



# 630 Boren Ave N Recommendation Meeting

West DRB - July 20th, 2016  
DPD# 3022086

# Block 25 West



GRAPHITE

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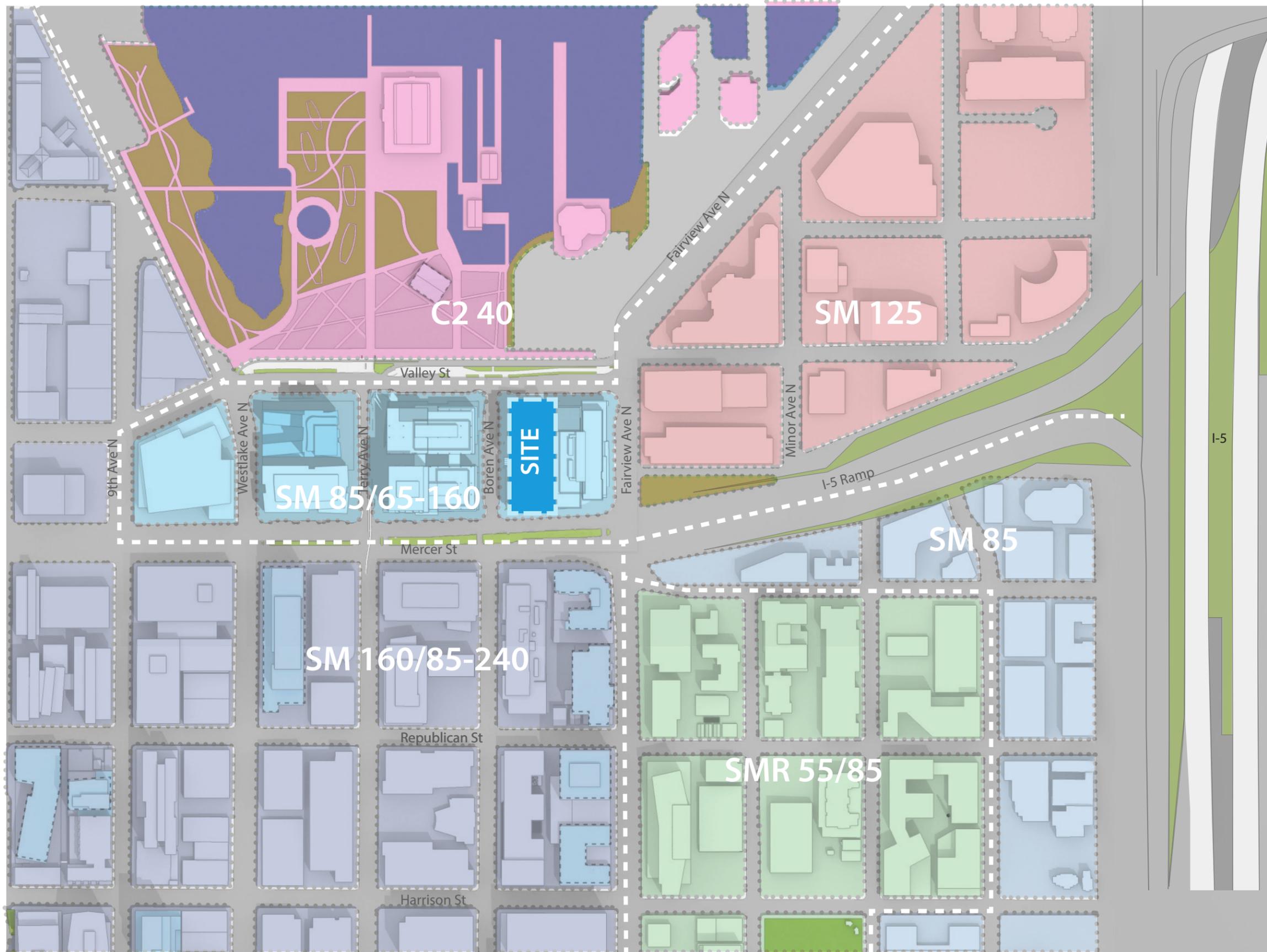
## Project Info

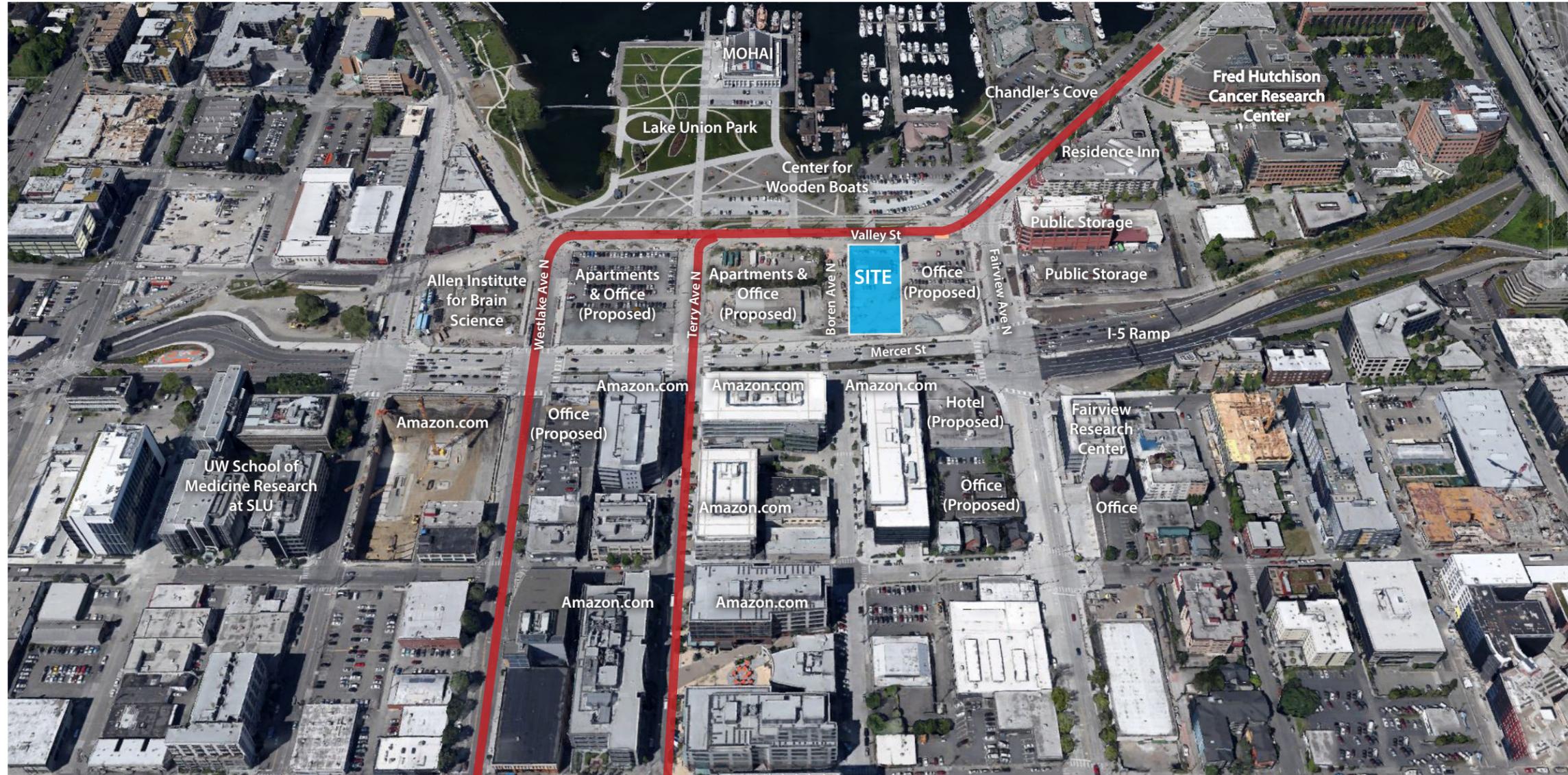
<b>Property Address</b>	630 Boren Avenue North Seattle, WA 98109
<b>DPD Project Number</b>	3022086
<b>Owner</b>	Vulcan Real Estate 505 5th Avenue South, Suite 900 Seattle, WA 98104 <i>Contact:</i> Maggie Capelle 206.324.2000 MaggieC@vulcan.com
<b>Architect</b>	Graphite Design Group 1809 7th Avenue, Suite 700 Seattle, WA 98101 <i>Contact:</i> Peter Krech 206.224.3335 peter.krech@graphitedesigngroup.com www.graphitedesigngroup.com
<b>Development Objectives</b>	The mixed-use proposal includes 6-stories of commercial office with an 7-story residential tower above, for a total of approximately 242,000 SF of above-grade construction (145,600 SF of Office use, 94,000 of Residential, and 2,500 SF of retail), and 3 levels of below grade parking for approximately 214 cars (95 of which are provided for residential units). Also provided will be approximately 8,210 SF of open space at grade. Primary building entries will be from Boren Avenue North. Automobile entries will be from the alley bordering the it to the east. Two loading berths and trash and recycling facilities will be accessible from the alley.

## Project Goals

- Create a rich, diverse pedestrian environment with a variety of scales, active uses and characters of open spaces
- Connect to and enhance existing neighborhood pedestrian, vehicular, transit and cycling circulation patterns
- Create a gateway between the South Lake Union neighborhood and the lake front
- Respond and contribute to the established urban density pattern in a thoughtful manner
- Create flexible, active open space and ground floor commercial tenant opportunities that add vitality to the project site as well as surrounding community
- Locate all parking and building services at the alley or below grade
- Maximize development potential

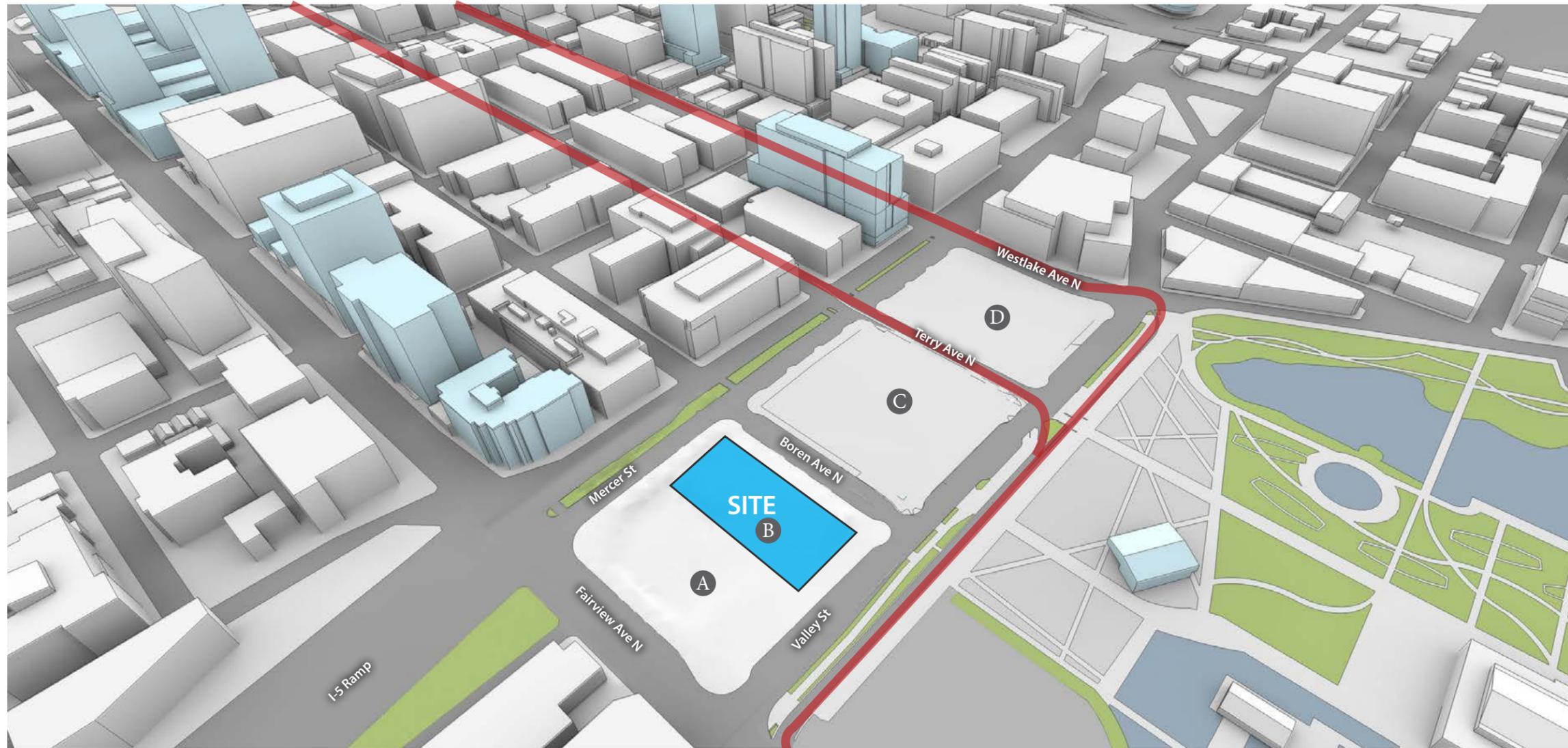






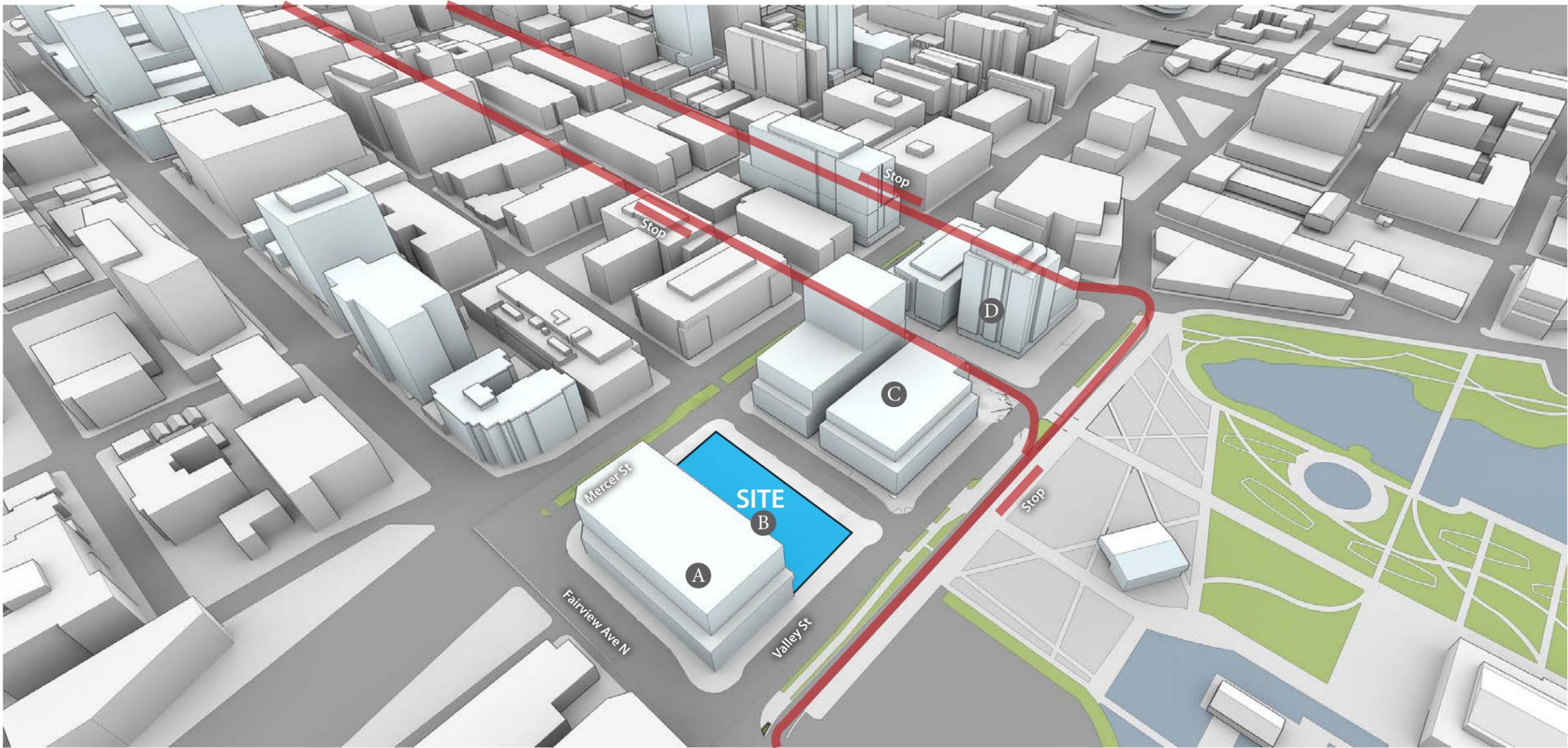
Street Car





- A** #3020512; EDG, MUP application ACTIVE
- B** #3017401 MUP application ACTIVE & #3022086 this DR#1
- C** #3017398 MUP application ACTIVE & #3022087 MUP application; DR date TBD
- D** #3017484 MUP application ACTIVE



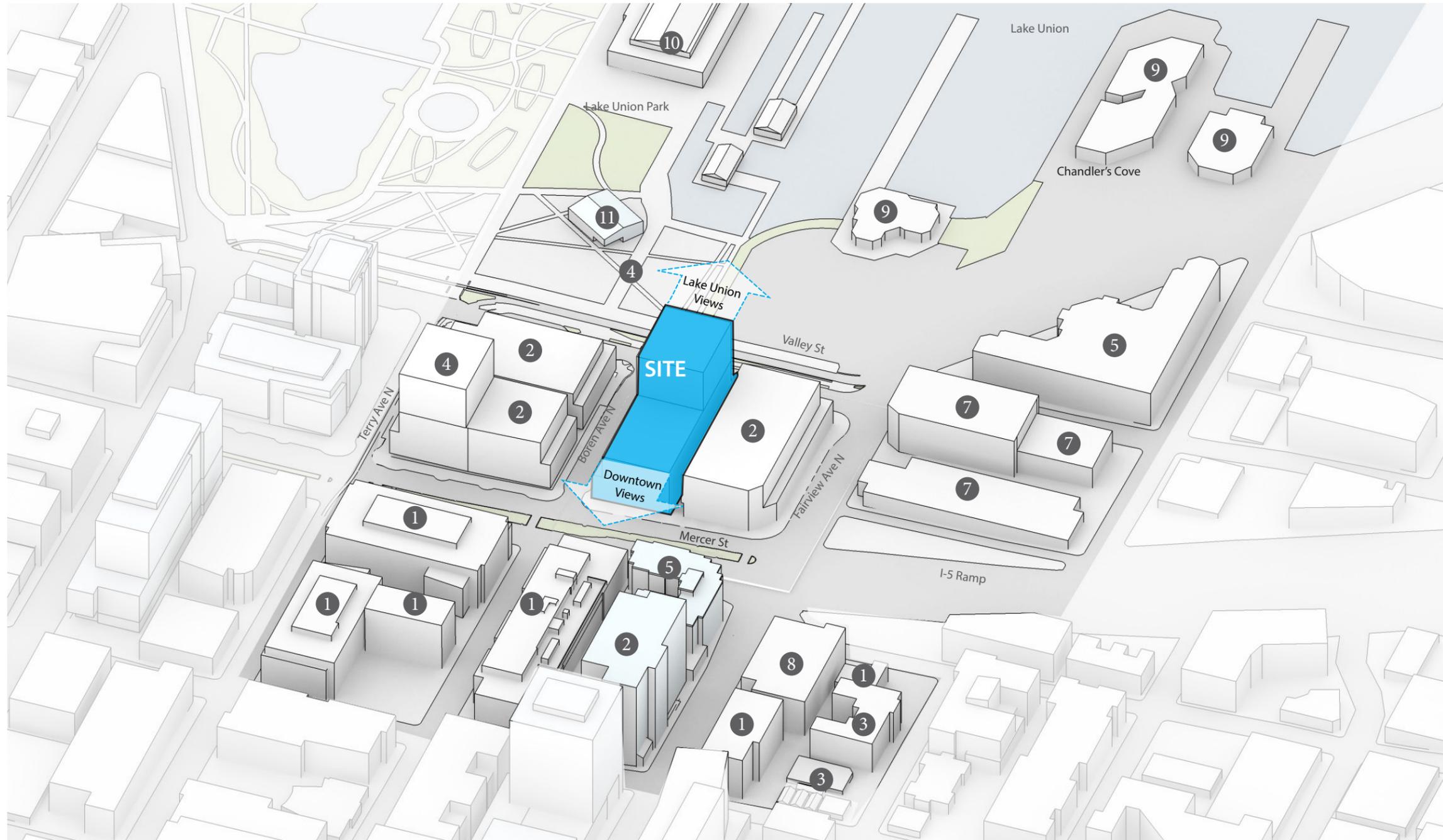


 Proposed Development  
(EDG or MUP Submitted)

-  #3020512; EDG, MUP application ACTIVE
-  #3017401 MUP application ACTIVE & #3022086 this DR#1
-  #3017398 MUP application ACTIVE & #3022087 MUP application; DR date TBD
-  #3017484 MUP application ACTIVE

  Street Car

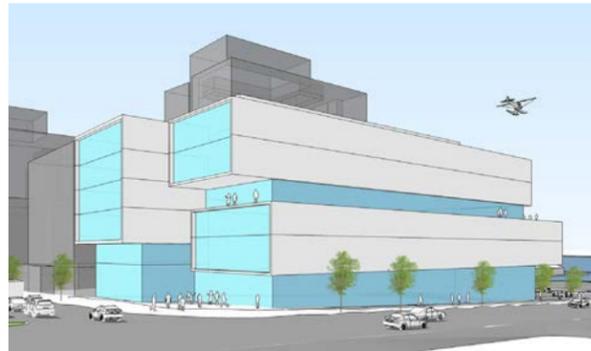




- 1 Office
- 2 Office (Proposed)
- 3 Residential
- 4 Residential (Proposed)
- 5 Hotel
- 6 Hotel (Proposed)
- 7 Storage
- 8 Research
- 9 Restaurant
- 10 Museum/Cultural
- 11 Museum/Cultural (Proposed)

