



## 711 Federal Ave E.

TOWNHOMES  
STREAMLINED DESIGN GUIDANCE

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DPD PROJECT NO.:  
3022230

MEETING DATE:  
1/6/2016

APPLICANT CONTACT:  
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**PROJECT TEAM**

**OWNER**  
Michael Pollard  
Isola Homes

**CARON ARCHITECTURE CONTACT**  
Peter Tallar, Project Manager  
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Caron Reference No.: 2015.046

**SITE INFORMATION**

**ADDRESS:**  
711 Federal Ave E, Seattle WA 98102

**DPD PROJECT NO.:**  
3022230

**PARCEL(S):**  
266300-0485

**SITE AREA:**  
7,999 SF

**OVERLAY DESIGNATION:**  
Capitol Hill Urban Center Village, Frequent Transit Overlay

**ECA:**  
None

**PARKING REQUIREMENT:**  
None

**LEGAL DESCRIPTION:**  
Lot 15 and 16, block 5, Furth's addition to Seattle, according to the plat thereof recorded in Furth's volume 16 of plats, page 73, records of King County, WA.

**DEVELOPMENT STATISTICS:**

**ZONING:**  
LR-3

**LOT SIZE:**  
7,999 SF

**FAR:**  
1.4 (11,198 SF)

**PROPOSED FAR:**  
11,182 SF

**RESIDENTIAL UNITS:**  
8

**PARKING STALLS:**  
6



Project Introduction

DEVELOPMENT OBJECTIVES

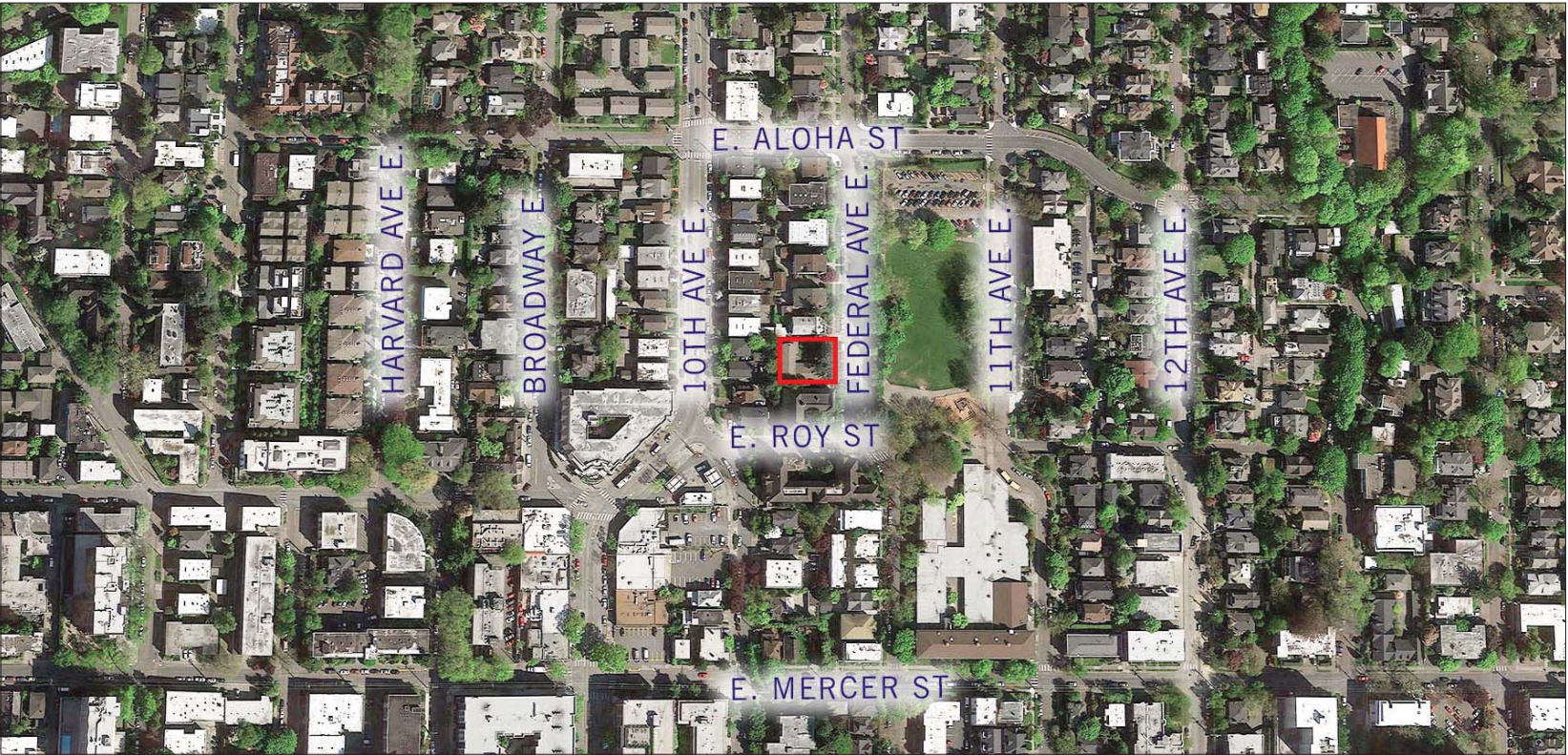
The proposed development is to create a townhouse community of 8 units. The goal of the project is to create an attractive, modern development aimed at first-time homebuyers or people looking to downsize in the great neighborhood of Capitol Hill. The proposed development is two structure which leaves room for one large service/access corridor in the rear of the units as well as rooftop decks to take in the surrounding views of Capitol Hill and beyond. Parking will be provided for 6 units and will be accessed from a single driveway along Federal Ave. E.

DEVELOPMENT SUMMARY

Level	FAR SF
Level 1	3,305.06
Level 2	3,740.80
Level 3	3,740.80
Roof	395.60
Total	11,182.26 SF



AXONOMETRIC MAP (GOOGLE EARTH)



9-BLOCK AERIAL



Site Context & Urban Design Analysis

SITE DESCRIPTION & ANALYSIS

The property is located at the northern border of the designated Capitol Hill Urban Center Village. Located just one block to the southwest, Broadway E. is the central armature of this area with dense development to the south. Where Broadway intersects with E. Roy St., it forks and marks a transition to less intense multi-and-single family residential use. Adjacent structures are all residential and tend to be two or three stories with on-street parking or parking in the rear.

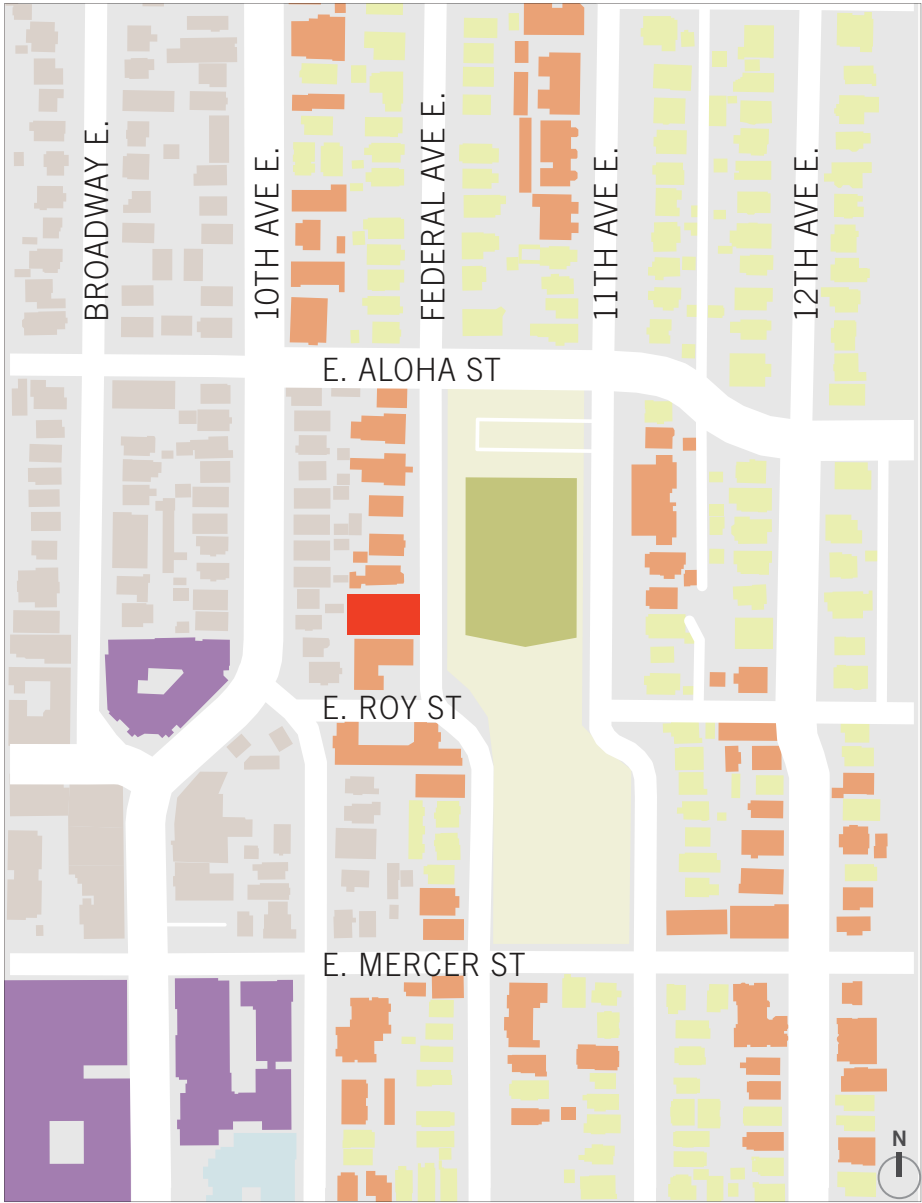
The site is predominantly level with a slight slope up from east to the west from the street of about 2 feet. There is one exceptional tree on the site, located on the street lot line that has been deemed hazardous and will be removed. Other trees are located on the adjacent property to the south that act as a privacy screen.

