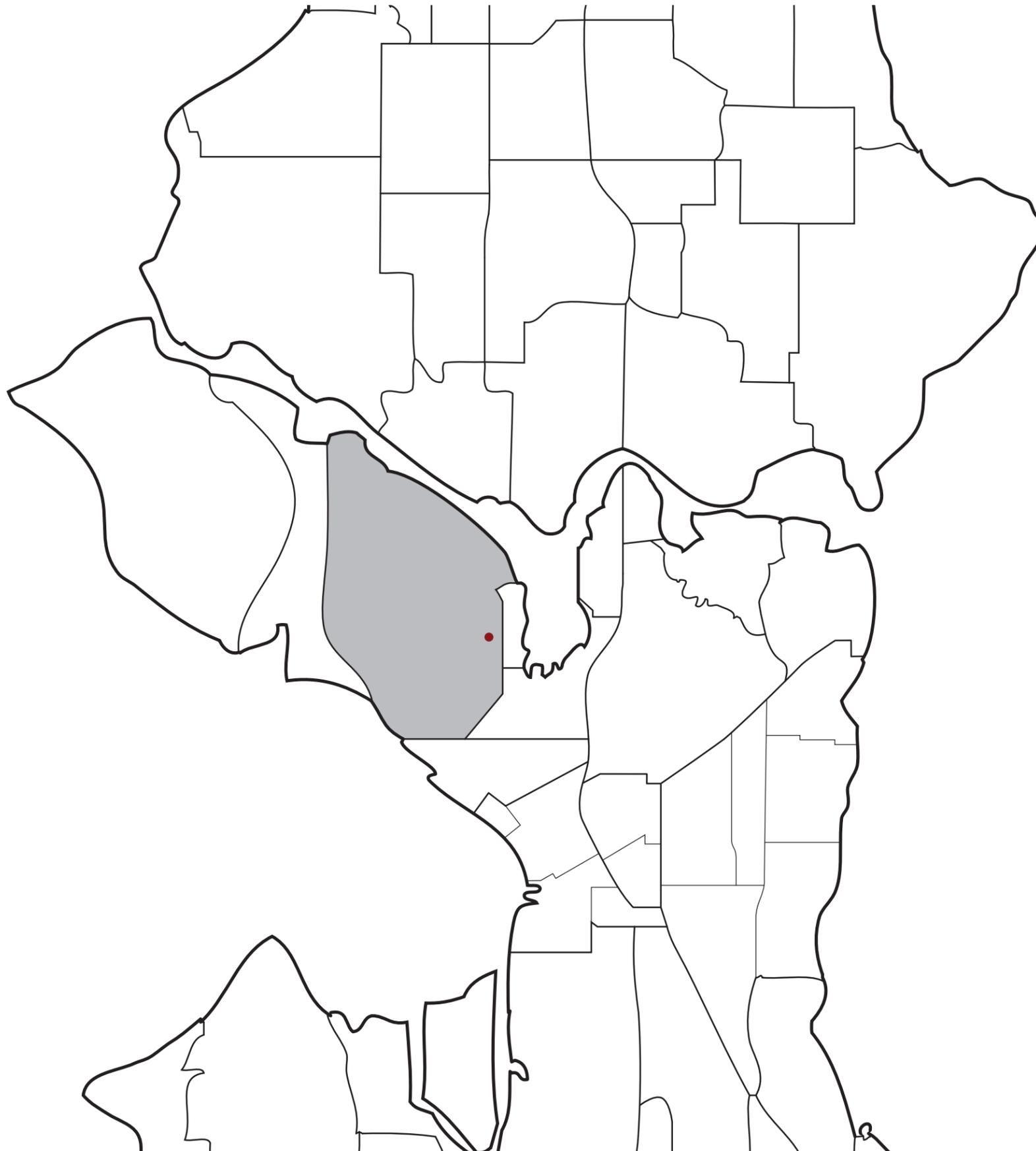


**#3022623**

800 5th Ave N **EARLY DESIGN GUIDANCE**

BLUEPRINT 800, LLC | **S+HWorks**





## ADDRESS

800 5TH AVE N  
SDCI# 3022623

## PROJECT TEAM

OWNER	Blueprint 800, LLC
ARCHITECT	S+H Works, LLC
LANDSCAPE	Root of Design
SURVEYOR	GeoDimensions, Inc.

## PROJECT INFO

ZONING	NC2-40
OVERLAYS	Frequent Transit, Uptown Urban Center
LOT SIZE	9,569 sf
FAR	3.25
ALLOWABLE FAR	31,200 sf
PROPOSED FAR	29,768 sf
PROPOSED UNITS	66+
LIVE/WORK UNITS	4+
COMMERCIAL SQ.FT.	1,735 sf
PARKING STALLS	N/A
BICYCLE PARKING	53+

## PROJECT DESCRIPTION

This project involves the demolition of vacant convenience store, and construction of a four story mixed use building.

## INDEX

<b>PROJECT INFO / PROPOSAL</b>	<b>II</b>
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## VICINITY ANALYSIS

The project is located on the south eastern slope of Queen Anne Hill within the Uptown Urban Center. The Uptown neighborhood is one of the city's oldest neighborhoods, established in the late 1800's. It is home to 7,300 residents and 14,801 jobs. 78% of the housing units are renter occupied\*. There are restaurants, grocery store and shops nearby the site. In addition, the site lies within a close proximity to Seattle Center, Lake Union, and South Lake Union. Transit to downtown Seattle and beyond are available just across the street. Several large scale projects are already in progress within the project's immediate vicinity and the area expects for more development in the future.

\* Information from the Uptown Urban Design Framework Background Report - January 2014.

- SITE
- QUEEN ANNE NEIGHBORHOOD
- UPTOWN URBAN CENTER
- NEIGHBORHOOD BOUNDARY

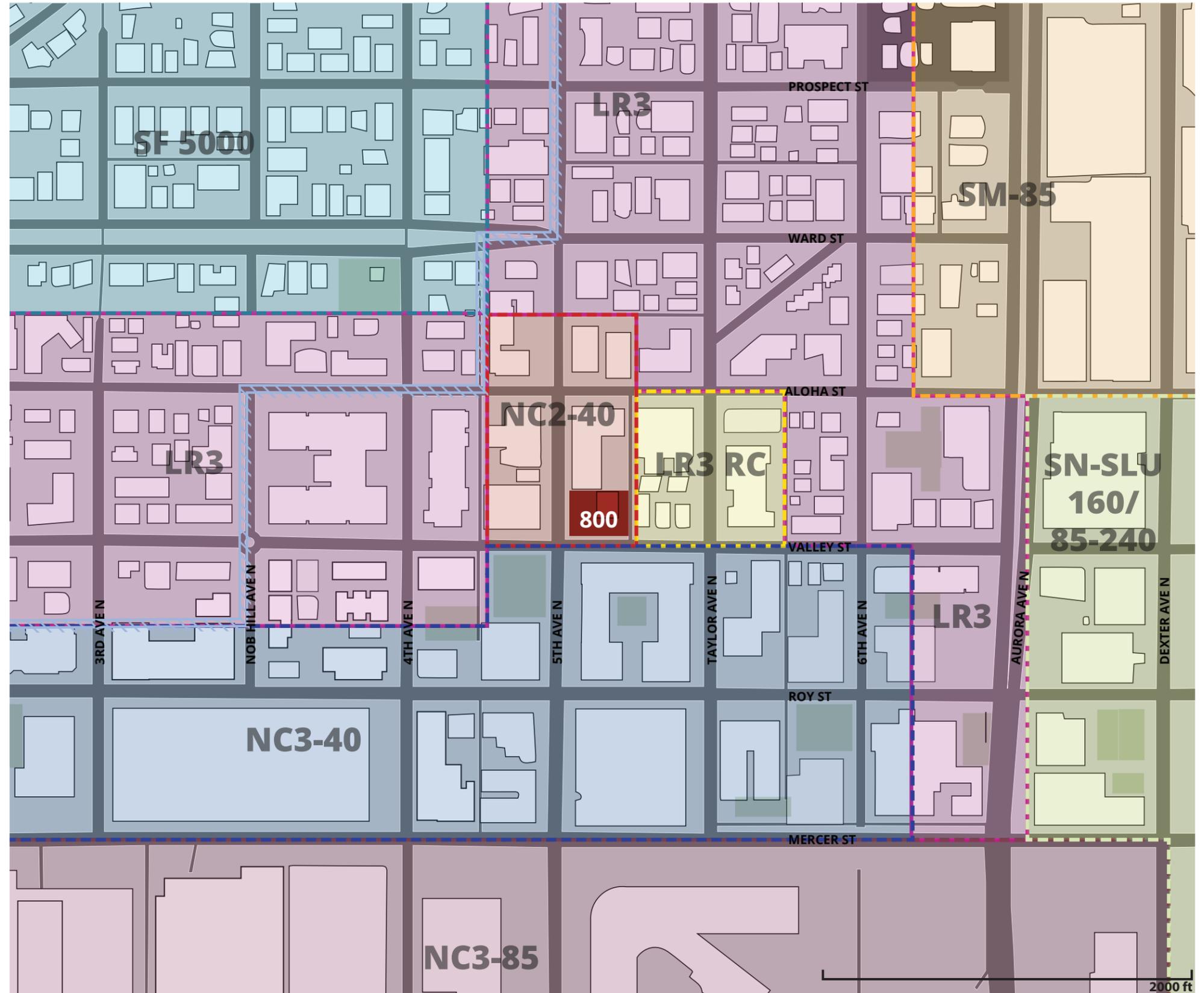
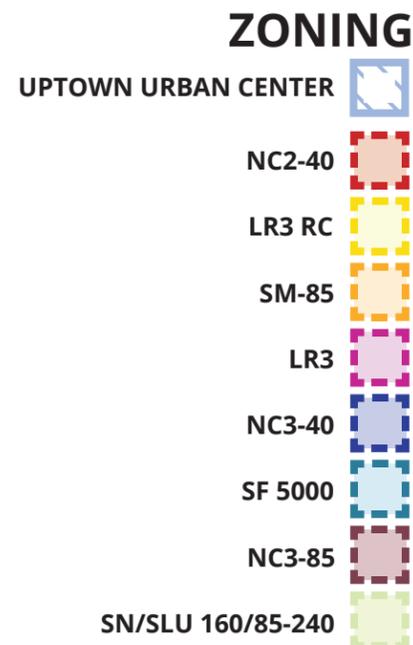
# ZONING

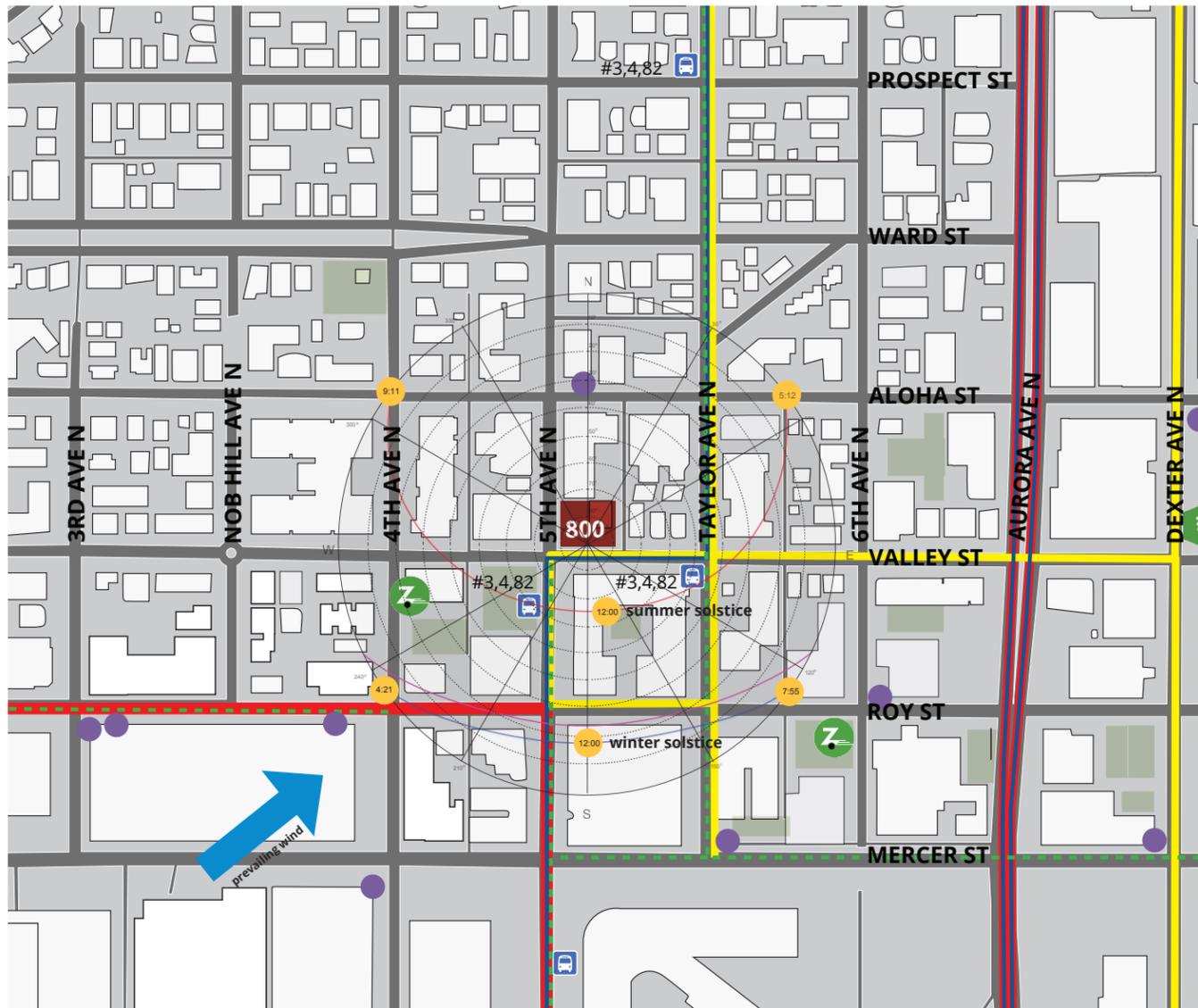
This site is zoned NC2-40 and lies within the Uptown Urban Center. The site abuts a LR3-RC zone across the alley to the east and NC3-40 across Valley St.

NC2 Zoning: "A moderately sized pedestrian oriented shopping area that provides a full range of retail sales and services to the surrounding neighborhood." (SDCI Handout)

Future zoning aspects under consideration by the Uptown Urban Design Framework include the following:

- Changing the street classification of 5th Ave N to a Class I Street.
- Upgrading both 5th Ave N and Valley St to Class II Pedestrian Streets.
- Increasing height limits to 65' - 160' (pending Environmental Impact Statement process).





## CIRCULATION

The site is well connected, within blocks of bus connections, major arterials, and Zipcar stalls. Valley St is a mapped arterial with street-level parameter per SMC 23.47A.00S.C.1g (map 4)



- MAJOR ARTERIAL ■
- MINOR ARTERIAL ■
- BICYCLE FRIENDLY ROUTE ■
- TRANSIT ROUTE ■
- DESIGNATED BUS STOP
- ZIPCAR LOCATIONS
- PRONTO BIKE LOCATIONS
- CITY OWNED BIKE RACKS ●

## TPOLOGY / ADJACENCIES

The immediate vicinity is dominated by commercial, mixed-use and multifamily buildings. A variety of institutional uses are within a few blocks, including the Seattle Center.

- PERMITTING / PERMITTED / UNDER CONSTRUCTION ■
- COMMERCIAL ■
- MIXED-USE ■
- MULTI-FAMILY ■
- INSTITUTIONAL ■
- SINGLE FAMILY ■



## 1 5TH AVE N LOOKING EAST



ALOHA ST

800

VALLEY ST

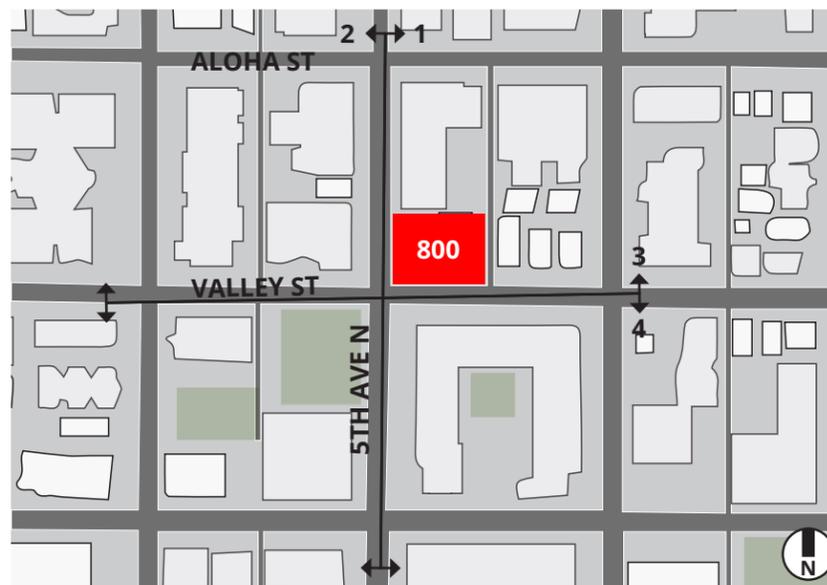
## 2 5TH AVE N LOOKING WEST



VALLEY ST

800  
(across from)

ALOHA ST



### 5TH AVE N

The uses along 5th Ave N include mixed-use, commercial, hotel and parking. Low-rise multifamily continues to the north, and commercial/institutional to the south. The topography gradually falls to the south towards downtown. Street parking is allowed on both sides of the street.

### VALLEY ST

The uses along Valley St include multifamily, mixed-use, commercial, hotel and parking. Low-rise multifamily and single family continues to both the east and the west. The topography along Valley St falls more dramatically down to the east. At the project site, parking is only allowed on the north side of Valley St.



### 3 VALLEY ST LOOKING NORTH



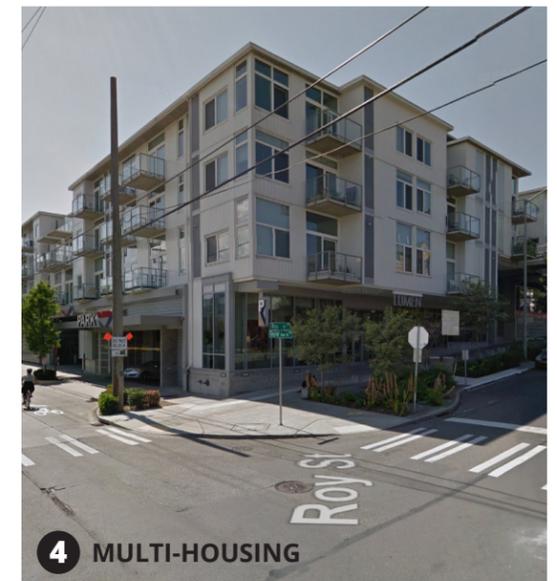
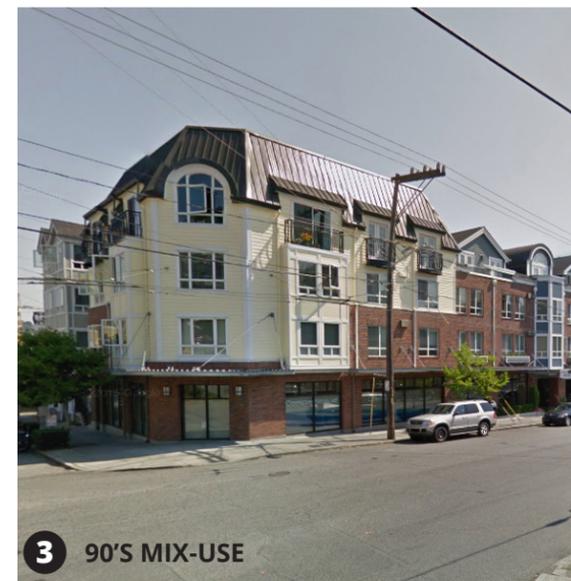
### 4 VALLEY ST LOOKING SOUTH



## CHARACTER

The character of the immediate vicinity is varied, reflecting major development phases that have occurred over time. The resulting blend does not set a strong character precedent for new development:

- Small-scale historic buildings, featuring architectural detail and strong street presence.
- World's Fair-era multifamily buildings with a strong emphasis on simple forms.
- Mixed-use & multifamily structures from the 1990's, with heavy emphasis on articulation and a variety of materials.
- Recent developments, with simpler articulation and material palettes.