X. 400 Fairview Office (Under Construction)





A. Mercer Block 25 East: 3020512



B. Mercer Block 31: 3022087



C. Mercer Block 37: 3017401



D. 527 Fairview Hotel (Proposed) 3016993



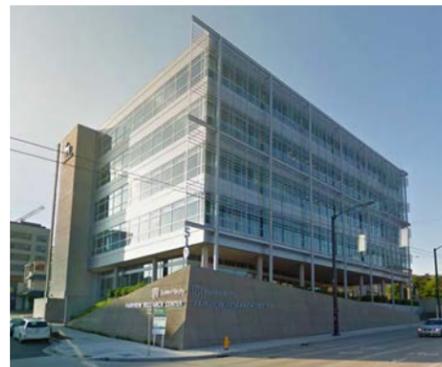
E. Block 38 Office (Proposed)



L. 700 Fairview Storage (Historic Landmark)



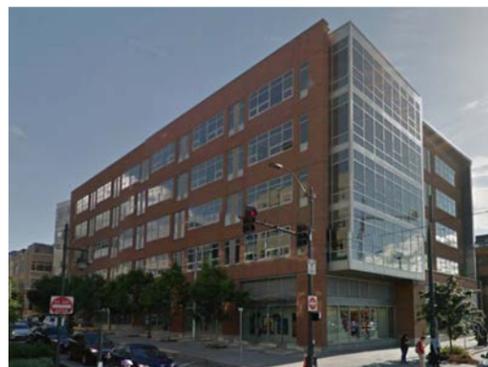
H. 501 Fairview Office (Proposed)



G. Fairview Research Center



F. Wagner Education Center (Under Construction)



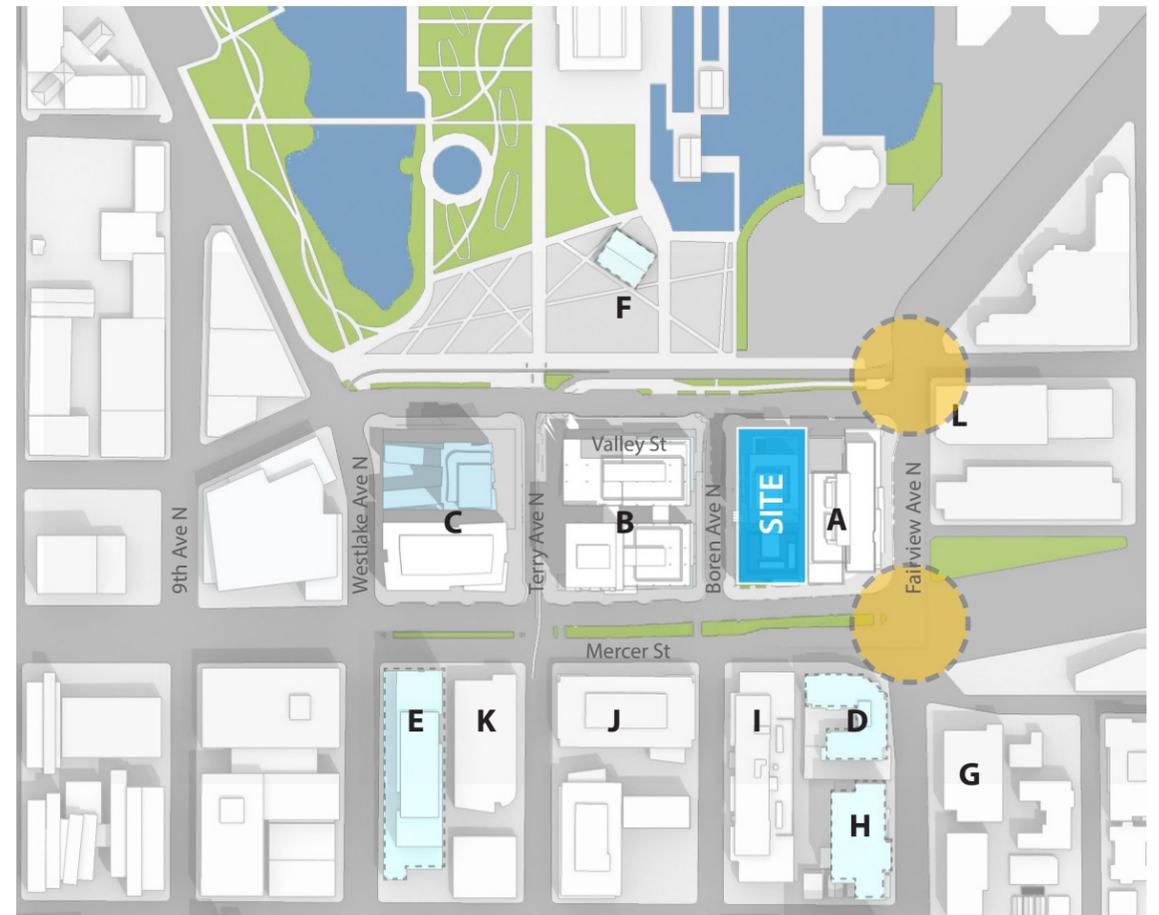
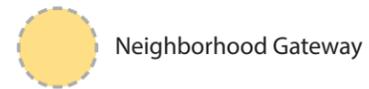
K. Amazon.com "Wainwright"

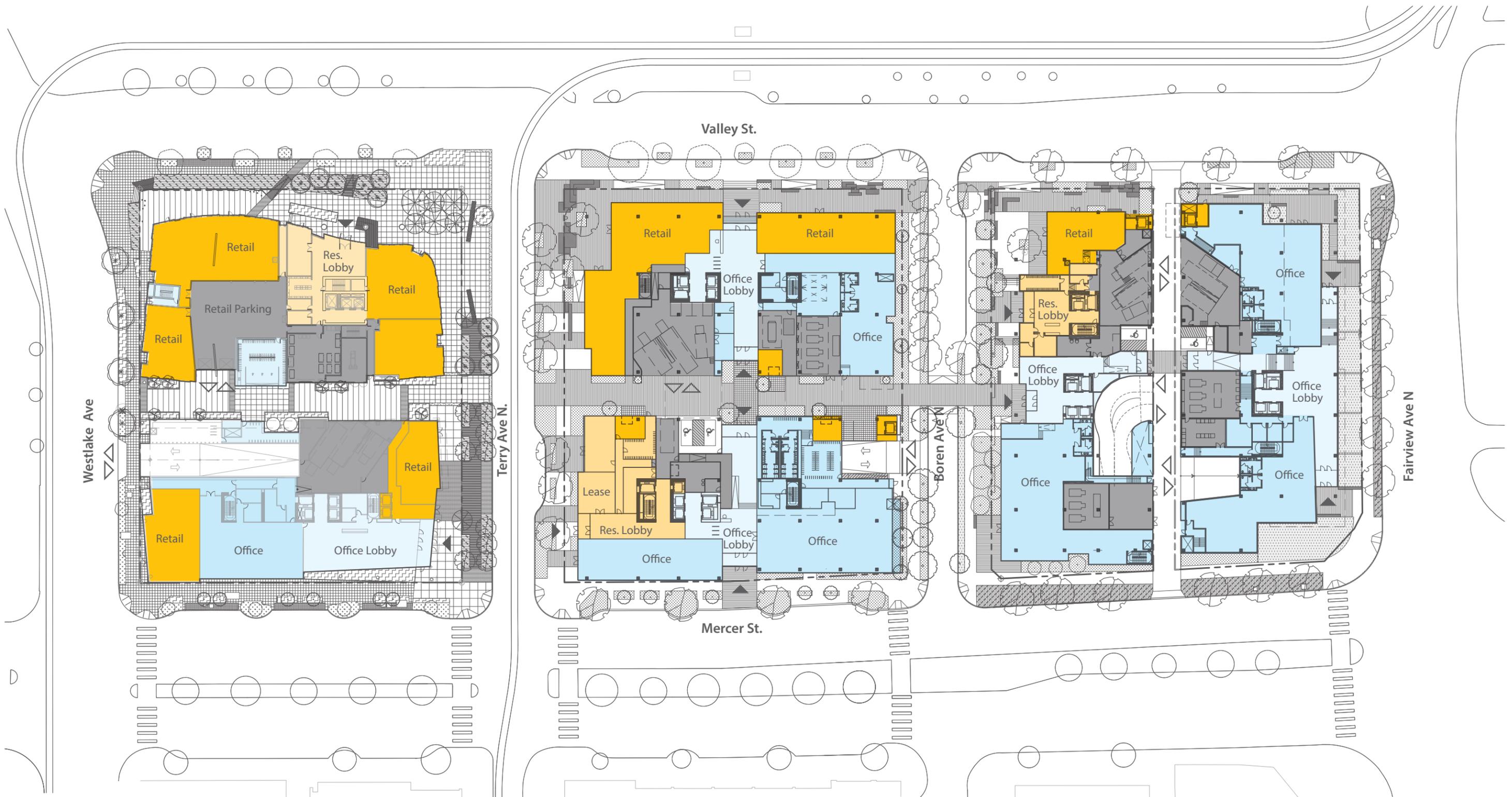


J. Amazon.com "Obidos"



I. Amazon.com "Fiona"





**BLOCK 37**  
3017484 – MUP active

**BLOCK 31**  
3022087

**BLOCK 25 WEST**  
3022086

**BLOCK 25 EAST**  
3020512

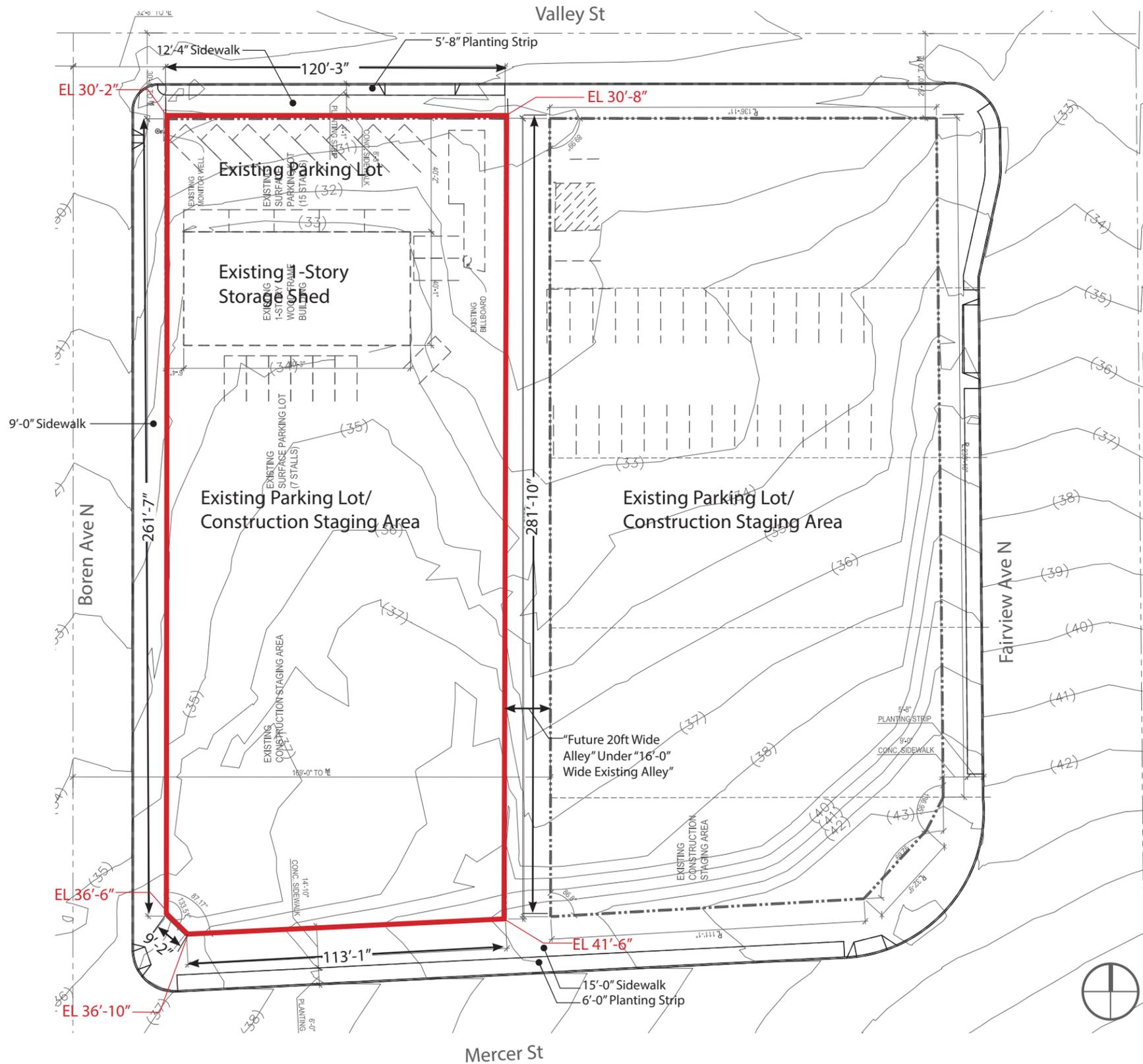
- ◀ Building Entrance
- ◀ Vehicle Entry/Exit



GRAPHITE

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**Site Area:**

34,289 square feet with approximately 288 FT of frontage on Boren Avenue N, 120 FT of frontage on Mercer Street, and 120 FT of frontage on Valley Street.

**Topography:**

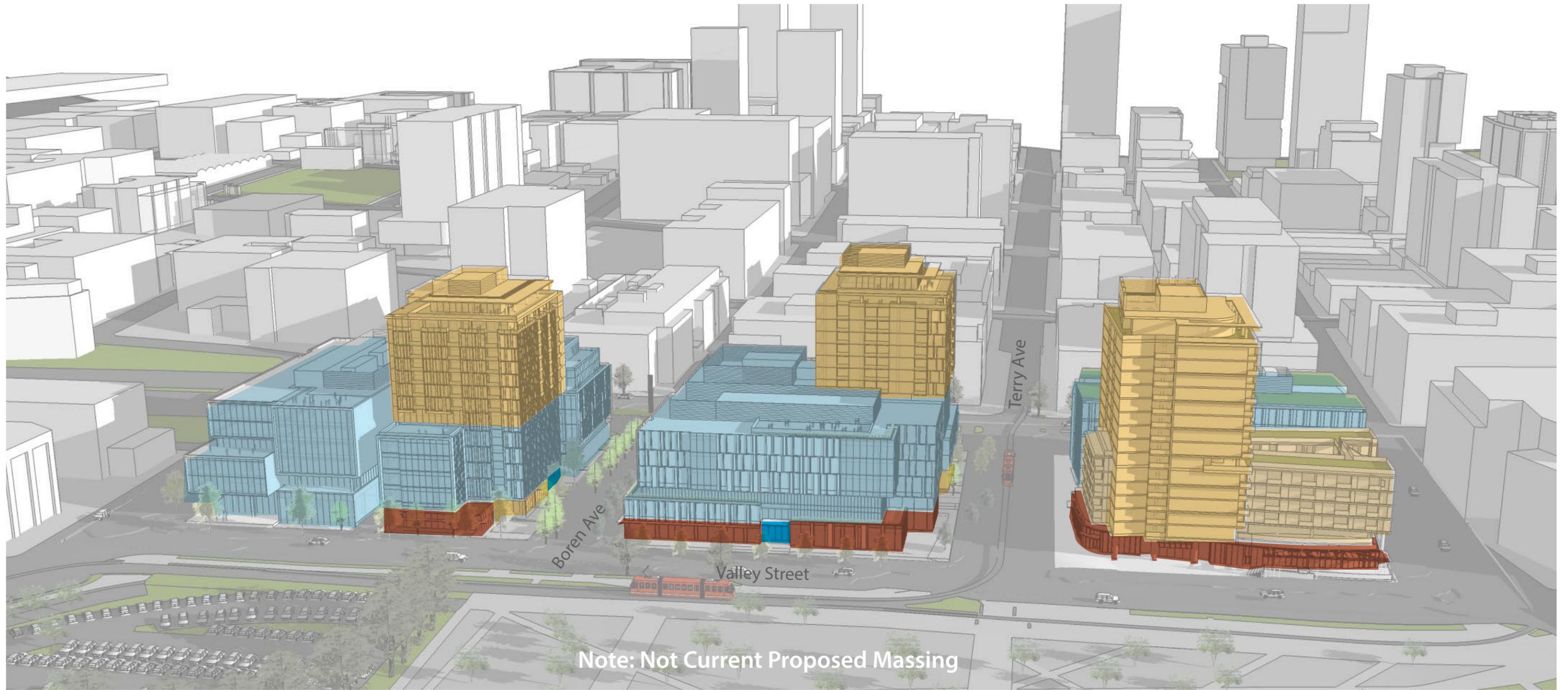
The site slopes from elevation ~ 41'-0" in the southeast corner down to ~ 30'-0" in the northwest corner.

**Tree Survey:**

There are no significant trees on the site. Trees are located within the sidewalk Right-of-way.

**Existing Buildings:**

There is one existing building on site, a construction staging area and existing parking occupy the site.



**BLOCK 25 EAST**  
3020512

**BLOCK 25 WEST**  
3022086

**BLOCK 31**  
3022087

**BLOCK 37**  
3017484 – MUP active



View looking south at Boren Avenue N. and Valley Street



View looking north at Boren Avenue N. and Mercer Street

### 1. Three-Block Concept and Massing

- Should exhibit a strong design concept in the three-block waterfront district
- Should read as 2-3 different forms
- Towers on the Valley frontage of Blocks 25 and 37 frame the central Block 31

### 2. Ground Floor and Landscape

- Valley Street: Emphasize flexible mixing space; pay special attention to transition zones in plan and elevation
- Boren Avenue: Support for setbacks and stepped platforms; design “lease spaces” for future retail
- Mercer Street: Continue dense landscape buffer; activate entry doors at the corner

### 3. Response to Through-Block Connection

- The composition of the podium should be an intentional response to the east-west visual axis
- The landscape design should visually accommodate and re-direct pedestrians

### 4. Podium Massing & Modulation

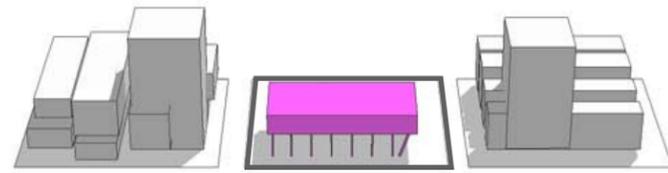
- Reduce blank wall on Boren Ave. N.
- Emphasize transparency at the corner of Mercer and Boren
- Encouraged more mass at the mid-block alley

### 5. Residential Form & Character

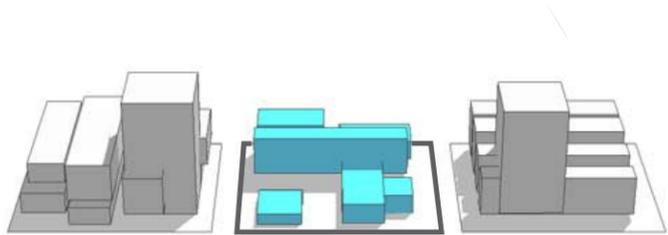
- Form should be related to the residential tower on Block 37 but different in architectural character
- Supported the tower carrying down to grade

### 6. Preliminary Materiality

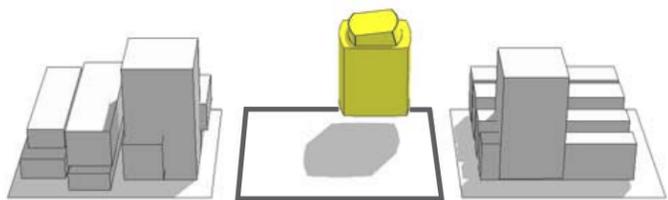
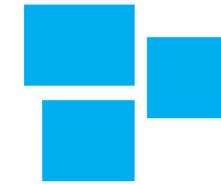
- Incorporate substantive depth, scale, shadows, projections, human scale & visual interest
- Horizontal “tubes” should display modulation, texture and selective fenestration.



