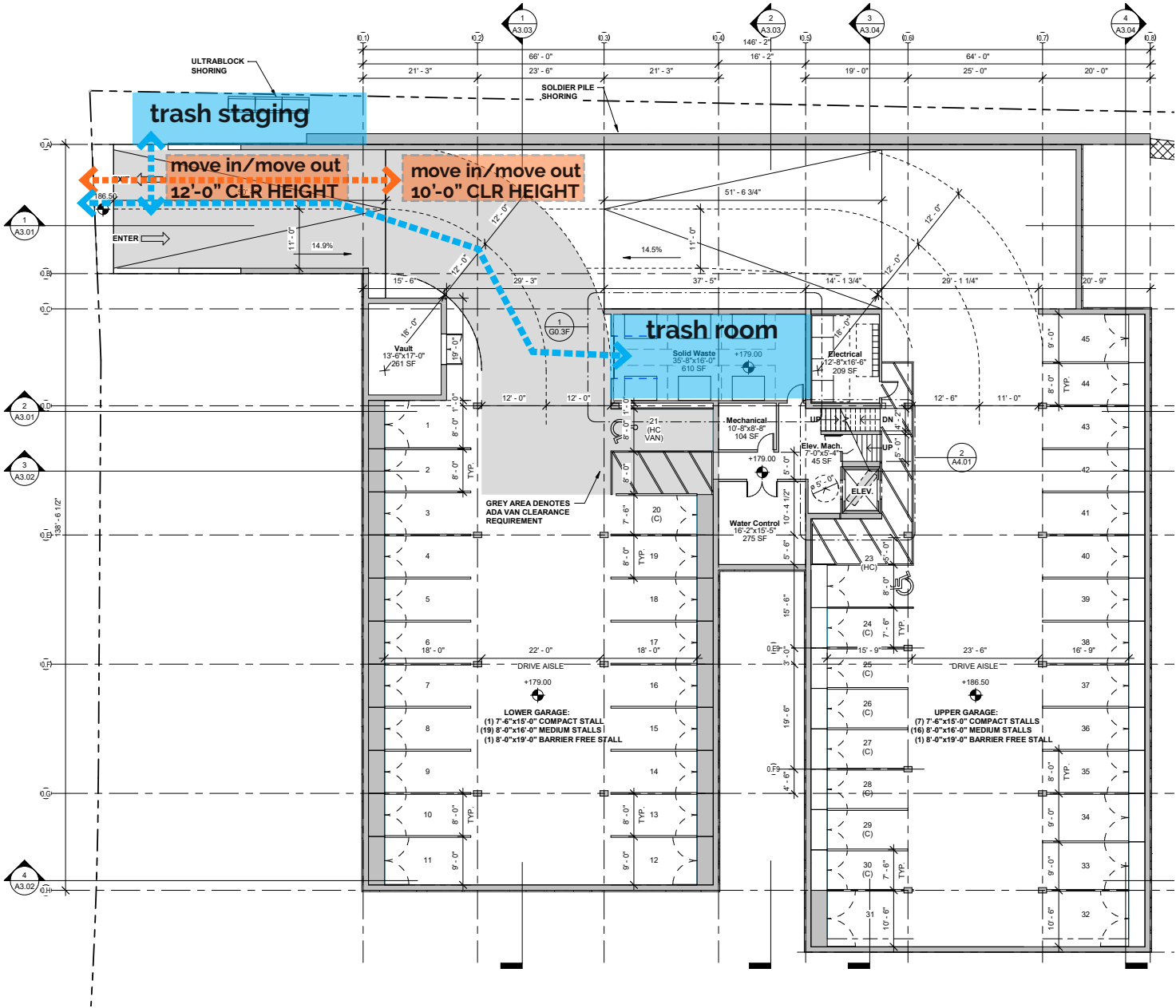
RESPONSE:

The waste storage and trash room is located in the basement, garage level for ease of access. The trash will be staged along the north property line and screened using a 4'-0" tall cedar fence. The natural topography also helps to minimize the impact of the staging area.

Move in and move out, while not happening often, can be accomodated by using the garage level. Moving vans up to 10'-0" in height can be accomodated in the lower part of the garage and parking space for trucks up to 12'-0" can be accomodated on the ramp for conveience.

LEGEND:

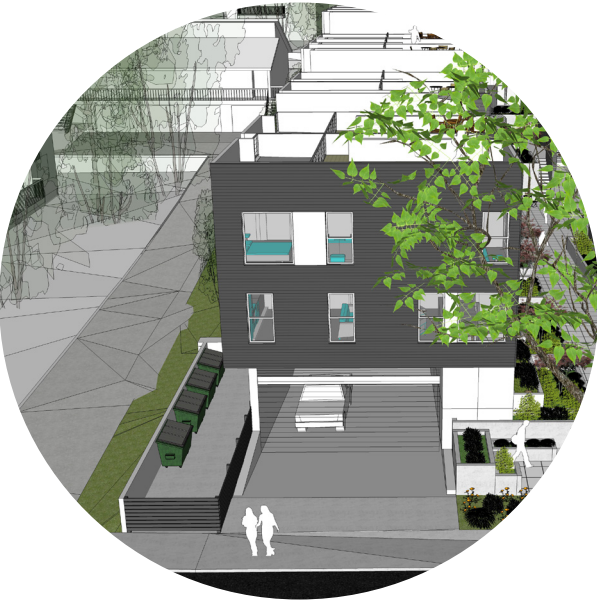
- trash access
- trash room / staging area
- move in / move out path
- move in / move out loading



garage level plan



Trash Staging Area / Driveway





The board agreed with the public comment and favored the third option during the EDG presentation encouraging underground parking, a large central amenity space and modulated townhouses grouped into unique groups of two or three.

EDG DESIGN GUIDANCE:
2 Massing Options:

- a. The Board agreed with public comment and favored the third option for the underground parking, the large central amenity space, and the amount of modulation present. (DC2-B and DC3-A&B)
- b. Groups of townhomes should have unique character broken up into groups of two or three. (DC2-B Scale)

RESPONSE:

- a. The third option from EDG was maintained and developed in an effort to enhance the large central amenity space, keep all parking underground and preserve the modulation of the exterior massing of the structure.
- b. The townhouses were then broken down into groups of two or three, each having a unique character and sense of identity through differentiating the fenestration and material patterns. You can see on the right, that the general massing has been preserved through these main design guidance principles:

- parking preserved underground
- reduce bulk, scale and height
- central grove courtyard space
- group townhouses into groups

EDG:  DEVELOPMENT 



Recommendation:



View Into Courtyard Interior >

35th Ave NE Development

EDG DESIGN GUIDANCE:

2 Massing Options:

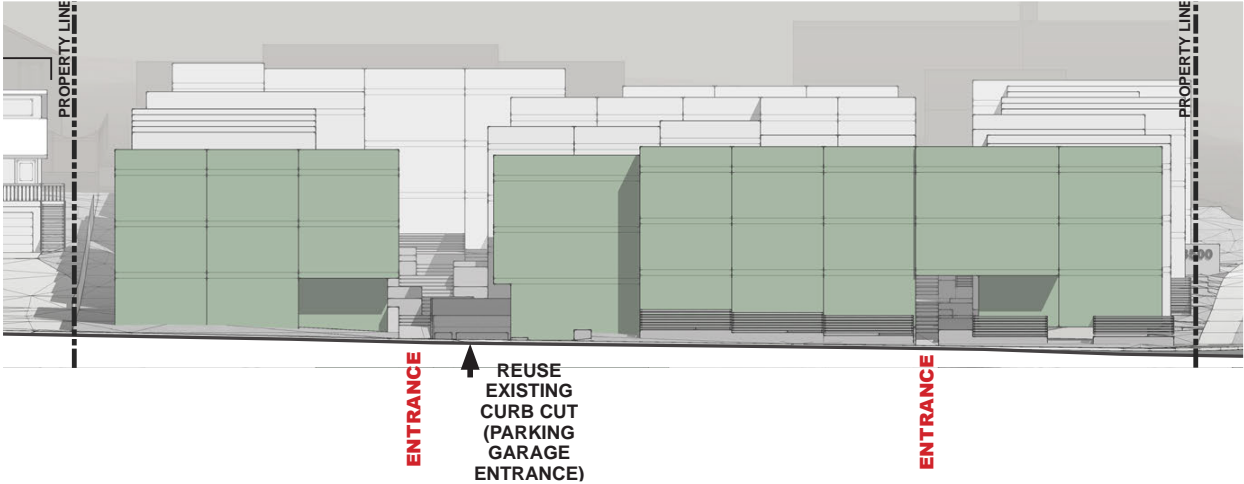
- a. The Board agreed with public comment and favored the third option for the underground parking, the large central amenity space, and the amount of modulation present. (DC2-B and DC3-A&B)
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RESPON

- b. The townhouses were then broken down into groups of two or three, each having a unique character and sense of identity through differentiating the fenestration and material patterns. You can see below these material changes and facade modulation, further emphasized through a bold blue color, in the gasket of the townhouses.



EDG VIEW



BIG MOVES

- SECONDARY ARCHITECTURE FEATURES
- MODULATED MASSING
- MATERIAL VARIETY
- RECESSED MASS
- INCORPORATED USE OF COLOR
- VARIED WINDOW COMPOSITION
- TOWNHOUSES GROUPED IN TWO'S AND THREES'S



RECOMMENDATION
35th Ave NE Elevation

NE 125th St Development

EDG DESIGN GUIDANCE:

2 Massing Options:

- a. The Board agreed with public comment and favored the third option for the underground parking, the large central amenity space, and the amount of modulation present. (DC2-B and DC3-A&B)
- b. Groups of townhomes should have unique character broken up into groups of two or three. (DC2-B Scale)

Inspiration Imagery - Fenestration



RESPONSE:

- b. The townhouses were then broken down into groups of two or three, each having a unique character and sense of identity through differentiating the fenestration and material patterns. You can see below these material changes and facade modulation, further emphasized through a bold blue color, in the gasket of the townhouses.

NE 125th St townhouses have a provide transitional massing from the commercial uses on the east and the single family uses on the west.

RECOMMENDATION
NE 125th St Elevation

EDG VIEW

WEST ELEVATION - 35th Ave NE



SOUTH ELEVATION - NE 125th St





The board favored the **large central open space to create a sense of community through shared space.** The project should consider **integrated, universal accessibility through ramps and elevators.**

EDG DESIGN GUIDANCE:

3: Central Amenity Space:

The Board favored the large central open space and commended the precedent images shown in the packet. The Board provided the following guidance related to the integration and activation of the open space.