ZONING ANALYSIS

The 1014 E. Roy Condominiums are adjacent to the south, which is designated as a historic landmark with its noted Tudor-style brick design. The structures to the north are mostly Federal style with stucco finish or brick facades. Across the street to the east is a large playground and parking area associated with Lowell Elementary School. Many large trees border the east side of Federal Ave and act as a screen for the park.

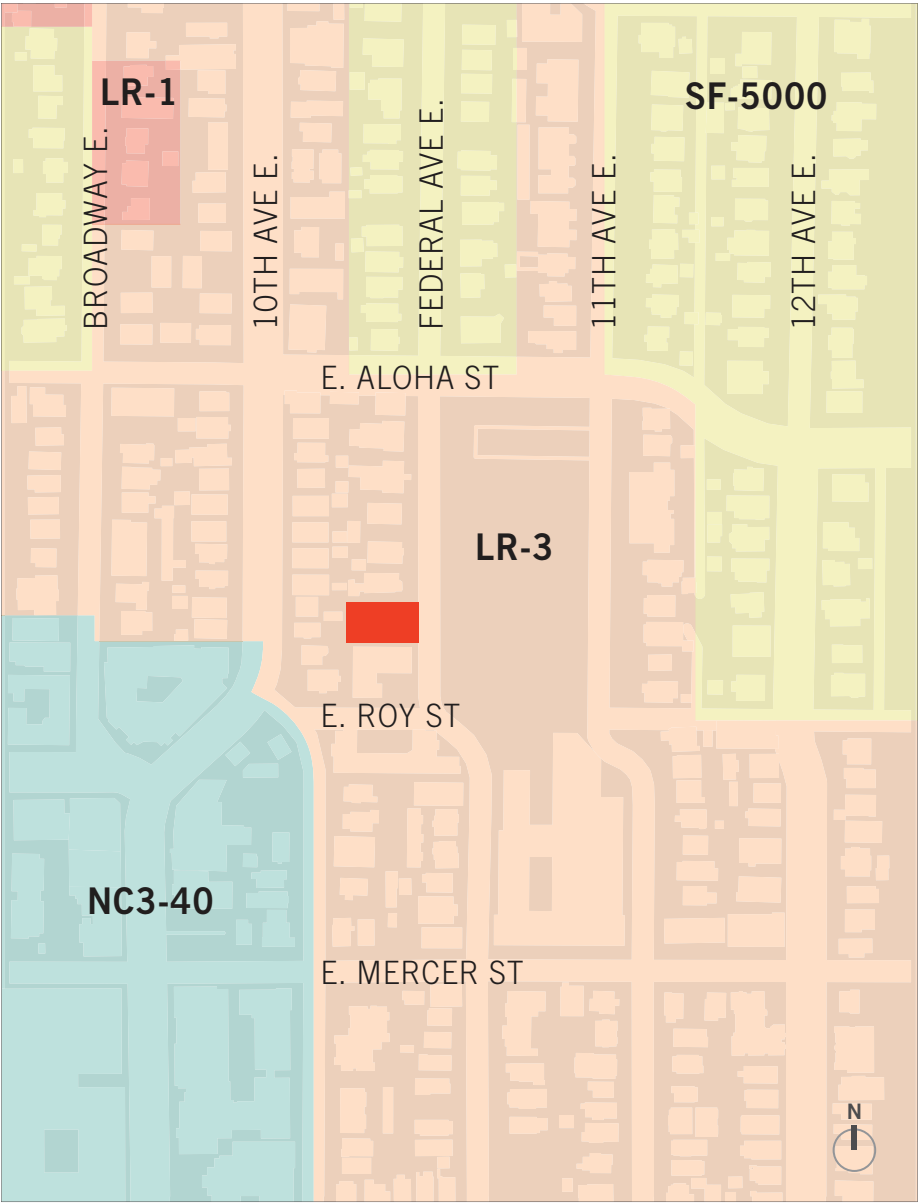
TRANSPORTATION

Broadway E. as it transitions to 10th Ave E is a major transit street and Frequent Transit Corridor with heavy traffic in both directions. Metro bus stops and designated bike lanes run in both directions along Broadway and 10th Ave E. There is a wide planting strip between the sidewalk and the street along Federal Ave. E. The sidewalk will be maintained and street trees planted as part of this development.



SURROUNDING USES MAP KEY

- Site
- Mixed-Use
- Commercial
- SFR (1- 2 Stories)
- Multi Family
- School
- Park



ZONING MAP KEY

- Site
- NC3-40
- LR3
- LR1
- SF-5000

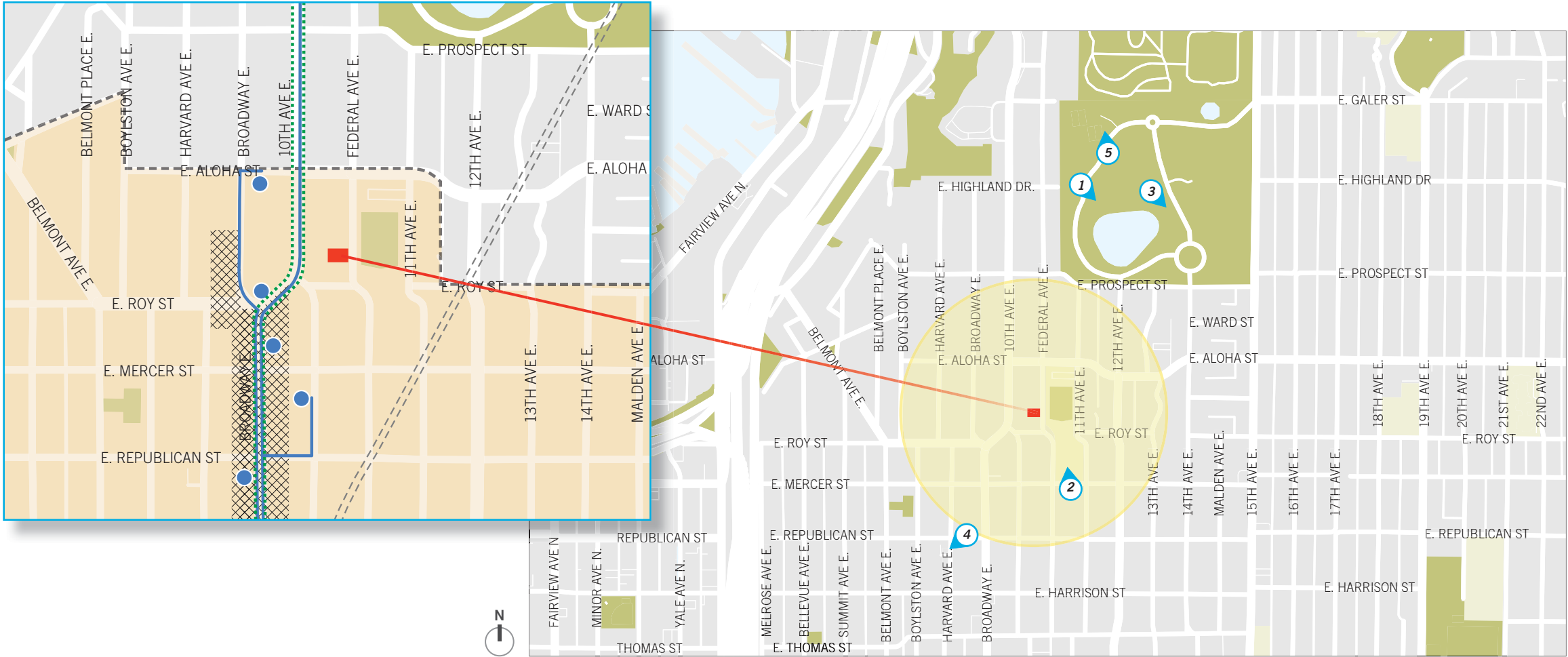


Community Nodes & Landmarks

NEIGHBORHOOD, SEATTLE, WA

VICINITY & WALKING MAP KEY

- Site
- Park
- Pedestrian Area
- Capitol Hill Urban Center Village
- Light Rail Line
- Transit Route
- Bus Stops
- Dedicated Bike Lanes
- View
- 5-Minute Walking Distance