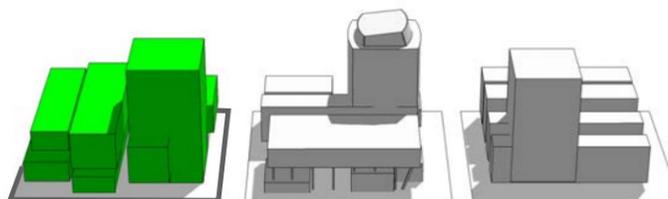
← **1 Piers**  
Strong  
Defined  
Anchor



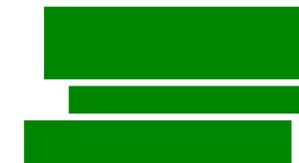
← **2 Container**  
Modular  
Stacked  
Assembled

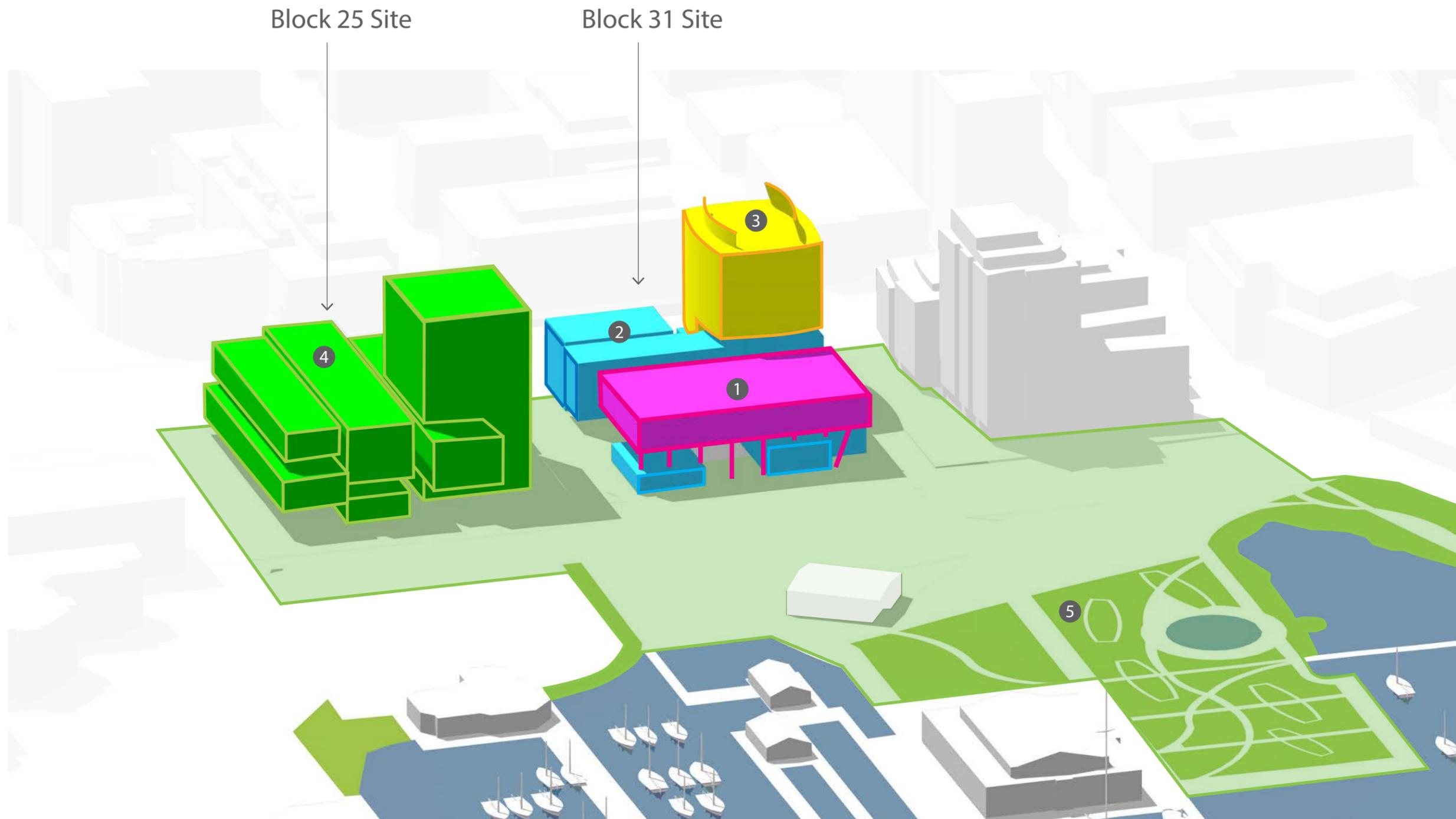


← **3 Hull**  
Fluid  
Aquatic  
Curvilinear



← **4 Stack**  
Adaptive  
Shifting  
Rigid





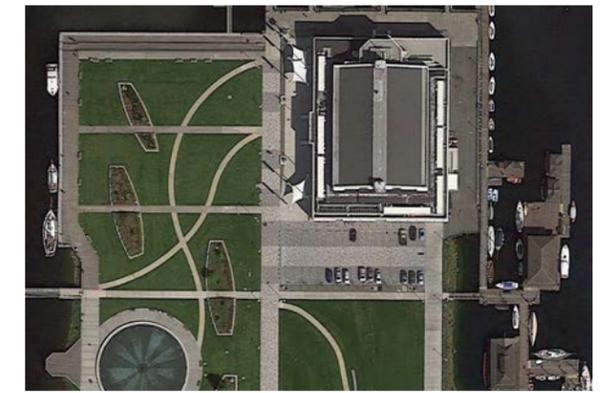
- ① **Piers**  
Strong  
Defined  
Anchor


- ② **Container**  
Modular  
Stacked  
Assembled


- ③ **Hull**  
Fluid  
Aquatic  
Curvilinear

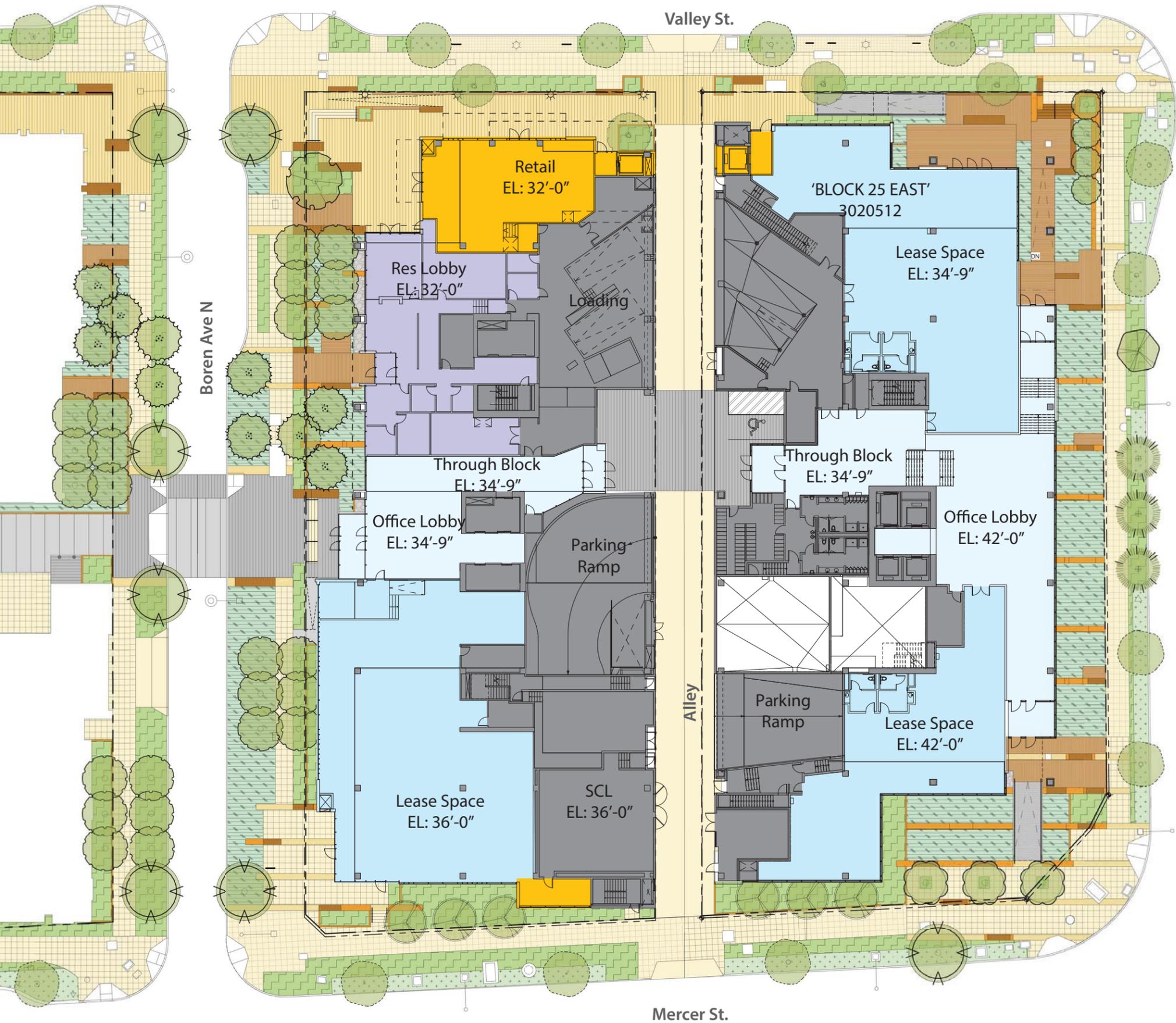

- ④ **Stack**  
Adaptive  
Shifting  
Rigid


- ⑤ **Lake Union Park**



GRAPHITE

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- Retail
  - Residential
  - Office Lobby
  - Office
  - Parking
  - MEP/BOH
- 
- Pedestrian Paving - 2'x2' concrete
  - Boardwalk Paving - see pg. 21a
  - Midblock Paving - scored concrete
  - Bioretention Planting
  - Streetscape Planting
  - Structured Seating - see pg. 21



# Bioretention Planting Design

STRUCTURE



*Cornus sericea* 'Flaviramea'  
Yellowtwig dogwood



*Myrica gale*  
Bog myrtle



*Spiraea douglasii*  
Rose spiraea



*Physocarpus capitatus* 'tilden park'  
Pacific ninebark

FIELD



*Juncus patens* 'Elk Blue'  
Elk Blue California gray rush



*Juncus ensifolius*  
Swordleaf rush



*Liriope* 'Big Blue'  
Big Blue lilyturf



*Carex obnupta*  
Slough Sedge

ACCENTS



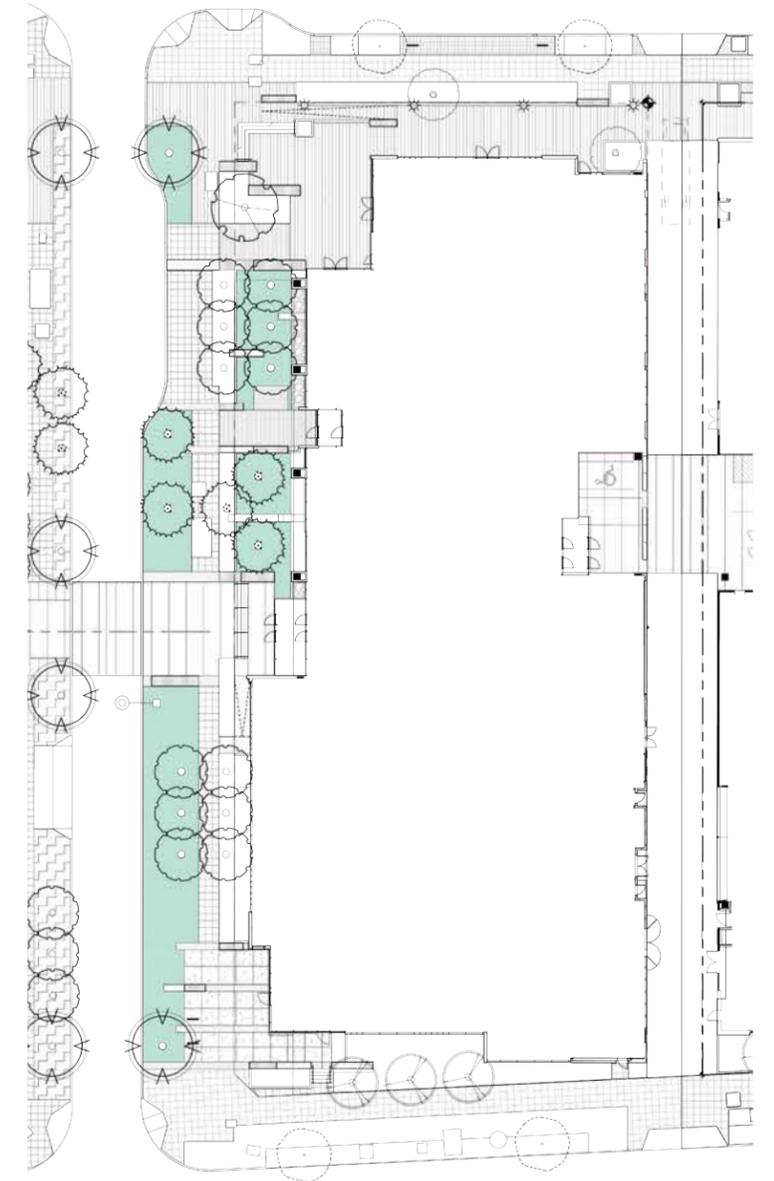
*Iris douglasiana*  
Douglas iris



*Camassia quamash*  
Common camas



*Helleborus* 'Ivory prince'  
Ivory prince hellebore



# Streetscape/Plaza Planting Design

FIELD



Mahonia nervosa  
Dwarf Oregon grape



Gaultheria shallon  
Salal



Blechnum spicant  
Deer fern



Polystichum munitum  
Sword fern

EXISTING TO REMAIN



STRUCTURE



Lonicera pileata  
Privet honeysuckle



Raphiolepis umbellata 'Minor'  
Dwarf Yeddo hawthorn

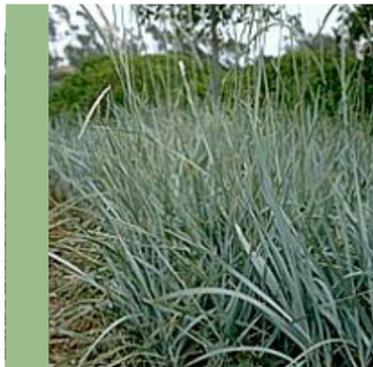


Cornus sanguinea 'Midwinter Fire'  
Midwinter Fire dogwood



Azalea 'Everest'  
Everest azalea

ACCENTS



Elymus glaucus  
Blue wild rye



Sidalcea oregana 'Brilliant'  
Brilliant prairie mallow



Deschampsia caespitosa  
Tufted hair grass



Philadelphus lewisii  
Wild mock orange



Allium cernuum  
Nodding onion



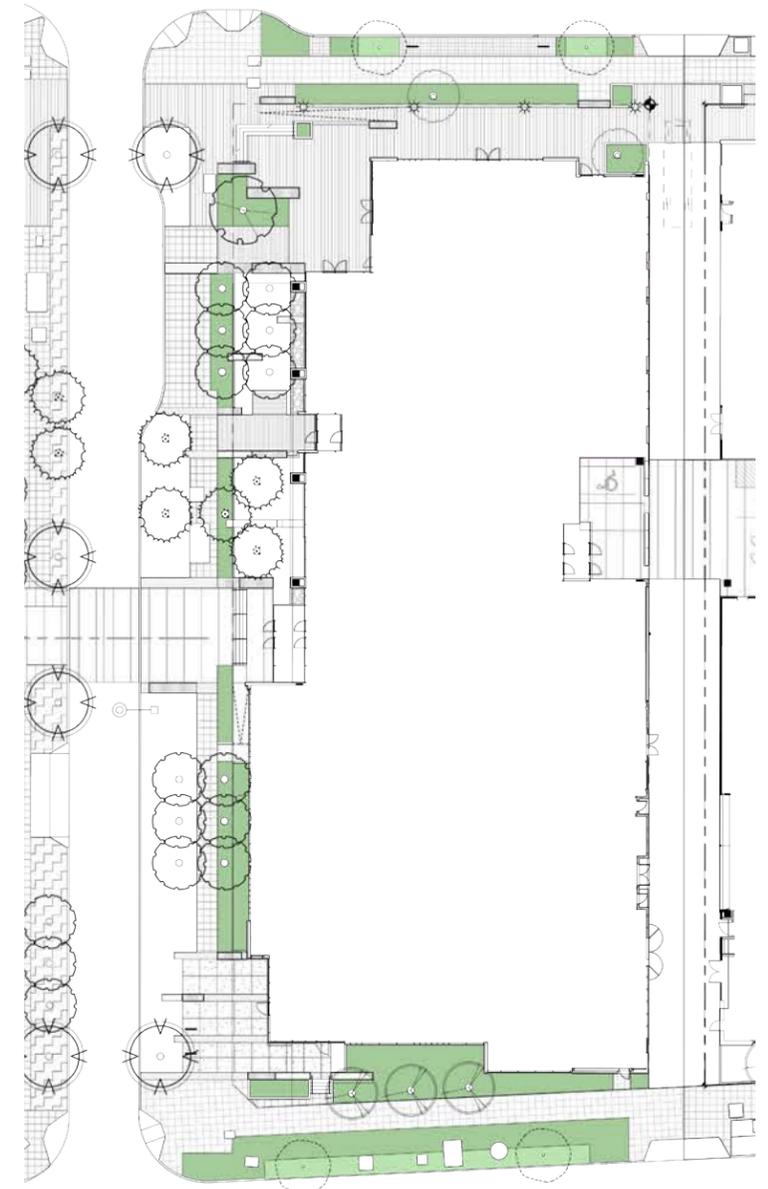
Lupinus polyphyllus  
Lupin



Aquilegia caerulea  
Colorado blue columbine



Maianthemum racemosum  
Feathery false lily of the valley



GRAPHITE

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# Tree Planting Design



 *Acer x freemanii* 'Armstrong'  
Armstrong maple



 *Magnolia virginiana*  
'Moonglow'  
Moonglow sweet bay magnolia



 *Cercidiphyllum japonicum*  
Katsura tree

 Existing trees to remain



 *Amelanchier x grandiflora*  
'Autumn Brilliance'  
Autumn Brilliance Serviceberry



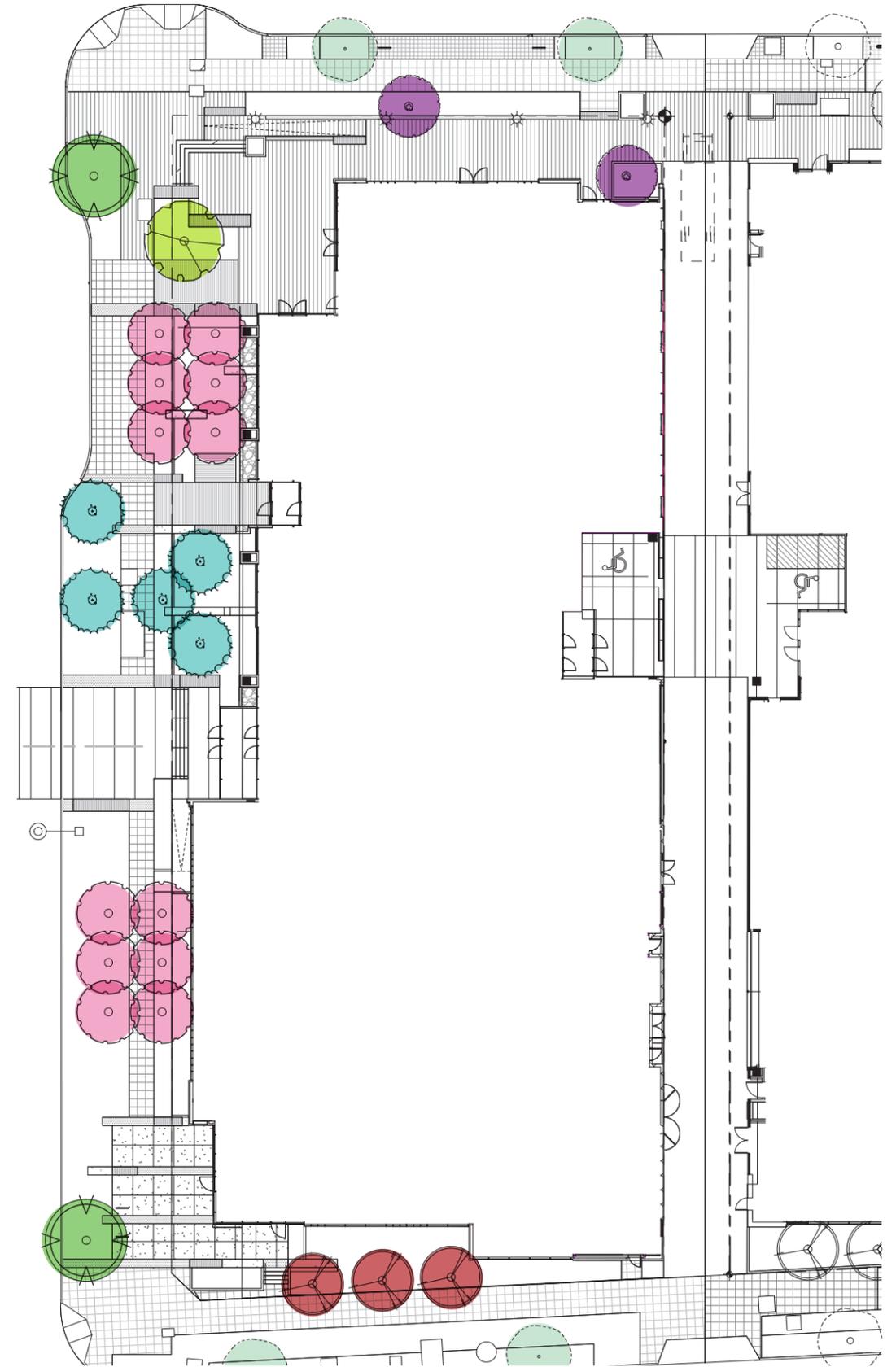
 *Ginkgo biloba* 'Magyar'  
Magyar ginkgo



 *Ulmus* 'Morton Glossy'  
Morton Glossy elm



 *Betula jacquemontii*  
Himalayan birch



# Materials

## PEDESTRIAN PAVING



2' scoring with medium etched finish



2' bands with heavy etched finish

## MIDBLOCK PAVING



12" band scoring w/ raked finish at vehicular surfaces, medium etch at pedestrian

