

BARANOF INTERBAY STORAGE

DRB Recommendation Presentation #3

Meeting Date 10/19/2016
SDCI PROJECT # 3022095



For more information please contact:

MACKENZIE.

Brett Hanson, AIA, LEED AP, GGP
Branch Manager-Seattle, Architect
bhanson@mcknze.com

Michael Chen
Senior Associate, Land Use Planner
mchen@mcknze.com

206.749.9993 ■ mcknze.com
Portland, OR ■ Vancouver, WA ■ Seattle, WA

© 2015 Mackenzie Engineering Inc. Unless noted, all text, video recordings, photos, drawings, computer generated images and/or statements are owned by Mackenzie and protected by copyright and/or other intellectual property laws. No part of these pages, either text or image may be reproduced, modified, stored in a retrieval system or retransmitted, in any form or by any means, electronic, mechanical or otherwise without prior written permission. Mackenzie®, and M.™ and all corresponding logos and designs are service marks and/or registered service marks of Mackenzie Engineering Inc. All rights reserved.



Aerial Photograph

SITE

1634 15th Ave W.
Interbay, Seattle WA 98119

1.0 SITE INFORMATION

2.0 REC MEETING #2 RESPONSE

3.0 DESIGN UPDATES

- Site Plan
- Landscape Option #1 - Plant Palette
 - Shrubs, Grasses, Perennials
- Landscape Option #1 - Plant Palette
 - Trees
- Landscape Options + Blank Wall Mitigation -
Option #1 (preferred)

4.0 ENTRY

5.0 UTILITIES

- Site Plan
- Interior Doors
- Site Lighting

6.0 MISC.

- Interior Doors From 15th Avenue
- Site Photometric Plan
- Site & Building Lighting

7.0 FLOOR PLANS

- Parking Garage (below grade)
- First Floor Plan
- Second Floor Plan
- Third Floor Plan
- Fourth & Fifth Floor Plan

APPENDIX

- Landscape + Blank Wall Mitigation - Option 2
- Landscape + Blank Wall Mitigation - Option 3

1.0 SITE INFORMATION

ZONING DATA

Zoning Designation: Industrial Commercial-45 (IC-45)

Zoning Overlays: None

Urban Village Overlay: Ballard-Interbay-Northend Manufacturing Industrial

SEATTLE MUNICIPAL CODE

Development Standards:

The standards for development within the IC zone are outlined in Seattle Municipal Code (SMC) Chapter 23.50.

Structure Height:

Within the IC-45 zone, structure heights are limited to 45 feet. Extra FAR and/or FAR bonuses are not available in the IC zones.

Floor Area Limits:

Per SMC Section 23.50.028 – Floor area limits, the base and maximum floor area ratio (FAR) for the site is 2.5.

Setback Requirements:

Assuming that the space between the subject site and the residentially-zoned lots to the east would be considered an alley, a ten-foot setback would be required on the east side of the site, and half of the alley width may be counted as part of the required setback, per SMC Section 23.50.32 – Industrial Commercial—Setback requirements.

Screening and Landscaping:

Per SMC 23.50.038 – Industrial Commercial – Screening and landscaping, because the proposed development will create more than 4,000 new square feet of a non-residential use, the required landscaping must achieve a “Green Factor” score of 0.30 or greater (such landscaping includes large shrubs or other perennials and trees, as well as green roofs and high soil depths). Street trees must also be provided. Blank segments of facades that are 60 feet wide and greater, and within 20 feet of the street lot line, must be screened with a hedge, trellis, and/or vining plant, or other landscaping. Screening is required in all surface parking areas; in surface parking areas for more than 50 cars, interior landscaping is also required, and view obscuring screening may be required in surface parking areas adjacent to residential zones. Outdoor storage and outdoor loading berths adjacent to residential zones must also be screened with view obscuring screening.

Light and Glare Standards:

Per SMC Section 23.50.046 – Industrial Buffer and Industrial Commercial—Light and glare standards, exterior lighting must be shielded and directed away from lots in adjacent residential zones, and additional requirements (possibly including a glare diagram) may apply if the proposed development includes a significant percentage of highly reflective façade material.

Required Parking:

Per SMC Section 23.54.015 Required parking, parking is required at one space for every 2,000 square feet of gross floor area for structures in storage use on the site. Per SMC subsection 23.54.015 D. Parking waivers for non-residential uses, the parking required may be waived for the first 2,500 square feet of gross floor area for structures in storage use on the site.

Parking Quantity Exceptions:

Per SMC Subsection 23.54.020 F. Reductions to minimum parking requirements, because the subject site is within 1,320 feet of a street with peak transit service headways of 15 minutes or less, the minimum parking requirements is reduced by 15 percent. Additional reductions to the minimum parking requirements may be discussed at the Pre-Submittal Conference with representatives from the City of Seattle Department of Planning and Development.

Blank Wall:

Per SMC Subsection 23.50.038 - Industrial Commercial - Screening and landscaping, blank facade limits apply to the area of the facade between 2 and 8 feet above the sidewalk and must adhere to the following regulations: blank segments of facades that are 60 feet wide and greater, and within 20 feet of the street lot line shall be screened by one of the following:

- 1) A hedge that will achieve a height of at least 5 feet within 3 years of planting and a height of at least 10 feet at full maturity; or
- 2) Trellises and vining plants attached to the wall up to a minimum height of 10 feet; or
- 3) A landscaped area meeting subsection 23.50.034.C, landscaped areas or berms.

2.0 REC BOARD COMMENTS + ITEMIZED RESPONSES

SECOND RECOMMENDATION MEETING August 31, 2016

After visiting the site, considering the analysis of the site and context provided by the proponents, and hearing public comment, the Design Review Board members provided the following siting and design guidance.

1. West Elevation and Blank Walls. In response to the guidance provided at the first Recommendation meeting, the west elevation was revised to include a third arch element, additional fenestration, and greater upper level modulation:

a. While the Board expressed frustration that the elevation had not provided solutions addressing their guidance from the previous meeting, the Board did acknowledge that the mass has been broken down further by increasing the gaskets and adding mass along the north façade. They agreed that the expression of the north façade was successful.

No changes have been made.

b. The asymmetry of the recesses on the west elevation was supported.

No changes have been made.

c. The southwest corner of the structure is notched, with an additional five-foot setback. It was noted that this area will contain some utilities such as a gas meter. The Board requested additional information to understand the treatment of this area. Include in the next Recommendation packet street level perspectives of this area including the utilities.

The requested information for the street level screening of the gas meter at the Southwest Corner and the transformer at the Northeast corner has been included. Both are shown with significant landscape screening.

d. The Board questioned the relationship between the interior functions and treatment of the west elevation. The floor plans should match the elevations to clearly articulate interior and exterior relationships.

The requested clarifications have been addressed in both the elevational diagrams and updated floor plans. Both articulate the relationship of active space to the glazing.

e. The Board recommended the windows line up with corridors. The Board specified that display cases are not acceptable. The elevations should show the storage doors inside.

The requested clarifications have been addressed in both the elevational diagrams and updated floor plans. Both articulate the relationship of active space to the glazing.

2. West Elevation and Art. In response to the guidance provided at the First Recommendation meeting, the office entry sequence and west elevation were revised to include additional glass tile framing the office entry and a third arch frame element and additional fenestration on the west elevation.

a. The Board again supported the use of the glass tile from the current tenant, but would like to see more tiles used in a more artistic composition that is better integrated into the entry sequence. Increase the amount of tile and better integrate them into the entry sequence.

The volume, composition, and integration into the entry sequence have been revised per the board guidance. In addition, street level paving pattern and interior floor patterns have been designed to reinforce the glass element. It should be noted the glass tiles will be back-lit after-hours.

b. Again, the Board supported the architectural concept of the frames or arches on the west elevation, but felt the arches frame or highlight large expanses of blank wall and this expansive blank wall is not acceptable. Instead, the Board wanted to see a substantial response to mitigate blank walls. Add articulation, a mural, or use material application or super graphics to create a sense of place. Look to the mural at CVS (at 531 Queen Anne Ave N) for inspiration.

We are proposing to break up the blank walls with a bold, triangular and trapezoidal composition. In using different colored panels with different textures, a sense of great depth is created in the wall face. Each location under a green arch is configured to the individual location on the building, including the south and north facades. Trees and major landscape elements are composed to highlight these panel configurations and to work with the textures of the façade as it integrates into the 15th Avenue streetscape.

3. Landscape. The landscaping concept along 15th and its relationship to the architectural concept was discussed at length. The six-foot landscape strip was supported.

a. The repetition of columnar plantings (Irish Yews) was not supported by the Board. The Board reiterated their guidance for a landscape plan that includes native plantings, a variety of plantings and scale, and seasonal color. Eliminate the monotony of the landscaping along 15th and provide a landscape concept that contributes to the architectural concept and creates a sense of place.

The planting includes a variety of planting that includes native and adaptive species that are appropriate to this bioregion, and specifically this site. The selection provides a range of color and seasonal variety consistent with the guidance provided.

b. To further break up the monotony of the landscaping along 15th, the Board encouraged a variety of street trees. Work with SDOT to include a variety of street trees along 15th.

A variety of trees along 15th avenue has been provided.

4. Lighting. At the First Recommendation meeting, the Board recommended lighting be added to accentuate the architectural concept and/or the artwork on the west façade. The lighting should be of a human scale. In response to this guidance, the lighting plan was revised to include LED lighting within the arch elements on the west elevation. As shown in the Recommendation packet (page 17), this lighting brightens the framed portions of the west elevation and provide light at the sidewalk.

a. The Board was comfortable with the LED lighting, but would welcome landscape lighting as well to highlight plantings and provide human scale lighting.

Additional lighting has been added to the tree guards to provide highlights along the 25th avenue elevation in addition to the general illumination provided by the LED building lights.

b. The parking lot lighting and exterior wall mounted fixtures were supported.

No changes have been made.