# AERIAL SITE CONTEXT



**RECENT/ PROPOSED DEVELOPMENTS**



- A** 906 3RD AVE N, SDCI PROJECT #3020906 (Monsef Design Service Rendering)
- B** 722 3RD AVE N, SDCI PROJECT #3014211 (David Vandervort Architects Rendering)
- C** 400 ROY ST, SDCI PROJECT #3015133 (Grace Architecture Rendering)
- D** 701 VALLEY ST, SDCI PROJECT #3017871 (Weinstein A+U Rendering)
- E** 701 5TH AVE N, SDCI PROJECT #3015918 (Hewitt Rendering)



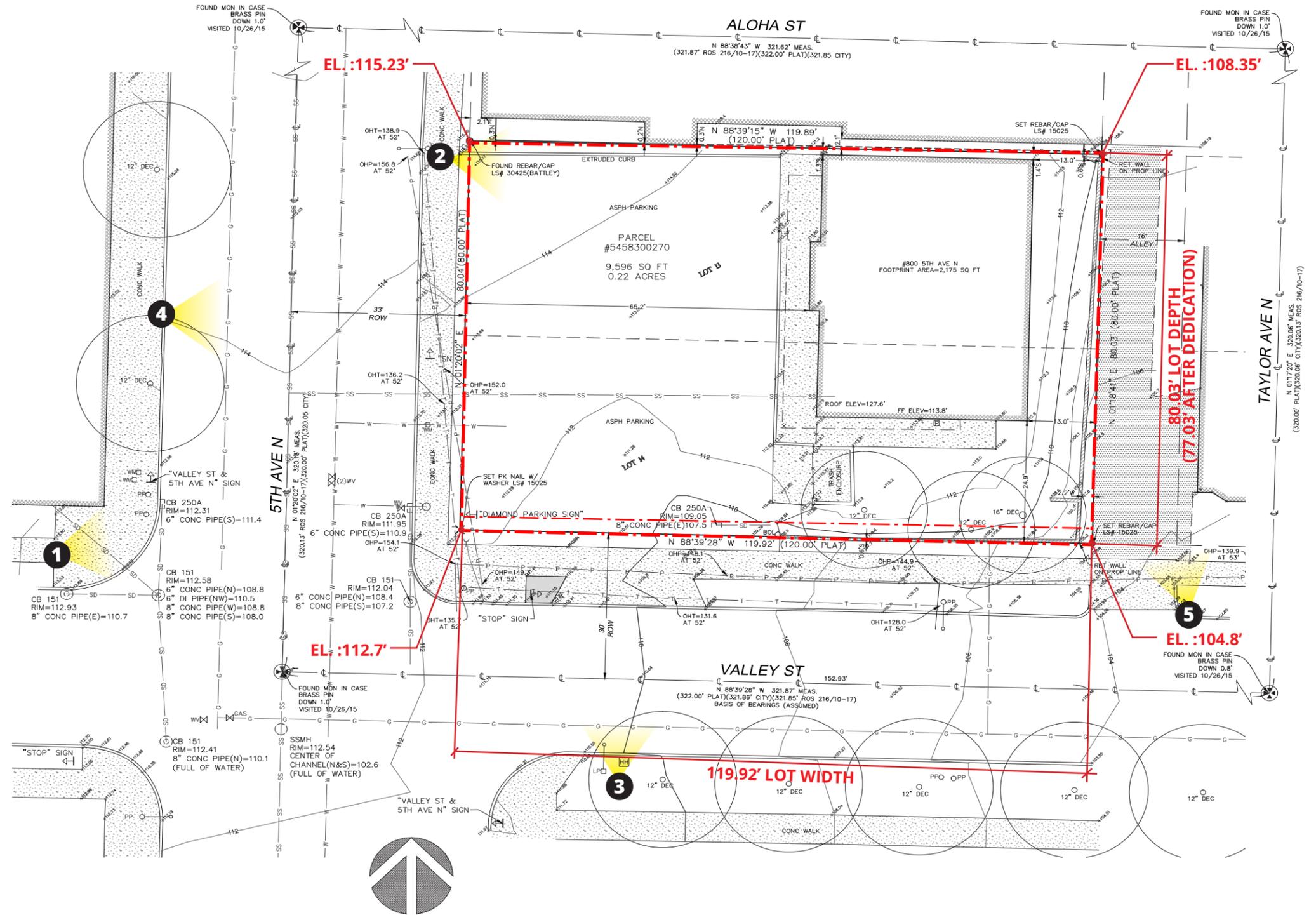
# EXISTING CONDITIONS

The site is currently occupied by a convenience store and parking lot. A retaining wall along the east/southeast property line will be removed to bring the building down to sidewalk grade.

A 3 foot R.O.W. dedication is required along Valley Street. The existing curb cuts along 5th Ave N and Valley St will be filled as part of the project improvements. A planting strip and street trees will be provided, pending the City Arborist and sidewalk requirements.

The north neighbor is a 4 story mixed use building. A portion of the structure provides a zero-lot line condition, while other portions are set back 5' for windows. To the east is an elevated plaza for the structure.

Power lines run along the south and west portions of the site. The required clearances for these lines greatly impact the design of the project.



# LEGAL DESCRIPTION

Lots 13 and 14, block 46 of replat of blocks 44 to 53, Mercer's second addition to North Seattle, according to the plat recorded in volume 9 of plats, page 54, records of King County, Washington.

# SURVEY

Surveyor: GeoDimensions Date: 10/27/15

SCALE: 3/32" = 1'-0"

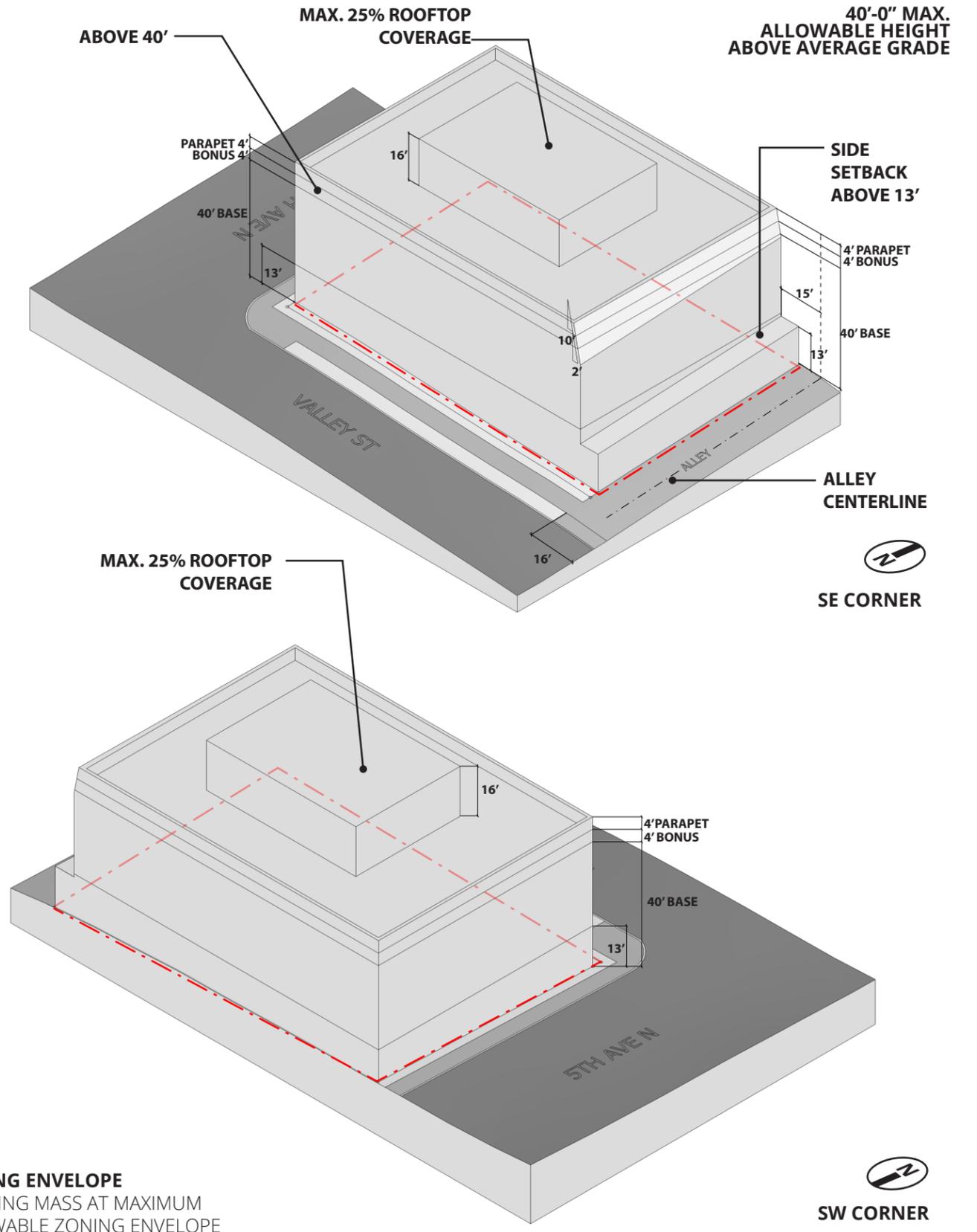
# EXISTING SITE CONDITIONS



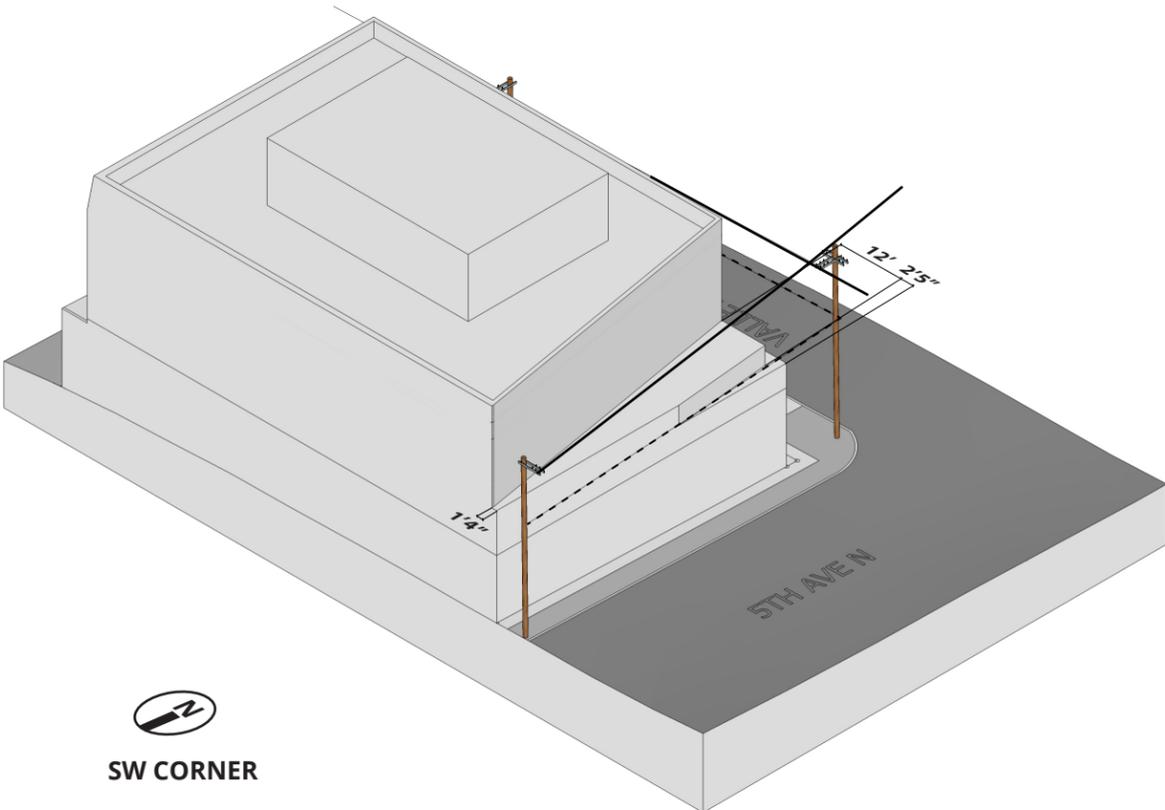
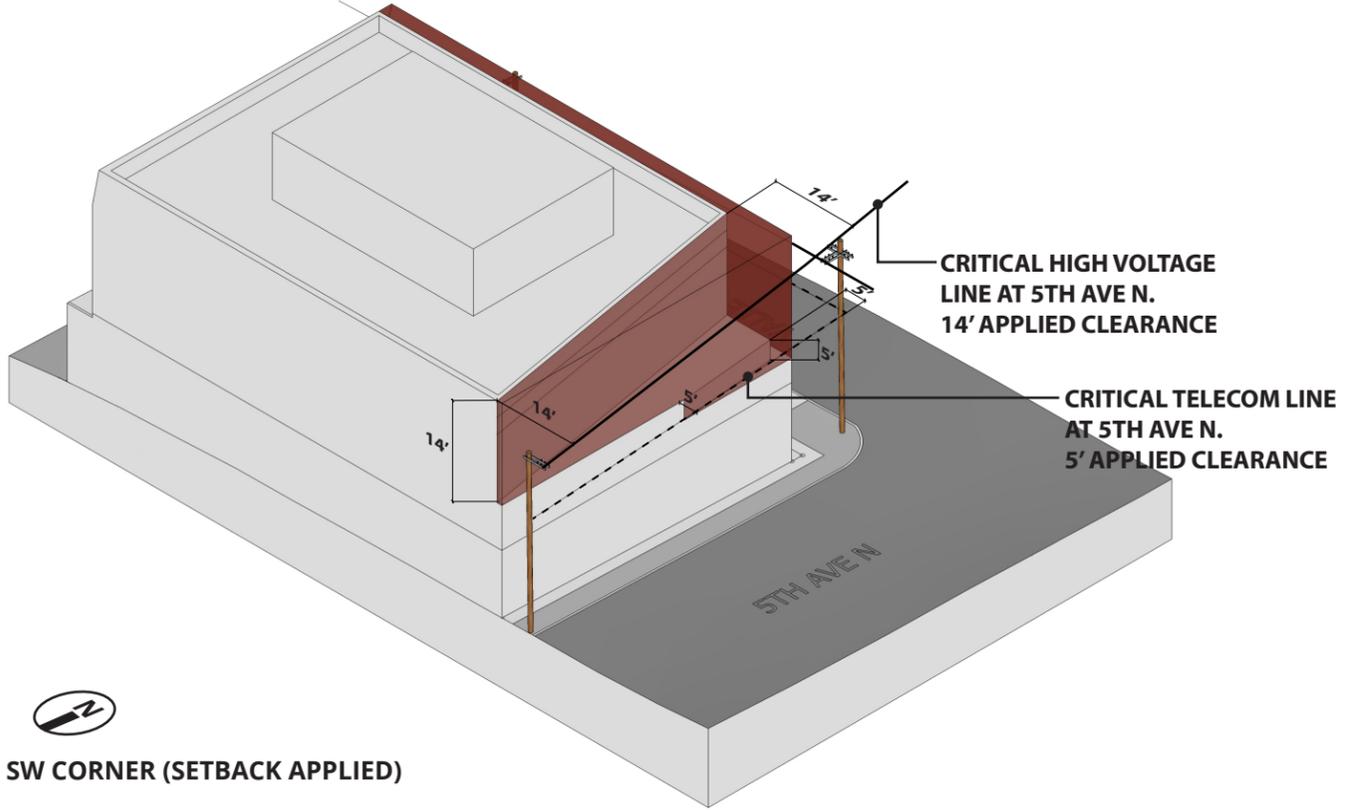
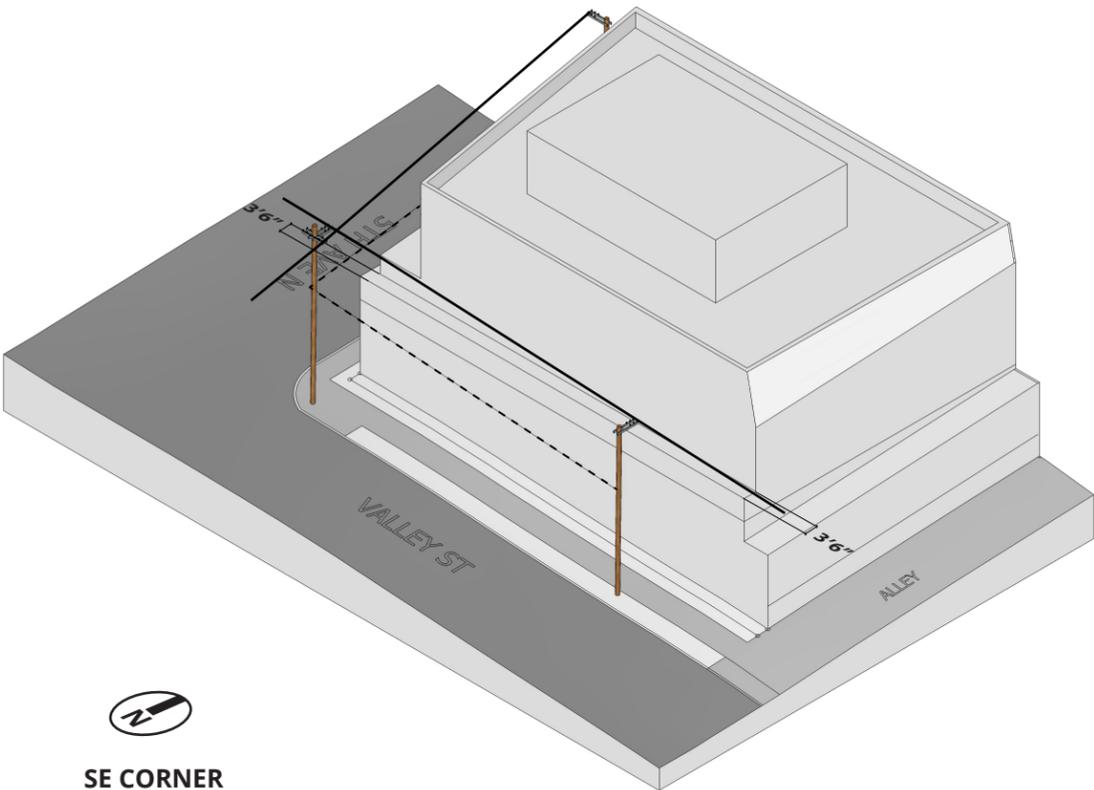
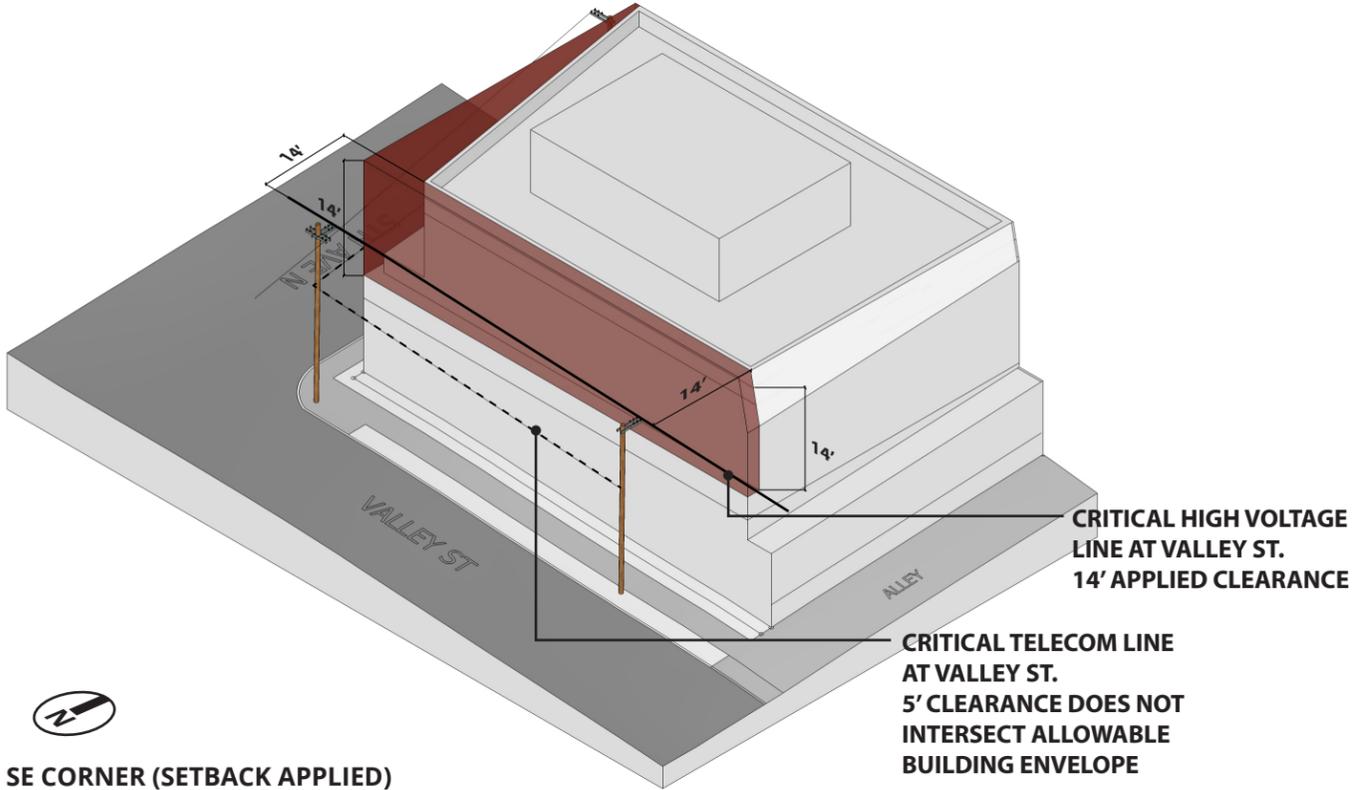
# ZONING ANALYSIS

**ZONING:** NC2-40  
**OVERLAYS:** UPTOWN URBAN CENTER

SMC CODE	DEFINITION
<b>SMC 23.47A.004</b>	<b>PERMITTED USES</b> Commercial uses (restaurant, office, sales) < 25,000 sf, Residential, Live-Work units.
<b>SMC 23.47A.005.C.a</b>	<b>STREET LEVEL USES</b> Residential uses limited to 20% of the ground floor street-level façade when facing an arterial street for zones on map I-5 for 23.47A.005.C. Applies to Valley St. shown on map 4.
<b>SMC 23.47A.008</b>	<b>STREET-LEVEL DEVELOPMENT STANDARDS</b> <ul style="list-style-type: none"> <li>- Blank facades not to exceed 20' in width or 40% of facade with 2' and 8' above sidewalk grade.</li> <li>- 60% non-residential transparency required between 2' and 8' above sidewalk grade.</li> <li>- Street-level facades shall be located within 10' of the street lot line.</li> <li>- 15' minimum, 30' average commercial depth required.</li> <li>- Non-residential uses at street shall have min. floor-to-floor height of 13'.</li> <li>- Non-residential portions of a live-work unit shall extend the full width of the street-level, street-facing façade with a minimum depth of 15'.</li> <li>- Each live-work unit must include an exterior business sign that is visible to pedestrians outside of the building.</li> </ul>
<b>SMC 23.47A.012</b>	<b>STRUCTURE HEIGHT</b> <ul style="list-style-type: none"> <li>- Base height limit of 40' above average grade.</li> <li>- Additional 4' of height if min. 13' floor-to-floor is provided at ground-level commercial.</li> <li>- Parapets, railings, etc. may extend 4' above allowed height limit.</li> <li>- Stair and elevator penthouses may extend 16' above the allowed height limit and cover a maximum 25% of rooftop.</li> </ul>
<b>SMC 23.47A.013</b>	<b>FAR LIMITS</b> 3.25 FAR allowed for mixed-use provided the limit for either use does not exceed 3.00 FAR.
<b>SMC 23.47A.014</b>	<b>SETBACKS</b> <ul style="list-style-type: none"> <li>- 15' side setback above 13' in height when containing a residential use and abutting residential zone. One-half of the width of an abutting alley may be counted as part of the setback.</li> <li>- Additional setback of 2' for every 10' vertical above 40' is required.</li> </ul>
<b>SMC 23.47A.016</b>	<b>LANDSCAPING</b> Green factor of 0.30 required.
<b>SMC 23.47A.024</b>	<b>AMENITY AREA</b> 5% of total residential gross floor area.
<b>SMC 23.54.015</b>	<b>REQUIRED PARKING</b> <ul style="list-style-type: none"> <li>- No vehicular parking required when within Urban Center Village.</li> <li>- Bicycle Parking: Residential, long term = 0.75 spaces per 1 SEDU. Commercial in Urban Center = 1 per 2,000 sf.</li> </ul>
<b>SMC 23.54.040</b>	<b>WASTE AND RECYCLING STORAGE</b> Residential: 51-100 units = 375 sf + 4 sf for every unit over 50. Commercial: 0-5,000 sf = 82sf/2 for mixed use developments = 42 sf. Minimum horizontal dim of 12'.