## BOARDWALK KICK



Wood kick at north edge of boardwalk

## DECKING AT RESIDENTIAL LOBBY AND RETAIL PLAZA



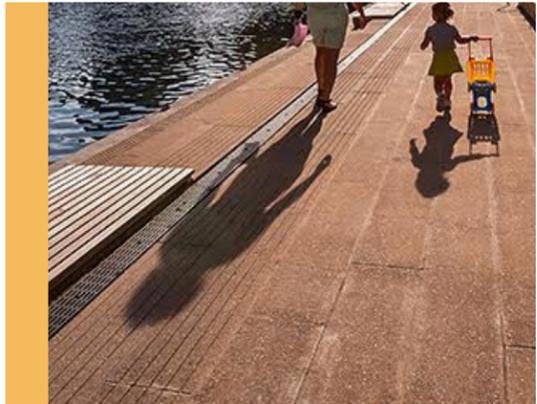
Dark pultruded fiberglass

## VEHICULAR PAVING

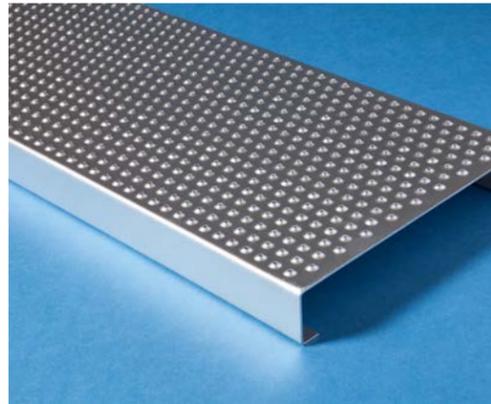


5' band scoring with raked finish

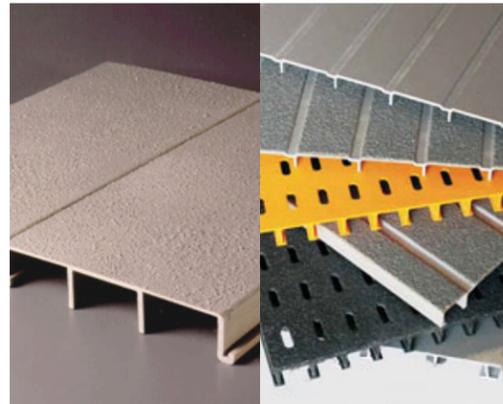
## BOARDWALK FINISH



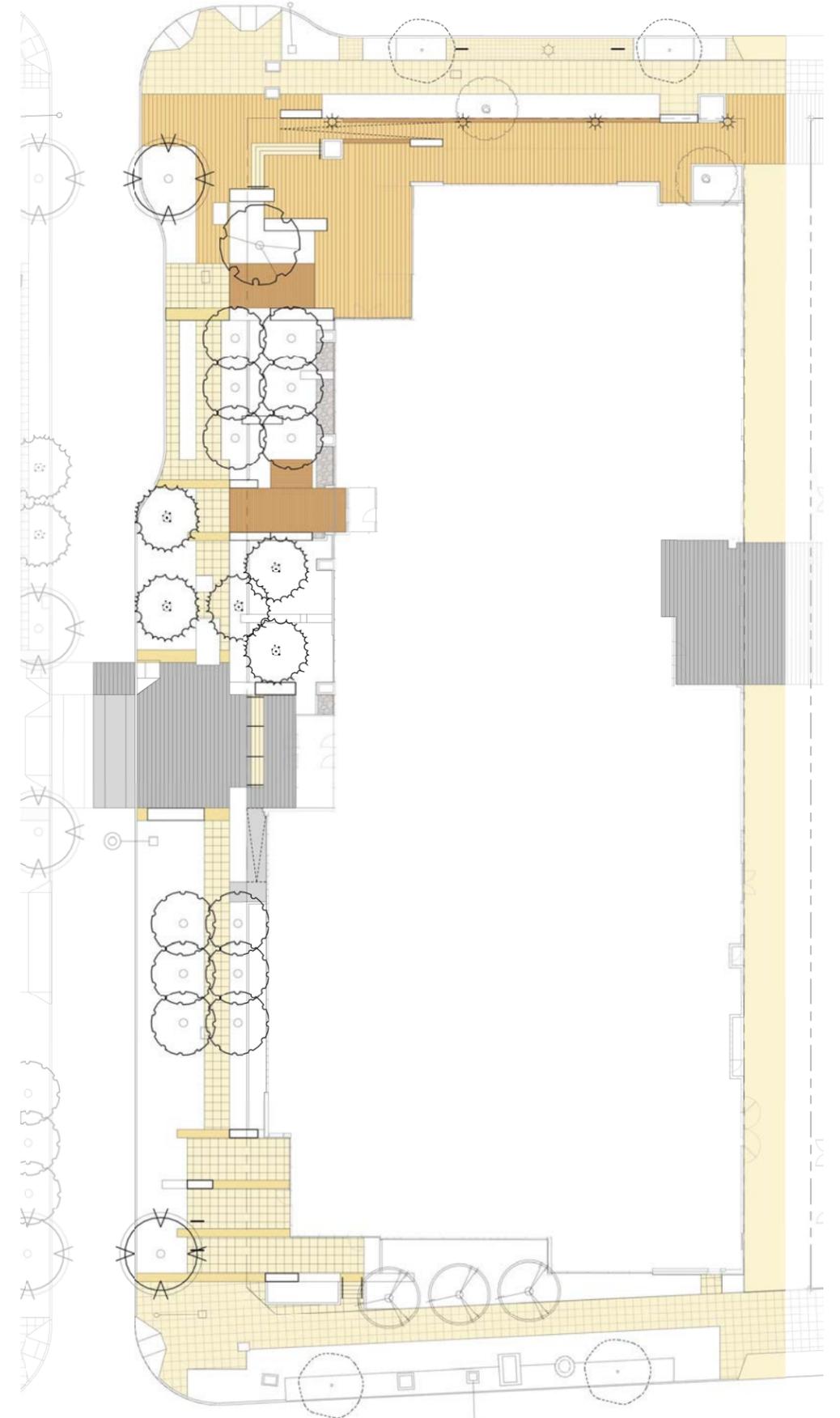
Option 1- 12" wide etched concrete bands 2-3 depths in random pattern



Option 2- 12" wide perforated metal planks (in ROW, Option 1 to be used)



Option 3- 12" wide pultruded plank paving (in ROW, Option 1 to be used)



# Site Furnishings



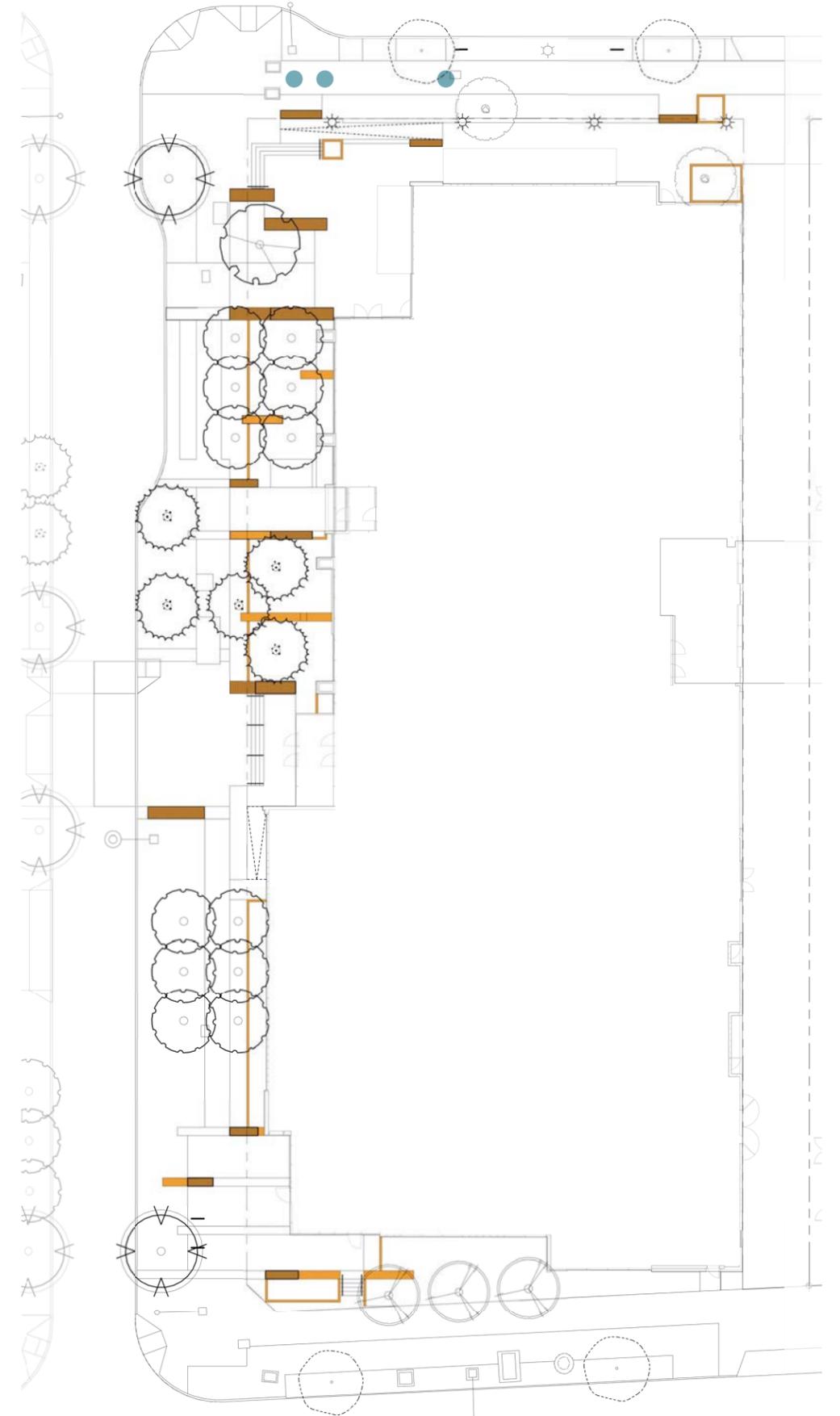
Streetlife Rough And Ready Topseat



Tofino Sportworks Bike Racks



Concrete Plinth / Wall



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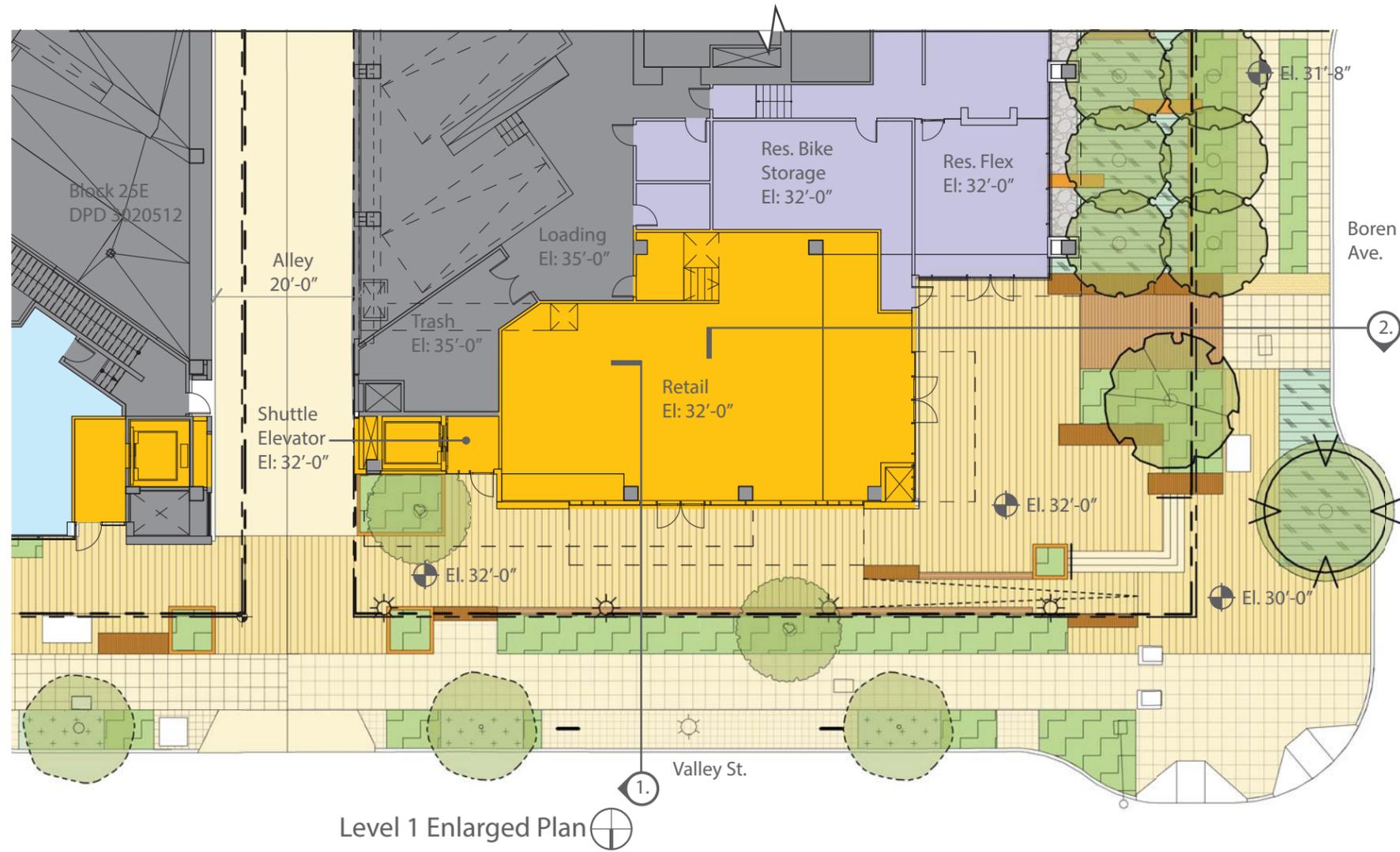
**GRAPHITE**

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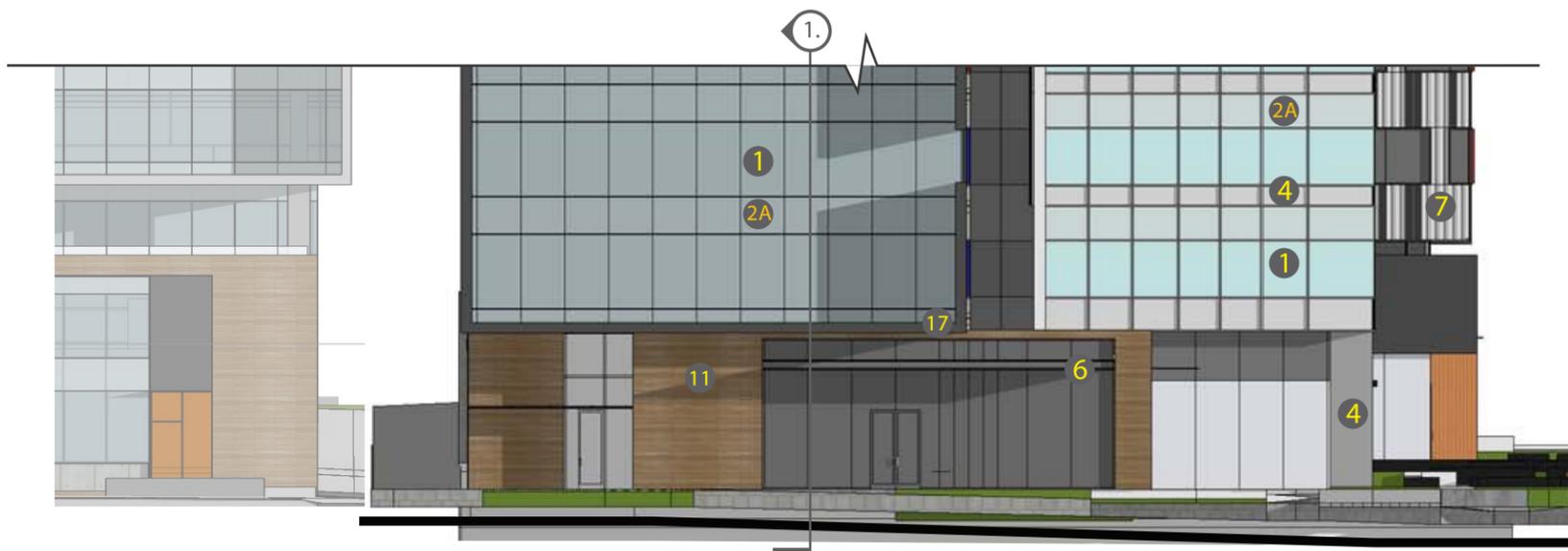
**A-21c**







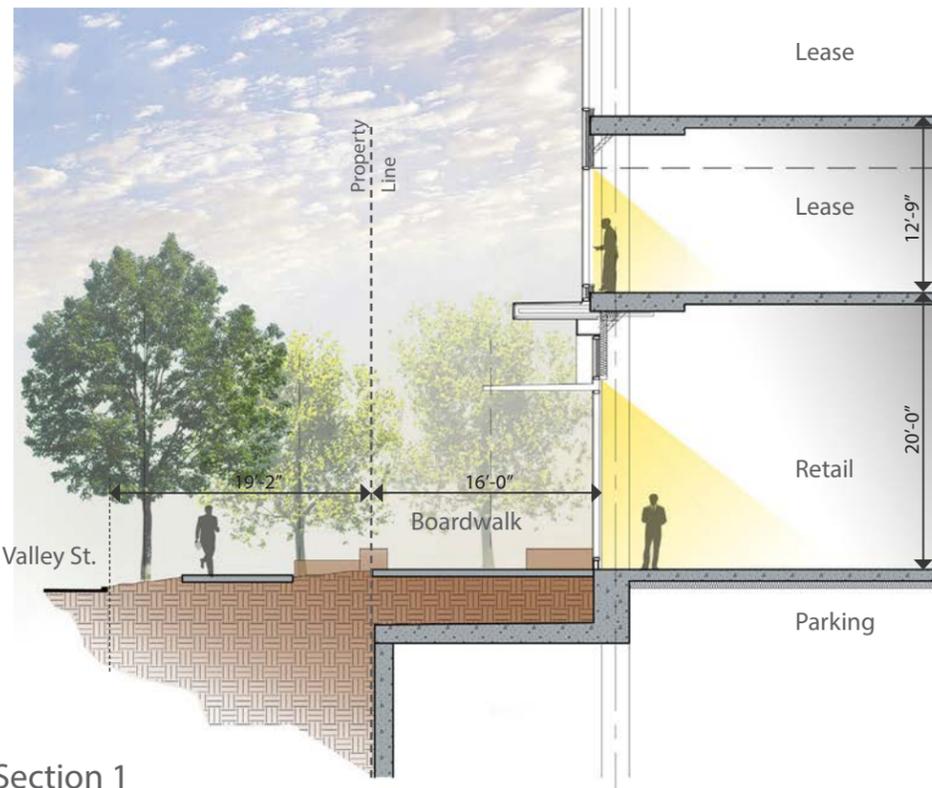
- Retail
  - Residential
  - Office Lobby
  - Office
  - Parking
  - MEP/BOH
- 
- Pedestrian Paving - 2'x2' concrete
  - Boardwalk Paving - see pg. 21a
  - Midblock Paving - scored concrete
  - Bioretention Planting
  - Streetscape Planting
  - Structured Seating - see pg. 21b



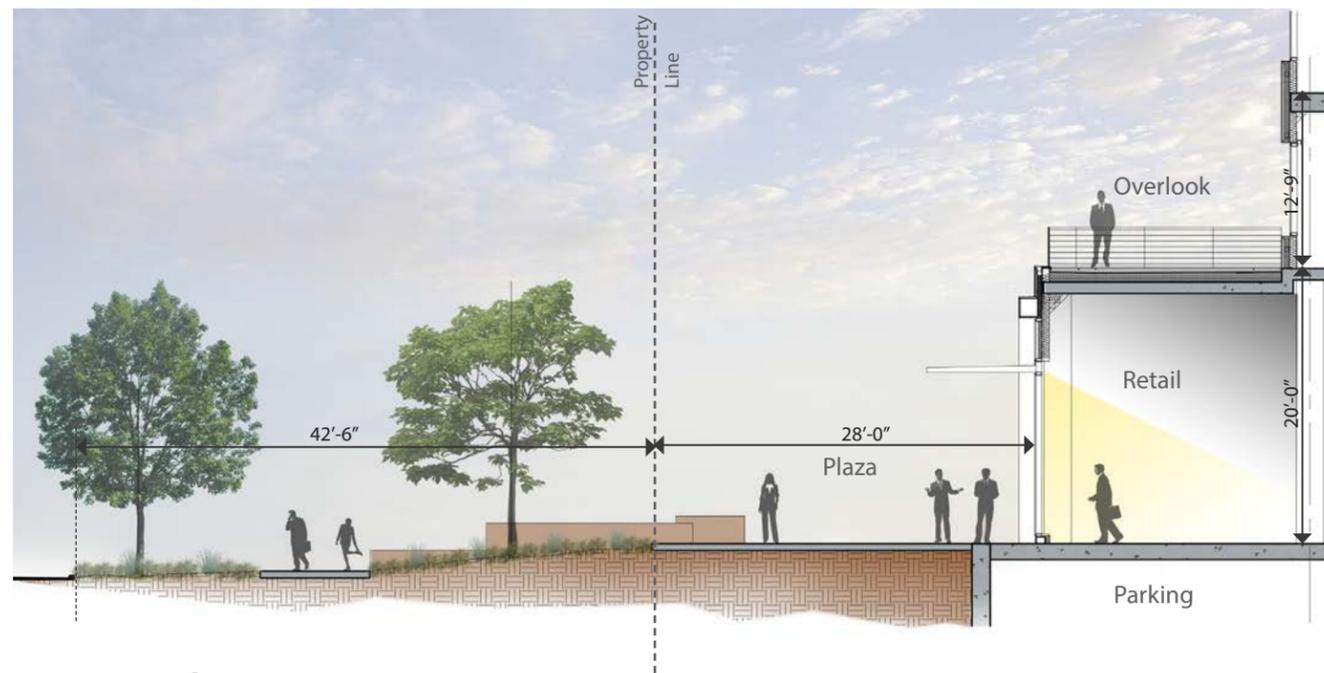
\*See page 39 for material notes



Valley Street View Looking Southeast



Section 1



Section 2

Keynotes

- ① Valley Street
- ② Boren Avenue N.
- ③ Retail Entry
- ④ Plaza
- ⑤ Residential Lobby
- ⑥ Valley Street "Boardwalk"
- ⑦ Parking Entry



Level 1 Enlarged Plan

- |  |              |  |                                    |
|--|--------------|--|------------------------------------|
|  | Retail       |  | Pedestrian Paving - 2'x2' concrete |
|  | Residential  |  | Boardwalk Paving - see pg. 21a     |
|  | Office Lobby |  | Midblock Paving - scored concrete  |
|  | Office       |  | Bioretention Planting              |
|  | Parking      |  | Streetscape Planting               |
|  | MEP/BOH      |  | Structured Seating - see pg. 21b   |