- a. There should be an elevator from the garage or a well-designed ramp for accessibility. Both should be integrated into the open space and not hidden. (CS1-C)
- b. Board stressed that consideration of the walkways and amenity space for universal accessibility i.e. wheelchairs, strollers, bikes is critical. Since there is substantial grade change from the sidewalk, individual unit access from the amenity area should be considered. (DC3-C, PL1-A, PL2-A)
- c. Explore opportunities to create a sense of community through shared space such as location of the mail

RESPONSE:

Creating opportunities for community, shared connection and universal accessibility was one of the principal drivers in developing option 3 from EDG. The design has maintained the large central open space in the center of the project and has further developed opportunities for residents to connect by adding an elevator in the mail room that also doubles to provide intergrated, universal accessibility.



Recommendation:



LAKE CITY COURT APARTMENTS (12536 33rd Ave NE) - AMENITY AREA
BROKEN INTO SEVERAL USES DEFINED BY PAVING AND LANDSCAPING.



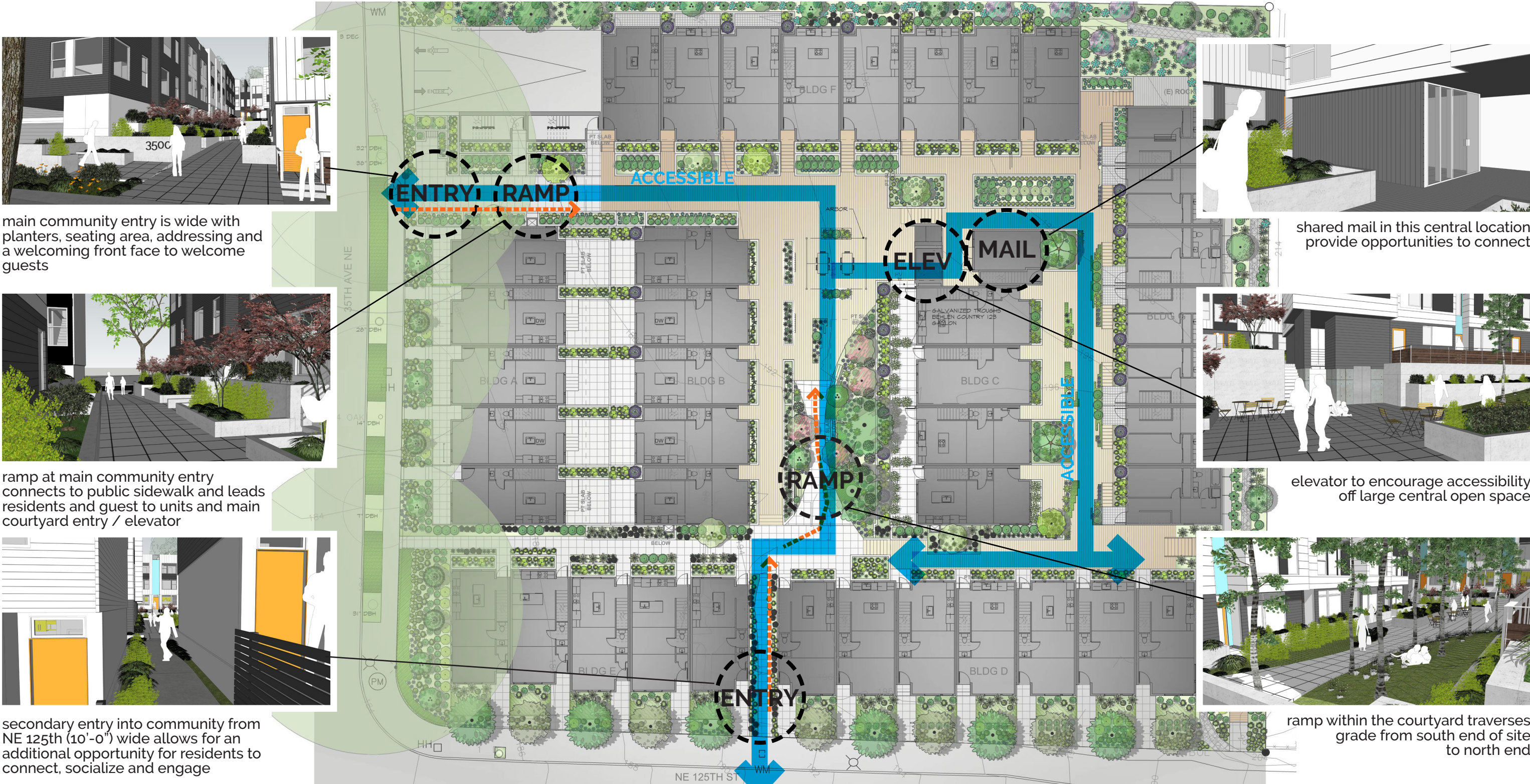
b9 ARCHITECTS (URBAN TREES) - A COMMON AMENITY SPACE WITHIN
THE DEVELOPMENT ENCOURAGES MULTI-TENANT USE OF THE SPACE.

OPPORTUNITIES TO CONNECT

- large central open space promoting community shared space
- ramp within the courtyard traverses grade from south end of site to north end
- elevator to encourage accessibility off large central open space shared mail in this central location provide opportunities to connect

Aerial Perspectives

Activating the Community Open Space



Landscape Plan

Courtyard Materiality



Raised Concrete Planters



Courtyard Seating



Concrete Paver Pathways



Layered Planting



Patio Cedar Screening



Courtyard Bosque / Pavers



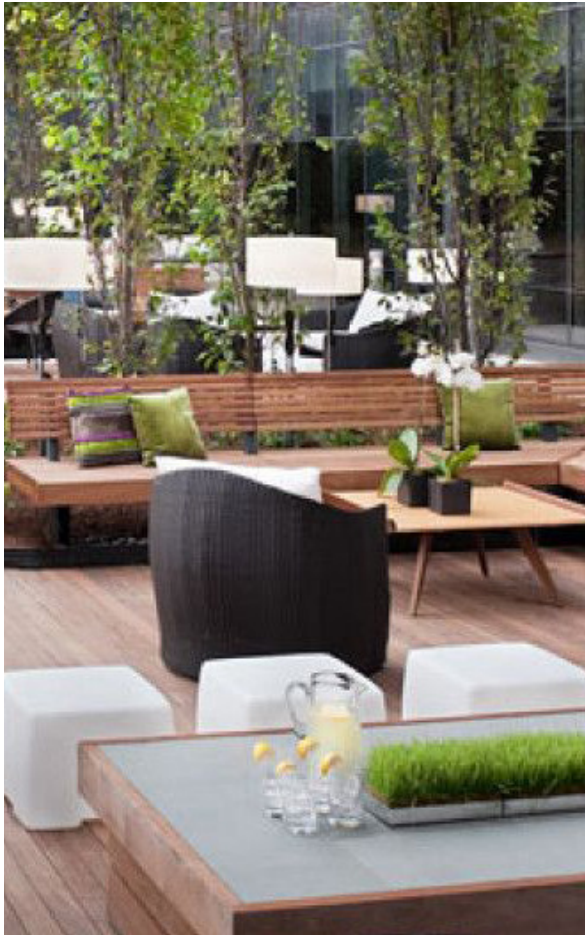
Wood Decking and Materials



Planting with color and texture



Soft ground transitions



Community Amenities + Seating



ROOF DECKS 4

The board supported **minimizing penthouse stairs at the roof decks** and **reducing perceived height**. The roof deck design should also **mitigate privacy concerns** with neighbors along the north and east property lines.

EDG GUIDANCE:

4. Roof Decks:

The Board provided the following guidance related to the stair towers and roof:

- a. No detail of individual roof decks was provided at EDG. Stair towers are evident in the axonometric drawing and should not obstruct views. Penthouse stairs should be minimized to reduce perceived height. (CS2-D)
- b. Echoing public comment regarding privacy impacts, the Board agreed that screens or planters should be added to the roof decks to keep residents from the north and east property lines. (DC3-B)

RESPONSE:

Additional detail of individual roof decks has been provided to show further thought and development that intends to mitigate privacy concerns within and surrounding the project development. All stair towers have been removed to allow for unobstructed views in all directions and to reduce perceived height. The townhouses naturally follow the topography, stepping down the slope towards 35th Ave allowing unit to unit separation.

Additionally, the roof decks along the east and north edge have been pulled away from the edge to favor the inside of the development allowing an additional buffer and minimizing noise near the property line.

EDG Option



Recommendation

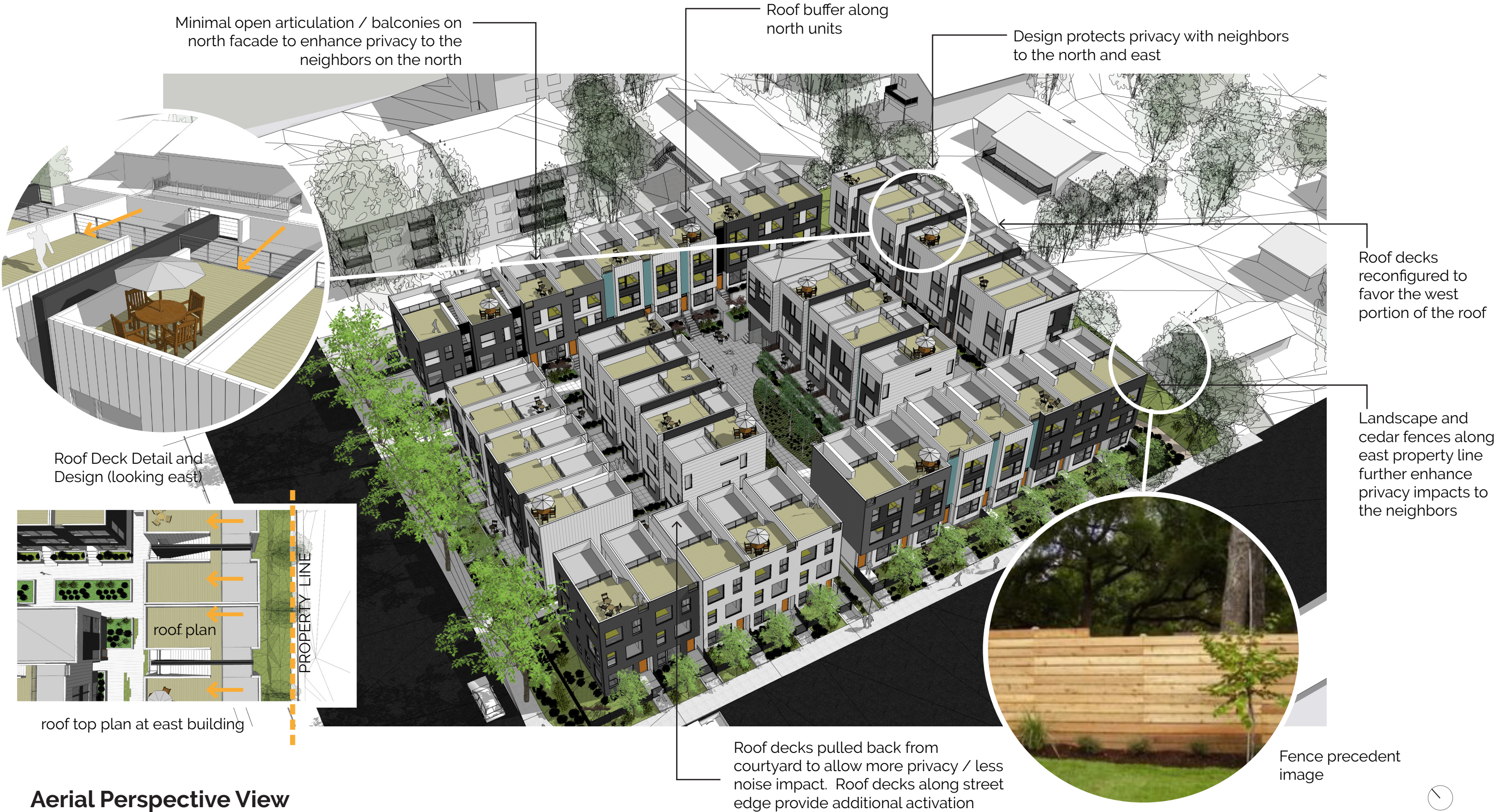
DEVELOPMENT

BIG MOVES

- STAIR PENTHOUSES REMOVED, TYP.
- ROOF DECKS PULLED TO INSIDE OF DEVELOPMENT
- ONLY TWO STORIES OF MASS AT EAST PROPERTY LINE BECAUSE OF TOPOGRAPHY
- GREEN BUFFER AT SOUTHEAST CORNER OF PROPERTY