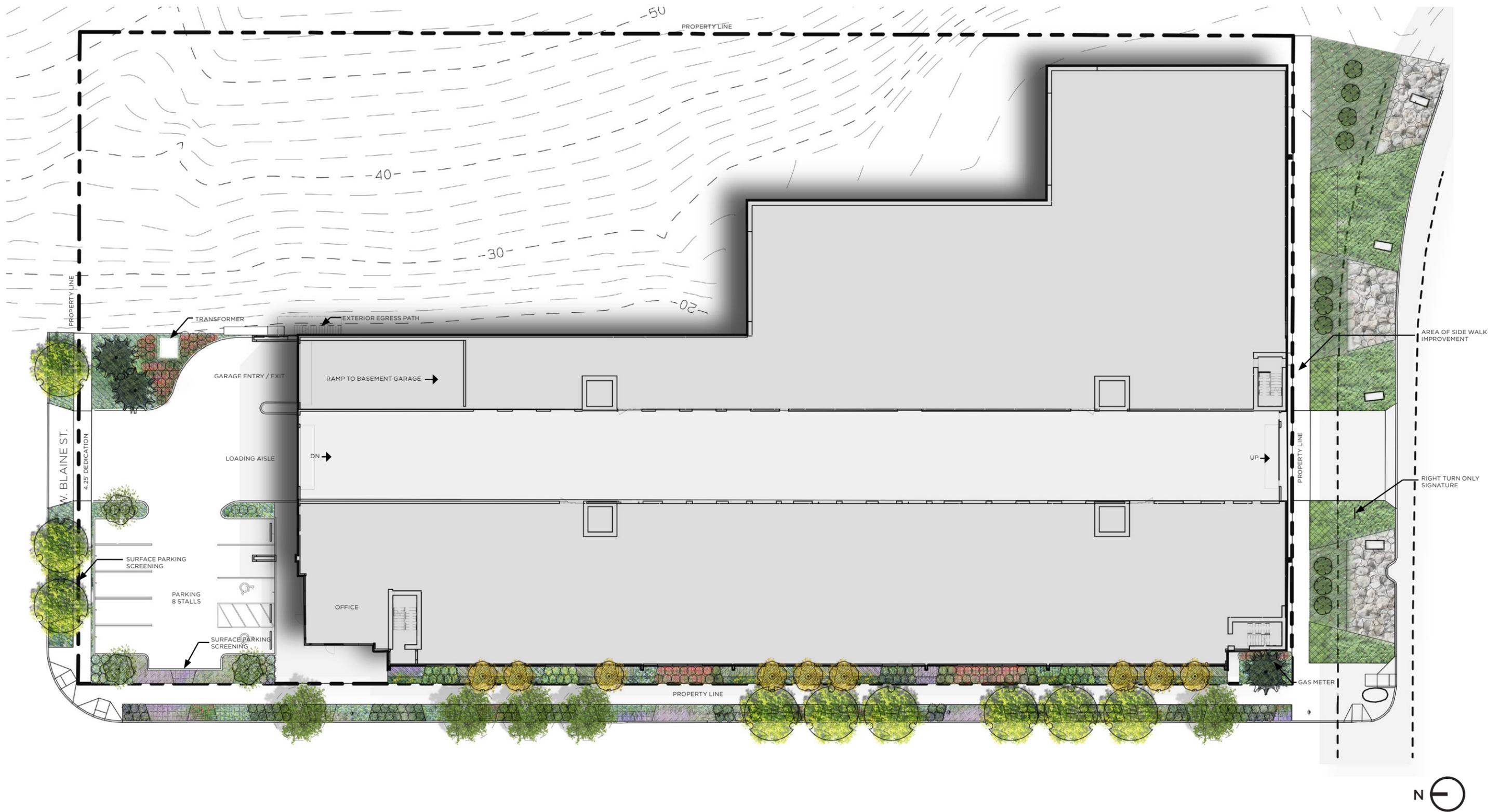
c. The combination of LED lighting and corridor lighting appeared to be successful. The Board requested additional information at the next meeting accurately describing the interior corridor lighting and window transparency.

Additional renderings of the corridors in the evening have been provided to describe the design solution.

3.0 DESIGN UPDATES



SITE PLAN



LANDSCAPE OPTION + BLANK WALL MITIGATION - OPTION #1 (PREFERRED)



West Elevation - Blank Facade Mitigation



West Elevation - Blank Facade Mitigation + Landscape at Building Face



West Elevation - Street Landscape



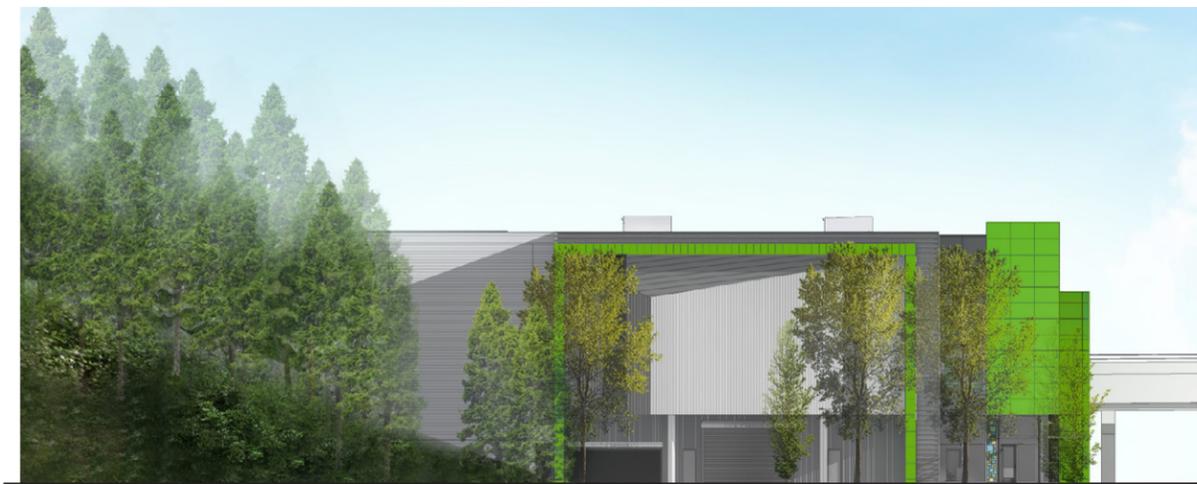
West Elevation - Enlarged Landscaping



West Elevation - Tree Guards (Autumn day)



West Elevation - Tree Guards (Autumn night)



North Elevation



South Elevation

LANDSCAPE OPTION #1 / PLANT PALETTE / SHRUBS, GRASSES, PERENNIALS

EVERGREEN



David Viburnum
Viburnum davidii



Red-Twig Dogwood
Cornus sericea 'Farrow'



Otto Luyken English Laurel
Prunus laurocerasus 'Otto Luyken'



Gulf Stream Nandina
Nandina domestica 'Gulf Stream'



Dwarf Mugo Pine
Pinus mugo var. mugo

ACCENTS



Daylily
Hemerocallis 'Pardon Me'



Hidecote Giant Lavender
Lavandula x intermedia 'Hidcote Giant'



Rosemary
Rosmarinus officinalis 'Arp'



Black-eyed Susan
Rudbeckia fulgida 'Early Bird Gold'



Russian Sage
Perovskia atriplicifolia 'Little Spire'

GROUNDCOVER



Point Reyes Ceanothus
Ceanothus gloriosus



Point Reyes Manzanita
Arctostaphylos uva-ursi 'Point Reyes'



Creeping Raspberry
Rubus pentalobus 'Emerald Carpet'



Salal
Gaultheria shallon



Western Sword Fern
Polystichum munitum



Creeping Oregon Grape
Mahonia repens

GRASSES



Maidenhair Grass
Miscanthus sinensis 'Adagio'

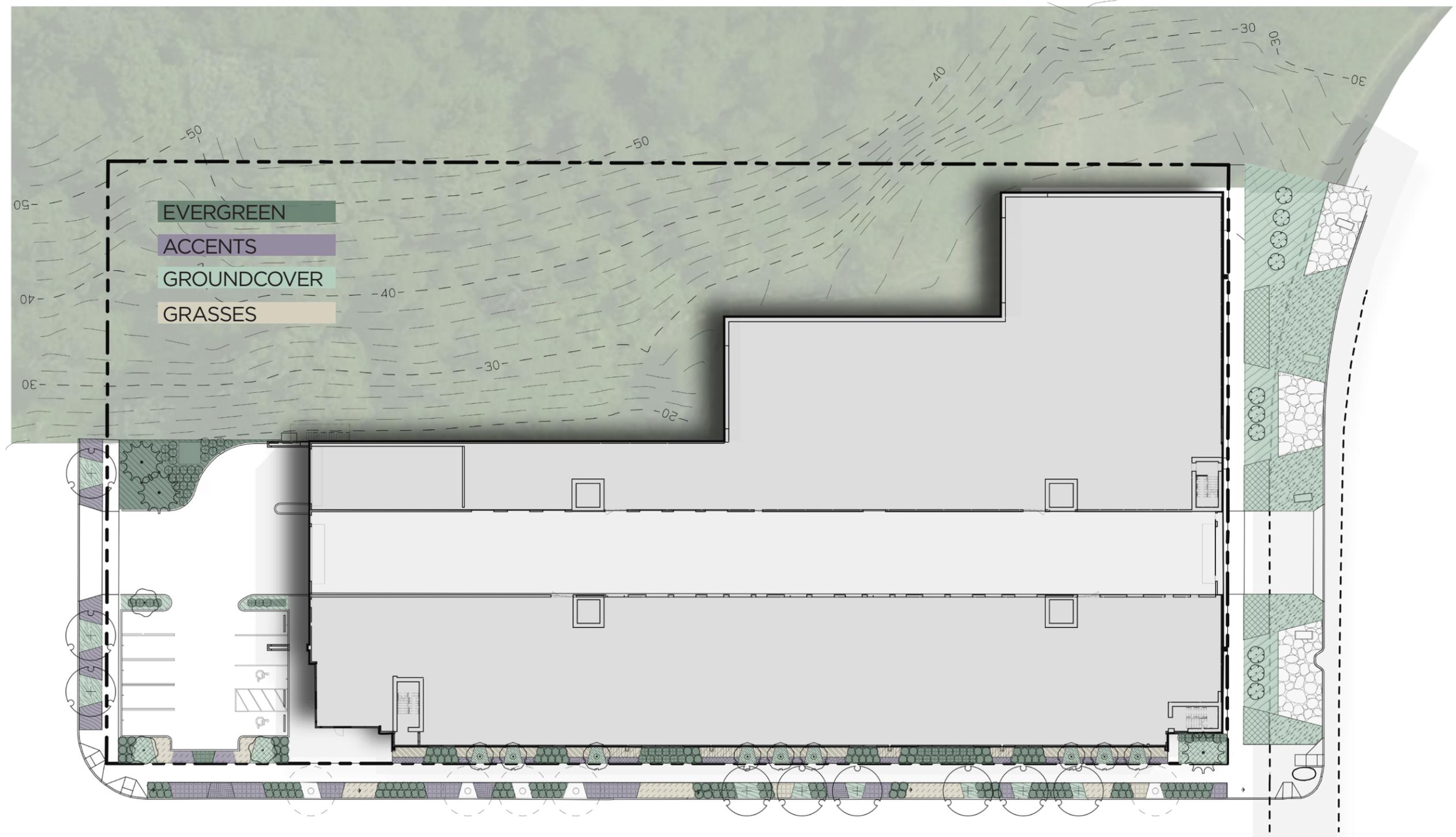


Switch Grass
Panicum virgatum 'Heavy Metal'



Fountain Grass
Pennisetum alopecuroides 'Foxtrot'

LANDSCAPE OPTION #1



LANDSCAPE OPTION #1 / PLANT PALETTE / TREES

FALL



SUMMER



Katsura Tree
Cercidiphyllum japonicum

Ginkgo
Ginkgo biloba 'Princeton Sentry'

