

Proposal Information

Our proposal is to build (2) new duplex buildings in a neighborhood that has been heavily developed in the last decade with townhouses and other multifamily structure types (see following context drawings). The neighborhood is Zoned LR or higher for several blocks. It should be noted that the subject property is commonly addressed as 3053 60th AVE. SW.

We have provided the building's required amenity areas at both ground level and on above grade decks and a rooftop deck. This variety is intended to create a diversity of outdoor areas and experiences that provide appeal to both the residents and the larger neighborhood. The most significant amenity area at grade occurs at the sidewalk as a gesture to the pedestrian experience in the area.

We are proposing a Floor Area Ratio of approximately 5,379 square feet with 4,993 square feet of heated area and 782 square feet of garage area. The structures are proposed to be 3 stories rising to a roof deck approximately 28' above grade (30' allowed by code). A parapet enclosing the roof deck is approximately 3'-6" above the roof deck and the stair penthouse is about 10' above the roof deck at its tallest point. The vaulted master bedrooms are about 34' at the tallest point.

There is on-site parking for 6 cars on site; 2 surface stalls in the auto court between the buildings, 1 garage stall in the NE unit, and (2) tandem stalls (equaling 3 spaces per zoning code) at the rear units. Trash and service areas are either within the garages or at the rear portion of the lot.

Design Guideline Information

Since this proposal is in a neighborhood of both modern and traditional architectural styles, we have provided a modern building that respects its sloped-roof neighbors. These features invite interaction between the residents and neighbors alike. The building style, materials and features are intended to be relatable to everyone who experiences the building.

Site features which are more functional, such as trash, are held to the rear of the site.

The following are in response to a Preliminary Design Guidance Checklist:

CS2.B.2 Connection to the Street: The front duplex relates directly to the street, while the access to the rear building is accentuated by a landscaped path (SDR4 & 6).

PL1.B.2 Pedestrian Infrastructure: As a gesture to the existing street context, we have increased the required front setback to place a significant portion of the ground level amenity area at the sidewalk. This effort is intended to enhance the pedestrian experience and enhance the fabric of the neighborhood. (SDR6 Landscape Schematic).

PL3.A.1&2 Ensemble of Elements: As illustrated on sheet SDR8, the architectural design elements, materials and massing along with the front landscaping emphasize the recessed building entry.

PL3.B.1 Residential Edges – Security and Privacy: The heavily landscaped front yard provides a measure of privacy for the residences, while lending to a peaceful environment for pedestrians (SDR6 Landscape Schematic).

DC1.B.1c Vehicular Access and Circulation: Vehicles access the lot from the rear alley through a paver lined drive. This method minimizes the interaction between cars and residents (SDR6)

DC2.A2 Reducing Perceived Mass: The buildings are highly articulated for structures of this size. Massing, roof slopes, projections, recesses, materials and colors all act to visually reduce the overall mass of the buildings (SDR7, 8 & 9).

DC2.C.1 Secondary Architectural Features: See DC2.A.2 above.

DC4.A.1 Exterior Finish Materials: These buildings employ different siding textures through the use of Hardie panels and wood siding. (SDR8 & SDR9).

DC4.D.2 Hardscape Materials: The new auto access, auto court and walks are proposed to be pavers. The layout of the auto areas are intended to minimize interaction with the residents. (SDR6)

Site Reconnaissance:

1. Street trees will be added to the planting strip (See SDR6).
2. Tree appears to be on adjacent site (or on property line) in NW corner. New Paving should largely be outside of the trees dripline, so no additional impact to the tree is anticipated.
3. Existing structure is to be demolished as part of the construction application.

Response to SDR Preliminary Design Guidance Meeting

1. SPU: High Voltage Line info is added to the survey (See SDR5) and an elevation study (See SDR 10) to illustrate conformance with HVL setbacks.
2. Land Use: The tree in the NW corner was apparently not healthy as it was regularly dropping limbs on parked cars. As such, the owner had it removed without prior identification. There are no other 6"+ on site.
3. Land Use: Secondary architectural features have been more prominently illustrated (such as entry canopies) on SDR7, SDR8 and SDR9.
4. Land Use: The Pedestrian path is more clearly delineated with material / texture different than the drive / parking area (see SDR6 and SDR7).
5. Land Use: As a result of the Tandem parking investigation, we have removed the garage in the SE unit to allow for surface parking of two cars in the auto court. With the remaining 3 units having garage parking. Additionally, the rear units each have a surface (tandem) parking stall (netting 1.5 stalls/unit).
6. Land use: The paved area at the alley has been softened by the addition of landscaping between the surface parking areas.

Zoning Adjustments:

1. No Zoning or other Adjustments to the code are being requested at this time.



vicinity map



DATE: 03/03/17

conflux architecture, inc.

8901 B roosevelt way ne seattle, washington 98115

206-523-4414

information

Proposed Multi-Family Residences for:

Stan Jacobs

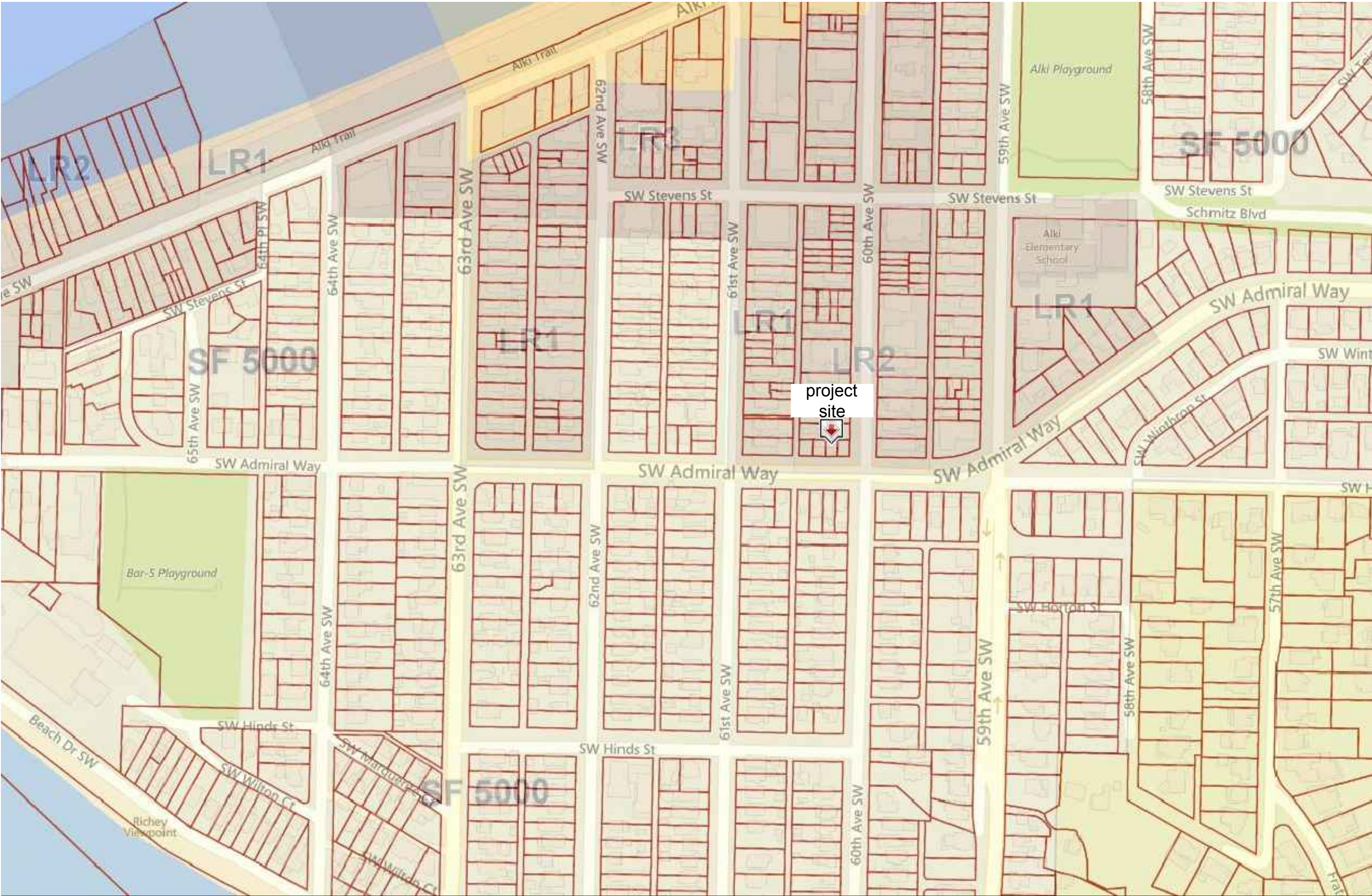
3053 60th Ave. SW

Seattle, WA 98116

15003

SDR1

1 / 11



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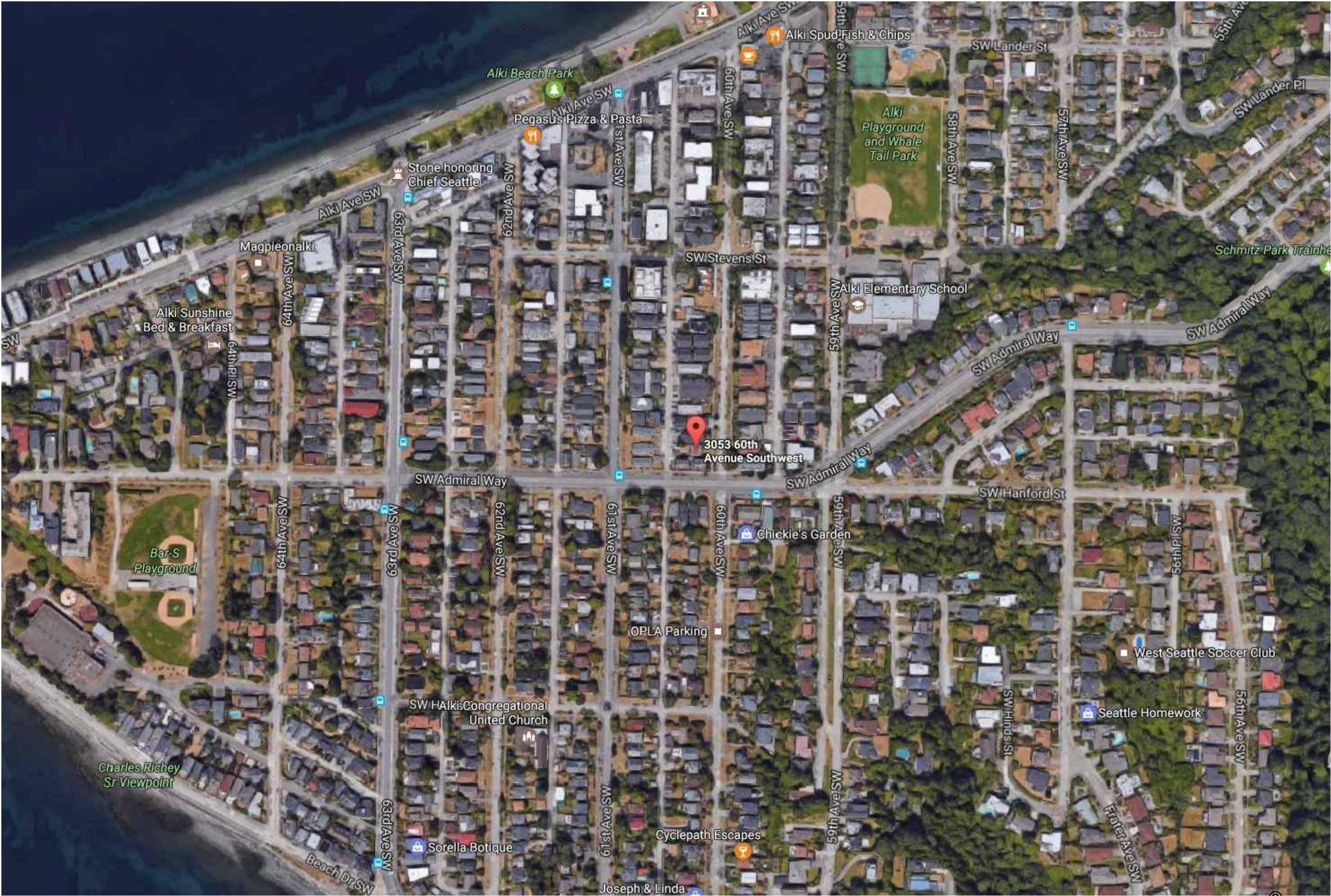
zoning
context

Proposed Multi Family Residences for:
Stan Jacobs
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Seattle, WA 98116

15003

SDR2

2 / 11



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block
context
aerial

Proposed Multi Family Residences for:

Stan Jacobs

3053 60th Ave. SW
Seattle, WA 98116

15003

SDR3

3 / 11

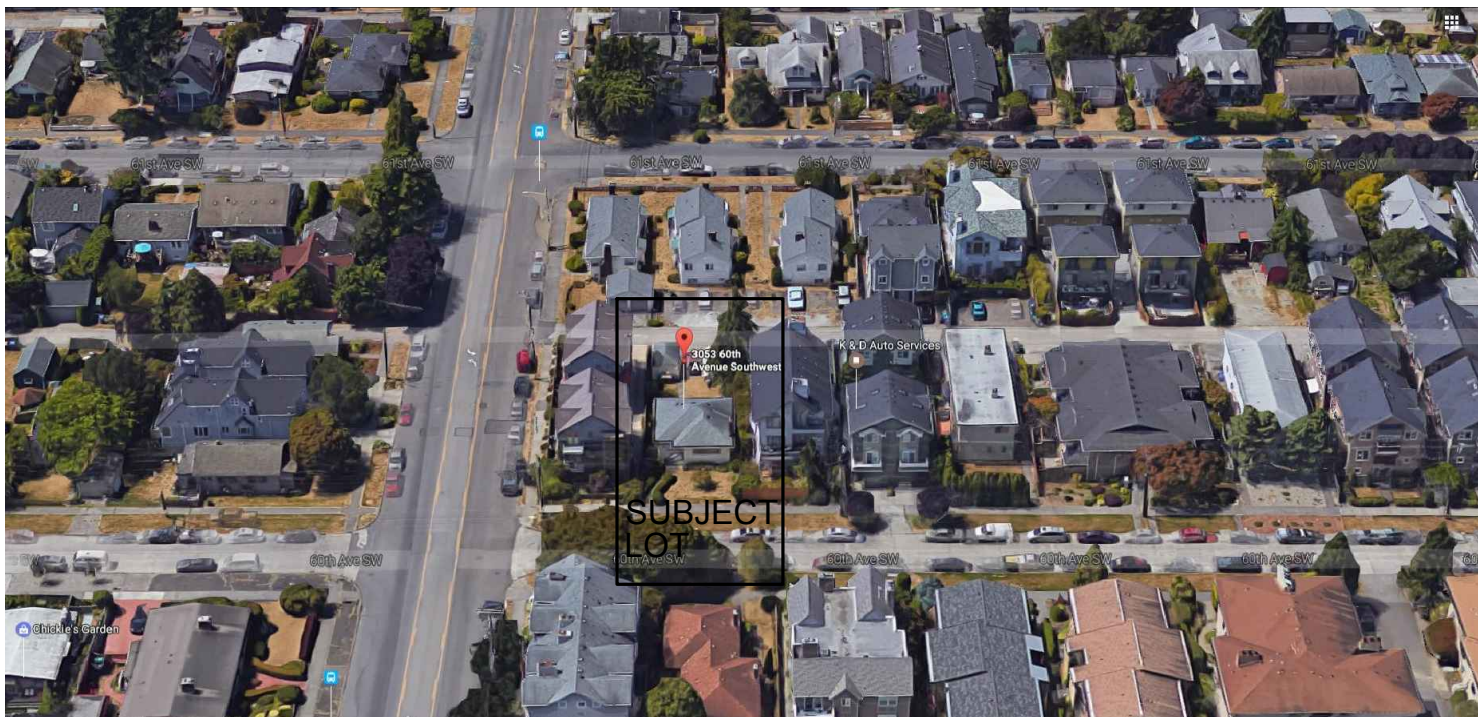


north elevation
1/16" = 1'-0"

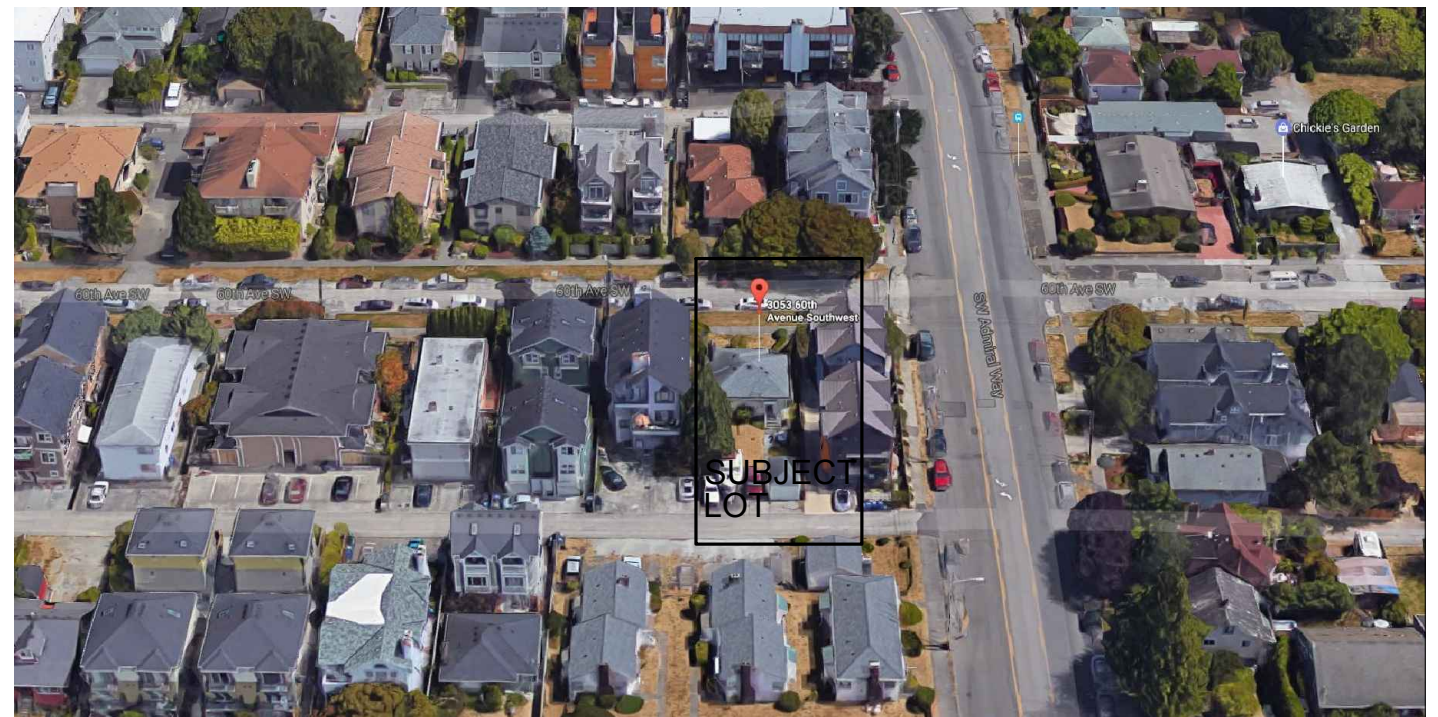
INDICATES WINDOW LOCATIONS OF
RESIDENCES ON ADJACENT LOTS



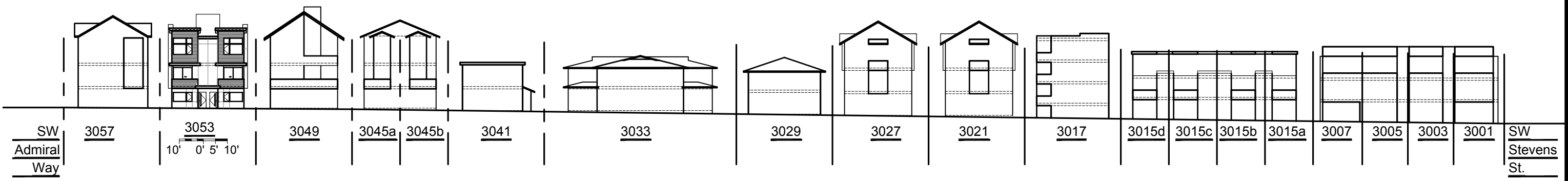
south elevation
1/16" = 1'-0"



