



**playhouse design group**  
1916 23rd Ave S, Seattle WA



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**PROJECT INFO:**

ADDRESS: 3500 NE 125th St, SEATTLE 98125  
 DPD#: 3023118  
 APN: 145360-2500, 2480, 2481  
 LEGAL: LOTS 12 AND 13, BLOCK 8,  
 CEDAR PARK ADD LESS ST

**PROJECT TEAM:**

OWNER: Thirteenth Church of Christ Scientist  
 APPLICANT: Greenbuild Development LLC  
 DESIGN: Playhouse Design Group  
 SURVEY: GeoDimensions, Inc

**PROJECT PROGRAM:**

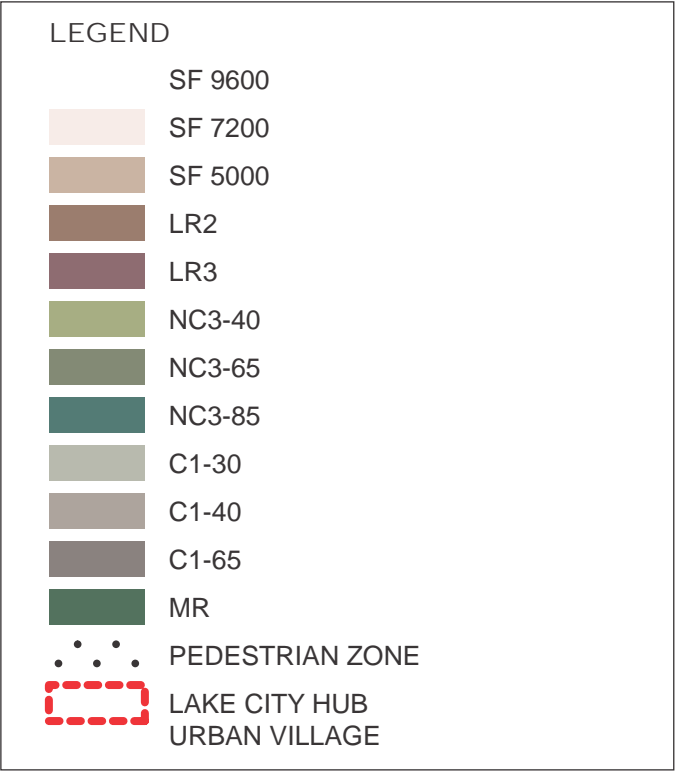
ZONE: LR2  
 LAKE CITY URBAN VILLAGE  
 FREQUENT TRANSIT AREA  
  
 LOT SIZE: 46,625 SF  
 BUILDING TYPE: ROWHOUSE / TOWNHOUSE  
 UNIT COUNT: 44 +/-  
 UNIT SIZES: 1200 - 1600 SF  
 PROPOSED FAR: 57,845 +/-  
 PARKING STALLS: 44 +/- (SURFACE / GARAGE)  
 STRUCTURE HEIGHT: 30' MAX ABOVE AVERAGE GRADE

**DESCRIPTION:**

The proposed project is a combination of 44 townhomes and row-homes designed around a large shared courtyard, accessible by all units. All units are proposed to be 30' above finished grade, staggered in height to fit the sloping site and broken into several buildings with many access points from the street. Approximately 44 parking spaces will be provided. The development will achieve a 4-star Built Green certification. Existing street trees to remain, existing structure and all other vegetation on site to be removed.

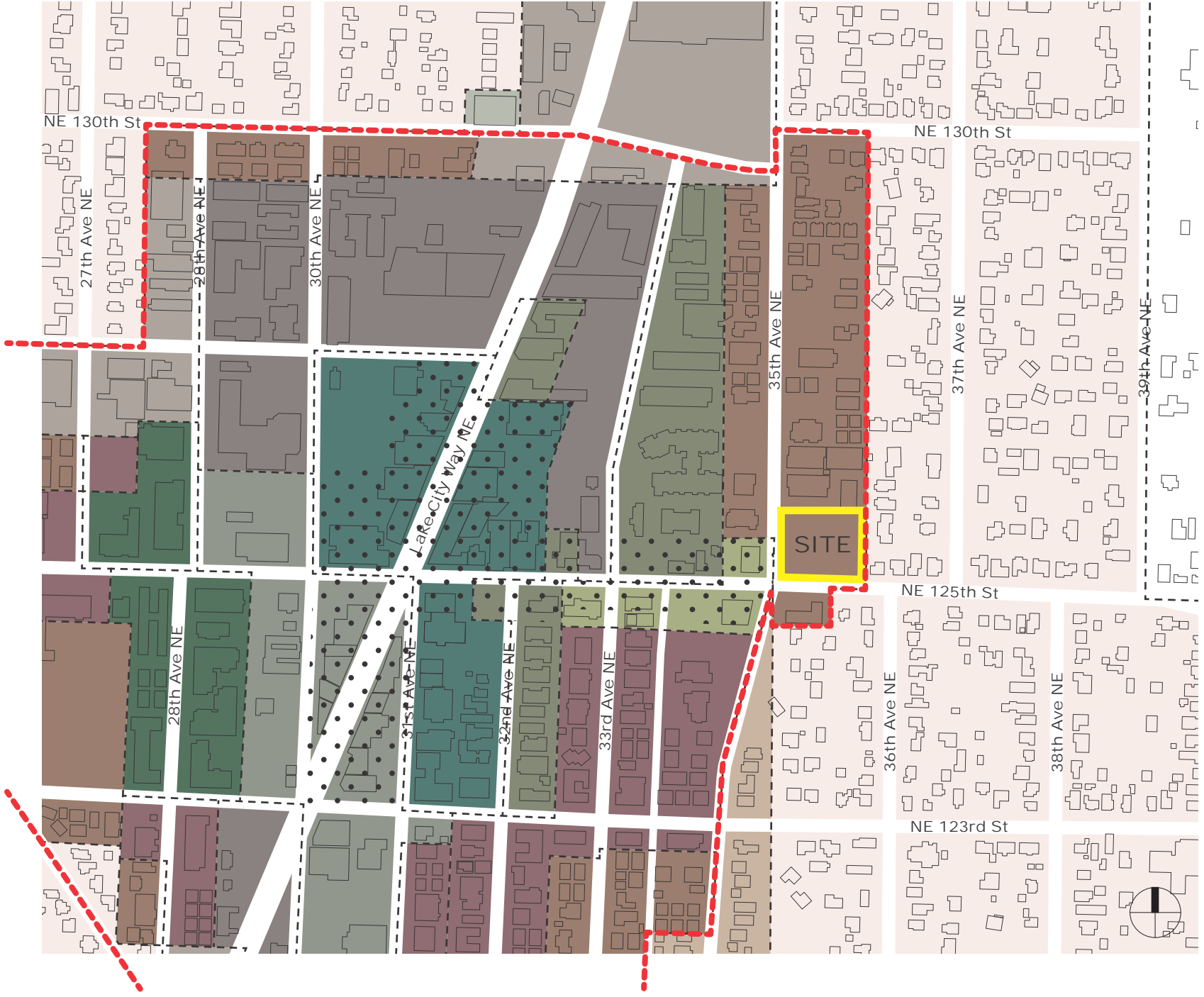




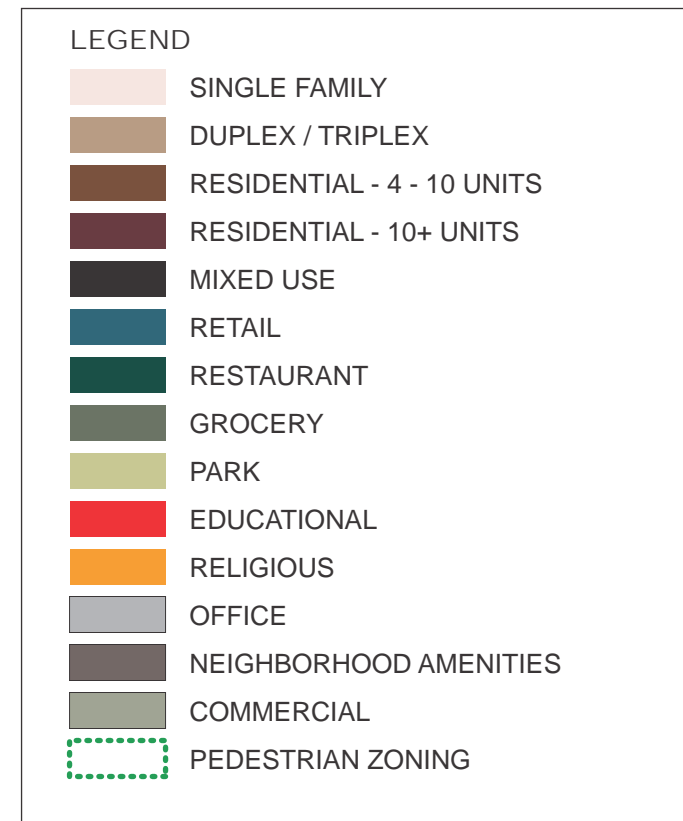
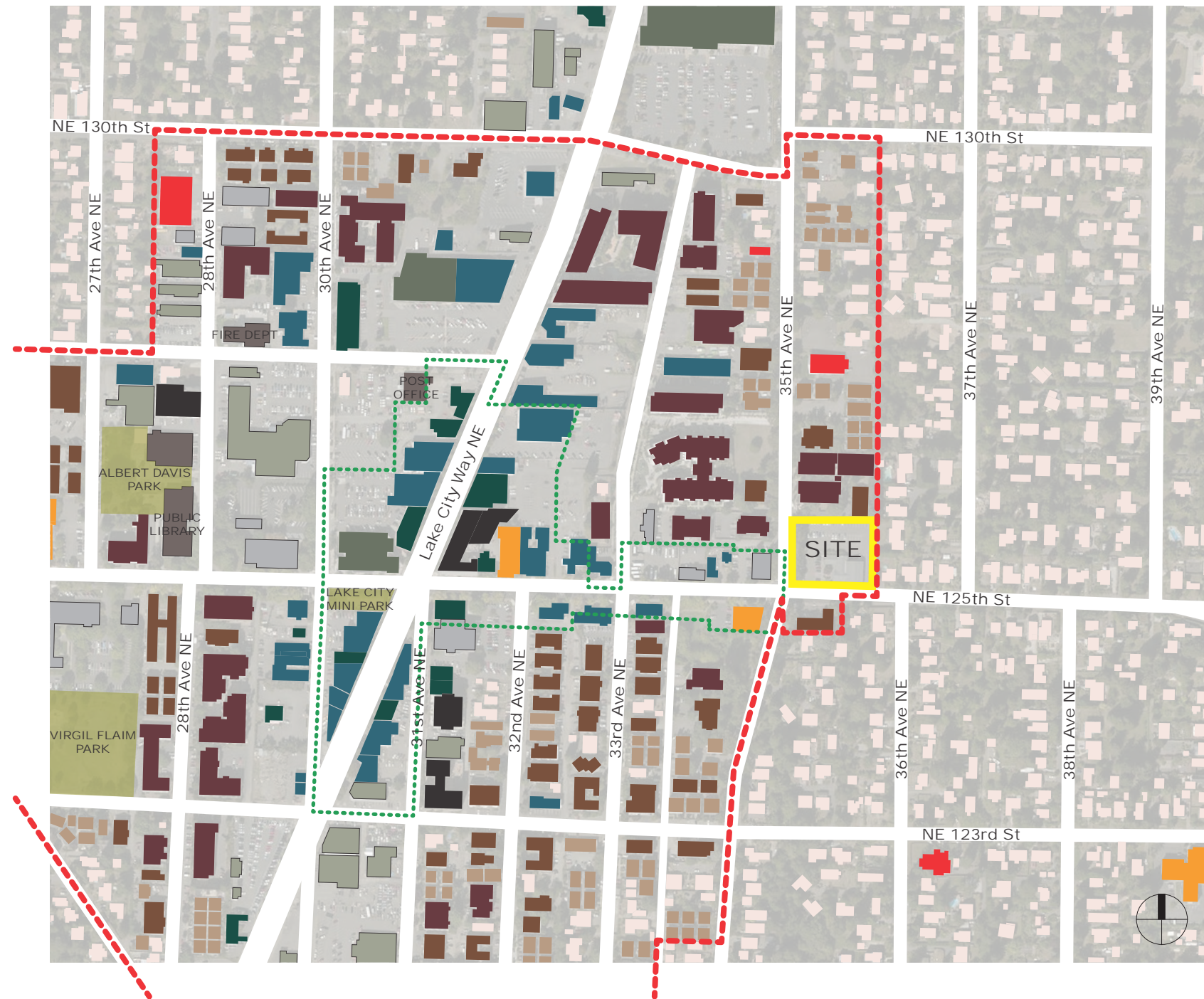


**ZONING:**

The site is zoned lowrise 2 (LR2), within the Lake City Hub Urban Village. The LR2 zoning acts as a transition from neighborhood commercial (NC3-40) to the west and single family (SF 5000) to the east. The LR2 zoning continues to the north of the site, spreading to both sides of 35th Ave NE. A pedestrian zone overlay is centered around the downtown area along Lake City Way NE, with a branch extending to the southwest edge of the site.





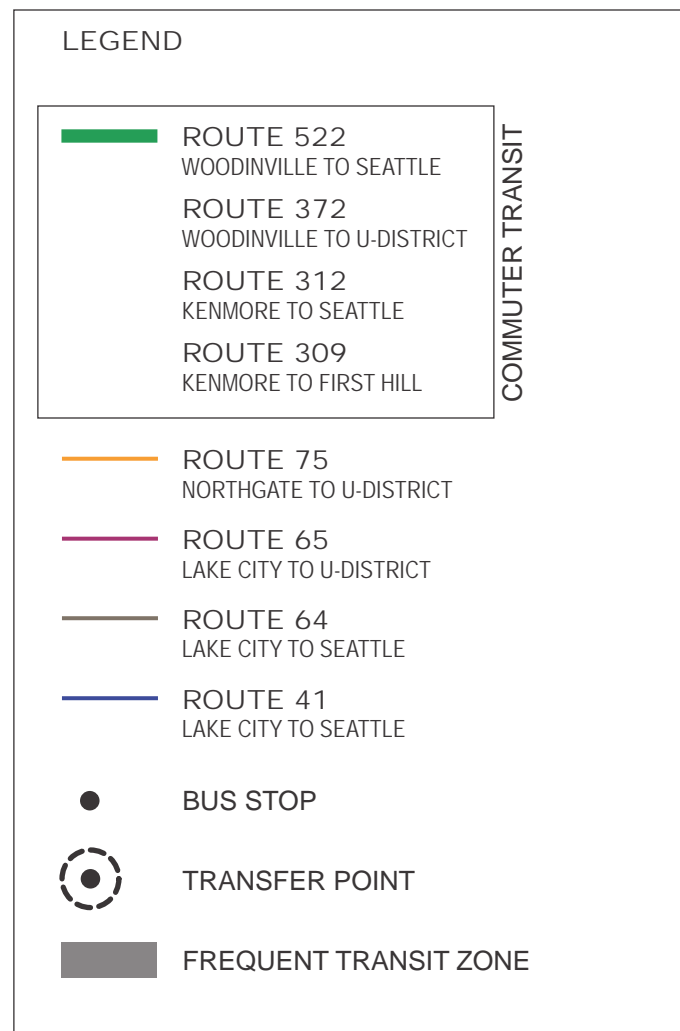


#### ADJACENT USES:

The proposed development is located 2 blocks to the east of Lake City Way and at the edge of the pedestrian zoned downtown area. There is an abundance of mixed-use development along Lake City way with a wide variety of restaurants, retail, grocery and services within blocks of the site. Some downtown amenities include the Public Library, Lake City Mini Park, Albert Davis Park and Virgil Flaim Park.







#### LOCAL TRANSPORTATION:

The site is located within the frequent transit area centered on Lake City Way. The area is well served by commuter transit with transfer point bus stops roughly 2 blocks from the site serving 4 commuter transit routes as well as access to 4 other local routes.







#### SITE CONDITIONS:

The site is located at a major transition from commercial zoning to single family zoning. Development to the north, along 35th Ave NE is predominantly multifamily with a mixture of contemporary 4 story apartment buildings, and clusters of traditional 3 story townhomes. To the west, the older structures are mainly 1-2 story retail and office buildings with a large amount of newer, large apartments and mixed use developments up to 6 stories centered along Lake City Way. To the east and southeast are primarily 1 story single family residences. To the north and south, 35th Ave NE has a dense tree canopy, the existing mature trees on site will be preserved to retain that effect. The tree canopy coverage along NE 125th St is not as consistent, a new planting strip along the south property line will help to strengthen it.