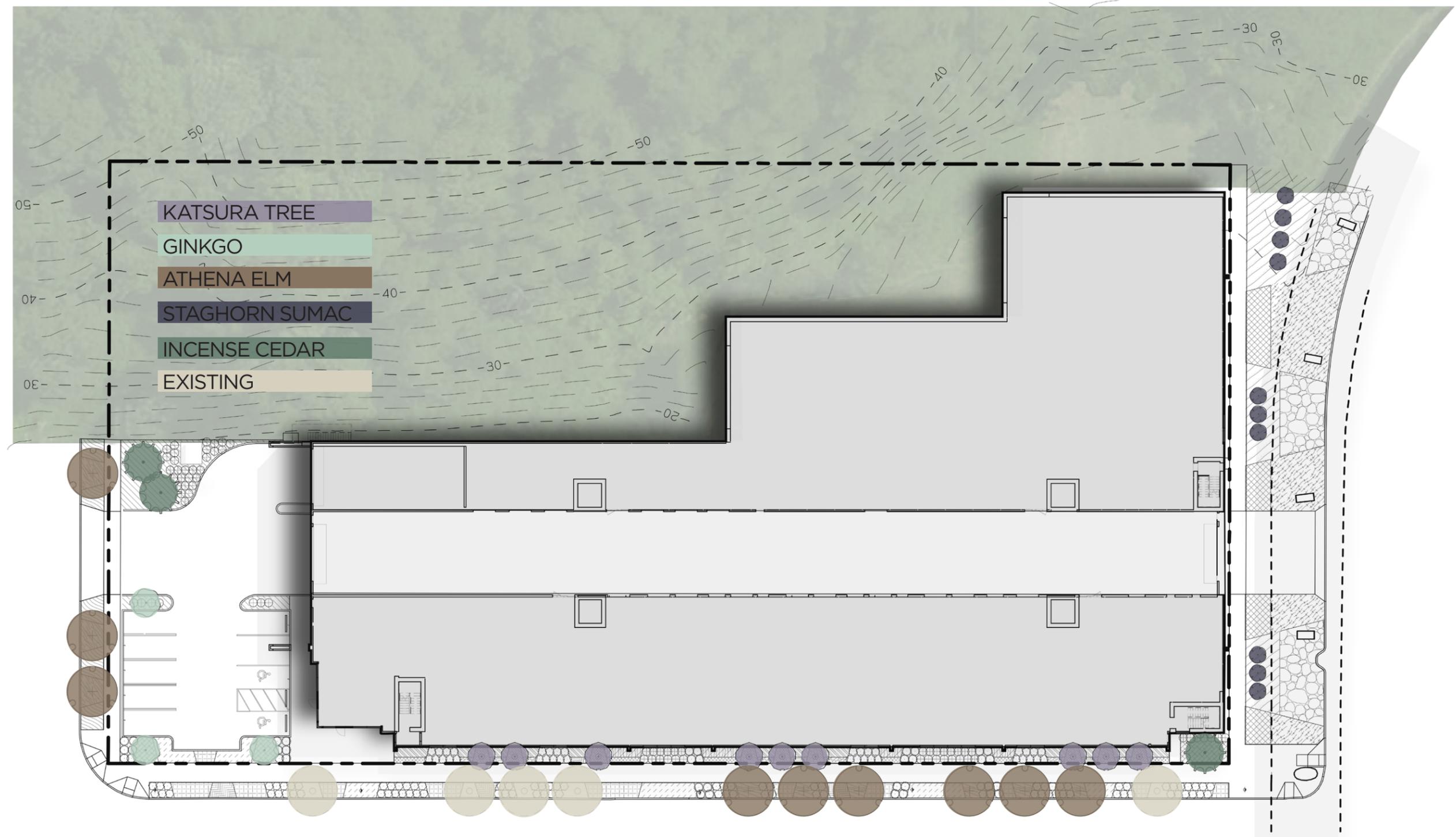
Athena Lacebark Elm
Ulmus parvifolia 'Athena'

Tiger Eyes Staghorn Sumac
Rhus typhina 'Bailtiger'

California Incense Cedar
Calocedrus decurrens

Existing trees to remain

LANDSCAPE OPTION #1

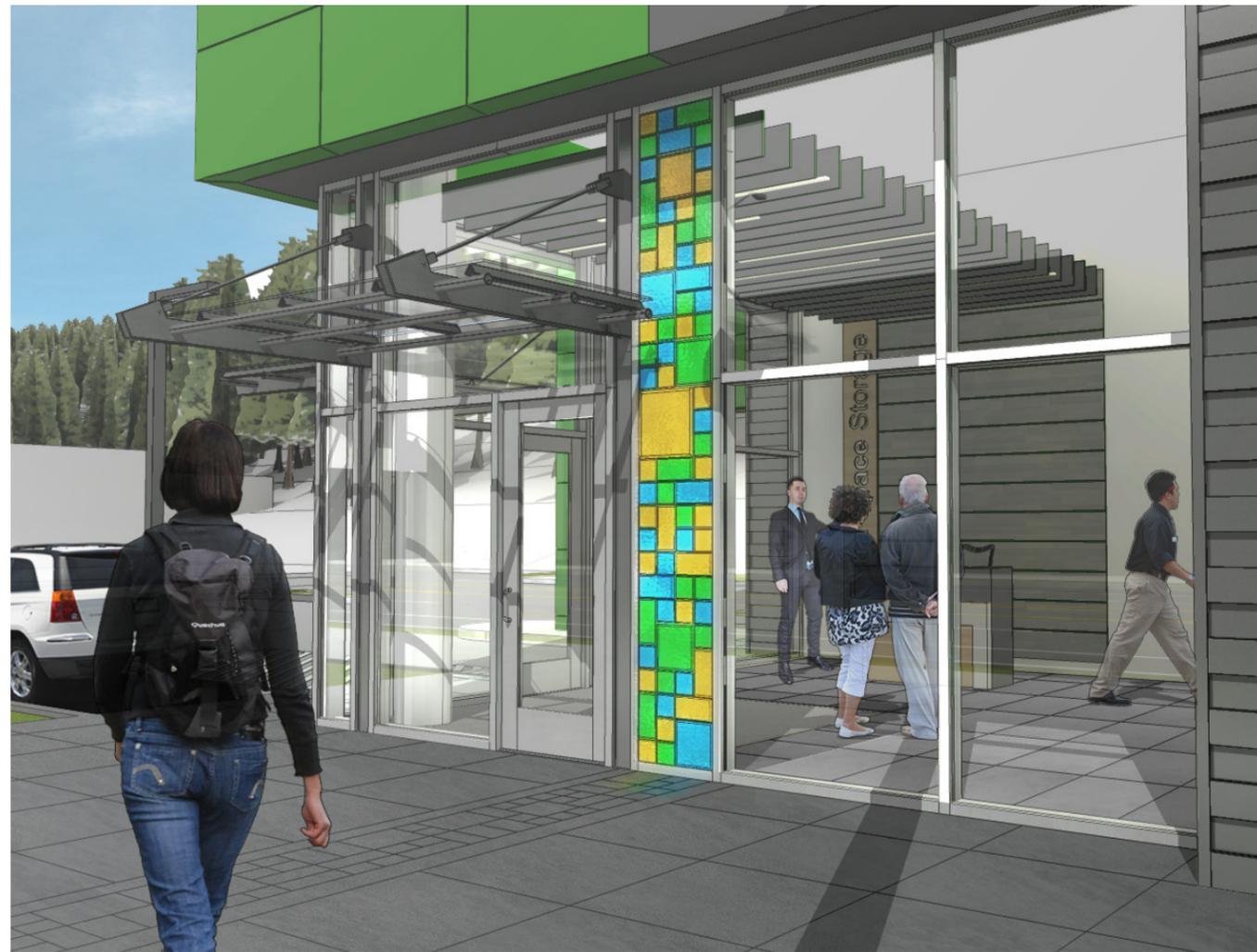


ENTRY CORNER

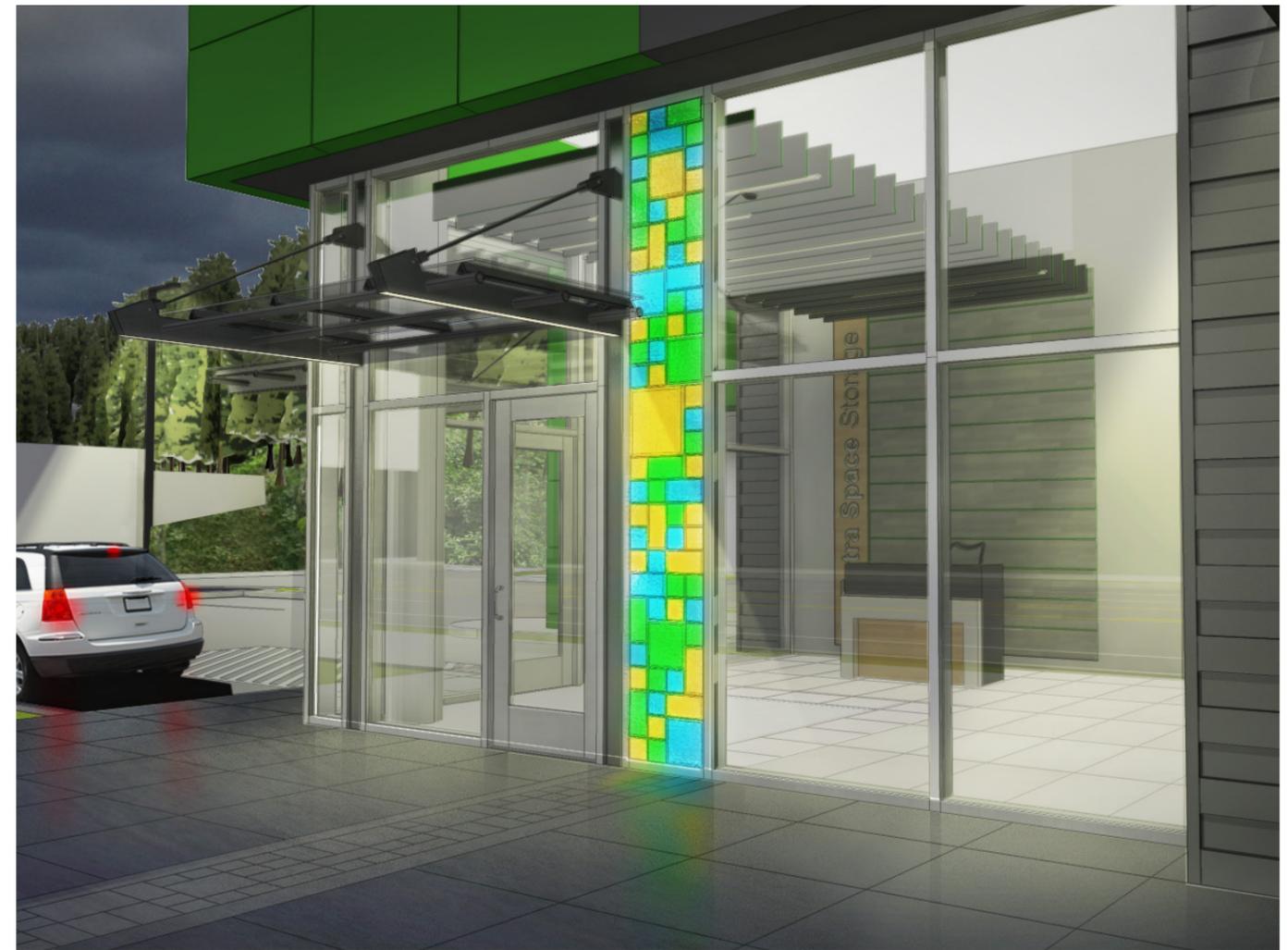


ENTRY AT LOBBY (NORTHWEST CORNER)