Mitigated Privacy Impacts



Aerial Perspective View

MATERIAL & COLOR 5



The board encouraged the **creation of unique groups of townhouses** to assist in wayfinding and to express individuality. They suggested bold colors servicing the **modulation** of the units and additional details of the **fences, gates and guardrails.**

EDG GUIDANCE:
5. Material and Color:

The Boards encouraged the creation of unique groups of townhomes to assist in wayfinding and expressing individuality. They suggested bold colors servicing the modulation of the units.

a. At the Recommendation phase, the Board wants to see details of fences, gates, lighting, and guardrails. (DC4-A)

b. Landscaping needs to be durable and appropriate for residential use. (DC4-D)

RESPONSE:

The design of the development has further enhanced by group townhouses into groups of two or three, allowing materiality and fenestration patterns to express unique character and a sense of individuality helping to aide breaking down the mass and scale of the project.

While maintaining a simple material palette of painted fiber cement paneling and metal standing seam paneling, bold colors inject vibrancy and energy at the recessed residential door entries. Additional modulation is articulated through the use of color in the gaskets along the street facades and in the courtyard area.

rendering >



35TH AVE NE - FACADE MODULATION AND DEVELOPMENT

NE 125TH ST - FACADE MODULATION AND DEVELOPMENT

EDG GUIDANCE:

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Gasket Color



Residential Front Doors



Flex Neighborhood

Native Plants | Planters w/ Seating



Open Hardscape

Wood Benches and Trellis | Moveable furniture



Bosque

Tree Garden w/ Walkway



Urban Family

"Streetscape" | Above Grade Planters



Hill Climb

Terraced Planters | Concrete Steps





Meandering Path

Staggered Pavers w/ Sedum | Avenue



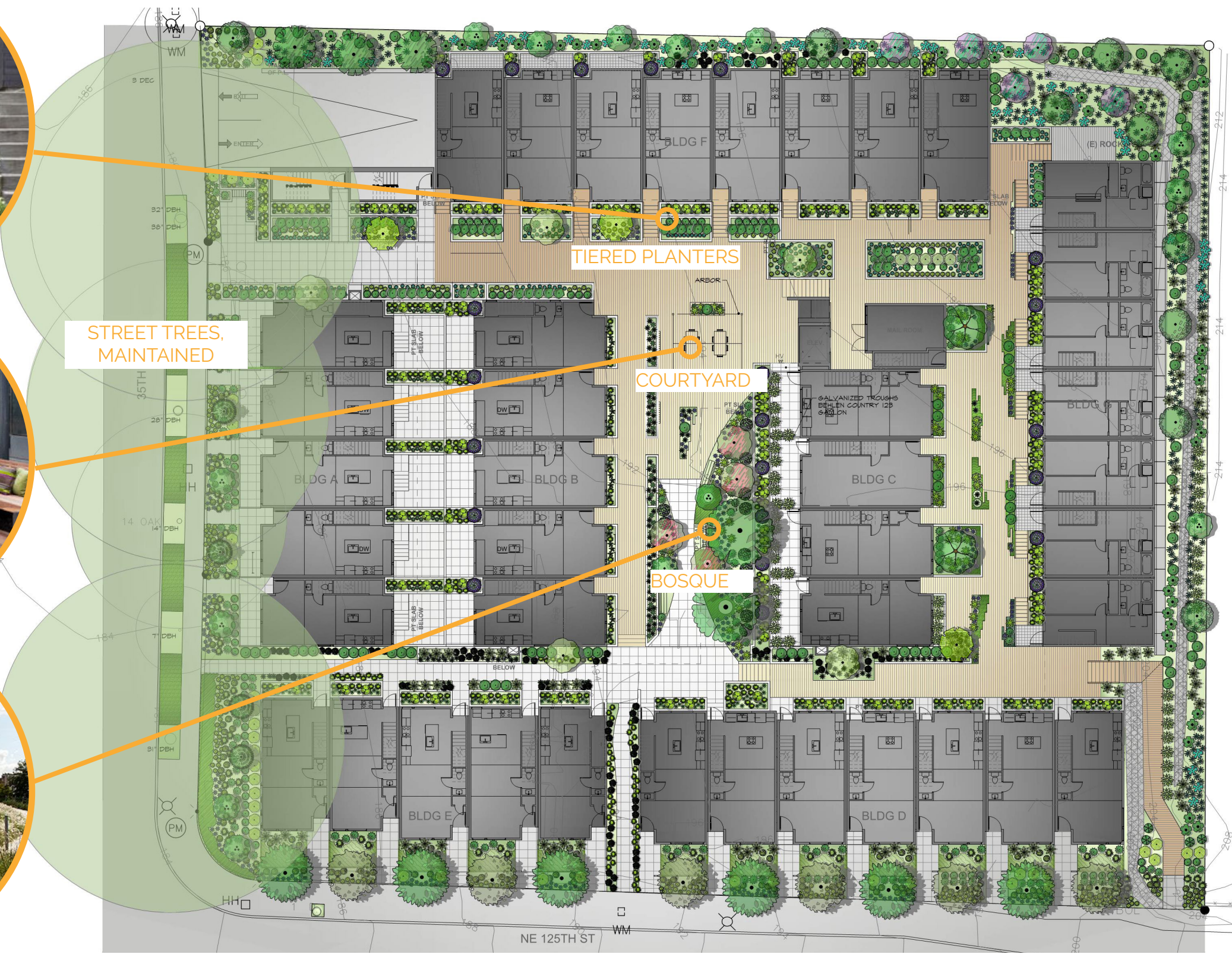
Description	Image	Location
Wire Mesh Fence		Facades along 35th Ave on Flex Houses
Light Bollard		Bosque - along pathway
Wood Fence		Typically bounding front yard of each townhome unless shown otherwise
In-ground Light Strips		Meandering path
Landscape Spot Lights		Uplighting maple trees

Landscape and Lighting Concept

(from schematic design)



Landscape Plan & Amenity Spaces



EDG GUIDANCE:
5. Material and Color:

- a. At the Recommendation phase, the Board wants to see details of fences, gates, lighting, and guardrails. (DC4-A)
- b. Landscaping needs to be durable and appropriate for residential use. (DC4-D)

RESPONSE:

Gates and guardrails will be pre-finished, powder-coated metal (black) throughout the development. All lighting will help encourage security and safety while lighting pathways and pedestrian connections through the project. All lighting will be shielded to avoid excessive glare up to the sky or into the residential units.

Landscaping has been developed in zones that give a unique sense of identity to the pedestrian streets in the project. For instance, the landscape along the street fronts helps to provide a more urban buffer from the sidewalk while the landscape along the pedestrian street on the east is more of a planted meandering path, see in the change of hardscape.

A central courtyard allows opportunity for additional trees, burned landscape features and a bosque.

