



1	COVER SHEET
2	TABLE OF CONTENTS
3	PROJECT INFORMATION
4	ZONING INFORMATION
5	TRANSPORTATION
6	NEIGHBORHOOD BUILDINGS
7	NEIGHBORHOOD BUILDINGS
8	SURVEY
9	PROPOSED SITE PLAN
10	LANDSCAPE / COMBINED FIRST FLOOR PLAN
11	AMENITY PLAN
12	FLOOR PLANS- DUPLEX UNITS A & B
13	FLOOR PLANS- TRIPLEX UNITS C,D,&E
14	ELEVATIONS- DUPLEX W & E
15	ELEVATIONS- DUPLEX & TRIPLEX SOUTH
16	ELEVATIONS- TRIPLEX W & E
17	ELEVATIONS- DUPLEX & TRIPLEX NORTH
18	BUILDING MATERIALS
19	PRIVACY- WINDOW STUDIES
20	PROPOSED ADJUSTMENTS
21	PROPOSED ALTERNATE ENTRY



PROJECT INFORMATION

ADDRESS:	1818 14th Ave Seattle WA 98122
DPD #:	3022465
OWNER:	Pasha Afichuk / Modern Homes LLC
APPLICANT:	Playhouse Design Group
CONTACT:	Justin Kliewer

PROJECT PROGRAM

LOT SIZE:	4,800 sf
BUILDING TYPE:	Townhouses (Duplex and Triplex)
APPROX FAR:	6043 sf (higher FAR of 1.4 used)
UNIT COUNT:	5
UNIT SIZES:	1220 sf - 1260 sf
ABOVE-GROUND STORIES:	3
PARKING STALLS:	0 (non provided- Urban Village)
APPROX FAR:	6043 sf (higher FAR of 1.4 used)

PROJECT DESCRIPTION

The proposed project comprises will demolish the existing structure and construct (1) 2 unit townhouse and (1) 3 unit townhouse with rooftop decks.

The project will achieve a 4-star Built Green certification to maximize allowable F.A.R.

HIGHEST PRIORITY DESIGN GUIDELINES

- CS1 C: TOPOGRAPHY**

The site slopes up to the east, away from 14th Ave. The triplex units are step up with the grade. Each unit is 1.5’ above the unit directly to the west. This stepping serves the dual purpose of delineating each unit from the others.
- CS2 B: ADJACENT SITES, STREETS AND OPEN SPACE**

The site entry has been relocated to provide a visual connection from the street to the rear triplex units. The triplex is staggered to the south as it moves away from the street so that no unit entries are blocked from view. The duplex entries are oriented towards the street, and the building is set back 10’ from the property line to provide open space adjacent to the sidewalk.
- CS3 A: EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES**

The character of the neighborhood is varied in both style and scale. This project continues the neighborhood evolution towards contemporary design. The massing breaks down the bulky massing of neighboring projects with staggered facades and material articulation.
- PL3 A: ENTRIES**

The duplex unit entries are oriented towards 14th Ave. The triplex entries are located along the south side yard, similar to the neighboring building to the south. A pedestrian walkway connects directly to 14th Ave, providing a clear line of site to unit entries. Overhead canopies further delineate each entry.
- DC1 B: VEHICULAR ACCESS AND CIRCULATION**

Legal parking spaces are not provided for each unit, however there will be a loading and temporary parking space located off the alley at the rear of the space. This space is screened from the pedestrian walkway by the screened garbage and recycling area.

- DC2 C: SECONDARY ARCHITECTURAL FEATURES**

Visual depth and interest is provided through the use of overhead canopies and architectural projections. The canopies, along with the wood cladding, serve a dual purpose of highlighting unit entries, while the architectural projections delineate between units. The open railing on the duplex roof deck also serves to decrease the building massing and provide a stepped street facade that is higher at the building centerline.
- DC4 A: EXTERIOR ELEMENTS AND FINISHES**

Treatment of the proposed facades consists of 2 colors per building (one light and one dark) and accent wood aligned with the building entries. The contrasting scale of the wood boards and the Hardie panel (or similar) siding provides visual interest. The proposed dark colors for the duplex and triplex will be different but relating, providing visual contrast while retaining a sense of continuity within the project.
- DC4 D: TREES, LANDSCAPE, AND HARDSCAPE MATERIALS**

Please note that the landscape plan is preliminary, and subject to change pending implementation of the 2016 Stormwater Code, which goes into effect on Jan 1 2016. The full code is not yet available at the time of this packet, and the impacts on this project are unforeseeable.



ZONING

The site is located in an LR-3 zone, one street away from an NC2P-40 zone (15th Avenue) and one street away from the Capitol Hill Station Overlay District. It is in the Capitol Hill Urban Village and a frequent transit area, therefore no parking is required.

CODE REFERENCESMC 23.45.510 - FAR

Higher FAR of 1.4 allowed for townhouses

$4800 \text{ sf} \times 1.4 = 6720 \text{ sf}$ allowed, 6043 sf proposed

SMC 23.45.512 - Density limits

No limit for buildings using higher FAR

SMC 23.45.514 - Structure Height

30'-0" maximum, +4' parapet, +10' stair penthouse

See building elevations for max height

SMC 23.45.518 - Setbacks and Separations

7'-0" avg/5'-0" min front, rear and side (facade greater than 40')

See page 20 for proposed adjustment

SMC 23.45.522 - Amenity Space

$4800 \text{ sf} \times .25 = 1200 \text{ sf}$ (600 at ground level) required

2289 sf (650 at ground level) provided

SMC 23.45.524 - Landscaping

Proposed Landscape design will achieve .6 Green Factor Score

Existing large street trees in planting strip to remain

SMC 23.45.527 - Facade Length

Facade length - up to 65% within 15' of lot line

$120' \times .65 = 78'$ allowed, see page 20 for proposed adjustment

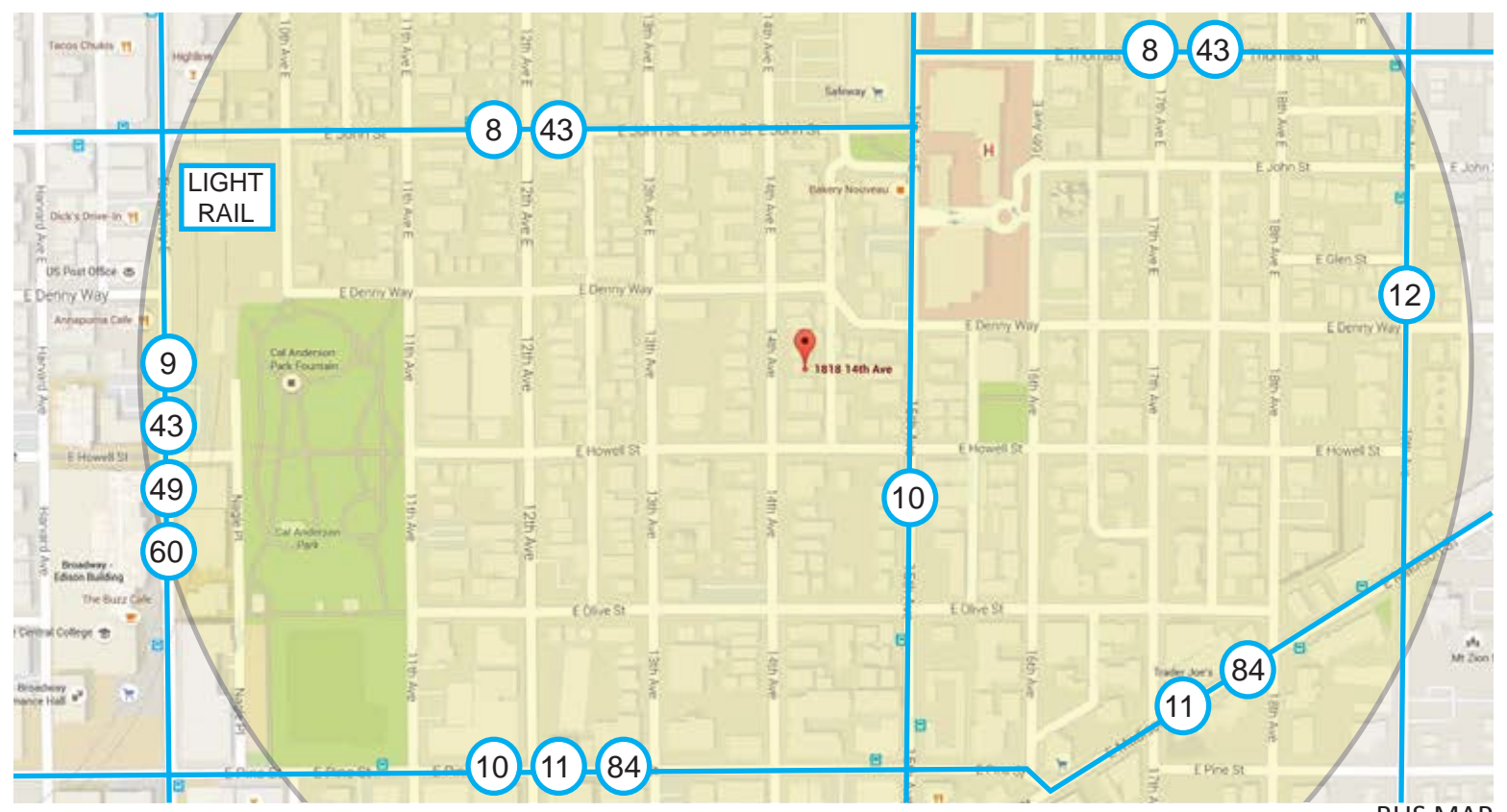
SMC 23.54.015 - Parking (Table B)