ENTRY CORNER - GLASS TILES, LOBBY

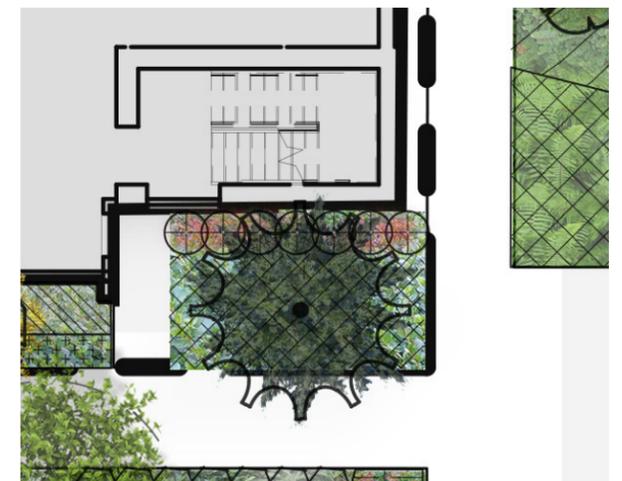
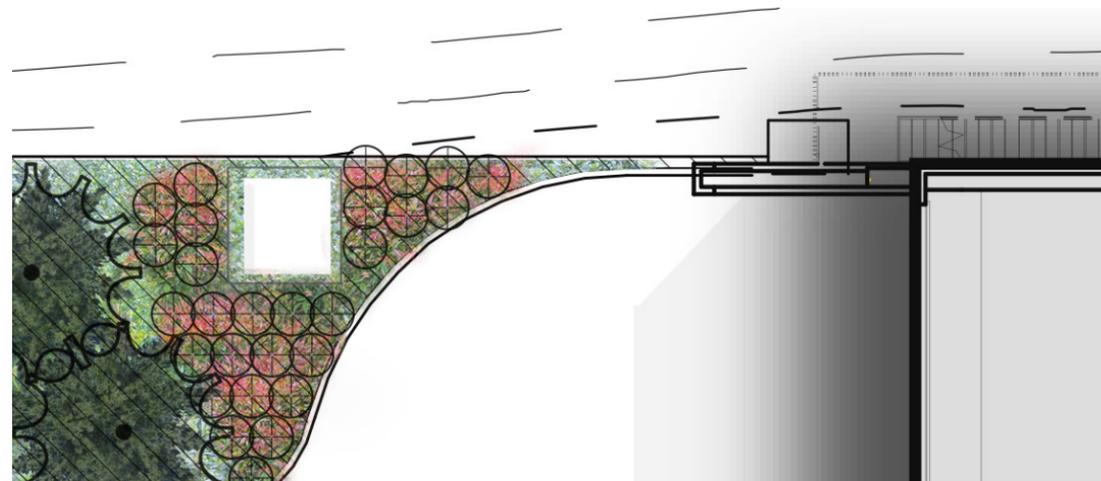
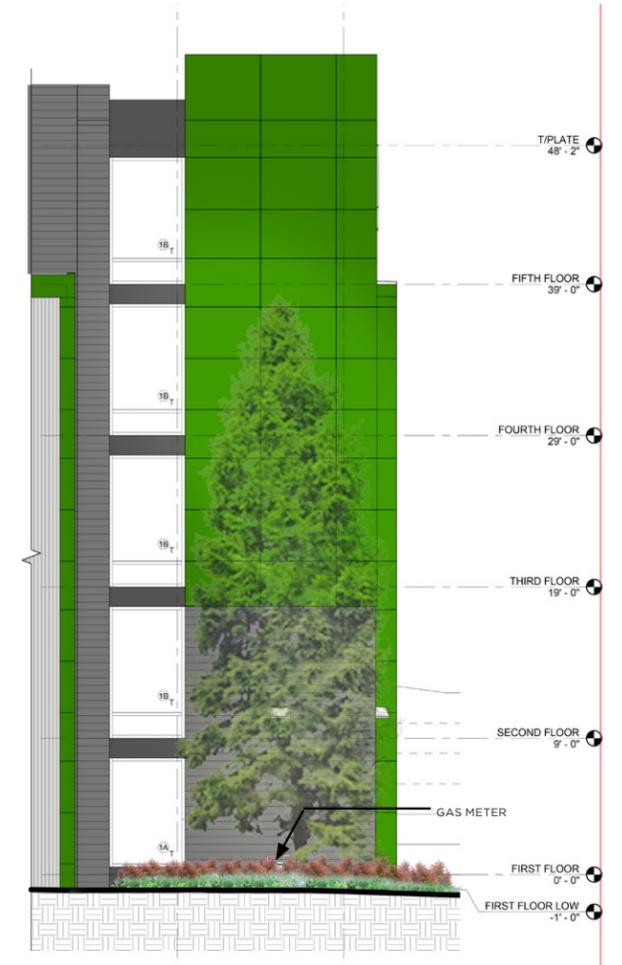
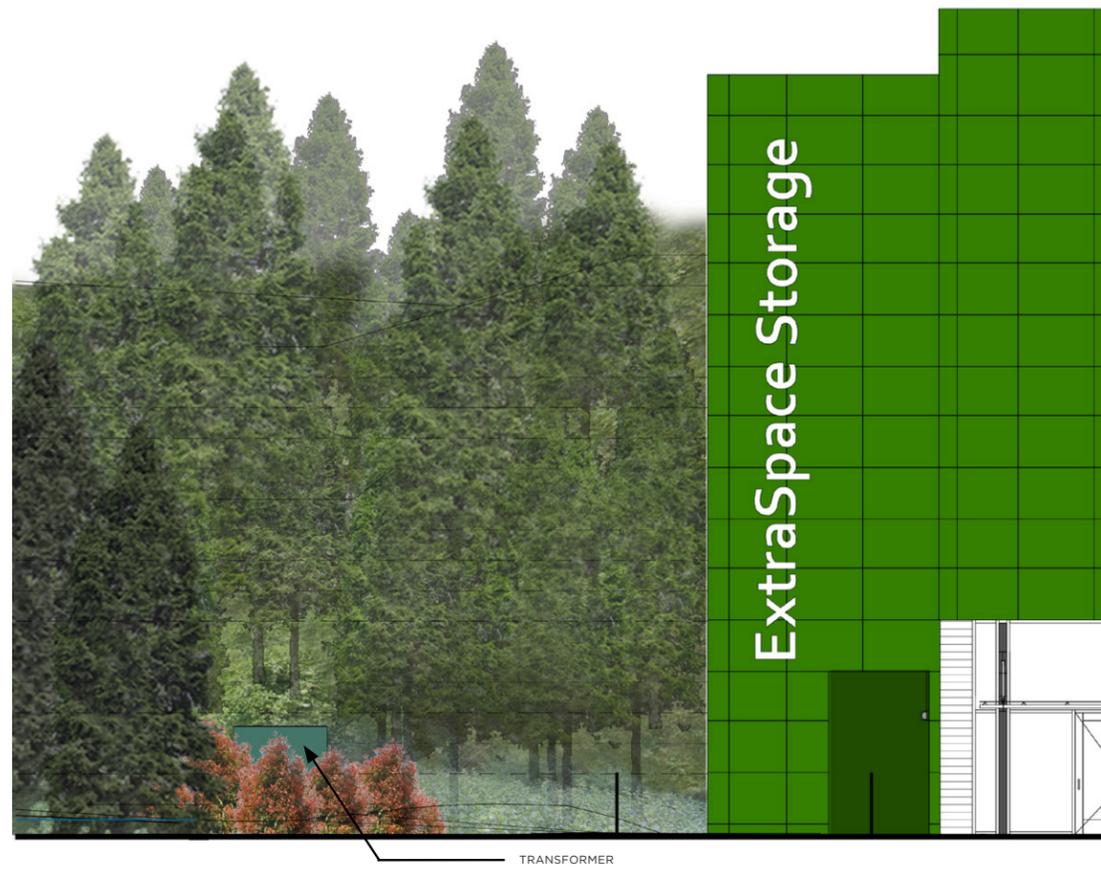
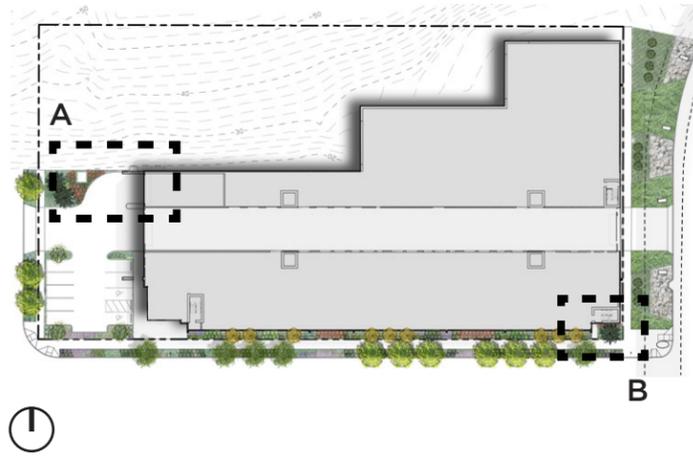