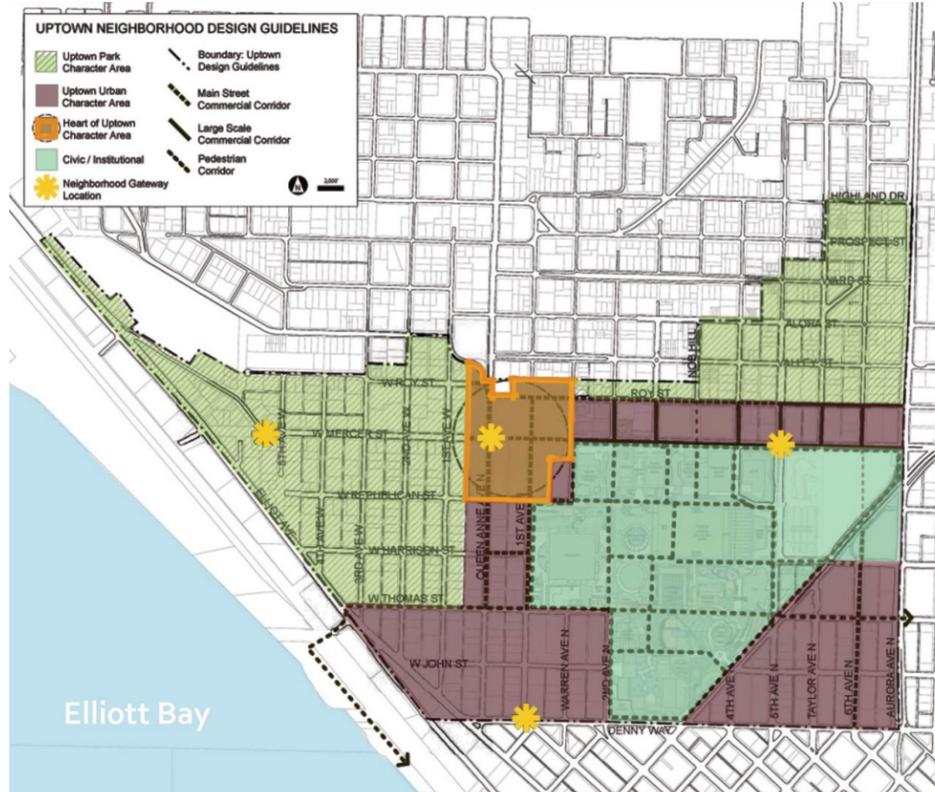


**POWER LINES SETBACK**



# UPTOWN PLANNING CURRENT AND UNDER CONSIDERATION

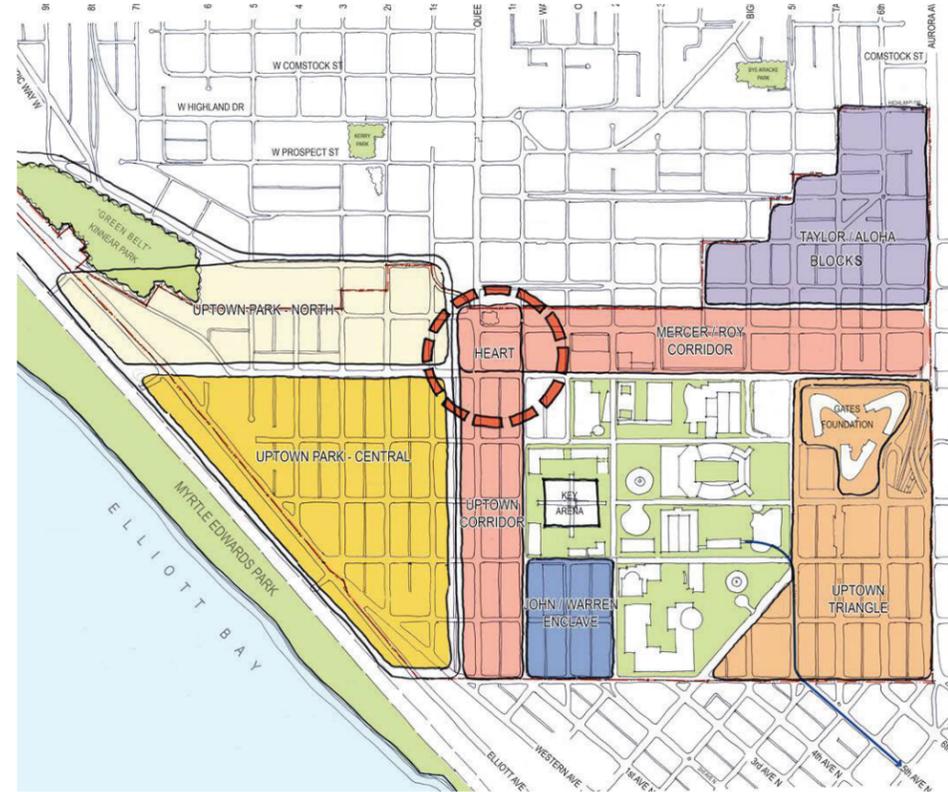
## CURRENT UPTOWN SUBAREAS



### FROM THE UPTOWN NEIGHBORHOOD GUIDELINES:

The Uptown Park character area is primarily an attractive multi-family residential neighborhood with a distinctive park-like character. There are a high concentration of 1920s and 1930s era brick apartment structures in and near Uptown Park, which should be preserved and serve as character cues for new designs.

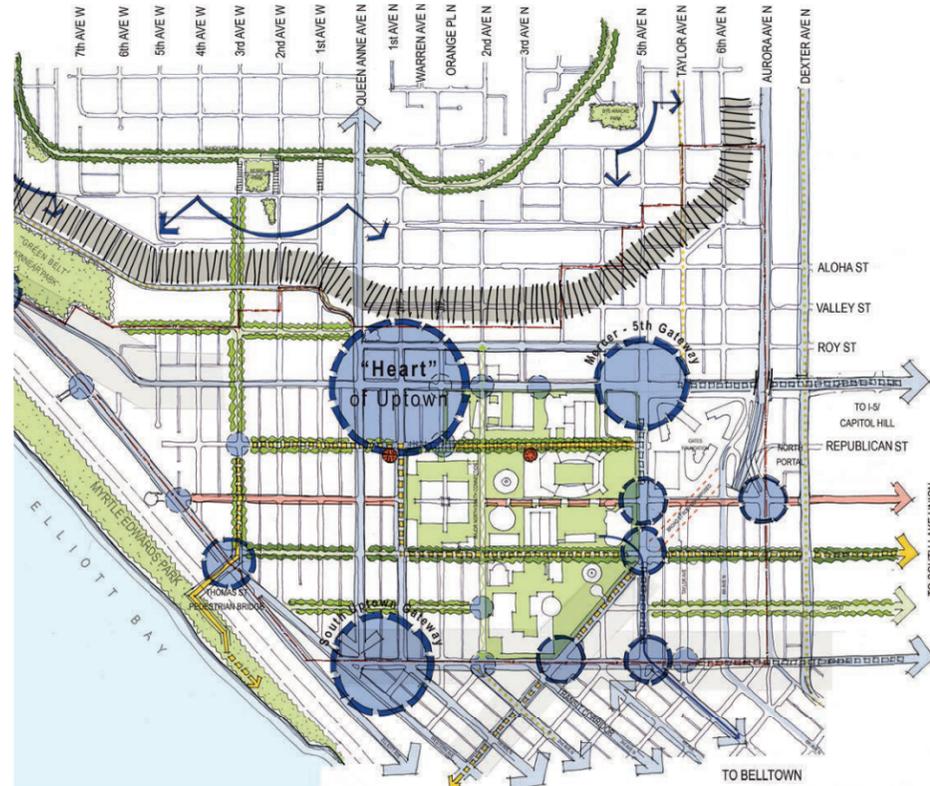
## POTENTIAL UPTOWN SUBAREAS



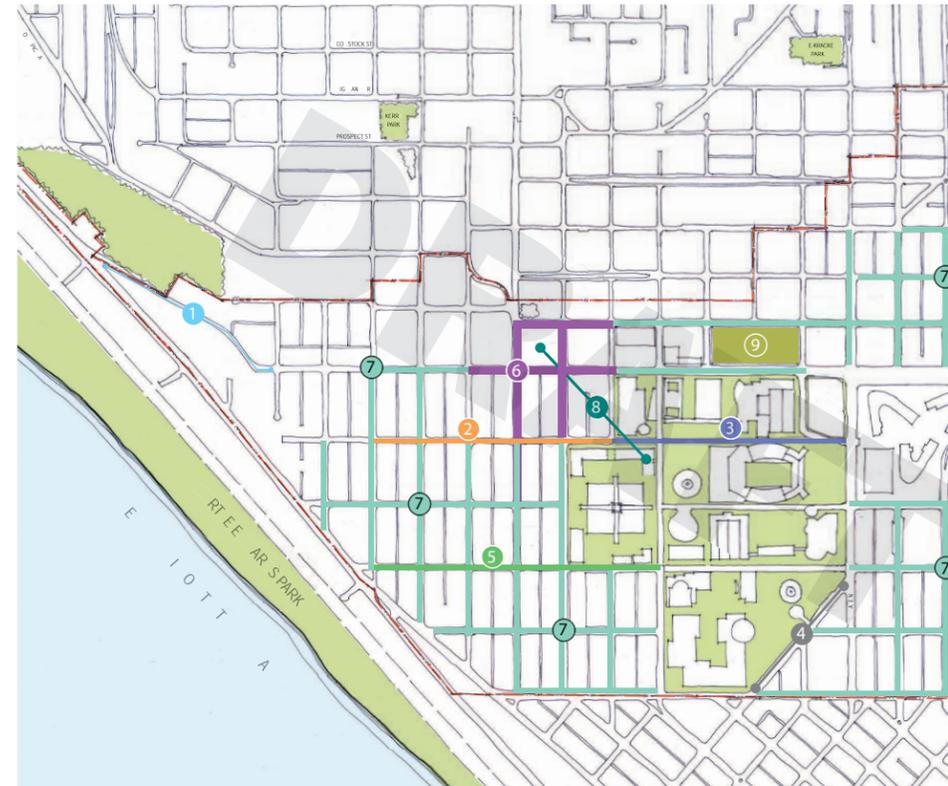
### FROM THE UPTOWN URBAN DESIGN FRAMEWORK:

The Aloha Taylor area is emerging as a truly mixed use area featuring residential and commercial uses. Taylor Avenue is an active transit corridor connecting Uptown and the Queen Anne neighborhood to downtown Seattle and serves as the spine of this subarea. Future development should include greater density of residential uses and residential serving commercial uses.

## PERCEIVED UPTOWN CONNECTIONS



## POTENTIAL UPTOWN RECOMMENDATIONS



1. Mercer Way Bike/Ped Improvement
2. Republican Festival Street
3. Seattle Center Bike Facility
4. Broad Street Redesign
5. Implementation of Thomas Street Streetscape Plan
6. Class I Pedestrian Street
7. Class II Pedestrian Streets
8. Downtown/Ballard High Capacity Transit Station
9. Redevelopment of Mercer Garage

- DRAFT NEIGHBORHOOD-WIDE RECOMMENDATIONS**
- Implement Seattle Center Master Plan
  - Grow theater district into Neighborhood wide Arts and Culture district
  - Consider changing NC3 zoning to SM
  - Increase height through incentive zoning
  - Mandatory Housing Affordability Programs

## CONTEXT AND SITE

### CS1: NATURAL SYSTEMS & SITE FEATURES

N/A: SITE IS VOID OF NATURAL FEATURES

### CS2: URBAN PATTERN & FORM

#### B.2: CONNECTION TO THE STREET

- PROJECT TO ESTABLISH A STRONG STREET PRESENCE WITH A COMMERCIAL EDGE AND A DISTINCT RESIDENTIAL LOBBY.

#### C.1: CORNER SITES

- VISIBLE CORNER & POWER LINE CONSTRAINT PROVIDES OPPORTUNITY FOR STRONG CORNER ELEMENT.

#### D.2: EXISTING SITE FEATURES

- EXISTING POWER LINES GREATLY INFLUENCE DESIGN CONCEPT.

#### D.3: ZONE TRANSITIONS

- LR3-RC ACROSS ALLEY IS A COMPATIBLE NEIGHBOR

### UPTOWN II: STREETScape COMPATIBILITY

- PROXIMITY TO NEIGHBORHOOD GATEWAY AT 5TH & MERCER CREATES OPPORTUNITY TO DRAW PEDESTRIANS INTO THE NEIGHBORHOOD.

### UPTOWN III: CORNER LOTS

- MEET THE STREET CORNER, BUT PROVIDE SPACE FOR PEDESTRIANS.

### CS3: ARCHITECTURAL CONTEXT & CHARACTER

#### A.4: EVOLVING NEIGHBORHOODS

- AREA HAS HAD LITTLE DEVELOPMENT SINCE THE LATE 90'S; PROJECT TO SET A NEW PRECEDENT FOR THE AREA.

### UPTOWN I: ARCHITECTURAL CONTEXT

- UPTOWN PARK HAS HISTORIC CHARACTER, BUT IS NOT CONSISTENT FOR IMMEDIATE VICINITY.



VISIBLE CORNER WITH OVERHEAD SITE CONSTRAINTS

## PUBLIC LIFE

### PL1: CONNECTIVITY

#### B.3: PEDESTRIAN AMENITIES

- NARROW SIDEWALK LIMITS OPPORTUNITY FOR GENEROUS TRANSITION ZONES.

- PROJECT TO ESTABLISH A STRONG STREET EDGE, WITH CLEAR ENTRIES, AND R.O.W. FEATURES INCLUDING PLANTINGS, CANOPIES AND BIKE RACKS.

### PL2: WALKABILITY

#### B.1: EYES ON THE STREET

- STREET LEVEL USES AND UNIT ORIENTATION ABOVE TO MAXIMIZE EYES ON THE STREET.

#### B.3: STREET LEVEL TRANSPARENCY

- ORGANIZATION OF STREET LEVEL USES ALLOWS FOR TRANSPARENT GROUND FLOOR.

### UPTOWN II: PEDESTRIAN ENTRANCES

- ENTRANCES SHOULD BE WELL SCALED, DETAILED AND DEFENSIBLE.

### PL3: STREET LEVEL INTERACTION

#### A.1: ENTRIES

- CLEARLY DISTINGUISH ENTRIES, INCLUDING RESIDENTIAL LOBBY, PRIMARY COMMERCIAL ENTRY, AND LIVE-WORK ENTRIES.

#### B.3: LIVE-WORK EDGES

- ORIENT NON-RESIDENTIAL PORTION OF UNIT TOWARDS STREET, PROVIDE TRANSITION FROM STREET.

### PL4: ACTIVE TRANSPORTATION

#### B.2: BIKE FACILITIES

- RESIDENTIAL PARKING TO BE CONVENIENTLY LOCATED FOR TENANTS. COMMERCIAL PARKING TO BE INTEGRATED INTO THE R.O.W.



VARIETY OF EXISTING CONTEXT CHARACTER

## DESIGN CONCEPT

### DC1: PROJECT USES & ACTIVITIES

#### A.4: VIEWS AND CONNECTIONS

- GROUND FLOOR ORGANIZED TO MAXIMIZE STREET CONNECTIONS.

#### C.4: SERVICE USES

- TRASH AND MECHANICAL SPACES ACCESSED FROM ALLEY.

### UPTOWN II: BLANK WALLS

- CONSIDER PLANTING OR OTHER DECORATIVE SURFACING FOR BLANK WALL TREATMENT.

### DC2: ARCHITECTURAL CONCEPT

#### A.1: MASSING/SITE CHARACTERISTICS

- MASSING TO RESPOND TO SITE CONSTRAINTS, ESTABLISHING A STRONG CORNER WITHOUT OCCUPYING THE FULL CORNER.
- CREATE A STRONG, VISUAL CONNECTION TO THE STREET.

#### B.2: BLANK WALLS

- MINIMIZE UPPER STORY BLANK WALLS WHILE ORIENTING UNITS TOWARDS THE SITE PERIMETER.

### UPTOWN I: ARCHITECTURAL CONTEXT

- MATERIALS AND STREET-LEVEL WINDOW DETAILING TO EMPHASIZE SCALE AND VISUAL INTEREST.

### DC3: OPEN SPACE CONCEPT

#### B.4: MULTIFAMILY OPEN SPACE

- OPEN SPACE LIMITED TO ROOF DECK ACCESS. ROOF DECK DESIGN TO PROVIDE OPPORTUNITIES FOR A VARIETY OF USES.

### UPTOWN I: LANDSCAPING

- LANDSCAPE TO PROVIDE TEXTURE AND YEAR-ROUND INTEREST

### DC4: MATERIALS

#### A.1: EXTERIOR FINISH MATERIALS

- MATERIALS TO EMPHASIZE MASSING ARTICULATION.

### UPTOWN II: EXTERIOR FINISH MATERIALS

- MATERIALS TO PROVIDE VISUAL INTEREST AND TEXTURE AT GRADE.



NARROW SIDEWALK LIMITS TRANSITION ZONES

# SCHEME A: CODE COMPLIANT

**32,408 GSF**  
**65 RESIDENTIAL UNITS**  
**4 LIVE-WORK UNITS, 473 - 706 SF EACH**  
**2,320 COMMERCIAL SF**  
**1,445 SF- TOTAL COMMON AMENITY**  
 1,445 SF - ROOF DECK  
**3.13 MAX FAR - 30,002 GFA**

## POSITIVE

- NO DEPARTURES REQUIRED.
- LARGE COMMERCIAL SPACE ALONG 5TH AVE N.
- COURTYARD PROVIDES RELIEF TO NORTH NEIGHBOR.
- LIVE-WORK UNITS TRANSITION TO ADJACENT LR3-RC ZONE.

## NEGATIVE

- MAJORITY OF NORTH WALL IS BLANK.
- STAIR PENTHOUSE TOWARDS NORTH NEIGHBOR.
- RESIDENTIAL LOBBY FRONTS VALLEY ST.
- UPPER STORY ARTICULATION DOES NOT LEAD TO A CLEAR MATERIAL/MASSING CONCEPT.
- PODIUM IS CLEARLY EXPRESSED.

- COMMERCIAL
- LIVE/WORK
- BLDG. SERVICE
- RESIDENTIAL
- CIRCULATION / CORE
- COMMON
- PRIMARY ENTRY

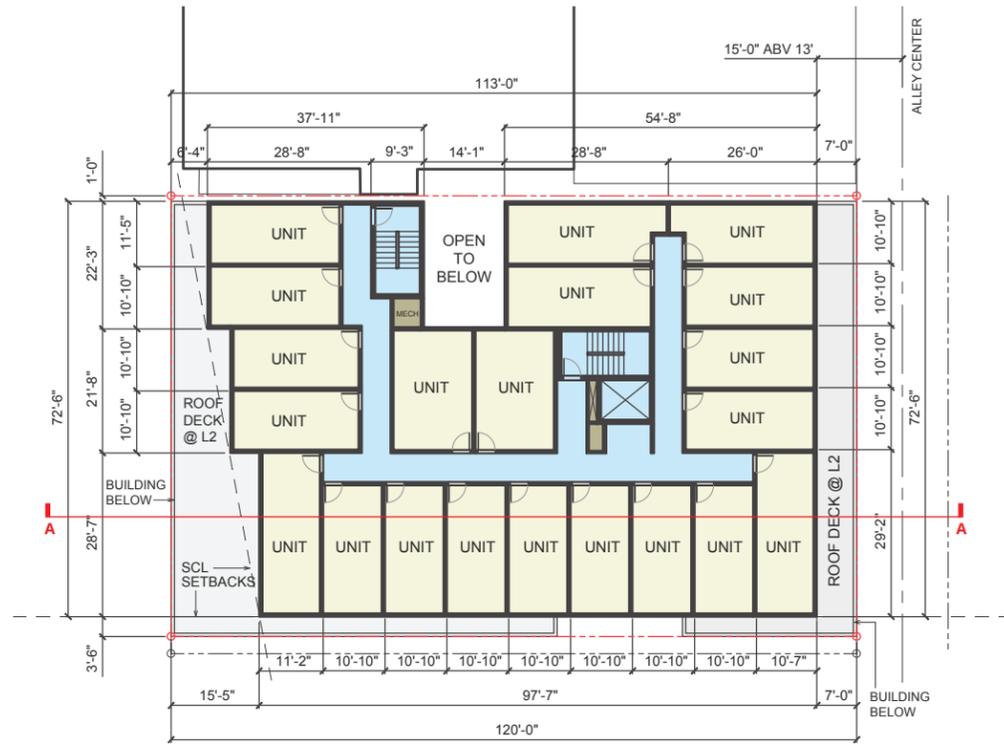
## SITE / STREET LEVEL PLAN

SCALE: 1/16" = 1'-0"