1 VOLUNTEER PARK  
DISTANCE FROM SITE (0.6 MI):  
6 MIN. 13 MIN.



2 LOWELL ELEMENTARY SCHOOL  
DISTANCE FROM SITE (0.2 MI):  
1 MIN. 3 MIN.



3 SEATTLE ASIAN ART MUSEUM  
DISTANCE FROM SITE (0.5 MI):  
5 MIN. 11 MIN.



4 CAPITOL HILL BRANCH LIBRARY  
DISTANCE FROM SITE (0.3 MI):  
2 MIN. 7 MIN.



5 VOLUNTEER PARK CONSERVATORY  
DISTANCE FROM SITE (0.6 MI):  
6 MIN. 13 MIN.

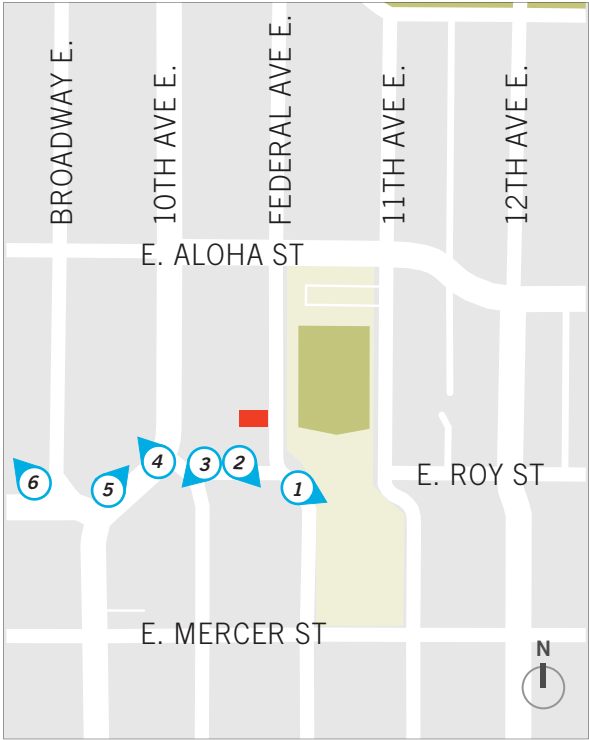


Neighborhood Vicinity

NEIGHBORHOOD, SEATTLE, WA

NEIGHBORHOOD DESIGN

The neighborhood consists largely of colonial revival style architecture, in which the buildings rely heavily on symmetry and are built with little modulation. Use of windows, material texture, and large covered entries help to break up the façades.



MAP KEY

- Site
- View



1 LOWELL ELEMENTARY SCHOOL AT 1058 E. MERCER ST  
DISTANCE FROM SITE (0.2 MI):  
🚲 1 MIN. 🚶 3 MIN.



2 1005 APARTMENTS AT 1005 E ROY ST  
DISTANCE FROM SITE (190 FT):  
🚲 1 MIN. 🚶 1 MIN.



3 76 GAS STATION AT 915 E. ROY ST  
DISTANCE FROM SITE (400 FT):  
🚲 1 MIN. 🚶 1 MIN.



4 HOME STREET BANK AT 700 BROADWAY E.  
DISTANCE FROM SITE (0.1 MI):  
🚲 1 MIN. 🚶 3 MIN.



5 ROY STREET COFFEE & TEA AT 700 BROADWAY E  
DISTANCE FROM SITE (0.1 MI):  
🚲 2 MIN. 🚶 2 MIN.



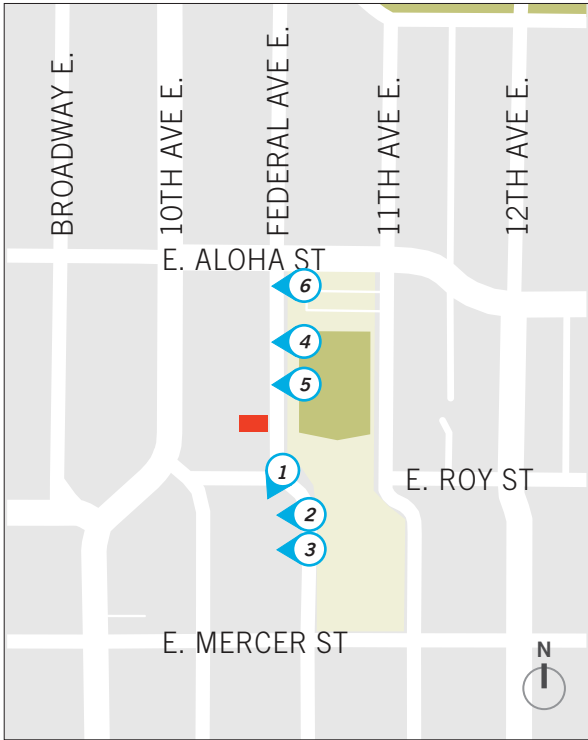
6 CORNISH COLLEGE OF THE ARTS - KERRY HALL  
DISTANCE FROM SITE (0.2 MI):  
🚲 1 MIN. 🚶 4 MIN.



Existing Notable Architectural & Siting Patterns

DESIGN CUES

Having the proposed development located within such a distinctly designed neighborhood, it becomes important to taking from existing, prominent, and reoccurring architectural features. These design cues will provide a groundwork for how the developing design will proceed.