1

**APARTMENTS**



2



3



4

**TOWNHOMES**



5



6



7



8

**OFFICE BUILDINGS**



9



10





### OPPORTUNITIES AND CONSTRAINTS:

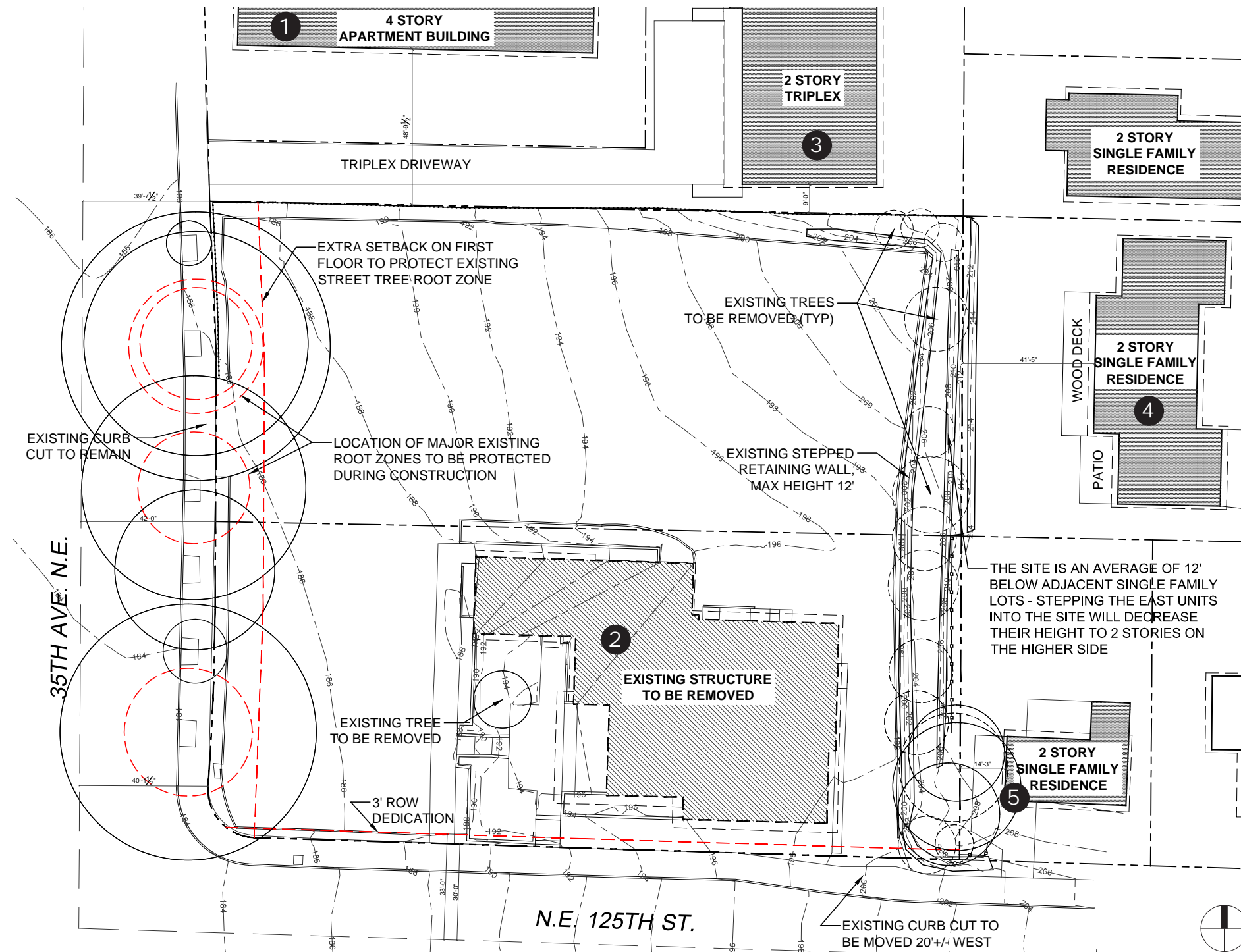
The existing site consists of a 5,339 sf masonry church and parking for 72 +/- vehicles on 2 lots totaling 46,625 sf. The structure and pavement will be removed.

The 4 story apartment building to the north is 48' from the property line, with decks and windows oriented toward the property. The 2 story triplex is located 9 feet from the north property line with a 10 ft driveway extending along the property line to 35th Ave NE. The large single family residence to the east that overlooks the property is 41 ft from the property line and the smaller residence along NE 125th St is 14 ft from the property.

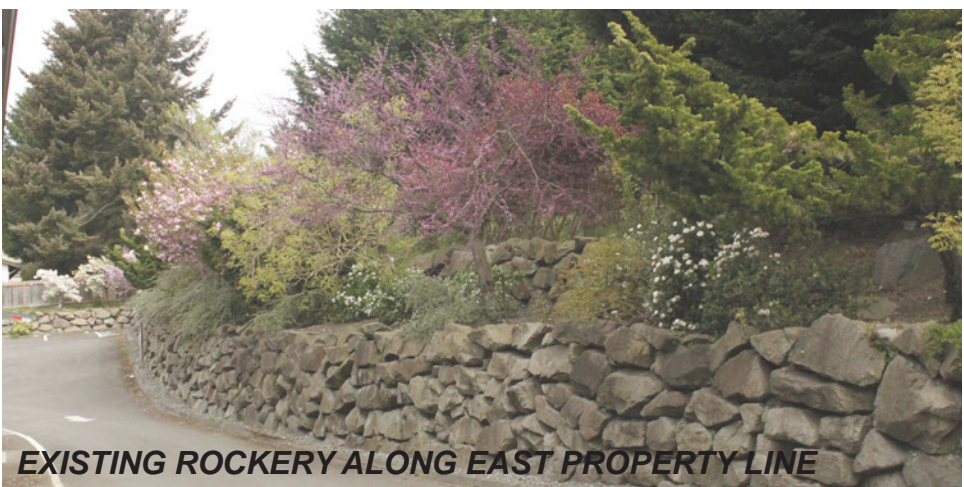
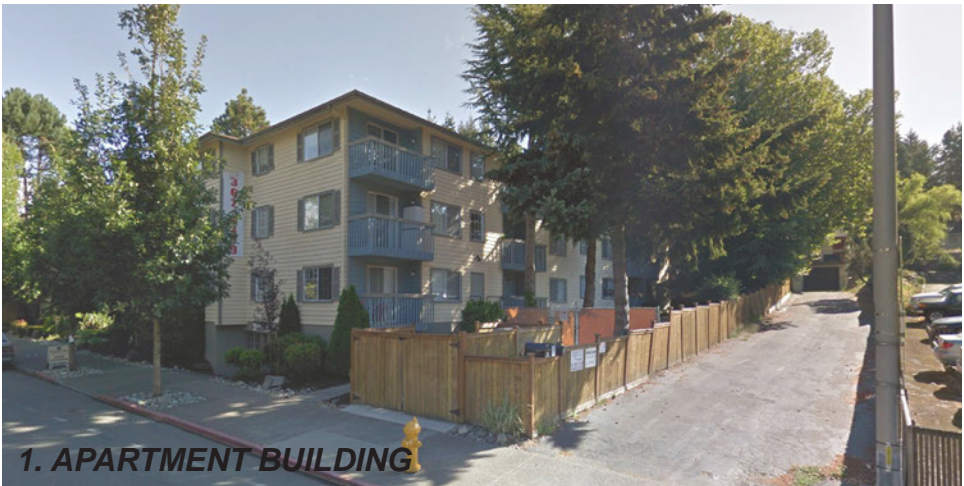
There are 5 mature street trees along 35th Ave NE that will be preserved and protected throughout construction, a larger setback on the first floor is proposed for all options to prevent excavation from encroaching on the existing root zones. All other trees on site will be removed and replaced with new plantings after construction.

A 3 ft ROW dedication is required along the south property line to allow for a new sidewalk and planting strip along NE 125th St it will increase the ROW from 30 ft to 33 ft. The existing curb cut on 35th Ave NE is proposed to remain and the existing curb cut on NE 125th St is proposed to shift west by 20 ft +/-, see option plans for location.

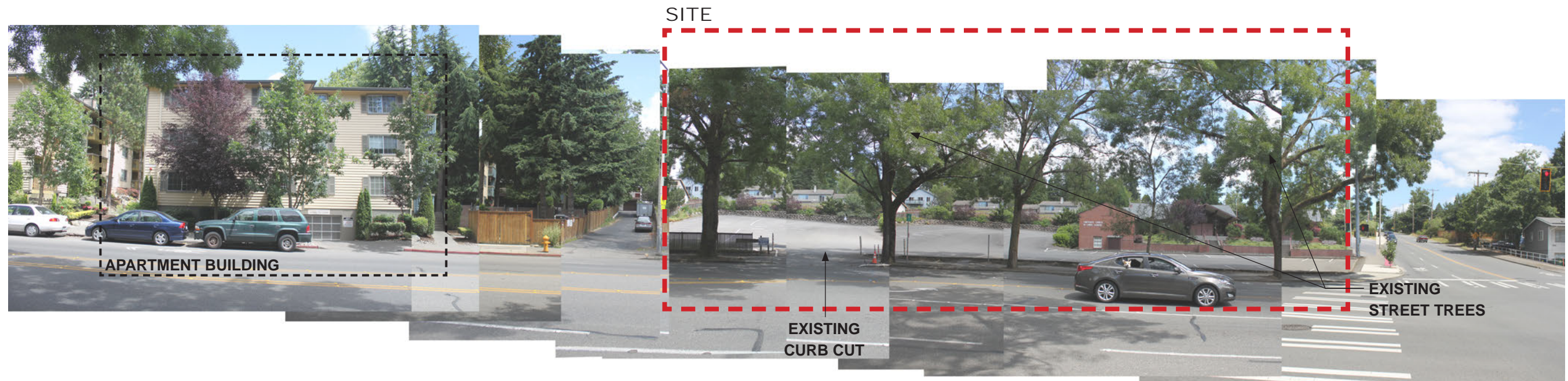
The property slopes 20 ft in height from the northeast corner (high) to the southwest corner (low). A tiered rockery wall along the east property line retains another 12 ft.











35TH AVE NE LOOKING EAST



35TH AVE NE LOOKING EAST







**NE 125TH ST LOOKING NORTH**



**NE 125TH ST LOOKING SOUTH**



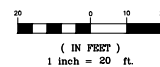


(PER STATUTORY WARRANTY DEED, AFN 6396175)

THAT PORTION OF LOTS 12 AND 13, BLOCK 8, CEDAR PARK, AS RECORDED IN VOLUME 26 OF PLATS, PAGE 19, RECORDS OF KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 13; THENCE NORTH 01°24'42" WEST ALONG THE WESTERLY LINES OF SAID LOTS 13 TO THE NORTHWEST CORNER OF SAID LOT 12, 9.63 FEET; THENCE 23°02'00" WEST ALONG A CURVE, HAVING A TO A POINT ON A LINE 12 FOOT EASTERLY OF AND PARALLEL WITH SAID WESTERLY LINES; THENCE SOUTHERLY ALONG SAID PARALLEL LINE 77.59 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A TO A POINT OF REVERSE CURVATURE; THENCE SOUTHEASTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 15 FEET, AN ARC DISTANCE OF 24.1 FEET TO A POINT OF ANGENCY ON THE WESTERLY LINE OF SAID LOT 12; THENCE 89°18'41" WEST 26.30 FEET TO THE POINT OF BEGINNING.

	FOUND CASED SURVEY MONUMENT		
	BENCHMARK		
	FOUND BRASS DISC		
	FOUND REBAR OR IRON PIPE		
	SET REBAR "GEO-D LS 51800"		
	SET NAIL & SHINER "GEO-D LS 51800"		
	BOLLARD		CONCRETE SURFACE
	BOL		ROCK WALL
	SIGN	CALC'D	CALCULATED
	GAS VALVE	CH	CHERRY
	GAS METER	COS	CITY OF SEATTLE
	GUY POLE	DEC	DECIDUOUS
	LUMINAIRE	ELEV	ELEVATION
	POWER MANHOLE	FF	FINISH FLOOR
	POWER POLE	FND	FOUND
	POWER POLE W/ LUMINAIRE	MON	MONUMENT
	POWER HAND HOLE	R#	SURVEY REFERENCE NUMBER
	POWER METER	RE	ROOF ELEVATION
	POWER TRANSFORMER	W/	WITH
	SEWER MANHOLE		
	STORM DRAIN MANHOLE		
	CATCH BASIN		
	AREA DRAIN		
	STORM DRAIN CLEANOUT		
	TELEPHONE HAND HOLE		
	TELEPHONE MANHOLE		
	WATER VALVE		
	WATER METER		
	WATER GATE VALVE		
	FIRE HYDRANT		
	TREE, TYPE & SIZE		
	BUILDING		
	RETAINING WALL/CURB		
	FENCE (CHAIN LINK)		
	FENCE (WOOD)		
	GAS LINE		
	POWER LINE		
	SANITARY SEWER LINE		
	STORM DRAIN LINE		
	TELEPHONE LINE		
	WATER LINE		
	ASPHALT SURFACE		



TOPOGRAPHIC & BOUNDARY SURVEY  
SW 1/4 OF THE SW 1/4 OF SEC. 22, TWP. 28N., RGE. 04E., W.M.  
PARCEL NO. 145360-2481, 145360-2480 & 145360-2500

GREENBUILD DEVELOPMENT, LLC  
3500 NE 125TH ST.  
SEATTLE, WASHINGTON 98145



## GeoDimensions

GeoDimensions, Inc., 10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425.458.4488 support@geodimensions.net  
[www.geodimensions.net](http://www.geodimensions.net)

JOB NUMBER:	151613
DATE:	15/6/15
DRAFTED BY:	RLS
CHECKED BY:	SRM
SCALE:	1"= 20'

#### REVISION HISTORY

SHEET NUMBER  
2 OF 2



**EARLY DESIGN GUIDANCE**  
**3500 NE 125th St, SEATTLE 98125**  
 DPD # 3023118 | PUBLIC MEETING #1 JULY 11, 2016



23.45.510 FAR LIMITS:

- B. Rowhouse developments in LR2 zone: 1.3
- Townhouse developments in LR2 zone: 1.2

23.45.510 C -structures must meet a Built Green 4-star rating or higher  
-parking must be totally enclosed or located at the rear of the lot

E1. Floor area within portions of a structure that are completely underground are exempt from FAR limits.  
E5. For rowhouse and townhouse developments that qualify for the higher FAR limit, floor area within a structure that is partially above grade, is used for parking, does not exceed 1 story, has no additional stories above and the roof area is used as amenity area is exempt from FAR limits.

23.45.512 DENSITY LIMITS:

- A. Rowhouse and townhouse developments in LR2 zones have no density limits

23.45.514 STRUCTURE HEIGHT:

- A. Rowhouse and townhouse developments in LR2 zones have a maximum height limit of 30'.
- H. Roof surfaces completely enclosed by a parapet may exceed the applicable height limit to allow for a slope.
- J2. Open railings, planters and parapets may extend 4 ft above the maximum height limit.
- J4. Stair penthouses may extend 10 ft above the height limit if the total coverage of all features does not exceed 15 percent of the roof area.

23.45.518 SETBACKS AND SEPARATIONS:

- A. Rowhouse: Front - 5 ft min  
Rear - 7 ft avg, 5 ft min  
Side - 3.5 ft min/ 5 ft when abutting single family zone/ 0 ft when abutting rowhome
- Townhouse: Front - 7 ft avg, 5 ft min  
Rear - 7 ft avg, 5 ft min  
Side - 5 ft min/ 7 ft avg, 5 ft min for facades greater than 40 ft in length
- F1. Minimum required separation between buildings is 10 ft.
- F2. If principle structures are separated by a driveway or parking aisle, the minimum separation is increased by 2 ft. Projections that enclose floor area may extend a maximum of 3 ft into required separation.
- H1. Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.
- H4. Unenclosed decks up to 18 in above grade may project into required setbacks to the lot line.
- H5. Unenclosed porches or steps no higher than 4 ft above grade may extend to within 4 ft of the lot line.
- I. Unenclosed decks and balconies may project a maximum of 4 ft into required setbacks if each one is: 1. no closer than 5 ft to a lot line, 2. no more than 20 ft wide, 3. separated from other decks on the same facade by a distance equal to half the projected width.

23.45.522 AMENITY AREA

- A1. Rowhouse and townhouse developments in LR2 zones is 25% of the lot area.
  - a minimum of 50% must be provided at ground level or on the roof of a structure that meets 23.45.510 E5
- D4. a. if a private amenity area abuts a side lot line, the minimum horizontal dimension is 10 ft.
  - b. an unenclosed porch of 60 sf minimum may be counted as private amenity area.
- D5 a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet.
  - b1. At least 50 percent of common amenity area shall be landscaped with grass, ground cover, bushes and/or trees.
  - b2. Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.

23.45.524 LANDSCAPING

- A2 a. Landscaping that achieves a Green Factor score of 0.6 or greater is required for any lot within a LR zone if development is proposed that has more than one dwelling unit. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score.
- B1. Existing street trees shall be retained and new street trees added.

23.45.526 LEED, BUILT GREEN, AND EVERGREEN SUSTAINABLE DEVELOPMENT STANDARDS

- A. Built Green 4-star rating compliance must be demonstrated per 23.45.510 C.

23.45.526 STRUCTURE WIDTH AND FACADE LENGTH LIMITS

- A. Max. structure width for rowhomes in LR2 zones: no limit  
Max. structure width for townhomes in LR2 zones: 90 ft
- B. Max. combined facade length within 15 feet of side property line: 65% depth of lot.

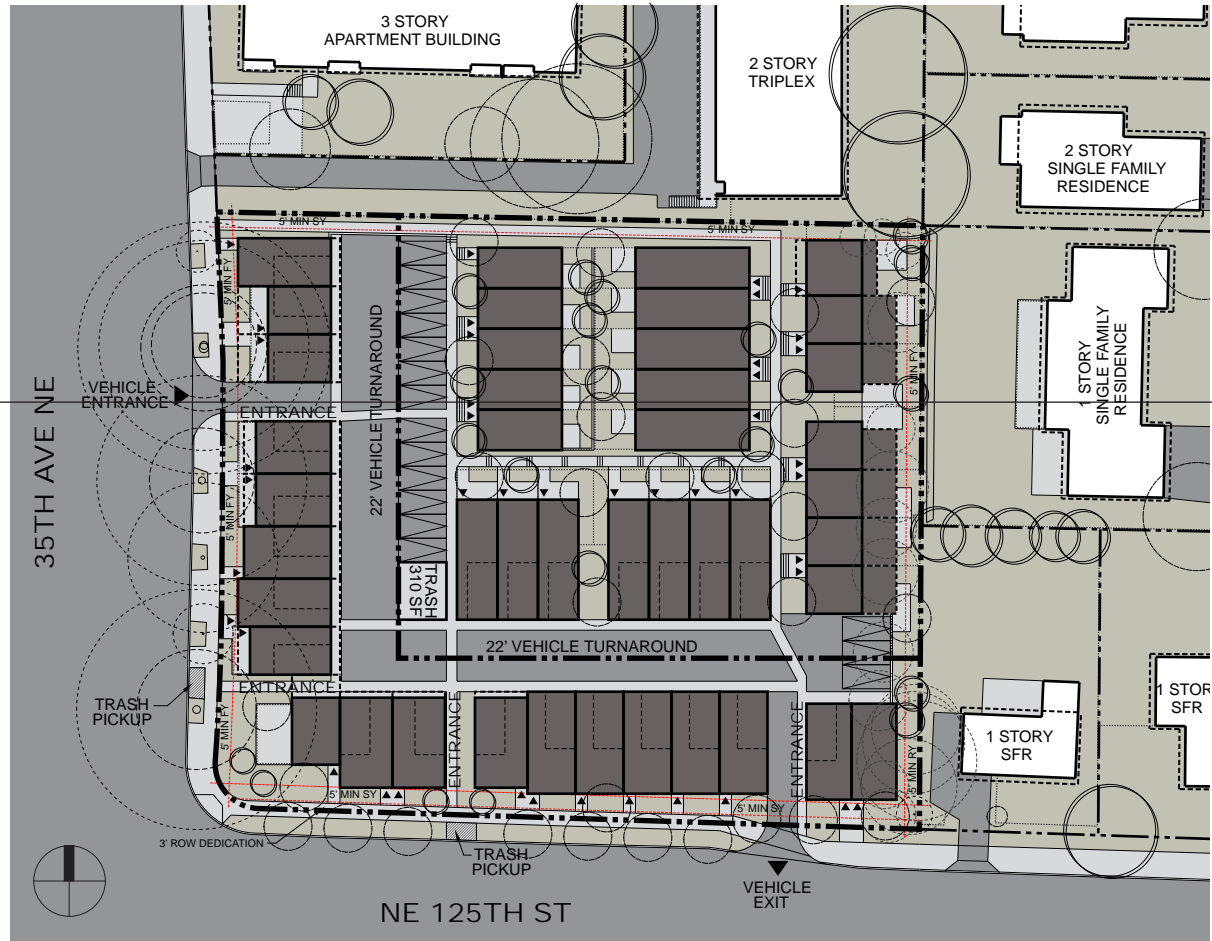
23.54.015 PARKING REQUIREMENTS

- Table B - II M. No minimum parking requirement for residential uses in multifamily zones within urban villages if the residential use is located within 1,320 ft of a street with frequent transit service.
- Table D - D.2. 1 long-term bicycle parking space required per 4 units.