Boren Avenue N. Elevation

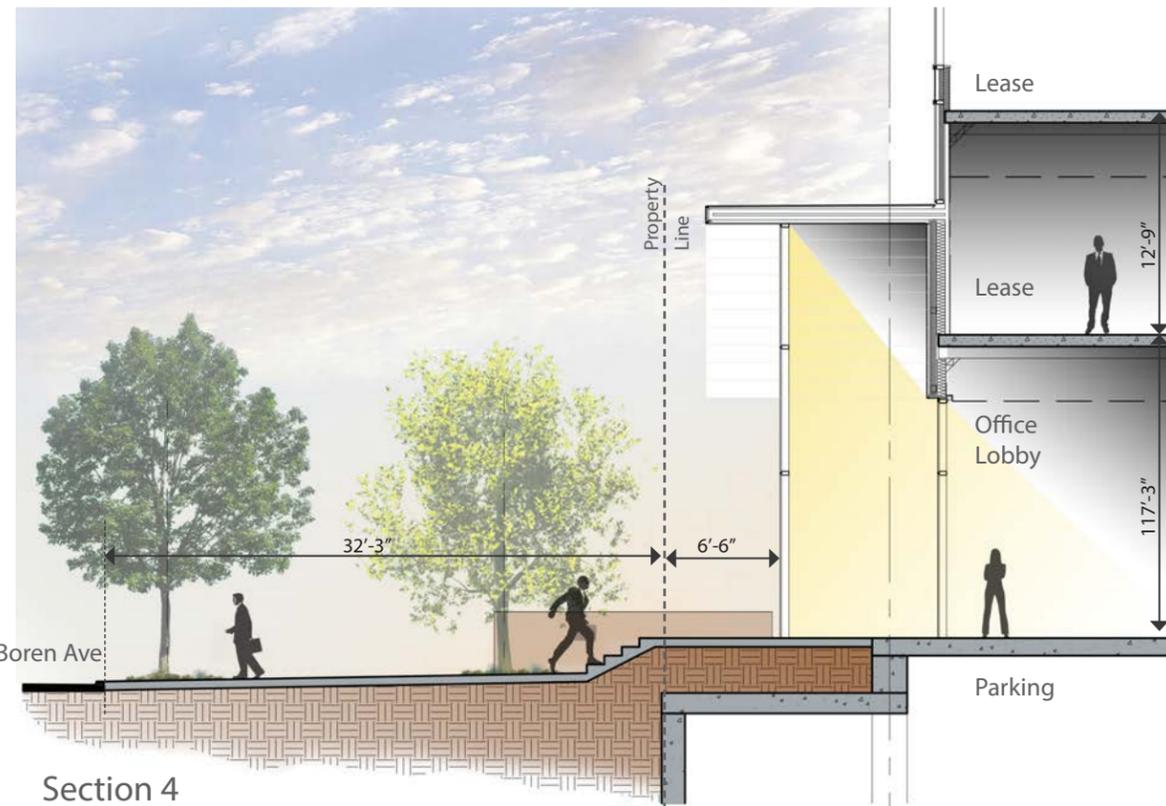
\*See page 39 for material notes



Boren Avenue N. Street View Looking East



Section 3



Section 4

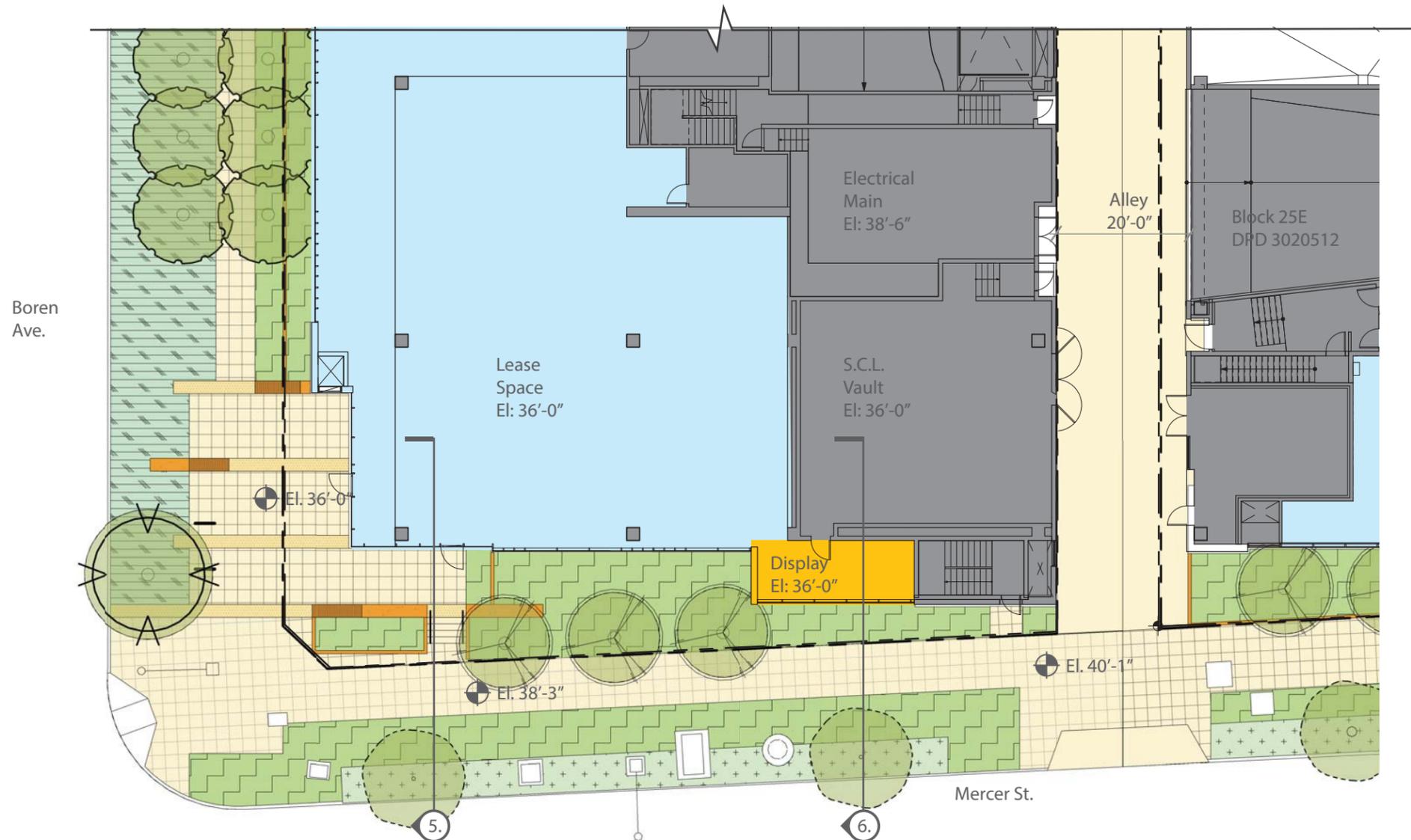
Keynotes

- ① Valley Street
- ② Boren Avenue N.
- ③ Retail Entry
- ④ Plaza
- ⑤ Residential Lobby
- ⑥ Valley Street "Boardwalk"
- ⑦ Office Entry



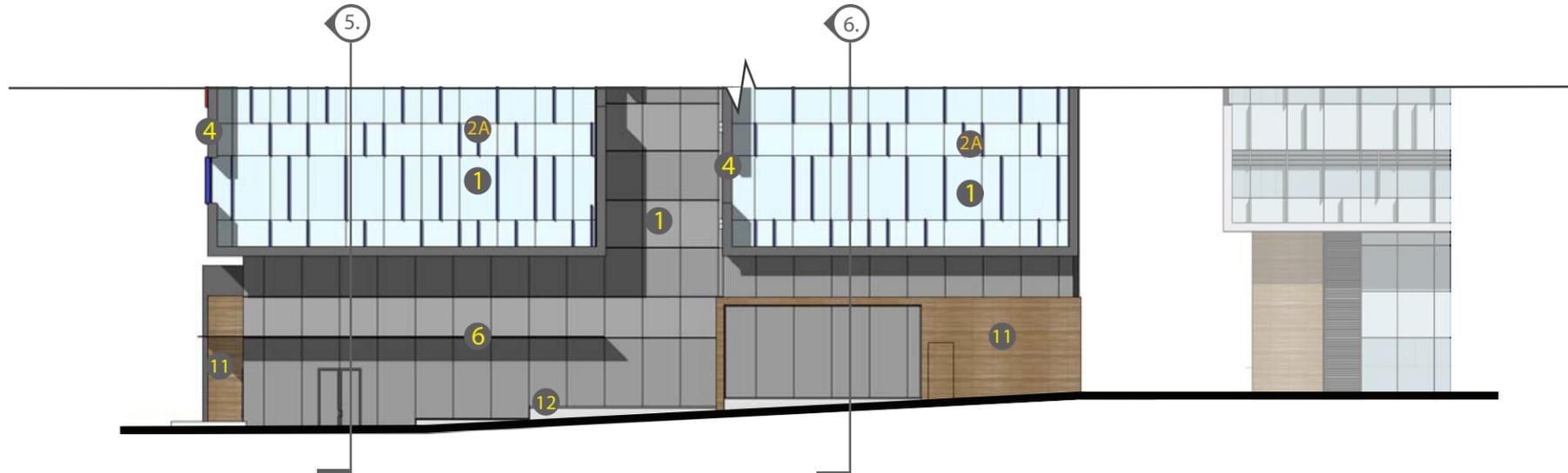
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- Retail
  - Residential
  - Office Lobby
  - Office
  - Parking
  - MEP/BOH
- 
- Pedestrian Paving - 2'x2' concrete
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  - Structured Seating - see pg. 21

Level 1 Enlarged Plan

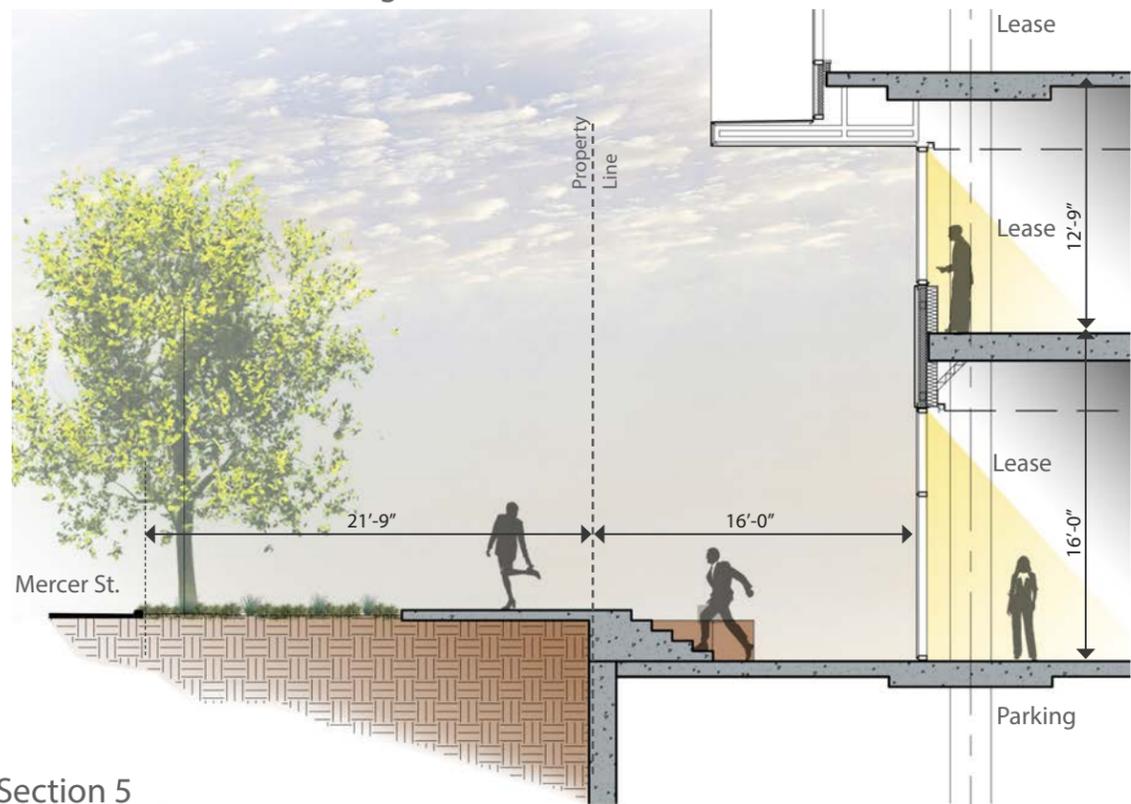


Mercer Street Elevation

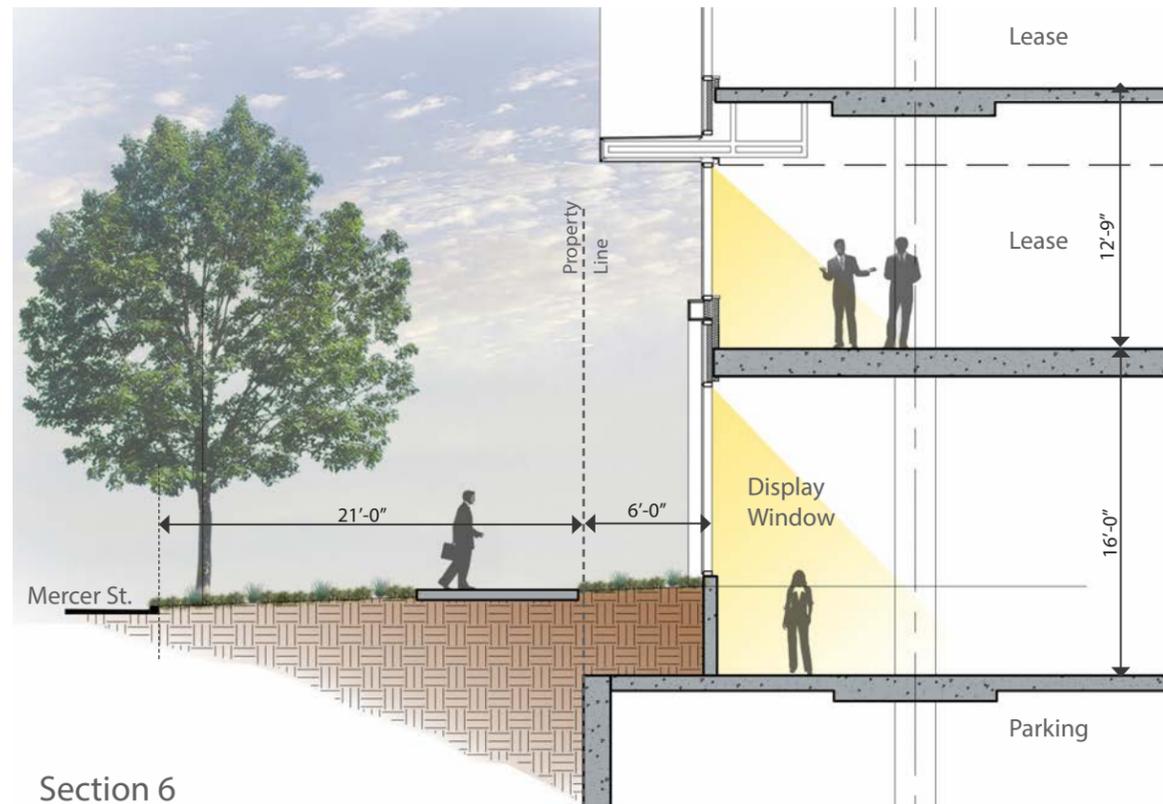
\*See page 39 for material notes



Mercer Street View Looking North



Section 5



Section 6

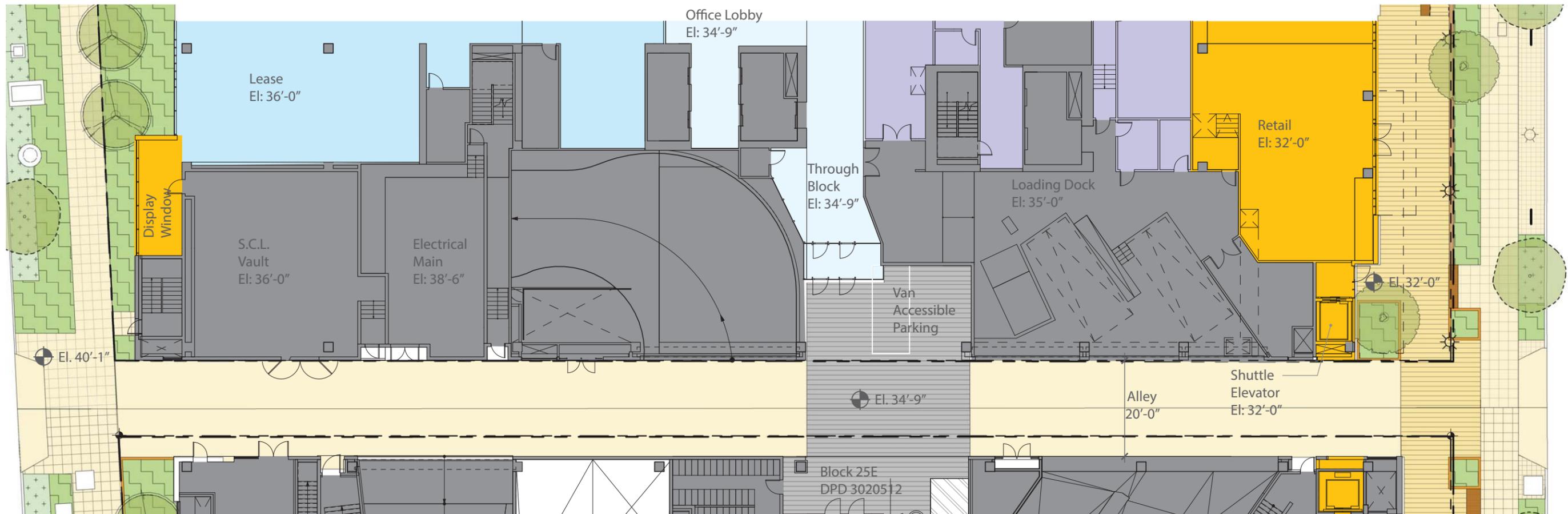
Keynotes

- ① Mercer Street
- ② Boren Avenue N.
- ③ Corner Plaza
- ④ Display Window
- ⑤ Office Entry

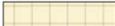
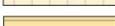


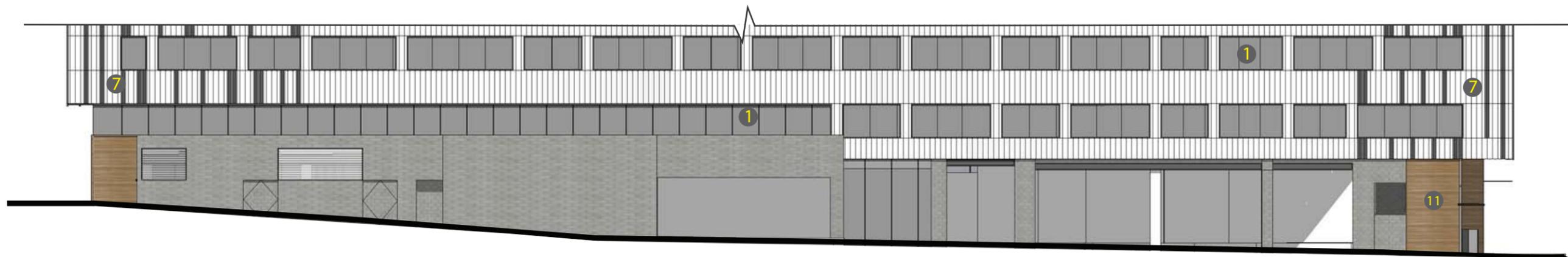


Boren Avenue North Street View from Block 31 Woonerf



Level 1- Enlarged Plan

- |                                                                                       |              |                                                                                       |                                    |
|---------------------------------------------------------------------------------------|--------------|---------------------------------------------------------------------------------------|------------------------------------|
|  | Retail       |  | Pedestrian Paving - 2'x2' concrete |
|  | Residential  |  | Boardwalk Paving - see pg. 21a     |
|  | Office Lobby |  | Midblock Paving - scored concrete  |
|  | Office       |  | Bioretention Planting              |
|  | Parking      |  | Streetscape Planting               |
|  | MEP/BOH      |  | Structured Seating - see pg. 21    |