ENTRY AT LOBBY - DAY



ENTRY AT LOBBY - NIGHT

5.0 UTILITIES

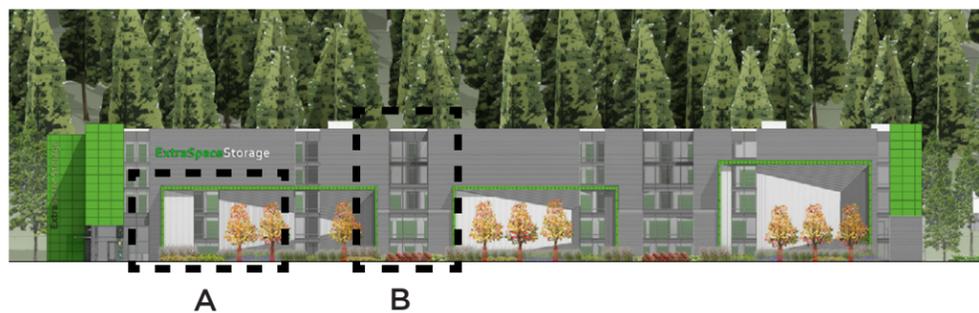


Site Plan - Transformer & Gas Meter Locations

West Elevation A - Transformer Location

West Elevation B - Gas Meter Location

6. INTERIOR DOORS



ENLARGED ELEVATION A

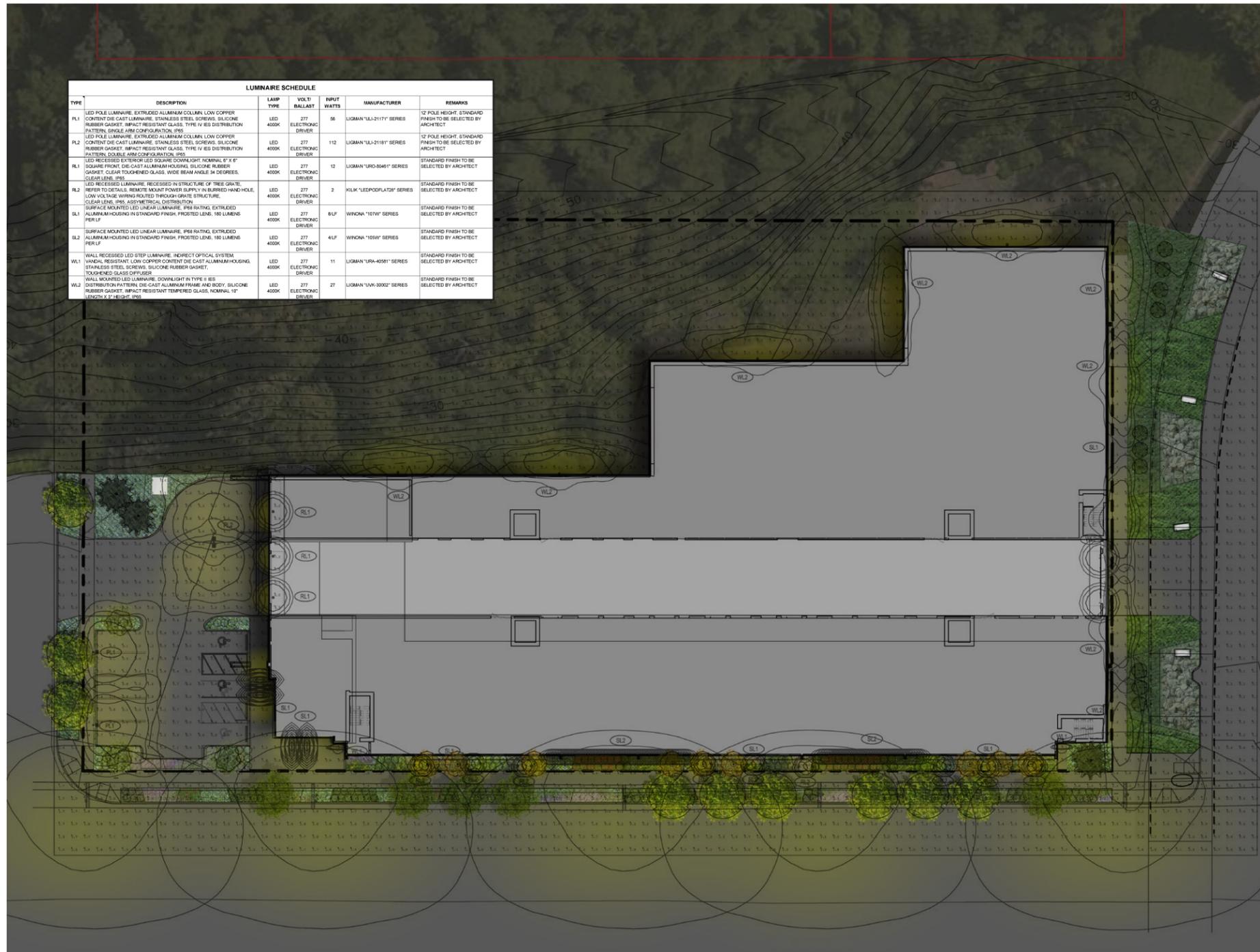


ENLARGED ELEVATION B - DAY

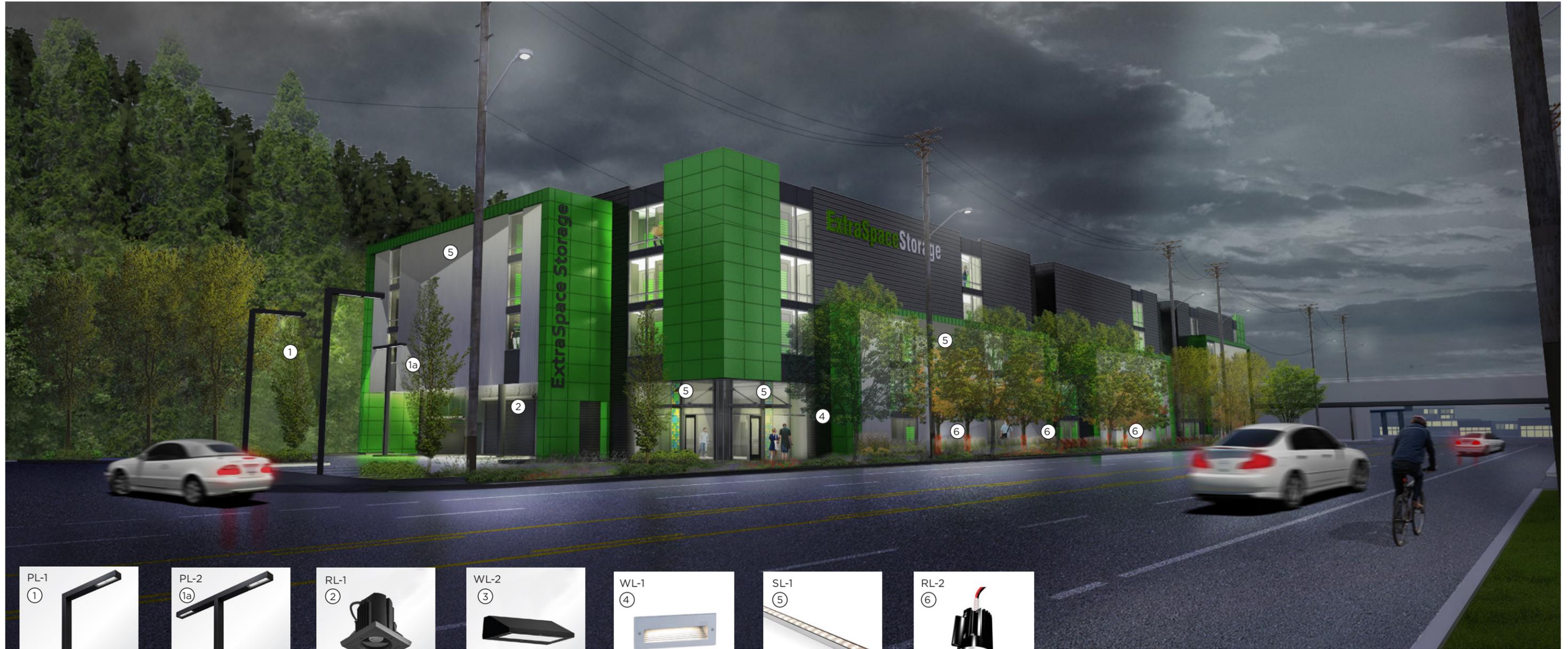


ENLARGED ELEVATION B - NIGHT

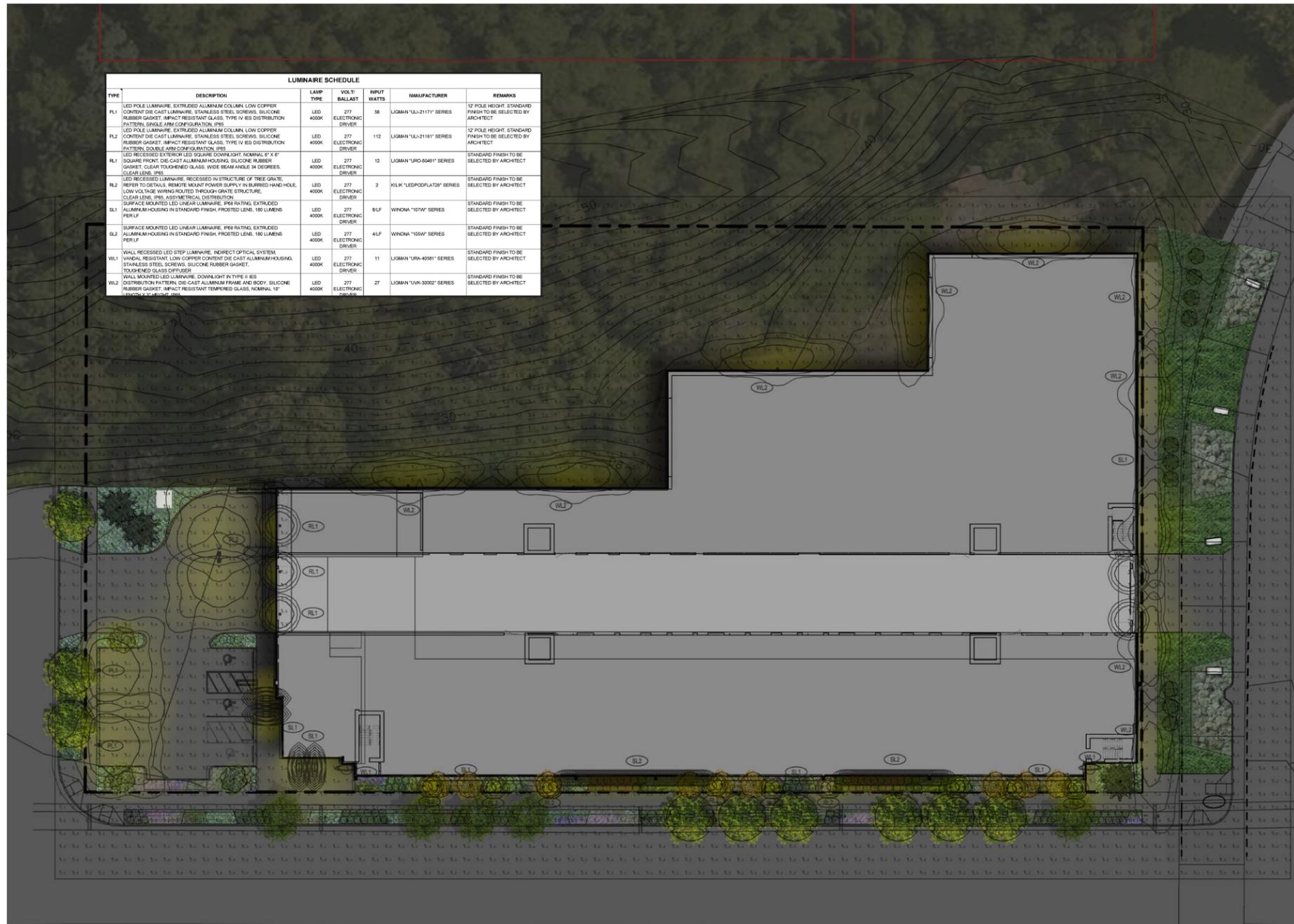
SITE LIGHTING - WITH STREET LIGHTING



EXTERIOR LIGHTING - WITH STREET LIGHTING



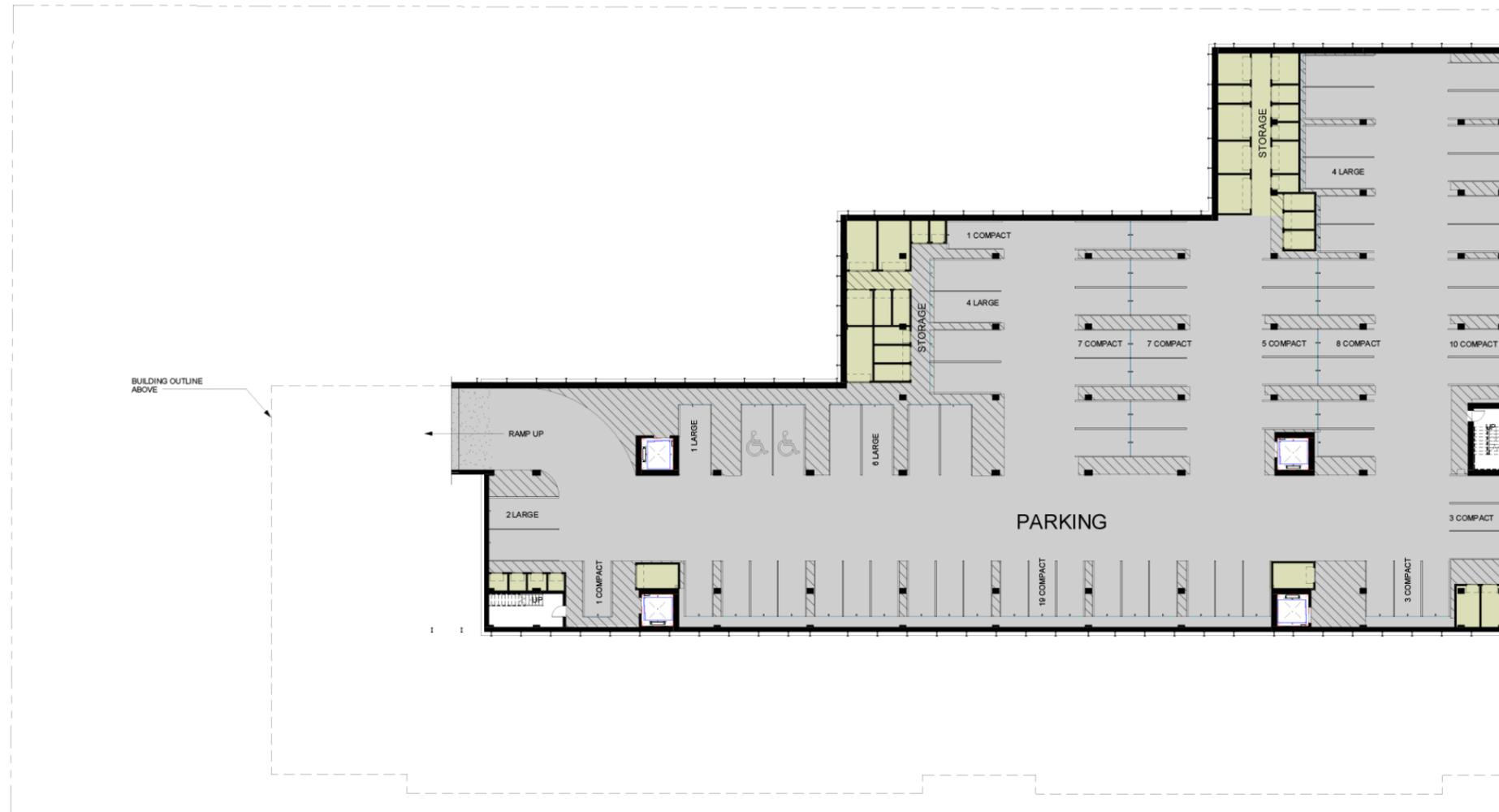
SITE LIGHTING - WITHOUT STREET LIGHTING



EXTERIOR LIGHTING WITHOUT STREET LIGHTING

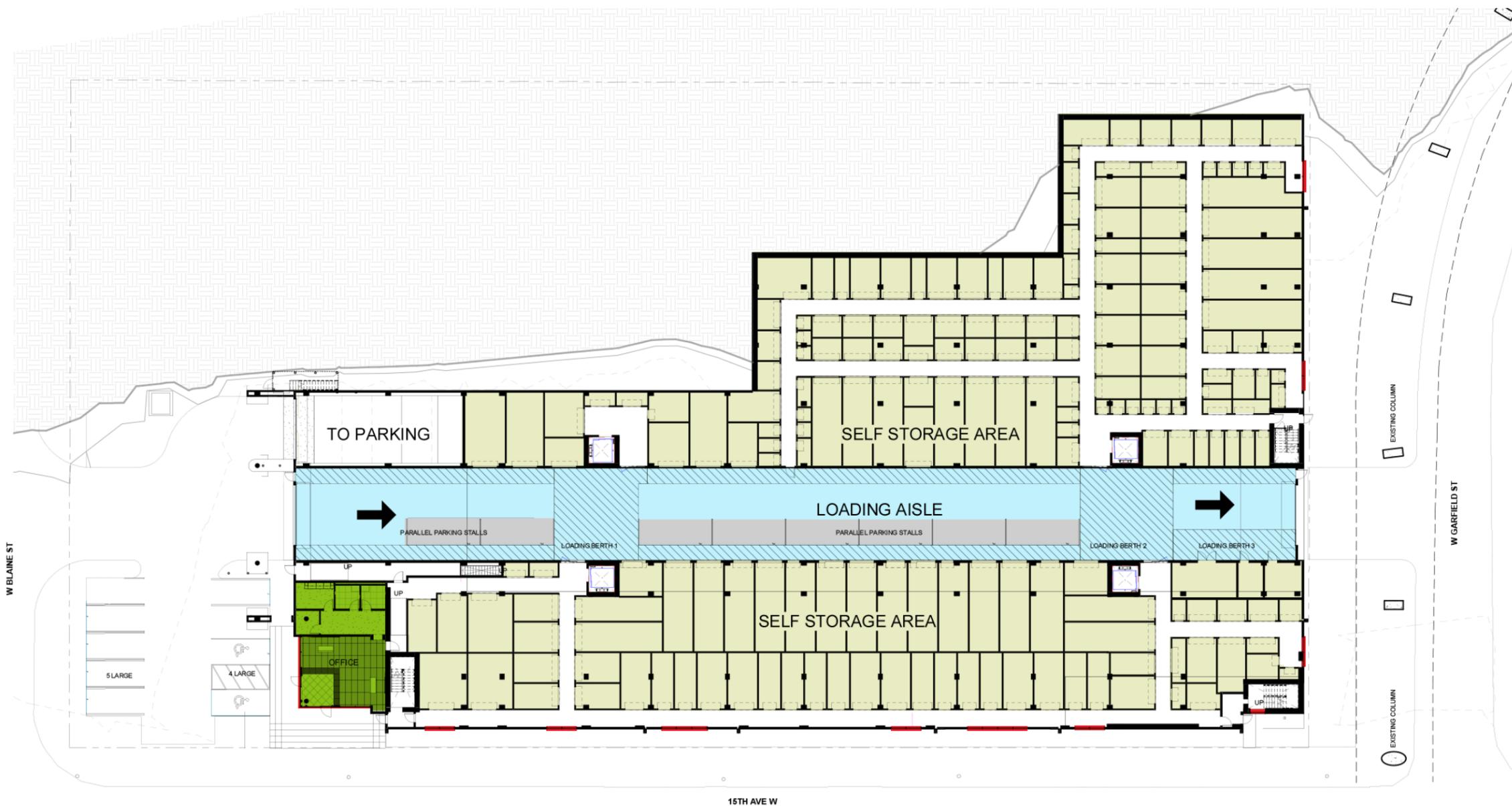


7.0 FLOOR PLANS



BASEMENT FLOOR PLAN

- STORAGE
- OFFICE
- LOADING
- PARKING
- WINDOW LOCATION



1ST FLOOR PLAN

- STORAGE
- OFFICE
- LOADING
- PARKING
- WINDOW LOCATION