Arial View looking west



Arial View looking east



60th Ave. SW

DATE: 03/03/17

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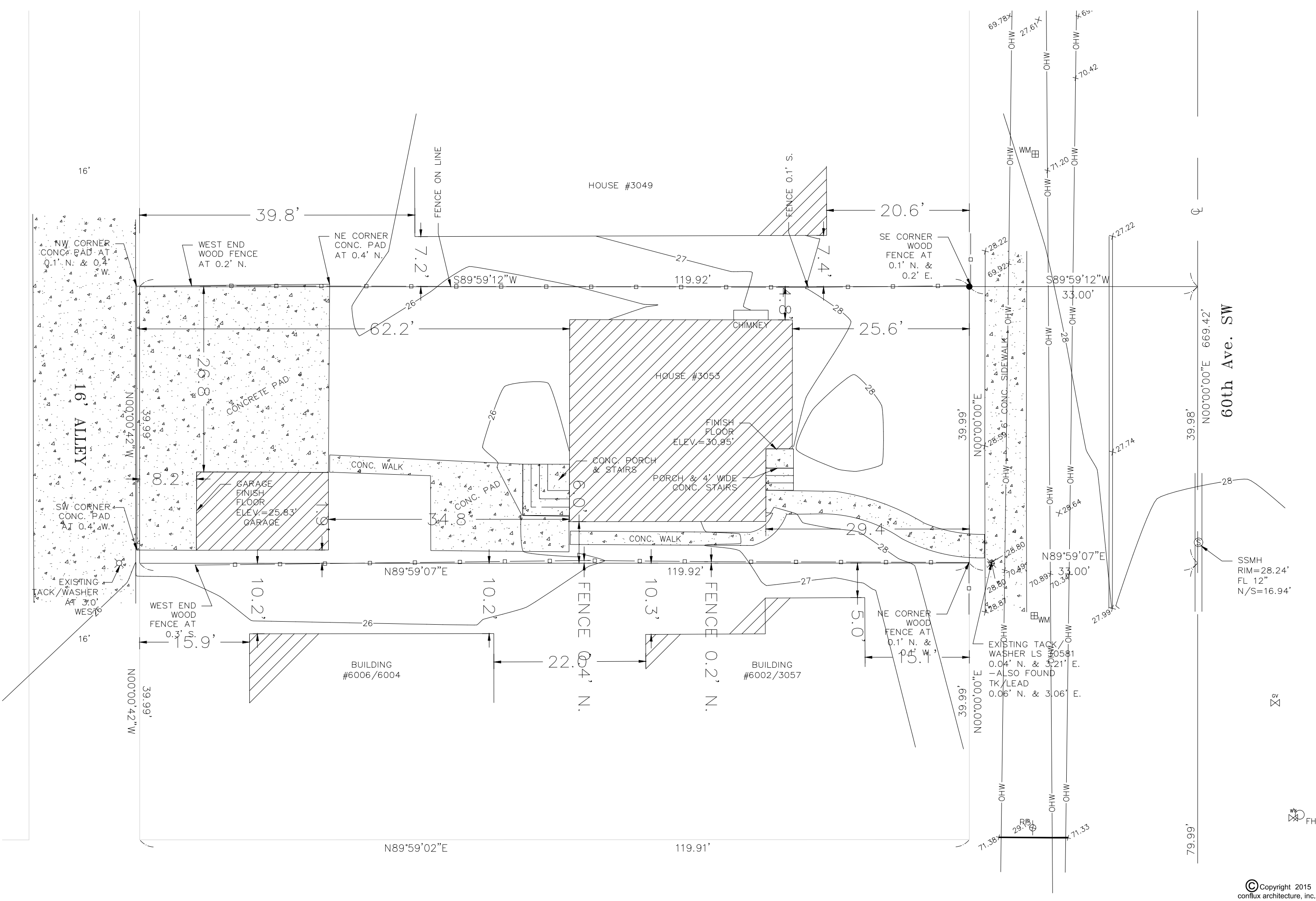
street &
adjacent
residences
context

Proposed Multi Family Residences for:
Stan Jacobs
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Seattle, WA 98116

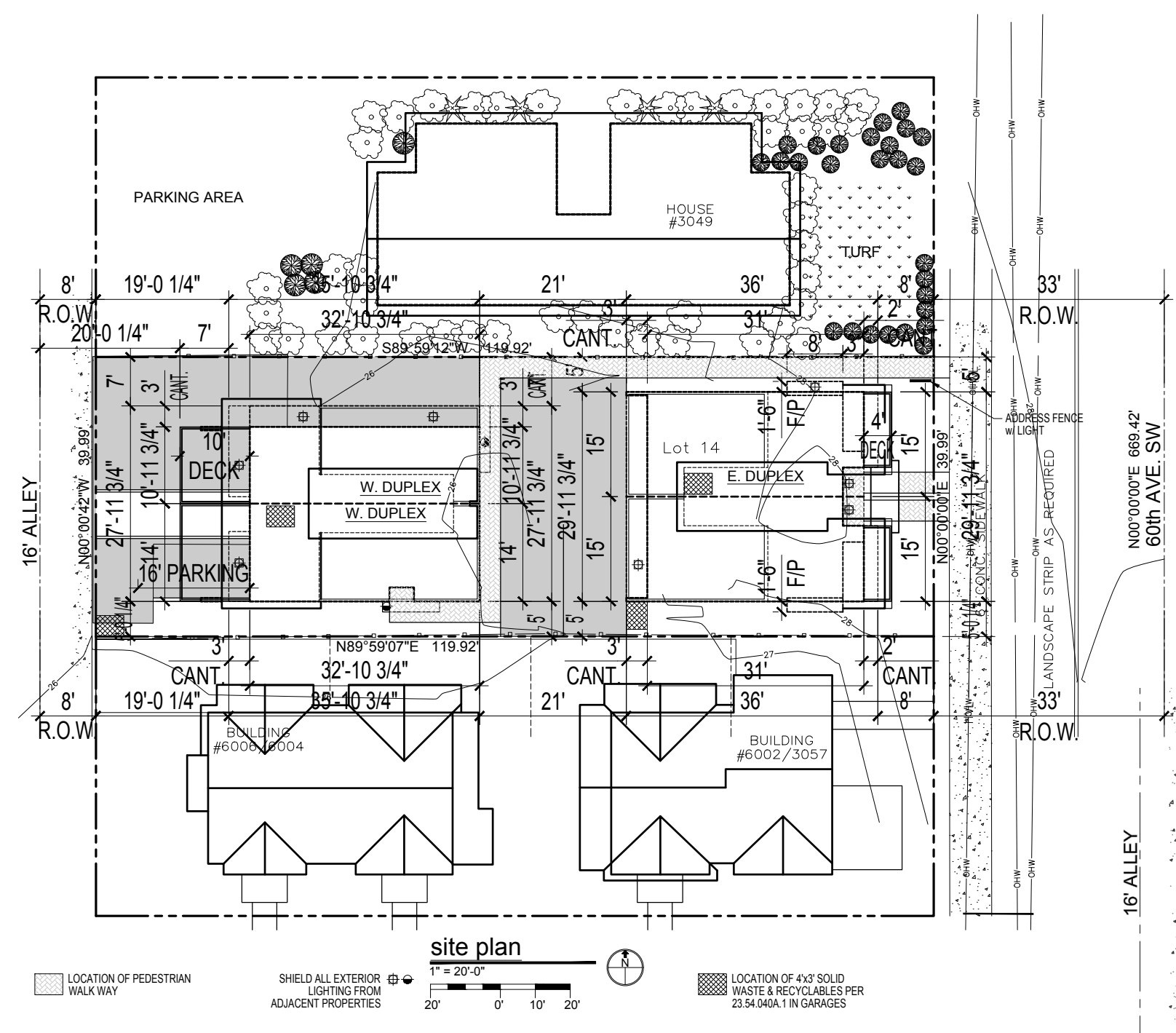
15003

SDR4

4 / 11



DATE: 03/03/17	
conflux architecture, inc.	
8901 B roosevelt way ne seattle, washington 98115 206-523-4414	
survey	
Proposed Multi Family Residences for:	
Stan Jacobs 3053 60th Ave. SW Seattle, WA 98116	
15003	
SDR5	
5 / 11	



site plan
1" = 20'-0"

LOCATION OF PEDESTRIAN WALK WAY

SHIELD ALL EXTERIOR LIGHTING FROM ADJACENT PROPERTIES

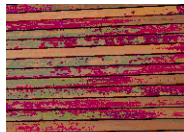
LOCATION OF 4'x3' SOLID WASTE & RECYCLABLES PER 23.54.040A.1 IN GARAGES



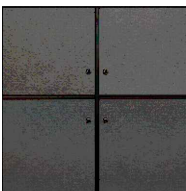
8"x8" CEMENT PAVERS @ DRIVE



24"x24" CEMENT PAVERS @ WALK



4" WOOD



DARK GREY HARDIE PANEL

project data

property address

3053 60th AVE. SW
SEATTLE, WA 98116

tax account #:

6371000140

legal description

LOT 14, BLOCK 2, OLSON LAND COMPANY'S 1ST ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21, PAGE 63, RECORDS OF KING COUNTY, WASHINGTON

OCCUPANCY

CONSTRUCTION TYPE

ZONE

OVERLAY

LOT SIZE =

23.45.510.E3

FLOOR AREA RATIO

BUILDING 1 (NEW DUPLEX)

BUILDING 2 (NEW DUPLEX)

TOTAL

TOTAL S.F. ALLOWED @ 1.2 FAR

5,378.91 S.F.