0 parking spaces required- Capitol Hill Urban Center

SMC 23.54.040 - Solid Waste and Recyclables Storage

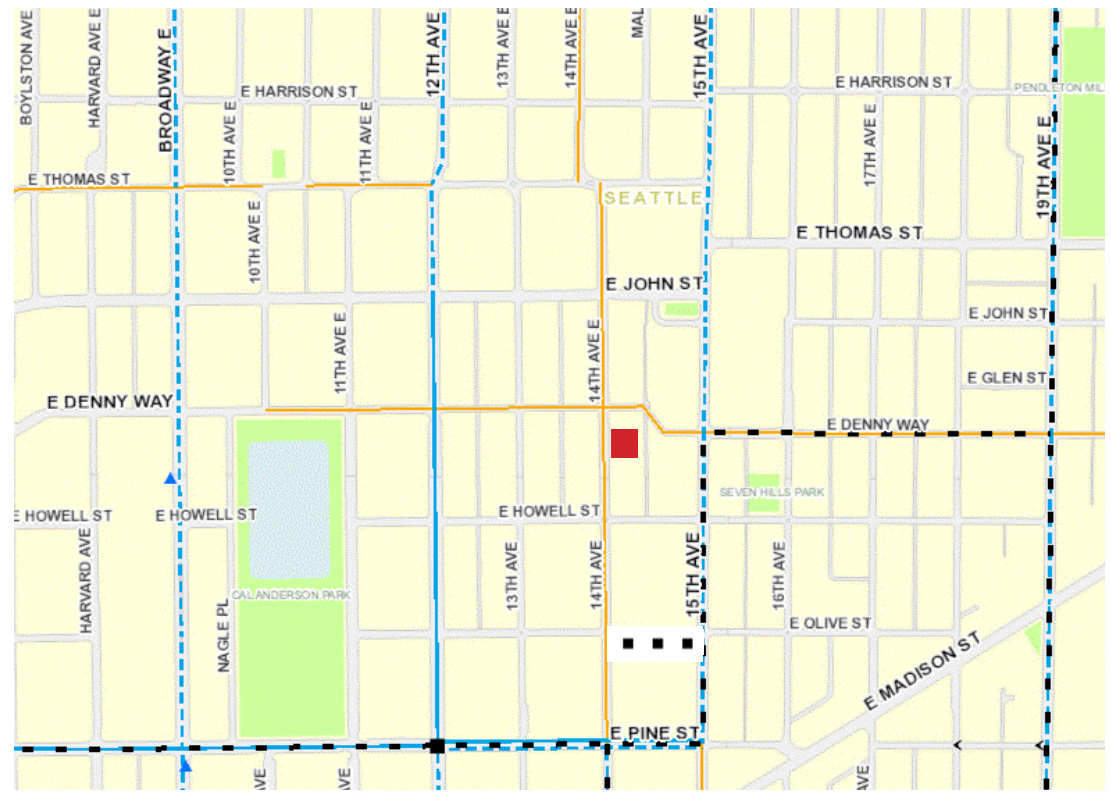
All solid waste recycle and garbage containers are located in the exterior amenity space at each individual residential unit. Waste and recyclable staging and pickup will be located in the paved drop off space adjacent to the alley





1/2 MILE RADIUS

BUS MAP



BIKE MAP

- UNMARKED, UNSIGNED CONNECTOR
- SIGNED ROUTE
- ON-STREET BICYCLE LANES
- SHARROW

PUBLIC TRANSPORTATION

The project is located in an area with access to several public transit routes within a 1/2 mile radius.

14th Avenue and East Denny way are both unsigned connectors. 12th Avenue and 15th Avenue both have on-street bicycle lanes.

The adopted 2014 Seattle Bicycle Master Plan lists 14th Ave as a recommended Local Connector Neighborhood Greenway and 16th Ave and E Denny Way as Citywide Network Neighborhood Greenways.



NEIGHBORHOOD DESCRIPTION

The site is surrounded mainly by a mixture of townhouses, apartment buildings, and single family houses. The buildings were constructed between 1900 and 2002 and are in a variety of style and scale. The major arterial streets are 15th Avenue one street to the east and E John Street two streets to the north.





14th AVENUE PANORAMA LOOKING EAST



14th AVENUE PANORAMA LOOKING WEST

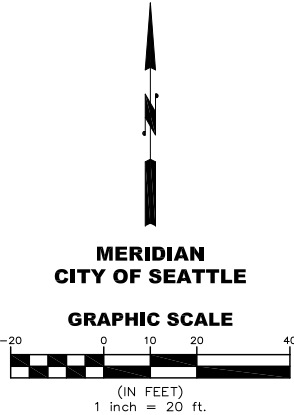
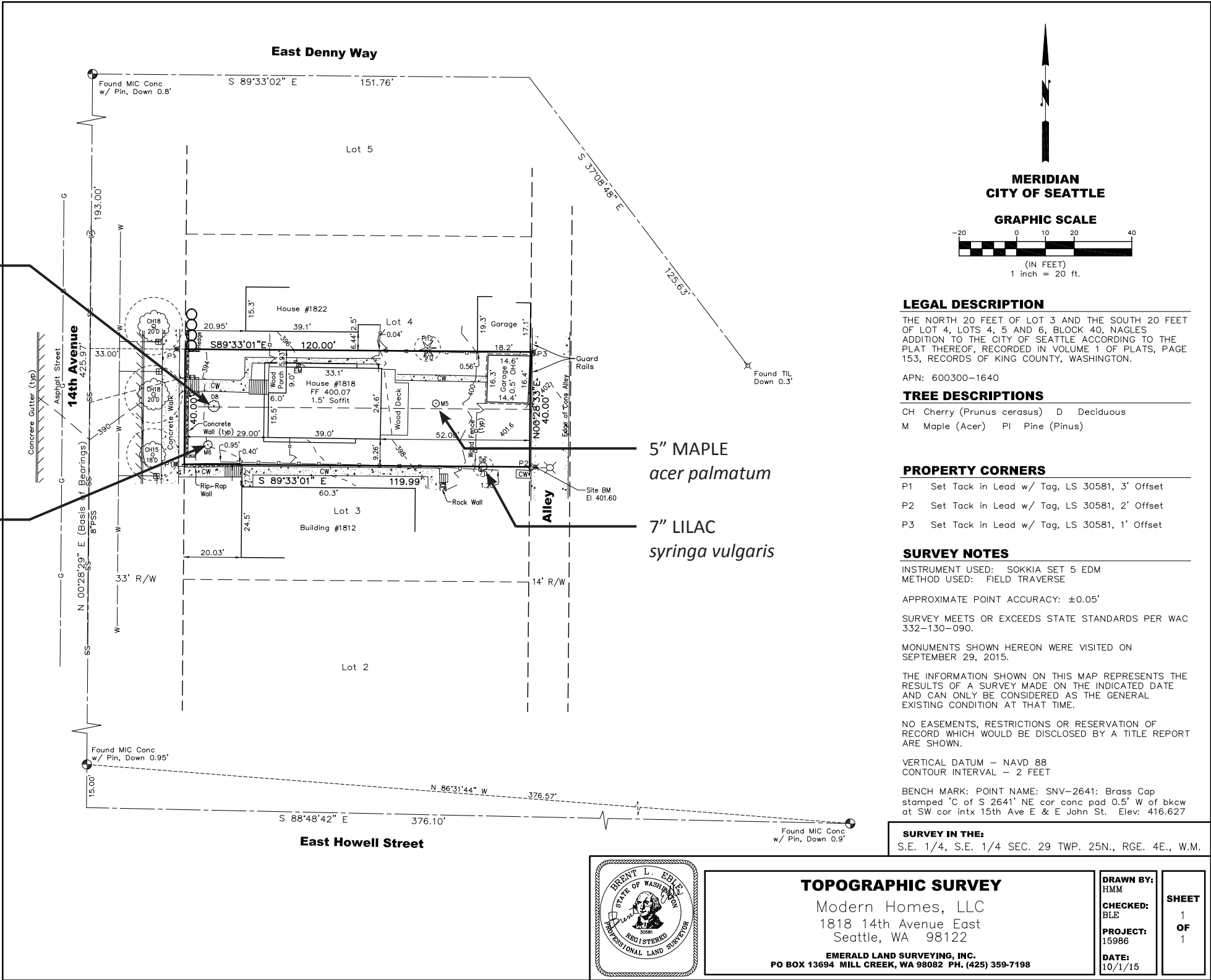


8" MAGNOLIA
magnolia grandiflora

6" MAGNOLIA
magnolia grandiflora

5" MAPLE
acer palmatum

7" LILAC
syringa vulgaris



LEGAL DESCRIPTION

THE NORTH 20 FEET OF LOT 3 AND THE SOUTH 20 FEET OF LOT 4, LOTS 4, 5 AND 6, BLOCK 40, NAGLES ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 1 OF PLATS, PAGE 153, RECORDS OF KING COUNTY, WASHINGTON.