Alley Elevation

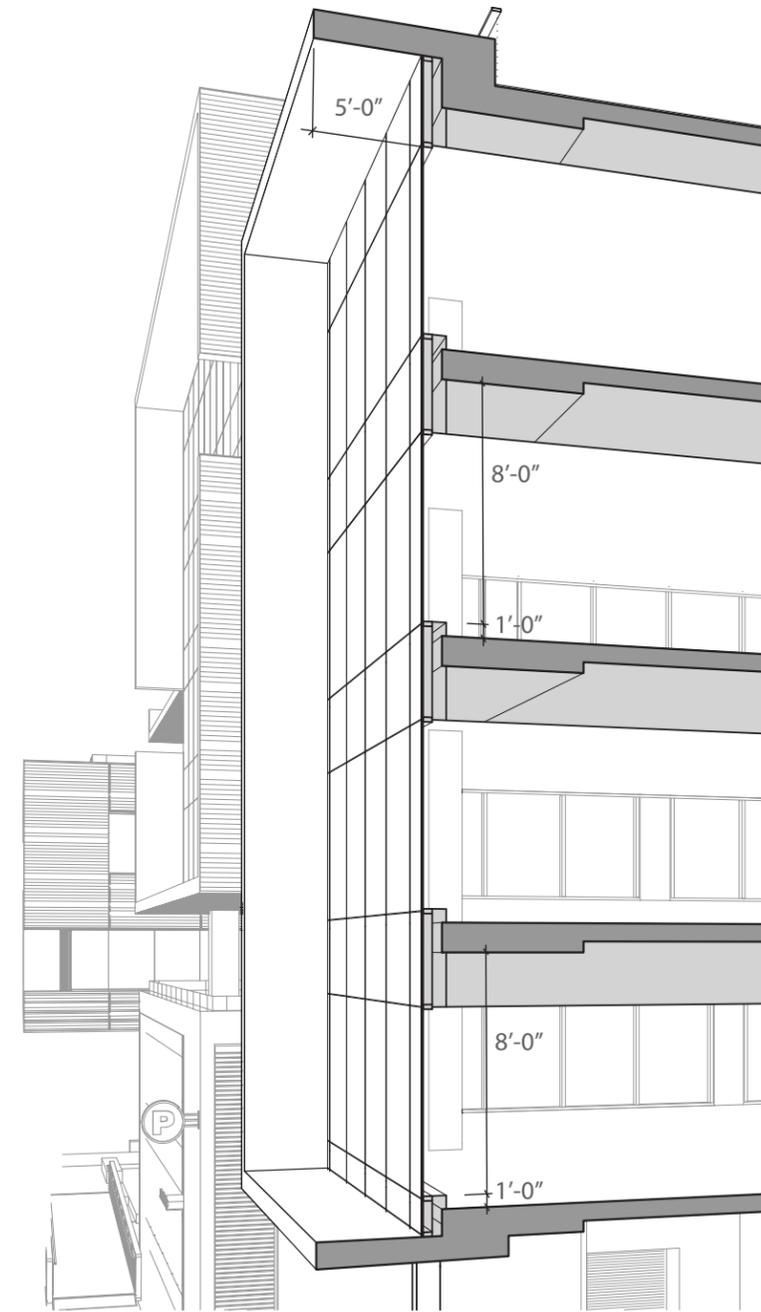
\*See page 39 for material notes



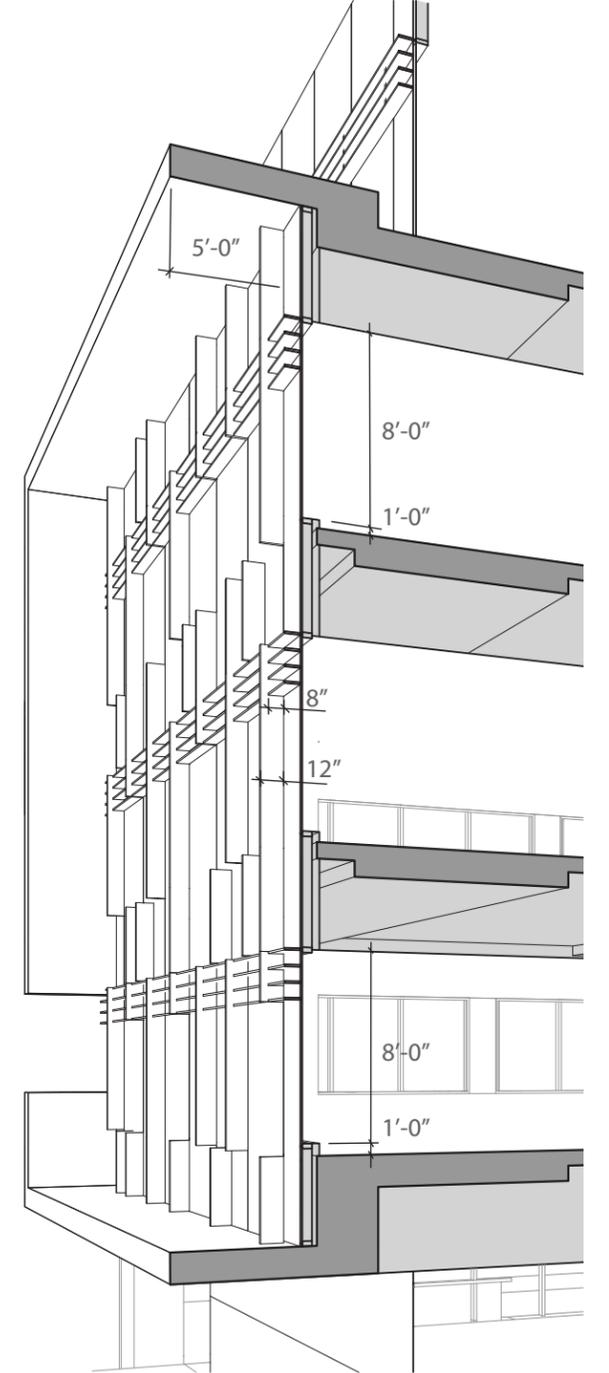
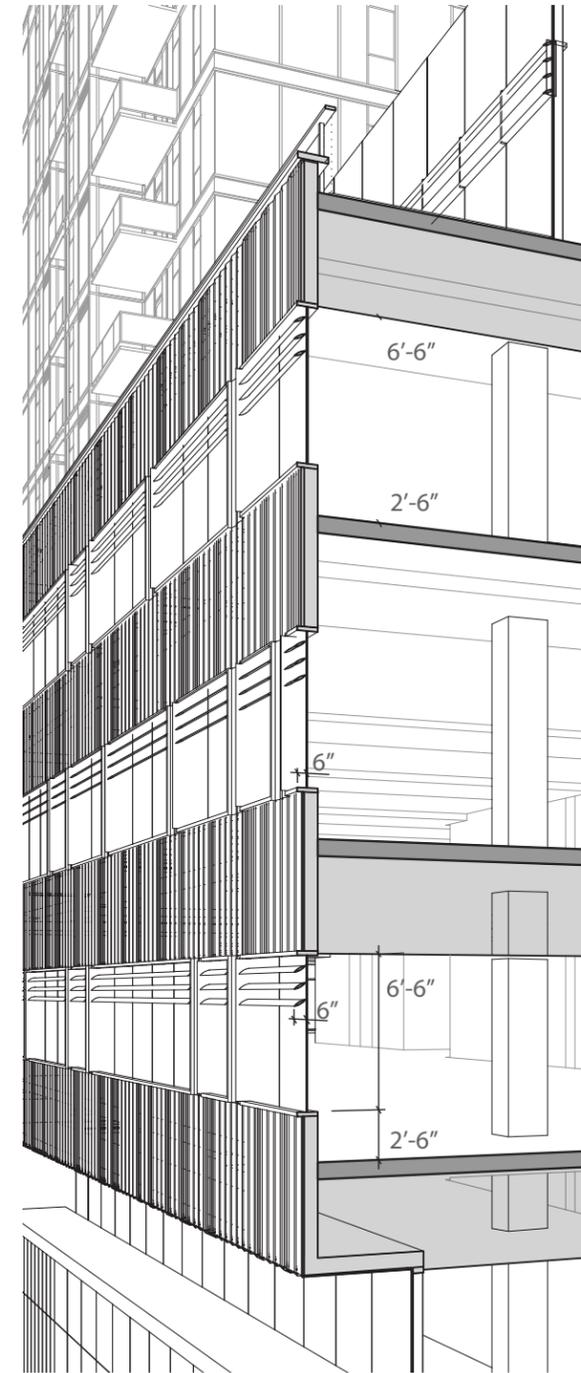




North Podium Detail



1 Wall section perspective - North Facade



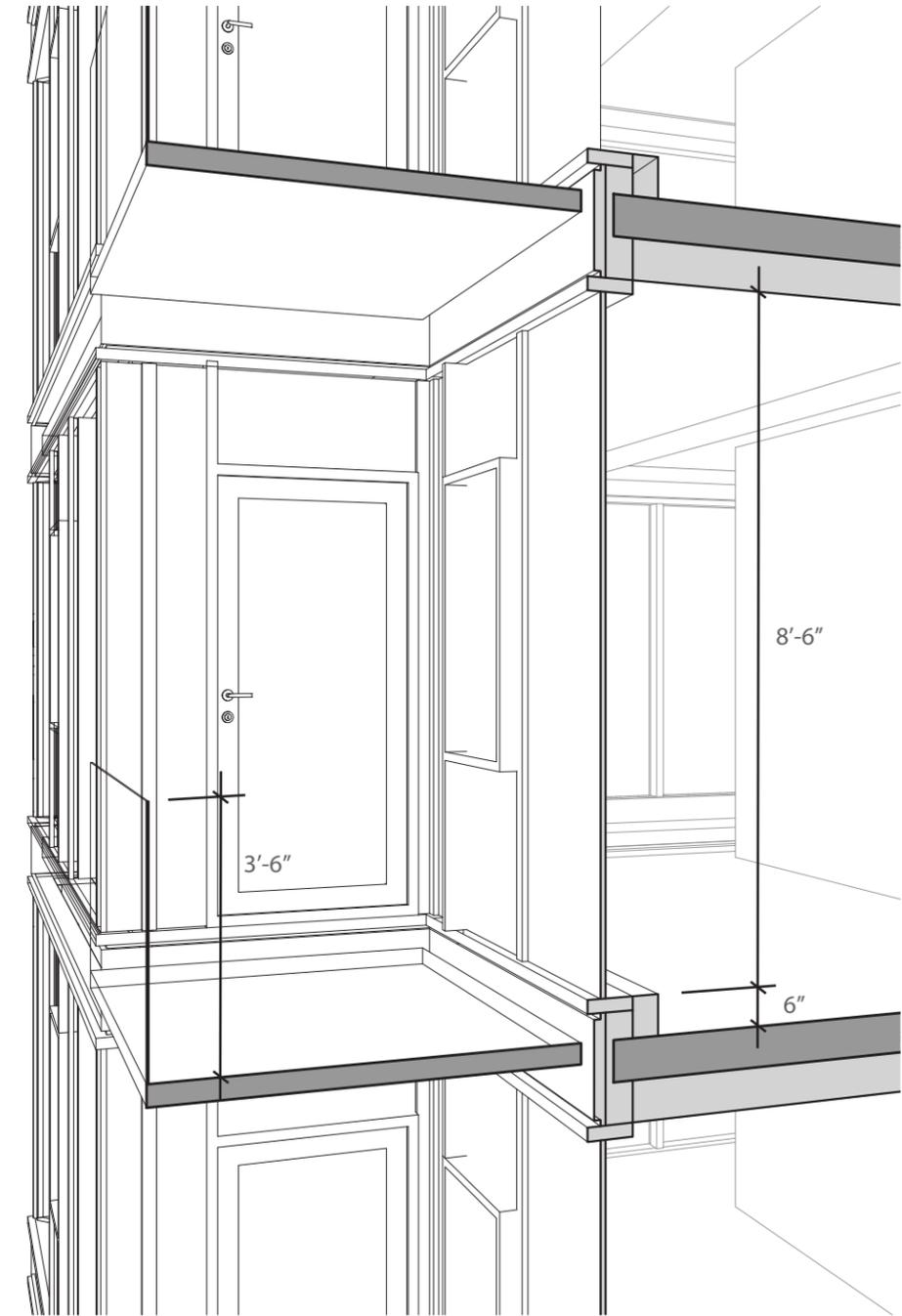
1 Wall section perspective - West Facade

2 Wall section perspective - South Facade

South Podium Detail



Tower Detail



1 Wall section perspective - Residential



Note: Massing illustrated of adjacent projects shown for scale and proximity reference only and do not constitute a final design proposal



GRAPHITE

630 Boren Ave N | West DRB | Design Recommendation | July 20th, 2016 | DPD # 3022086



**Material Palette**

- 1 Vision Glass
    - Low-E Glass
    - Office Glazing
    - Storefront Glazing
  - 2A Spandrel Glass - Office
    - Opaque Low-E Glass
  - 2B Spandrel Glass - Residential
    - Opaque Low-E Glass
  - 3 Metal 1
    - Storefront Framing
    - Resi. Window Wall
    - Roof Screen
  - 4 Metal 2
    - Wall Panels
    - Curtain Wall Framing
    - Curtain Wall Panels
  - 5 Metal 3
    - Stainless Steel
    - Hardware and Site Furnishings
  - 6 Metal 4
    - Natural Steel
    - Podium Accents
  - 7 Profiled Metal Panels
    - Horizontal Orientation
    - Colors: Metal 2
  - 8 Corrugated Metal Siding
    - Alley Facade (mtl 2)
    - Rooftop Screen (mtl 1)
  - 9 Corrugated Metal Siding
    - Alley Facade (mtl 2)
    - Rooftop Screen (mtl 1)
  - 10 Composite Metal
    - Soffits
  - 11 Wood Planks
    - Podium Accent Cladding
  - 12 Cast-in-Place Concrete
    - Site Walls
    - Site Paving (Scored)
  - 13 Paving Units
    - Roof Terrace Paving
  - 14 Color 1: Light Green
  - 15 Color 2: Orange
  - 16 Color 3: Dark Blue
  - 17 Color 4: Rust
  - 18 Color 5: Light Blue
- Note Colors 1-5 proposed as painted metal*



**\*Note, See Pages 58-67 for all Plans and Elevations.**



Representative Metal Panel Profiles  
13'h x 1'w Panel Dimension, typ.



**Material Palette**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>① Vision Glass                             <ul style="list-style-type: none"> <li>• Low-E Glass</li> <li>• Office Glazing</li> <li>• Storefront Glazing</li> </ul> </li> <li>②A Spandrel Glass - Office                             <ul style="list-style-type: none"> <li>• Opaque Low-E Glass</li> </ul> </li> <li>②B Spandrel Glass - Residential                             <ul style="list-style-type: none"> <li>• Opaque Low-E Glass</li> </ul> </li> <li>③ Metal 1                             <ul style="list-style-type: none"> <li>• Storefront Framing</li> <li>• Resi. Window Wall</li> <li>• Roof Screen</li> </ul> </li> <li>④ Metal 2                             <ul style="list-style-type: none"> <li>• Wall Panels</li> <li>• Curtain Wall Framing</li> <li>• Curtain Wall Panels</li> </ul> </li> <li>⑤ Metal 3                             <ul style="list-style-type: none"> <li>• Stainless Steel</li> <li>• Hardware and Site Furnishings</li> </ul> </li> <li>⑥ Metal 4                             <ul style="list-style-type: none"> <li>• Natural Steel</li> <li>• Podium Accents</li> </ul> </li> </ul> | <ul style="list-style-type: none"> <li>⑦ Profiled Metal Panels                             <ul style="list-style-type: none"> <li>• Horizontal Orientation</li> <li>• Colors: Metal 2</li> </ul> </li> <li>⑧ Corrugated Metal Siding                             <ul style="list-style-type: none"> <li>• Alley Facade (mtl 2)</li> <li>• Rooftop Screen (mtl 1)</li> </ul> </li> <li>⑩ Composite Metal                             <ul style="list-style-type: none"> <li>• Soffits</li> </ul> </li> <li>⑪ Wood Planks                             <ul style="list-style-type: none"> <li>• Podium Accent Cladding</li> </ul> </li> <li>⑫ Cast-in-Place Concrete                             <ul style="list-style-type: none"> <li>• Site Walls</li> <li>• Site Paving (Scored)</li> </ul> </li> <li>⑬ Paving Units                             <ul style="list-style-type: none"> <li>• Roof Terrace Paving</li> </ul> </li> <li>⑭ Color 1: Light Green</li> <li>⑮ Color 2: Orange</li> <li>⑯ Color 3: Dark Blue</li> <li>⑰ Color 4: Rust</li> <li>⑱ Color 5: Light Blue</li> </ul> <p><i>Note Colors 1-5 proposed as painted metal</i></p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

# LIGHTING DESIGN CONSIDERATIONS

## IDENTITY

The lighting will reflect and support the unique architectural features of the Block 25 East project and help distinguish it from its neighboring office and retail spaces while maintaining a consistent city-wide urban quality.

## COMFORT

Differing levels of light and their effects will be tailored to match the ambiance of each area, with careful selection of light levels and visual lighting elements.

## SAFETY

In addition to its aesthetic qualities, the lighting will also provide the necessary amount of light for office workers and visitors to navigate safely through the premises.

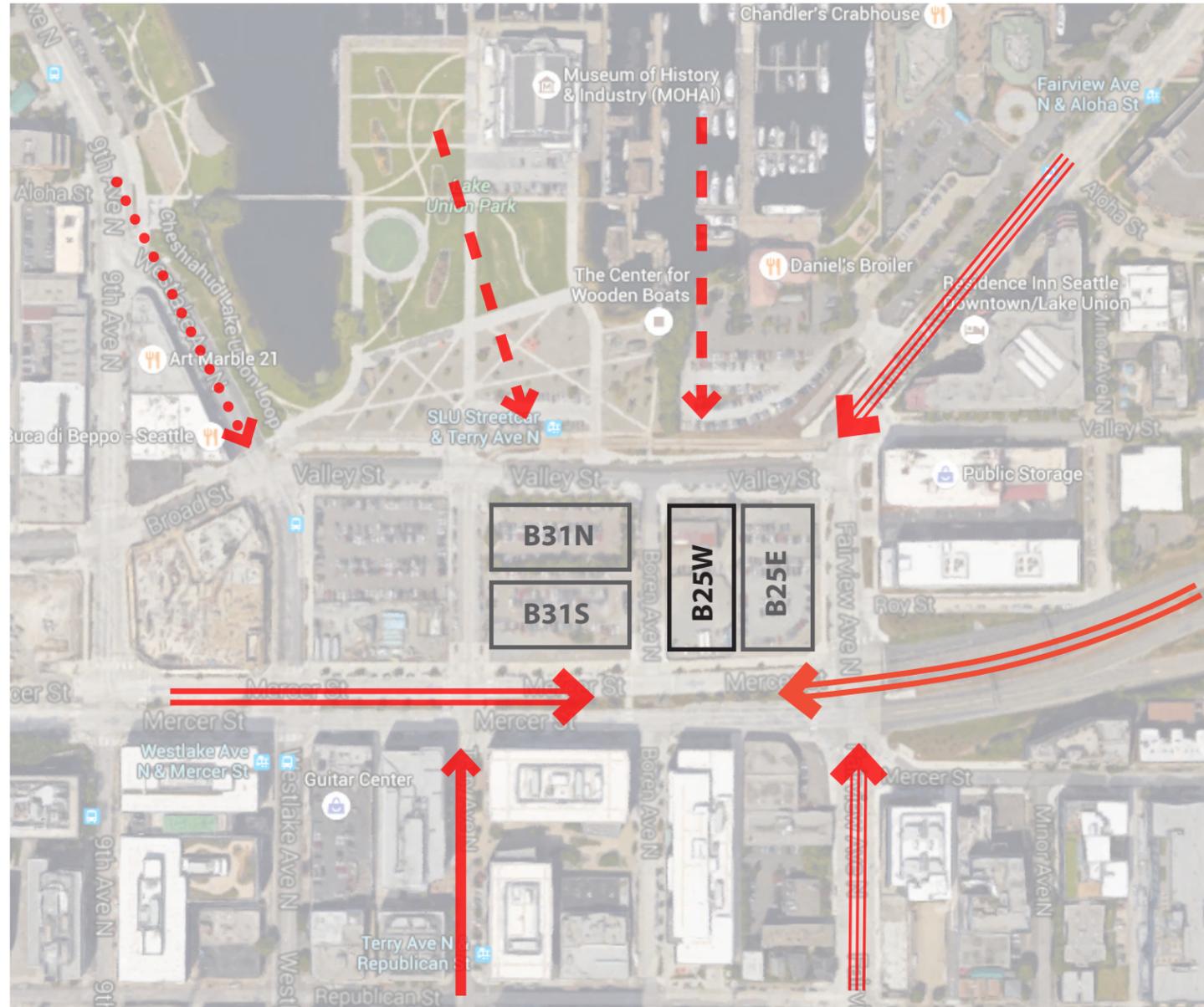
## MAINTENANCE

A combination of long-lasting lamp sources like LEDs, and appropriately located fixtures means lowering the long-term maintenance costs. Low energy sources will be utilized throughout the site, which, together with a control system, will reduce energy use on an ongoing basis.

## ENERGY

The lighting will be compliant with Washington state code as well as local Seattle code; and will help achieve LEED certification for the project.

## MAJOR VIEWS

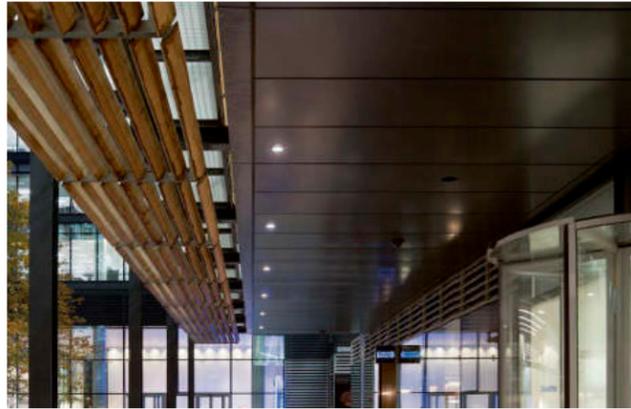


- ⇒ **MERCER STREET**  
 Vehicles on Mercer Street approaching from the east have an unobstructed view of the buildings Southeast corner, and the those coming from the west see the South side of the building at they approach the end of the block.
- ⇒ **FAIRVIEW AVENUE**  
 Fairview Avenue offers direct views to all three street-facing sides of the building; vehicles and pedestrians approaching the building on Fairview Ave have a clear long-distance view of the North and South sides, and a close-up view of the East face as they pass the building.
- **TERRY AVE**  
 Those walking on foot along the trolley line may approach the site from the South and have a view of the site from the pedestrian level.
- → **LAKEFRONT BOARDWALK**  
 On the opposite side of Mercer Street, the Lakefront Boardwalk provides both close-up and long distance views to the row of Vulcan buildings altogether.
- ... → **WESTLAKE AVE**  
 Those traveling south on Westlake also have a view of the Vulcan Lakefront Blocks from across the water.



**BUILDING FACADE**

Ingrade uplights illuminate the underside of the “stacked” structures. Downlights at the column emphasize the posts supporting the “stacks”.



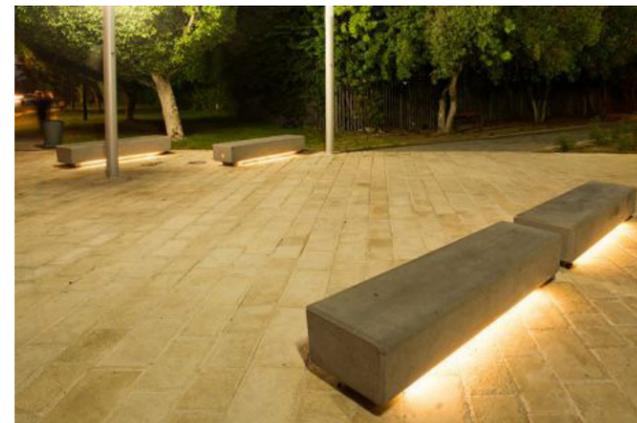
**CANOPIES AND ENTRIES**

Recessed downlights provide ambient light, highlight the textured surfaces and add brightness to the entryways.