2ND FLOOR PLAN

- STORAGE
- OFFICE
- LOADING
- PARKING
- WINDOW LOCATION



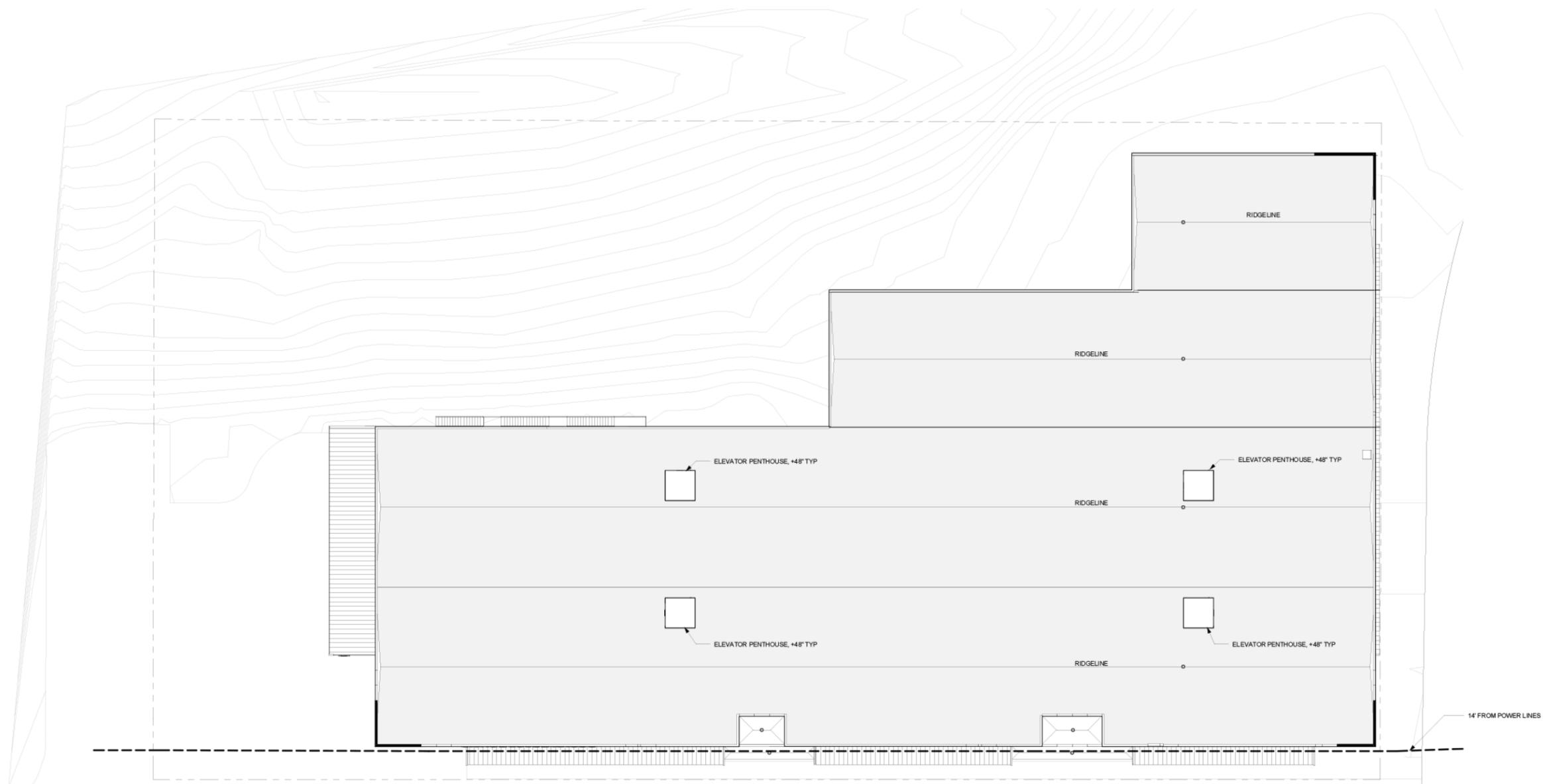
3RD FLOOR PLAN

- STORAGE
- OFFICE
- LOADING
- PARKING
- WINDOW LOCATION



4TH + 5TH FLOOR PLAN

- STORAGE
- OFFICE
- LOADING
- PARKING
- WINDOW LOCATION



ROOF PLAN

- STORAGE
- LOADING
- OFFICE
- PARKING
- WINDOW LOCATION

INTENTIONALLY BLANK



APPENDIX

LANDSCAPE OPTION + BLANK WALL MITIGATION - OPTION #2



West Elevation - Blank Facade Mitigation



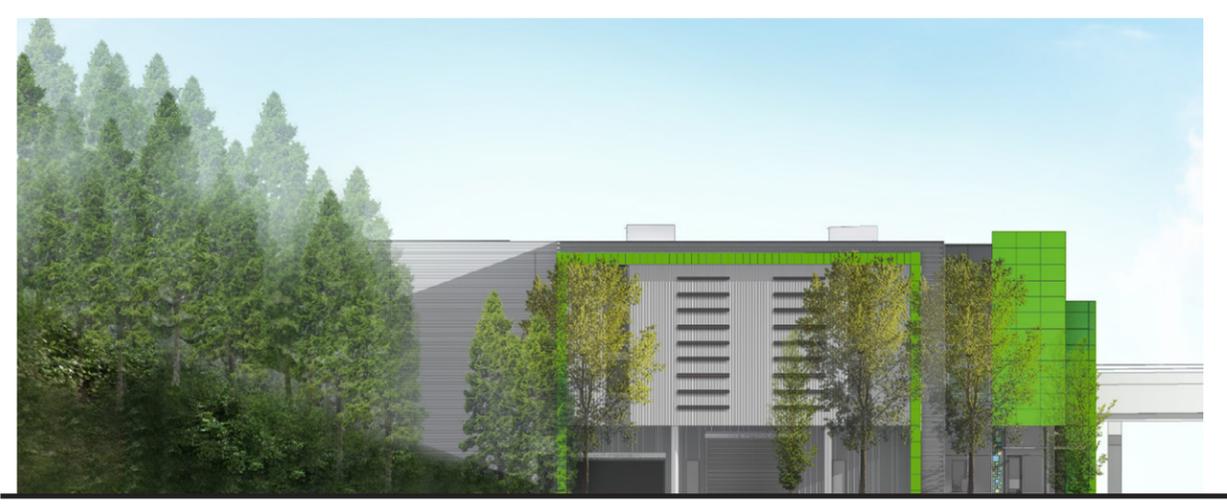
West Elevation - Blank Facade Mitigation + Landscape



West Elevation - Street Landscape



West Elevation - Enlarged Landscaping



North Elevation



South Elevation

LANDSCAPE OPTION #2 / PLANT PALETTE / SHRUBS, GRASSES, PERENNIALS

EVERGREEN



David Viburnum
Viburnum davidii



Red-Twig Dogwood
Cornus sericea 'Farrow'



Otto Luyken English Laurel
Prunus laurocerasus 'Otto Luyken'