Landscape Plantings

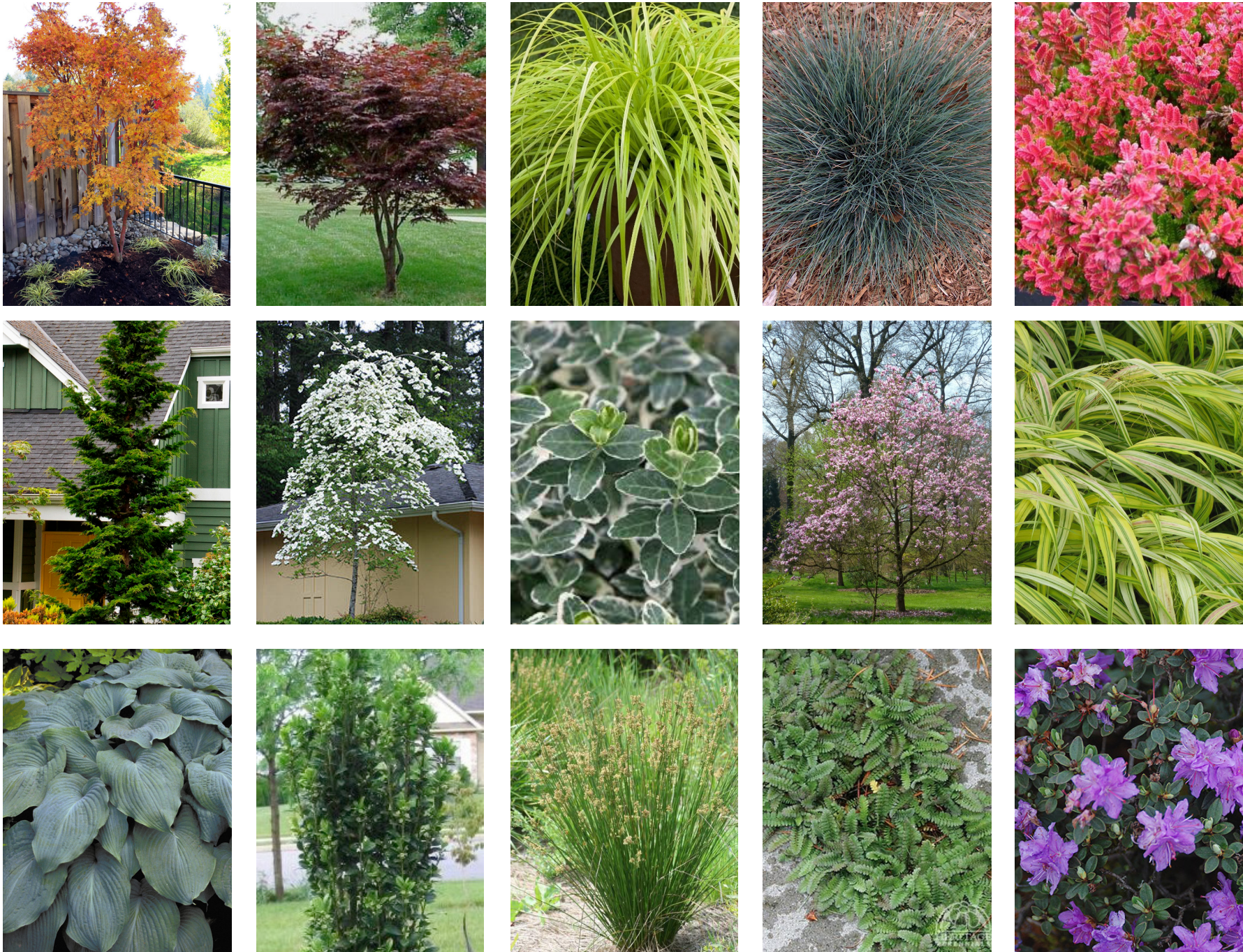
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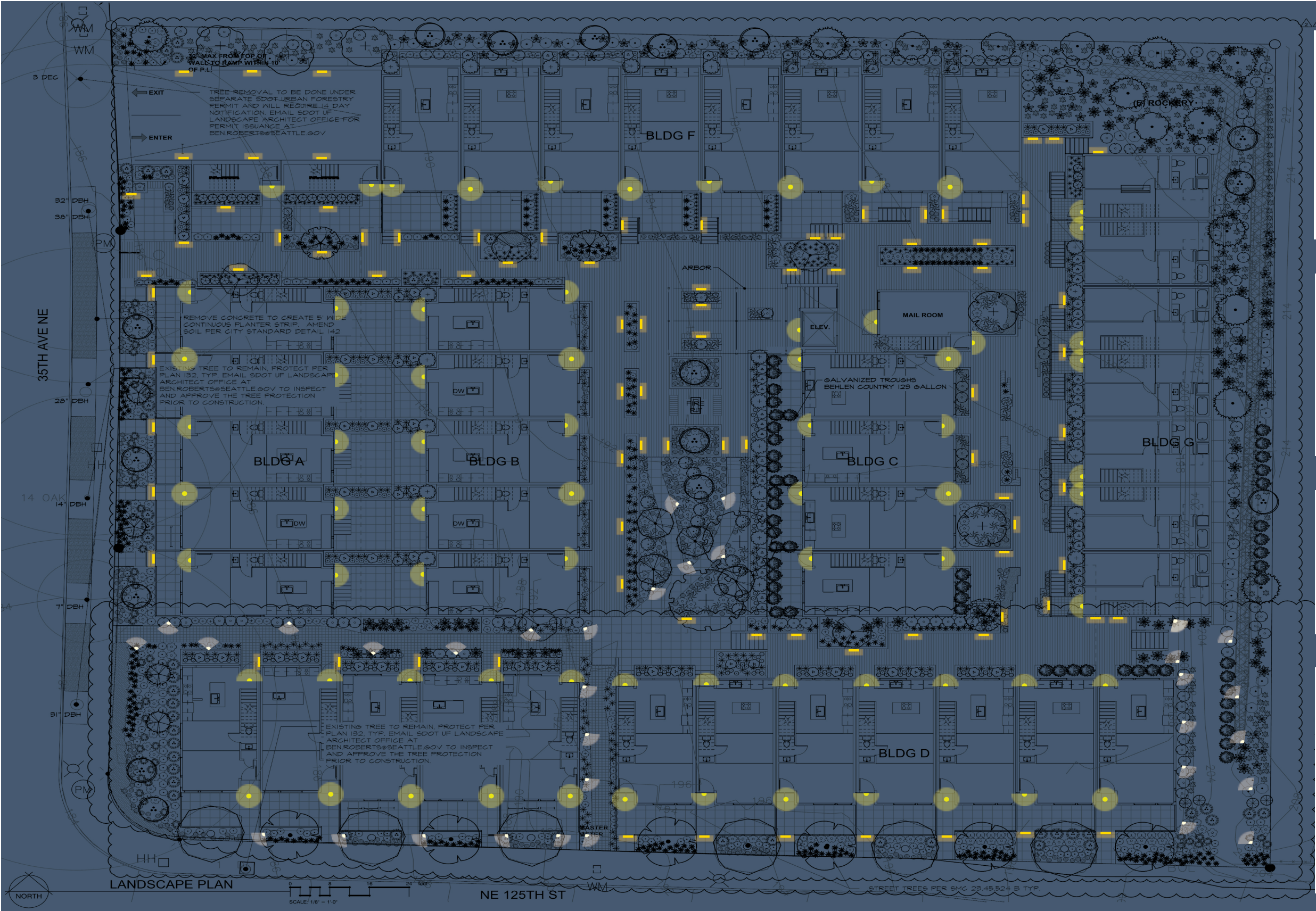
RESPONSE:

Landscaping has been selected to be durable and appropriate for residential use, including low-maintenance and drought tolerable plantings. The landscape design is designed to create visual interest and texture in the project.



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE
	Acer circinatum / Vine Maple	3 stem min, 6' Ht
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	1.5" Cal
	Acer palmatum 'Sango Kaku' / Coral Bark Maple	1.5" Cal
	Betula utilis 'Jacquemontii' / Jacquemontii Birch	2" Cal
	Carpinus caroliniana / American Hornbeam	2" Cal
	Chamaecyparis obtusa 'Gracilis' / Slender Hinoki Cypress	5'-6' Ht
	Cornus 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	1.5" Cal
	Cotinus obovatus / American Smoke Tree	1.5" Cal
	Fagus sylvatica 'Danyck' / Danyck Beech	1.5" Cal
	Quercus robur 'fastigiata' / Skyrocket Oak	1.5" Cal
	Styrax obassia / Fragrant Snowbell Street Tree	2" Cal
	Ulmus x 'Morton' / Accolade Elm Street Tree	2" Cal
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE
	Leptinella squalida 'Platt's Black' / New Zealand Brass Buttons	4" pot
	Pachysandra terminalis / Japanese Spurge	4" pot
	Pachysandra terminalis 'Silver Edge' / Japanese Spurge	4" pot
	Rubus calycinoides 'Emerald Carpet' / Creeping Raspberry	4" pot
	Thymus pseudolanuginosus / Woolly Thyme	4" pot
	Vinca minor 'Bowles Blue' / Dwarf Periwinkle	4" pot



L1 RECESSED SOFFIT DOWN LIGHT



L2 WALL MOUNT LED UP / DOWN LIGHT



L3 RECESSED WALL MOUNT PATH LIGHT



L4 LED LANDSCAPE UP LIGHT

Signage and Wayfinding



DIRECTIONAL SIGNAGE



ADDRESSING SIGNAGE



CORNER TREATMENT 6



The board agreed that a formal element or node is needed at the corner of the development and that a **sense of careful design** could **reduce the sense of any bulk** at the corner and edges of the building.

EDG GUIDANCE:

6. Corner Treatment:

- a. The Board did not support the erosion of the corner as the overall development is modulated enough to reduce the sense of bulk at the corner. No formal element or node is needed, simply a sense of careful design. Different material or signage could highlight the corner element.
- b. The Board noted that a unique gate or deck may be appropriate. The corner unit could aid in wayfinding for the project.
- c. The fenestration should be unique and thoughtfully composed. (DC-2)

RESPONSE:

The corner of the project at the intersection of 35th Ave NE and NE 125th street has been revised to eliminate the erosion of the mass. Instead the design visually weights the corner element through a dark material palette for this part of the building, anchoring and rooting the mass into the ground plane. The corner mass turns the corner through simple fenestration patterns that break up the overall mass. The carefully composed design allows for semi-private yards at the street level and additional landscape buffer from the sidewalk.

The main entry for the community has been further moved to the north and away from the busy corner in an effort to provide a quieter, more residentially friendly element. A secondary pedestrian connection is between the white and black mass.

EDG Option

Recommendation

DEVELOPMENT

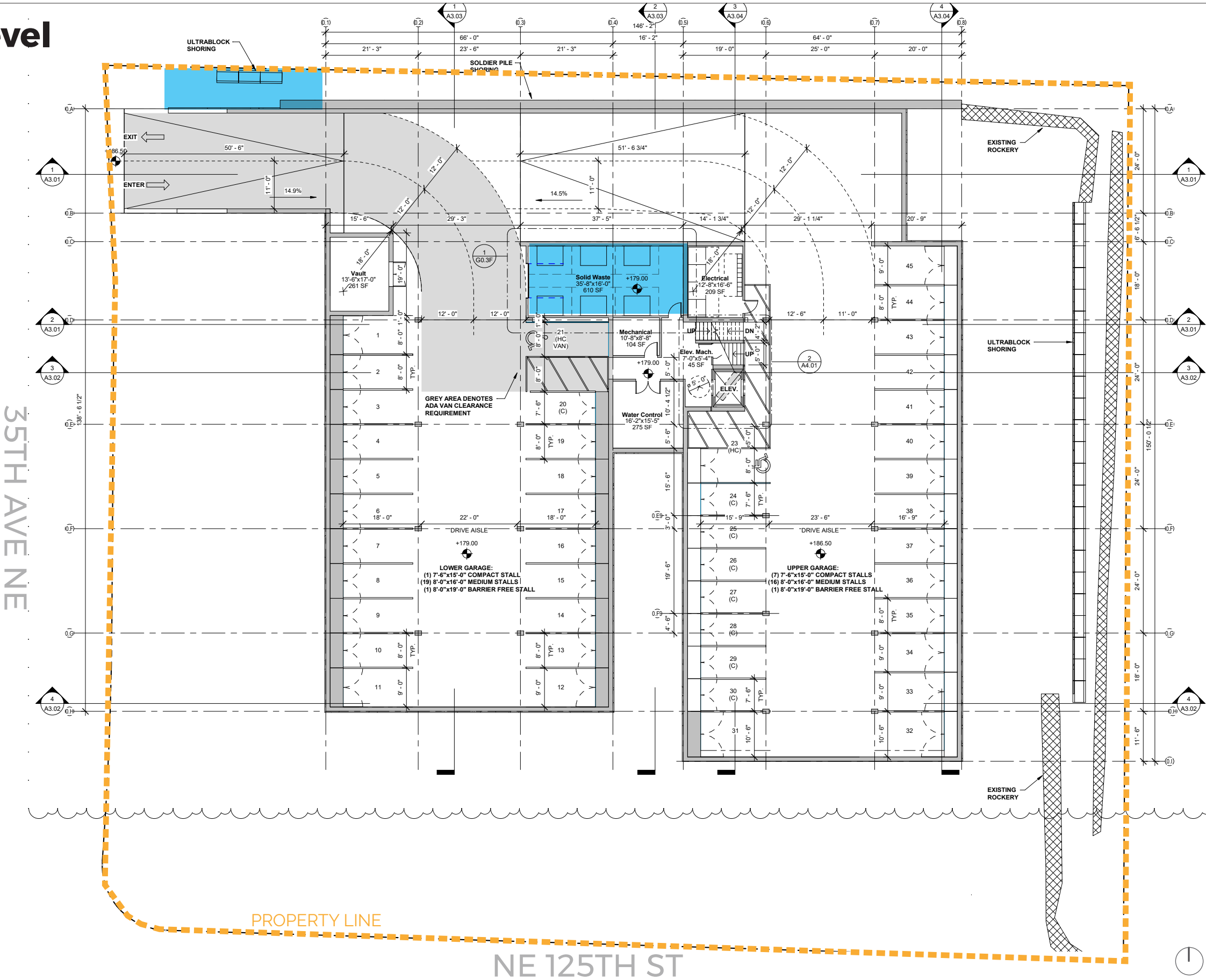


rendering ^

PROJECT DRAWINGS

Basement - Parking Level

44 townhouse units, 45 parking spots
(7) multi-family structures over parking
(3) stories w/ minimized excavation
sub-grade parking stalls
existing building to be demolished