4,795.55 S.F.

23.45.512

23.45.514

23.45.518

23.45.522

23.45.524

23.45.527

23.45.536

23.45.015

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project team:

owner

STAN JACOBS
3053 60th AVE. SW
SEATTLE, WA 98116
(206) 718-3155

structural engineer

RON SKINNER, PE
SOUND STRUCTURAL SOLUTIONS, inc.
6628 212th St SW, Ste 205
LYNNWOOD, WA 98036
PH: (425) 778-1023

surveyor

EMMETT C. DOBBS
DOBBS / FOX & ASSOCIATES
15255 SUNWOOD BLVD. SUITE A-41
TUKWILA, WASH. 98188
(206) 433-1738

architect

KIRK R. CHRISTIANSON, AIA
CONFLUX ARCHITECTURE INC.
8901 B ROOSEVELT WAY NE
SEATTLE, WASHINGTON 98115
(206) 523-4414

landscape professional

DEVIN GOLOB
LANDSCAPE ARCHITECT
ROOT OF DESIGN, LLC
PH: (206) 491-9545

geotechnical engineer

MARC R. MCGINNIS
GEOTECH CONSULTANTS, INC.
2401 10TH AVE. E.
SEATTLE, WA 98102
(425) 747-5618

CONSTRUCTION TYPE	R-3
ZONE	VB
OVERLAY	LR2
LOT SIZE =	ALKI PARKING DISTRICT
23.45.510.E3	4,795.55 S.F.
FLOOR AREA RATIO	1.2
BUILDING 1 (NEW DUPLEX)	2,777.96 S.F.
BUILDING 2 (NEW DUPLEX)	2,600.95 S.F.
TOTAL	5,378.91 S.F.
TOTAL S.F. ALLOWED @ 1.2 FAR	5,754.66 S.F.
5,378.91 S.F.	
4,795.55 S.F.	
FLOOR AREA RATIO	
DENSITY (UNLIMITED.)	4 NEW PROPOSED
STRUCTURE HEIGHT	
A. BASE HEIGHT	30'
SETBACKS	
A. FRONT: 5' MIN. 7' AVE.	8' PROPOSED
B. REAR: 7' AVERAGE TO < OF ALLEY 20.02' PROPOSED	
C. SIDE: 5' MIN.	5' PROPOSED
AMENITY AREA	SEE LANDSC. PLAN
LANDSCAPING STANDARDS	SEE LANDSC. PLAN
STRUCTURE WIDTH/DEPTH	
W = 60' ALLOWED FOR TOWNHOUSES (29.98' PROPOSED)	
D = 65% OF LOT = 119.92' x .65 = 77.948' (77.90' PROPOSED)	
41.90' (REAR) + 36.0' (FRONT) = 77.90'	
PARKING PER 23.54.015	1.5 PER UNIT = 6 TOTAL
TREE PLANTING CALC:	SEE LANDSC. PLAN

23.45.522 amenity area :

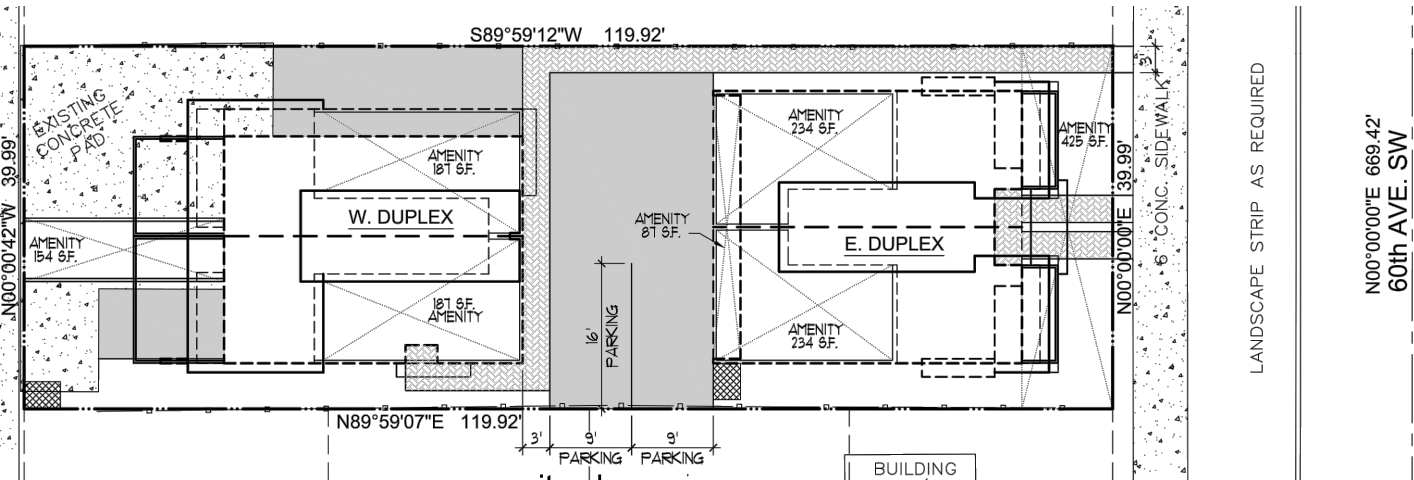
REQUIRED: 25% OF LOT AREA	4,795.55 S.F.
PROVIDED:	
COMMON AT GRADE EAST	425 S.F.
COMMON AT GRADE WEST	154 S.F.
PRIVATE AT GRADE (AUTOCOURT)	87 S.F.
PRIVATE AT FRONT DUPLEX NORTH UNIT	234 S.F.
PRIVATE AT FRONT DUPLEX SOUTH UNIT	234 S.F.
PRIVATE AT REAR DUPLEX NORTH UNIT	187 S.F.
PRIVATE AT REAR DUPLEX SOUTH UNIT	135 S.F.
TOTAL	1508 S.F.

23.45.522 A1 25% OF LOT AREA 25x4,795.55=119,889 S.F. REQUIRED

23.45.522 A2 50% AT GROUND LEVEL 119,889/2=59,945 S.F. REQUIRED

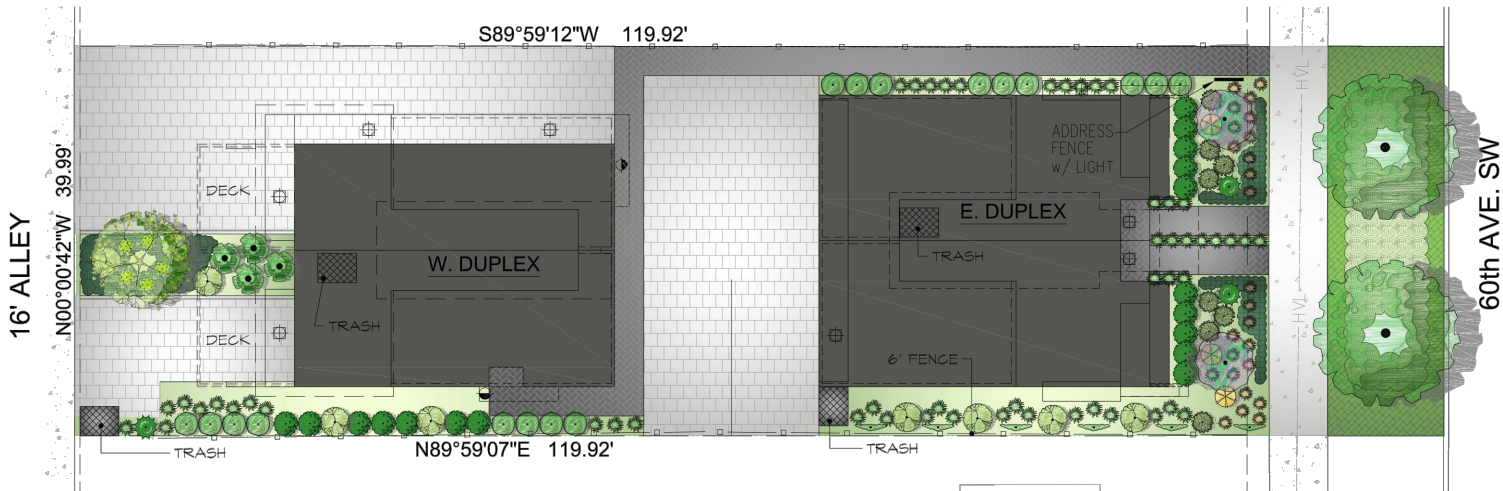
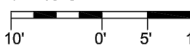
666 S.F. PROVIDED

SEE LANDSCAPE PLAN FOR AMENITIES AT GRADE



amenity plan

1" = 10'-0"



RENDERED LANDSCAPE PLAN



DATE: 03/03/17

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8901 B roosevelt way ne seattle, washington 98115
206-523-4414

site context

Proposed Multi-Family Residences for:

Stan Jacobs
3053 60th Ave. SW
Seattle, WA 98116

15003

SDR6

6 / 11



DATE: 03/03/17

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color
material
context

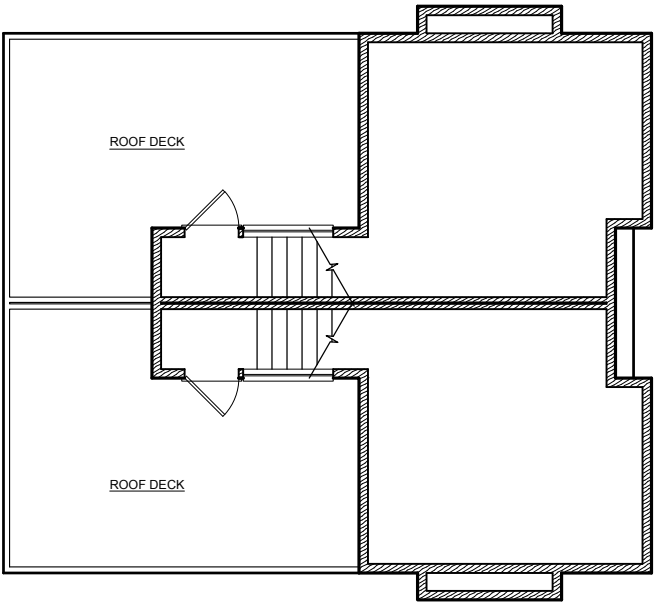
Proposed Multi Family Residences for:
Stan Jacobs
3053 60th Ave. SW
Seattle, WA 98116

15003

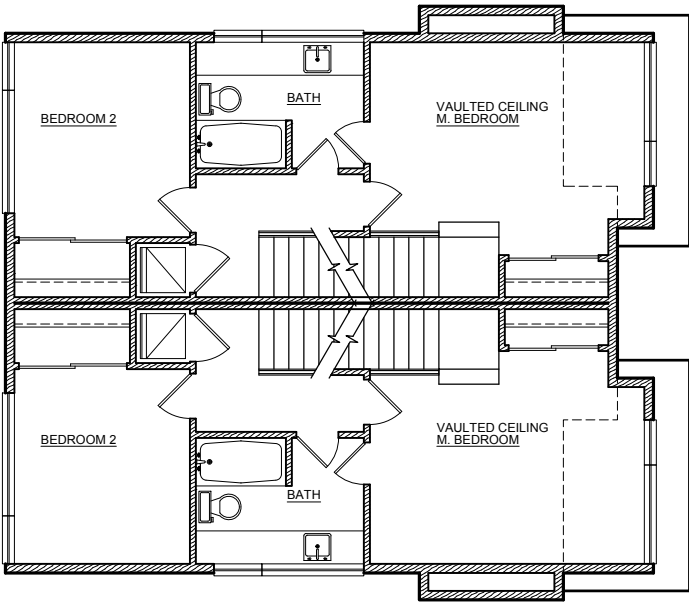
SDR7

7 / 11

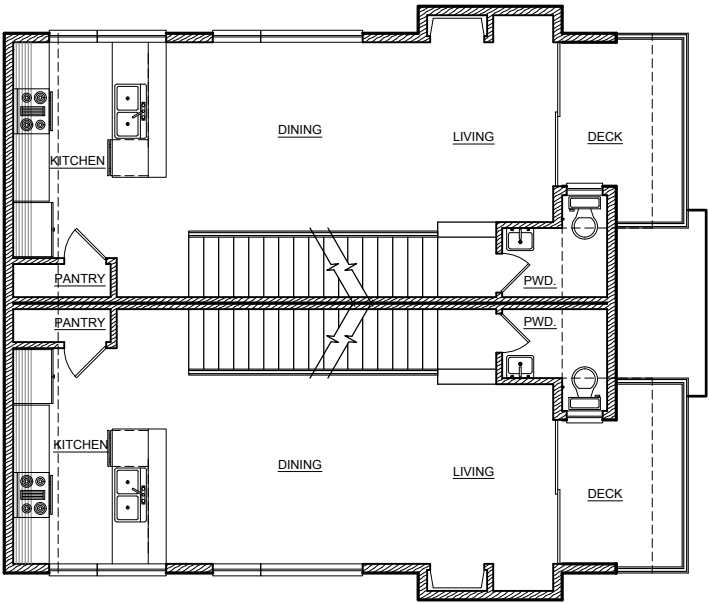
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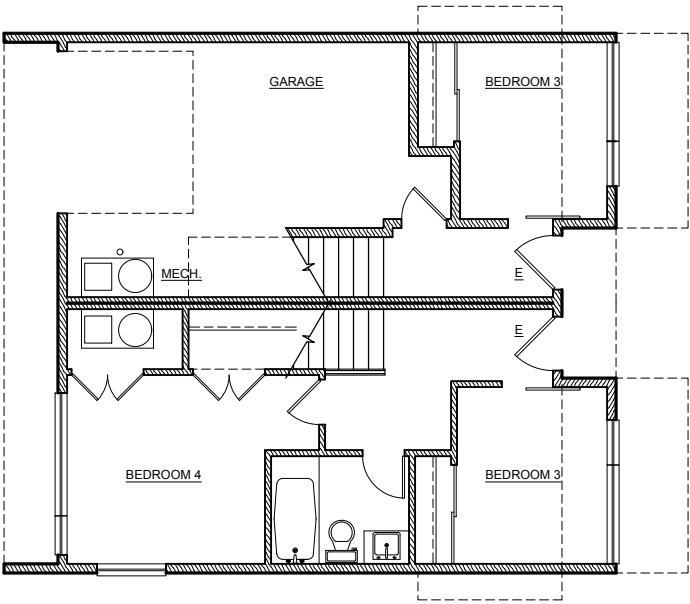
stair penthouse
3/32" = 1'-0"



upper floor plan
3/32" = 1'-0"



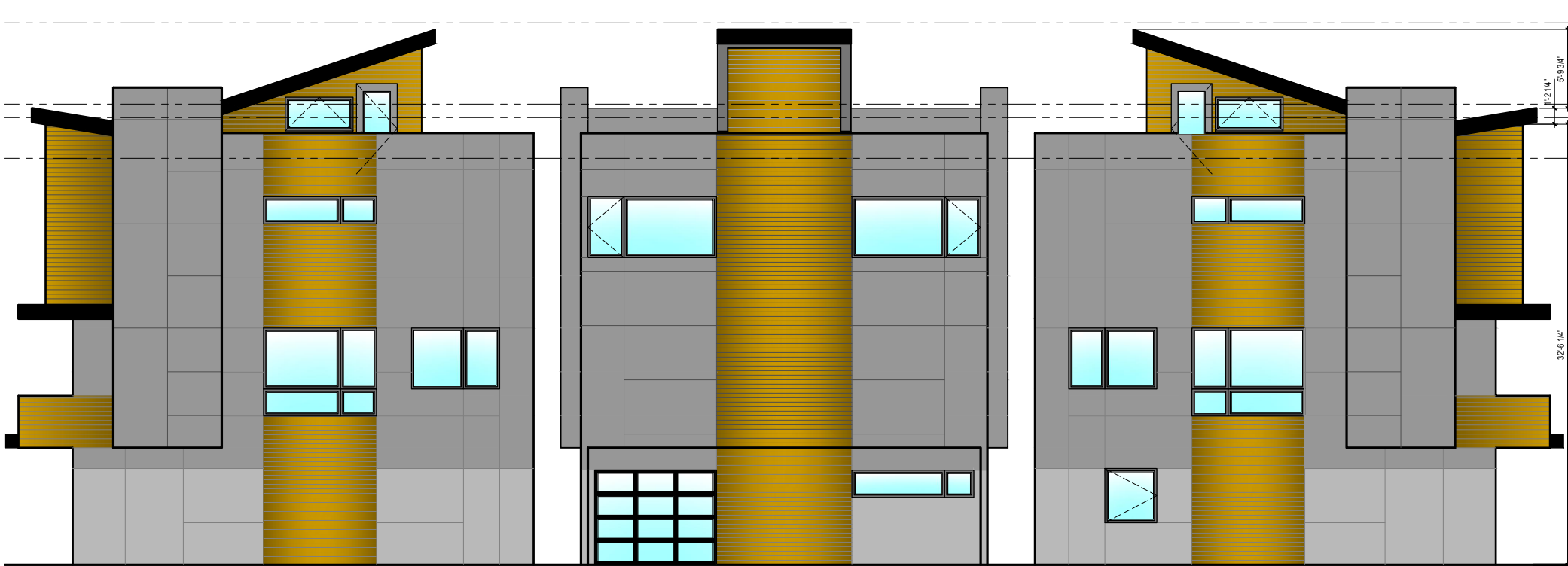
main floor plan
3/32" = 1'-0"



lower floor plan
3/32" = 1'-0"



area summary south unit			area summary north unit		
FLOOR	FLOOR AREA	HEATED AREA	FLOOR	FLOOR AREA	HEATED AREA
LOWER FLOOR	411.69 S.F.	452.0 S.F.	LOWER FLOOR	411.69 S.F.	158.0 S.F.
MAIN FLOOR	452.16 S.F.	496.0 S.F.	MAIN FLOOR	452.16 S.F.	496.0 S.F.
UPPER FLOOR	486.8 S.F.	531.0 S.F.	UPPER FLOOR	486.8 S.F.	531.0 S.F.
STAIR PENTHOUSE	38.33 S.F.	24.0 S.F.	STAIR PENTHOUSE	38.33 S.F.	24.0 S.F.
TOTAL HEATED AREA	1,388.98 S.F.	1,503.0 S.F.	TOTAL HEATED AREA	1,388.98 S.F.	1,209.0 S.F.
PORCH		11.0 S.F.	GARAGE INCLUDED		295.0 S.F.
MAIN FLOOR DECK		69.0 S.F.	PORCH		11.0 S.F.
ROOF DECK		248.0 S.F.	MAIN FLOOR DECK		69.0 S.F.
			ROOF DECK		248.0 S.F.