Gulf Stream Nandina
Nandina domestica 'Gulf Stream'



Dwarf Mugo Pine
Pinus mugo var. mugo

ACCENTS



Daylily
Hemerocallis 'Pardon Me'



Hidecote Giant Lavender
Lavandula x intermedia 'Hidecote Giant'



Rosemary
Rosmarinus officinalis 'Arp'



Black-eyed Susan
Rudbeckia fulgida 'Early Bird Gold'



Russian Sage
Perovskia atriplicifolia 'Little Spire'

GROUNDCOVER



Point Reyes Ceanothus
Ceanothus gloriosus



Point Reyes Manzanita
Arctostaphylos uva-ursi 'Point Reyes'



Creeping Raspberry
Rubus pentalobus 'Emerald Carpet'



Salal
Gaultheria shallon



Western Sword Fern
Polystichum munitum



Creeping Lilyturf
Liriope spicata

GRASSES



Maidenhair Grass
Miscanthus sinensis 'Adagio'

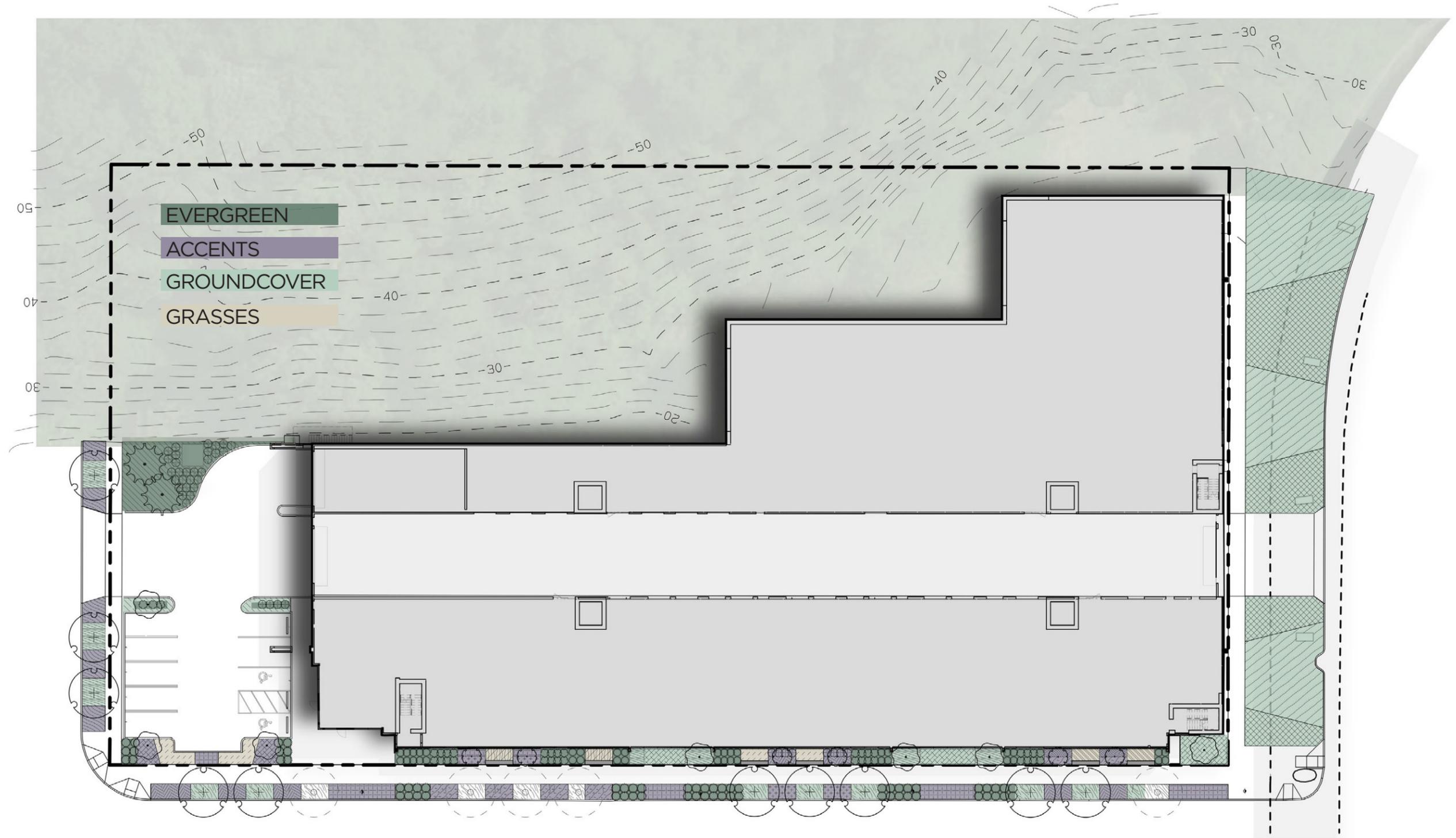


Switch Grass
Panicum virgatum 'Heavy Metal'

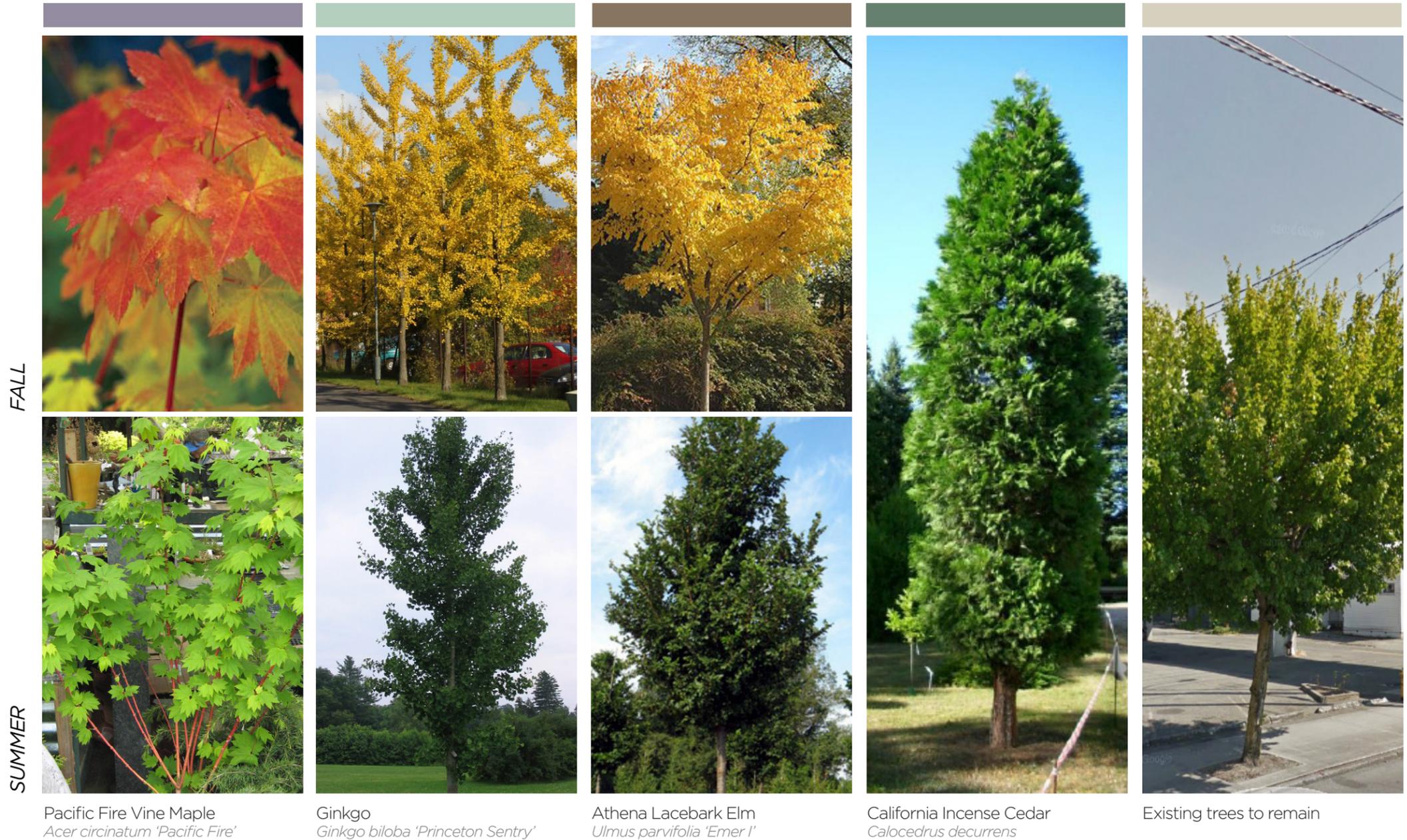


Fountain Grass
Pennisetum alopecuroides 'Foxtrot'