APN: 600300-1640

TREE DESCRIPTIONS

CH Cherry (*Prunus cerasus*) D Deciduous
M Maple (*Acer*) PI Pine (*Pinus*)

PROPERTY CORNERS

- P1 Set Tack in Lead w/ Tag, LS 30581, 3' Offset
- P2 Set Tack in Lead w/ Tag, LS 30581, 2' Offset
- P3 Set Tack in Lead w/ Tag, LS 30581, 1' Offset

SURVEY NOTES

INSTRUMENT USED: SOKKIA SET 5 EDM
METHOD USED: FIELD TRAVERSE

APPROXIMATE POINT ACCURACY: ±0.05'

SURVEY MEETS OR EXCEEDS STATE STANDARDS PER WAC 332-130-090.

MONUMENTS SHOWN HEREON WERE VISITED ON SEPTEMBER 29, 2015.

THE INFORMATION SHOWN ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE INDICATED DATE AND CAN ONLY BE CONSIDERED AS THE GENERAL EXISTING CONDITION AT THAT TIME.

NO EASEMENTS, RESTRICTIONS OR RESERVATION OF RECORD WHICH WOULD BE DISCLOSED BY A TITLE REPORT ARE SHOWN.

VERTICAL DATUM - NAVD 88
CONTOUR INTERVAL - 2 FEET

BENCH MARK: POINT NAME: SNV-2641: Brass Cap stamped 'C of S 2641' NE cor conc pad 0.5' W of bkcn at SW cor intx 15th Ave E & E John St. Elev: 416.627

SURVEY IN THE:
S.E. 1/4, S.E. 1/4 SEC. 29 TWP. 25N., RGE. 4E., W.M.



TOPOGRAPHIC SURVEY

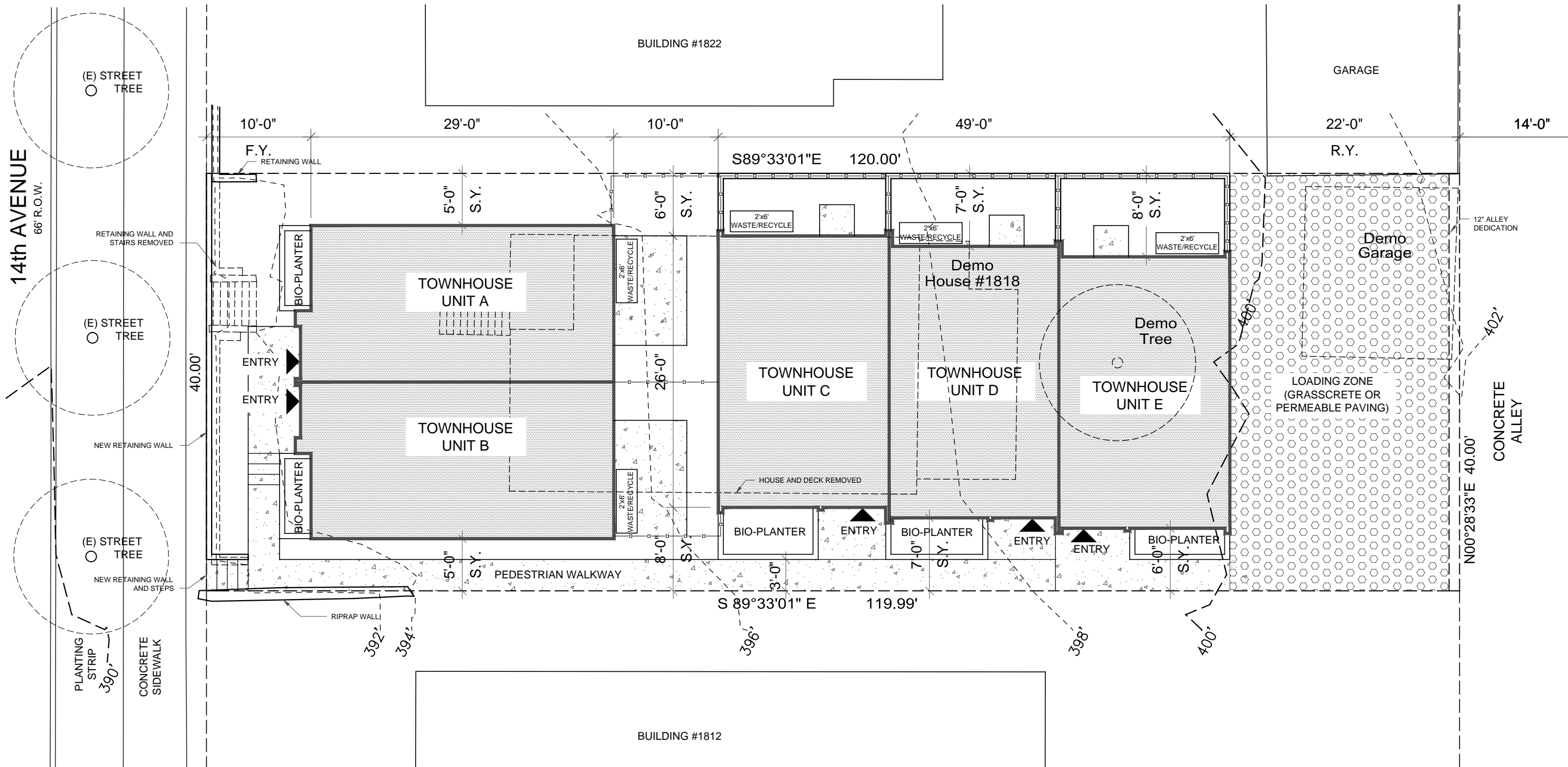
Modern Homes, LLC
1818 14th Avenue East
Seattle, WA 98122

EMERALD LAND SURVEYING, INC.
PO BOX 13694 MILL CREEK, WA 98082 PH. (425) 359-7198

DRAWN BY:
HMM
CHECKED:
BLE
PROJECT:
15986
DATE:
10/1/15

SHEET
1
OF
1



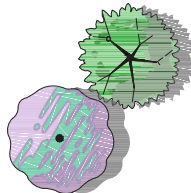


LANDSCAPE PLAN IS PRELIMINARY AND SUBJECT TO CHANGE PENDING 2016 SEATTLE STORM WATER CODE



PLANT SCHEDULE

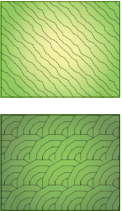
TREES



BOTANICAL NAME / COMMON NAME

- Acer circinatum / Vine Maple
- Prunus cerasifera 'Crimson Pointe' / Crimson Pointe Plum

GROUND COVERS



BOTANICAL NAME / COMMON NAME

- Lysimachia nummularia 'Aurea' / Golden Creeping Jenny
- Pachysandra terminalis / Japanese Spurge