RECYCLING /
SOLID WASTE
ENCLOSURES

Level 1 Floor Plan

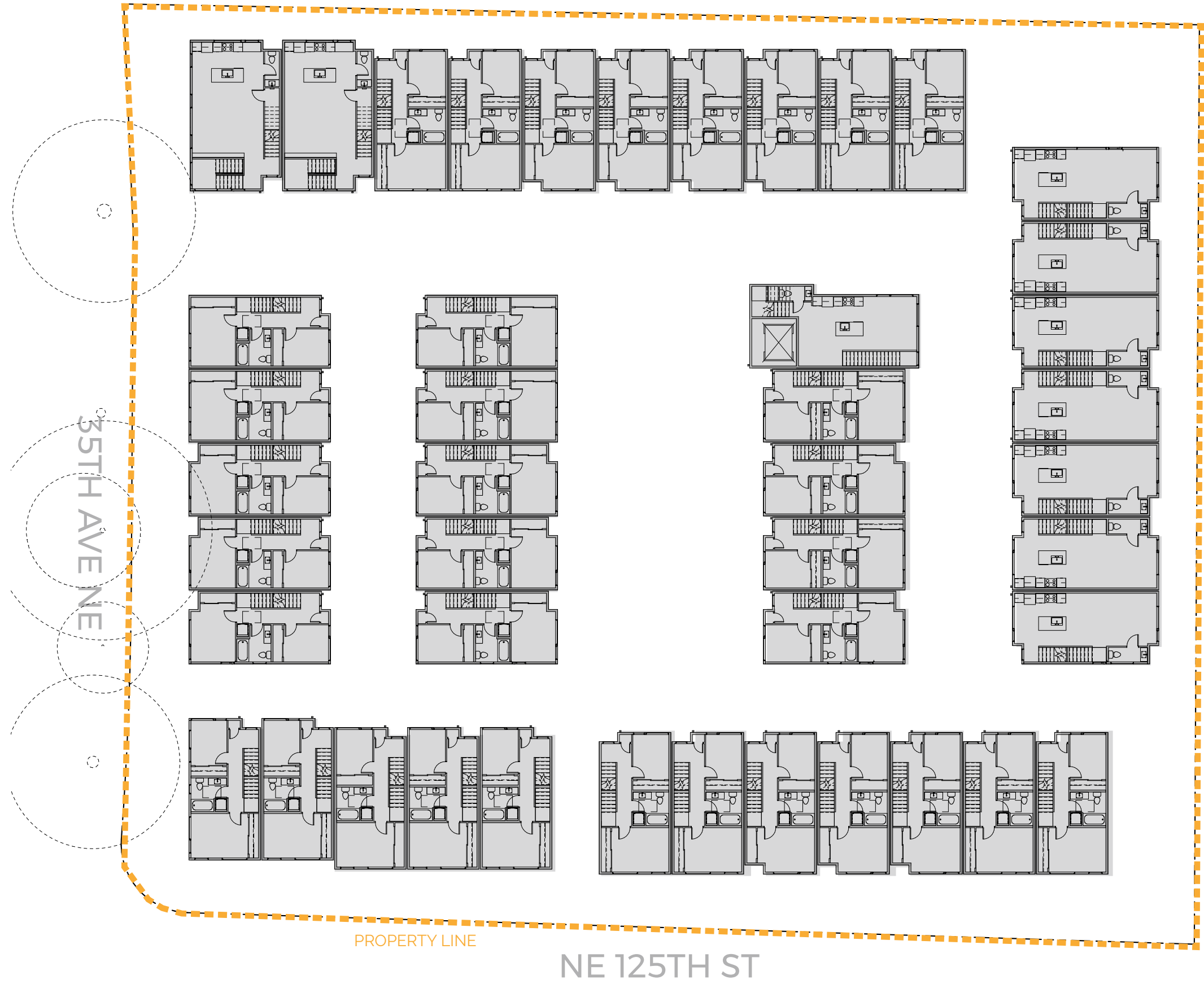
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RECYCLING /
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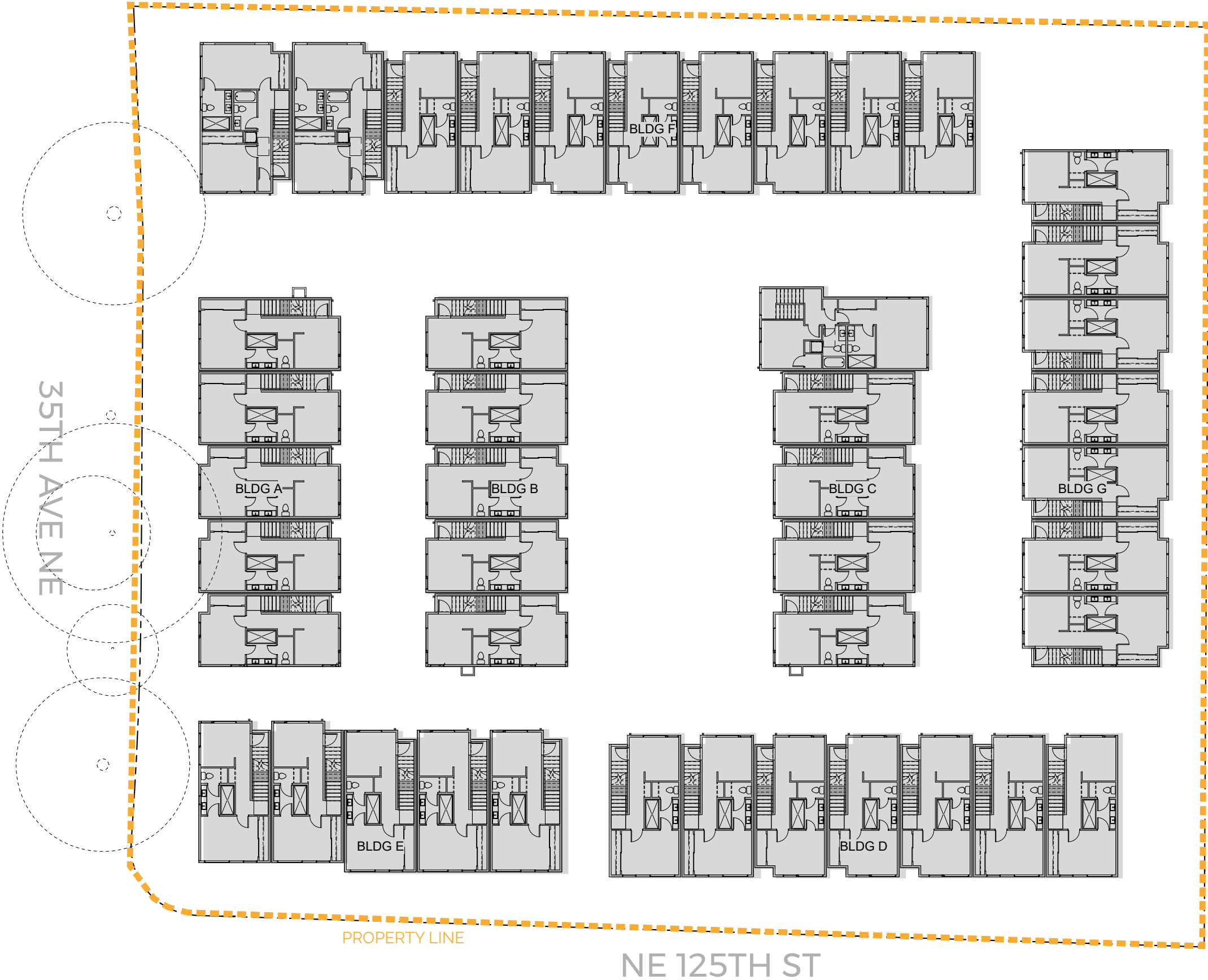
NOTE: DRAWINGS ARE
NOT TO SCALE FOR THIS
PRESENTATION