**BOARDWALK & RIGHT OF WAY**

A rhythm of multi-head post top luminaires provide general lighting at the pedestrian level and also uplight the soffit overhang to support the “stacked” aesthetic. Lighting integrated into handrails supplement ambient light levels.



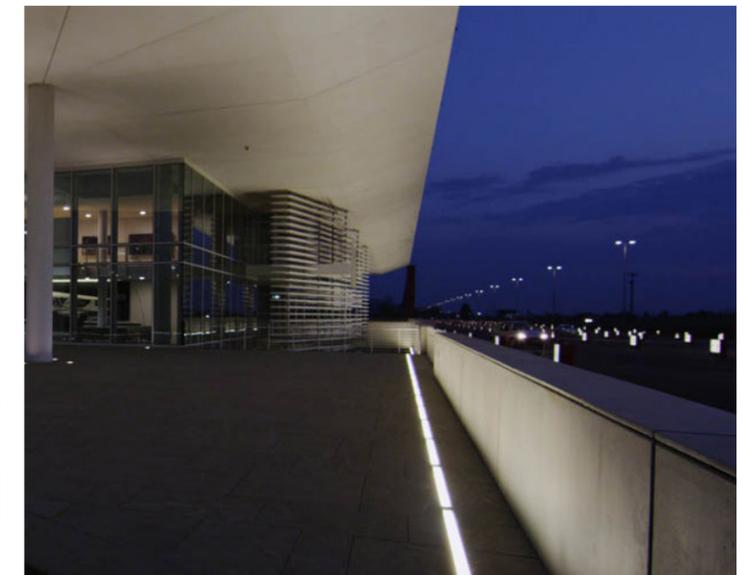
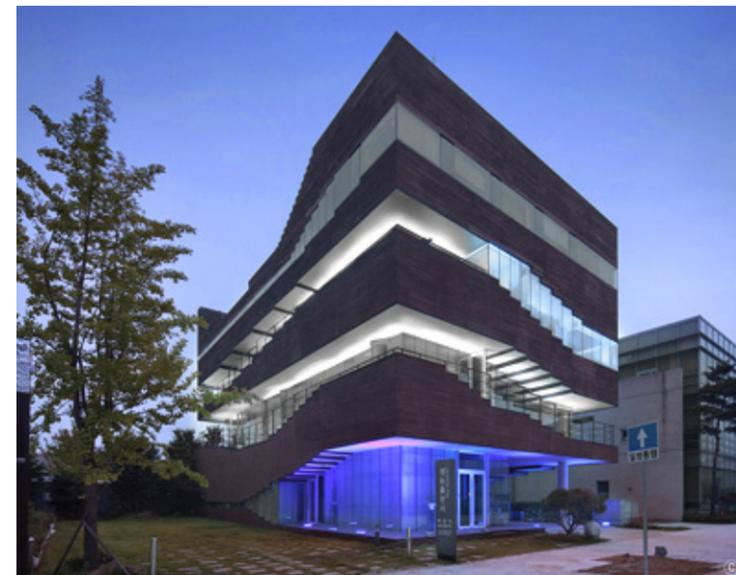
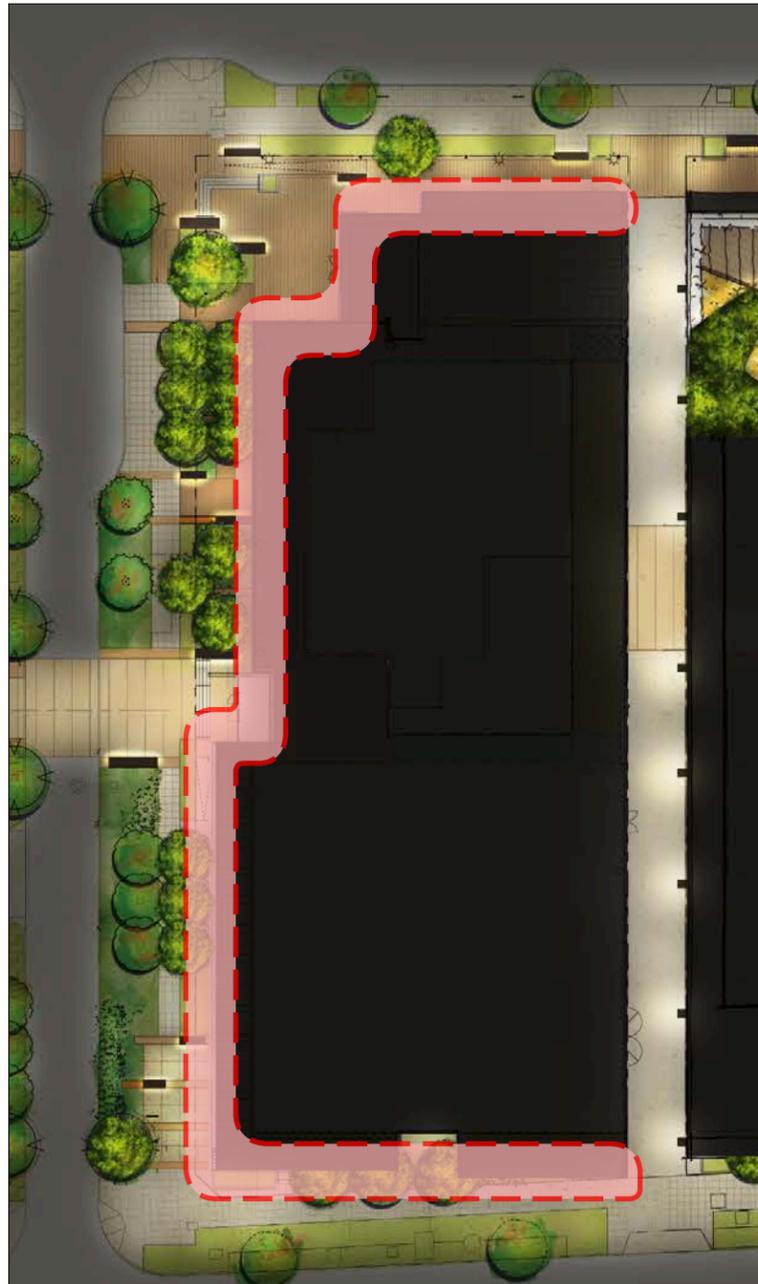
**LANDSCAPE & ROOF TERRACE**

Uplight trees and bench seating with a warm underglow give the landscape a nighttime presence and create a welcoming environment.

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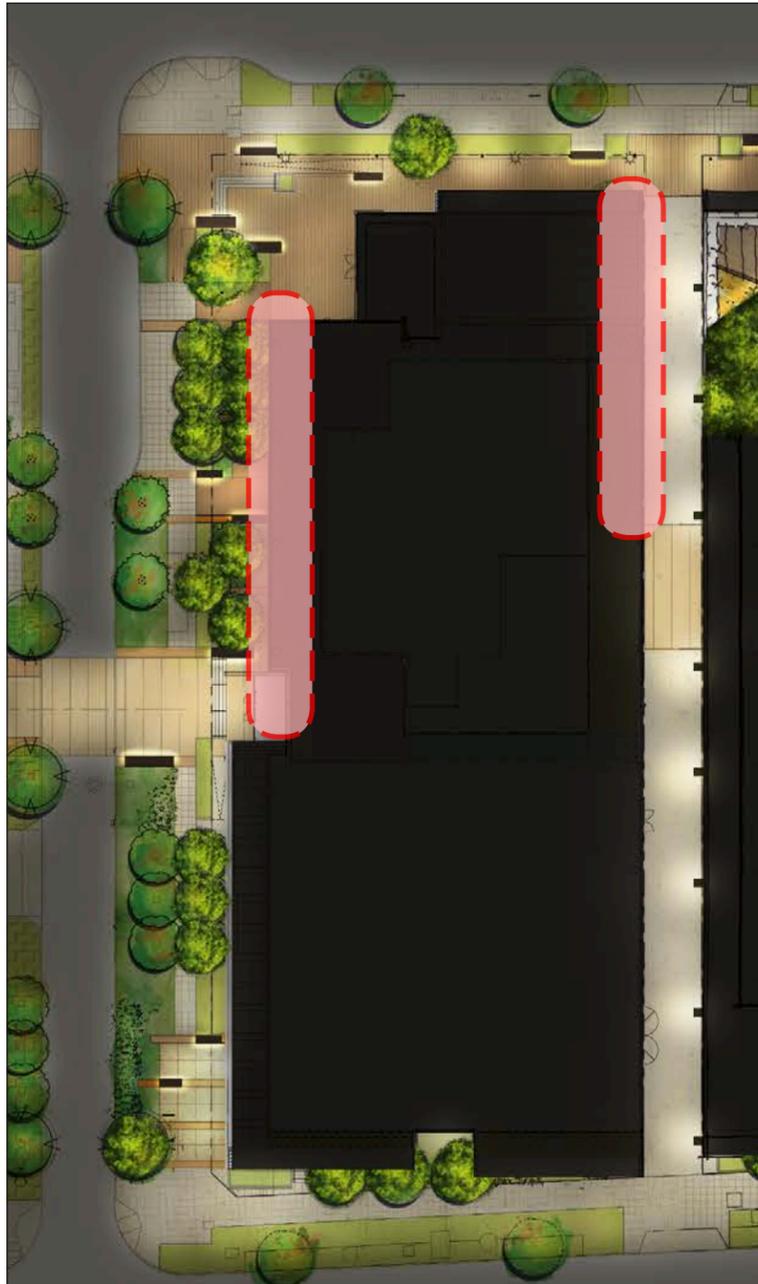
# BUILDING FACADE

Ingrade uplights and linear surface-mounted uplights illuminate the underside of the “stacked” structures.



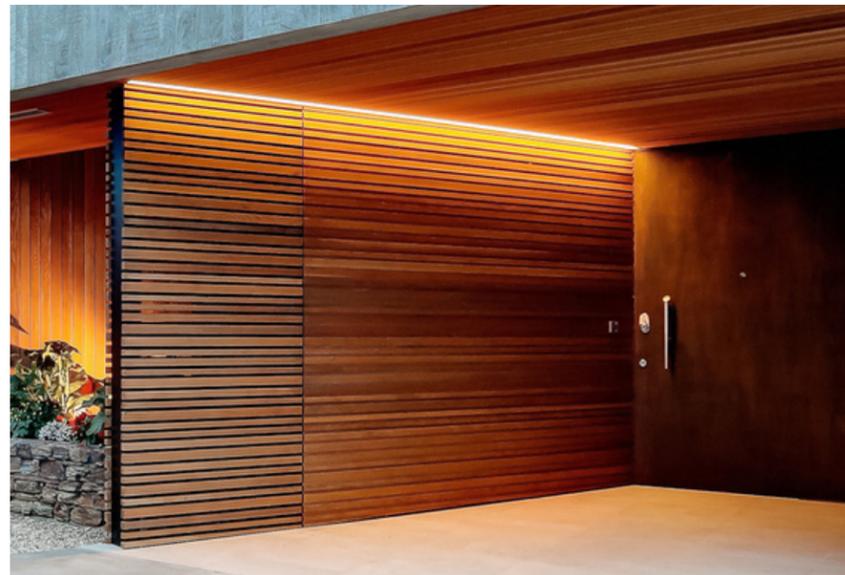
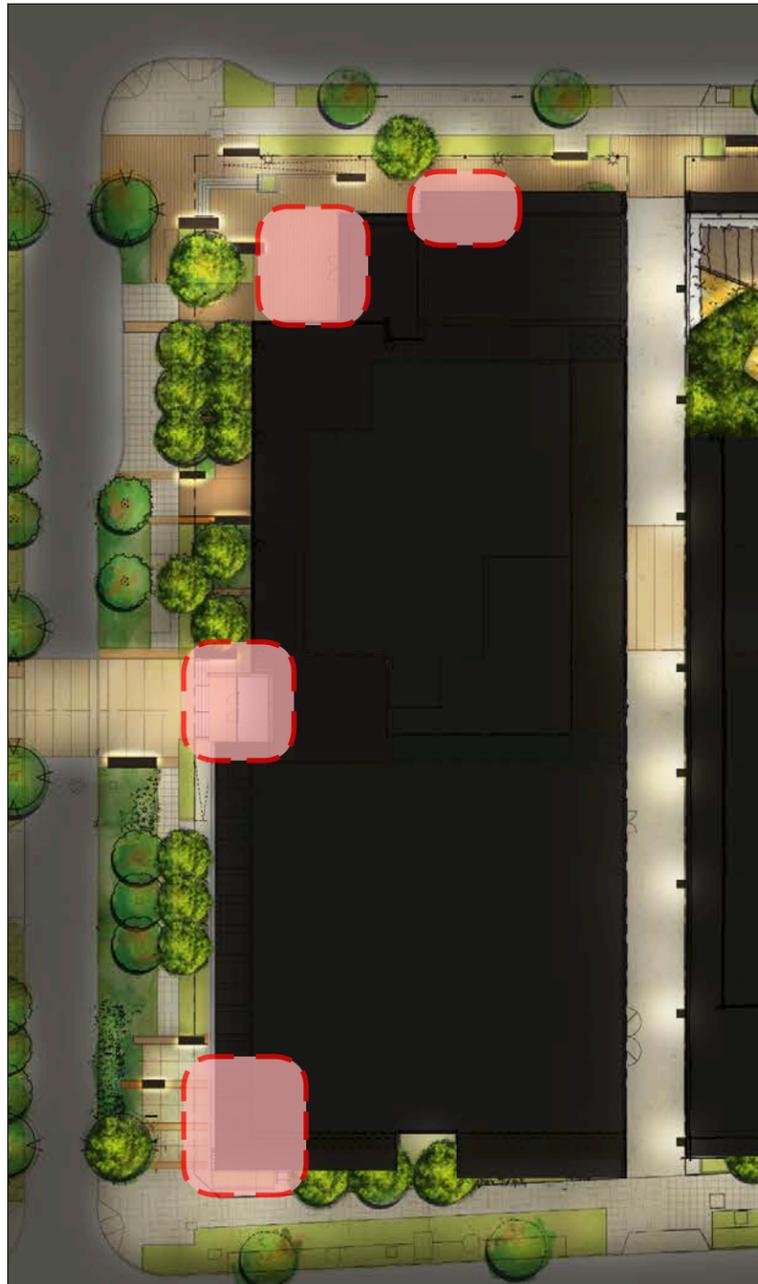
# BUILDING FACADE

Downlights at the column emphasize the posts supporting the “stacks”.



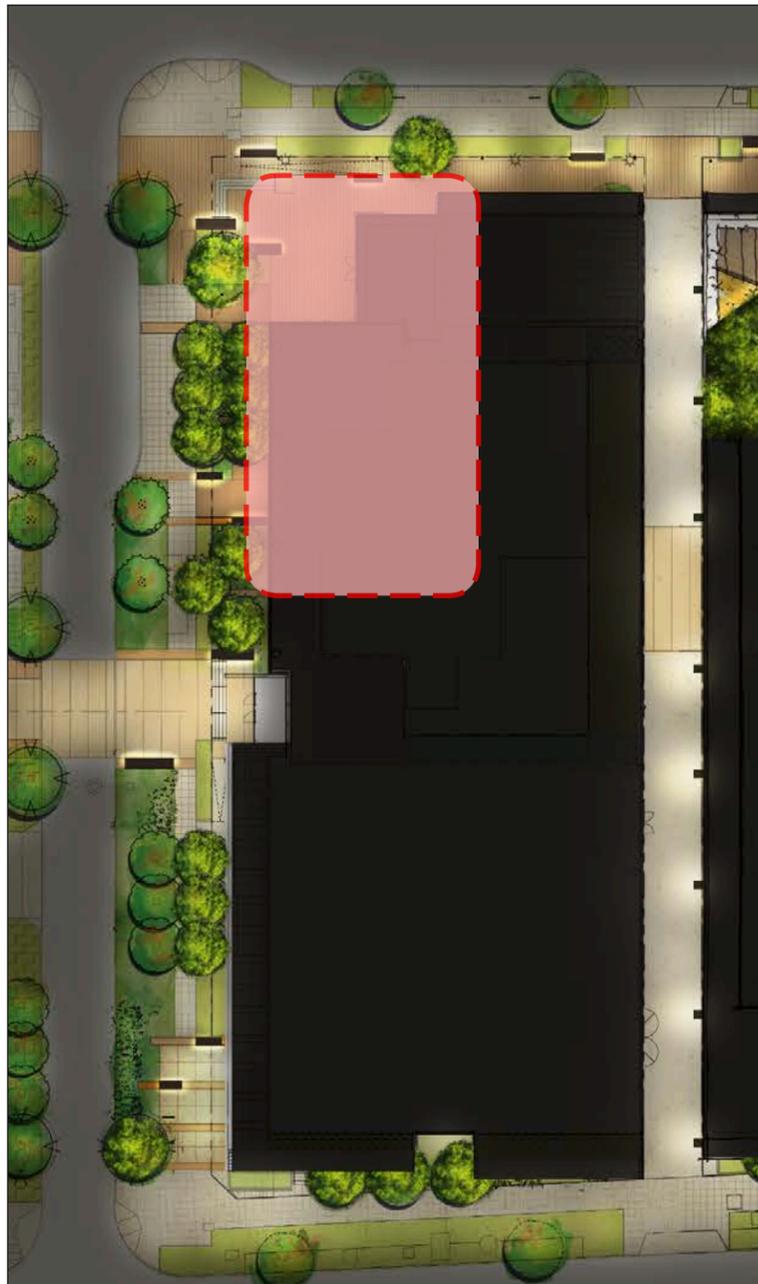
# CANOPIES AND ENTRIES

Recessed downlights provide ambient light, highlight the textured surfaces and add brightness to the entryways.



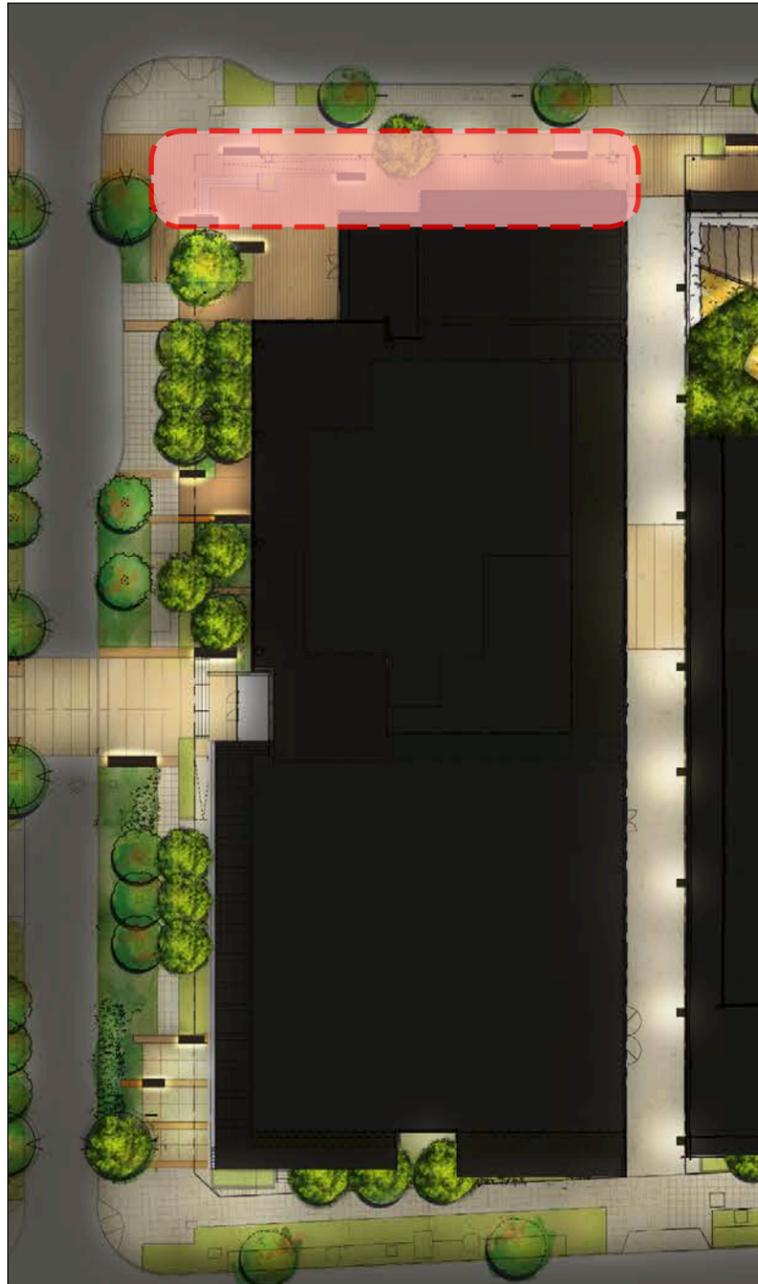
# LANDSCAPE & ROOF TERRACE

Uplit trees and bench seating with a warm underglow give the landscape a nighttime presence and create a welcoming environment. A canopy lit from below heightens the crown of the residential tower and provides a long-distance focal point.