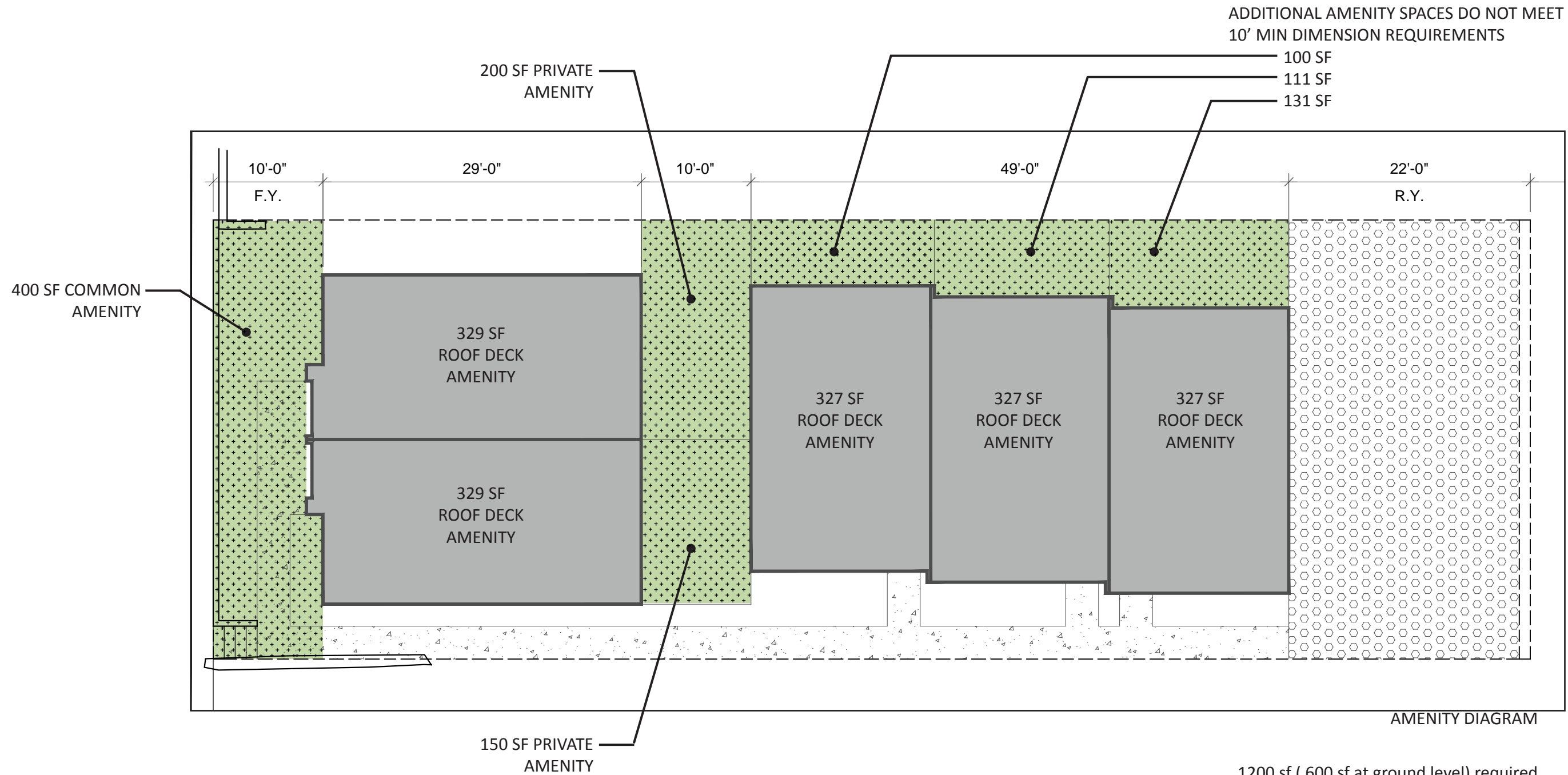
SHRUBS



BOTANICAL NAME / COMMON NAME

- Acorus gramineus 'Ogon' / Golden Variegated Sweetflag
- Aralia cordata 'Sun King' / Sun King Aralia
- Blechnum spicant / Deer Fern
- Carex testacea / Orange Sedge
- Chamaecyparis pisifera 'Golden Mopps' / Golden Mopps False Cypress
- Euphorbia x 'Ruby Glow' / Ruby Glow Euphorbia
- Fargesia robusta / Fountain Bamboo
- Hakonechloa macra 'Aureola' / Golden Variegated Hakonechloa
- Hosta x 'Blue Angel' / Plantain Lily
- Hydrangea quercifolia / Oakleaf Hydrangea
- Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly
- Miscanthus sinensis 'Strictus' / Porcupine Grass
- Nassella tenuissima / Mexican Feather Grass
- Rhododendron x 'Ramapo' / Ramapo Rhododendron

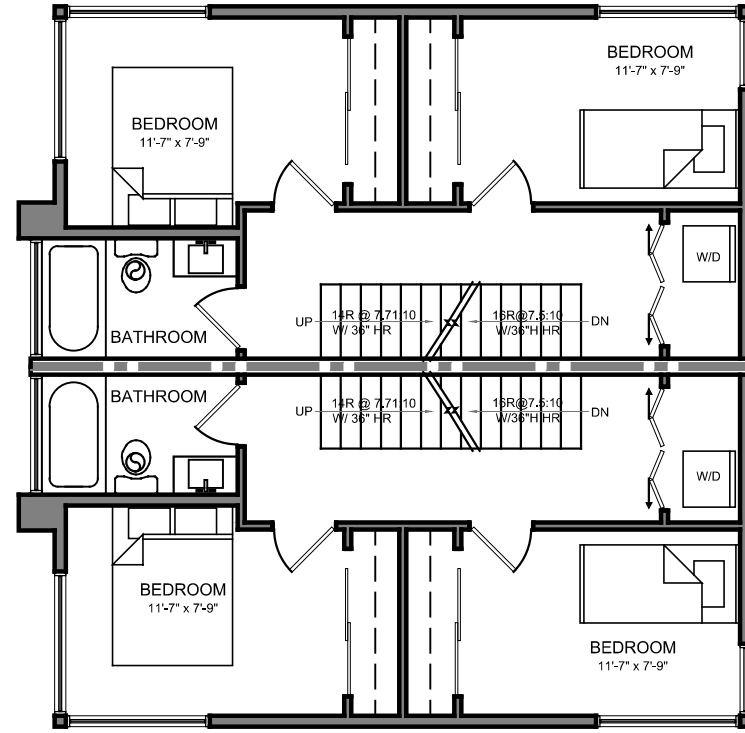




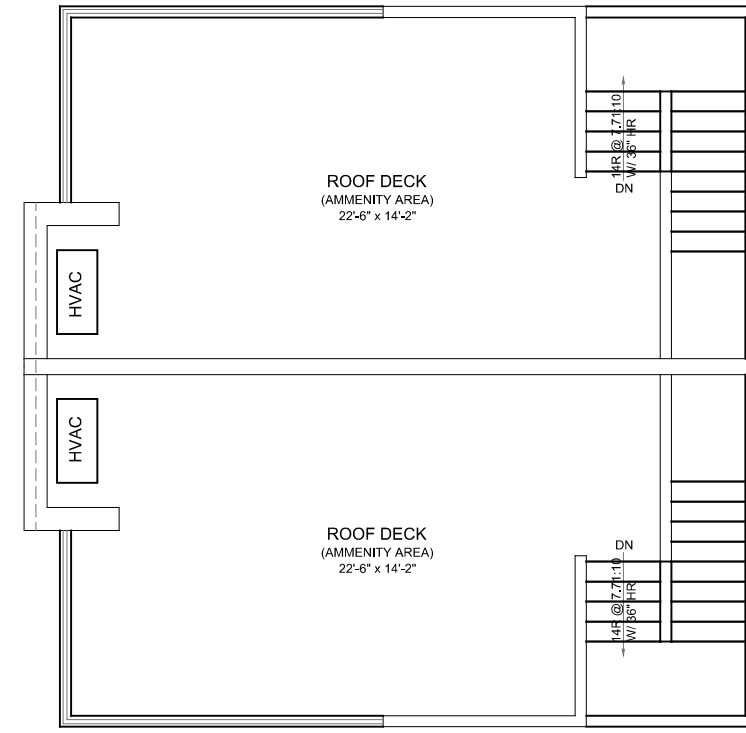
1200 sf (600 sf at ground level) required
2289 sf (650 sf at ground level) provided

Note: additional ground level amenity space does not meet the 10' min horizontal dimension for amenity space located at side lot line per SMC 23.45.522.D.4.a