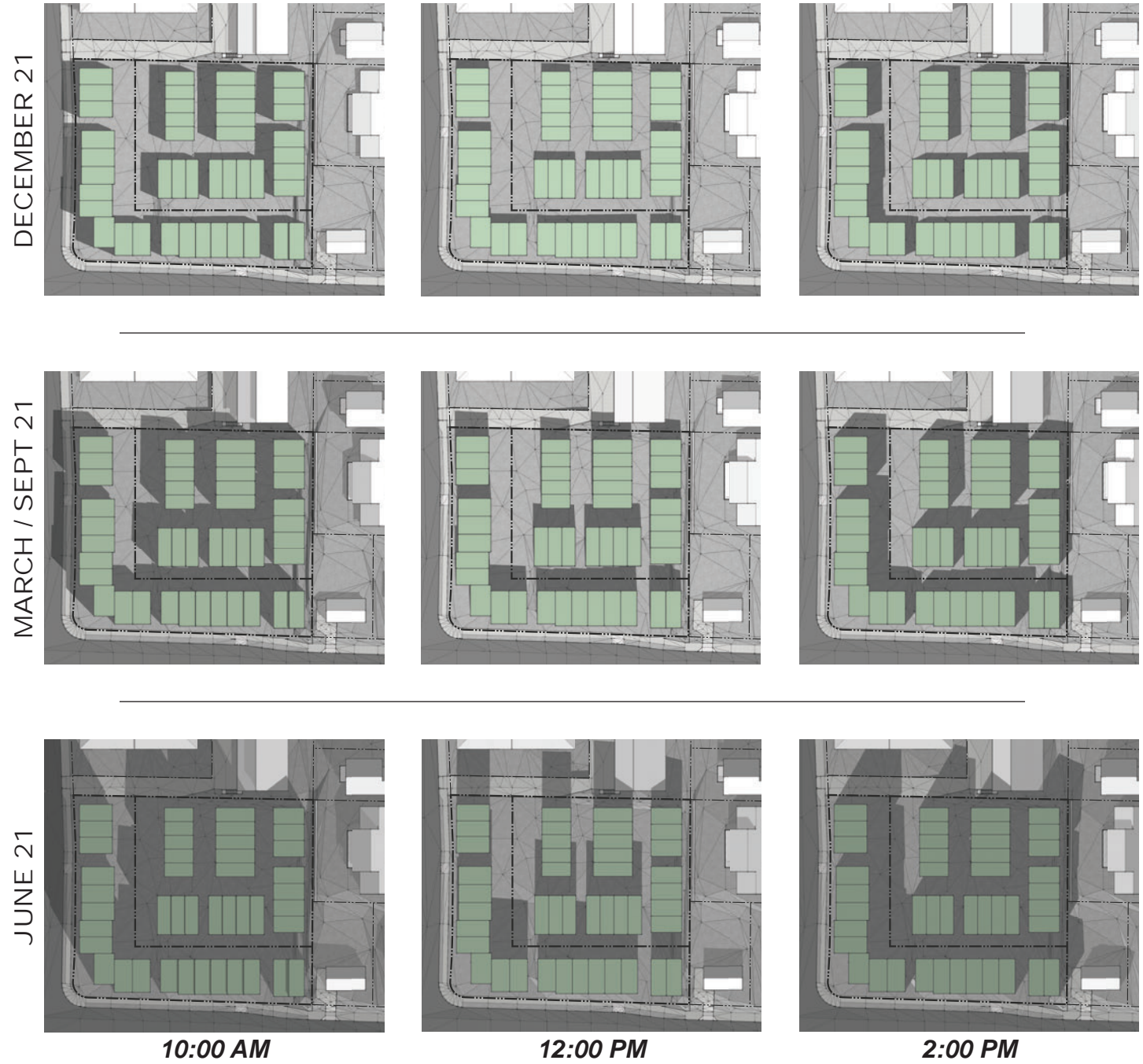
23.54.040 SOLID WASTE AND RECYCLABLES

- Table A. 26 - 50 dwelling units require a minimum of 375 sf
- D1. For developments with 9 dwelling units or more, the minimum horizontal dimension of required storage space is 12 ft.
- D2. The floor of the storage space shall be level and hard-surfaced
- D3. If located outdoors, the storage space shall be screened from public view and designed to minimize light and glare impacts.
- E1. The storage space shall not be located between a street facing facade of the structure and the street
- F1. Containers to be manually pulled shall be placed no more than 50 ft from a curb cut or collection location.
  - Access ramps to the storage space shall not exceed a grade of 6%
  - Any gates or access routes for trucks shall be a minimum of 10 ft wide





SITE PLAN AND SECTION



SHADOW STUDY





## UNIT BREAKDOWN

### ROWHOUSES:

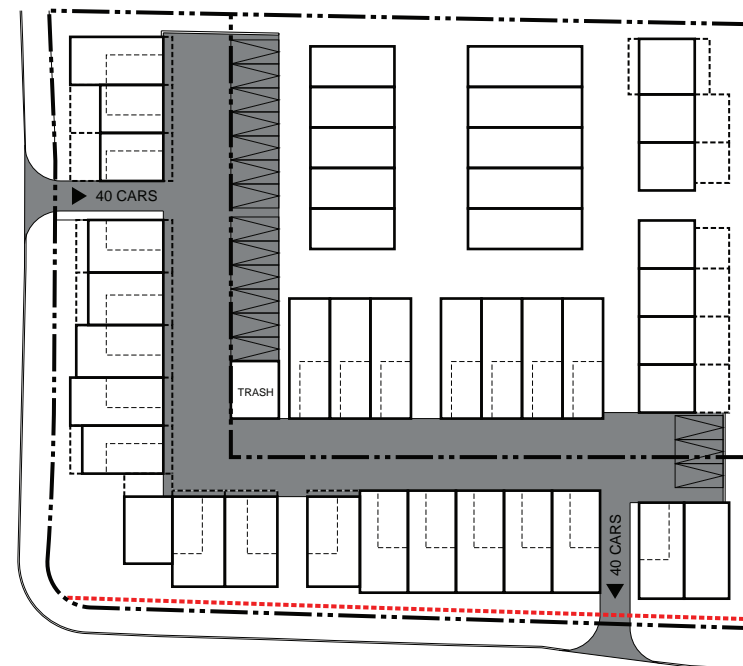
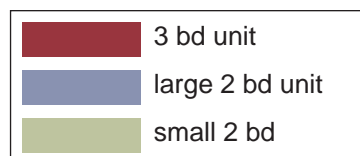
19 units

- 1 3 bd (1400 - 1500 sf)
- 13 2 bd (1200 - 1300 sf)
- 5 2 bd (1100 - 1200 sf)

### TOWNHOUSES:

24 units

- 8 3 bd (1400 - 1500 sf)
- 15 2 bd (1200 - 1300 sf)
- 20 2 bd (1100 - 1200 sf)



## LOCATION OF PARKING

### ROWHOUSES:

19 units

17 private garages, 1 surface parking space

### TOWNHOUSES:

24 units

7 private garages, 15 surface parking spaces

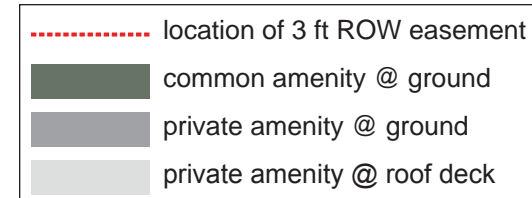
**TOTAL: 43 units - 40 parking spaces**



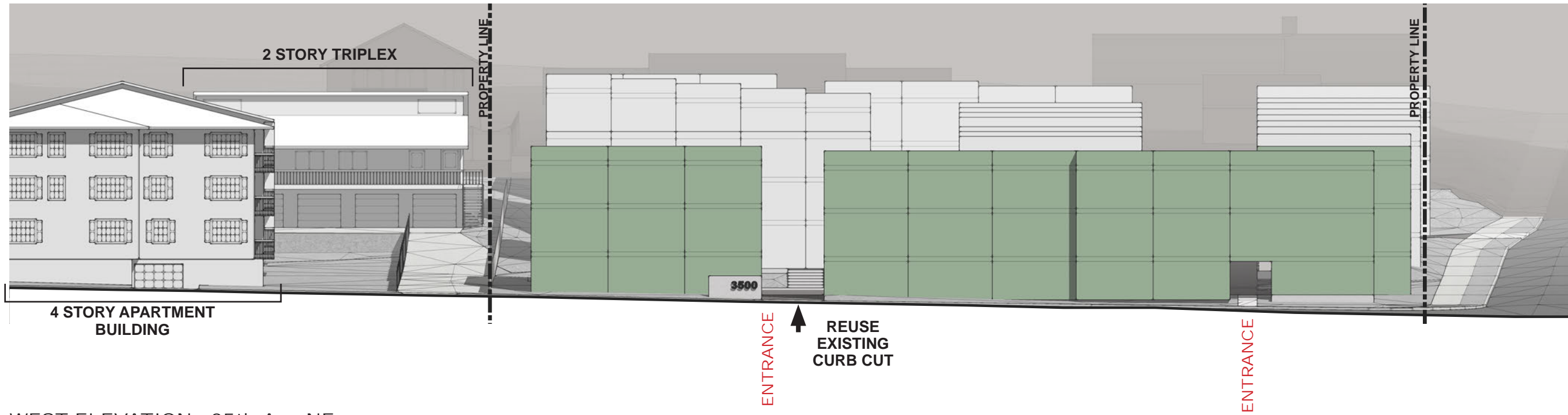
## AMENITY AREA

LOT AREA:	46,625 sf
REQUIRED AMEINTY:	11,656 sf
	5,828 sf min @ ground
PROPOSED:	3,546 sf common
	<u>8,280 sf private</u>
	11,826 sf @ ground
	~14,172 sf roof decks

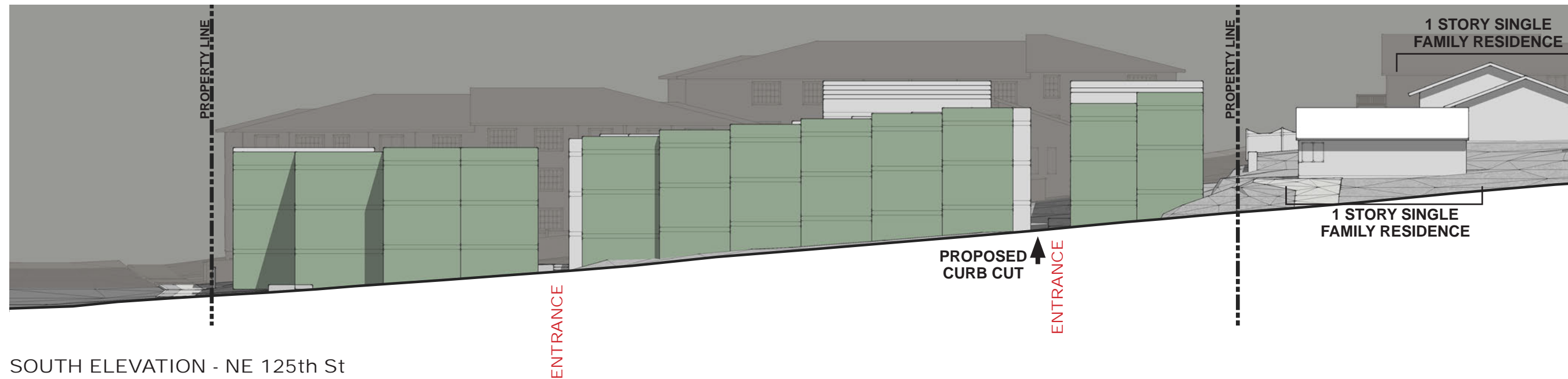
**TOTAL: 25,998 sf amenity**







WEST ELEVATION - 35th Ave NE



SOUTH ELEVATION - NE 125th St







RENDERED VIEW OF SITE FROM ABOVE



RENDERED STREET-LEVEL VIEW OF SW CORNER

## OPTION 1 SUMMARY

**UNITS:** 43 units + 40 parking spaces  
**TOTAL FAR:** 53,268 sf (living space)  
**AMENITY:** 11,826 sf @ ground  
 14,172 sf @ ground

**STORMWATER MANAGEMENT:** 4500 sf permeable pavement facility

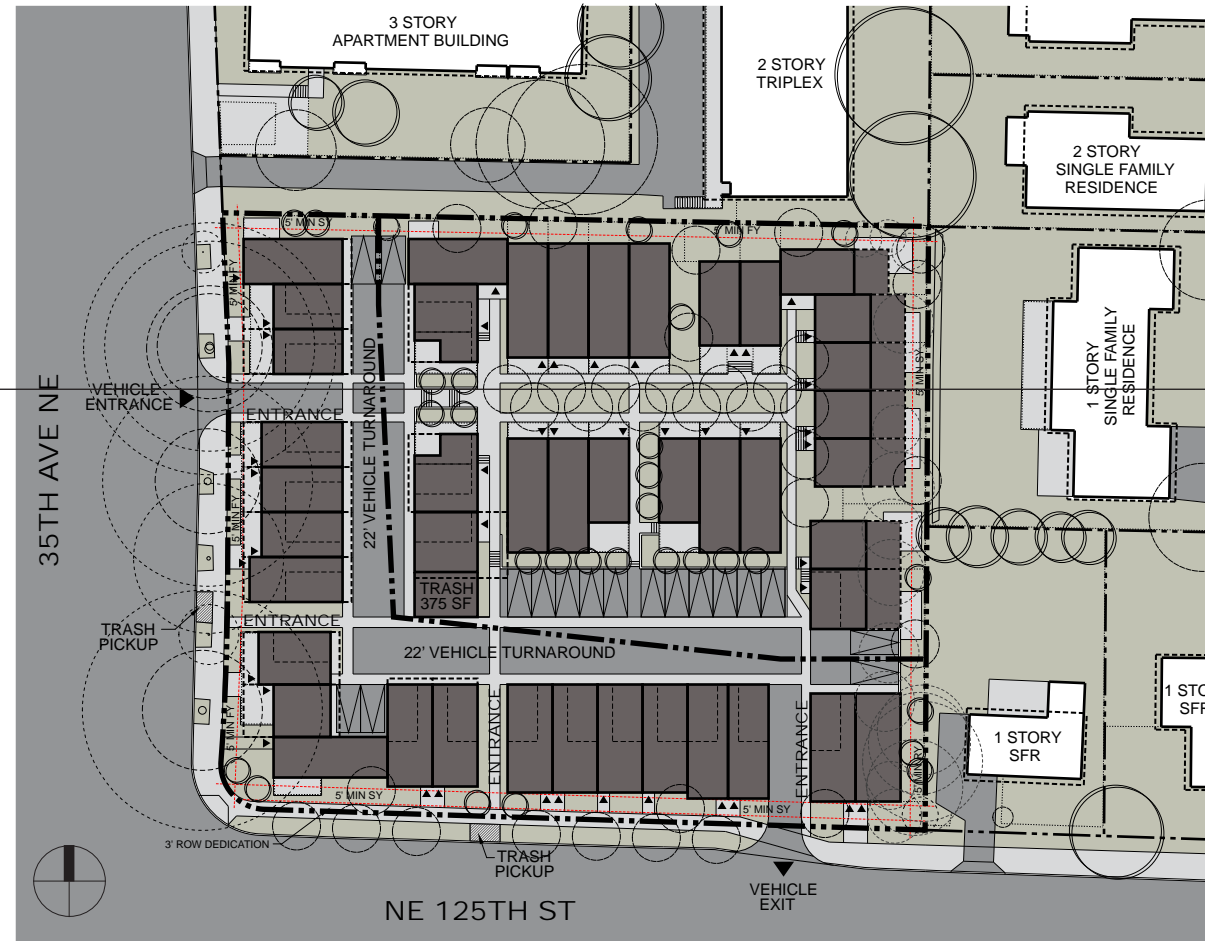
**PROS:** More private amenity area at ground level for townhouse units  
 Rowhouses are setback farthest from SW corner  
 Offers large permeable pavement facility

**CONS:** Only 21% of units are 3 bedroom  
 Units are shifted closer together to fit parking and turnaround  
 West Rowhomes close to property line  
 Rowhomes have minimal amenity area at ground  
 Private garages take up 6,400 sf interior space  
 10,772 sf exposed pavement for vehicle access  
 3 units without parking