MAP KEY

- Site
- View



1 1005 APARTMENTS AT 1005 E ROY ST



2 623 FEDERAL AVE E. APARTMENTS



3 615 FEDERAL AVE E. TOWNHOUSES



4 735 FEDERAL AVE E. CONDOS



5 723 FEDERAL AVE E. APARTMENTS



6 745 FEDERAL AVE E APARTMENTS



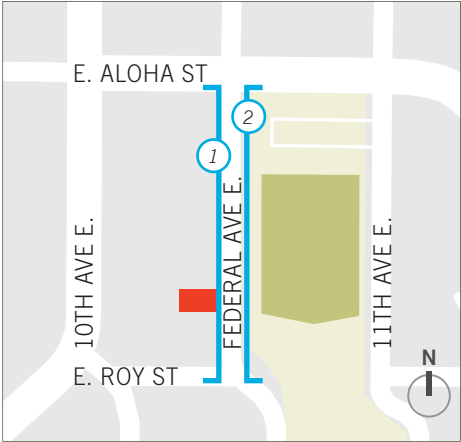
Streetscapes



1 FEDERAL AVE E, FACING WEST



2 FEDERAL AVE E, FACING EAST





## Site Photos



1 LOOKING WEST AT PROJECT SITE, FROM FEDERAL AVE E.



2 LOCATION



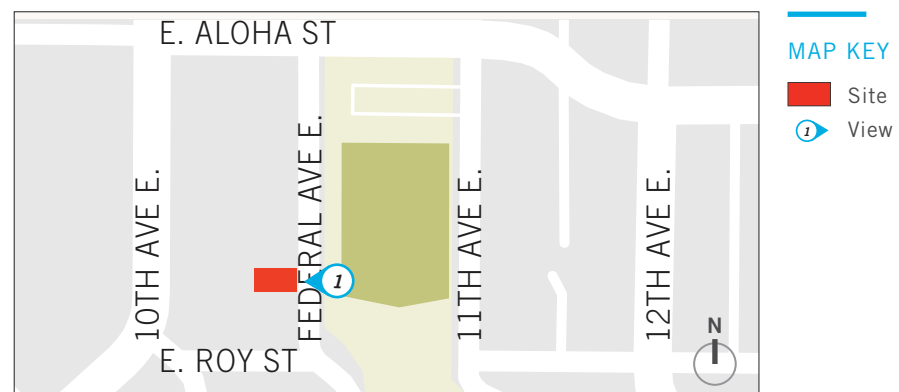
3 LOCATION



4 LOCATION



5 LOCATION



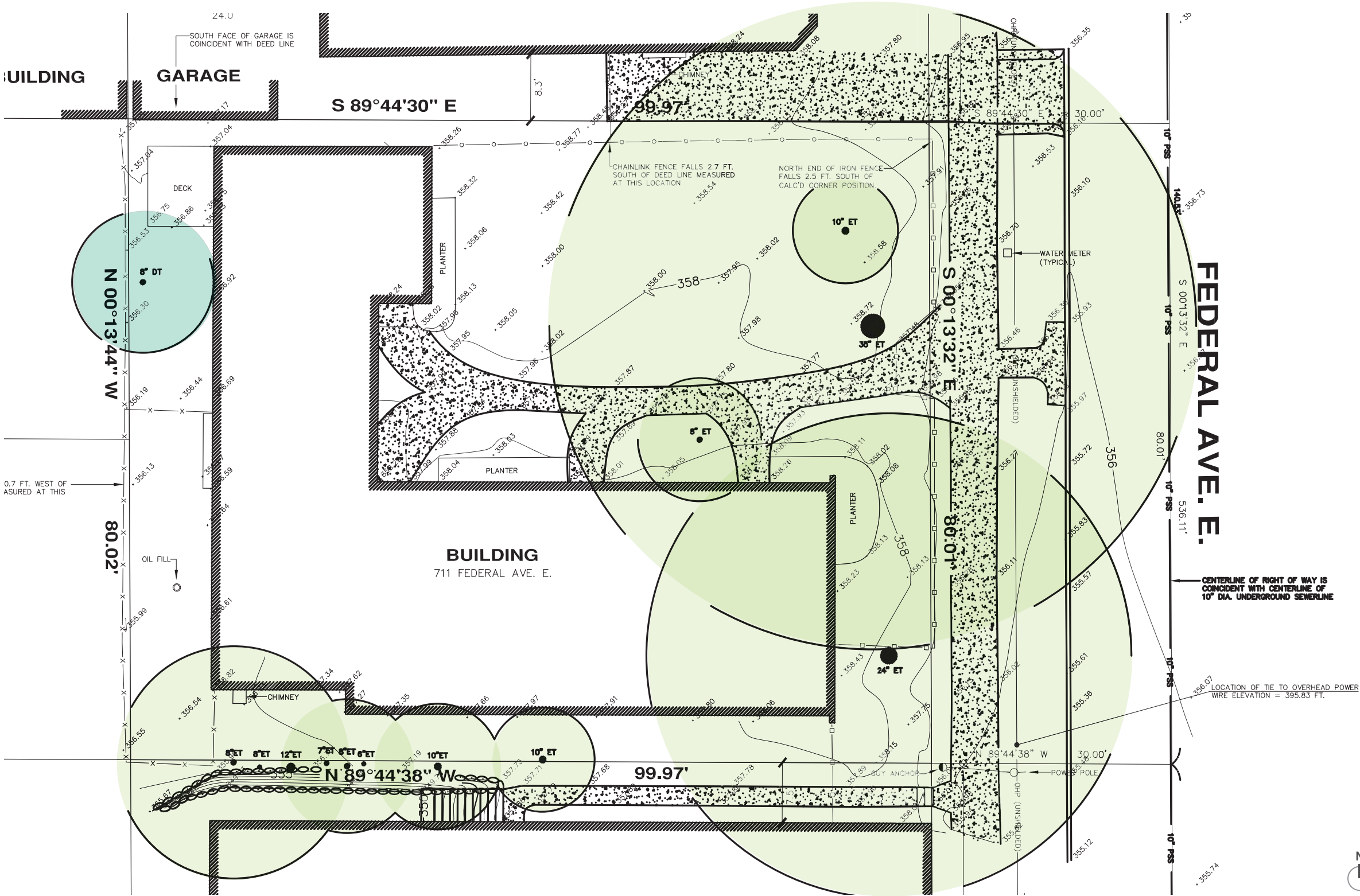
6 LOCATION



7 LOCATION

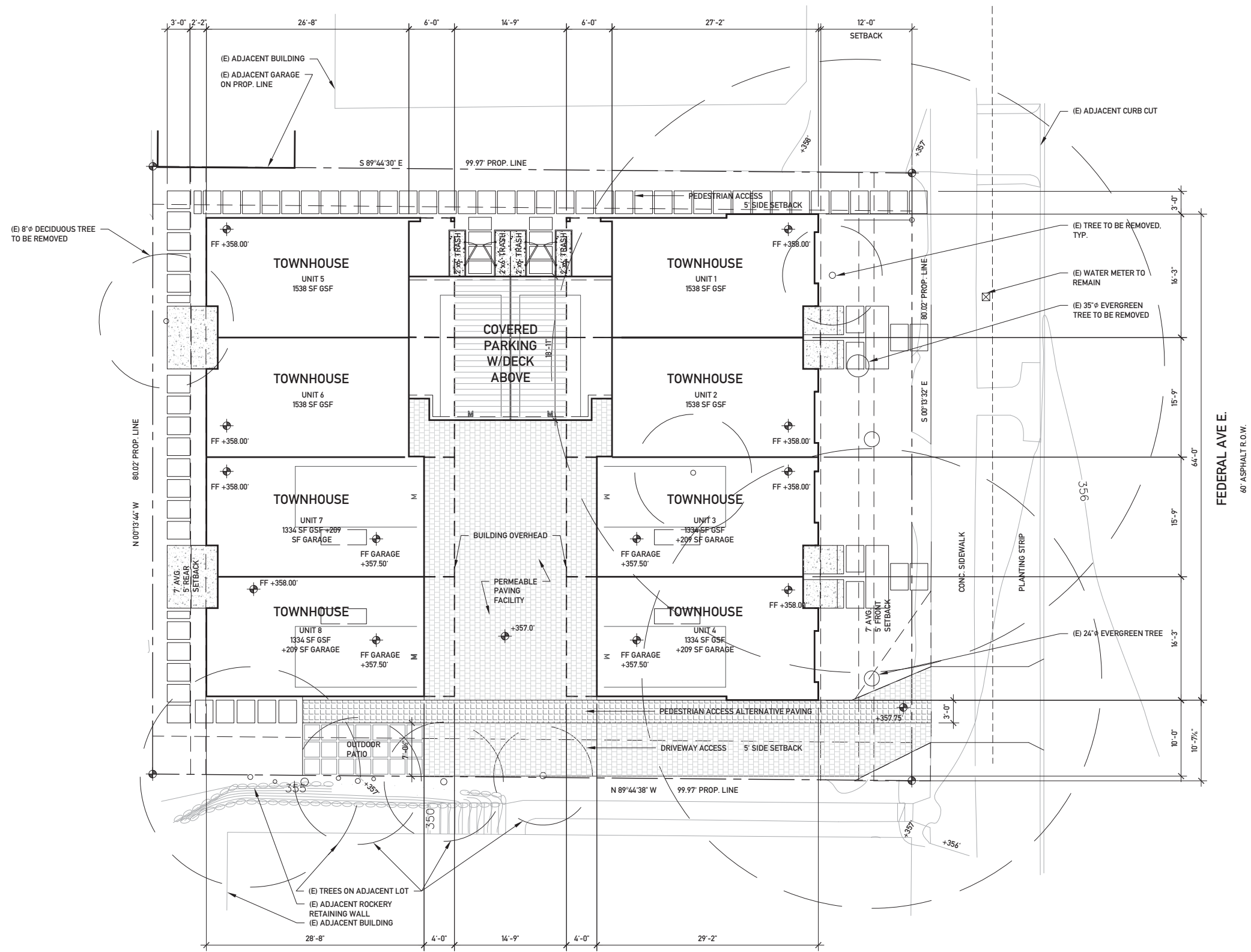


Survey / Tree Survey



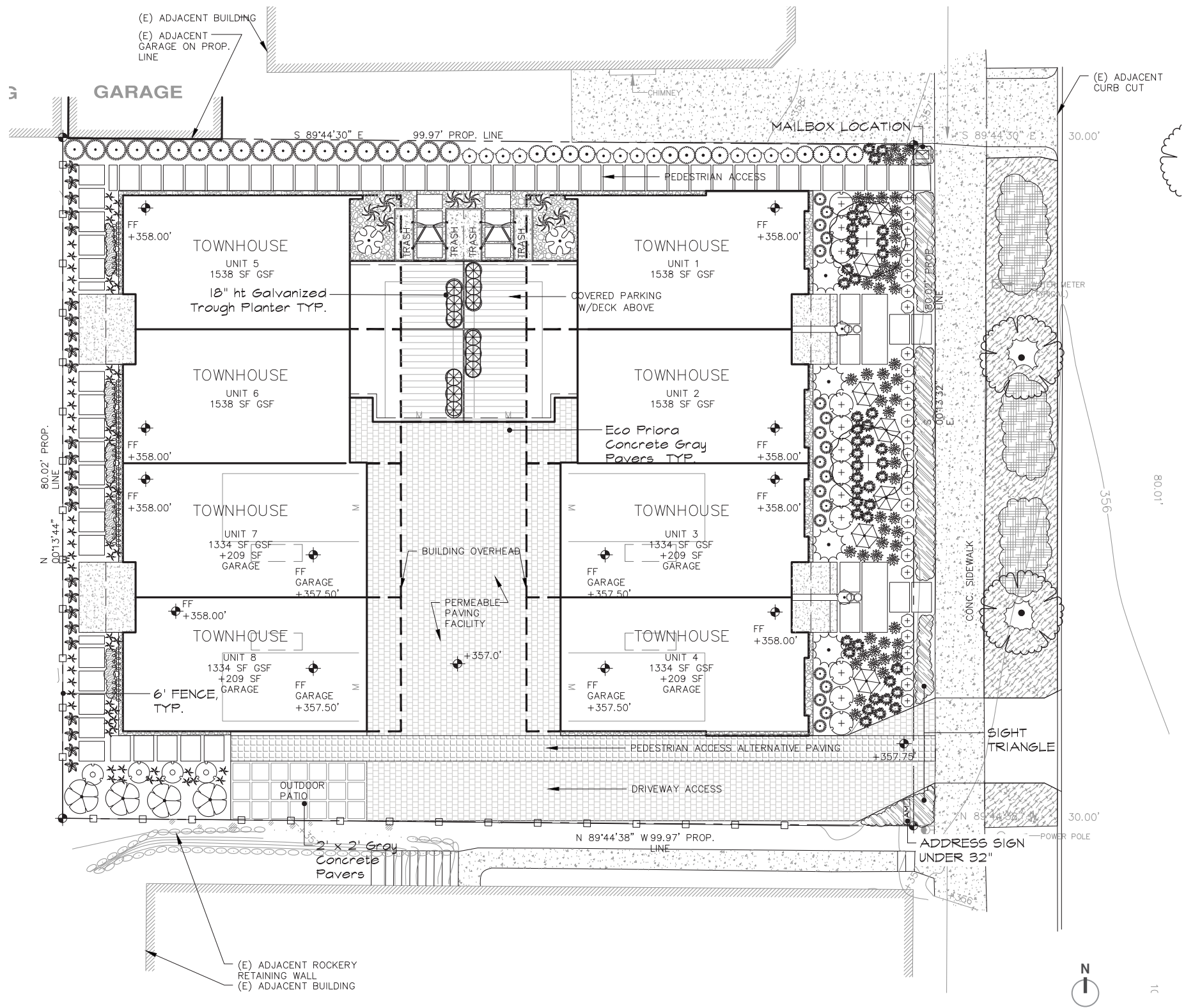


Proposed Site Plan
























Landscape Plan





Landscape Plan Schedule

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Calocedrus decurrens / Incense Cedar	1.5" cal	2
	Fagus sylvatica 'Dawyck' / Dawyck Beech	2" cal	2
	Malus x 'Tschonoskii' / Tschonoski Crabapple	1.5" cal	2
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Blechnum spicant / Deer Fern	1 gal	66
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	19
	Camellia Japonica 'Debutante' / Debutante Camellia Espalier	5 gal	5
	Chamaecyparis obtusa 'Gracilis' / Slender Hinoki Cypress	5'-6' Ht	4
	Dryopteris erythrosora / Autumn Fern	1 gal	33
	Euonymus japonicus 'Microphylla' / Boxleaf Euonymus	1 gal	28
	Helictotrichon sempervirens / Blue Oat Grass	1 gal	62
	Hydrangea quercifolia 'Snow Queen' / Snow Queen Hydrangea	5 gal	4
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	20" Ht	23
	Pennisetum alopecuroides 'Hameln' / Dwarf Fountain Grass	1 gal	47
	Pinus mugo 'Mops' / Mugo Pine	3 gal	7
	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	5 gal	12
	Sarcococca ruscifolia / Fragrant Sarcococca	2 gal	5
	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	4'-5' Ht	19

GROUND COVER	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
	7/8" Drain Rock	N/A	12' o.c.	100
	Veronica peduncularis 'Georgia Blue' / Georgia Blue Speedwell	4' pot	12' o.c.	201
	Vinca minor 'Bowles' / 'Bowles' Common Periwinkle	4' pot	18" o.c.	270
	Pachysandra terminalis / Japanese Spurge	4' pot	12" o.c.	98
	Vinca minor 'Alba' / White Dwarf Periwinkle	4' pot	12" o.c.	183



Code Compliance

APPLICABLE ZONING	SMC-SECTION	SMC REQUIREMENT	COMPLIANCE / REFERENCE	
Floor Area Ratio (FAR) Limits	23.45.510	1.4 FAR limit in LR-3 zone for townhouses located inside urban villages and meets the requirements of 23.45.510.C.	✓	
Density Limits- Low-rise Zones	23.45.512	Townhouse development: Meeting 23.45.510.C- no limit.	✓	
Structure Height	23.45.514	30' height limit	✓	
Setbacks & Separations	23.45.518	Front and rear setbacks: 7' average, 5' minimum Side setbacks from facades 40' or less in length: 5' minimum. 10' separation between principal structures.	✓	Page 11. Site Plan
Amenity Area	23.45.522	25% of lot area: 50% of required amenity space to be at ground level (10: min. dim. from side lot lines). Amenity areas on roof structures that meet the provisions of subsection 24.45.510 may be counted as amenity area provided at ground level.	✓	
LEED, Built Green & Evergreen Sustainable Development Standards	23.45.526	To achieve a higher far limit, townhouse will meet GREEN building performance standards. Either built GREEN 4 star rating or LEED Silver rating.	✓	Townhouse committed to achieving Built Green 4-Star rating
Structure Width & Facade Length Limits in LR Zones	23.45.527	Townhouses inside LR3 Urban Villages maximum width: 150'	✓	
Light & Glare Standards	23.45.534	All light to be shielded and directed away from adjacent / abutting properties: parking to have 5' - 6' screen or hedge.	✓	
Parking Location, Access & Screening	23.45.536	Alley access required. The alley does not require improvements.	✓	
Pedestrian Access & Circulation	23.53.006	Pedestrian access and circulation required, sidewalks required per R.O.W. Improvements manual.	✓	
Solid Waste & Recyclable Materials Storage & Access	23.54.040:	(1) 2' X 6' area for each unit (units will be billed separately by utility). Bins will be pulled to street by owners on collection day. Storage areas.	✓	Page 11. Site Plan