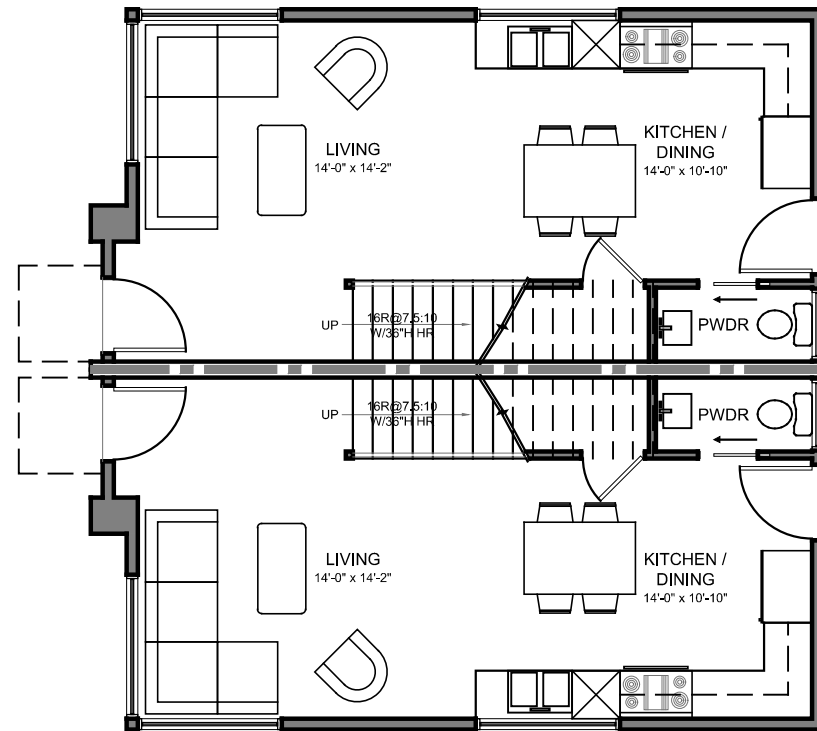




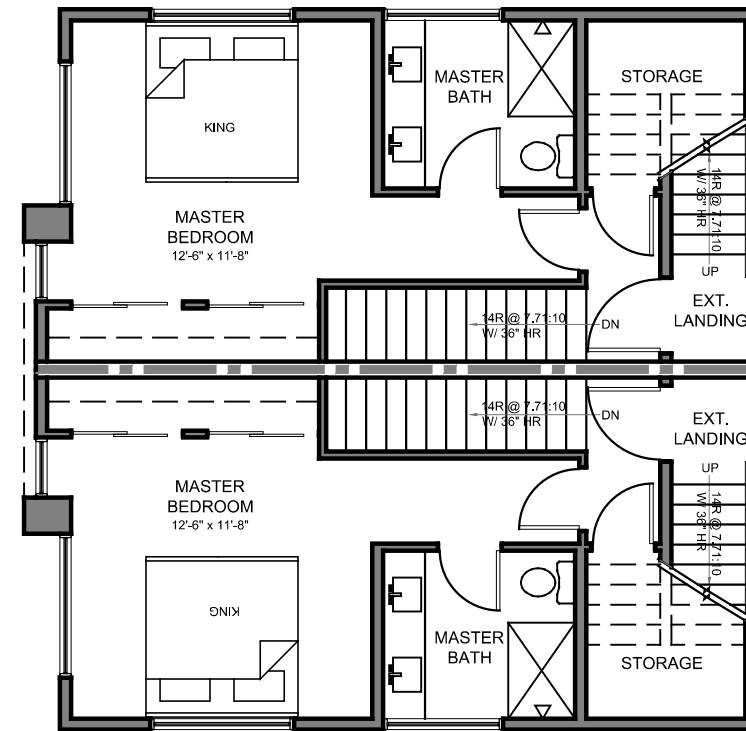
SECOND FLOOR



ROOF DECK

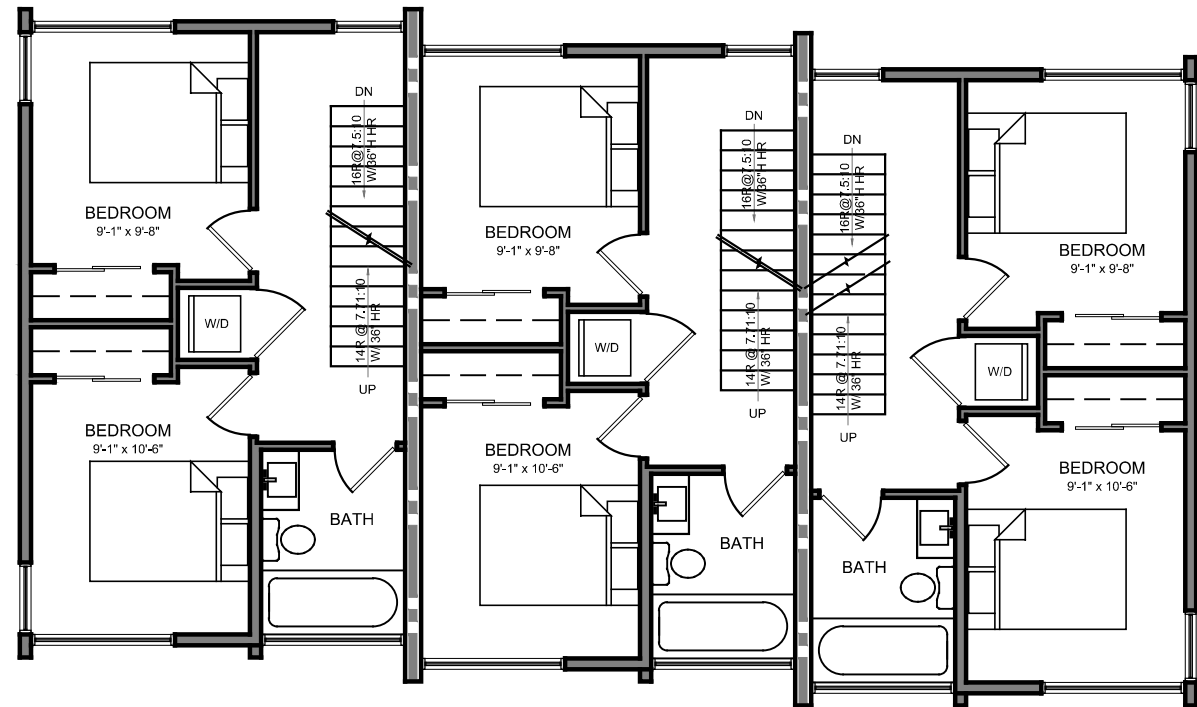


FIRST FLOOR

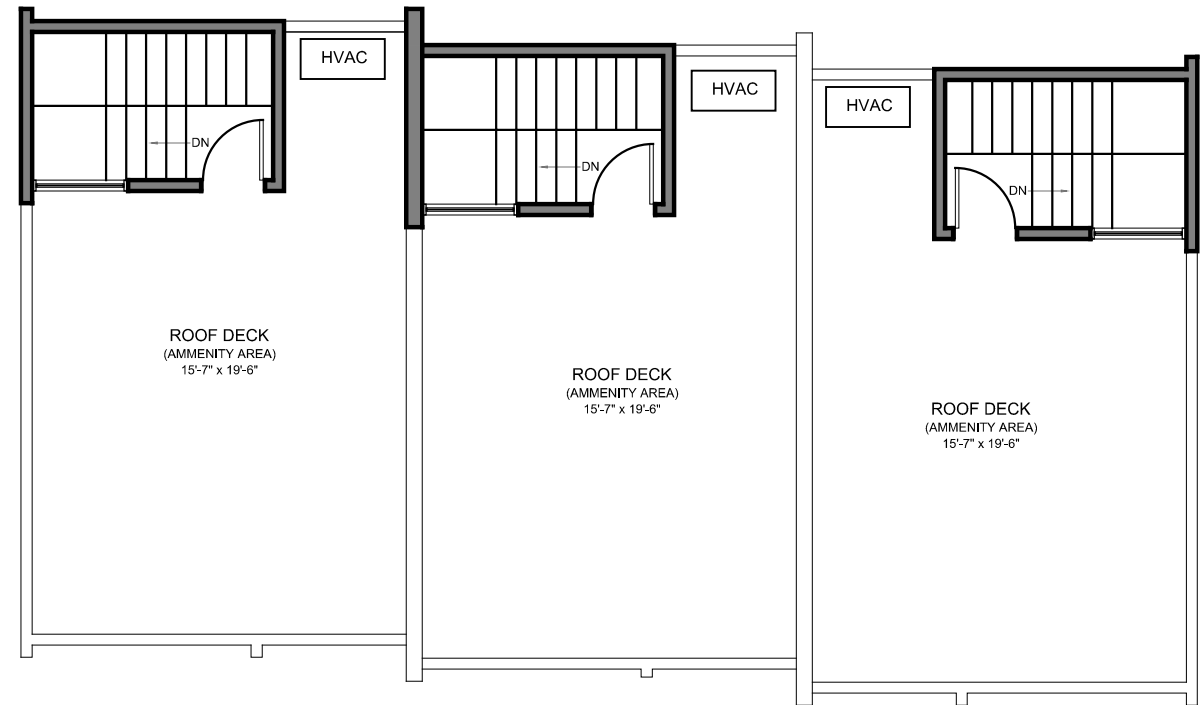


THIRD FLOOR

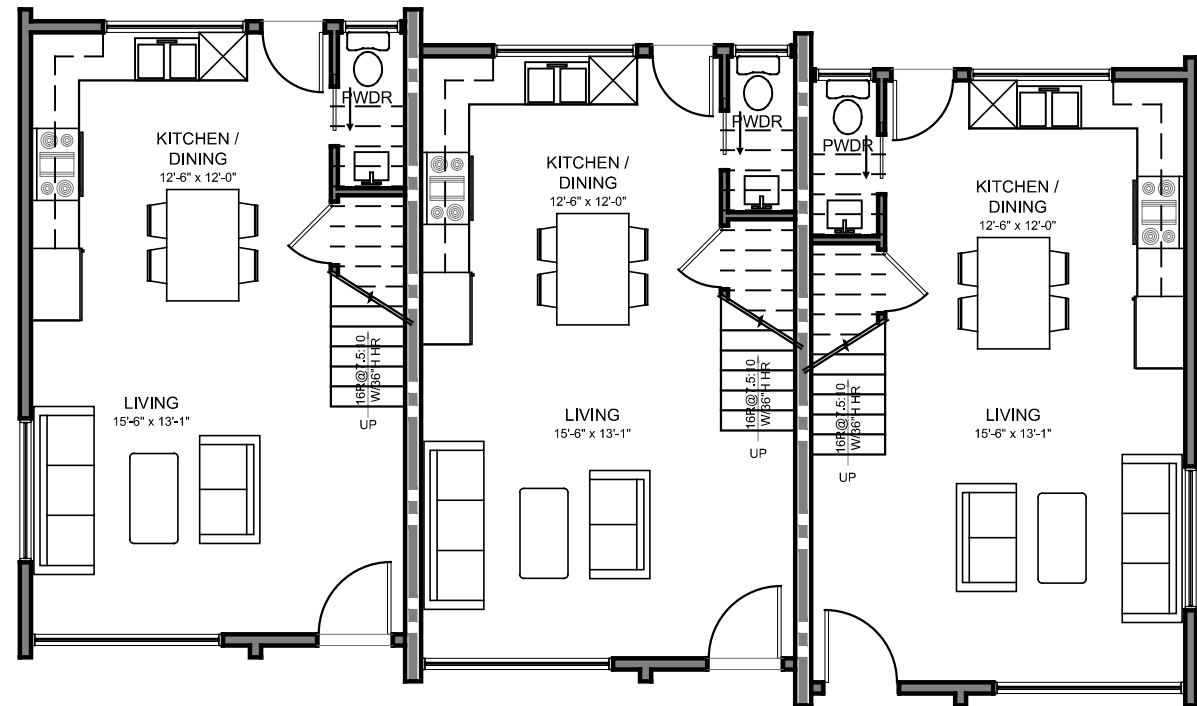




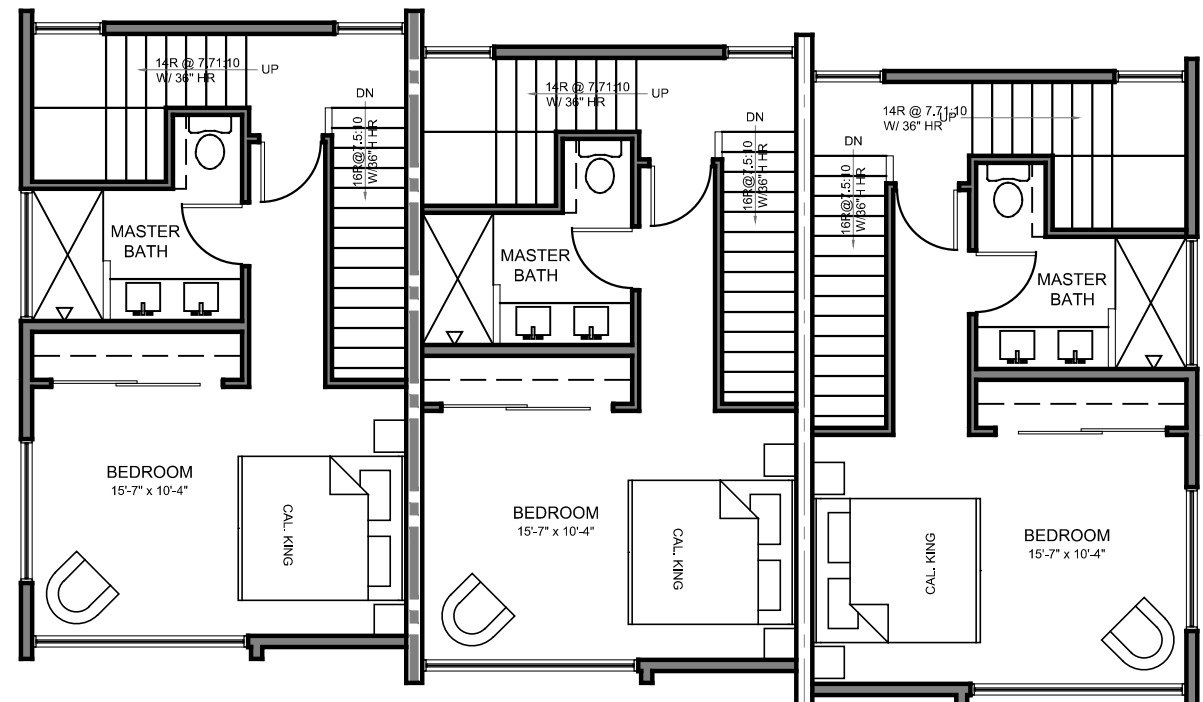
SECOND DECK



ROOF DECK



FIRST FLOOR



THIRD FLOOR

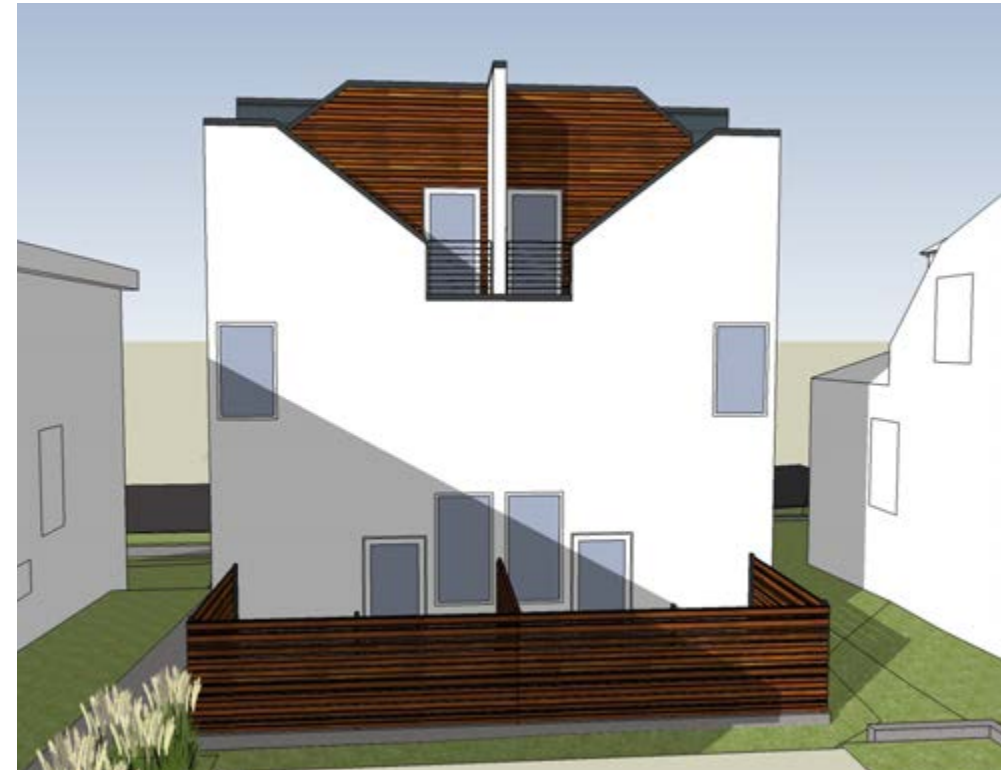


STREET ORIENTED
PEDESTRIAN UNIT ENTRIES

NEW PEDESTRIAN SITE
ENTRY ALIGNED WITH
TRIPLEX ENTRY PATH



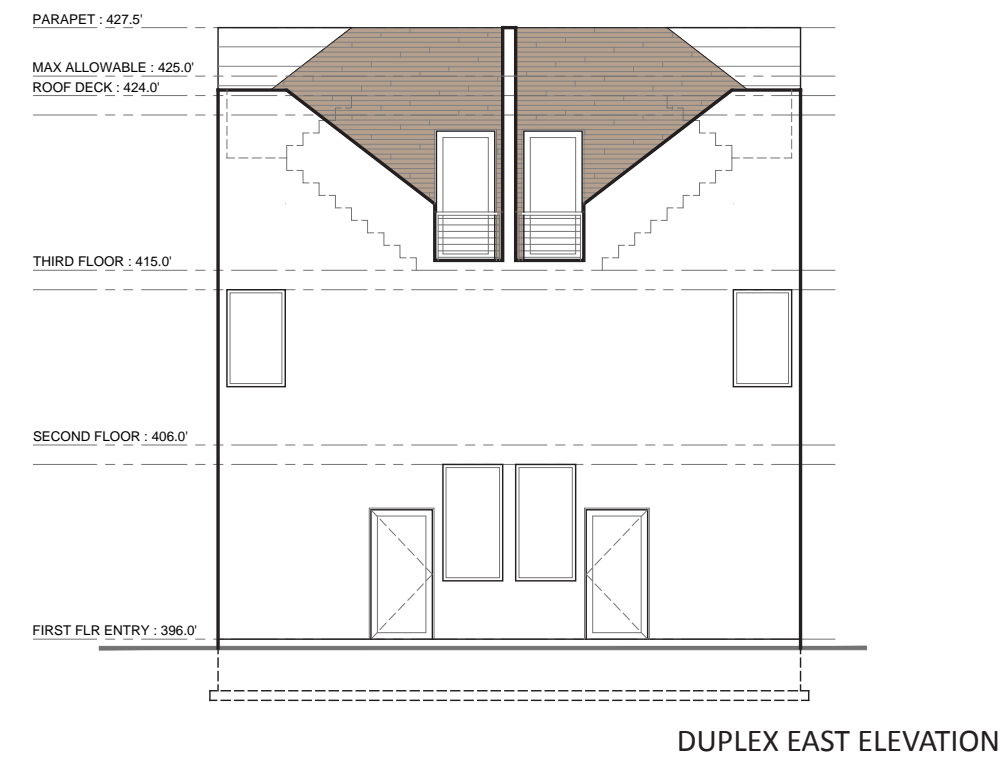
DUPLEX WEST ELEVATION



DUPLEX EAST ELEVATION



DUPLEX WEST ELEVATION



DUPLEX EAST ELEVATION





SOUTH ELEVATION