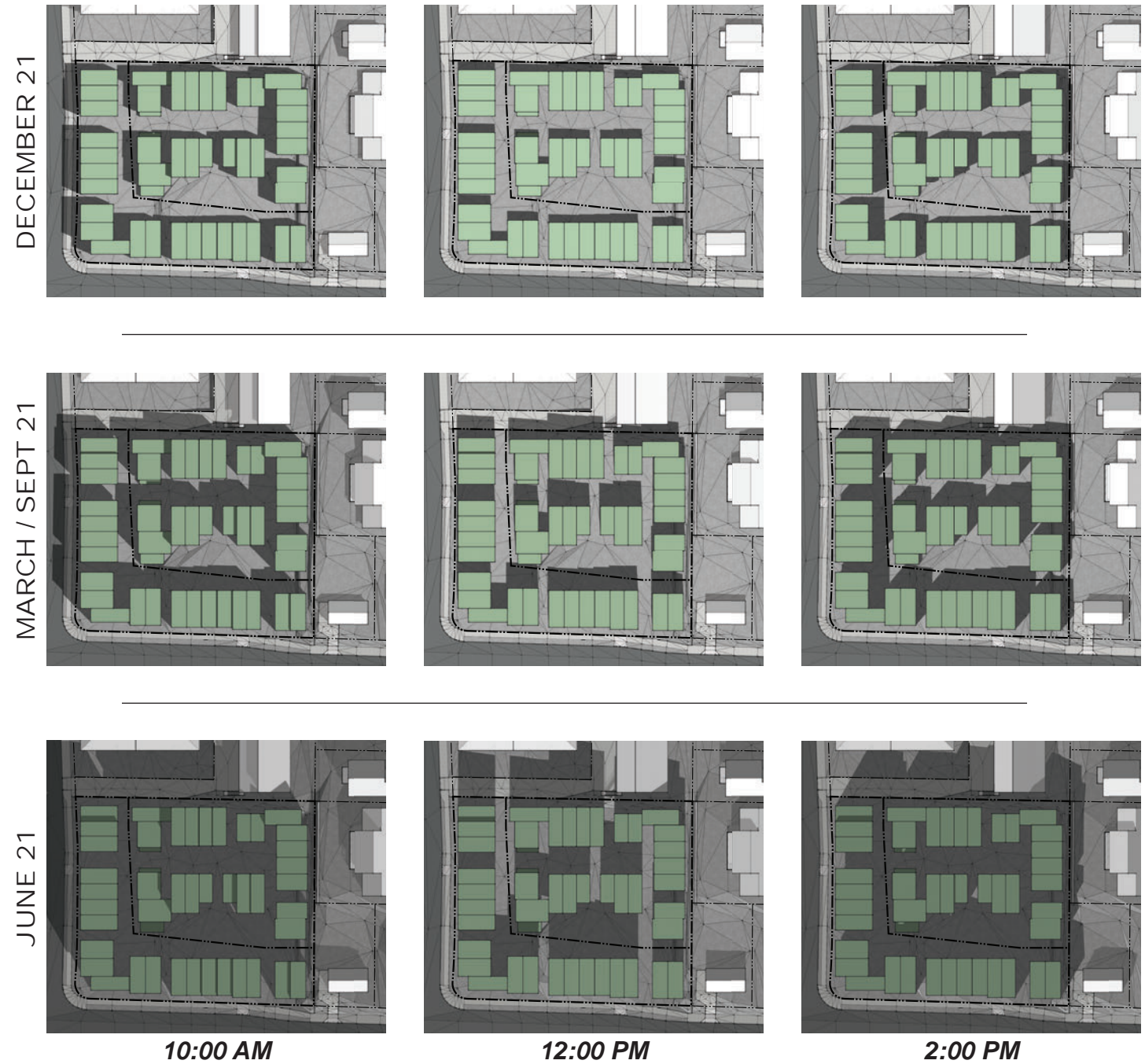
**PROPOSED DEPARTURES:**  
 No departures proposed, code compliant scheme







SITE PLAN AND SECTION



SHADOW STUDY







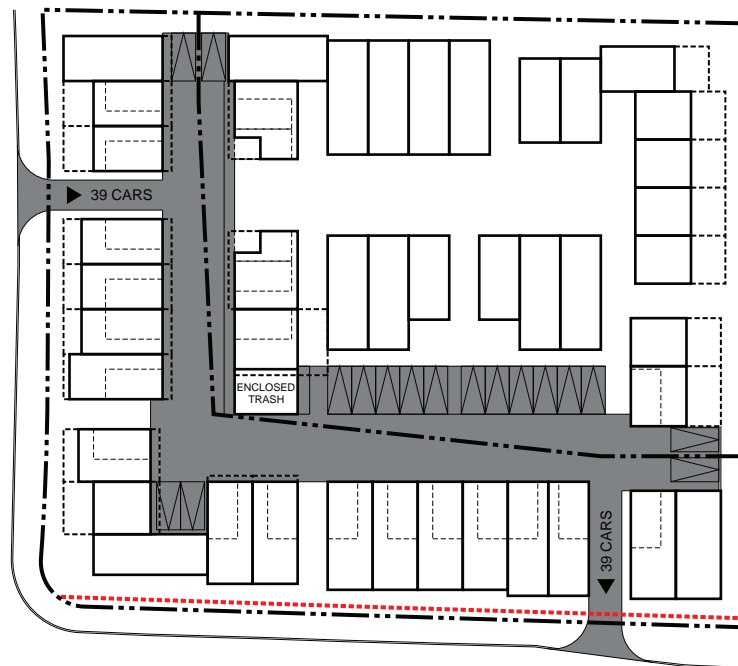
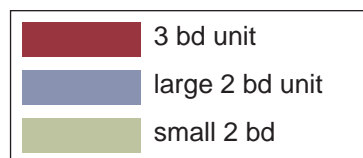
## UNIT BREAKDOWN

### ROWHOUSES:

5	3 bd (1400 - 1500 sf)
9	2 bd (1200 - 1300 sf)
6	2 bd (1100 - 1200 sf)

### TOWNHOUSES:

9	3 bd (1400 - 1500 sf)
4	2 bd (1200 - 1300 sf)
10	2 bd (1100 - 1200 sf)



## LOCATION OF PARKING

### ROWHOUSES:

20 units  
16 private garages, 4 surface parking spaces

### TOWNHOUSES:

23 units  
6 private garages, 13 surface parking spaces

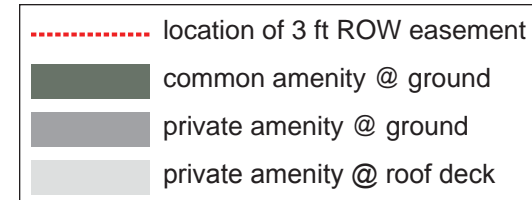
**TOTAL: 43 units - 39 parking spaces**

## AMENITY AREA

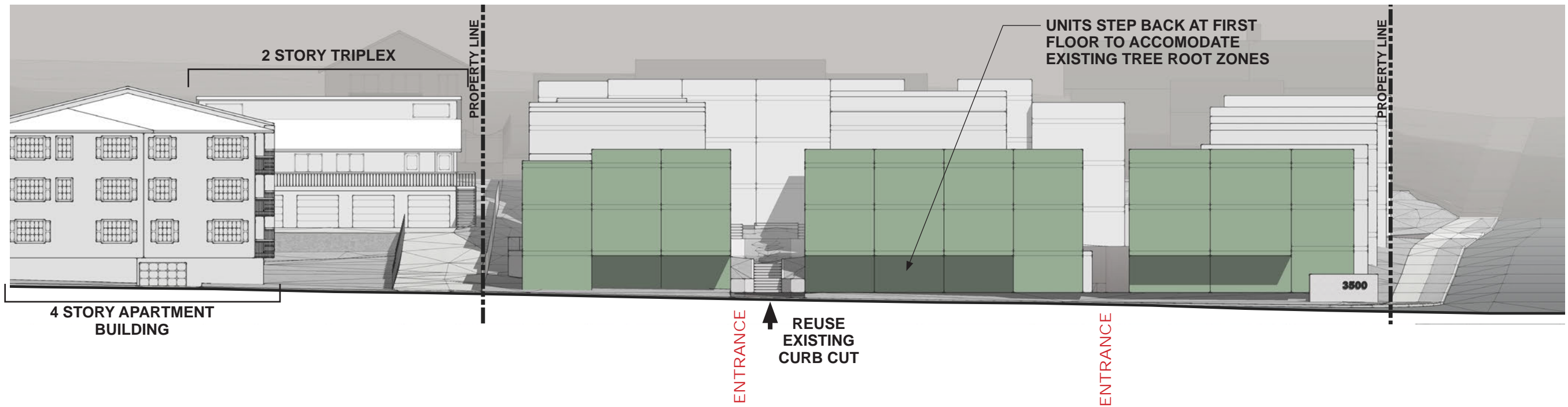
LOT AREA: 46,625 sf  
REQUIRED AMENITY: 11,656 sf  
5,828 sf min @ ground

PROPOSED: 4,841 sf common  
6,367 sf private  
11,208 sf @ ground  
~14,516 sf roof decks

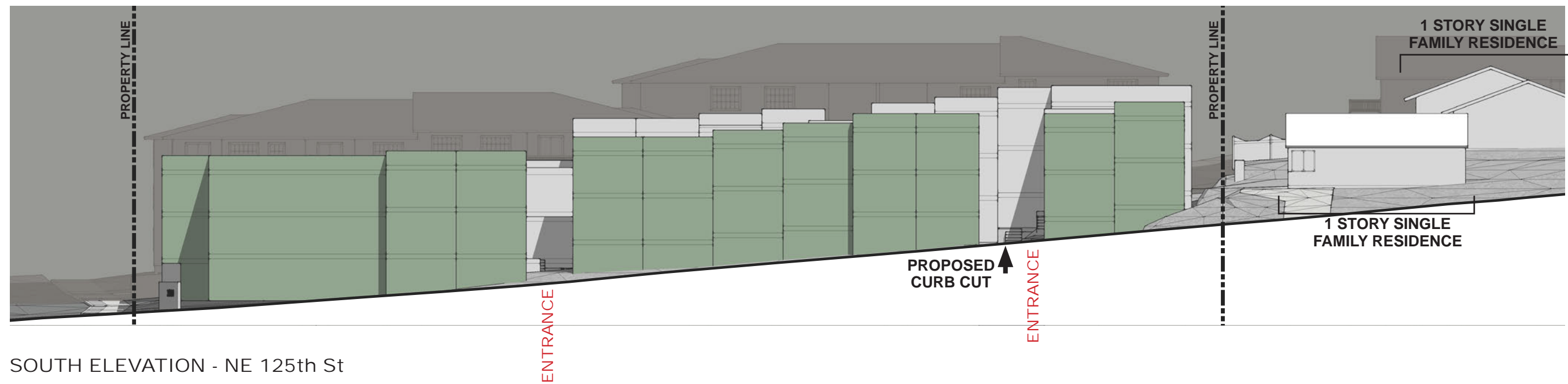
**TOTAL: 25,724 sf amenity**







WEST ELEVATION - 35th Ave NE



SOUTH ELEVATION - NE 125th St







RENDERED VIEW OF SITE FROM ABOVE



RENDERED STREET-LEVEL VIEW OF SW CORNER

## OPTION 2 SUMMARY

**UNITS:** 43 units + 39 parking spaces  
**TOTAL FAR:** 53,865 sf (living space)  
**AMENITY:** 11,208 sf @ ground  
 14,516 sf @ roof deck

**STORMWATER MANAGEMENT:** 1482 sf permeable pavement facility  
 921 sf (series of) infiltrating bio-cell

**PROS:** Large common courtyard with private decks overlooking  
 Offer 2 infiltrating facilities for stormwater management

**CONS:** Only 33% of units are 3 bedroom  
 Units are shifted closer together to fit parking and turnaround  
 West Rowhomes close to property line  
 Rowhomes have minimal amenity area at ground  
 Private garages take up 2,000 sf interior space  
 9,960 sf exposed pavement for vehicle access  
 4 units without parking

## PROPOSED DEPARTURES:

**SETBACKS** - Townhouse RY from 5'-0" min to 0'-9" min

**FACADE LENGTH** - Rowhouse SY from 65% lot depth to 69.2% lot depth

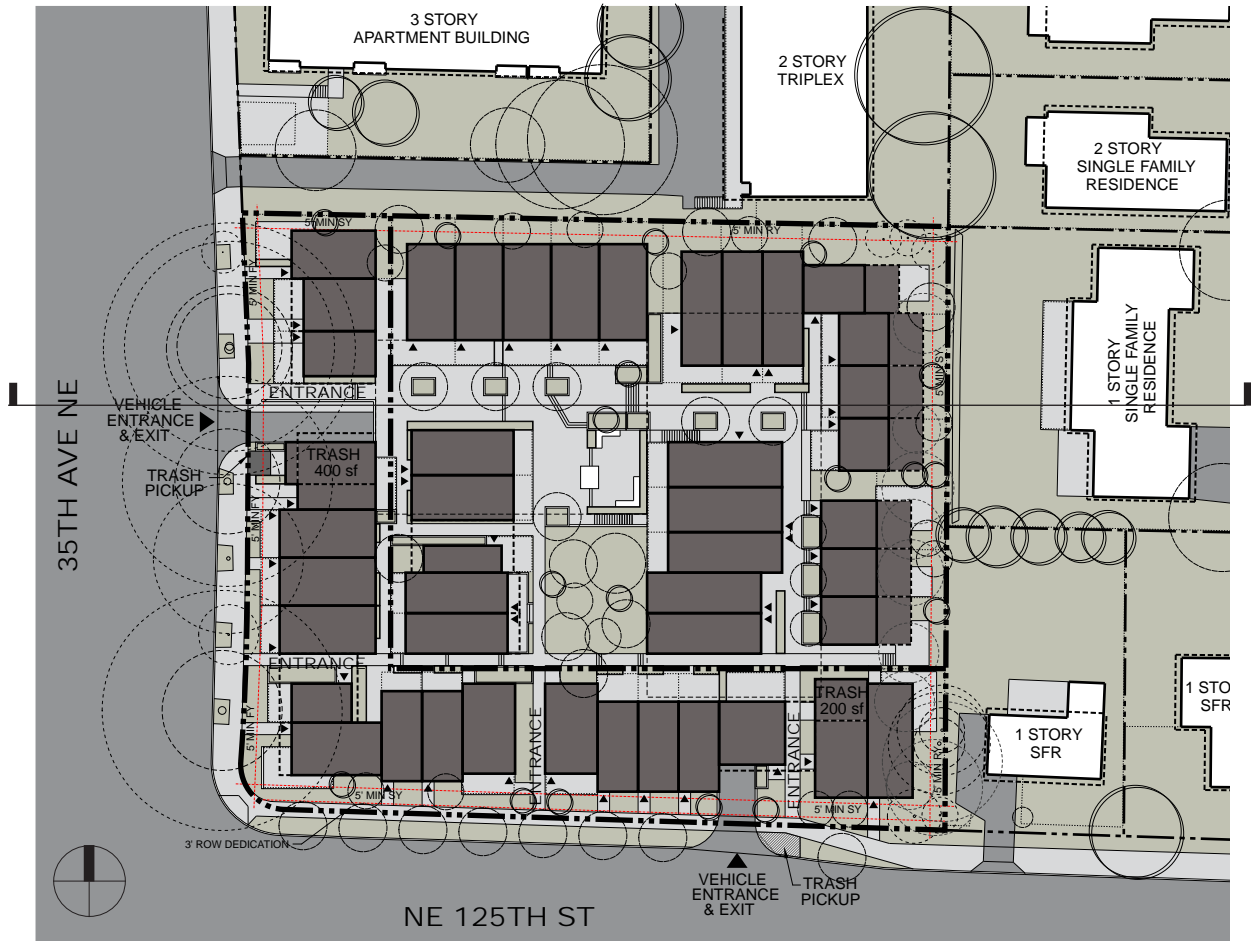
Townhouse FY from 65% lot depth to 83.5% lot depth

Townhouse SY(W) from 65% lot depth to 76.3% lot depth

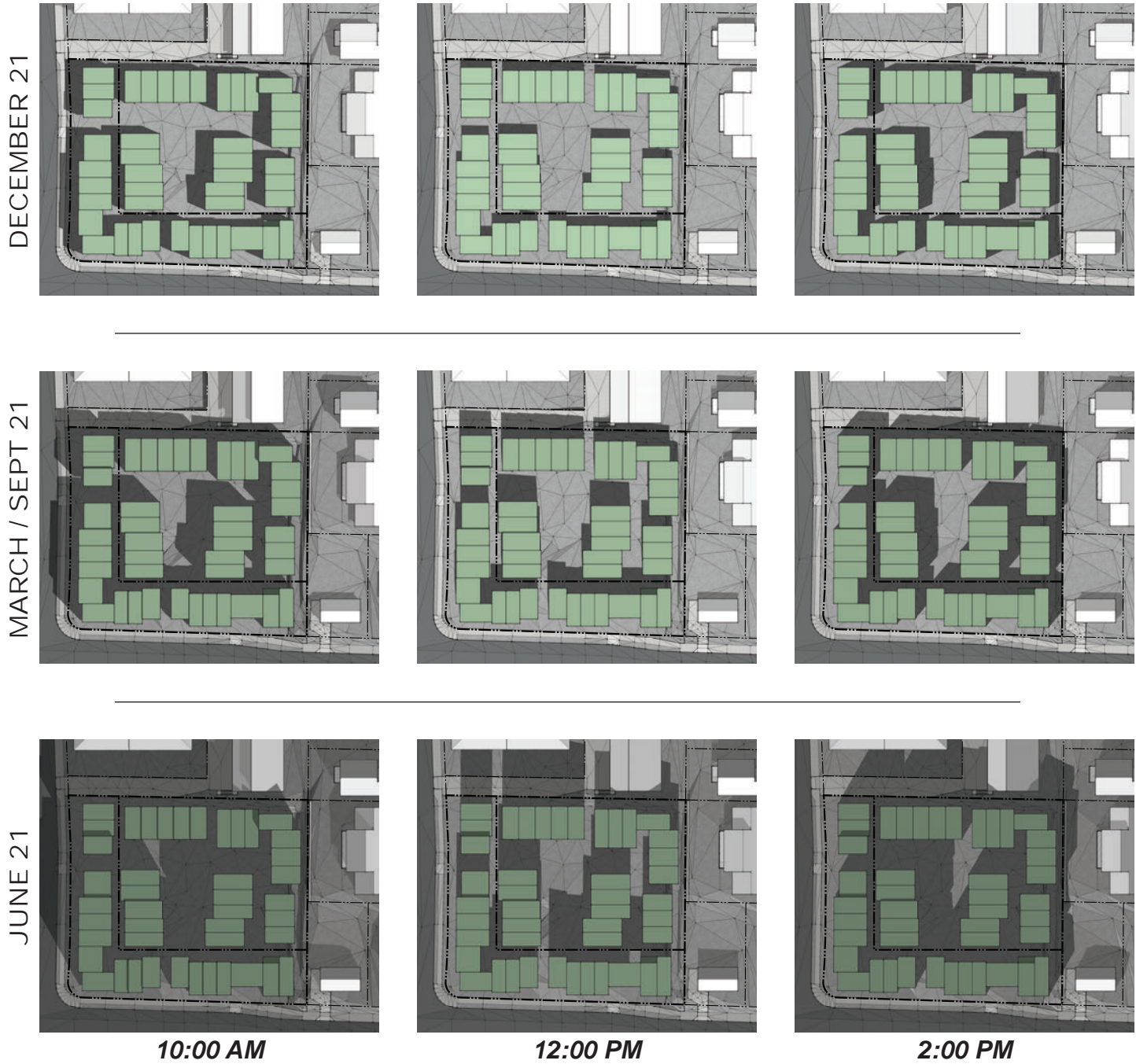
Townhouse SY(E) from 65% lot depth to 79.7% lot depth