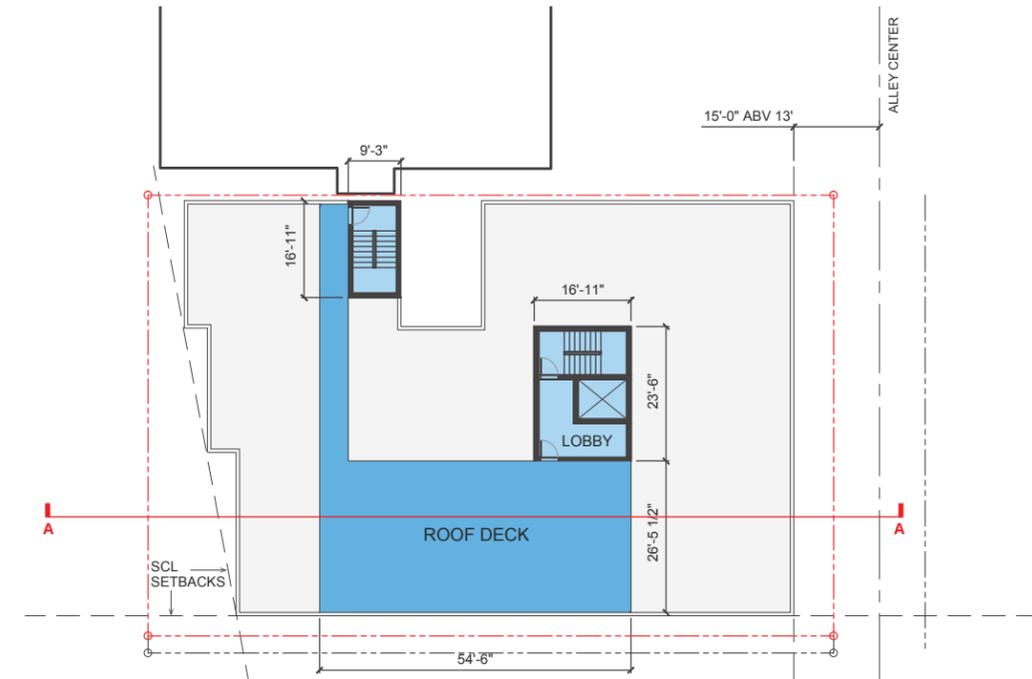


# BUILDING PLANS: SCHEME A

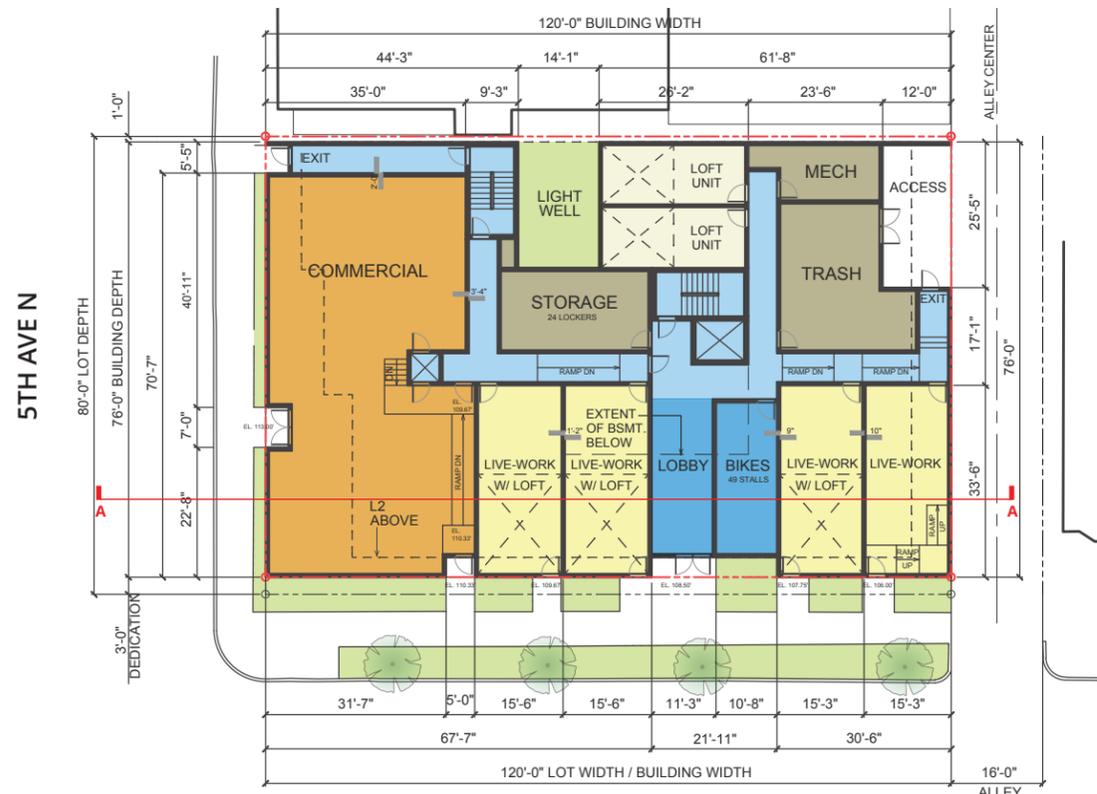
SCALE: 1/32" = 1'-0"



LEVEL 2-4

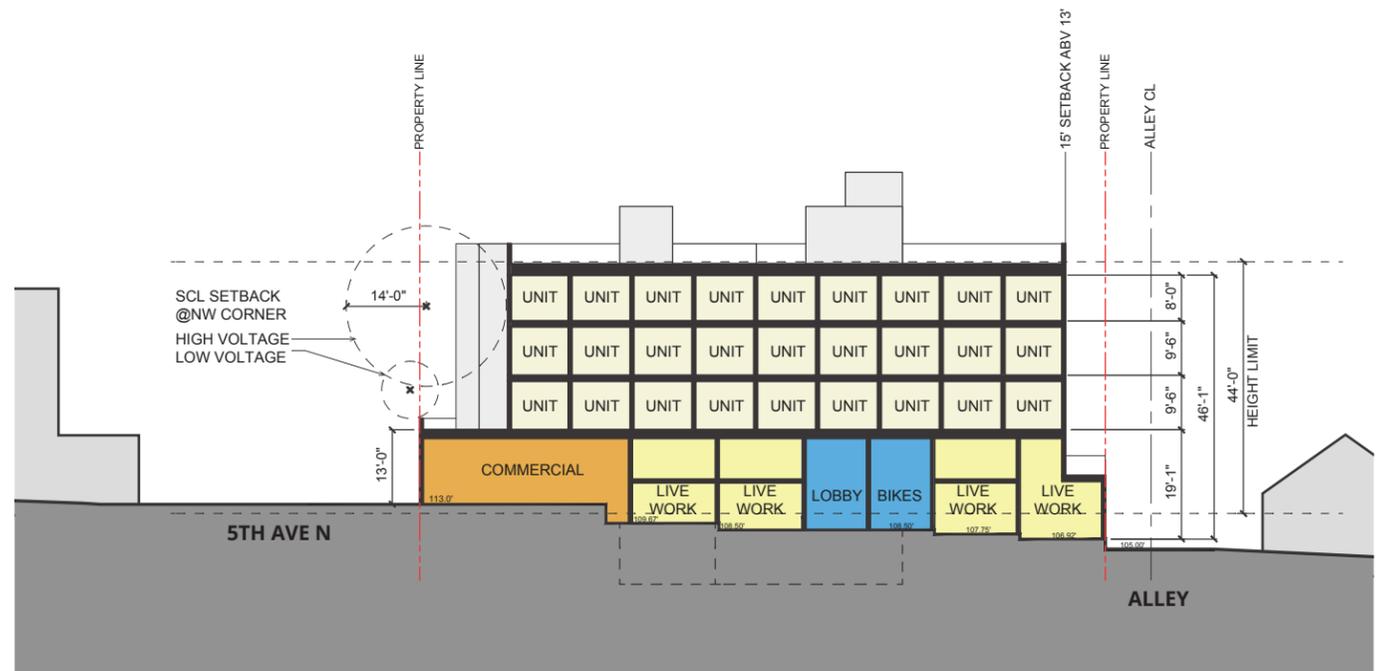


ROOF



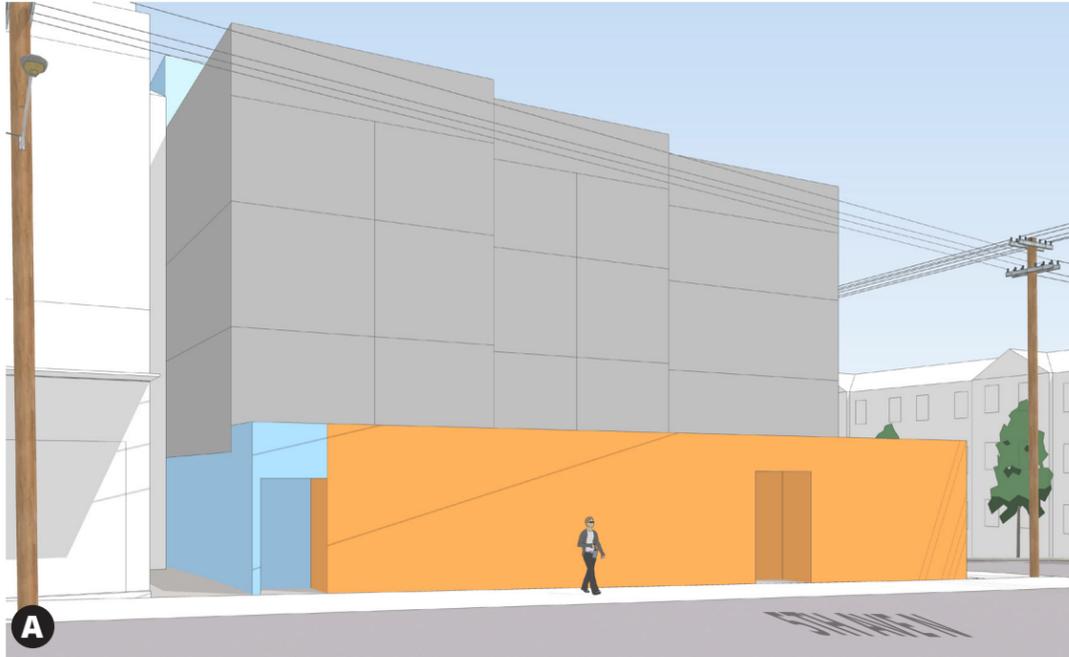
LEVEL 1

VALLEY ST



SECTION A

# PERSPECTIVES: SCHEME A



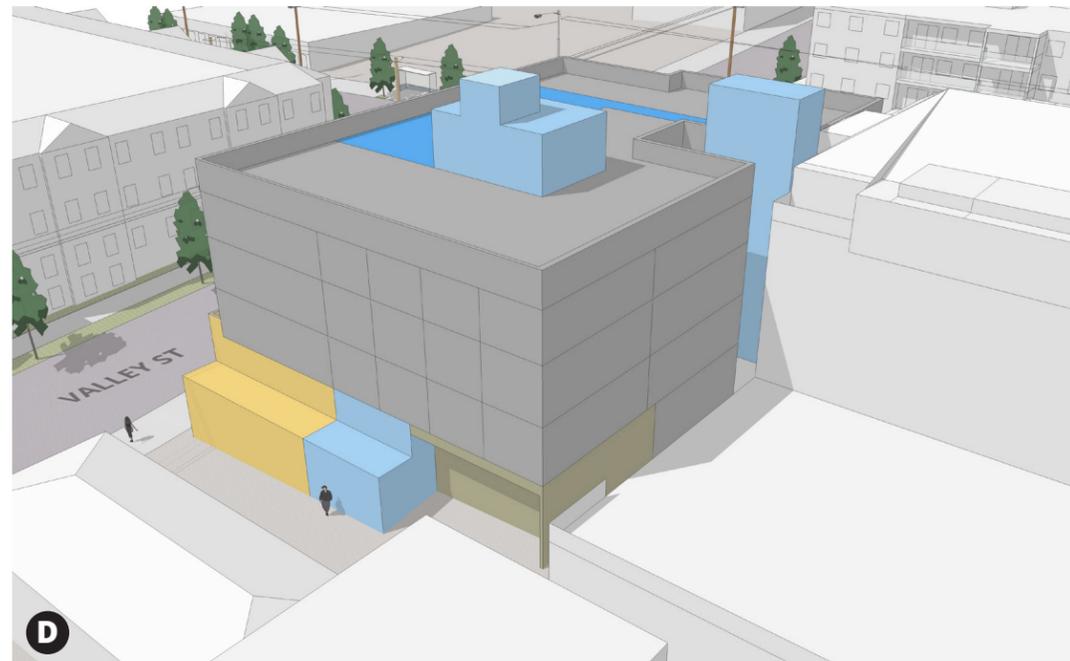
**A** PERSPECTIVE LOOKING AT NORTHWEST CORNER OF BUILDING



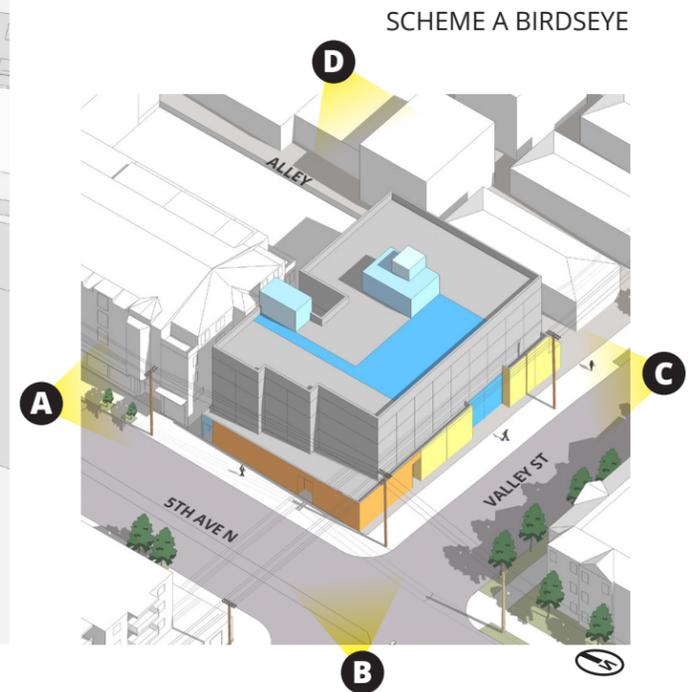
**B** PERSPECTIVE LOOKING AT SOUTHEAST CORNER OF BUILDING



**C** PERSPECTIVE LOOKING AT SOUTHEAST CORNER



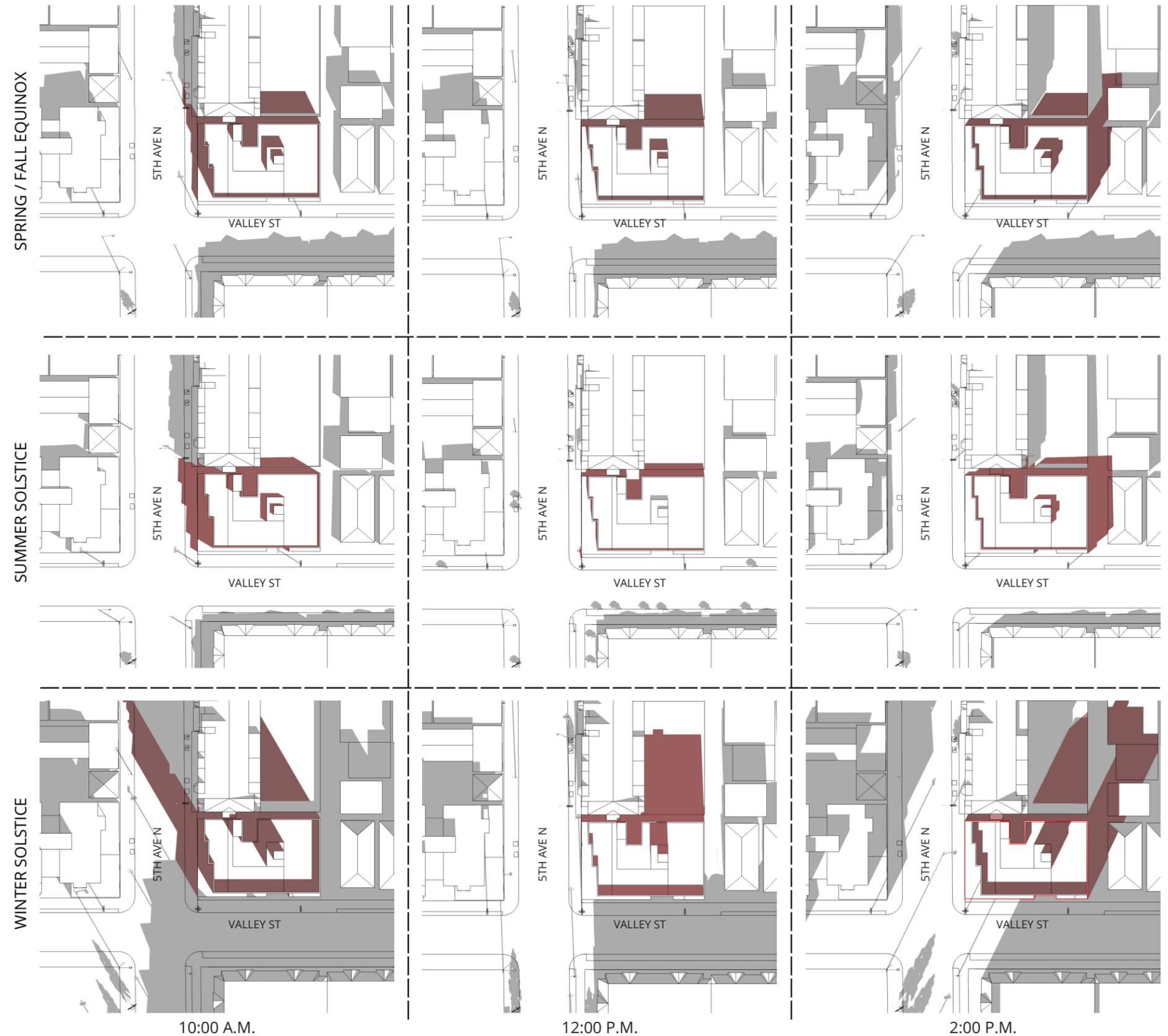
**D** PERSPECTIVE LOOKING AT NORTHEAST CORNER



# DEPARTURES

• NO DEPARTURES REQUESTED

## SUN PATH / SHADOW STUDY: SCHEME A



# SCHEME B

33,183 GSF  
 66 RESIDENTIAL UNITS  
 4 LIVE-WORK UNITS, 485 - 945 SF EACH  
 1,836 COMMERCIAL SF  
 1,222 SF- TOTAL COMMON AMENITY  
 1,222 SF - ROOF DECK  
 3.22 MAX FAR - 30,914 GFA

## POSITIVE

- VALLEY COURTYARD CREATES TRANSITION ZONE FOR RESIDENTIAL LOBBY.
- COMMERCIAL MORE EQUALLY FRONTS BOTH STREETS.
- LEAST AMOUNT OF VISIBLE BLANK FACADE.
- LIVE-WORKS TRANSITION TO ADJACENT LR3-RC ZONES.
- PENTHOUSES ARE PULLED AWAY FROM NORTH NEIGHBOR.

## NEGATIVE

- DEPARTURES REQUIRED.
- MORE UNITS FACING NORTH NEIGHBOR, CREATING MORE PRIVACY ISSUES.
- PORTION OF NORTH UNITS HAVE LIMITED WINDOW OPPORTUNITIES.
- LIVE-WORKS ALONG 5TH AVE N.
- BULK IS PUSHED TOWARDS EAST NEIGHBOR.
- UPPER STORY ARTICULATION IS VISUALLY BUSY.
- PODIUM IS CLEARLY EXPRESSED.