SOUTH ELEVATION

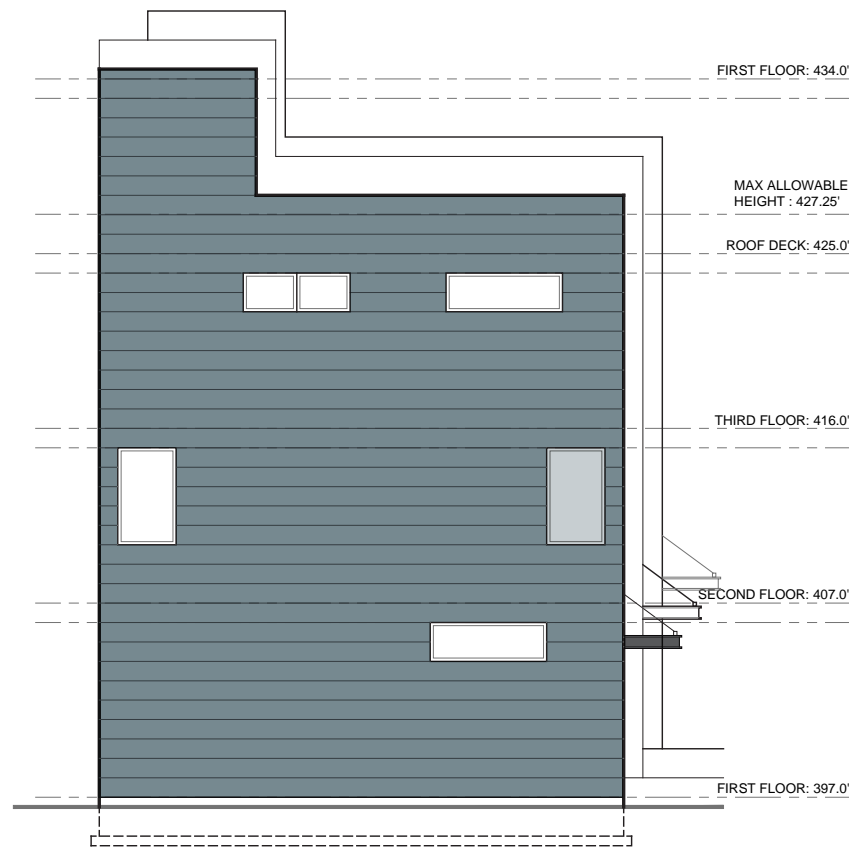




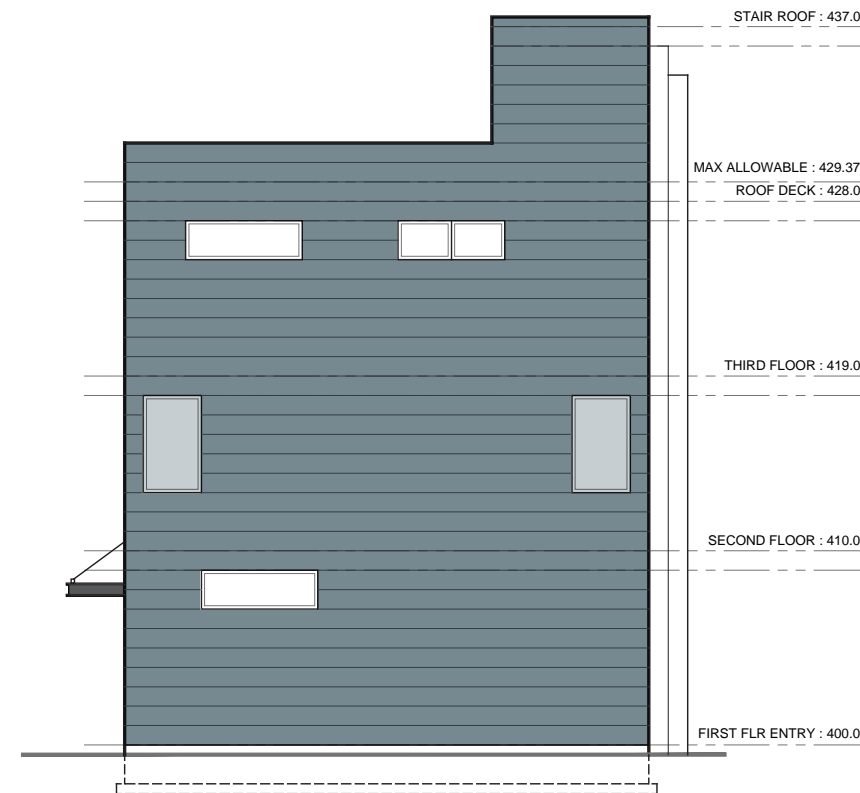
TRIPLEX WEST ELEVATION



TRIPLEX EAST ELEVATION



TRIPLEX WEST ELEVATION

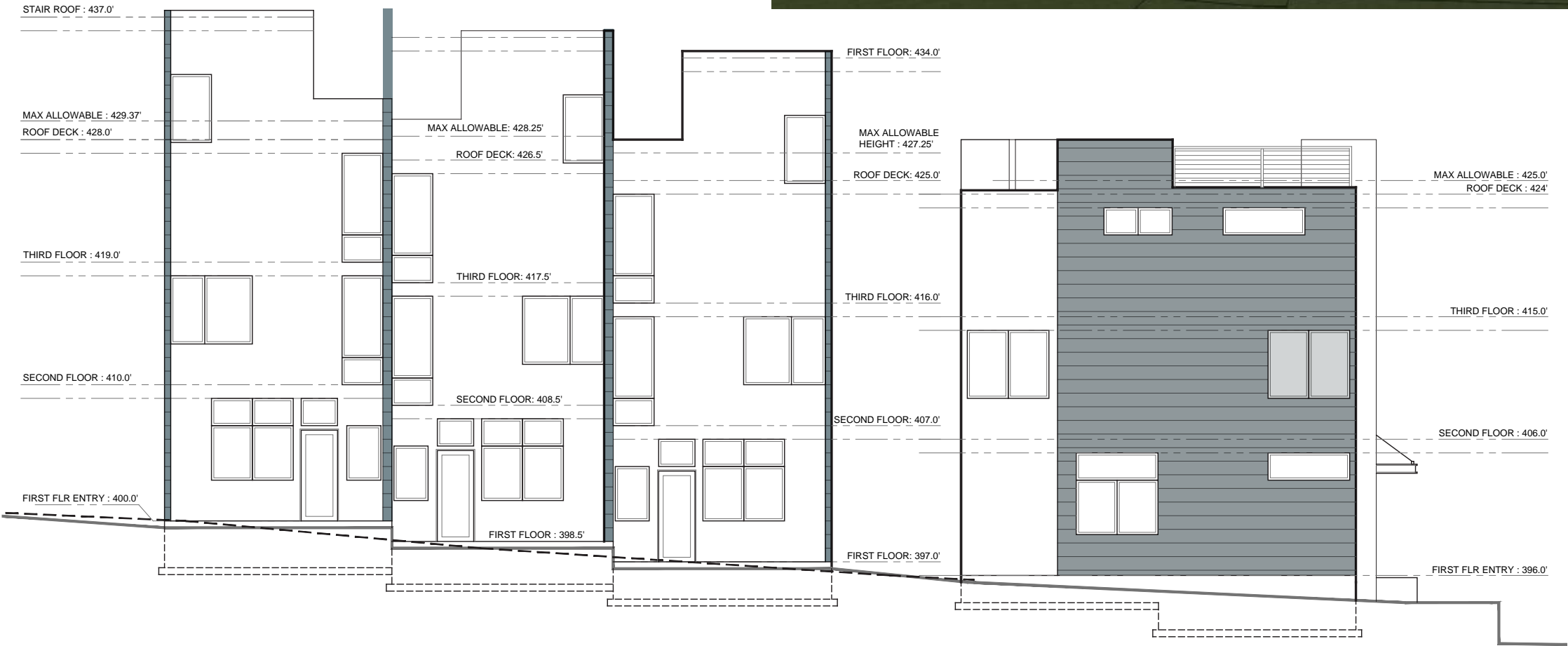


TRIPLEX EAST ELEVATION



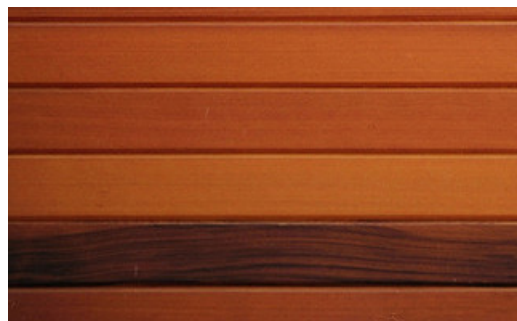


NORTH ELEVATION



NORTH ELEVATION

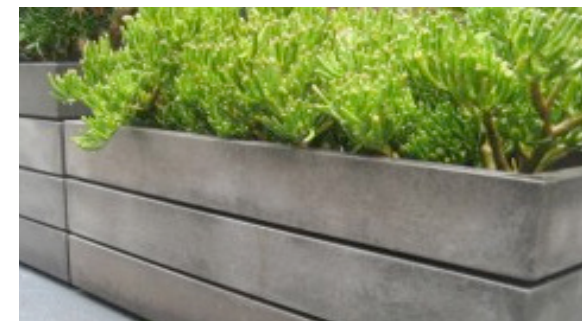




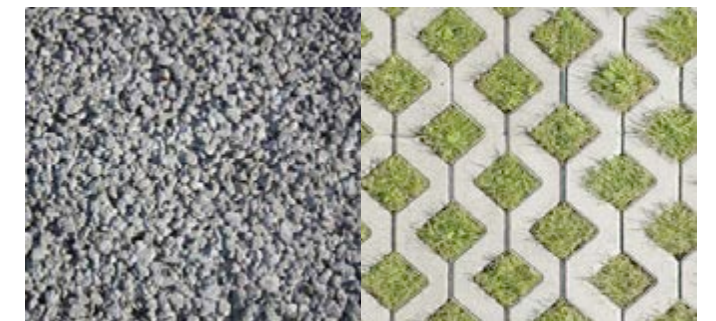
WOOD CLADDING



HARDIE PANEL AND WOOD CLADDING



CONCRETE PLANTERS



PERMEABLE CONCRETE OR GRASS PAVERS



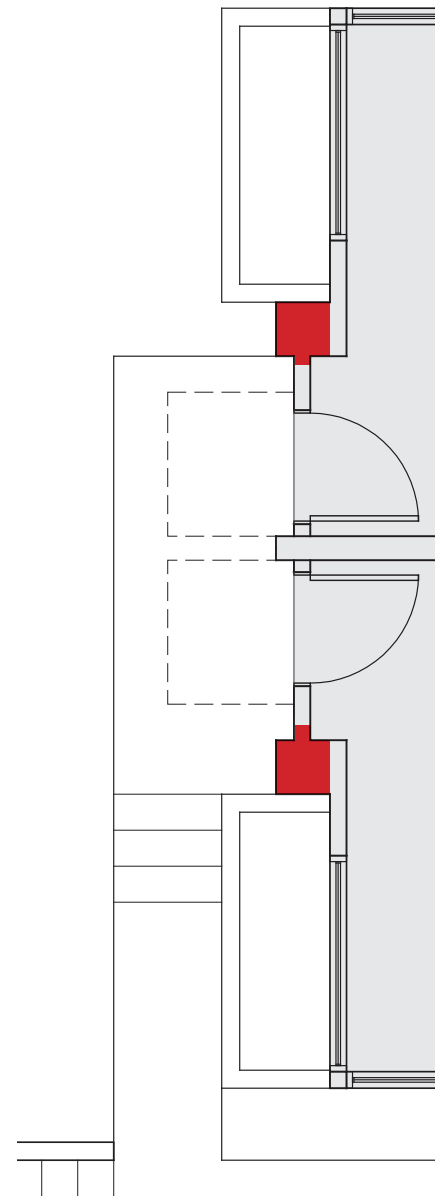


SOUTH ELEVATION



NORTH ELEVATION

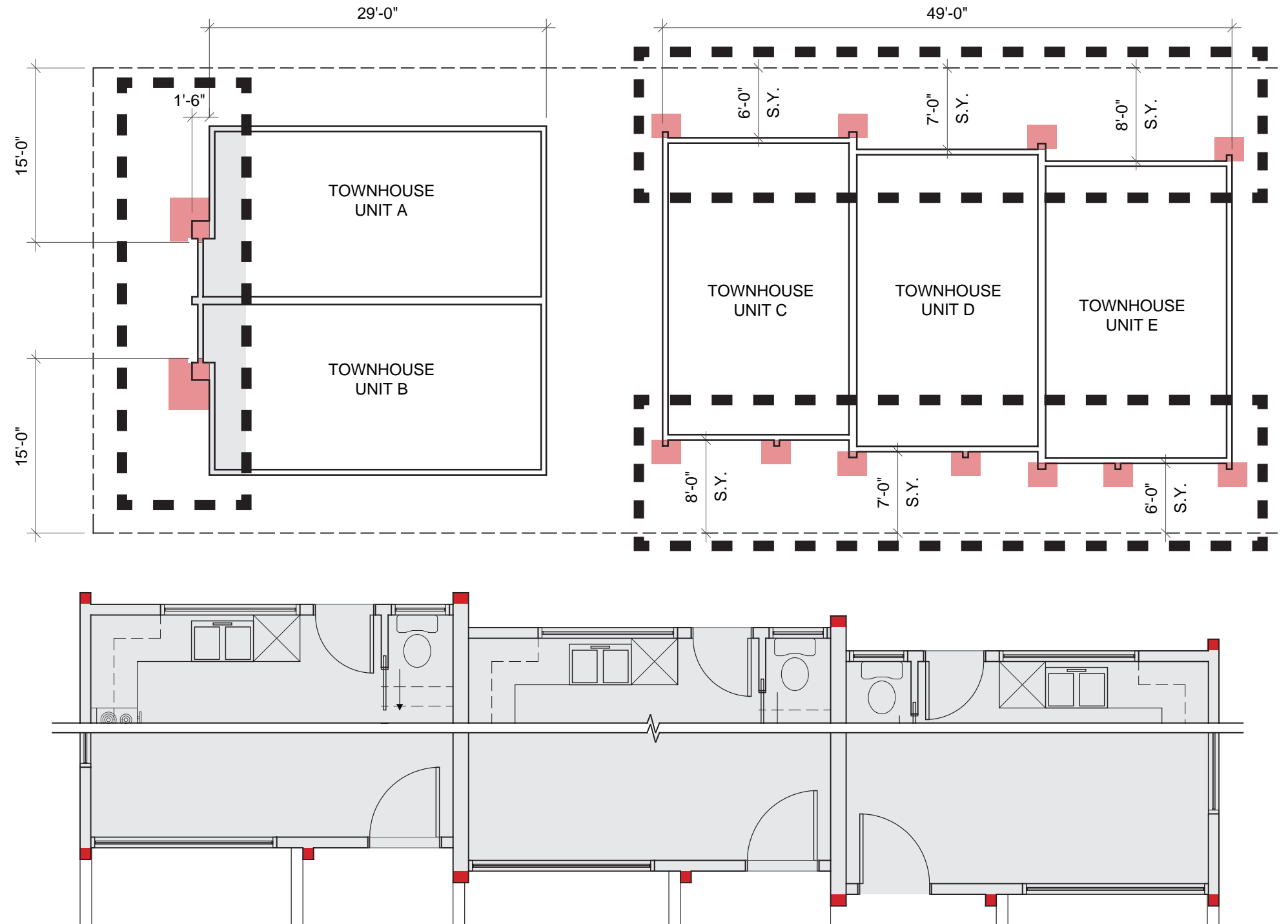