Required Parking	23.54.015	Residential Use Urban Village, within 1320 ft. of street with frequent transit service. No parking required. Bicycle Parking: 1 space per 4 dwelling units	✓	Page 11. Site Plan



Architectural Design Response

CS2. Urban  
Pattern &  
Form

I. STREET COMPATIBILITY

- i. How buildings meet the sidewalk helps determine the character, scale and function of the streetscape. The siting of a new building should reinforce the existing desirable spatial characteristics of the Capitol Hill streetscapes.

Design Response:

- The units will be setback from the sidewalk along Federal Ave. E., due to a covenant in the deed title. Existing sidewalks will be maintained and the planting strip will be updated with trees to build continuity with neighboring lots. Vehicle entrances to the townhouses will be limited to just one curb cut in order to keep garages from cluttering the streetscape. Limiting the ingress/egress will also help hide parking as well as allowing the townhouses to present a larger façade area facing the street.

III. HEIGHT, BULK, AND SCALE COMPATIBILITY

- i. Capitol Hill emphasizes the notion of historical continuity and the relationship of built structures over time. Compatible design should respect the scale, massing and materials of adjacent buildings and landscape.

Design Response:

- Surrounding buildings are primarily built with little modulation and use windows and large covered entries to break up the façade. Varying materials, consistent with the neighborhood, and strategic articulation will be used to break the townhouses into individual units, as well as focusing on entry demarcation to highlight separation.

CS3. Architectural  
Context &  
Character

I. ARCHITECTURAL CONCEPT AND CONSISTANCY

- i. Building design elements, details and massing should create a well proportioned and unified building form and exhibit form and features identifying the functions within the building.

Design Response:

- The neighborhood embraces a cohesive street pattern, using similar features and materials to represent a desirable neighborhood character. Entry canopies, planters, window layout and strong durable materials will help to engage the townhouses with the neighborhood while allowing for a more contemporary articulation.

PL2. Walkability

I. HUMAN SCALE

- i. The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

Design Response:

- Building entrances will be made easily identifiable by using canopies, lighting and well thought out landscaping, including pathways. Lighting will be placed strategically to provide security and safety without being a nuisance to adjacent properties.

DC1. Project  
uses &  
Activities

II. PEDESTRIAN OPEN SPACES AND ENTRANCES

- i. Convenient and attractive access to the building’s entry should be provided to ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather.

Design Response:

- The connections to the building from the R.O.W. will be landscaped to provide interest at the street and encourage pedestrian activity. As mentioned, lighting and canopies will also be implemented to facilitate easy identification of the separate unit entrances. A single vehicle ingress/egress point will free the façade of garage and allow for more desirable pedestrian-oriented design.

III. PERSONAL SAFETY AND SECURITY

- i. Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Design Response:

- The street façade will be broken up with large windows, allowing for great views as well as establishing a more neighborly connection, providing eyes-on-the-street security. This feeling of security is reinforced by the previously mentioned landscaping lighting, which will help to illuminate pathways within the site and highlight the architecture.

I. PARKING AND VEHICLE ACCESS

- i. Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Design Response:

- Ingress/egress for vehicles is provided from a single curb cut located along the southern property line. Vehicles are parked in attached garages on the interior of the lot. Amenity space is provided over a portion of the shared garage creating a unique and useful component of the design.