- COMMERCIAL
- LIVE/WORK
- BLDG. SERVICE
- RESIDENTIAL
- CIRCULATION / CORE
- COMMON
- ▲ PRIMARY ENTRY

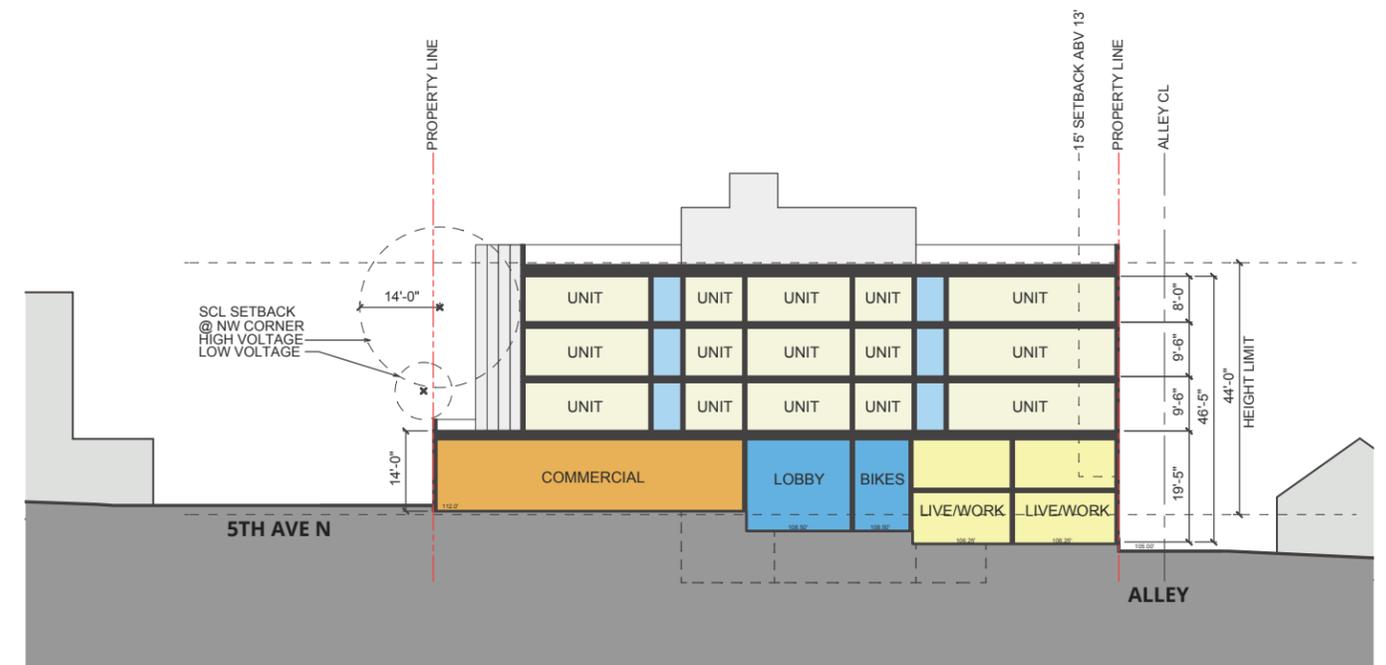
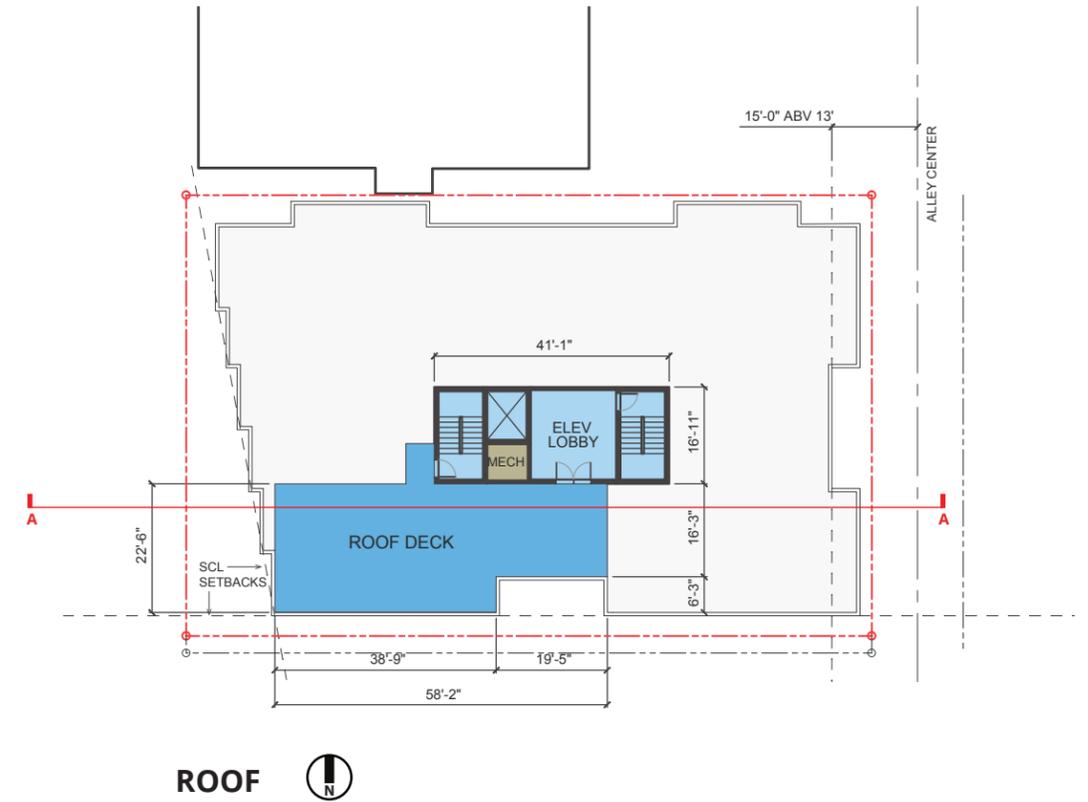
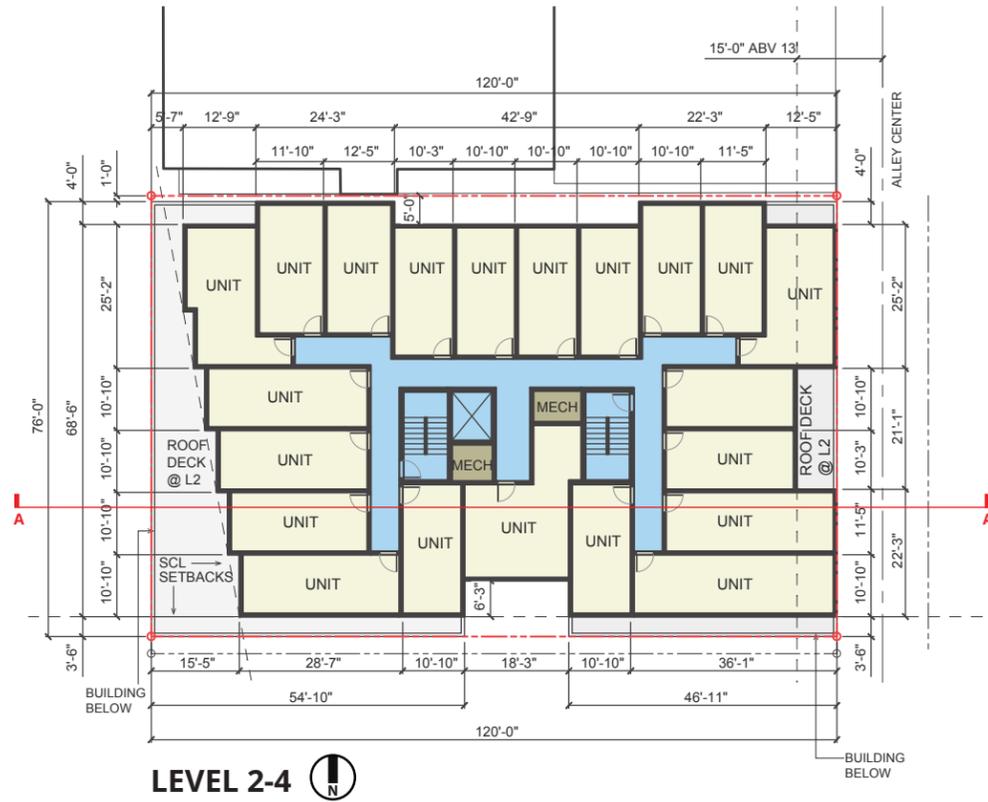
## SITE / STREET LEVEL PLAN

SCALE: 1/16" = 1'-0"



# BUILDING PLANS: SCHEME B

SCALE: 1/32" = 1'-0"



# PERSPECTIVES: SCHEME B



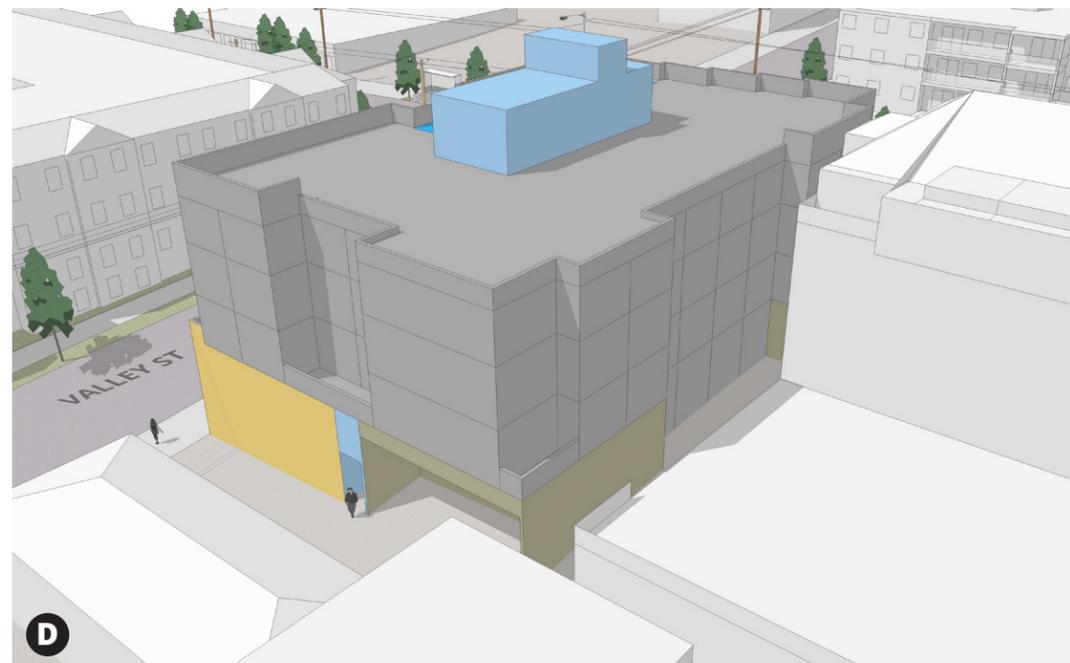
**A** PERSPECTIVE LOOKING AT NORTHWEST CORNER OF BUILDING



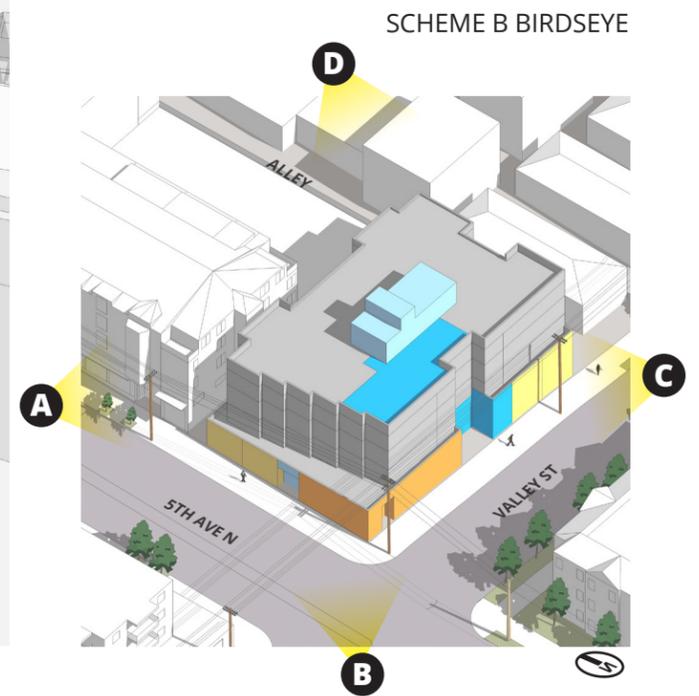
**B** PERSPECTIVE LOOKING AT SOUTHEAST CORNER OF BUILDING



**C** PERSPECTIVE LOOKING AT SOUTHEAST CORNER



**D** PERSPECTIVE LOOKING AT NORTHEAST CORNER



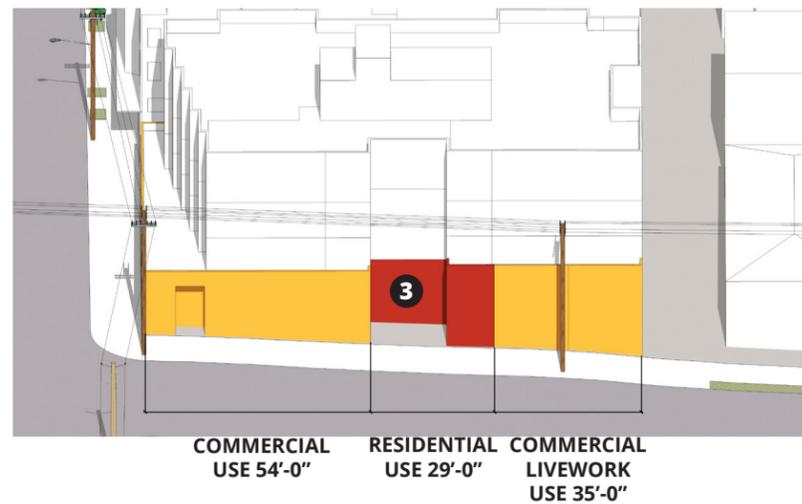
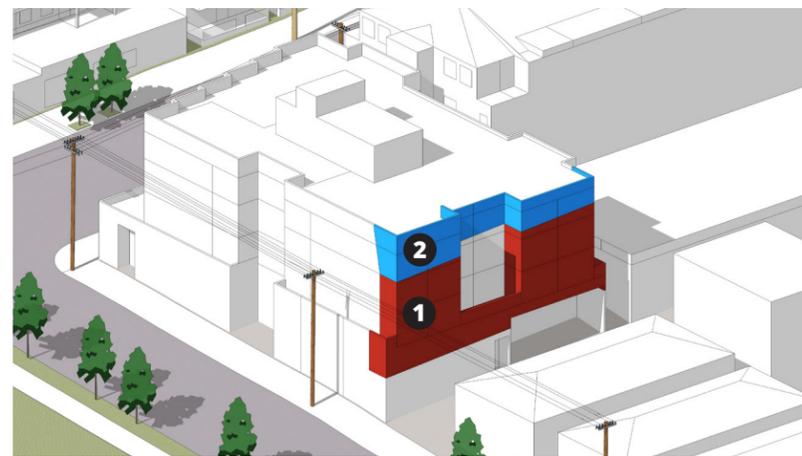
# DEPARTURES

**1 DEPARTURE**  
**SMC 23.47A.014.B.3: SIDE SETBACK ABUTTING LR3-RC ZONE**  
**ALLOWED:** 15' setback above 13' up to 40' from centerline of alley  
**PROPOSED:** 7' setback above 13' up to 40' for 72% (1,434 sf) of structure

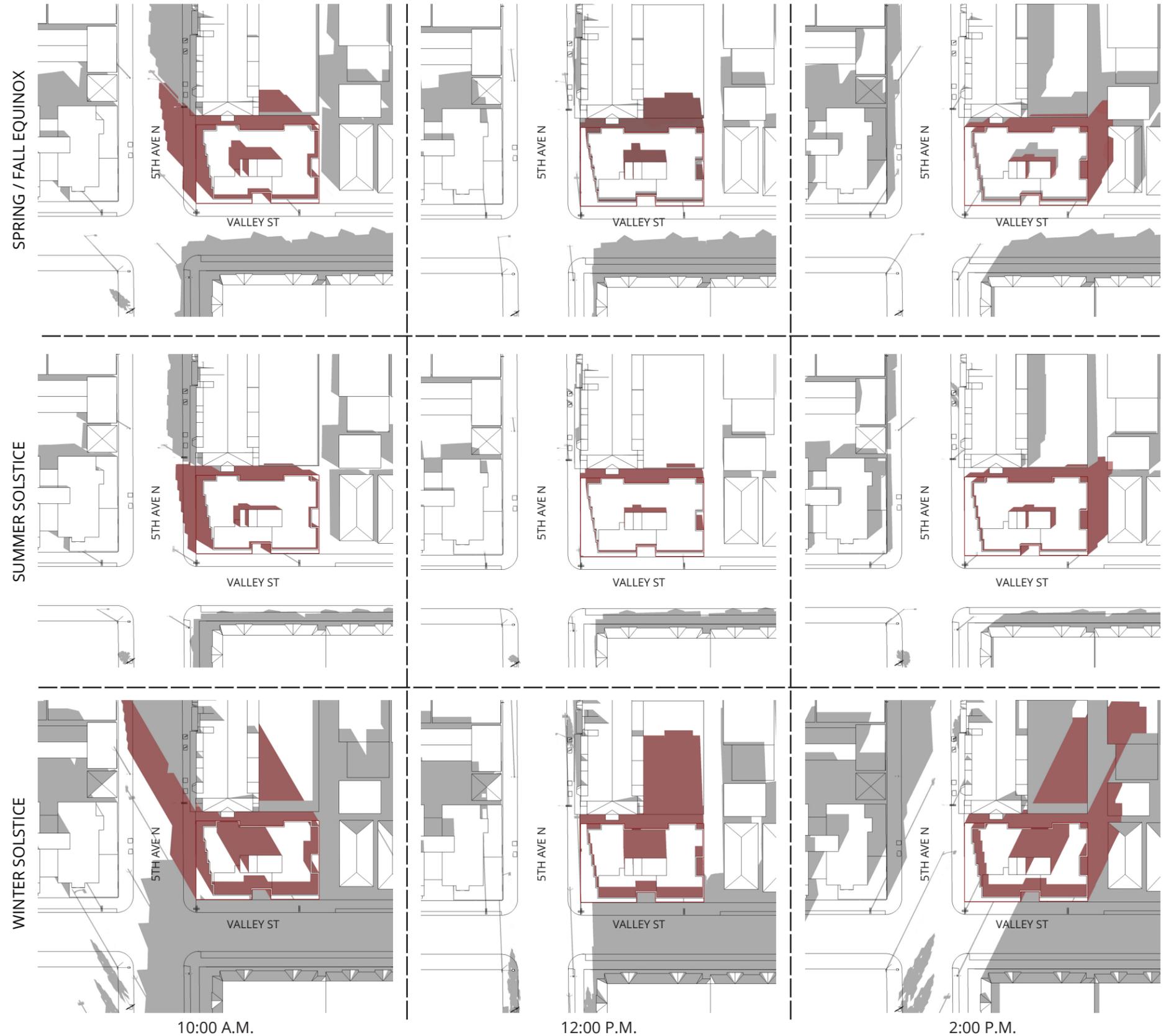
**2 DEPARTURE**  
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 Maximum setback 40' - 55'-6" = 17'-9" from centerline of alley.  
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 7' setback above 40' for 71% (506 sf) of structure.

**3 DEPARTURE**  
**SMC 23.47A.005.C.a: RESIDENTIAL USES AT STREET-LEVEL**  
**ALLOWED:** Residential uses limited to 20% of street-level facade.  
 Facade length = 120' (120x0.20 = 24' maximum allowed)  
**PROPOSED:** 29' residential uses proposed (29/120 = 24.2%)

**\*SEE DEPARTURE MATRIX ON PAGE 27 FOR PRIORITY GUIDELINES AND DEPARTURE JUSTIFICATION**



# SUN PATH / SHADOW STUDY: SCHEME B



# SCHEME C: PREFERRED

31,958 GSF  
 66 RESIDENTIAL UNITS  
 4 LIVE-WORK UNITS, 560-625 SF EACH  
 1,735 COMMERCIAL SF  
 2,240 SF- TOTAL COMMON AMENITY  
 2,240 SF - ROOF DECK  
 3.10 MAX FAR - 29,768 GFA

## POSITIVE

- RECESSED LOBBY CREATES TRANSITION ZONE FOR ENTRANCE.
- COMMERCIAL MORE EQUALLY FRONTS BOTH STREETS.
- LIVE-WORKS TRANSITION TO ADJACENT LR3-RC ZONES AND INCLUDE A TRANSITION 'STOOP'.
- PENTHOUSES ARE PULLED AWAY FROM NORTH NEIGHBOR.
- MINIMAL AMOUNT OF VISIBLE BLANK FACADE.
- MINIMAL PRIVACY ISSUES WITH NORTH NEIGHBOR.
- UPPER STORY ARTICULATION IS A CLEAR DESIGN ELEMENT.
- MASSING IS CLEARLY CONNECTED TO GRADE - NO PODIUM.
- COMMERCIAL CORNER ELEMENT IS A FEATURE TO ANCHOR THE DESIGN.

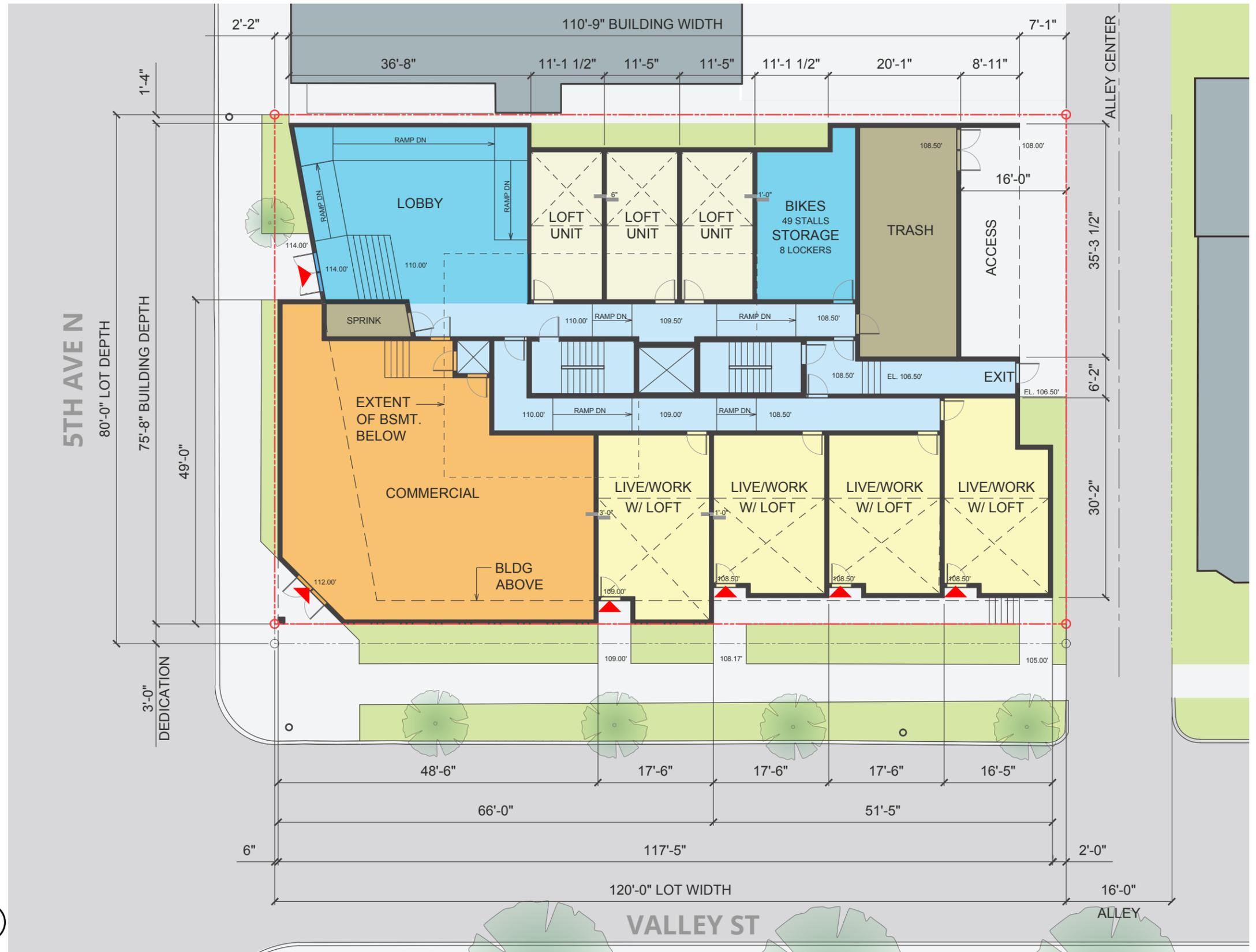
## NEGATIVE

- REQUIRES DEPARTURES
- SOME VISIBLE BLANK FACADE TO NORTH.