LANDSCAPE OPTION #2



LANDSCAPE OPTION #2 / PLANT PALETTE / TREES



FALL

SUMMER

Pacific Fire Vine Maple
Acer circinatum 'Pacific Fire'

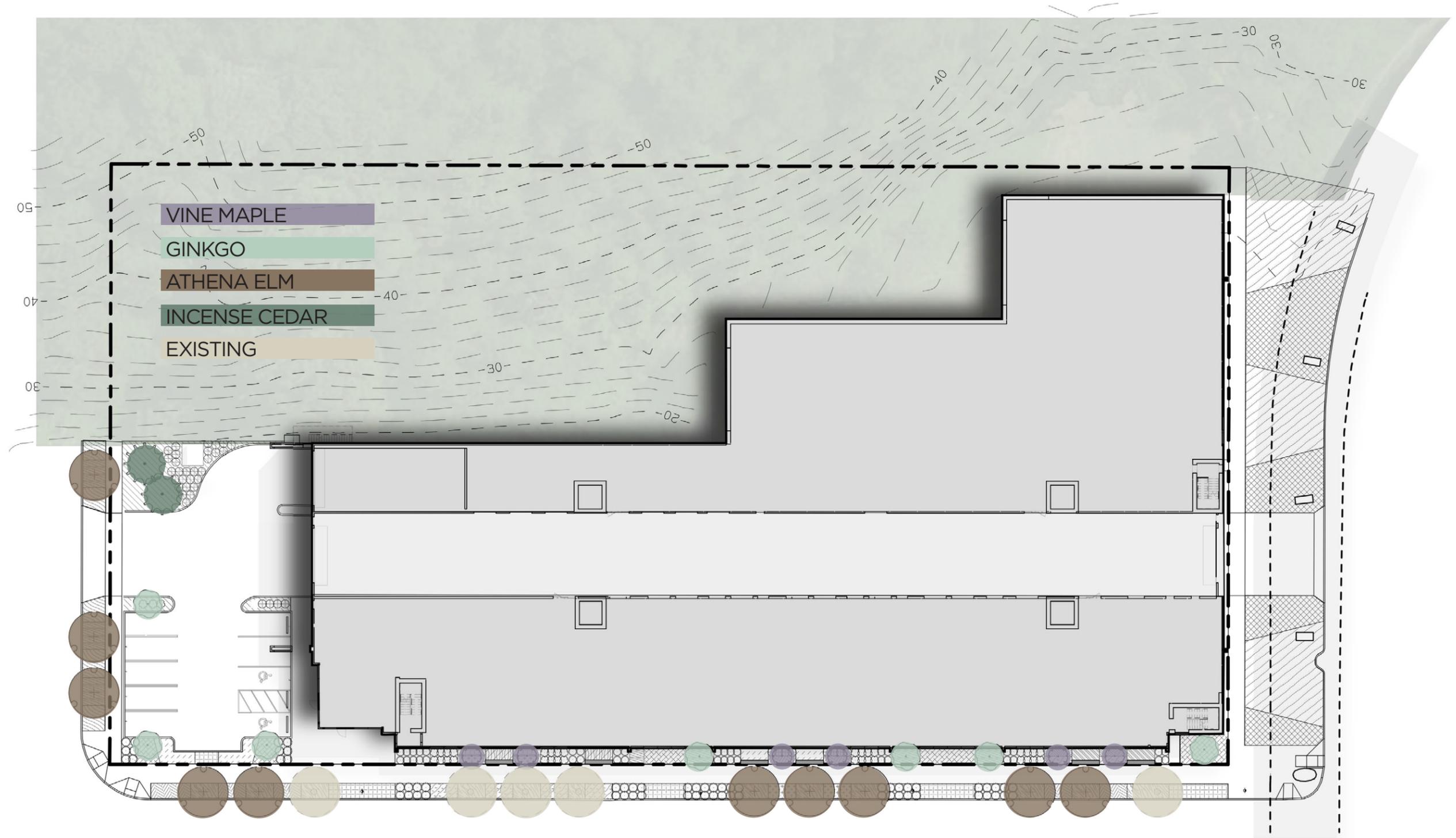
Ginkgo
Ginkgo biloba 'Princeton Sentry'

Athena Lacebark Elm
Ulmus parvifolia 'Emer I'

California Incense Cedar
Calocedrus decurrens

Existing trees to remain

LANDSCAPE OPTION #2



LANDSCAPE OPTION + BLANK WALL MITIGATION - OPTION #3



West Elevation - Blank Facade Mitigation



West Elevation - Blank Facade Mitigation + Landscape



West Elevation - Street Landscape



West Elevation - Enlarged Landscaping



North Elevation



South Elevation

LANDSCAPE OPTION #3 / PLANT PALETTE / SHRUBS, GRASSES, PERENNIALS

EVERGREEN



David Viburnum
Viburnum davidii



Red-Twig Dogwood
Cornus sericea 'Farrow'



Otto Luyken English Laurel
Prunus laurocerasus 'Otto Luyken'



Gulf Stream Nandina
Nandina domestica 'Gulf Stream'



Dwarf Mugo Pine
Pinus mugo var. mugo

ACCENTS



Rosemary
Rosmarinus officinalis 'Arp'



Black-eyed Susan
Rudbeckia fulgida 'Early Bird Gold'



Russian Sage
Perovskia atriplicifolia 'Little Spire'

GROUNDCOVER



Point Reyes Ceanothus
Ceanothus gloriosus



Point Reyes Manzanita
Arctostaphylos uva-ursi 'Point Reyes'



Creeping Raspberry
Rubus pentalobus 'Emerald Carpet'



Salal
Gaultheria shallon



Western Sword Fern
Polystichum munitum



Privet Honeysuckle
Lonicera pileata

GRASSES

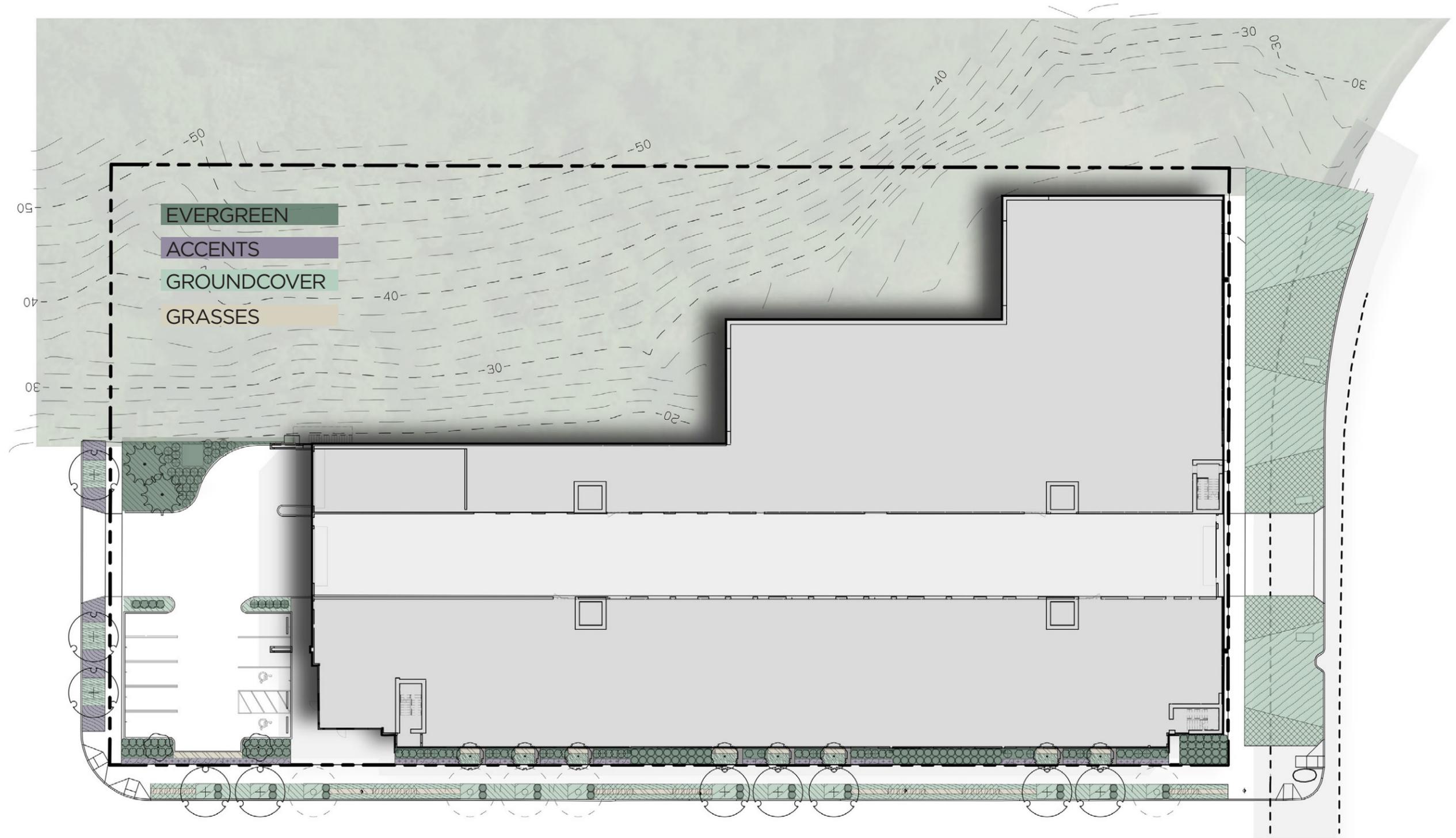


Maidenhair Grass
Miscanthus sinensis 'Adagio'



Switch Grass
Panicum virgatum 'Heavy Metal'

LANDSCAPE OPTION #3



LANDSCAPE OPTION #3 / PLANT PALETTE / TREES

FALL



SUMMER



Natchez Crape Myrtle
Lagerstroemia indica x fauriei

Ginkgo
Ginkgo biloba 'Princeton Sentry'

Athena Lacebark Elm
Ulmus parvifolia 'Emer I'

California Incense Cedar
Calocedrus decurrens

Existing trees to remain

LANDSCAPE OPTION #3