Level 2 Floor Plan



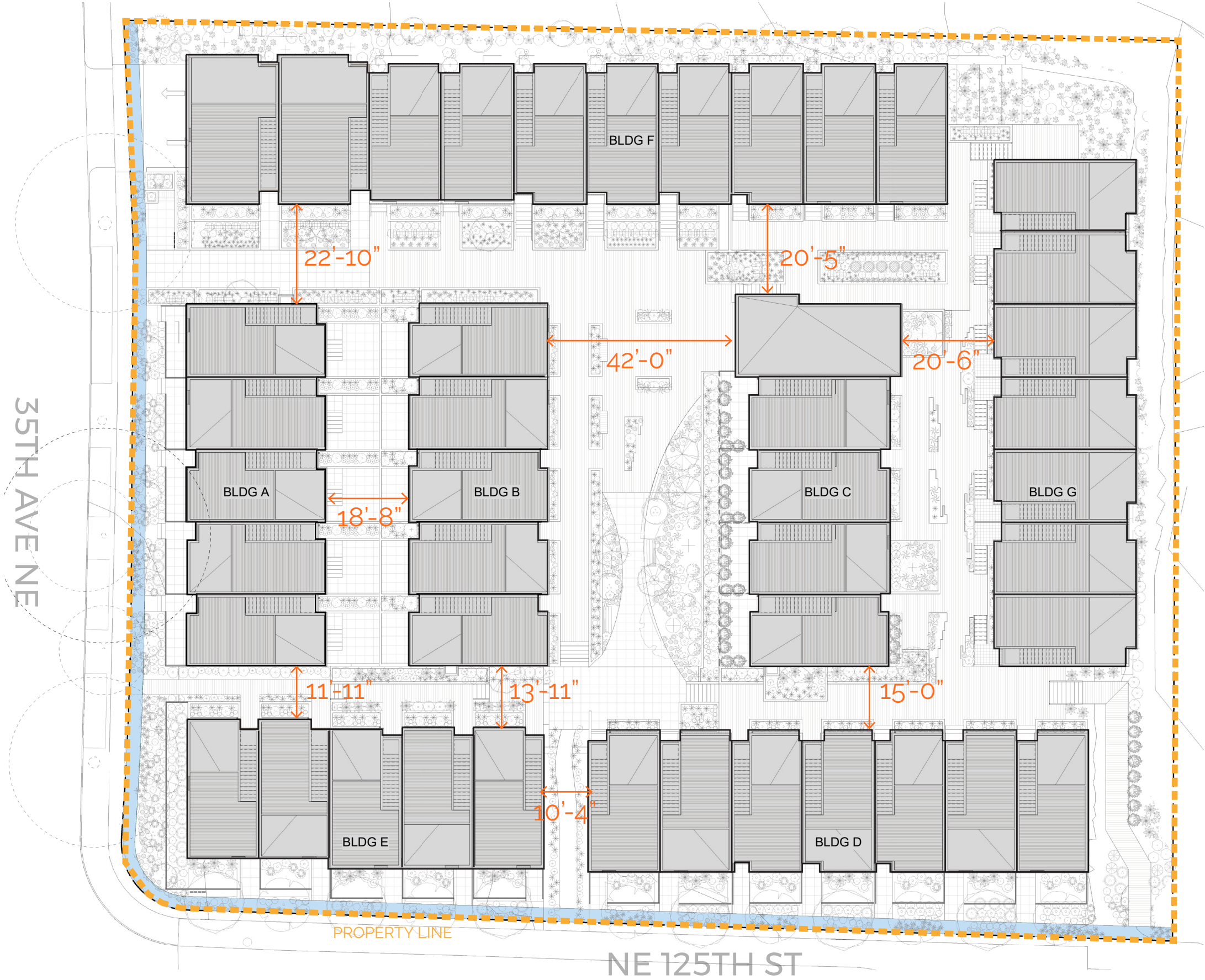
NOTE: DRAWINGS ARE NOT TO SCALE FOR THIS PRESENTATION

Level 3 Floor Plan



NOTE: DRAWINGS ARE
NOT TO SCALE FOR THIS
PRESENTATION

Roof Plan



NOTE: DRAWINGS ARE NOT TO SCALE FOR THIS PRESENTATION

Exterior Elevations

NOTE: DRAWINGS ARE NOT TO SCALE FOR THIS PRESENTATION

MATERIAL LEGEND				
	MATERIAL	COLOR	DESCRIPTION	MANUFACTURER SPEC
C1	CONCRETE	N/A	EXPOSED, CAST-IN-PLACE CONCRETE	N/A
M1	METAL PANEL	GLACIER WHITE	METAL STANDING SEAM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: GLACIER WHITE SRI 85
M2	METAL PANEL	BLACK	METAL STANDING SEAM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: BLACK SRI 29
M3	GATE, RAIL, DOWNSPOUT OR GUTTER	BLACK	PRE-FINISHED, POWDER COATED METAL	
P1	CEMENT BOARD INFILL PANEL	PURE WHITE	4" 6" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7005 PURE WHITE
P2	CEMENT BOARD INFILL PANEL	GAUNTLET GRAY	4" 6" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P3	CEMENT BOARD INFILL PANEL	BLACK FOX	4" 6" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P4	CEMENT BOARD LAP SIDING	PURE WHITE	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7005 PURE WHITE
P5	CEMENT BOARD LAP SIDING	GAUNTLET GRAY	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P6	CEMENT BOARD LAP SIDING	BLACK FOX	4" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P7	CEMENT BOARD LAP SIDING	RAINDROP	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 6485 RAINDROP
P8	ENTRANCE DOOR	RAINDROP	SOLID PAINTED ENTRANCE DOOR	SW 6485 RAINDROP
P9	ENTRANCE DOOR	NASTURTIUM	SOLID PAINTED ENTRANCE DOOR	SW 6899 NASTURTIUM
V1	VINYL WINDOW FRAME	WHITE	PRE-FINISHED, VINYL WINDOW FRAME	
W1	WOOD FENCE OR SOFFIT	CLEAR	1x4 TIGHT KNOT CEDAR WITH CLEAR SEALER	N/A



1 | ELEVATION - 35TH AVE NE
1/8" = 1'-0"



2 | ELEVATION - NE 125TH ST
1/8" = 1'-0"

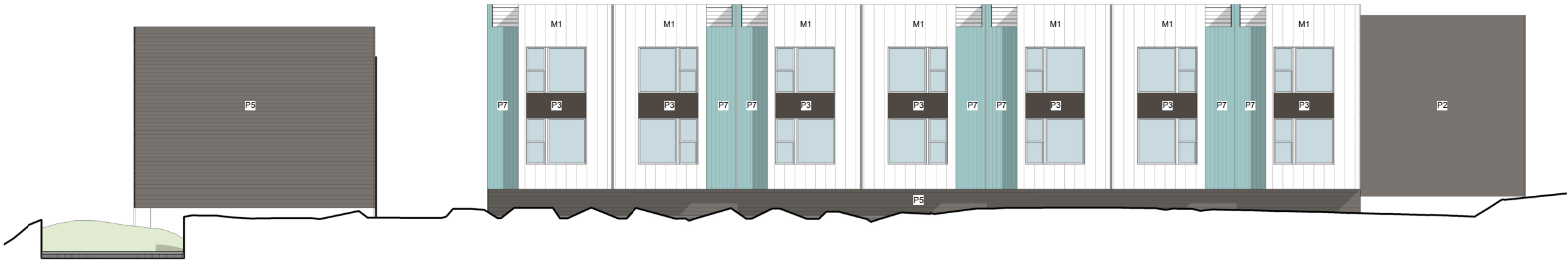
Exterior Elevations

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M2	METAL PANEL	BLACK	METAL STANDING SEEM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: BLACK SRI 28
M3	GATE, RAIL, DOWNSPOUT OR GUTTER	BLACK	PRE-FINISHED, POWDER COATED METAL	
P1	CEMENT BOARD INFILL PANEL	PURE WHITE	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7065 PURE WHITE
P2	CEMENT BOARD INFILL PANEL	GAUNTLET GRAY	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P3	CEMENT BOARD INFILL PANEL	BLACK FOX	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P4	CEMENT BOARD LAP SIDING	PURE WHITE	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7065 PURE WHITE
P5	CEMENT BOARD LAP SIDING	GAUNTLET GRAY	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P6	CEMENT BOARD LAP SIDING	BLACK FOX	4" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P7	CEMENT BOARD LAP SIDING	RAINDROP	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 6485 RAINDROP
P8	ENTRANCE DOOR	RAINDROP	SOLID PAINTED ENTRANCE DOOR	SW 6485 RAINDROP
P9	ENTRANCE DOOR	NASTURTIUM	SOLID PAINTED ENTRANCE DOOR	SW 6899 NASTURTIUM
V1	VINYL WINDOW FRAME	WHITE	PRE-FINISHED, VINYL WINDOW FRAME	
W1	WOOD FENCE OR SOFFIT	CLEAR	1x4 TIGHT KNOT CEDAR WITH CLEAR SEALER	N/A



1 | ELEVATION @ NORTH PROPERTY LINE
1/8" = 1'-0"



2 | ELEVATION @ EAST PROPERTY LINE
1/8" = 1'-0"

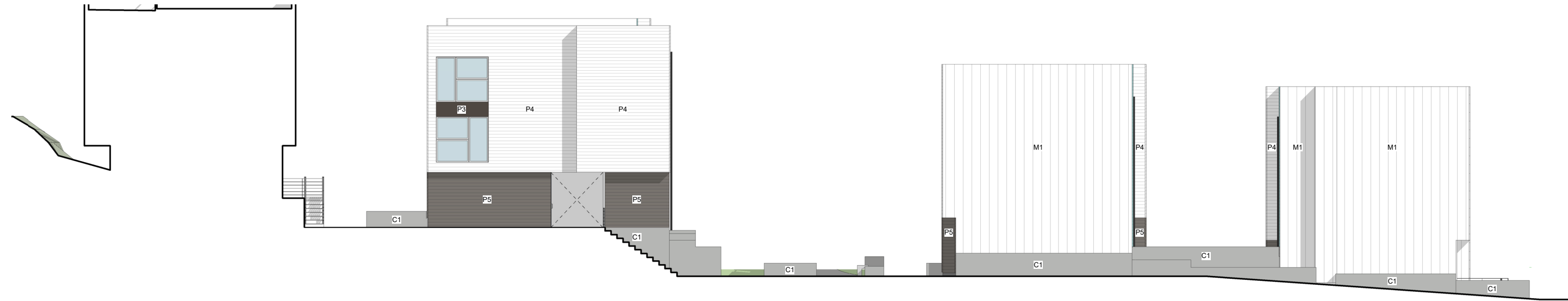
Exterior Elevations

NOTE: DRAWINGS ARE NOT TO SCALE FOR THIS PRESENTATION

MATERIAL LEGEND			
	MATERIAL	COLOR	DESCRIPTION
C1	CONCRETE	N/A	EXPOSED, CAST-IN-PLACE CONCRETE
M1	METAL PANEL	GLACIER WHITE	METAL STANDING SEEM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS
M2	METAL PANEL	BLACK	METAL STANDING SEEM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS
M3	GATE, RAIL, DOWNSPOUT OR GUTTER	BLACK	PRE-FINISHED, POWDER COATED METAL
P1	CEMENT BOARD INFILL PANEL	PURE WHITE	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN
P2	CEMENT BOARD INFILL PANEL	GAUNTLET GRAY	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN
P3	CEMENT BOARD INFILL PANEL	BLACK FOX	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN
P4	CEMENT BOARD LAP SIDING	PURE WHITE	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN
P5	CEMENT BOARD LAP SIDING	GAUNTLET GRAY	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN
P6	CEMENT BOARD LAP SIDING	BLACK FOX	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN
P7	CEMENT BOARD LAP SIDING	RAINDROP	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN
P8	ENTRANCE DOOR	RAINDROP	SOLID PAINTED ENTRANCE DOOR
P9	ENTRANCE DOOR	NASTURTIUM	SOLID PAINTED ENTRANCE DOOR
V1	VINYL WINDOW FRAME	WHITE	PRE-FINISHED, VINYL WINDOW FRAME
W1	WOOD FENCE OR SOFFIT	CLEAR	1x4 TIGHT KNOT CEDAR WITH CLEAR SEALER
			MANUFACTURER SPEC
			N/A
			TAYLOR METAL PRODUCTS: GLACIER WHITE SRI 85
			TAYLOR METAL PRODUCTS: BLACK SRI 29
			SW 7005 PURE WHITE
			SW 7019 GAUNTLET GRAY
			SW 7020 BLACK FOX
			SW 7005 PURE WHITE
			SW 7019 GAUNTLET GRAY
			SW 7020 BLACK FOX
			SW 6485 RAINDROP
			SW 6485 RAINDROP
			SW 6899 NASTURTIUM
			N/A