- COMMERCIAL
- LIVE/WORK
- BLDG. SERVICE
- RESIDENTIAL
- CIRCULATION / CORE
- COMMON
- ▲ PRIMARY ENTRY

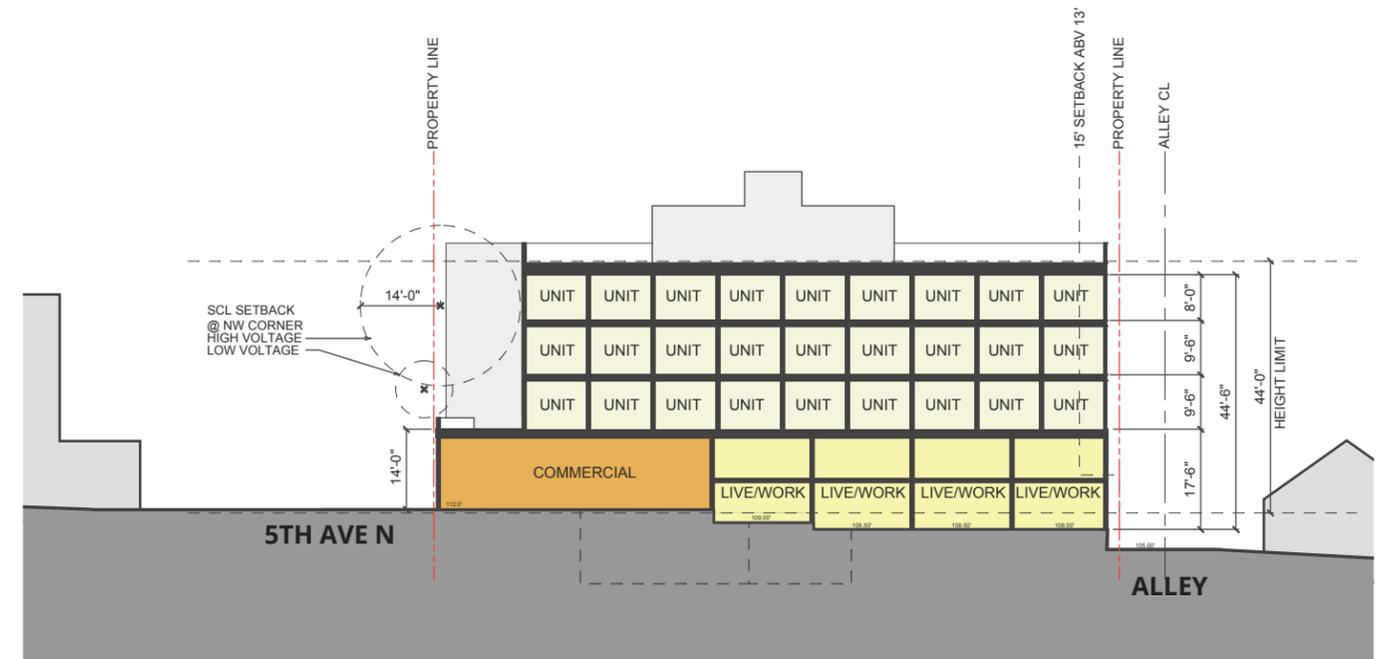
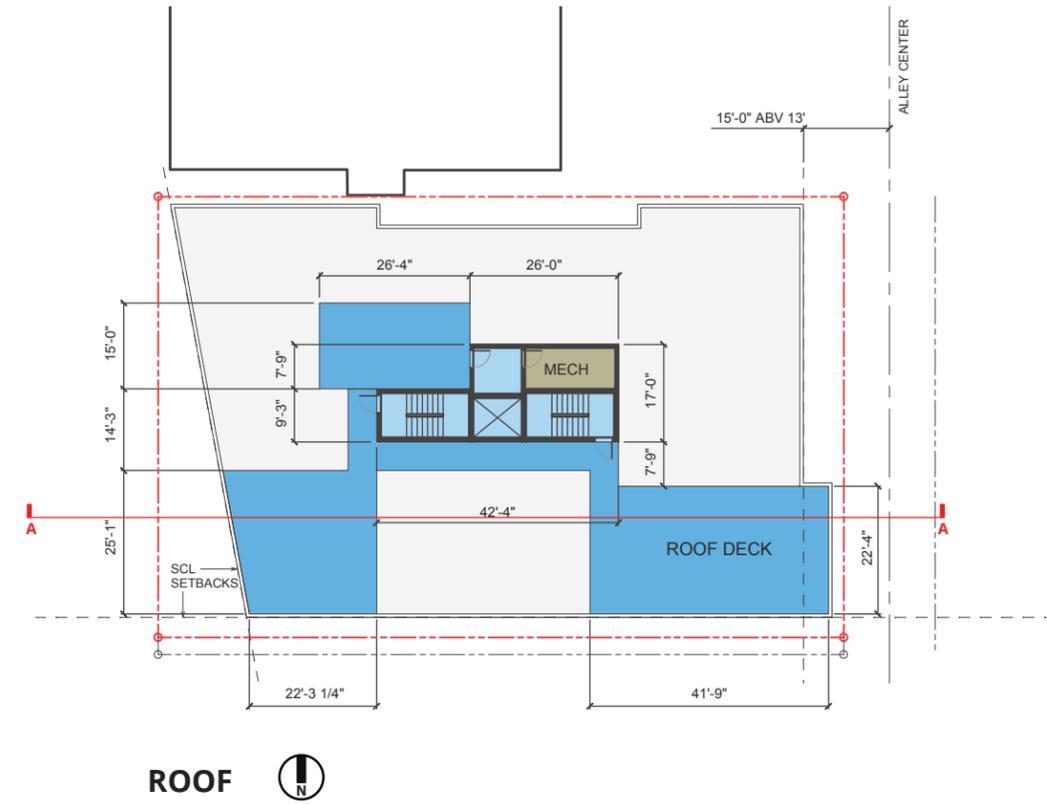
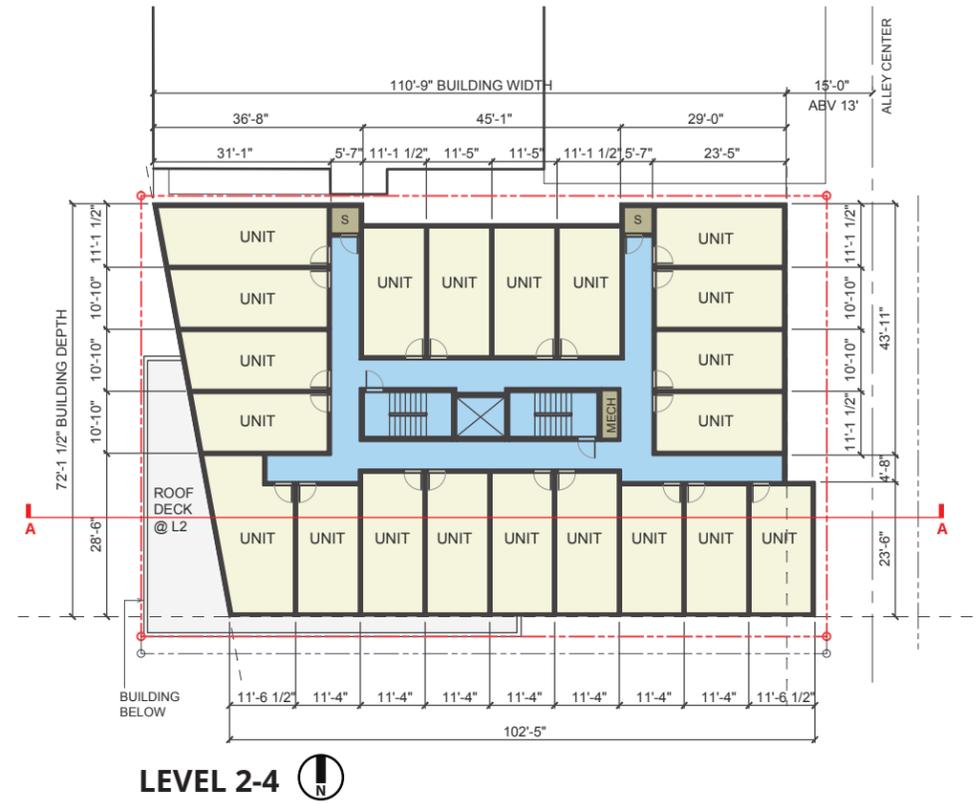
## SITE / STREET LEVEL PLAN

SCALE: 1/16" = 1'-0"

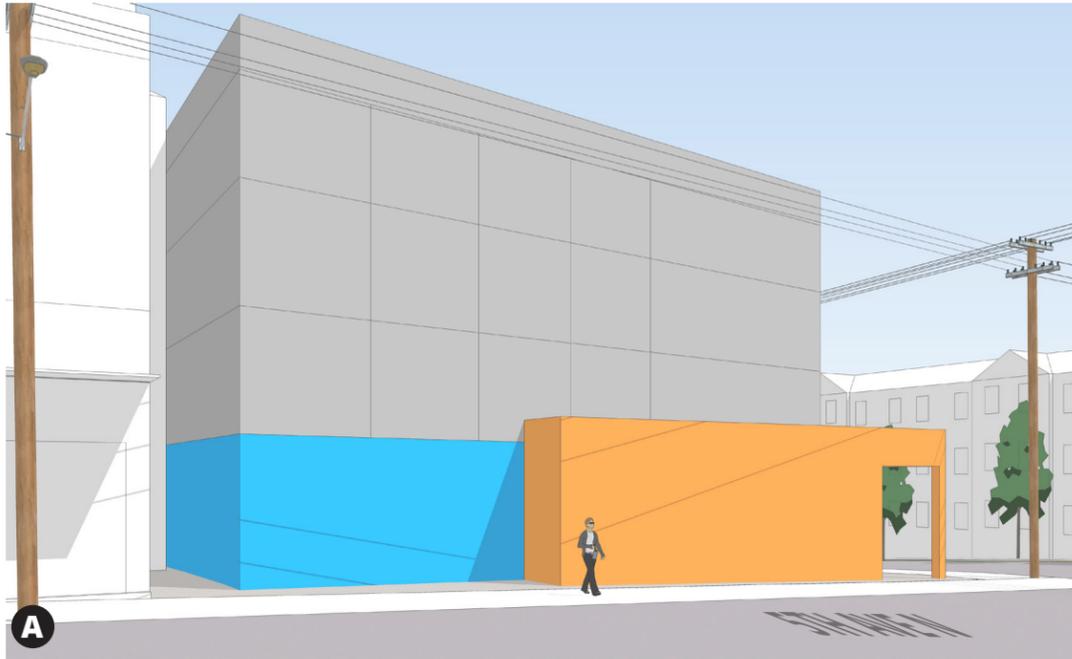


# BUILDING PLANS: SCHEME C

SCALE: 1/32" = 1'-0"



# PERSPECTIVES: SCHEME C



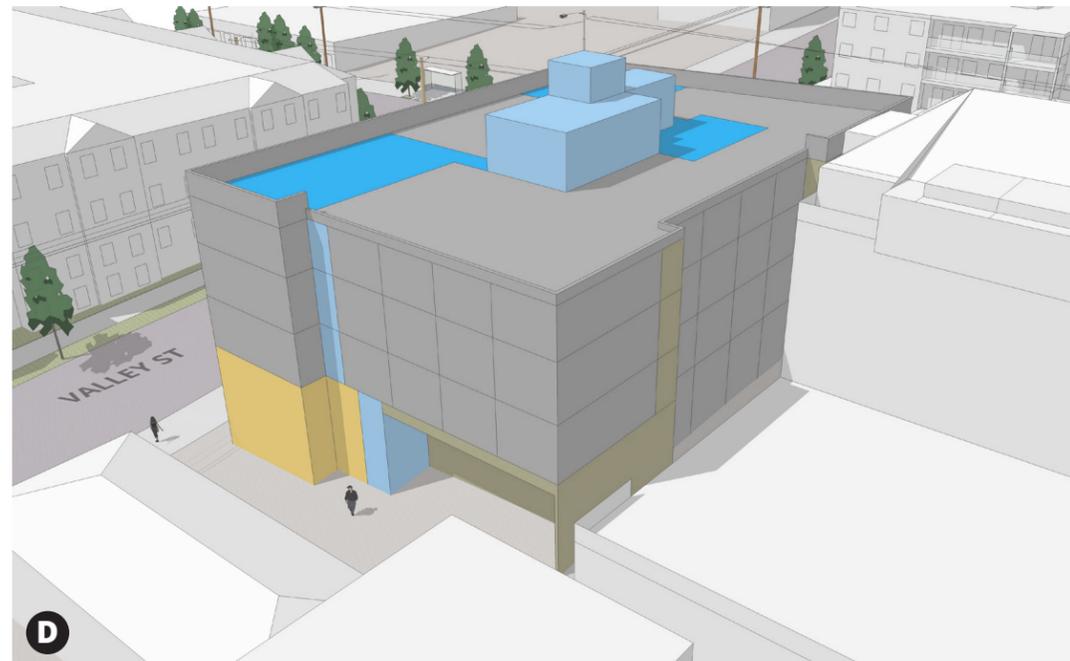
**A** PERSPECTIVE LOOKING AT NORTHWEST CORNER OF BUILDING



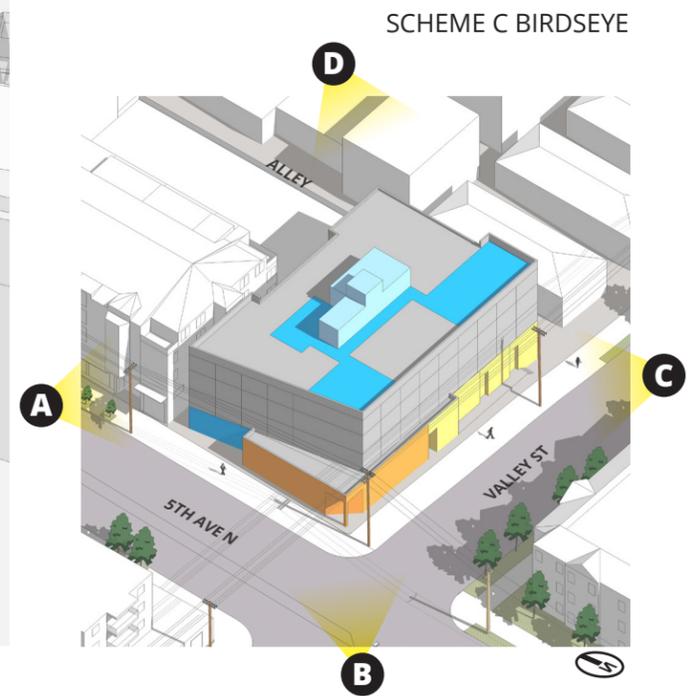
**B** PERSPECTIVE LOOKING AT SOUTHEAST CORNER OF BUILDING



**C** PERSPECTIVE LOOKING AT SOUTHEAST CORNER



**D** PERSPECTIVE LOOKING AT NORTHEAST CORNER



SCHEME C BIRDSEYE

# DEPARTURES

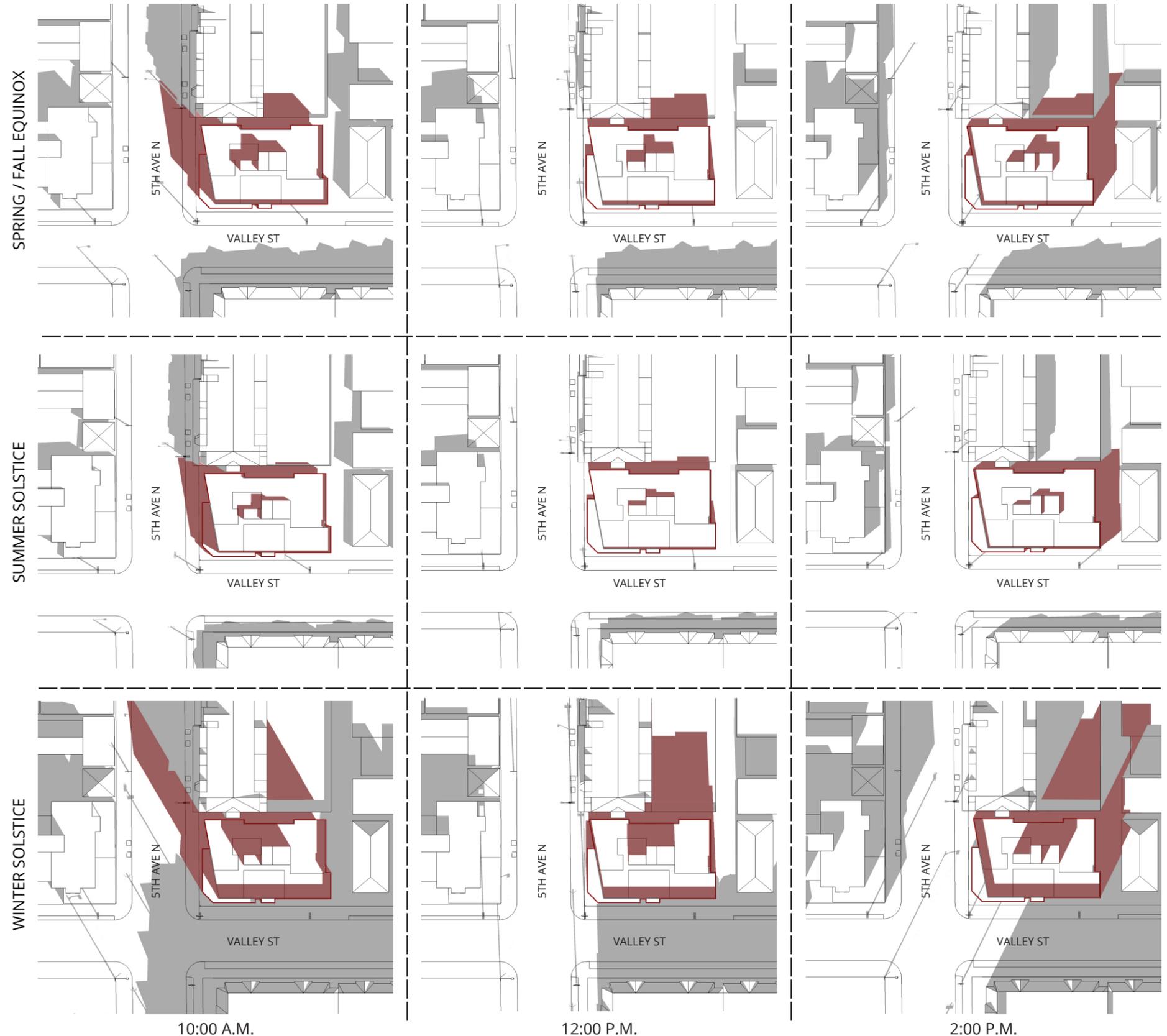
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**PROPOSED:** 9' setback above 13' up to 40' for 32% (618 sf) of structure

**2 DEPARTURE**  
**SMC 23.47A.014.B.3: SIDE SETBACK ABUTTING LR3-RC ZONE**  
**ALLOWED:** 15' setback + 2' for every 10' of height above 40'.  
 Maximum setback  $40' - 55' - 6" = 17' - 9"$  from centerline of alley.  
**PROPOSED:** 15' setback above 40' for 60% (442 sf) of structure.  
 10' setback above 40' for 40% (297 sf) of structure.

**\*SEE DEPARTURE MATRIX ON PAGE 27 FOR PRIORITY GUIDELINES AND DEPARTURE JUSTIFICATION**



# SUN PATH / SHADOW STUDY: SCHEME C



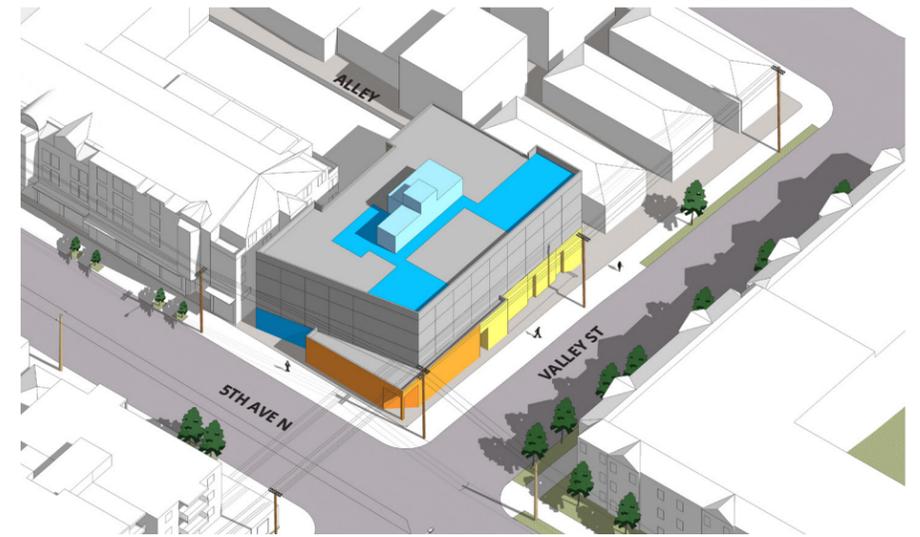
### SCHEME A (COMPLIANT)



### SCHEME B



### SCHEME C (PREFERRED)



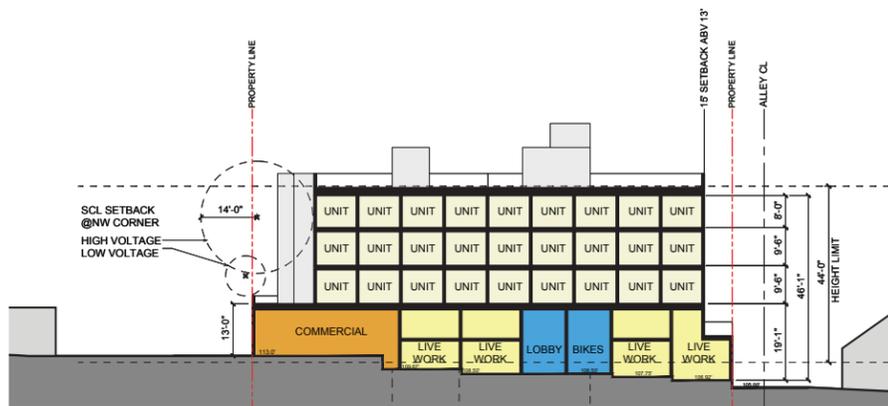
**SITE PLAN**  
SCALE: N.T.S.