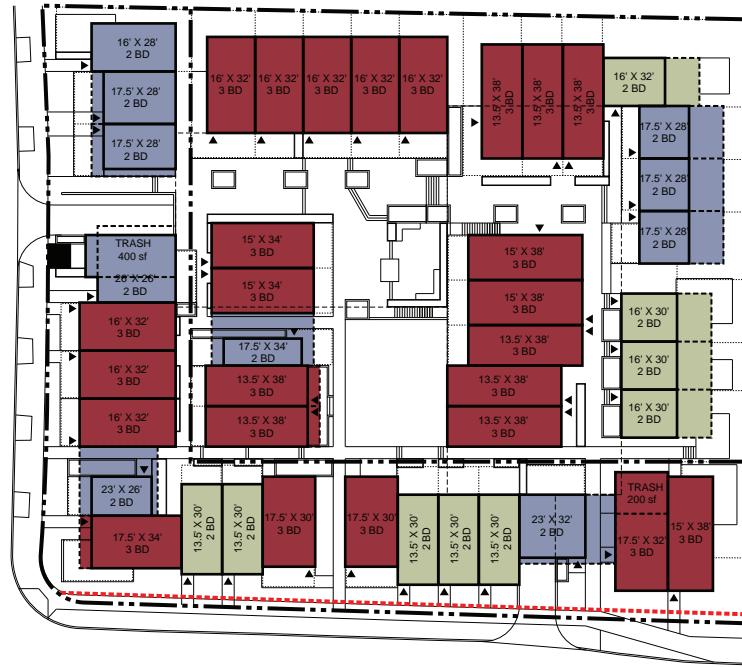
SITE PLAN AND SECTION



SHADOW STUDY







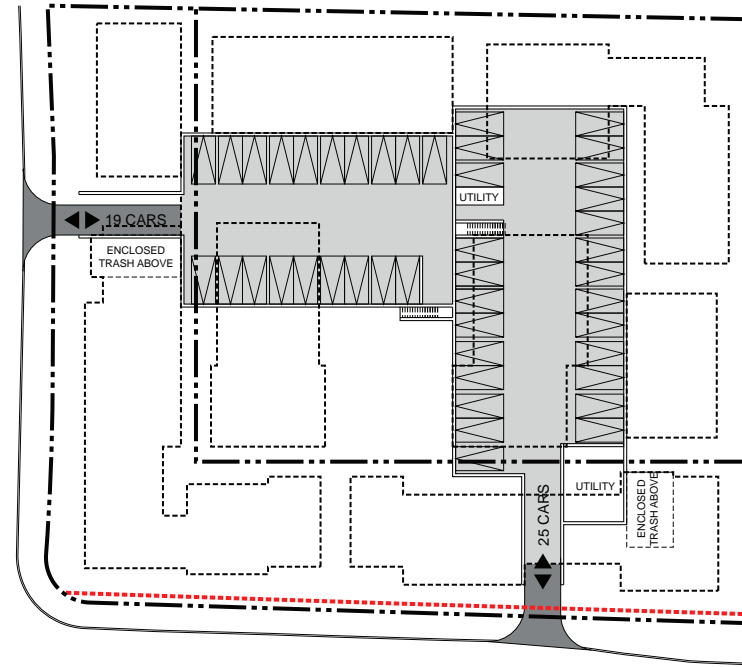
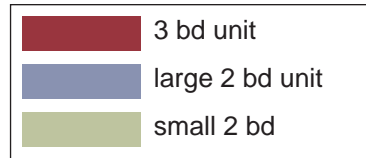
UNIT BREAKDOWN

**ROWHOUSES:**

- 8 3 bd (1400 - 1500 sf)
- 6 2 bd (1200 - 1300 sf)
- 5 2 bd (1100 - 1200 sf)

**TOWNHOUSES:**

- 17 3 bd (1400 - 1500 sf)
- 4 2 bd (1200 - 1300 sf)
- 4 2 bd (1100 - 1200 sf)



LOCATION OF UNDERGROUND PARKING

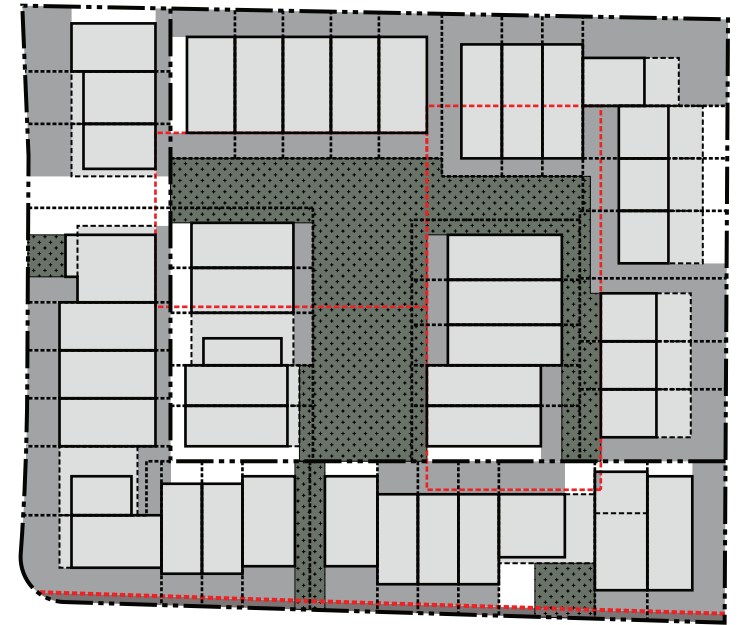
**ROWHOUSES:**

- 19 units
- 19 garage parking spaces

**TOWNHOUSES:**

- 25 units
- 25 garage parking spaces

**TOTAL: 44 units - 44 parking spaces**

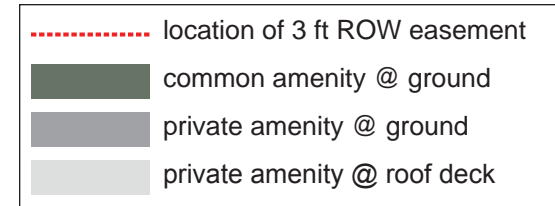


AMENITY AREA

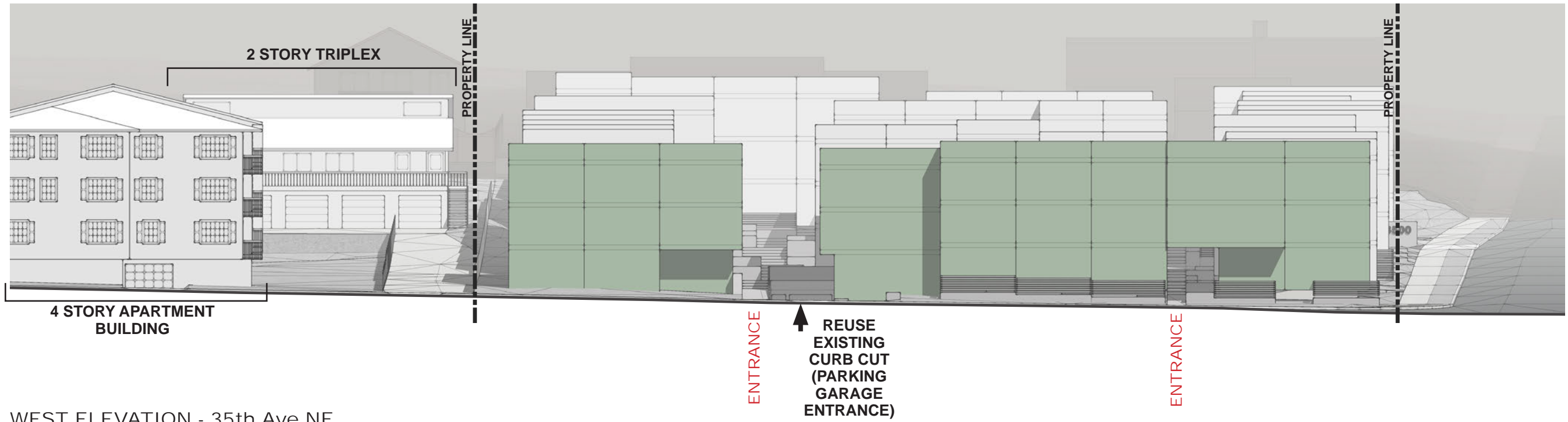
- LOT AREA: 46,625 sf
- REQUIRED AMENITY: 11,656 sf
- 5,828 sf min @ ground

- PROPOSED: 8,044 sf common
- 11,982 sf private
- 20,026 sf @ ground
- ~14,812 sf roof decks

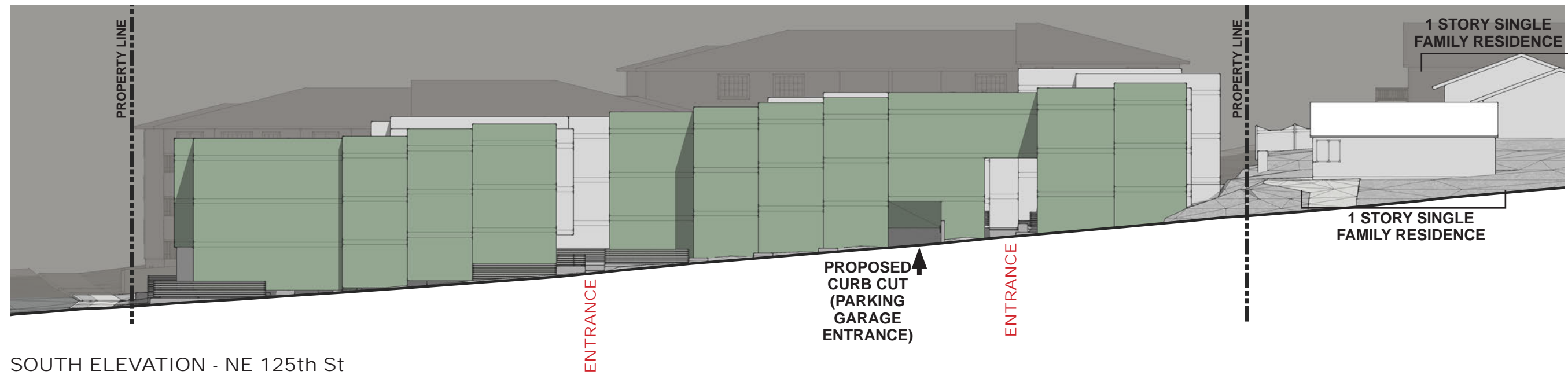
**TOTAL: 34,838 sf amenity**







WEST ELEVATION - 35th Ave NE



SOUTH ELEVATION - NE 125th St







RENDERED VIEW OF SITE FROM ABOVE



RENDERED STREET-LEVEL VIEW OF SW CORNER

## OPTION 3 SUMMARY

**UNITS:** 44 units + 44 parking spaces  
**TOTAL FAR:** 57,845 sf (living space)  
**AMENITY:** 20,026 sf @ ground  
 14,812 sf @ roof deck

STORMWATER MANAGEMENT: 841 sf (series of) infiltrating bio-cell

**PROS:** Underground garages minimize required exposed paving  
 Amenity space at ground almost doubles  
 Allows large common gathering spaces throughout development  
 57% of units are 3 bedrooms - more family oriented  
 All units have parking in common garage  
 More planting space at ground, creating privacy between units

**CONS:** Underground garages require much more grading of site  
 Requires more units to be sprinkled

## PROPOSED DEPARTURES:

SETBACKS - Townhouse FY from 7'-0" avg to 5'-9" avg

Townhouse SY(W) from 7'-0" avg to 6'-0" avg

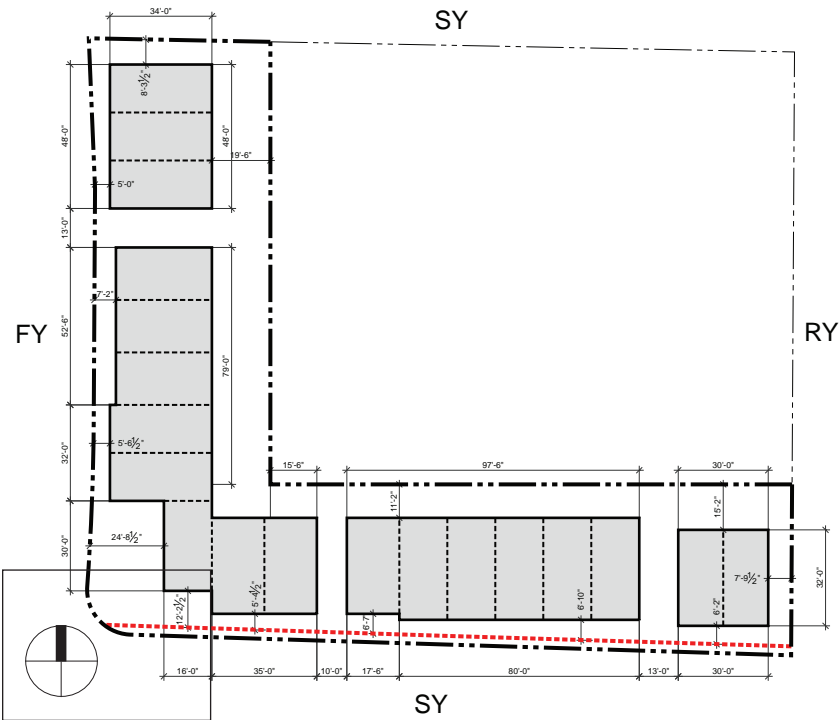
FACADE LENGTH - Rowhouse SY from 65% lot depth to 88.6% lot depth

Townhouse SY(W) from 65% lot depth to 70.5% lot depth

Townhouse SY(E) from 65% lot depth to 68.2% lot depth







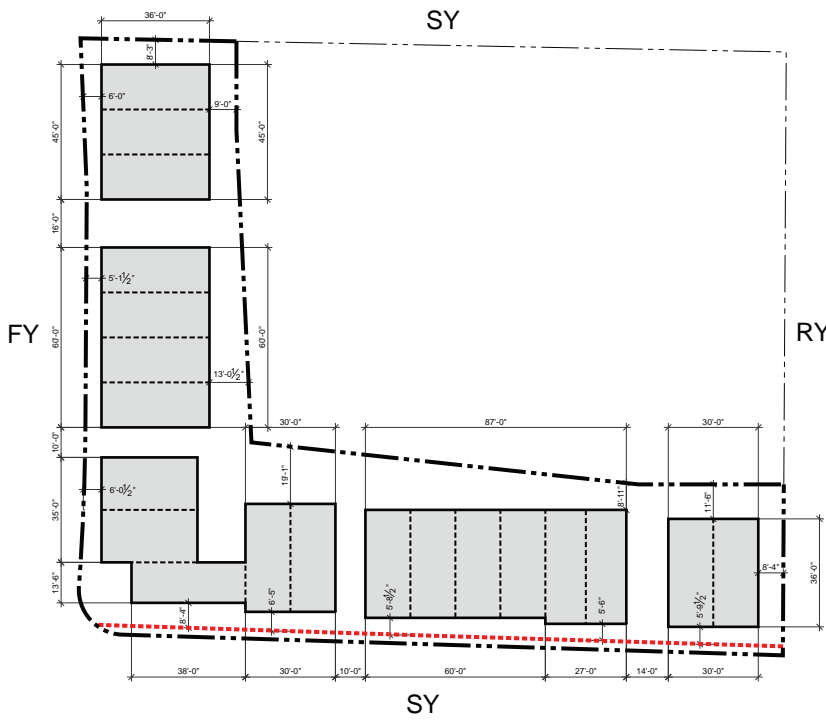
OPTION 1

SMC 23.45.510 FAR LIMITS:  
B. Rowhouse developments in LR2 zone: 1.3  
  
LOT: 21188 sf  
Allowed FAR: 27544 sf - (17 garages x 200 sf)  
= 24144 sf

Proposed: 19 units @ 1275 sf/unit avg

SMC 23.45.518 SETBACKS AND SEPARATIONS:  
A. Rowhouse: FY - 5 ft min  
RY - 7 ft avg, 5 ft min  
SY - 3.5 ft min / 5 ft when abutting SF zone  
0 ft when abutting rowhome

FY - WEST - 5.0 ft min, ~7'-6" avg  
RY - EAST - 7'-9.5" min, ~16'-6" avg  
SY - SOUTH - 5'-4.5" min, ~6'-9" avg  
SY - NORTH - 8'-3.5" min, ~10'-0" avg