north elevation
3/32" = 1'-0"

west elevation
3/32" = 1'-0"

south elevation
3/32" = 1'-0"



east elevation
3/32" = 1'-0"

front duplex
concept
elevation &
floor plans

15003

SDR8

8 / 11

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Proposed Multi-Family Residences for:

Stan Jacobs

3053 60th Ave. SW

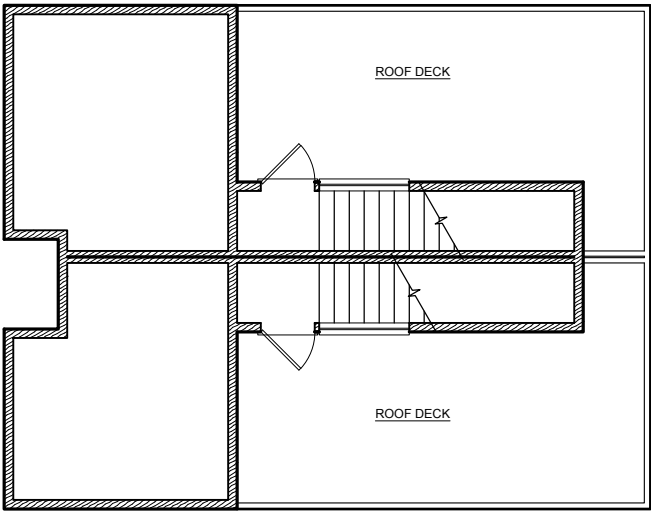
Seattle, WA 98116

DATE:

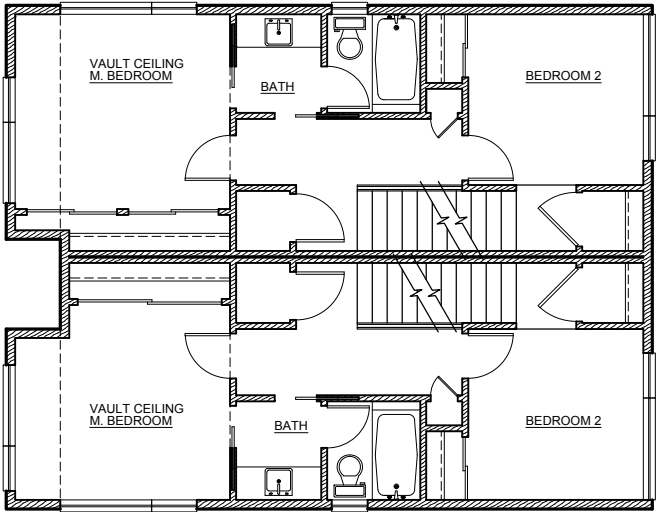
03/03/17

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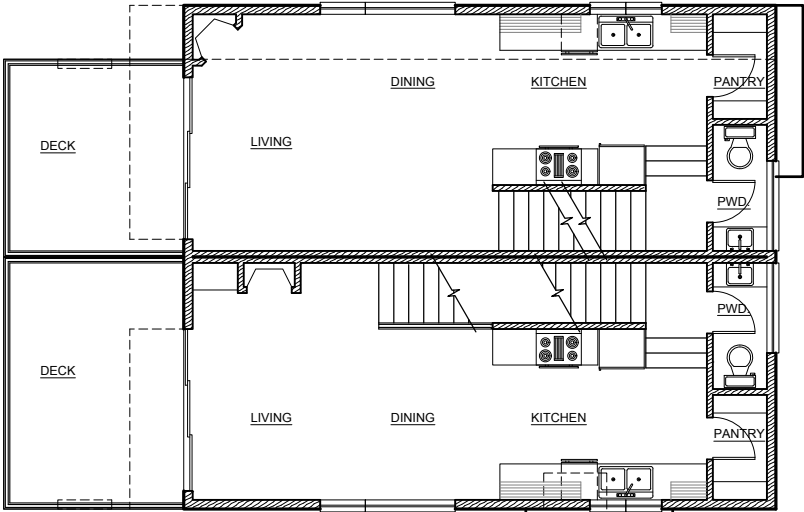
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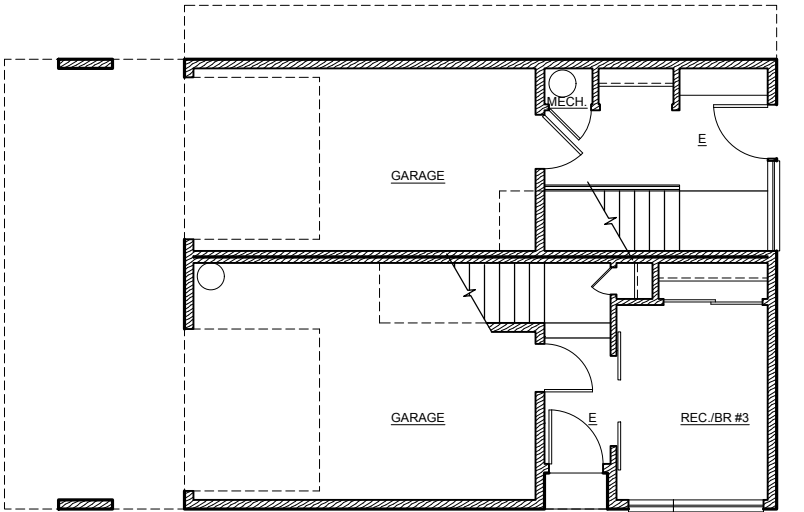
stair penthouse
3/32" = 1'-0"



upper floor plan
3/32" = 1'-0"



main floor plan
3/32" = 1'-0"



lower floor plan
3/32" = 1'-0"

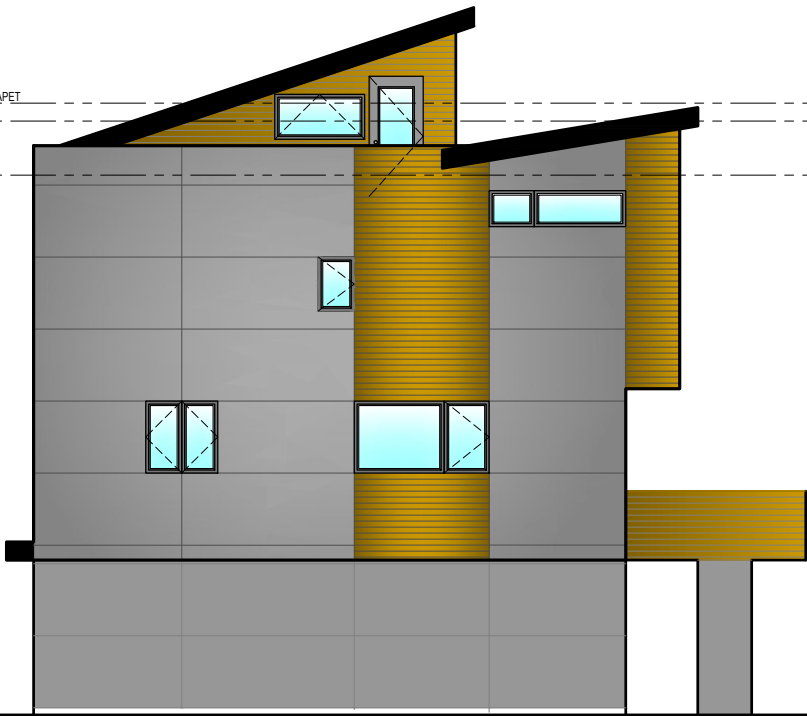


area summary south unit		
FLOOR	FLOOR AREA	HEATED AREA
LOWER FLOOR	410.96 S.F.	181.0 S.F.
MAIN FLOOR	419.96 S.F.	461.0 S.F.
UPPER FLOOR	446.96 S.F.	491.0 S.F.
STAIR PENTHOUSE	62.43 S.F.	21.0 S.F.
TOTAL HEATED AREA	1,340.31 S.F.	1,154.0 S.F.
GARAGE	INCLUDED	273.0 S.F.
PORCH		7.0 S.F.
MAIN FLOOR DECK		140.0 S.F.
ROOF DECK		241.0 S.F.

area summary north unit		
FLOOR	FLOOR AREA	HEATED AREA
LOWER FLOOR	323.61 S.F.	147.0 S.F.
MAIN FLOOR	419.3 S.F.	460.0 S.F.
UPPER FLOOR	455.3 S.F.	499.0 S.F.
STAIR PENTHOUSE	62.43 S.F.	21.0 S.F.
TOTAL HEATED AREA	1,260.64 S.F.	1,127.0 S.F.
GARAGE	INCLUDED	214.0 S.F.
PORCH		
MAIN FLOOR DECK		110.0 S.F.
ROOF DECK		241.0 S.F.