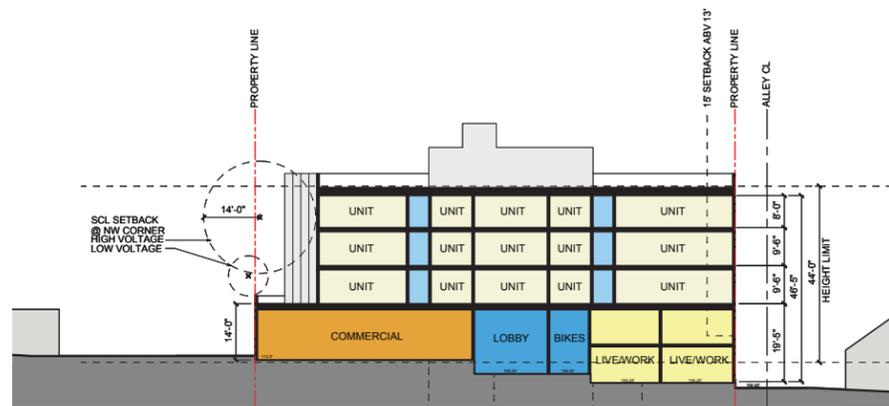
**SITE PLAN**  
SCALE: N.T.S.



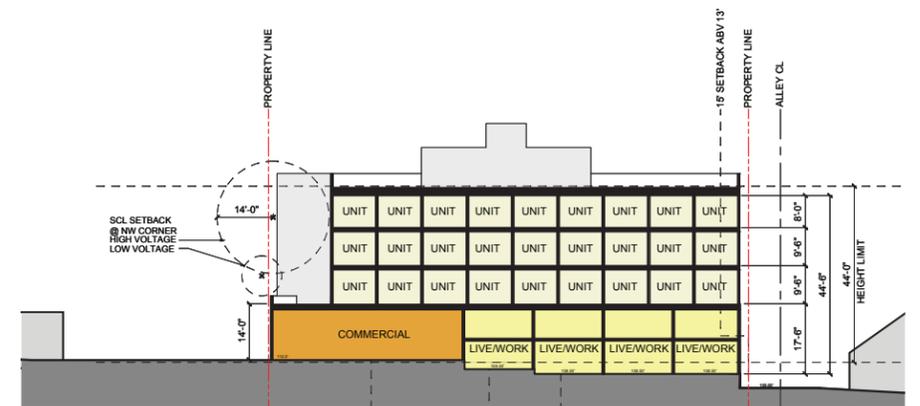
**SITE PLAN**  
SCALE: N.T.S.



**SECTION LOOKING NORTH**  
SCALE: N.T.S.



**SECTION LOOKING NORTH**  
SCALE: N.T.S.



**SECTION LOOKING NORTH**  
SCALE: N.T.S.

# DEPARTURE MATRIX

## SCHEME B: VALLEY COURTYARD

- 1 DEPARTURE**  
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7' setback above 40' for 71% (506 sf) of structure.

### PRIORITY GUIDELINES

- Uptown DC1/VI:** Treatment of Alleys
- Uptown DC2/II:** Architectural Concept + Consistency
- PL3/B.3:** Buildings w/ Live-Work Uses
- DC2/B.1:** Façade Composition
- PL2/B.1:** Eyes on the Street
- CS2/D.1:** Height, Bulk and Scale

### JUSTIFICATION

The request to decrease the setback allows for building modulation and creating a more dynamic elevation in keeping with the design language used at the other prominent, visible building facades. Rather than step the façade the continuous massing creates a strong edge adjacent to the alley. Future development would be 20+ feet from the proposed massing with the potential to be close to the same height as our proposed structure. Secondary items like stepped parapets further help to further decrease the massing as perceived from multiple vantage points.



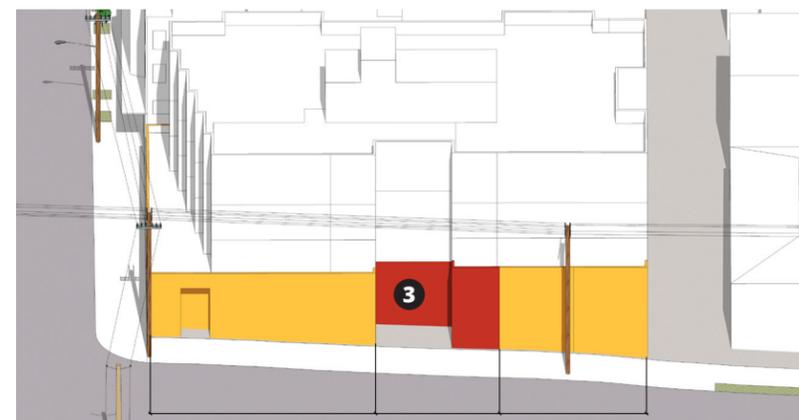
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**ALLOWED:** Residential uses limited to 20% of street-level facade.  
Façade length = 120' (120x0.20 = 24' maximum allowed)  
**PROPOSED:** 29' residential uses proposed. (29/120 = 24.2%)

### PRIORITY GUIDELINES

- PL3/A.1+2:** Entries + Ensemble of Elements,
- PL1/C.1:** Selecting Activity Areas
- DC2/E.1:** Legibility and Flexibility

### JUSTIFICATION

The primary residential entry has southern exposure and is identifiable and distinctive with clear lines of sight that are connected to the street. The building entrance is recessed to provide a small courtyard at Valley Street. A bike parking area is directly off of the lobby and visible from the street making the building easy to access and understand. This small increase in residential uses at Valley street allows for a well-proportioned courtyard that connects to the public realm and differentiates residential uses from commercial.



COMMERCIAL USE 54'-0"  
RESIDENTIAL USE 29'-0"  
COMMERCIAL LIVELINE USE 35'-0"

## SCHEME C: PREFERRED

- 1 DEPARTURE**  
**SMC 23.47A.014.B.3: SIDE SETBACK ABUTTING LR3-RC ZONE**  
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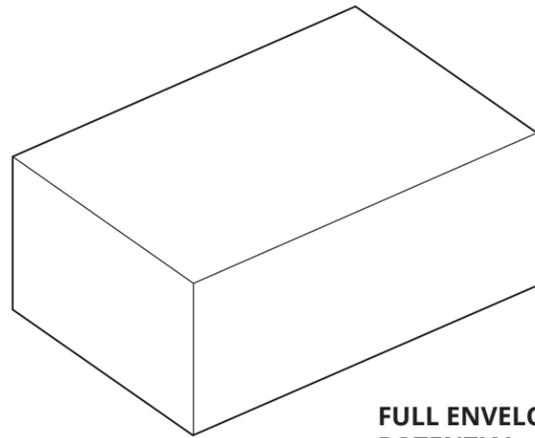


# CONCEPT DEVELOPMENT: CORNER MASSING

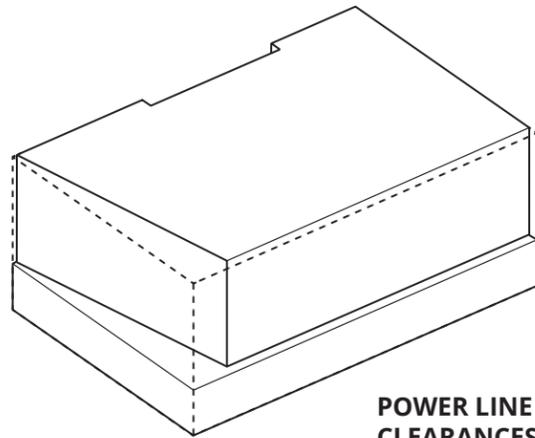


CONCEPT AERIAL VIEW

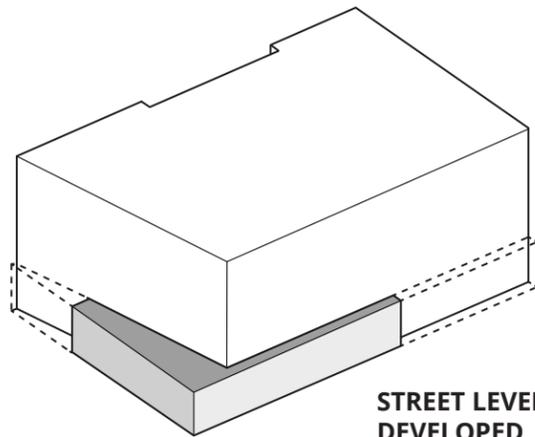
**DERIVATIVE MASSING**



**FULL ENVELOPE POTENTIAL**



**POWER LINE CLEARANCES APPLIED**

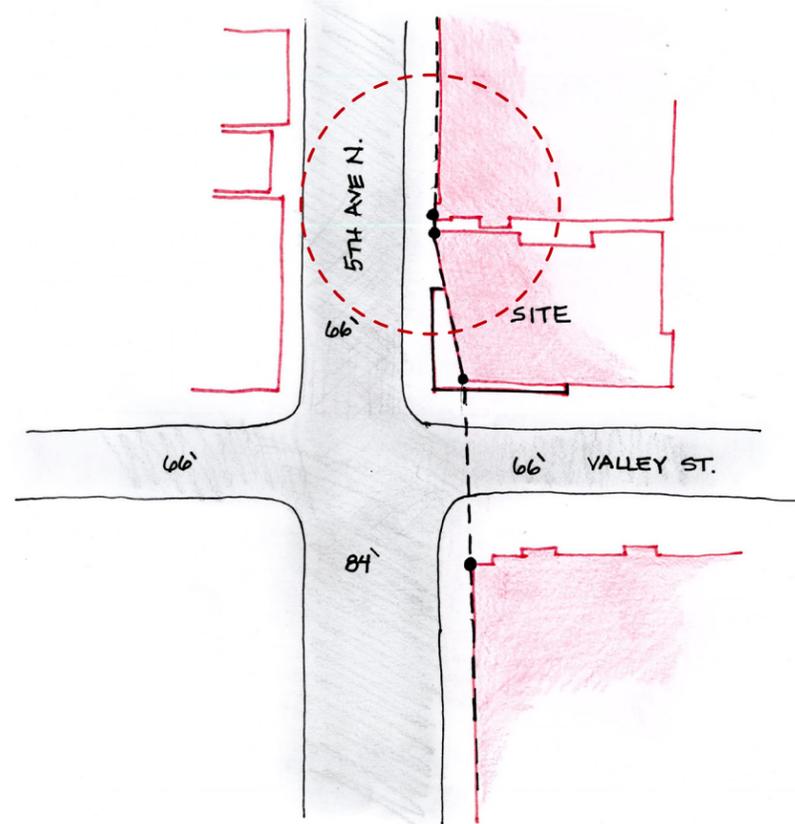


**STREET LEVEL DEVELOPED**

**CONCEPT DEVELOPMENT: CORNER MASSING**



**CONCEPT: NORTH APPROACH**



**CS2-C-1 / CS2-UPTOWN I: CORNER LOTS**

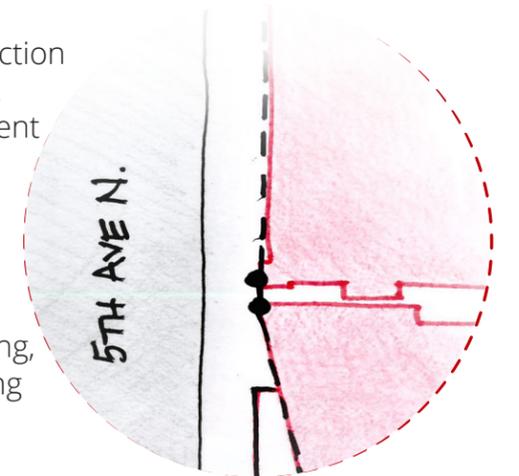
Street grid transition at the SE corner of intersection provides opportunity for strong corner element and upper story visual connection to development to the north and south.

**DC2-A-1: MASSING/SITE CHARACTERISTICS**

Massing is a direct response to overhead site constraints and the surrounding right-of-way characteristics. Allows massing to create a strong, visual connection to the street without occupying the whole corner.

**DC1-A-4: VIEWS AND CONNECTIONS**

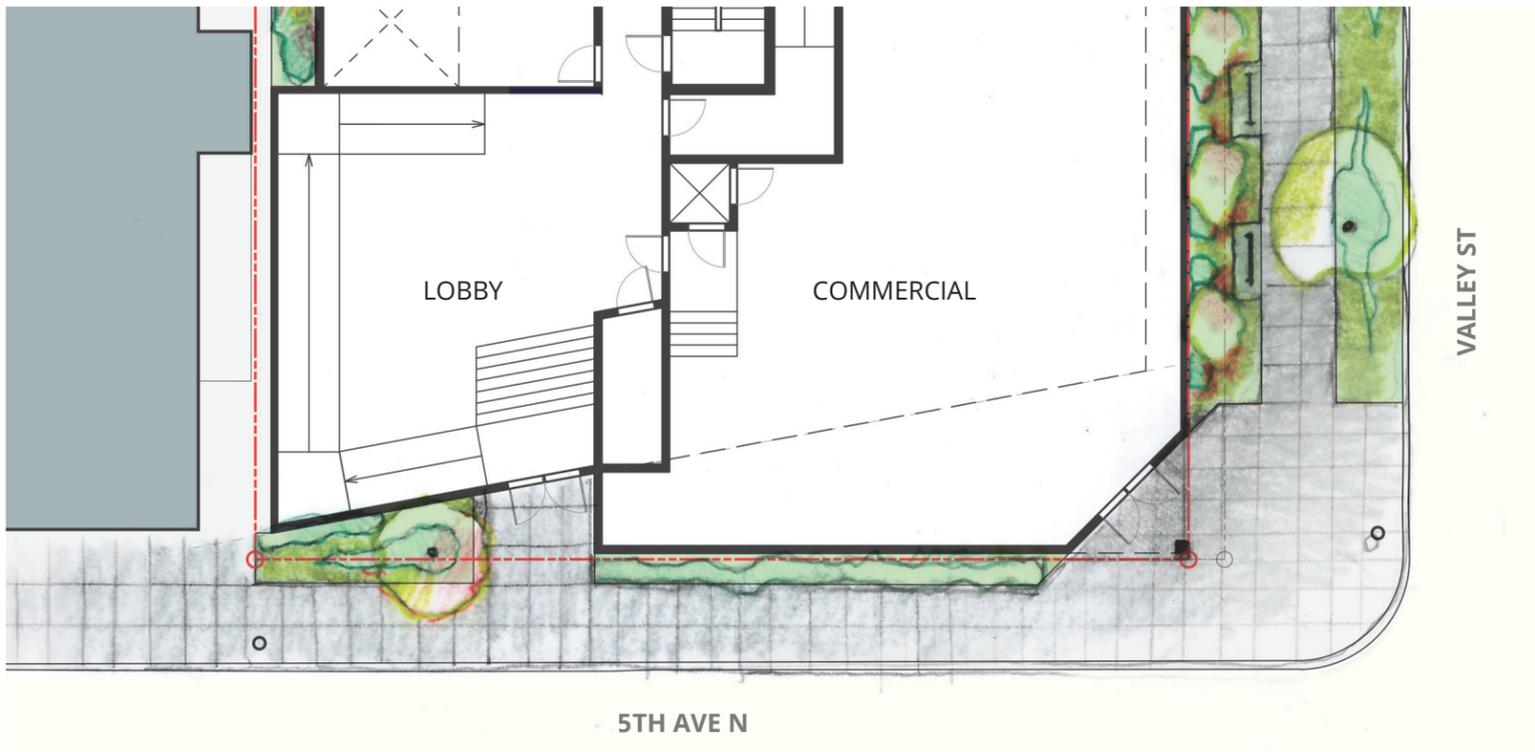
Ground floor uses are organized to maximize street connections. The massing is setback flush with the north neighbor to seam together development along the street edge and resolve a break in the width at the existing sidewalk.



# CONCEPT DEVELOPMENT: 5TH AVE N FRONTAGE



WEST ELEVATION



PARTIAL SITE PLAN (N.T.S) 

## 5TH AVE NORTH

- Simple form
- Angled massing responds to site constraints
- Expression of massing through window arrangement
- Strong commercial connection at sidewalk edge
- Large operable openings at commercial space strengthen interior/ exterior relationship
- Well defined entries
- Feature landscaping at residential entry where ROW transitions
- Opportunities for signage and specialty paving at commercial and residential entries



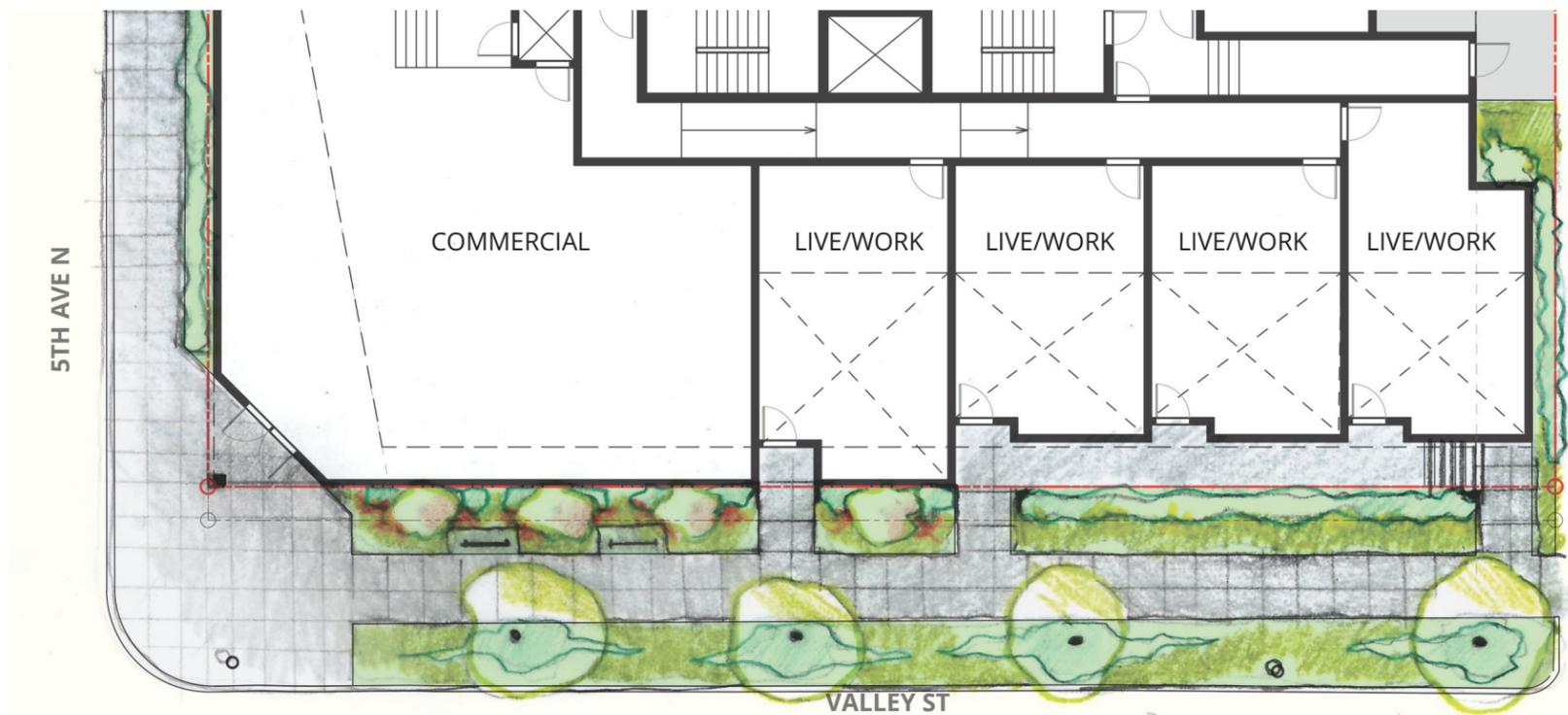
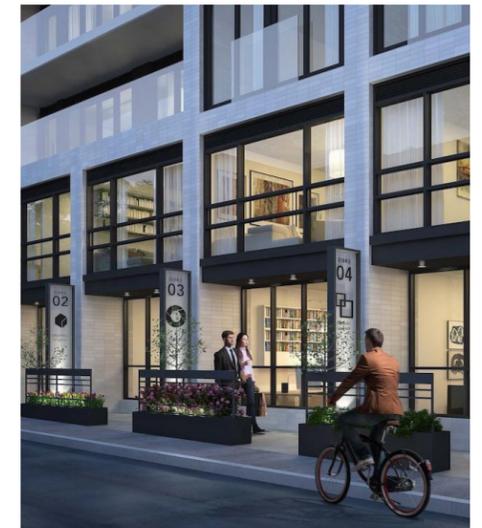
# CONCEPT DEVELOPMENT: VALLEY ST. FRONTAGE



SOUTH ELEVATION

## VALLEY STREET

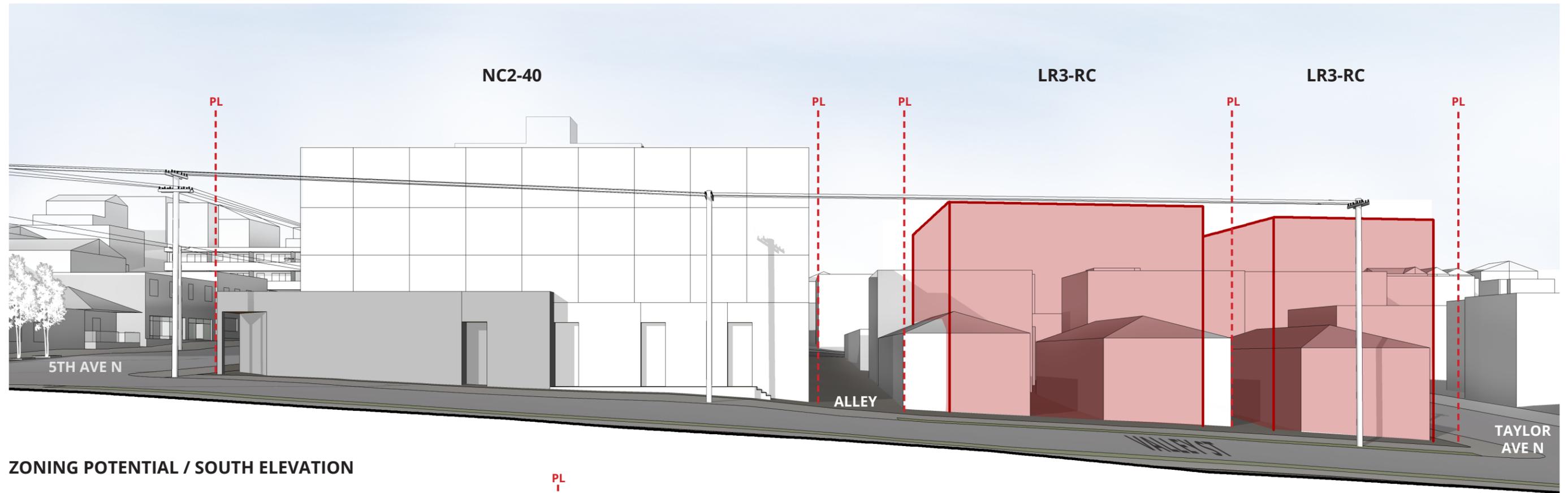
- Commercial entry erodes the corner while holding the corner
- Canopies as secondary scale element
- Live-Work buffer transition
- Ensemble of elements provide strong rhythm at street front
- Bike parking integrated into large landscape buffer along commercial frontage
- New street trees mimic ROW planting rhythm across Valley St.
- Plantings at grade defines change in material and massing