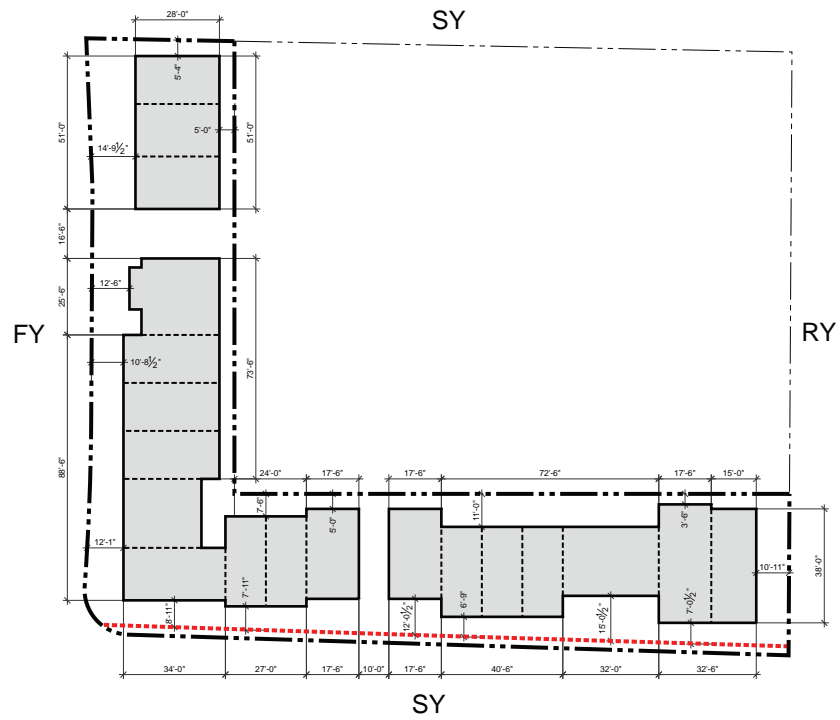


OPTION 2

LOT: 21158 sf  
Allowed FAR: 27505 sf - (16 garages x 200 sf)  
= 24305 sf

Proposed: 20 units @ 1200 sf/unit avg

FY - WEST - 5'-1.5" min, ~5'-9" avg  
RY - EAST - 8'-4" min, ~9'-6" avg  
SY - SOUTH - 5'-6" min, ~6'-3" avg  
SY - NORTH - 7'-10" min, ~10'-6" avg



OPTION 3 - PREFERRED

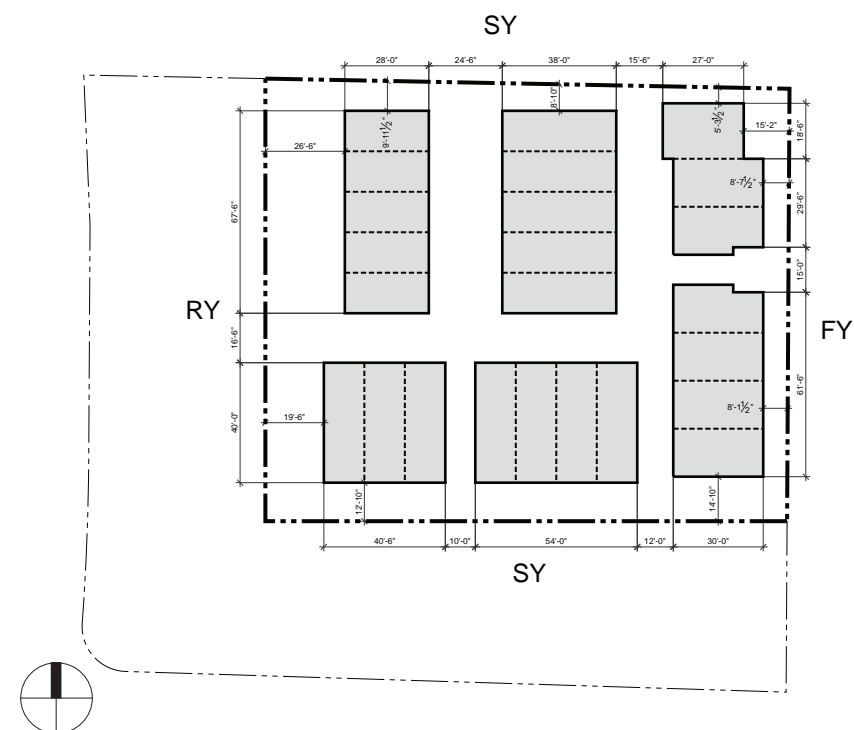
LOT: 18962 sf  
Allowed FAR: 24650 - (0 garages x 200 sf)  
= 24650 sf

Proposed: 19 units @ 1300 sf/unit avg

FY - WEST - 10'-8.5" min, ~12'-9" avg  
RY - EAST - 5'-0" min, ~6'-6" avg  
SY - SOUTH - 6'-9" min, ~8'-3" avg  
SY - NORTH - 3'-6" min, ~6'-3" avg





**OPTION 1**

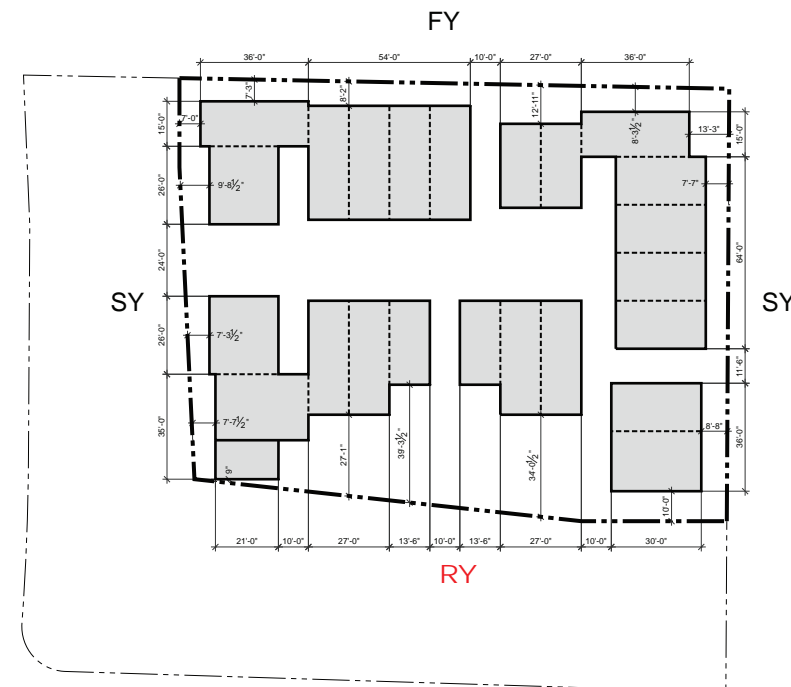
SMC 23.45.510 FAR LIMITS:  
B. Townhouse developments in LR2 zone: 1.2

LOT: 25437 sf  
Allowed FAR: 30524 - (7 garages x 200 sf)  
= 29124 sf

**Proposed: 24 units @ 1200 sf/unit avg**

SMC 23.45.518 SETBACKS AND SEPARATIONS:  
A. Townhouse: FY - 7 ft avg, 5 ft min  
RY - 7 ft avg, 5 ft min  
SY - 5 ft min  
7 ft avg, 5 ft min for facades over 40 ft

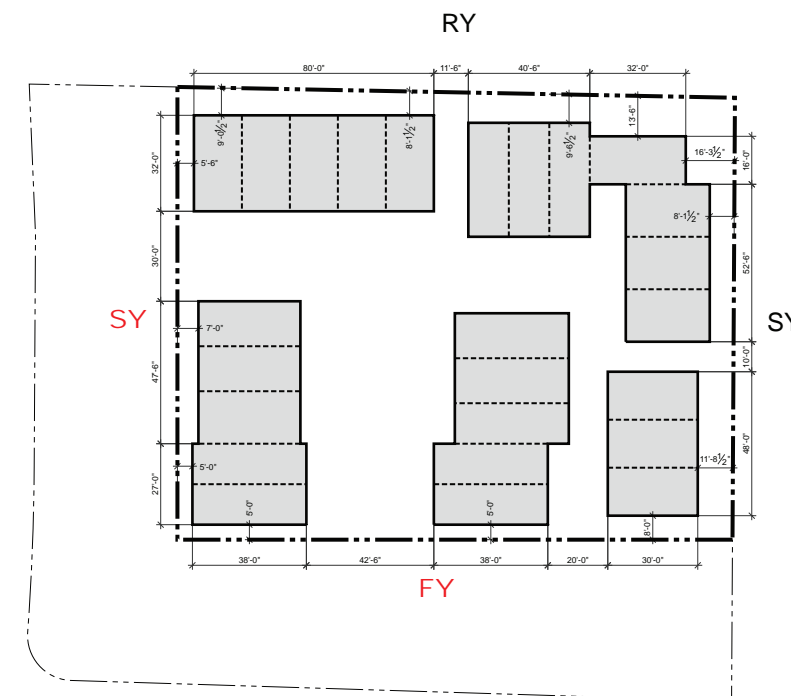
FY - EAST - 8'-1.5" min, ~9'-0" avg  
RY - WEST - 19'-6" min, ~23'-3" avg  
SY - SOUTH - 12'-10" min, ~13'-6" avg(facades > 40 ft)  
SY - NORTH - 5'-3.5" min, ~8'-6" avg(facades < 40 ft)

**OPTION 2**

LOT: 25467 sf  
Allowed FAR: 30560 - (5 garages x 200 sf)  
= 29560 sf

**Proposed: 23 units @ 1275 sf/unit avg**

FY - NORTH - 7'-3" min, ~8'-9" avg  
**RY - SOUTH - 0'-9" min, ~15'-6" avg**  
SY - WEST - 7'-0" min, ~7'-9" avg(facades > 40 ft)  
SY - EAST - 7'-7" min, ~8'-6" avg(facades > 40 ft)

**OPTION 3 - PREFERRED**

LOT: 27663 sf  
Allowed FAR: 33195 - (0 garages x 200 sf)  
= 33195 sf

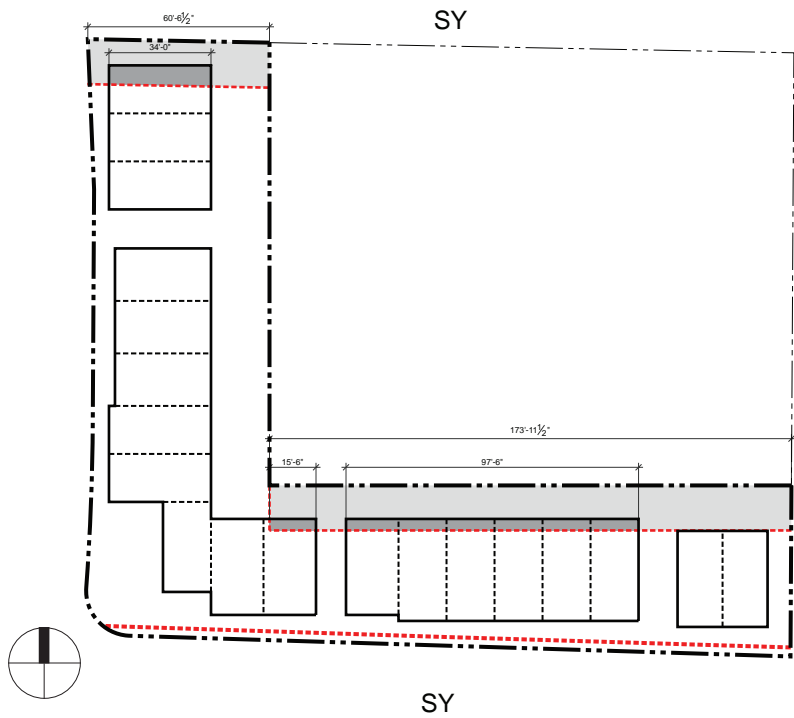
**Proposed: 25 units @ 1325 sf/unit avg**

**FY - SOUTH - 5'-0" min, ~5'-9" avg**  
RY - NORTH - 8'-1.5" min, ~9'-0" avg  
**SY - WEST - 5'-0" min, ~6'-0" avg(facades > 40 ft)**  
SY - EAST - 8'-1.5" min, ~10'-6" avg(facades > 40 ft)

See page 38 for departure summary



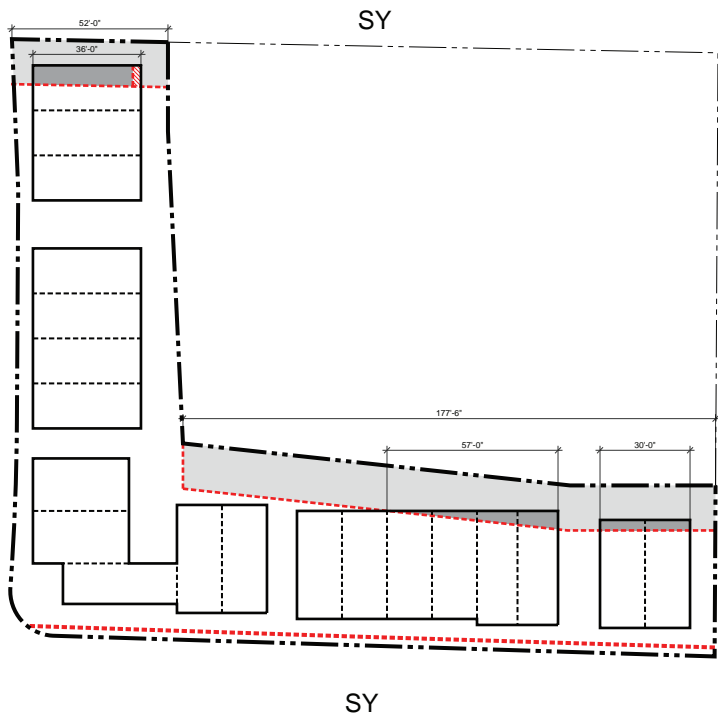




OPTION 1

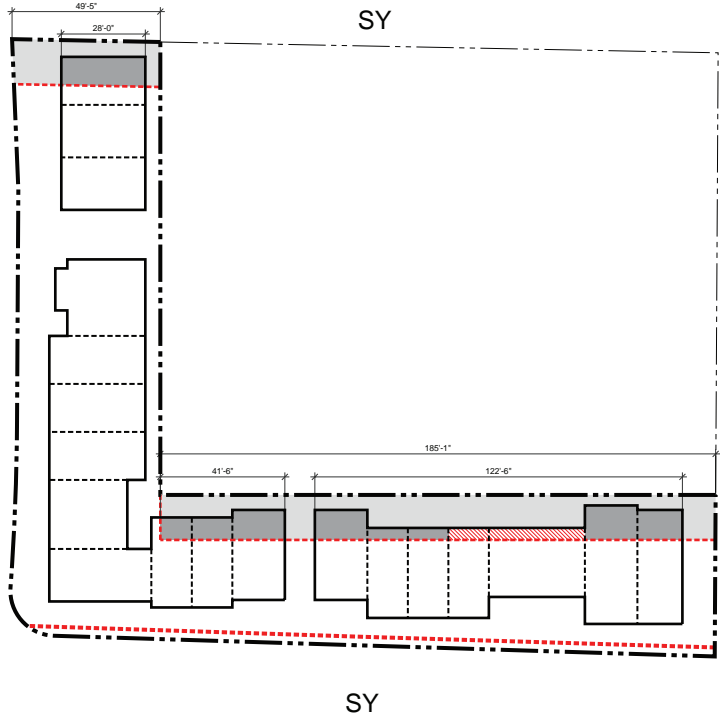
SMC 23.45.526 STRUCTURE WIDTH AND FACADE LENGTH:  
B1. Maximum combined facade length within 15 ft of property line (not rear or street property line) is 65% depth of lot.