II. SCREENING OF DUMPSTERS, UTILITIES, AND SERVICE AREAS

- i. New developments should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible.

Design Response:

- Trash is located within the garages or behind the street-facing units, hiding and shielding all services from street view.



Architectural Design Response

DC2. Architectural Concept

I. RESIDENTIAL OPEN SPACE

- i. Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.  
Design Response:
  - Due to a unique covenant within the deed title, no permanent structures may be built within 12 feet of the street lot line. This larger-than-normal setback allows for more open yard space facing the street and is consistent with the adjacent buildings. Amenity space is also located above the shared garage and each unit is provided with a full roof deck to take advantage of views and sunlight.

II. LANDSCAPE DESIGN TO ADDRESS SPECIAL SITE CONDITIONS

- i. The landscape design should take advantage of special on-site conditions such as highbank front yards, steep slopes, view corridors or existing significant trees, and off-site conditions such as greenbelts, ravines, natural areas and boulevards.  
Design Response:
  - Street trees and landscaping will be added to the planting strip in keeping with the surrounding neighborhood. In addition, landscaping will be added between sidewalk and structure for streetscape interest.

DC4. Exterior Elements & Finishes

I. HEIGHT, BULK, AND SCALE

- i. Masonry and terra cotta are preferred building materials, although other materials may be used in ways that are compatible with these more traditional materials.  
Design Response:
  - Material choices will play an important role in knitting this building into the neighborhood. Both fine-grain and large grain textures will help reinforce the character of the street and also create a defined, contemporary development.



◀ DC2.I.I:  
*This colonial revival style building is set back from the road and sidewalk allowing for more open yard space facing the street. This allows for additional landscaping and greater views from the many windows occupying the building's facade.*

CS2.III.I:  
*This contemporary structure blends itself with the surrounding historic buildings through replicating similar scale and heights of the neighborhood and by articulating its facade through materials and window placement.*

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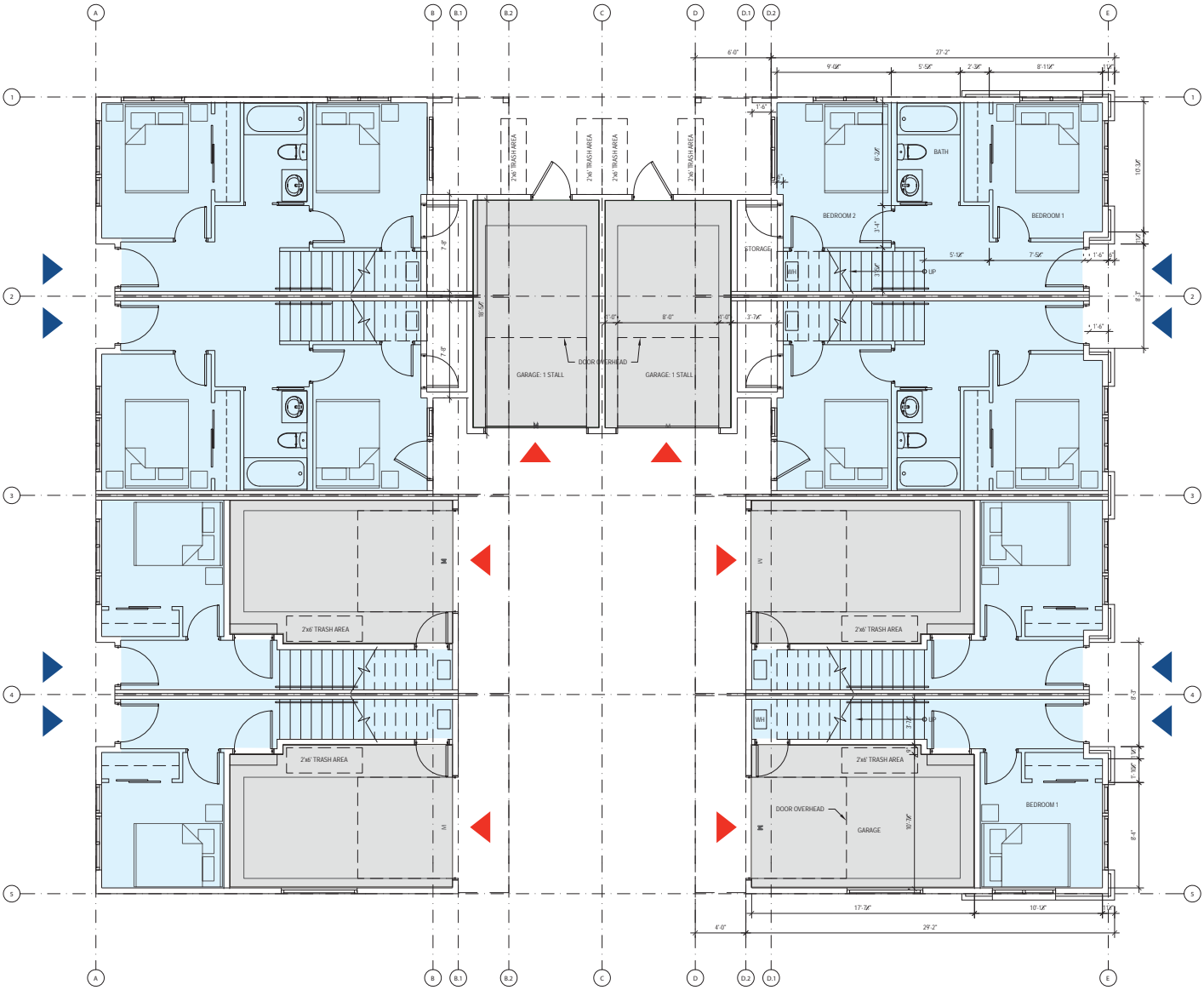


▲ PL2.I.I.I:  
*The building's entrance is made easily identifiable through the use of canopies, signage, lighting, and well thought-out landscaping.*

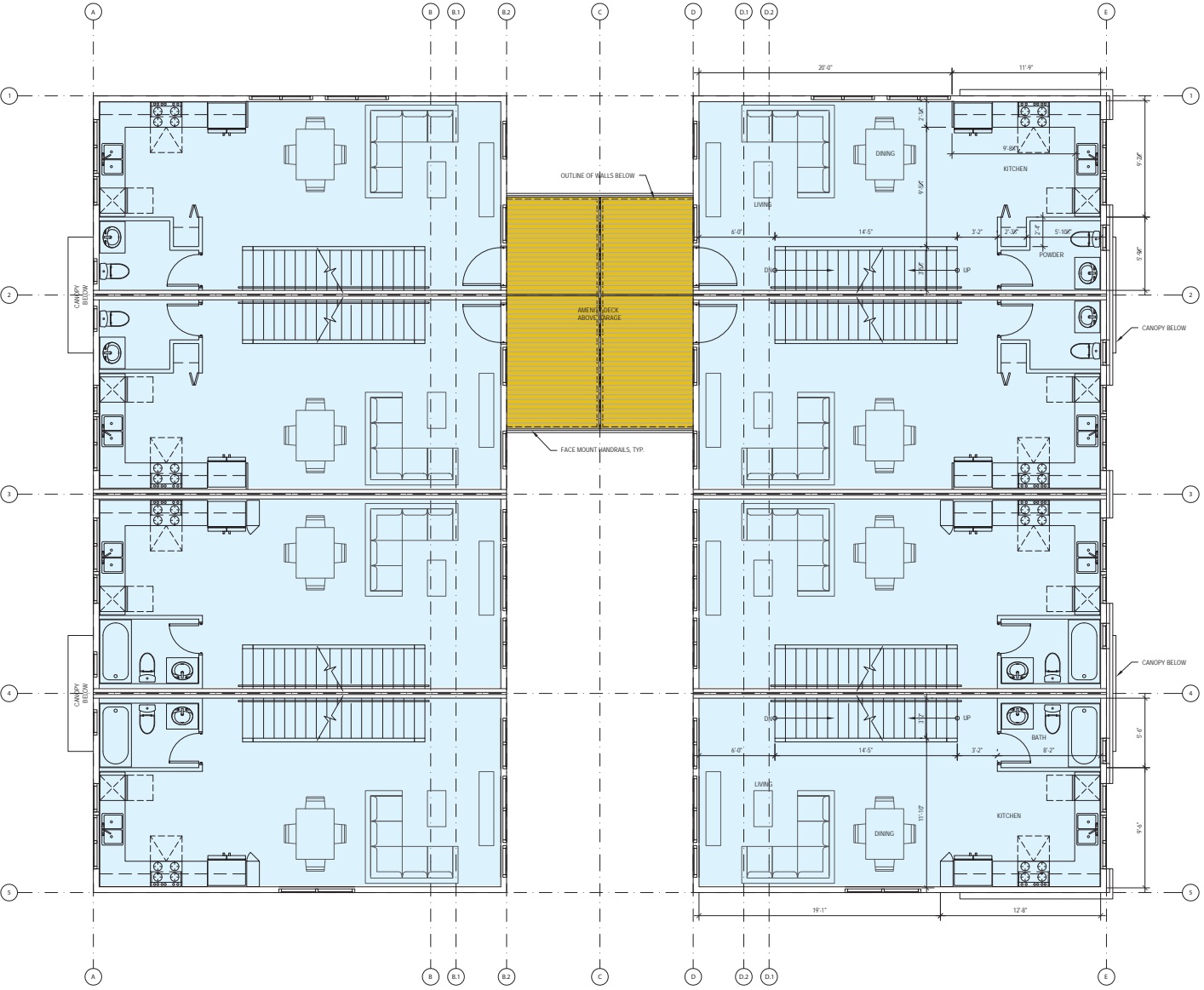
◀ DC4.I.I.I:  
*Masonry plays an important role in knitting this building into the neighborhood. Relying on the texture of the masonry and windows to help scale the building while also reinforcing the character of the street.*