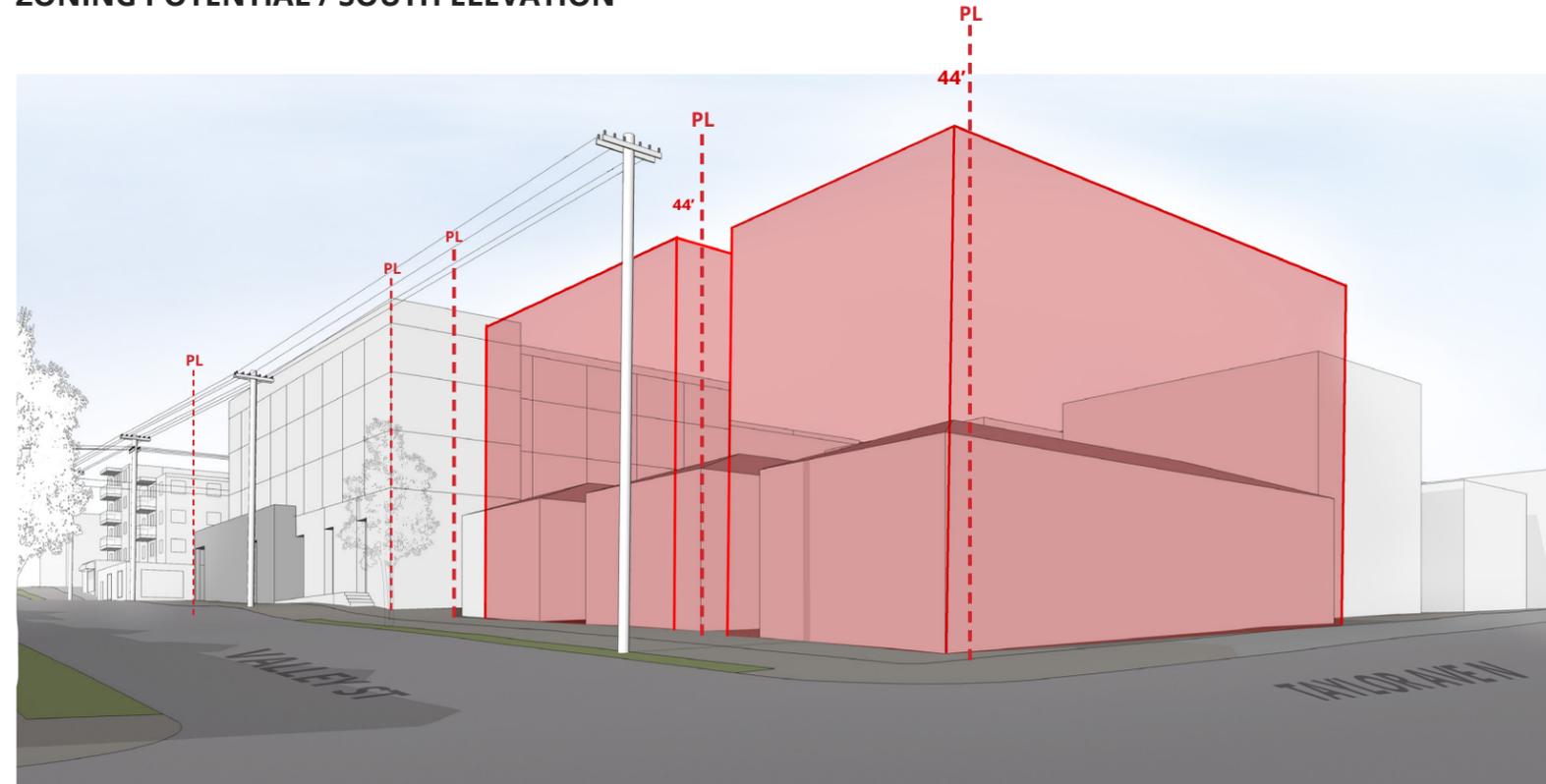
PARTIAL SITE PLAN (N.T.S.)



# CONCEPT DEVELOPMENT: ADJACENCY / ALLEY



ZONING POTENTIAL / SOUTH ELEVATION



ZONING POTENTIAL

## ADJACENCY TO LR3 ZONES

### CS2-D.3: ZONE TRANSITIONS

- Potential development envelope for neighboring LR3-RC zone is compatible with massing and uses proposed at corner for preferred scheme.

### PL3-B-3: LIVE-WORK EDGES

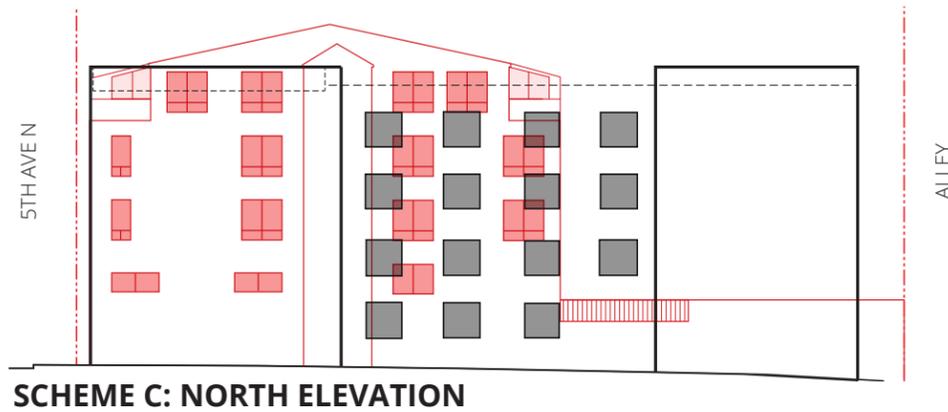
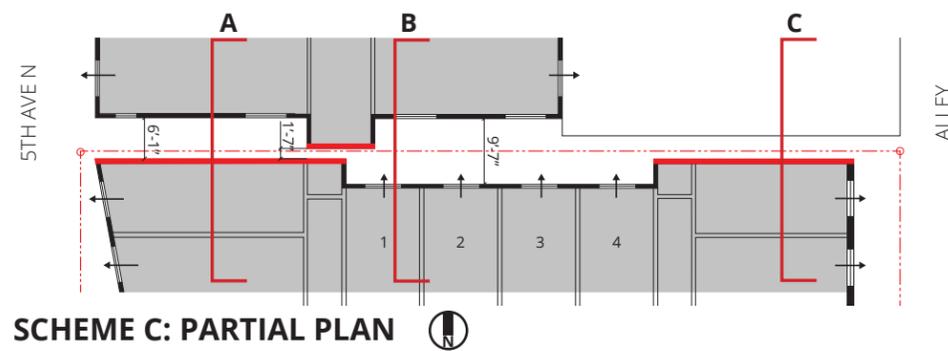
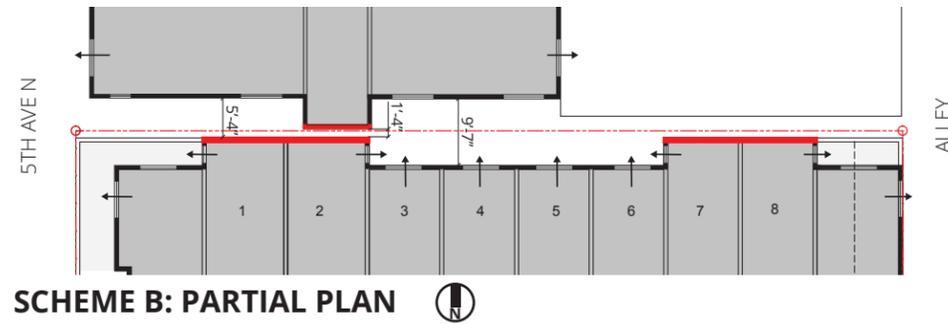
- Small scale commercial work spaces create rhythm for alley and zones transition to east. Shared 'stoop' at live-work entries spill out to the east.

### DC2-A-1: MASSING/SITE CHARACTERISTIC

- Strong, clean, massing at Southeast Building corner anchors the structure at the low end of the site and helps highlight commercial corner at the alley.

### PC3-UPTOWN 1: LANDSCAPING

- Opportunity to establish landscape and street trees standards for commercial and retail uses along Valley St. where little to no planting is currently provided.



KEY: ■ EXISTING STRUCTURE ■ PROPOSED STRUCTURE

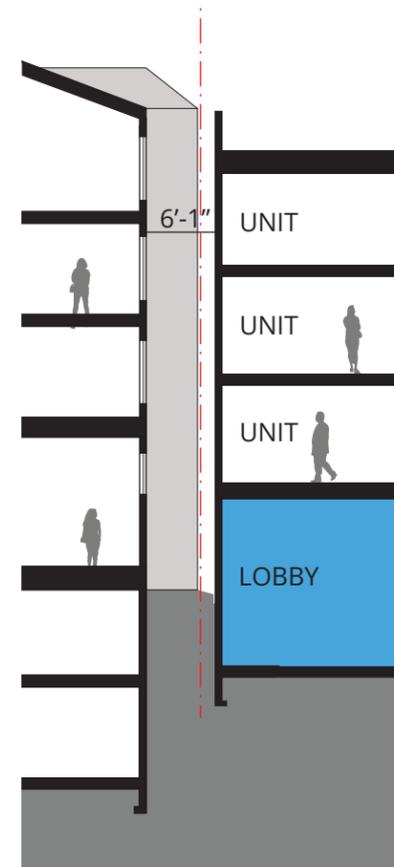
**ADJACENCY TO NORTH NEIGHBOR**

**SCHEME B + C: PRIVACY MITIGATION MEASURES**

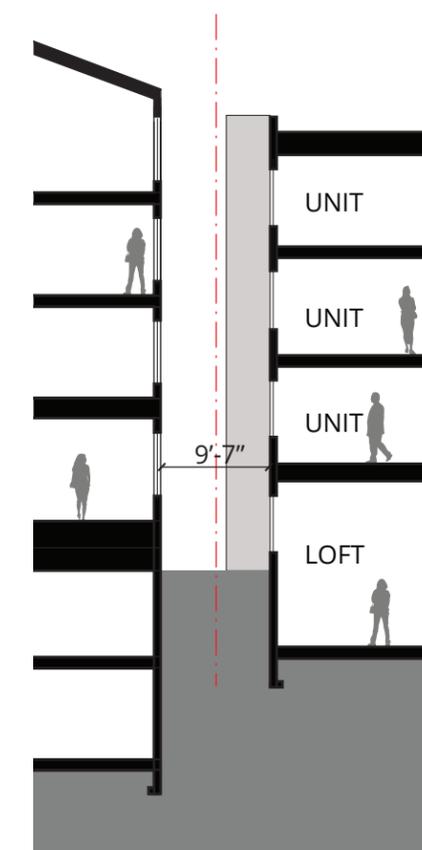
- SETBACK AT THE CENTER OF THE BUILDING TO ALLOW AMBIENT LIGHT AND UNIT SEPARATION TO THE NORTH.
- 9'-7" SEPARATION WHERE THERE IS POTENTIAL WINDOW OVERLAP.
- BLANK WALL CONDITIONS TO BE TREATED WITH A PATTERN OR MATERIAL TRANSITION TO CREATE SUBTLE VISUAL INTEREST AND VARIETY.
- NO ACCESS OR PRIVATE AMENITY AT GRADE TO LIMIT NOISE IMPACTS.
- PROPOSE LIGHT AND BRIGHT MATERIALS AT NORTH ELEVATION TO MAXIMIZE REFLECTIVE LIGHT.

**SCHEME C: ADDITIONAL MEASURES**

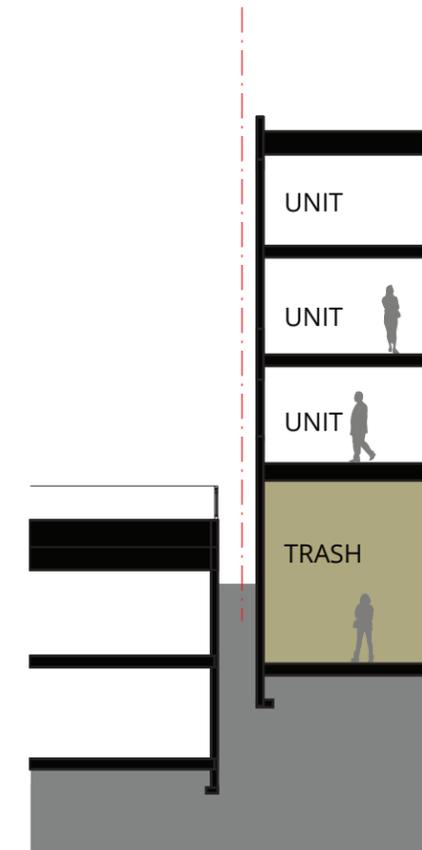
- SMALLER NUMBER OF UNITS WITH PREDOMINANT VIEWS ORIENTED TOWARDS THE NORTH NEIGHBOR. SCHEME B HAS LARGE NUMBER OF UNITS WITH LIMITED LIGHT, VIEWS AND VENTILATION OPPORTUNITIES.
- EAST BUILDING EDGE IS PULLED AWAY FROM ALLEY PROVIDING SHORTER OVERALL BUILDING LENGTH. SETBACK PROVIDES ADDITIONAL LIGHT TO REACH NORTH NEIGHBOR'S RAISED PATIO AMENITY SPACE.
- NW BUILDING EDGE ALIGNS WITH NORTH NEIGHBOR TO PROVIDE A SEAMLESS TRANSITION AT THE STREET.



SCALE: 1/16"=1'-0"

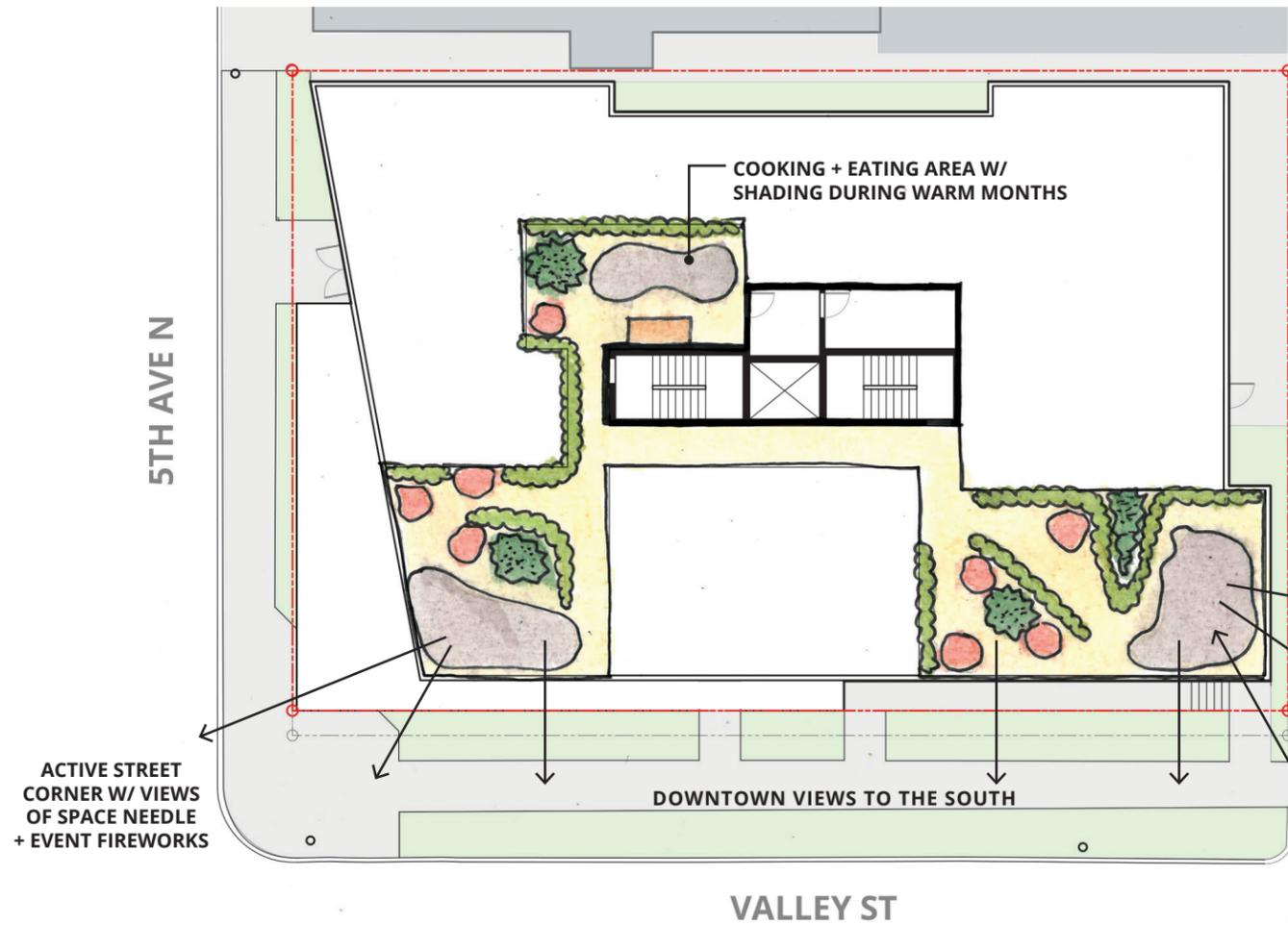


**SCHEME C: SECTION B**



**SCHEME C: SECTION C**

# CONCEPT DEVELOPMENT: ROOF / AMENITY AREA



## LANDSCAPE ELEMENTS

- Variety of seating and gathering spaces
- Planting buffers break down large spaces into smaller, quieter gathering spaces
- Planting provides visual, year-round interest
- Feature plantings give personality to each decking area
- Amenity areas pulled away from north neighbor

## LEGEND:

- FEATURE PLANTING
- TRANSITION PLANTING
- SMALL GATHERING
- LARGE GATHERING
- GRILL AREA

## PLANTING PALETTE



## ROOF PLAN

SCALE: 1/32" = 1'-0"



## FURNITURE CONCEPTS



Grill Area



Planter Boxes - Seasonal Plantings



Small Gathering Spaces

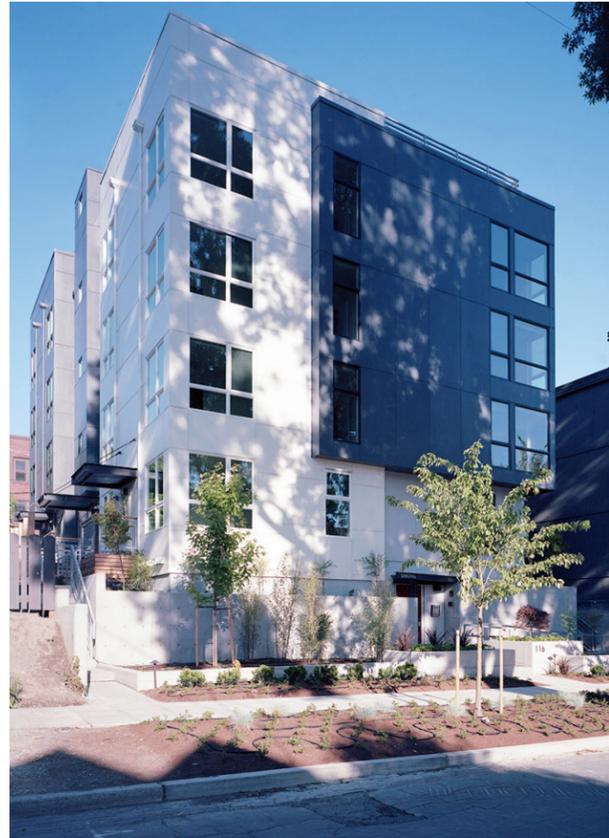


Composite Decking

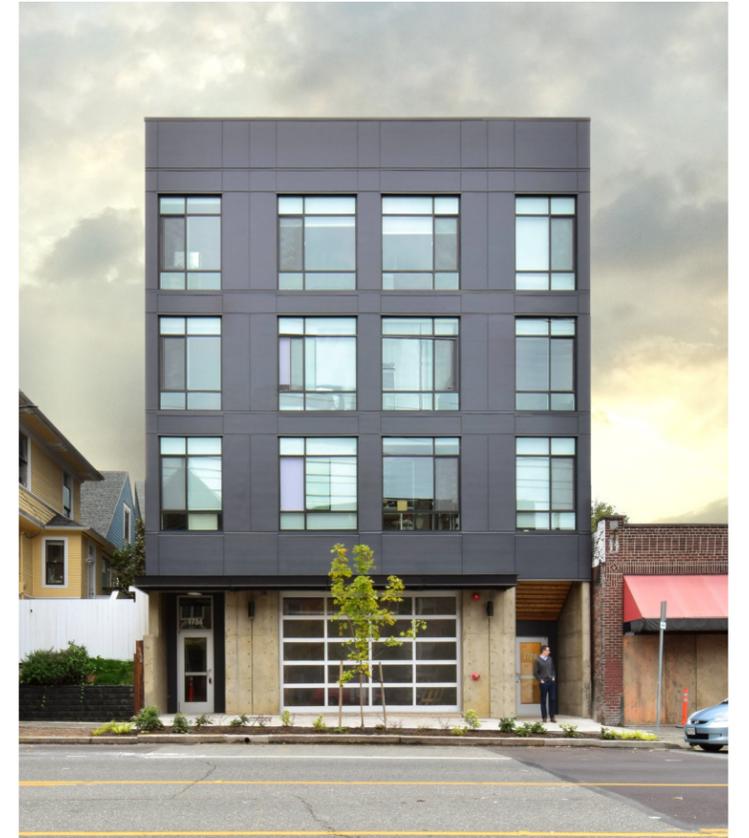
# RECENT WORKS



5902 22ND AVE NW



116 13TH AVE E



1728 12TH AVE



120 10TH AVE E (PERMITTING)



1806 23RD AVE



6301 15TH AVE NW (PERMITTING)