SY - NORTH	
Lot Depth:	60'-6.5"
Max facade length:	39'-4"
Proposed:	34'-0
Lot Depth:	173'-11.5"
Max facade length:	113'-1"
Proposed:	(15'-6" + 97'-6") 96'-0"



OPTION 2

SY - NORTH	
Lot Depth:	52'-0"
Max facade length:	33'-10"
Proposed:	36'-0 (69.2%)
Lot Depth:	177'-6"
Max facade length:	115'-4"
Proposed:	(57'-0" + 30'-0") 87'-0"

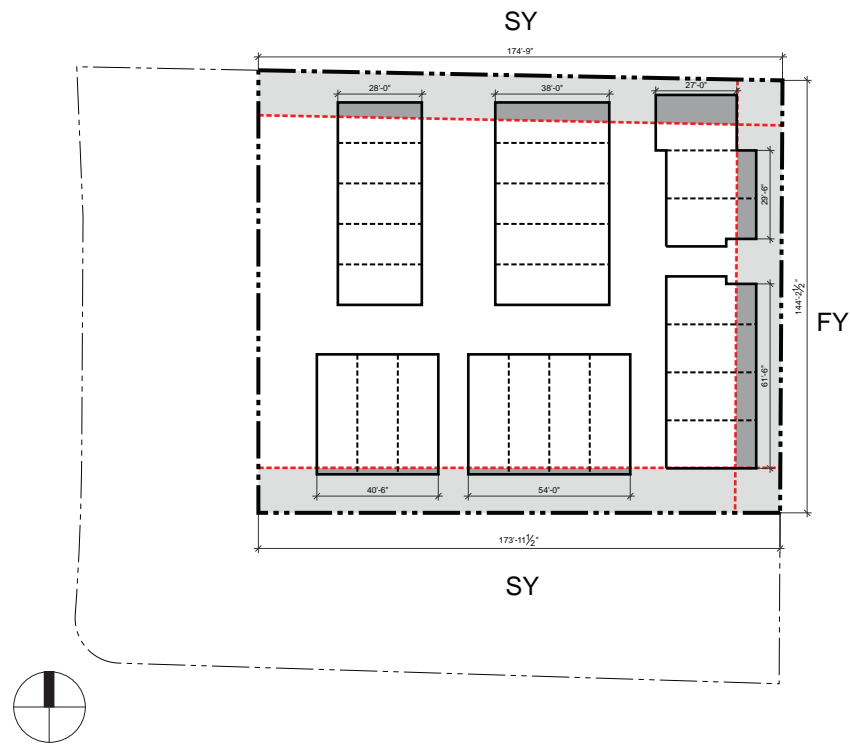


OPTION 3 - PREFERRED

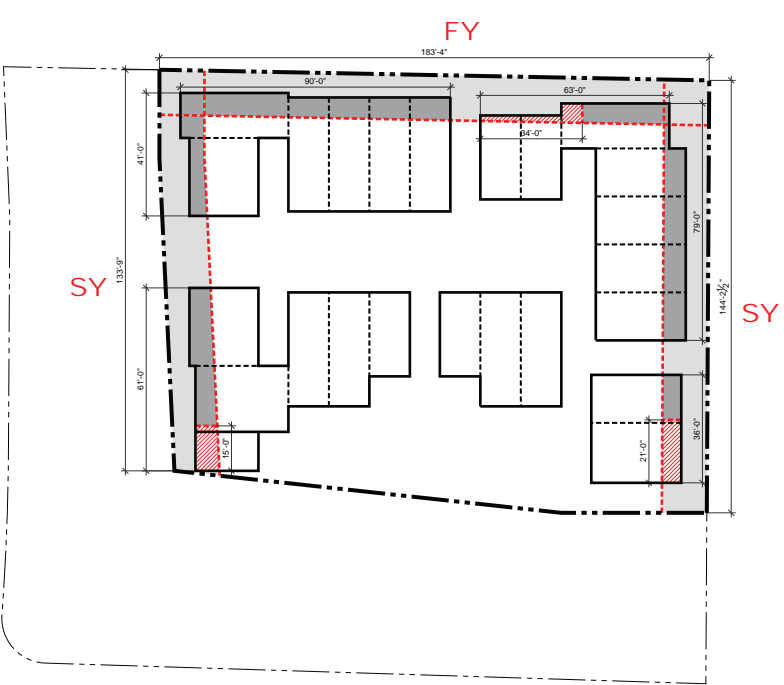
SY - NORTH	
Lot Depth:	49'-5"
Max facade length:	32'-2"
Proposed:	28'-0
Lot Depth:	185'-1"
Max facade length:	120'-4"
Proposed:	(41'-6" + 122'-6") 164'-0" (88.6%)

See page 38 for departure summary

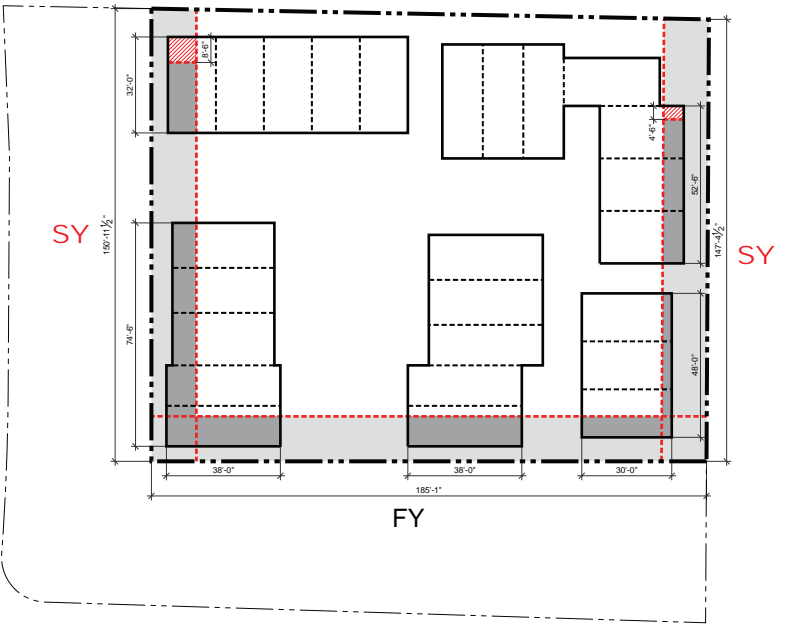




OPTION 1



OPTION 2



OPTION 3 - PREFERRED

SMC 23.45.526 STRUCTURE WIDTH AND FACADE LENGTH:  
B1. Maximum combined facade length within 15 ft of property line (not rear or street property line) is 65% depth of lot.

FY - EAST	
Lot Depth:	144'-2.5"
Max facade length:	93'-9"
Proposed:	(61'-6" + 29'-6") 91'-0"
SY - NORTH	
Lot Depth:	174'-9"
Max facade length:	113'-7"
Proposed:	(28'-0" + 38'-0" + 30'-0") 96'-0"
SY - SOUTH	
Lot Depth:	173'-11.5"
Max facade length:	113'-1"
Proposed:	(40'-6" + 54'-0") 94'-6"

FY - NORTH	
Lot Depth:	183'-4"
Max facade length:	119'-1"
Proposed:	(90'-0" + 63'-0") <b>153'-0" (83.5%)</b>
SY - WEST	
Lot Depth:	133'-9"
Max facade length:	86'-11"
Proposed:	(61'-0" + 41'-0") <b>102'-0" (76.3%)</b>
SY - EAST	
Lot Depth:	144'-2.5"
Max facade length:	93'-10"
Proposed:	(36'-0" + 79'-0") <b>115'-0" (79.7%)</b>

FY - SOUTH	
Lot Depth:	185'-1"
Max facade length:	120'-4"
Proposed:	(38'-0" + 38'-0" + 30'-0") 106'-0"
SY - WEST	
Lot Depth:	150'-11.5"
Max facade length:	98'-2"
Proposed:	(74'-6" + 32'-0") <b>106'-6" (70.5%)</b>
SY - EAST	
Lot Depth:	147'-4.5"
Max facade length:	95'-10"
Proposed:	(48'-0" + 52'-6") <b>100'-6" (68.2%)</b>

See page 38 for departure summary





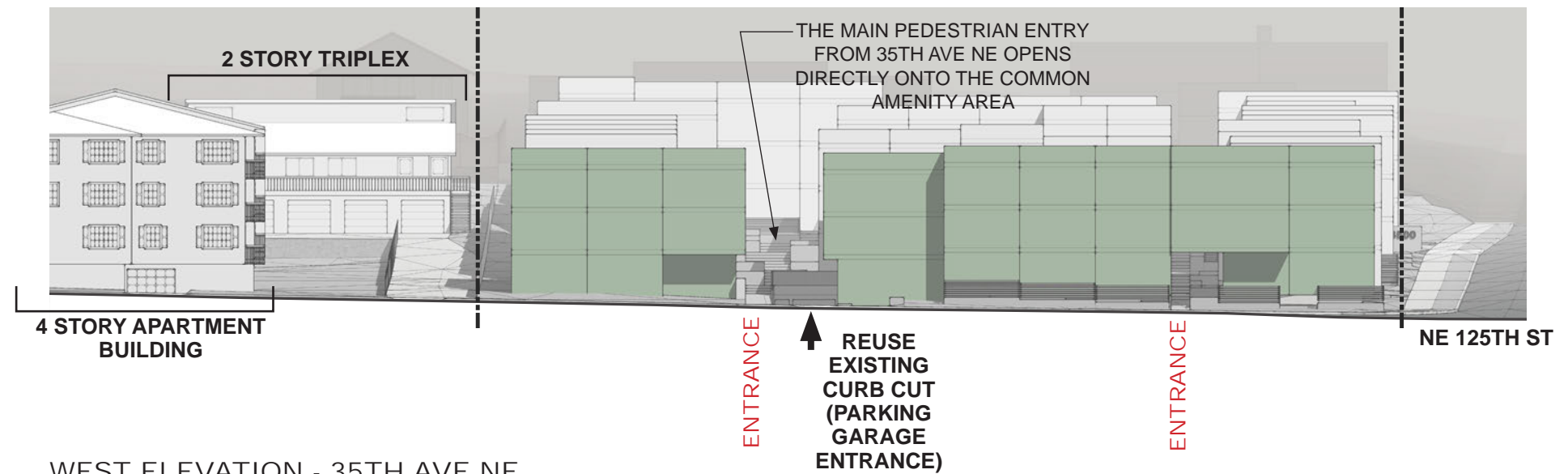
**CS2. URBAN PATTERN AND FORM:**

*Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area. II. Projects on corner sites should “erode” the structure at the corner in order to promote visibility and to encourage comfortable gathering places for people and space for pedestrians waiting to cross arterials like NE 125th St.*

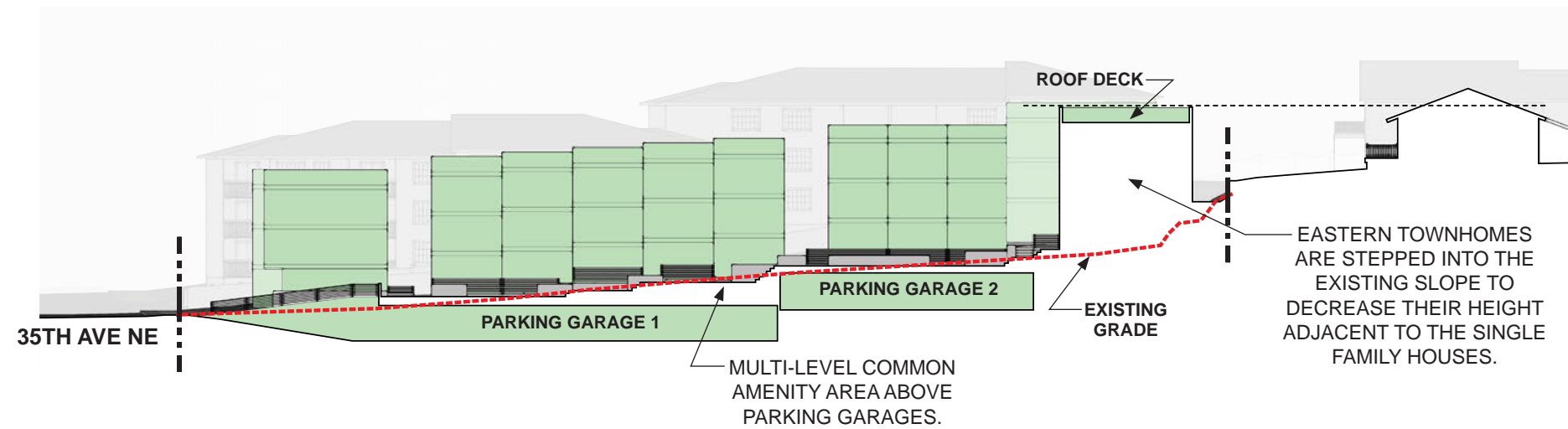
**All options propose rowhouses along the street edge, broken into several structures to relate in scale to the larger multifamily structures along 35th Ave NE. The units have private entry decks and large window sets at the first floor, inviting more activity adjacent to the street in response to the neighborhood commercial and pedestrian zoning across the street.**

*III. Careful siting, building design and massing at upper levels should be used to achieve a positive transition at sensitive edges (zone transition, topographic changes, disparity between lot sizes).*

**Townhouse units along the East edge of the site are stepped into the existing topography so that only two floors extend above the level of the existing yards to the east, relating to the height of existing houses, see pages 18, 22, 26 for option site sections.**



WEST ELEVATION - 35TH AVE NE



E-W SITE SECTION



DECKS PROVIDE A TRANSITION FROM PUBLIC AREAS TO PRIVATE UNITS. AND ALLOW PRIVATE AREAS TO SPILL OUT ONTO THE LARGER COURTYARDS, INCREASING GROUND-LEVEL INTERACTION BETWEEN RESIDENTS.

FIRE PIT AND SURROUNDING GATHERING AREA, DEFINED BY PLANTINGS AND MATERIAL CHANGES TO CREATE A MORE INTIMATE SETTING. BUILT IN BENCHES PROVIDE SEATING AS WELL AS VARIOUS OTHER FURNITURE INCLUDING SMALL DINING TABLES THAT CAN BE AGGREGATED TO ALLOW FOR LARGER GATHERINGS.



MASSING OF STREET FACADES PROVIDES SPACE FOR PRIVATE DECKS AND PLANTING AREA THAT ENCOURAGE ACTIVE STREETSCAPES.

4 MAIN PEDESTRIAN ENTRANCES TO THE COMMUNITY CONNECT DIRECTLY TO THE COMMON AREAS AND ARE CLEARLY MARKED BY LARGE ADDRESS SIGNS



A SMALL PARK (50' X 50') IN THE CENTER OF THE SITE INCORPORATES A SERIES OF INFILTRATING BIO-CELLS THAT FILTER STORMWATER RUNOFF AND PROVIDE DENSE PLANTINGS THROUGHOUT THE SPACE.

GROUND LEVEL TRANSPARENCY OF UNITS ADJACENT TO COMMON AREAS ALLOWS MORE SURVEILLANCE AND SECURITY OF GATHERING SPACES, ENCOURAGING MORE ACTIVITY AND INTERACTION.



## PL1. CONNECTIVITY:

*Complement and contribute to the network of open spaces around the site and the connections among them.*

**Option 3 proposes 20,000 sf of common amenity area around the site, broken up into several scales of gathering areas (plaza, fire pit with seating, and a small park) connected by various walkways crossing the site. Spaces are shaped by a combination of grading, hardscape and plantings. Most units have private decks that open onto the common spaces, allowing a transition from public space to private units.**

*II. For large developments, consider pulling back from the street edge for open spaces, such as plazas or gracious forecourts, provided continuity of the building definition of the street is not excessively interrupted along the majority of the street.*

**A 3 ft easement along NE 125th St allows the ROW to expand and insert a planting strip buffer between sidewalk and street. All options propose larger than required setbacks from the street edges. Major entrances to the community are setback from the sidewalk and identified with large address signs. Modulation of facades along the street provide space for private decks and planting areas that encourage lively, active streetscapes.**

## PL2. WALKABILITY:

*Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.*

**All options propose 4 main pedestrian entrances from the street, identified through articulation of adjacent units, material changes and large address signs. Entrances are shifted closer to the Southwest corner of the site to relate to the existing crosswalks at the intersection. All pedestrian walkways adjacent to vehicular entries are separated from the vehicle lane through changes in paving material. Options 2 and 3 propose large pedestrian entrances along 35th Ave NE, facing the Neighborhood Commercial zoning and downtown area beyond.**





## DC2. ARCHITECTURAL CONCEPT:

*II. Design buildings when possible to encourage multi-tenant occupancy and walk-in traffic at the street level. Generous street-level windows and entrances will animate the street.*

Options 2 and 3 incorporate large common amenity areas visible from the main entrance on 35th Ave NE. Option 3 proposes the most street level facade transparency - more living spaces are located on the first floor than other options because individual garages are removed.



**b9 ARCHITECTS (VIEWHAUS 5)** - PRIVATE ALCOVES AND DECKS ADJACENT TO COMMON AREAS



**SOLARA APARTMENTS** (12736 Lake City Way NE) - CENTRAL COURTYARD WITHIN DEVELOPMENT. LANDSCAPING AND GRADE CHANGES BREAKUP THE SPACE INTO MULTIPLE GATHERING AREAS.



**SPRING LAKE APARTMENTS** (12530 35th Ave NE) - ENTRY COURT WITH PRIVATE DECKS OVERLOOKING THE SPACE CREATES A TRANSITION FROM PUBLIC TO PRIVATE.



**LAKE CITY COURT APARTMENTS** (12536 33rd Ave NE) - AMENITY AREA BROKEN INTO SEVERAL USES DEFINED BY PAVING AND LANDSCAPING.



**b9 ARCHITECTS (URBAN TREES)** - A COMMON AMENITY SPACE WITHIN THE DEVELOPMENT ENCOURAGES MULTI-TENANT USE OF THE SPACE.







**TOWNHOMES** - SIMILAR MATERIAL PALETTE TO PROPOSED DEVELOPMENT. MATERIAL CHANGE BREAKS UP MASS, CEDAR ACCENTS AND POPS OF COLOR DEFINE ENTRY POINTS. LARGE WINDOW SETS AT FIRST FLOOR PROVIDE TRANSPARENCY.



## DC2. ARCHITECTURAL CONCEPT:

*III. The proper articulation of a building's facade should add to the quality and variety of Lake City's Hub Urban Village architecture.*

The proposed development will have a consistent, modern appearance as a whole while including modulation, details and material changes that differentiate individual units and create a sense of individuality for future owners.

## PLAYHOUSE DESIGN GROUP PREVIOUS WORK



**RECENT APARTMENT AND MIXED USE BUILDINGS** - MATERIAL CHANGES BREAK UP THE PERCEIVED MASS OF THE STRUCTURE, LARGE WINDOW SETS PROVIDE TRANSPARENCY AT THE GROUND. BRIGHT COLORS ADD PERSONALITY AND CREATE INDIVIDUALITY.