Floor Plans



LEVEL 1



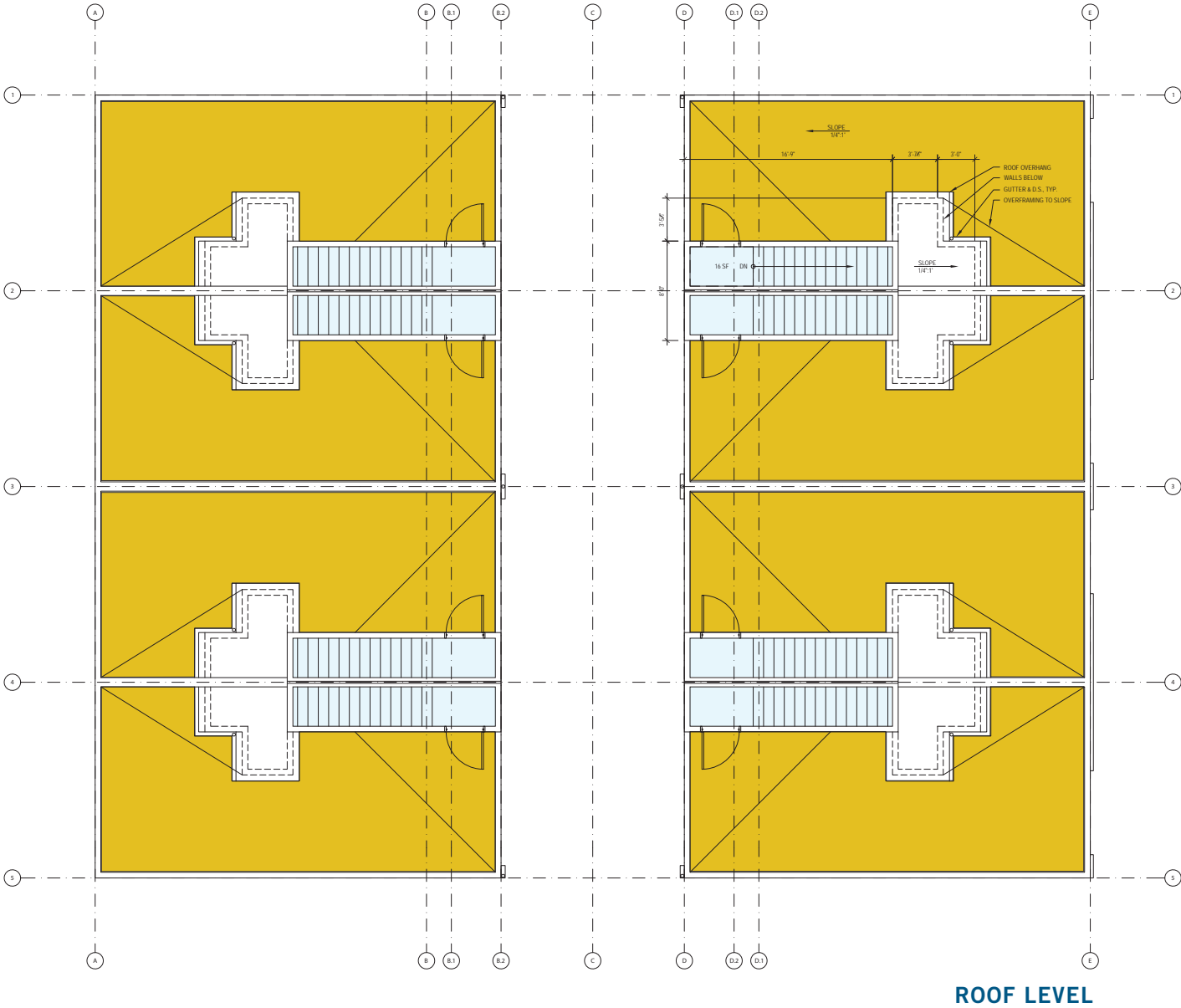
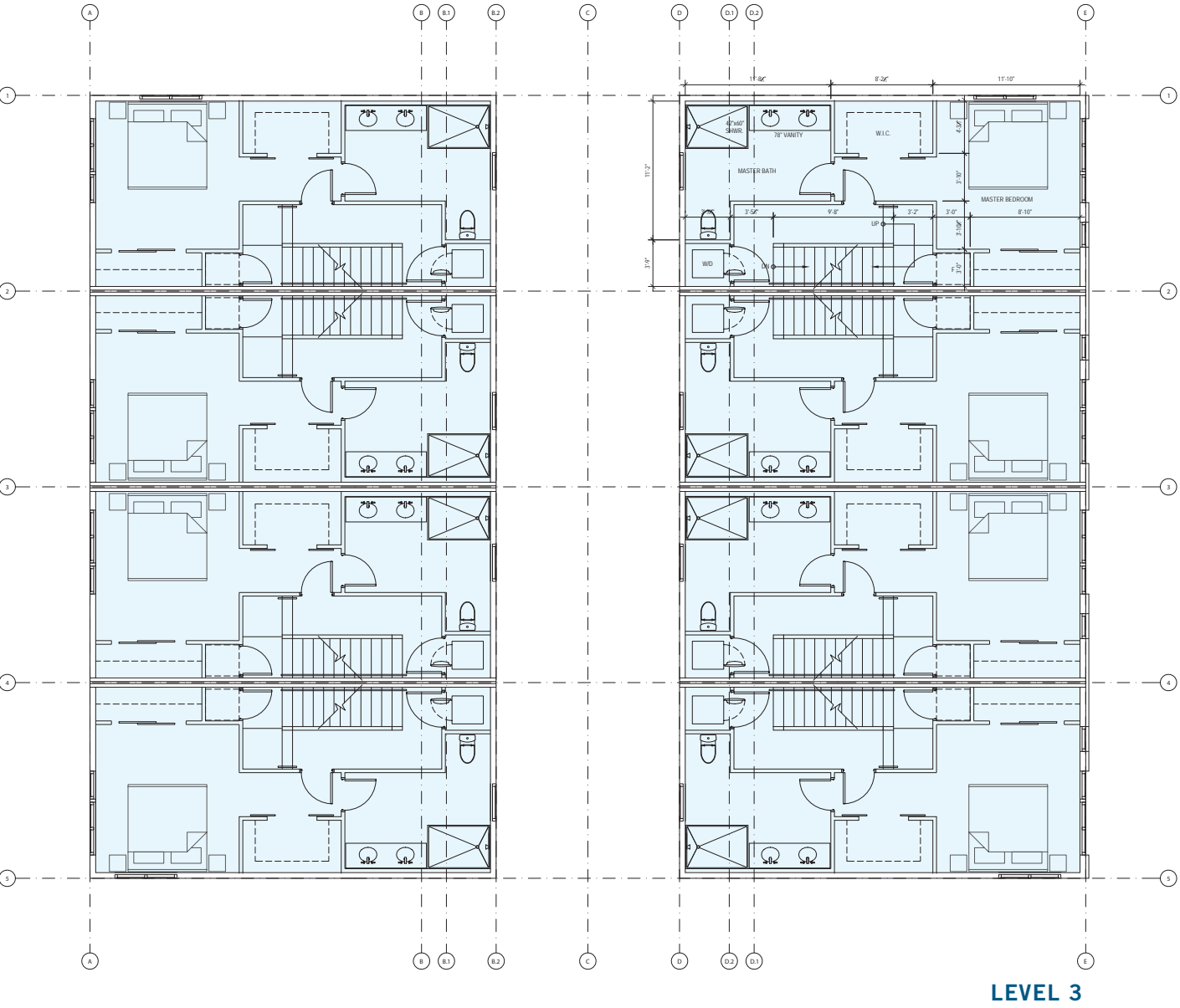
LEVEL 2

- KEY
- Residential
  - Amenity
  - Parking/Garage
  - Residential Access
  - Vehicular Access