1 | ELEVATION LOOKING NORTH
1/8" = 1'-0"

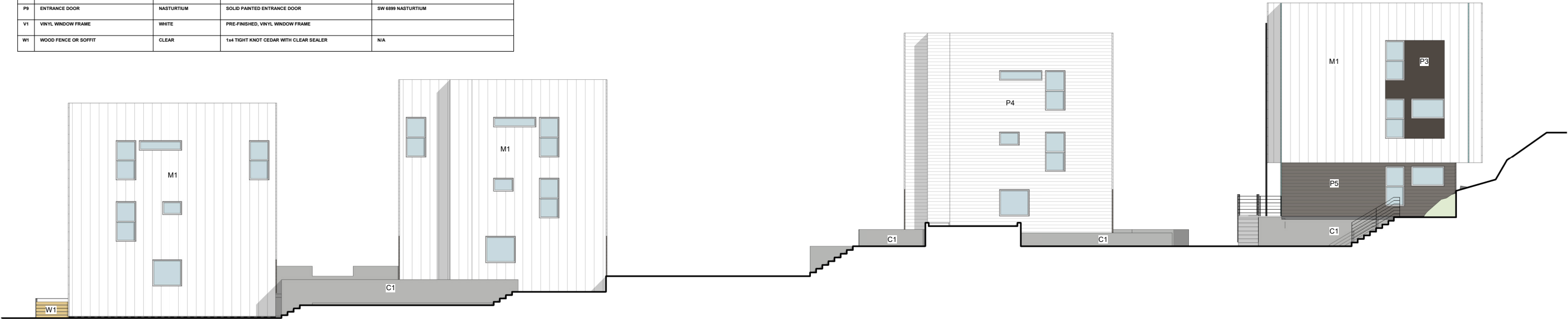


2 | ELEVATION LOOKING SOUTH @ COURTYARD BLOCKS
1/8" = 1'-0"

Exterior Elevations

NOTE: DRAWINGS ARE NOT TO SCALE FOR THIS PRESENTATION

MATERIAL LEGEND				
	MATERIAL	COLOR	DESCRIPTION	MANUFACTURER SPEC
C1	CONCRETE	N/A	EXPOSED, CAST-IN-PLACE CONCRETE	N/A
M1	METAL PANEL	GLACIER WHITE	METAL STANDING SEAM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: GLACIER WHITE SRI 85
M2	METAL PANEL	BLACK	METAL STANDING SEAM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: BLACK SRI 29
M3	GATE, RAIL, DOWNSPOUT OR GUTTER	BLACK	PRE-FINISHED, POWDER COATED METAL	
P1	CEMENT BOARD INFILL PANEL	PURE WHITE	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7005 PURE WHITE
P2	CEMENT BOARD INFILL PANEL	GAUNTLET GRAY	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P3	CEMENT BOARD INFILL PANEL	BLACK FOX	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P4	CEMENT BOARD LAP SIDING	PURE WHITE	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7005 PURE WHITE
P5	CEMENT BOARD LAP SIDING	GAUNTLET GRAY	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P6	CEMENT BOARD LAP SIDING	BLACK FOX	4" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P7	CEMENT BOARD LAP SIDING	RAINDROP	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 6485 RAINDROP
P8	ENTRANCE DOOR	RAINDROP	SOLID PAINTED ENTRANCE DOOR	SW 6485 RAINDROP
P9	ENTRANCE DOOR	NASTURTUM	SOLID PAINTED ENTRANCE DOOR	SW 6899 NASTURTUM
V1	VINYL WINDOW FRAME	WHITE	PRE-FINISHED, VINYL WINDOW FRAME	
W1	WOOD FENCE OR SOFFIT	CLEAR	1x4 TIGHT KNOT CEDAR WITH CLEAR SEALER	N/A



1 | ELEVATION LOOKING NORTH @ COURTYARD BLOCKS
1/8" = 1'-0"



2 | ELEVATION LOOKING SOUTH @ ROWHOUSES
1/8" = 1'-0"

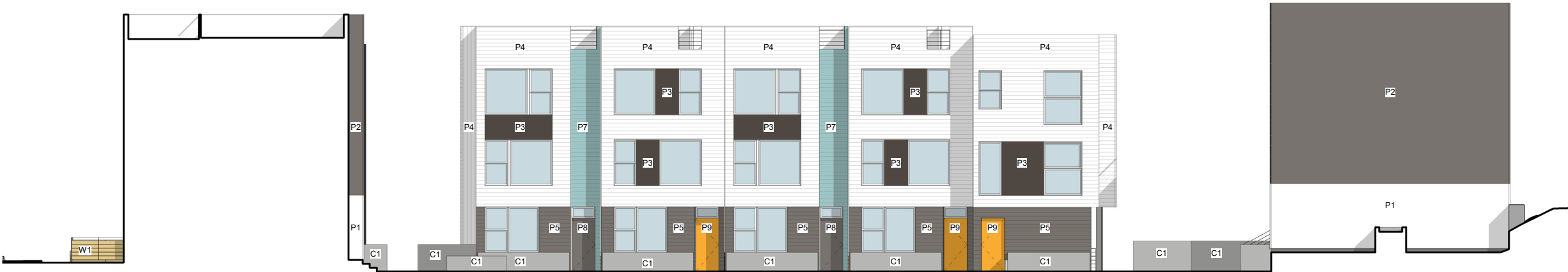
Exterior Elevations

NOTE: DRAWINGS ARE NOT TO SCALE FOR THIS PRESENTATION

MATERIAL LEGEND				
	MATERIAL	COLOR	DESCRIPTION	MANUFACTURER SPEC
C1	CONCRETE	N/A	EXPOSED, CAST-IN-PLACE CONCRETE	N/A
M1	METAL PANEL	GLACIER WHITE	METAL STANDING SEAM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: GLACIER WHITE SRI 85
M2	METAL PANEL	BLACK	METAL STANDING SEAM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: BLACK SRI 29
M3	GATE, RAIL, DOWNSPOUT OR GUTTER	BLACK	PRE-FINISHED, POWDER COATED METAL	
P1	CEMENT BOARD INFILL PANEL	PURE WHITE	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7005 PURE WHITE
P2	CEMENT BOARD INFILL PANEL	GAUNTLET GRAY	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P3	CEMENT BOARD INFILL PANEL	BLACK FOX	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P4	CEMENT BOARD LAP SIDING	PURE WHITE	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7005 PURE WHITE
P5	CEMENT BOARD LAP SIDING	GAUNTLET GRAY	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P6	CEMENT BOARD LAP SIDING	BLACK FOX	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P7	CEMENT BOARD LAP SIDING	RAINDROP	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 6485 RAINDROP
P8	ENTRANCE DOOR	RAINDROP	SOLID PAINTED ENTRANCE DOOR	SW 6485 RAINDROP
P9	ENTRANCE DOOR	NASTURTIUM	SOLID PAINTED ENTRANCE DOOR	SW 6899 NASTURTIUM
V1	VINYL WINDOW FRAME	WHITE	PRE-FINISHED, VINYL WINDOW FRAME	
W1	WOOD FENCE OR SOFFIT	CLEAR	1x4 TIGHT KNOT CEDAR WITH CLEAR SEALER	N/A



1 | ELEVATION LOOKING EAST @ HILLCLIMB
1/8" = 1'-0"



2 | ELEVATION LOOKING WEST @ COURTYARD BLOCK EAST
1/8" = 1'-0"

Exterior Elevations

NOTE: DRAWINGS ARE NOT TO SCALE FOR THIS PRESENTATION

MATERIAL LEGEND				
	MATERIAL	COLOR	DESCRIPTION	MANUFACTURER SPEC
C1	CONCRETE	N/A	EXPOSED, CAST-IN-PLACE CONCRETE	N/A
M1	METAL PANEL	GLACIER WHITE	METAL STANDING SEEM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: GLACIER WHITE SRI 85
M2	METAL PANEL	BLACK	METAL STANDING SEEM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: BLACK SRI 28
M3	GATE, RAIL, DOWNSPOUT OR GUTTER	BLACK	PRE-FINISHED, POWDER COATED METAL	
P1	CEMENT BOARD INFILL PANEL	PURE WHITE	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7065 PURE WHITE
P2	CEMENT BOARD INFILL PANEL	GAUNTLET GRAY	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P3	CEMENT BOARD INFILL PANEL	BLACK FOX	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P4	CEMENT BOARD LAP SIDING	PURE WHITE	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7065 PURE WHITE
P5	CEMENT BOARD LAP SIDING	GAUNTLET GRAY	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P6	CEMENT BOARD LAP SIDING	BLACK FOX	4" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P7	CEMENT BOARD LAP SIDING	RAINDROP	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 6485 RAINDROP
P8	ENTRANCE DOOR	RAINDROP	SOLID PAINTED ENTRANCE DOOR	SW 6485 RAINDROP
P9	ENTRANCE DOOR	NASTURTIUM	SOLID PAINTED ENTRANCE DOOR	SW 6899 NASTURTIUM
V1	VINYL WINDOW FRAME	WHITE	PRE-FINISHED, VINYL WINDOW FRAME	
W1	WOOD FENCE OR SOFFIT	CLEAR	1x4 TIGHT KNOT CEDAR WITH CLEAR SEALER	N/A



1 | ELEVATION LOOKING EAST @ COURTYARD BLOCK EAST
1/8" = 1'-0"



2 | ELEVATION LOOKING WEST @ COURTYARD BLOCK WEST
1/8" = 1'-0"