## RECENT CONSTRUCTION IN THE AREA



#### DC4. EXTERIOR ELEMENTS AND FINISHES:

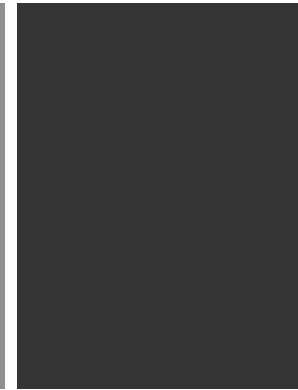
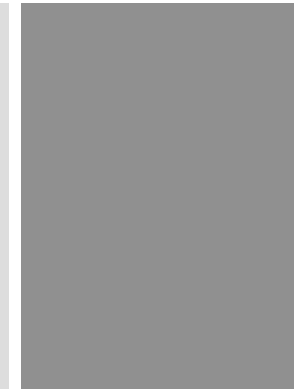
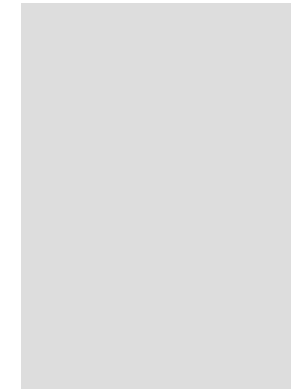
*Use appropriate and high quality elements and finishes for the building and its open spaces.*

**All exterior finishes will be durable and varied, with clean lines and window detailing to add texture and interest. Window openings will be maximized to make unit interiors feel larger and decrease the amount of blank walls. A combination of pathway lighting, sconces and wall fixtures will all work together to increase safety and usability of the site. All lights to be shielded and directed away from neighboring properties.**

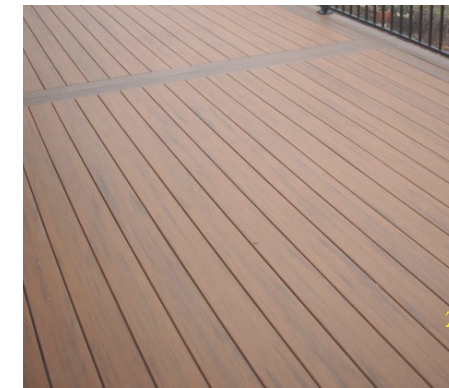
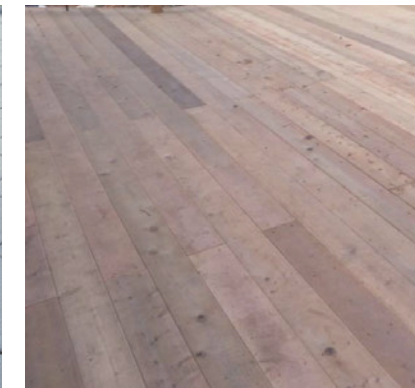
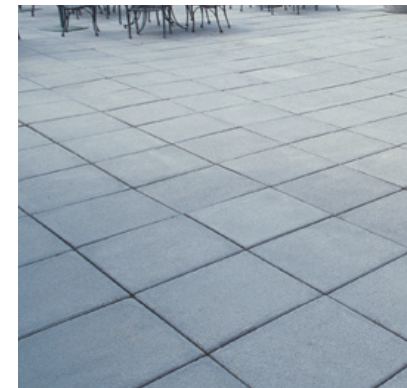
**All plantings are chosen to complement the design and add interest to the amenity areas throughout the year.**

*I. Design signs that are appropriate for the pedestrian scale and character that is envisioned for the area. Signs should be oriented and scaled for both pedestrians on sidewalks and persons in vehicles on streets within the immediate neighborhood.*

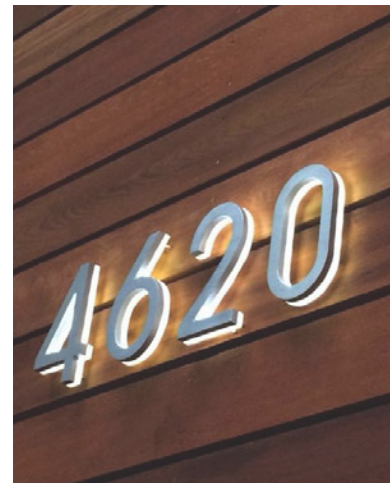
**Signage will be located adjacent to all pedestrian and vehicular entries. Address will be installed with backlit, oversized steel lettering to ensure visibility from sidewalks and streets.**



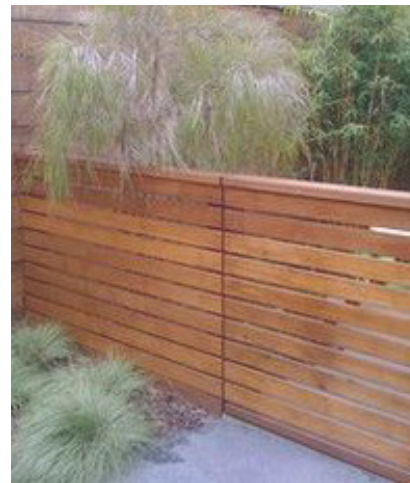
THE PRIMARY EXTERIOR SIDING WILL BE PAINTED HARDIE PANELS IN OFF-WHITE, WARM GRAY AND BLACK. BRIGHT ACCENT COLORS AND HORIZONTAL CEDAR SIDING WILL BE INCORPORATED TO DEFINE ENTRANCES AND BREAK UP THE SCALE OF THE FACADES.



ON-SITE PAVING WILL BE A COMBINATION OF CONCRETE PAVERS, POURED SLABS AND WOOD DECKING, MATERIAL CHANGES WILL HELP DEFINE SMALLER GATHERING SPACES WITHIN THE COMMON AMENITY AREA. COMPOSITE WOOD DECKING WILL BE USED ON ROOFTOP DECKS.



**ADDRESS SIGNS** - OVERSIZED BACKLIT STEEL ADDRESS SIGNS MOUNTED ON EITHER LOW CONCRETE OR CEDAR WALLS.



6 FT CEDAR PRIVACY FENCE



CUSTOM STEEL RAILINGS



CORTEN STEEL PLANTERS



CONCRETE PLANTERS



#### EARLY DESIGN GUIDANCE

3500 NE 125th St, SEATTLE 98125

DPD # 3023118 | PUBLIC MEETING #1 JULY 11, 2016





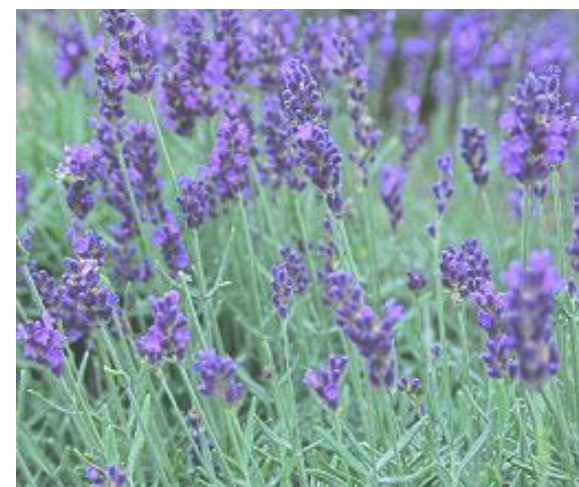
Cherry Tree



Cypress Tree



Red Twig Dogwood



Lavender



Japanese Maple



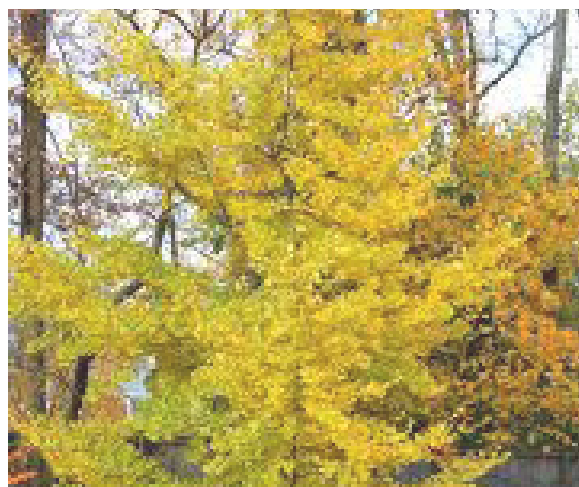
Smoke Tree



Rosemary



Feather Reed Grass



Ginkgo Tree



Viburnum



Heavenly Bamboo



Blue Oat Grass

PROPOSED VEGETATION





OPTION 1 - DEPARTURES

No departures proposed, code compliant scheme

OPTION 2 - DEPARTURES

1. SMC 23.45.518 SETBACKS
- REQUIRED

rear yard - 7 ft avg, 5 ft min
- PROPOSED

0'-9" min, ~15'-6" avg

JUSTIFICATION:  
The projection into the setback is only on the first floor and 21' wide. The projection is enclosing the trash room and located in a central position for the development. An unenclosed trash area is allowed in the rear setback in the same location, this setback departure allows the trash to be fully enclosed and therefore shielded from view of all units.

SUPPORTED DESIGN GUIDANCE:  
DC1 - *optimize the arrangement of uses and activities on site.*

2. SMC 23.45.526 FACADE LENGTH
- Maximum combined facade length within 15 ft of property line is 65% depth of lot.

ROWHOUSE		
NORTH SY -	MAXIMUM	33'-10"
	PROPOSED	36'-0" (69.2%)
TOWNHOUSE		
NORTH FY -	MAXIMUM	119'-1"
	PROPOSED	153'-0" (83.5%)
WEST SY -	MAXIMUM	86'-11"
	PROPOSED	102'-0" (76.3%)
EAST SY -	MAXIMUM	93'-10"
	PROPOSED	115'-0" (79.7%)

JUSTIFICATION:  
Townhouse west SY - the extension past the max facade length is only at the first floor and is enclosing the trash room. An unenclosed trash area would not be counted in the facade length, this departure allows the trash to be fully enclosed and therefore shielded from view of all units.

All other facade length departures allow the proposed structures to be shifted to the edges of the site to create a large central common courtyard for residents.

SUPPORTED DESIGN GUIDANCE:  
PL1 - *compliment and contribute to the network of open spaces around the site.*  
DC1 - *optimize the arrangement of uses and activities on site.*  
DC3 - *integrate open space design with the design of the building so that each compliments the other.*

OPTION 3 - DEPARTURES

1. SMC 23.45.518 SETBACKS
- REQUIRED

front yard (south) - 7 ft avg, 5 ft min
- PROPOSED

5'-0" min, ~5'-9" avg
- REQUIRED

side yard (west) - 7 ft avg, 5 ft min (facades > 40 ft)
- PROPOSED

5'-0" min, ~6'-0" avg

JUSTIFICATION:  
The setback departures allow the proposed structures to be shifted to the edges of the site to create a large central common courtyard for residents.

SUPPORTED DESIGN GUIDANCE:  
PL1 - *compliment and contribute to the network of open spaces around the site.*  
DC1 - *optimize the arrangement of uses and activities on site.*  
DC3 - *integrate open space design with the design of the building so that each compliments the other.*

2. SMC 23.45.526 FACADE LENGTH
- Maximum combined facade length within 15 ft of property line is 65% depth of lot.

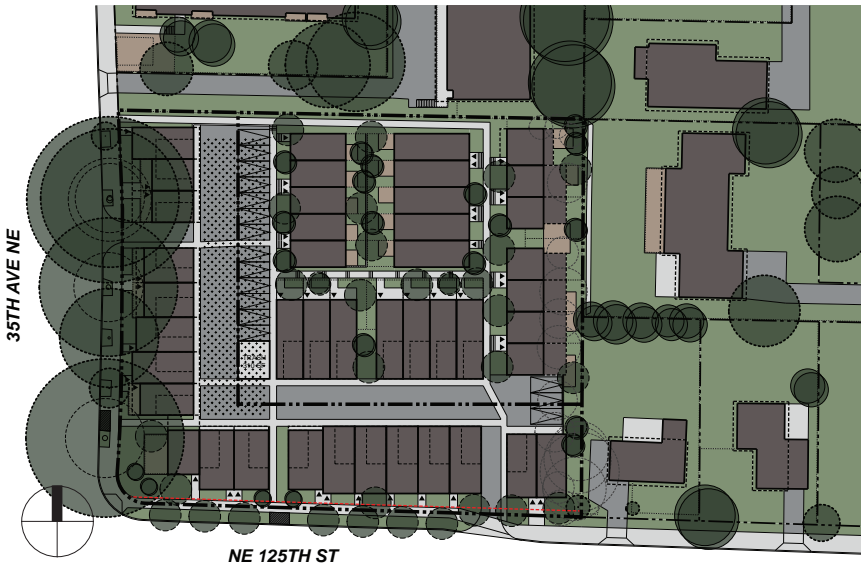
ROWHOUSE		
NORTH SY -	MAXIMUM	120'-4"
	PROPOSED	164'-0" (88.6%)
TOWNHOUSE		
WEST SY -	MAXIMUM	98'-2"
	PROPOSED	106'-6" (70.5%)
EAST SY -	MAXIMUM	95'-10"
	PROPOSED	100'-6" (68.2 %)

JUSTIFICATION:  
All facade length departures allow the proposed structures to be shifted to the edges of the site to create a large central common courtyard for residents. The section of facade on the rowhouse requiring a departure still retains a setback of 11'-0".

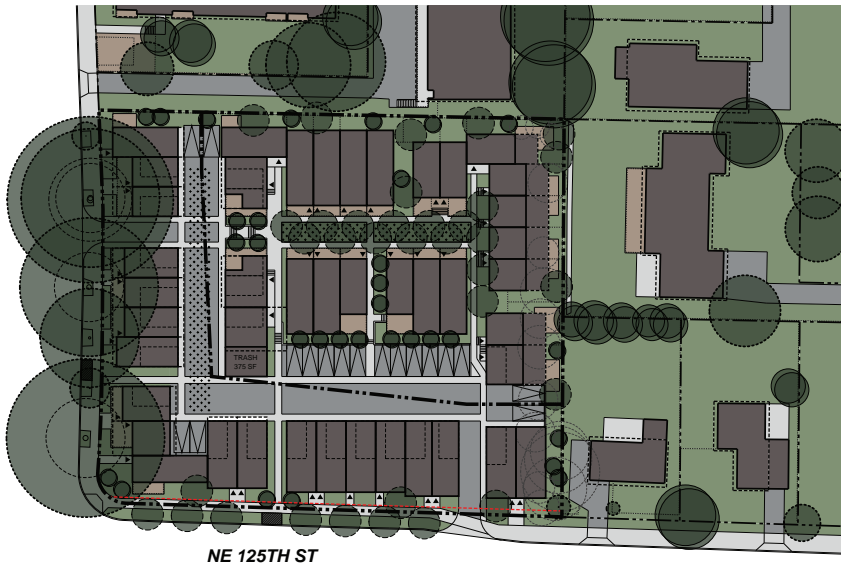
SUPPORTED DESIGN GUIDANCE:  
PL1 - *compliment and contribute to the network of open spaces around the site.*  
DC1 - *optimize the arrangement of uses and activities on site.*  
DC3 - *integrate open space design with the design of the building so that each compliments the other.*



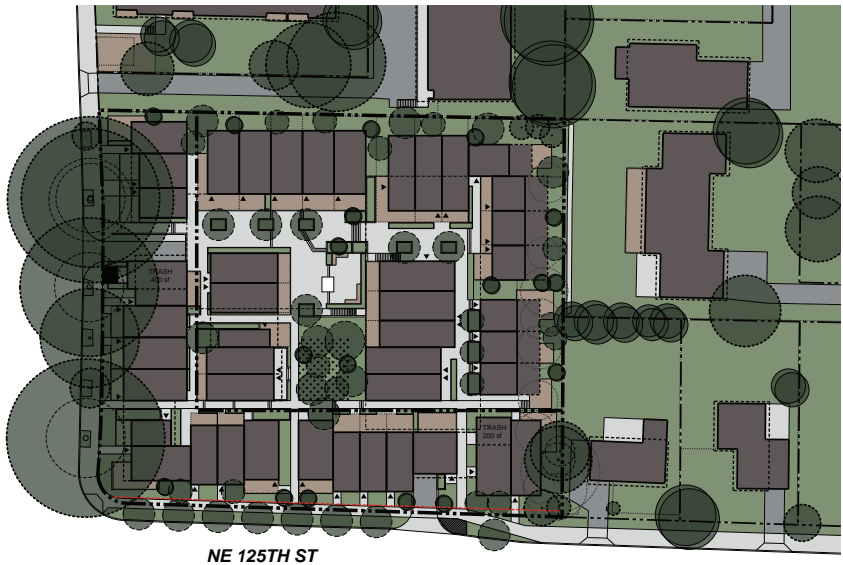




OPTION 1



OPTION 2



OPTION 3 - PREFERRED

SUMMARY

**UNITS:** 43 units + 40 parking spaces  
**TOTAL FAR:** 53,268 sf (living space)  
**AMENITY:** 11,826 sf @ ground  
14,172 sf @ ground

STORMWATER MANAGEMENT: 4500 sf permeable pavement facility

**PROS:** More private amenity area at ground level for townhouse units  
Rowhouses are setback farthest from SW corner  
Offers large permeable pavement facility

**CONS:** Only 21% of units are 3 bedroom  
Units are shifted closer together to fit parking and turnaround  
West Rowhomes close to property line  
Rowhomes have minimal amenity area at ground  
Private garages take up 6,400 sf interior space  
10,772 sf exposed pavement for vehicle access  
3 units without parking

**PROPOSED DEPARTURES:**  
No departures proposed, code compliant scheme

**UNITS:** 43 units + 39 parking spaces  
**TOTAL FAR:** 53,865 sf (living space)  
**AMENITY:** 11,208 sf @ ground  
14,516 sf @ roof deck

STORMWATER MANAGEMENT: 1482 sf permeable pavement facility  
921 sf (series of) infiltrating bio-cell

**PROS:** Large common courtyard with private decks overlooking  
Offer 2 infiltrating facilities for stormwater management

**CONS:** Only 33% of units are 3 bedroom  
Units are shifted closer together to fit parking and turnaround  
West Rowhomes close to property line  
Rowhomes have minimal amenity area at ground  
Private garages take up 2,000 sf interior space  
9,960 sf exposed pavement for vehicle access  
4 units without parking

**PROPOSED DEPARTURES:**  
SETBACKS - Townhouse RY from 5'-0" min to 0'-9" min  
FACADE LENGTH - Rowhouse SY from 65% lot depth to 69.2% lot depth  
Townhouse FY from 65% lot depth to 83.5% lot depth  
Townhouse SY(W) from 65% lot depth to 76.3% lot depth  
Townhouse SY(E) from 65% lot depth to 79.7% lot depth

**UNITS:** 44 units + 44 parking spaces  
**TOTAL FAR:** 57,845 sf (living space)  
**AMENITY:** 20,026 sf @ ground  
14,812 sf @ roof deck

STORMWATER MANAGEMENT: 841 sf (series of) infiltrating bio-cell

**PROS:** Underground garages minimize required exposed paving  
Amenity space at ground almost doubles  
Allows large common gathering spaces throughout development  
57% of units are 3 bedrooms - more family oriented  
All units have parking in common garage  
More planting space at ground, creating privacy between units

**CONS:** Underground garages require much more grading of site  
Requires more units to be sprinkled

**PROPOSED DEPARTURES:**  
SETBACKS - Townhouse FY from 7'-0" avg to 5'-9" avg  
Townhouse SY(W) from 7'-0" avg to 6'-0" avg  
FACADE LENGTH - Rowhouse SY from 65% lot depth to 88.6% lot depth  
Townhouse SY(W) from 65% lot depth to 70.5% lot depth  
Townhouse SY(E) from 65% lot depth to 68.2% lot depth