Floor Plans





Rendering View



Cable Railing System  
Fiber Cement Lap Siding  
Glazed Door

Fiber Cement Panel  
Vinyl Windows  
Canopy

8" FIBER CEMENT LAP

FIBER CEMENT PANEL - DARK

FIBER CEMENT PANEL - LIGHT

DARK BROWN BRICK

FIBER CEMENT PANEL - GRAY



Rendering View





Rendering View

- Ivory Color to Top
- Roofing
- Fiber Cement Panel: Dark
- Glazed Door
- Vinyl Windows
- Fiber Cement Panel: Light
- Cable Railing System
- Fiber Cement Lap Siding





Elevations



NORTH ELEVATION



Elevations



SOUTH ELEVATION



Elevations



EAST ELEVATION

## Elevations



**EAST ELEVATION (COURTYARD)**

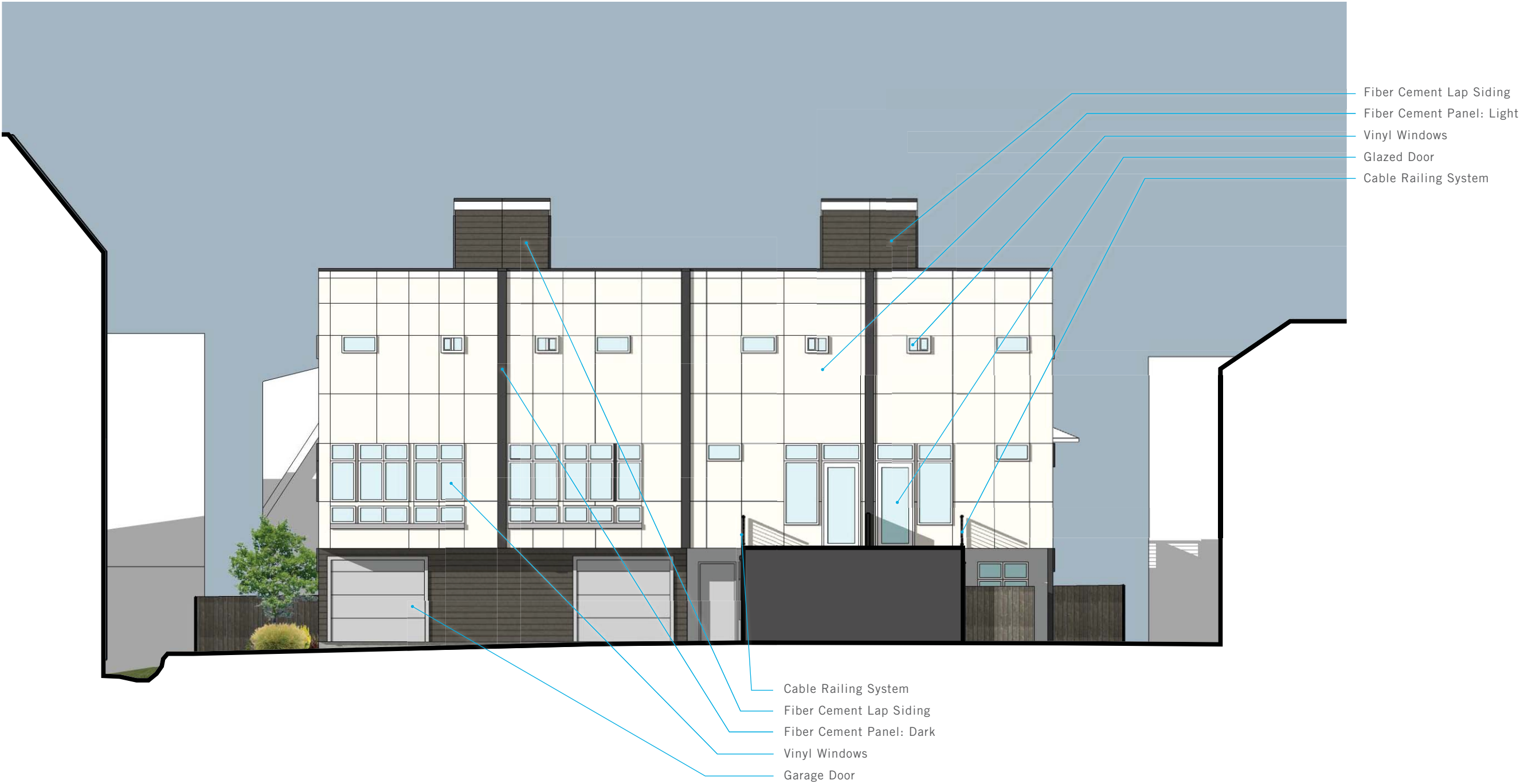


Elevations



WEST ELEVATION (STREET)

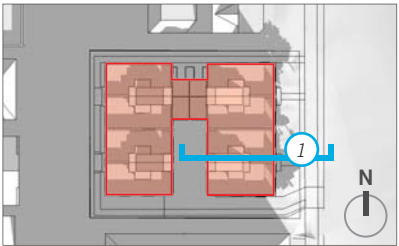
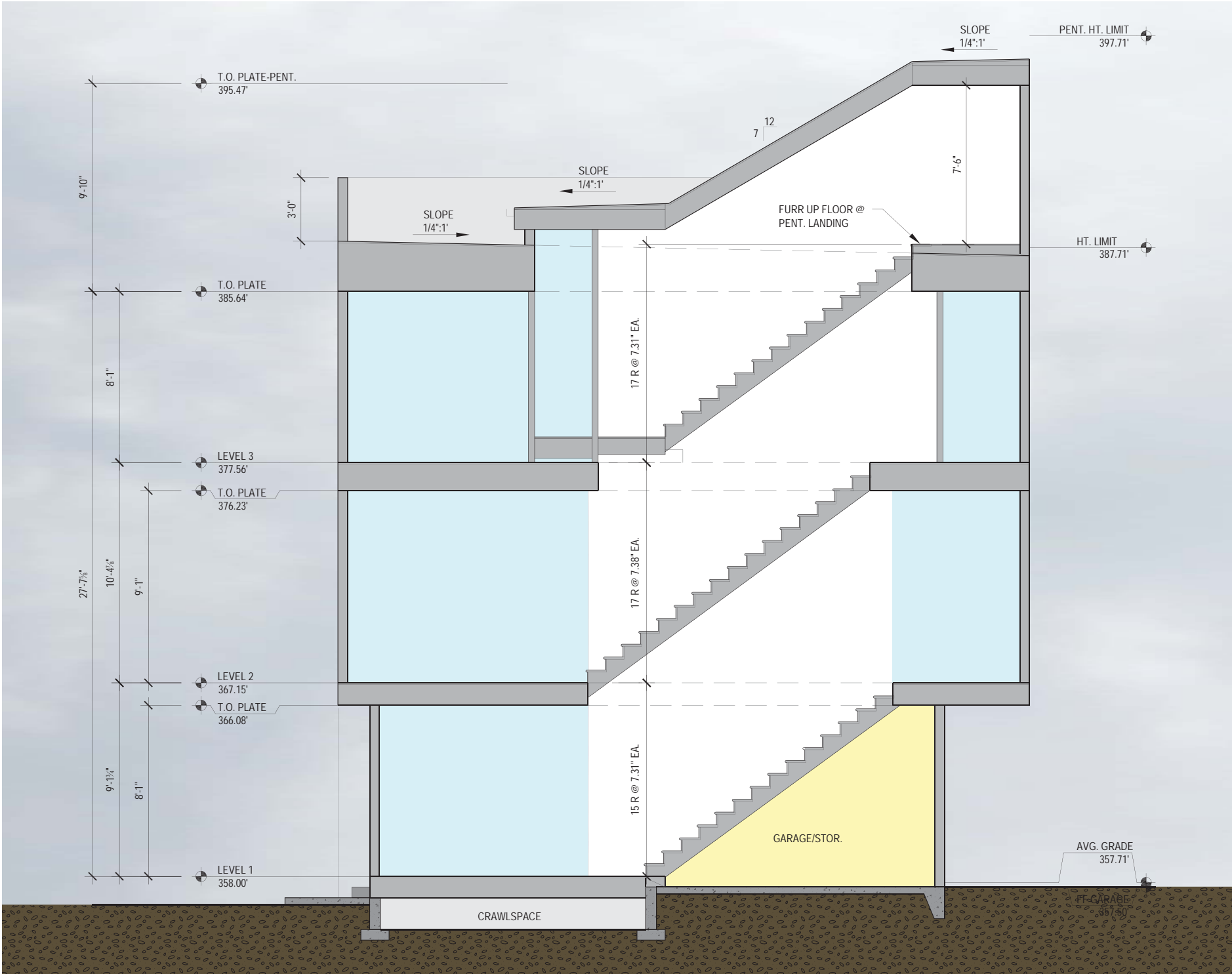
Elevations



WEST ELEVATION (COURTYARD)



Section



- KEY
- Parking/Garage
  - Residential
  - Circulation