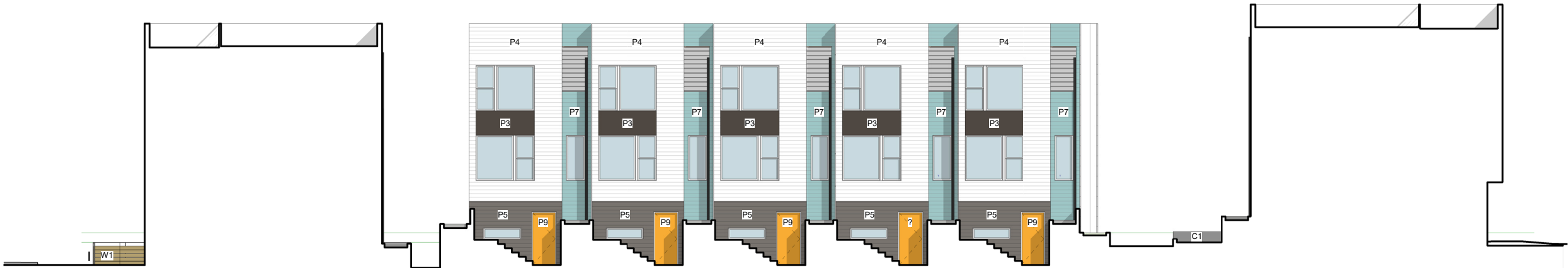
Exterior Elevations

NOTE: DRAWINGS ARE NOT TO SCALE FOR THIS PRESENTATION

MATERIAL LEGEND				
	MATERIAL	COLOR	DESCRIPTION	MANUFACTURER SPEC
C1	CONCRETE	N/A	EXPOSED, CAST-IN-PLACE CONCRETE	N/A
M1	METAL PANEL	GLACIER WHITE	METAL STANDING SEEM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: GLACIER WHITE SRI 85
M2	METAL PANEL	BLACK	METAL STANDING SEEM SIDING ON EXTERIOR WALLS, 26 GAUGE, 16" VERTICAL PANELS	TAYLOR METAL PRODUCTS: BLACK SRI 29
M3	GATE, RAIL, DOWNSPOUT OR GUTTER	BLACK	PRE-FINISHED, POWDER COATED METAL	
P1	CEMENT BOARD INFILL PANEL	PURE WHITE	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7005 PURE WHITE
P2	CEMENT BOARD INFILL PANEL	GAUNTLET GRAY	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P3	CEMENT BOARD INFILL PANEL	BLACK FOX	4'-0" HARDI PANEL SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P4	CEMENT BOARD LAP SIDING	PURE WHITE	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7005 PURE WHITE
P5	CEMENT BOARD LAP SIDING	GAUNTLET GRAY	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7019 GAUNTLET GRAY
P6	CEMENT BOARD LAP SIDING	BLACK FOX	4" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 7020 BLACK FOX
P7	CEMENT BOARD LAP SIDING	RAINDROP	6" HORIZONTAL HARDI LAP SIDING - PRESSURE EQUALIZED CLOSED RAINSCREEN	SW 6485 RAINDROP
P8	ENTRANCE DOOR	RAINDROP	SOLID PAINTED ENTRANCE DOOR	SW 6485 RAINDROP
P9	ENTRANCE DOOR	NASTURTIUM	SOLID PAINTED ENTRANCE DOOR	SW 6899 NASTURTIUM
V1	VINYL WINDOW FRAME	WHITE	PRE-FINISHED, VINYL WINDOW FRAME	
W1	WOOD FENCE OR SOFFIT	CLEAR	1x4 TIGHT KNOT CEDAR WITH CLEAR SEALER	N/A



1 | ELEVATION LOOKING EAST @ COURTYARD BLOCK WEST
1/8" = 1'-0"



2 | ELEVATION LOOKING WEST @ UNITS ON 35TH AVE NE
1/8" = 1'-0"

APPENDIX

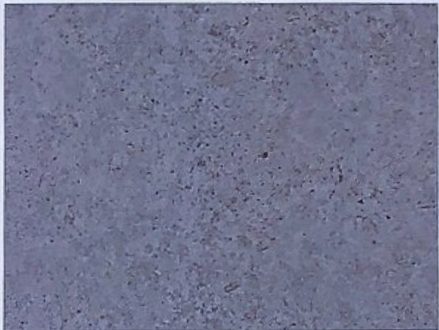
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3023118-LU

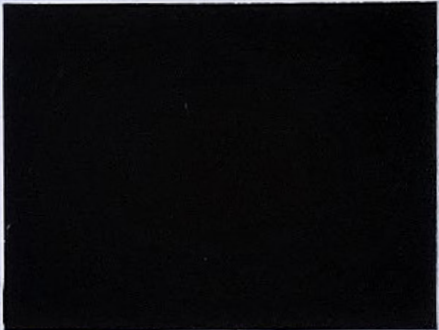
3500 NE 125th St.



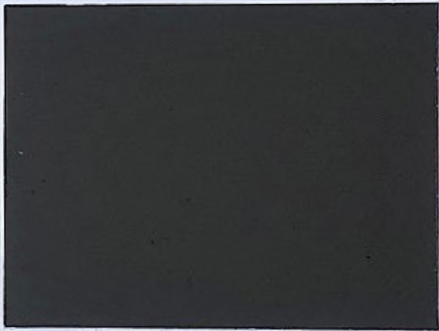
West Elevation Render View on 35th Ave NE



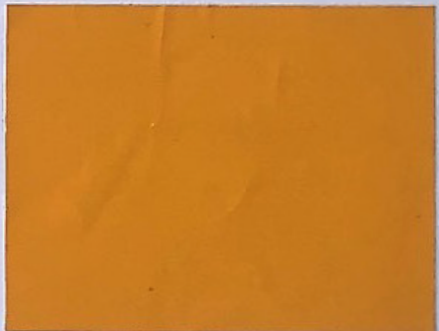
CONCRETE
Foundations / Walls at ground floor / Stair
treads / planters



SW 7020 Black Fox
Exterior Railings & Guardrails



SW 7019 Gauntlet Gray
Gauntlet Gray Cement Board Infill Panel /
Horizontal Cement Board Lap Siding



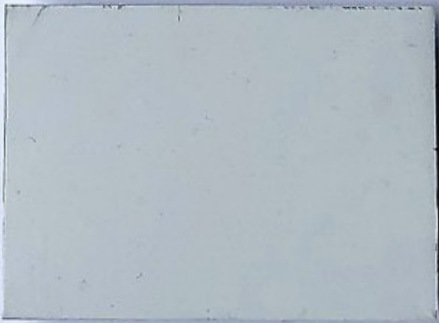
SW 6899 Nasturtium
Entrance Doors for the Townhouses



Wood - Cedar
Soffits / Fences
1x4 Tight Knot Cedar with Clear Sealer



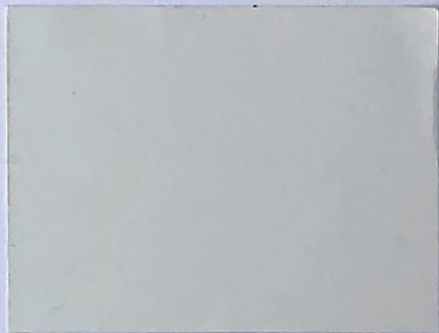
Metal Panel - Black
Black SRI 29 Metal Panel on Exterior Walls,
Taylor Metal Products, 26 Gauge



Metal Panel - White
Glacier White SRI 85 Metal Panel on Exterior
Walls, Taylor Metal Products, 26 Gauge



SW 6485 Raindrop
Horizontal Cement Board Lap Siding



SW 7005 Pure White
Pure White Cement Board Infill Panel /
Horizontal Cement Board Lap Siding /
White Vinyl Window Frames

Privacy Study

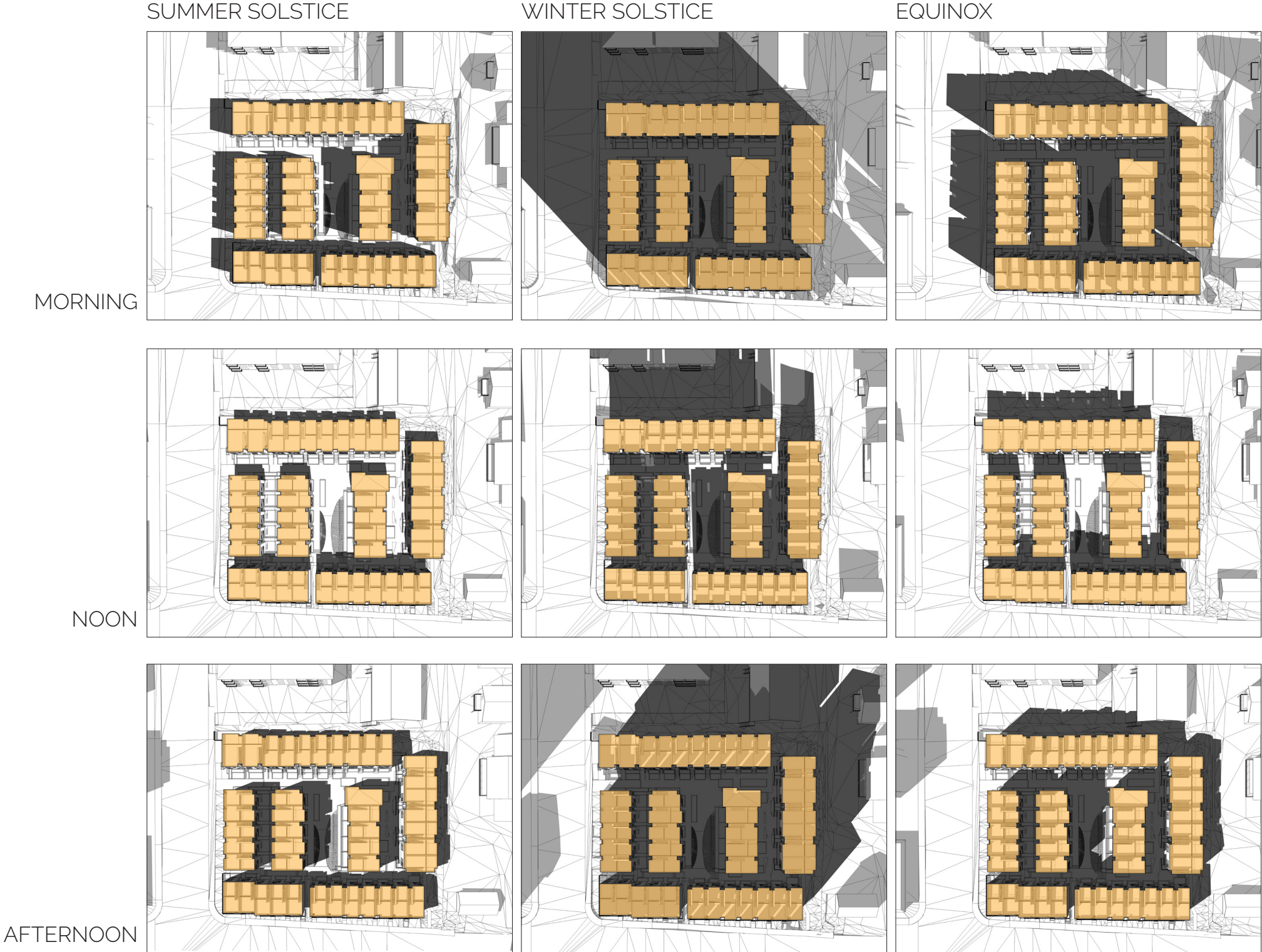


1 | PRIVACY STUDY OF ELEVATION @ EAST PROPERTY LINE
1/8" = 1'-0"



2 | PRIVACY STUDY OF ELEVATION @ NORTH PROPERTY LINE
1/8" = 1'-0"

SHADOW ANALYSIS



DEPARTURES

NO DEPARTURES REQUESTED

HYBRID Previous Project Experience



Madison Park Condominiums



Eastlake Townhouses



w Court Townhouses



Stevens Residences



Central Area Townhouses



Mullet House



THANK YOU