40.00' MAX.
STAIR PENTHOUSE

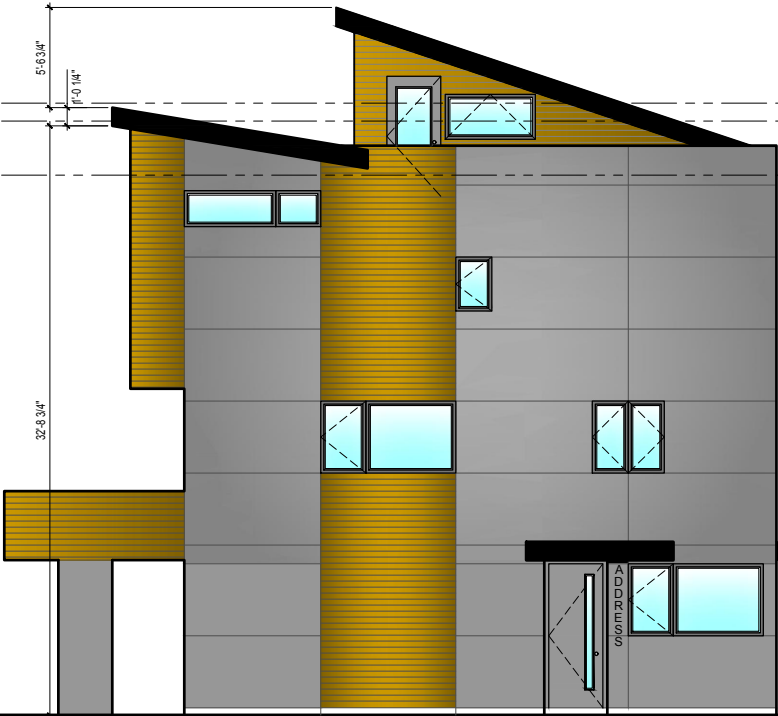
34.00' MAX.
ROOF PEAK / PARAPET
33.00' MAX.
WALL ELEVATION
30.00' MAX.
HEIGHT LIMIT



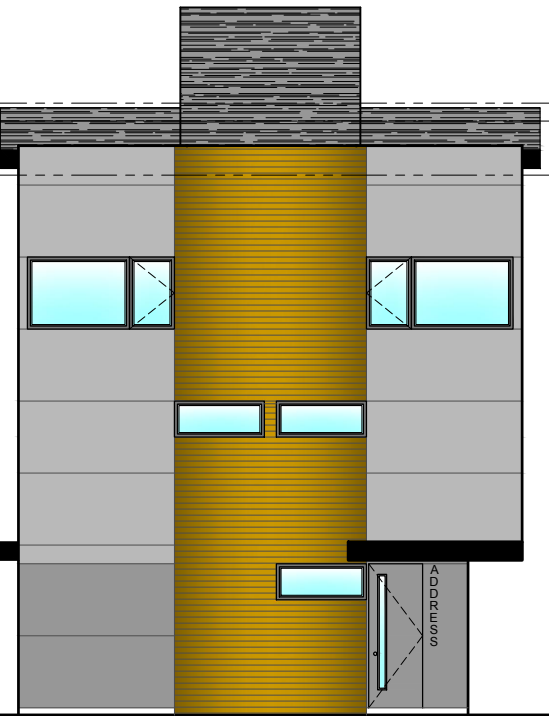
north elevation
3/32" = 1'-0"



west elevation
3/32" = 1'-0"



south elevation
3/32" = 1'-0"



east elevation
3/32" = 1'-0"

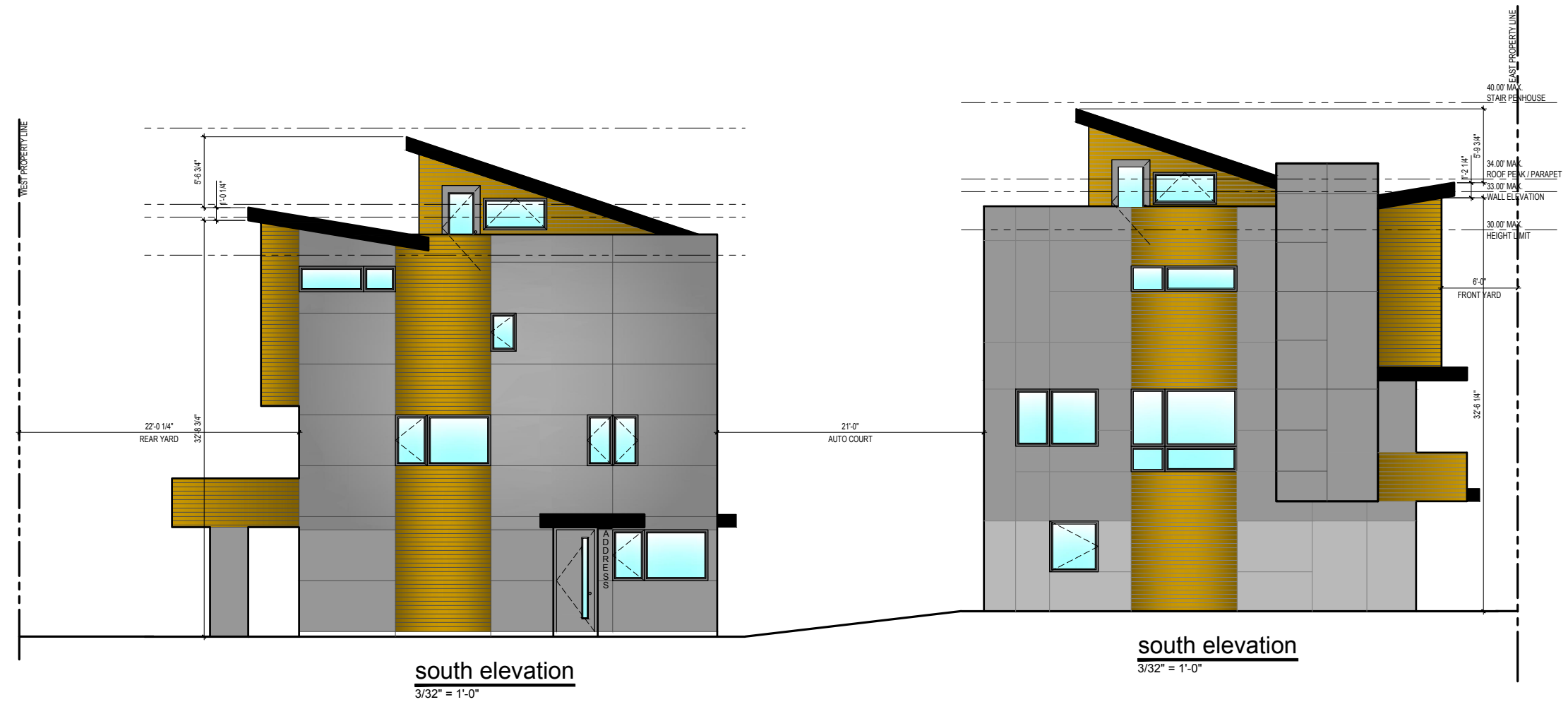
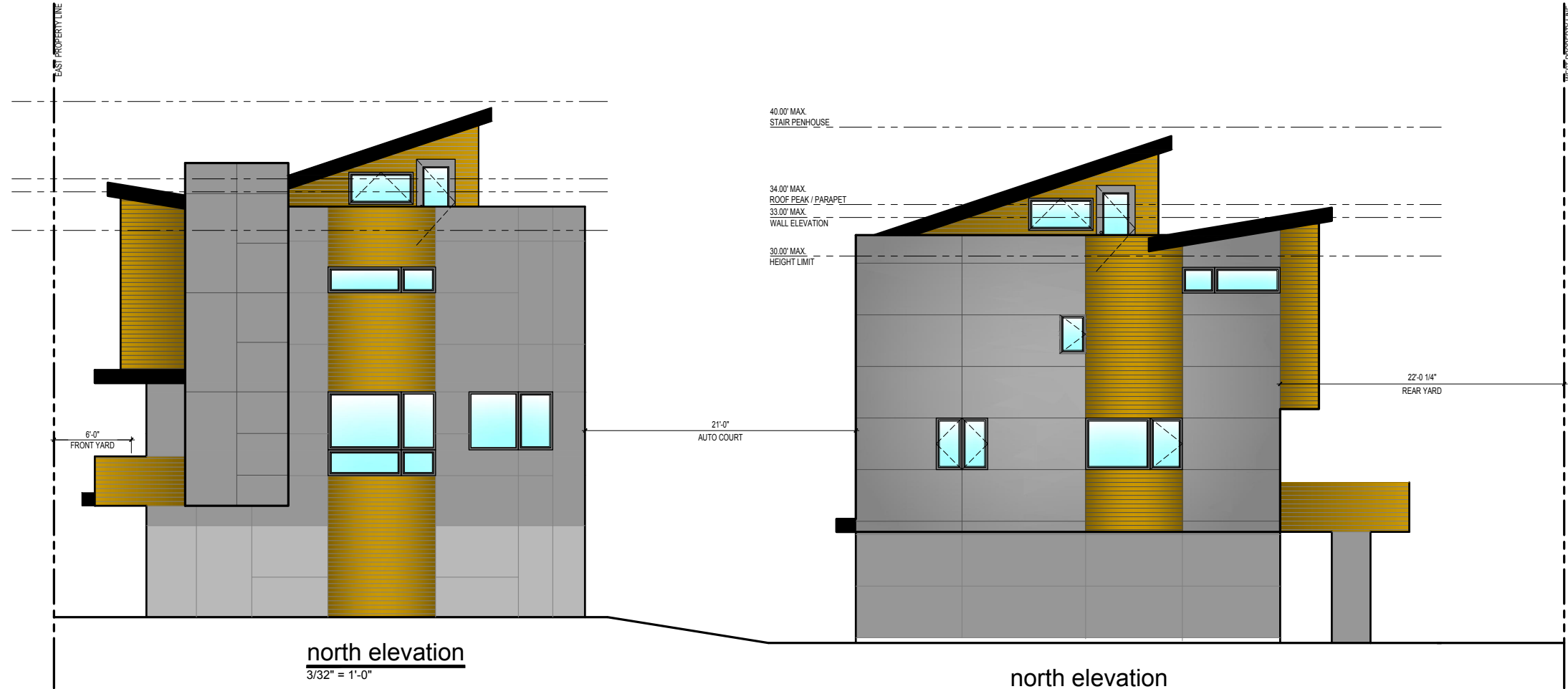
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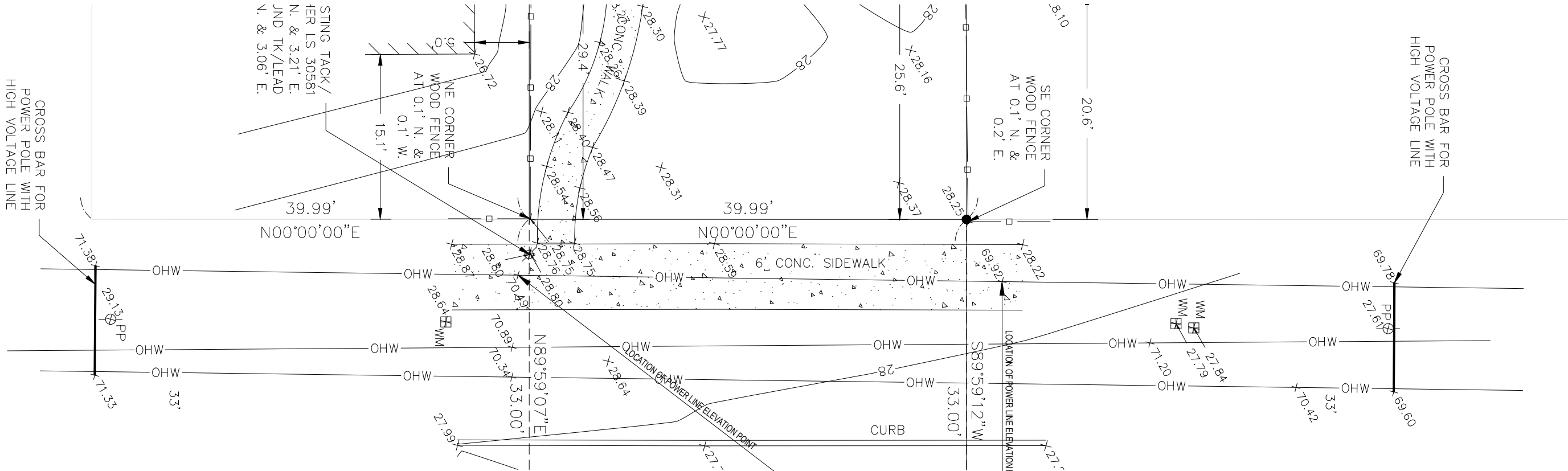
rear duplex
concept
elevation &
floor plans