**ADJUSTMENT 1: MAXIMUM BUILDING LENGTH
(DESIGN GUIDELINE DC2 AND DC4)**

Red Highlighted areas indicate building length in excess of 78 feet (120' x .65) within 15' of side yard allowable per SMC 23.45.527.B

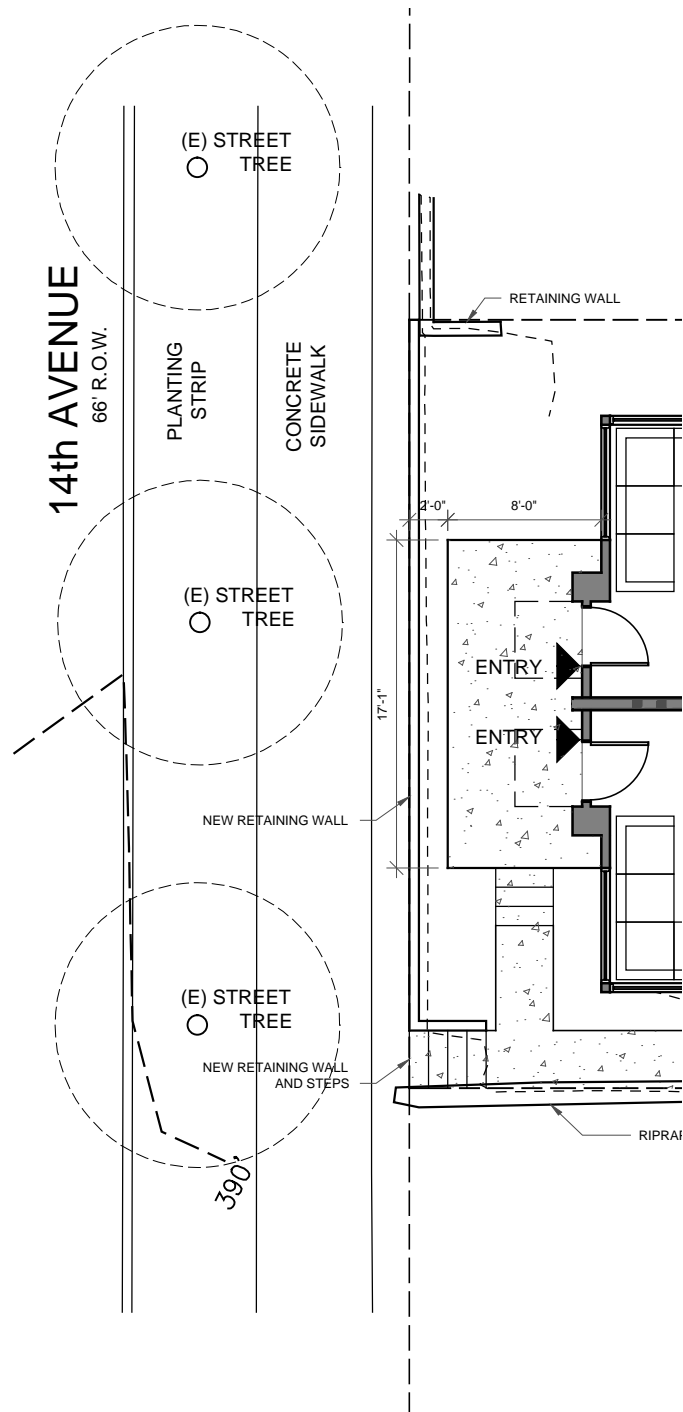
Non-habitable architectural projections provide depth and architectural expression of street facing facade through massing and materials while delineating unit entrances.



**ADJUSTMENT 2: PROJECTIONS INTO AVERAGE SIDE YARD SETBACK
(DESIGN GUIDELINE DC2 AND DC4)**

Red highlighted areas indicate 6" architectural projections into average side yard setbacks. Architectural projections provide differentiation between adjacent units, enhancing the facade composition, visual depth, texture and interest.





ALTERNATE DUPLEX UNIT ENTRIES (DESIGN GUIDELINE PL3 AND DC2)

Red highlighted areas indicate 6" architectural projections into average side yard setbacks.

Architectural projections provide differentiation between adjacent units, enhancing the facade composition, visual depth, texture and interest.

INCREASED SPACING BETWEEN ENTRY DOORS
ACCOMMODATES WALL SCONCES AND
UNIT ADDRESS NUMBERS TO DISTINGUISH
INDIVIDUAL UNITS.

SHARED PATIO DEPTH INCREASED TO 8'
TO INCREASE USABILITY

18" PLANTING STRIP BETWEEN RETAINING
WALL AND RAISED PATIO PROVIDES
STAGGERED MASSING AT SIDEWALK