Proposed Multi-Family Residences for:
Stan Jacobs
3053 60th Ave. SW
Seattle, WA 98116

15003
SDR9
9 / 11

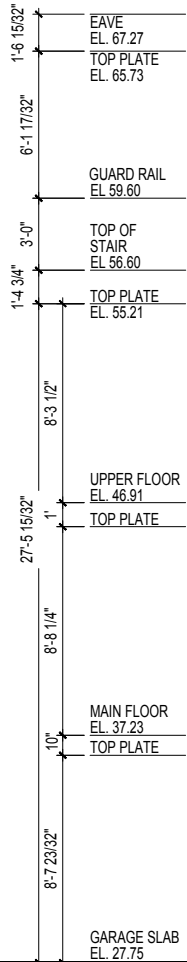


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DATE: 03/03/17	
front duplex concept elevation & floor plans	15003
Proposed Multi Family Residences for:	Stan Jacobs
	3053 60th Ave. SW
	Seattle, WA 98116
SDR10	
10 / 11	



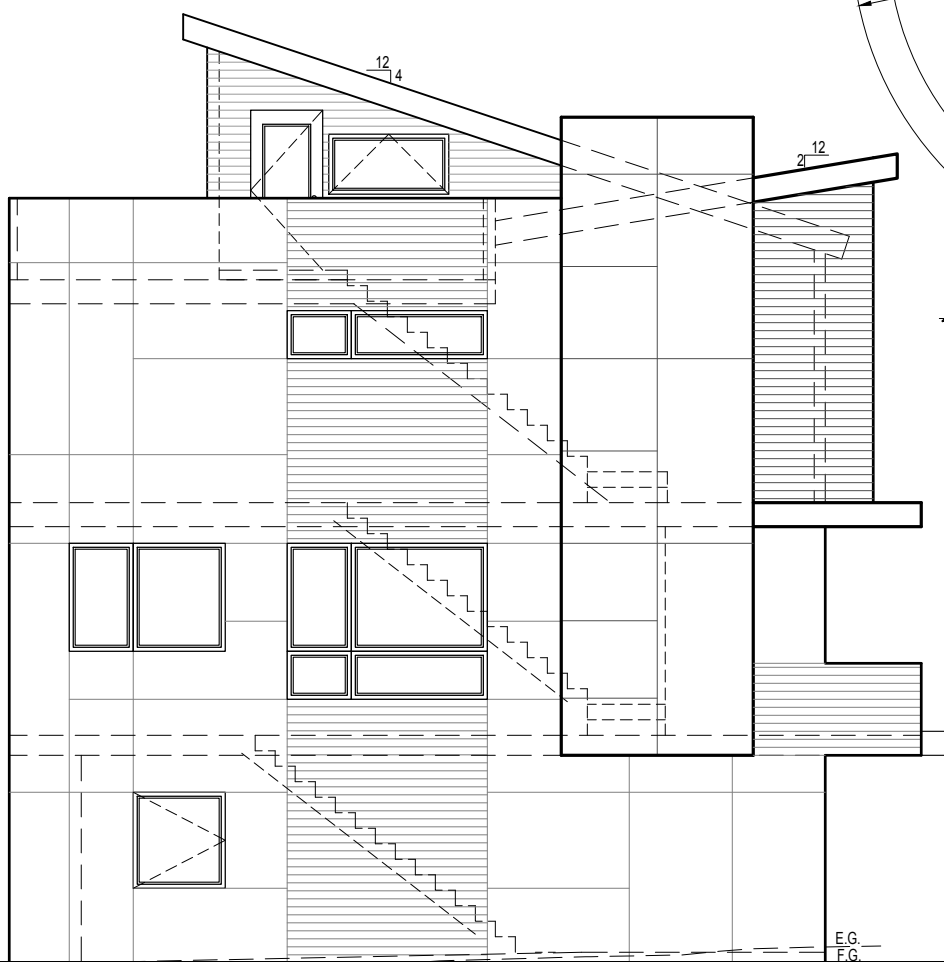
site plan

1" = 10'-0"

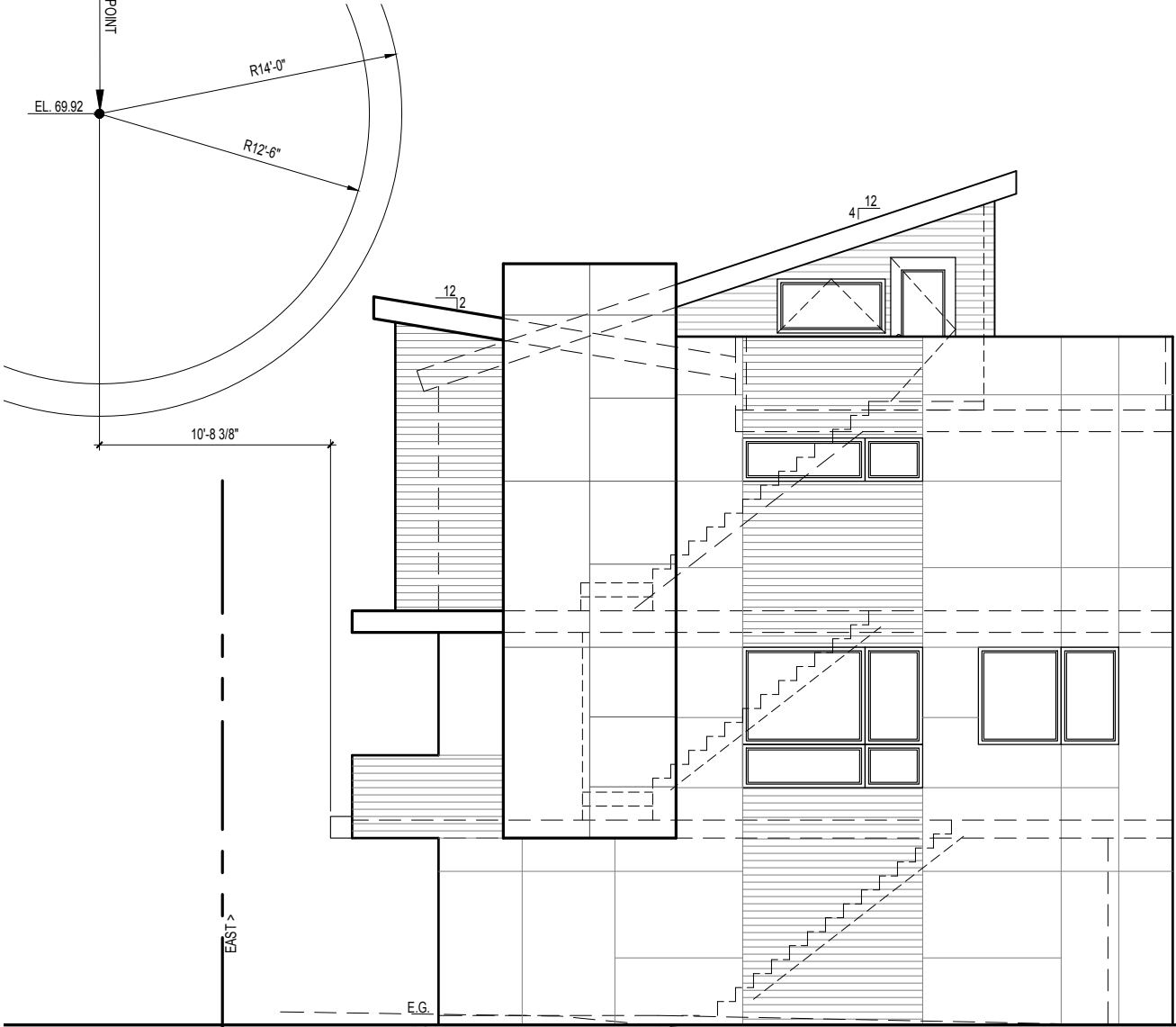


south elevation

1/8" = 1'-0"



EAST



north elevation

DATE:

03/03/17

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elevations
front duplex

Proposed Multi Family Residences for:

Stan Jacobs

3053 60th Ave. SW
Seattle, WA 98116

15003

SDR11

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