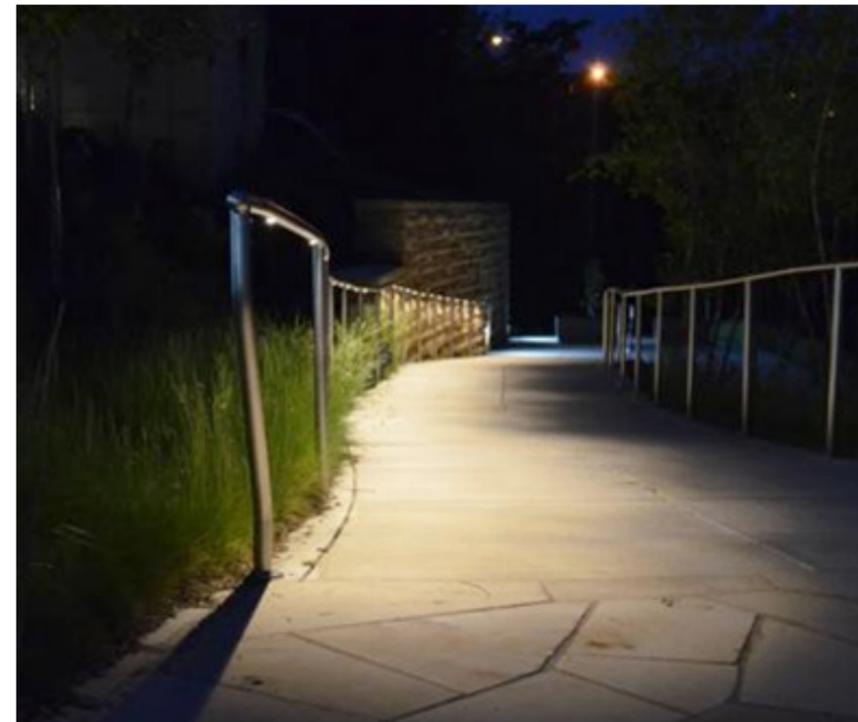
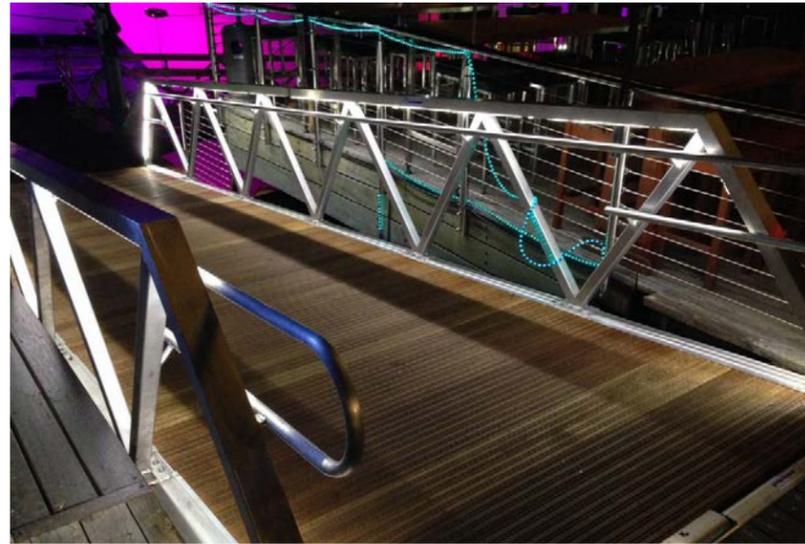
# BOARDWALK AND RIGHT OF WAY

A rhythm of multi-head post top luminaires provide general lighting for vehicles as well as at the pedestrian level.



# BOARDWALK AND RIGHT OF WAY

Lighting integrated into handrails supplement ambient light levels.

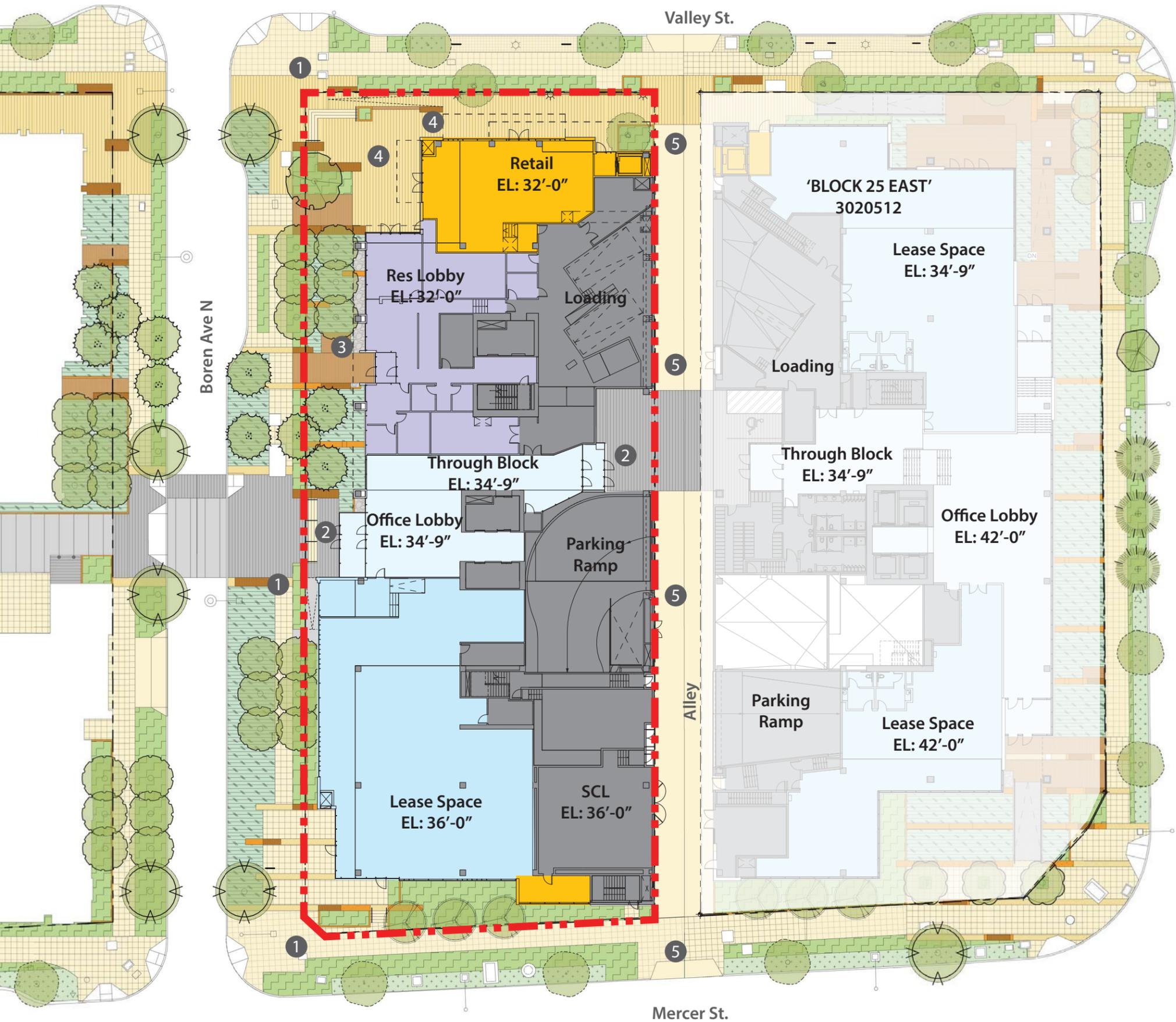




**Description:** Pin-mounted to facade or landscape monument. Three-dimensional relief letters in stainless steel, powder-coated metal or illuminated channel letters. (Note: final commercial building identity is subject to tenant's requirements and will be reviewed by owner for consistency with building design).

**Description:** Hung from canopy or wall adhered. Three-dimensional relief letters in stainless steel or powder-coated metal. (Note: final retail signage is subject to retailer's requirements and will be reviewed by owner for consistency with building design).





- 1 Building Identity Sign
- 2 Office Entry
- 3 Residential Entry
- 4 Retail Sign
- 5 Parking/ Loading Sign



Departure Request 1A:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
<b>23.48.012.B.1 Upper Level Setback Requirements</b> B. Upper Level setbacks in the SM 85/65-160 Zone 1. Portions of a structure above 45 feet in height shall set back a minimum of 15 feet from street lot lines abutting Valley Street, Westlake Avenue North, Terry Avenue North, Boren Avenue North, and Fairview Avenue North	Allow for an encroachment into the required setback area above 45' as measured vertically from the street lot line parallel to Boren Avenue N.	Levels 4-5 encroaches 10'-5" into the 45 foot setback along Boren Ave N. for 118'. The approximate area requested for departure is 2,378 SF in plan.	The building massing and facade is improved by maintaining three levels of office that together have a volume higher than 45' along Boren Avenue N. The scale of this massing is consistent with the proportions of the larger tower mass and contrasts the dominantly vertical-proportioned tower with a horizontally-proportioned counterpoint, creating a balanced massing that enhances the overall composition. This massing also shifts building mass from levels 1-2 to levels 4-5, providing greater ground level setbacks from 0-15 feet than the code requires, enhancing the opportunity for landscaping and pedestrian amenities.	CS2 A.1. Sense Of Place, creates gateway to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. DC2 A Massing, Response to site and Reduce Perceived Mass. DC2 B.1. Facade Composition.

Departure Request 1B:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
<b>23.48.012.B.1 Upper Level Setback Requirements</b> B. Upper Level setbacks in the SM 85/65-160 Zone 1. Portions of a structure above 45 feet in height shall set back a minimum of 15 feet from street lot lines abutting Valley Street, Westlake Avenue North, Terry Avenue North, Boren Avenue North, and Fairview Avenue North	Allow for an encroachment into the required setback area above 45' as measured vertically from the curb line parallel to Valley St.	Levels 3-5 encroaches 4'-10" into the 45 foot setback along Valley St. for 2'-4". The approximate area requested for departure is 12 SF in plan.	The building massing and facade is improved by maintaining four levels of office that together have a volume higher than 45'-0" and encroaches on the 15'-0" setback on Valley St. The scale of the massing is constant with the proportions of the monitors from project 3020512, creating a balanced massing that frames a view and gestures to South Lake Union. This massing also helps support the neighborhood gateway at Fairview and Valley, while creating a corridor at Boren that opens to the lake increasing pedestrian connection.	CS2 A.1. Sense Of Place, creates gate way to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. CS2 C.1. Corner Sites, Responding directly to Gateways DC2 A Massing, Response to site and Reduce Perceived Mass. DC2 B.1. Facade Composition.

Departure Request 2A:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
<b>23.18.014.A.2 Street Level Development Standards</b> B. Minimum Façade Height On Class 2 Pedestrian Streets and Neighborhood Green Streets, the minimum height for street-facing facades is 25 feet	Allow for portions of the façade along Boren avenue to be setback from the street lot line at a dimension greater than 12'-0", And to allow for projections to interrupt that façade height.	See A1/G005b -Approximately 150 lf of street level façade set back on Boren Ave.	The building massing is improved by setting back portions of the façade more than 12 feet by creating an open space that emphasizes the relation of the open space to Lake Union Park. This massing also allows for a higher quality open space at the street level.	CS2 A.1. Sense Of Place, creates gateway to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. DC2 A Massing, Response to site and Reduce Perceived Mass. DC2 B.1. Facade Composition.

Departure Request 2B:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
<b>23.18.014.A.2 Street Level Development Standards</b> B. Minimum Façade Height On Class 2 Pedestrian Streets and Neighborhood Green Streets, the minimum height for street-facing facades is 25 feet	Allow for portions of the façade along Mercer St. to be setback from the street lot line at a dimension greater than 12'-0" , And to allow for projections to interrupt that façade height.	See A1/G005b -Approximately 62 lf of street level façade set back on Mercer St.	The building massing is improved by setting back portions of the façade more than 12 feet by creating an open space that emphasizes the relation of the open space to Lake Union Park. This massing also allows for a higher quality open space at the street level.	CS2 A.1. Sense Of Place, creates gateway to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. DC2 A Massing, Response to site and Reduce Perceived Mass. DC2 B.1. Facade Composition.

Departure Request 2C:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
<b>23.18.014.A.2 Street Level Development Standards</b> B. Minimum Façade Height On Class 1 Pedestrian Streets and Neighborhood Green Streets, the minimum height for street-facing facades is 45 feet	Allow for portions of the façade along Valley St to be setback from the street lot line at a dimension greater than 12'-0" , And to allow for projections to interrupt that façade height.	See A1/G005b -Approximately 100 lf of street level façade set back on Valley St.	The building massing is improved by setting back portions of the façade more than 12 feet by creating an open space that emphasizes the relation of the open space to Lake Union Park. This massing also allows for a higher quality open space at the street level.	CS2 A.1. Sense Of Place, creates gateway to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. DC2 A Massing, Response to site and Reduce Perceived Mass. DC2 B.1. Facade Composition.

Departure Request 3:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
<b>23.48.010.H.7 Roof top coverage</b> The combined total rooftop coverage may be increased to 65% of the roof area provided that: a. All mechanical equipment is screened and b. No rooftop features are located closer than 10 feet of the roof edge.	Allow for an encroachment into the required 10' rooftop setback area.	See A2/G005b Amenity level canopy align with the North and West façade of the tower.	Allowing for the requested encroachment results in an overall tower composition that enhances the skyline, is better proportioned, and has no detrimental shading impacts on adjacent projects.	CS2 A.2. Architectural Presence DC2 A.2 Massing, Reduce Perceived Mass DC2 B.1. Facade Composition

Departure Request 4:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
<b>23.48.014.F.1 Street Level Development Standards</b> F. Required open area in the SM 85/65-160 zone 1. A minimum of 60 percent of the required open area shall be provided as usable open space that meets the following conditions: a.) The usable open space is open from the ground to the sky and is visible and accessible to pedestrians from an abutting street, including persons with disabilities; b.) The open space is substantially at street-level, although portions are permitted to be within 4 feet of street level, provided that grade changes are gradual and do not significantly disrupt the continuity of the space, and no part of the open space is significantly above or below the grade of the nearest abutting street; c.) The open space has a minimum horizontal dimension of 15 feet; and d.) The open space enhances visual and physical pedestrian connections between South Lake Union Park and development on the lot, and is accessible to the public, free of charge, during the hours of operation of South Lake union Park.	To allow for a 9% reduction of the required open area.	See A1/G-005C To provide 7,442 SF of the required 6,850 SF open space.  To provide 5,201 SF of the required 4,110 SF that meets items a,b and d.  To provide 3,482 SF of the required 4,110 SF that meets items a,b,c, and d. Leaving a deficit of 628 sf.	Enhancing the pedestrian connection from Mercer to Valley street is achieved more successfully by concentrating the open space at the north end of the block in a plaza adjacent to the intersection of Boren Avenue N. and Valley Street, and the adjacent active retail use. The remaining open space is more linear in proportion and functions as an enhancement of the right-of-way, emphasizing pedestrian routes to the larger northern open space and connection to the lake and SLU park beyond. Increasing all of the open space to a minimum horizontal dimension of 15' would result in a smaller open space on the north end of the site and an elimination of some open space adjacent to Boren Avenue N., decreasing its effectiveness as a landscaped boulevard.	DC3 C.1 Reinforce Existing Open Space CS2 A.1. Sense Of Place, creates gateway to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. CS2 C.1. Corner Sites, Responding directly to Gateways DC2 A Massing, Response to site and Reduce Perceived Mass.

Departure Request 5:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
<b>23.54.030.D.3 Parking Space Standards</b> Driveway slope for all uses. No portion of a driveway, whether located on a lot or on a right-of- way, shall exceed a slope of 15 percent.. The Director may permit a driveway slope of more than 15 percent if it is found that: - The topography or other special characteristic of the lot makes a 15 percent maximum driveway slope infeasible; -The additional amount of slope permitted is the least amount necessary to accommodate the conditions of the lot; and -The driveway is still useable as access to the lot.	Allow for driveway slope of 17%	See A1/G-005A	Working against the slope of the alley, the inner most slope of a curved radius is at 17%. There is an entry width of 33'-0", 9'-0" larger than SMC standards, to allow for greater maneuverability.  An alternative, code-compliant ramp would require a slope length longer than what is proposed, which would move the garage entry portal one bay to the north. This would cut off alley access for pedestrians from the office lobby and eliminate connection across the block to Block 25 East	CS2 C.3. Urban Pattern and Form; Full Block Sites; Relationship to the Block PL2 A.2. Street Level Interaction; Access Challenges PL3 A.1.a. Street Level Interaction; Office/Commercial Lobbies DC1 B.1. Project Uses and Activities; Vehicular Access and Circulation; Location and Design

**Departure 1 (SMC 23.48.012.B.1):**

Upper Level Setbacks in the SM 85/65-160 Zone

Required:

1. Portions of a structure above 45 feet in height shall set back a minimum of 15 feet from street lot lines abutting Valley Street, Westlake Avenue North, Terry Avenue North, Boren Avenue North, and Fairview Avenue North

**Departure 1A:**

Request:

Allow for an encroachment into the required setback area above 45' as measured vertically from the street lot line parallel to Boren Avenue N.

Proposed:

Levels 4-5 encroaches 10'-5" into the 45 foot setback along Boren Ave N. for 118'. The approximate area requested for departure is 2,378 SF in plan.

**Rational:**

The building massing and facade is improved by maintaining three levels of office that together have a volume higher than 45' along Boren Avenue N. The scale of this massing is consistent with the proportions of the larger tower mass and contrasts the dominantly vertical-proportioned tower with a horizontally-proportioned counterpoint, creating a balanced massing that enhances the overall composition. This massing also shifts building mass from levels 1-2 to levels 4-5, providing greater ground level setbacks from 0-15 feet than the code requires, enhancing the opportunity for landscaping and pedestrian amenities.

**Applicable Design Guidelines:**

- CS2 A.1: Sense Of Place, creates gateway to community.
- CS2 A.2: Architectural Presence, the first three floors contribute to the street edge.
- DC2 A: Massing, Response to site and Reduce Perceived Mass.
- DC2 B.1: Facade Composition.

**Departure 1B:**

Request:

Allow for an encroachment into the required setback area above 45' as measured vertically from the curb line parallel to Boren Avenue N.

Proposed:

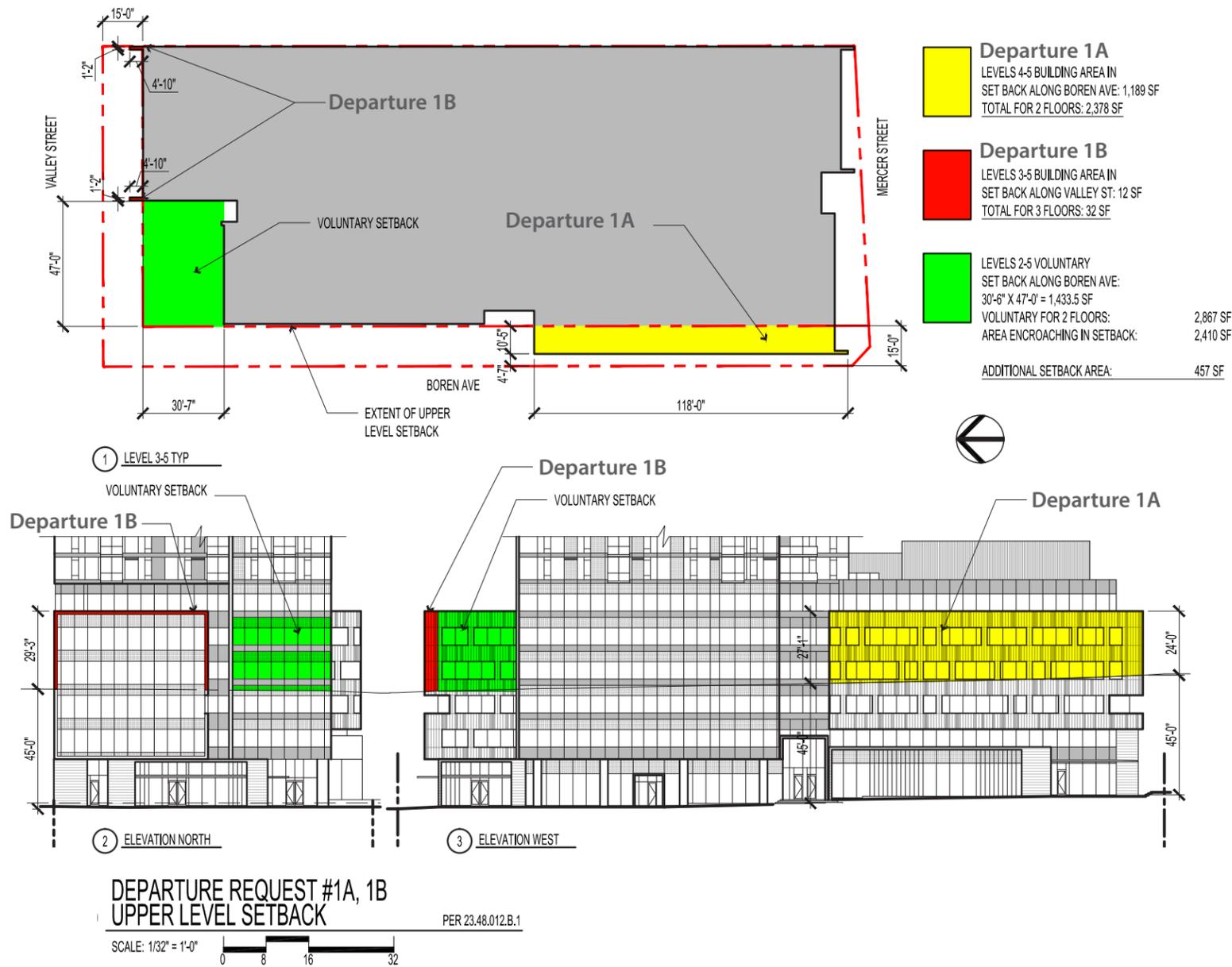
Levels 3-5 encroaches 4'-10" into the 45 foot setback along Valley St. for 2'-4". The approximate area requested for departure is 12 SF in plan.

**Rational:**

The building massing and facade is improved by maintaining four levels of office that together have a volume higher than 45'-0" and encroaches on the 15'-0" setback on Valley St. The scale of the massing is consistent with the proportions of the monitors from project 3020512, creating a balanced massing that frames a view and gestures to South Lake Union. This massing also helps support the neighborhood gateway at Fairview and Valley, while creating a corridor at Boren that opens to the lake increasing pedestrian connection.

**Applicable Design Guidelines:**

- CS2 A.1: Sense Of Place, creates gateway to community.
- CS2 A.2: Architectural Presence, the first three floors contribute to the street edge.
- DC2 A: Massing, Response to site and Reduce Perceived Mass.
- DC2 B.1: Facade Composition.





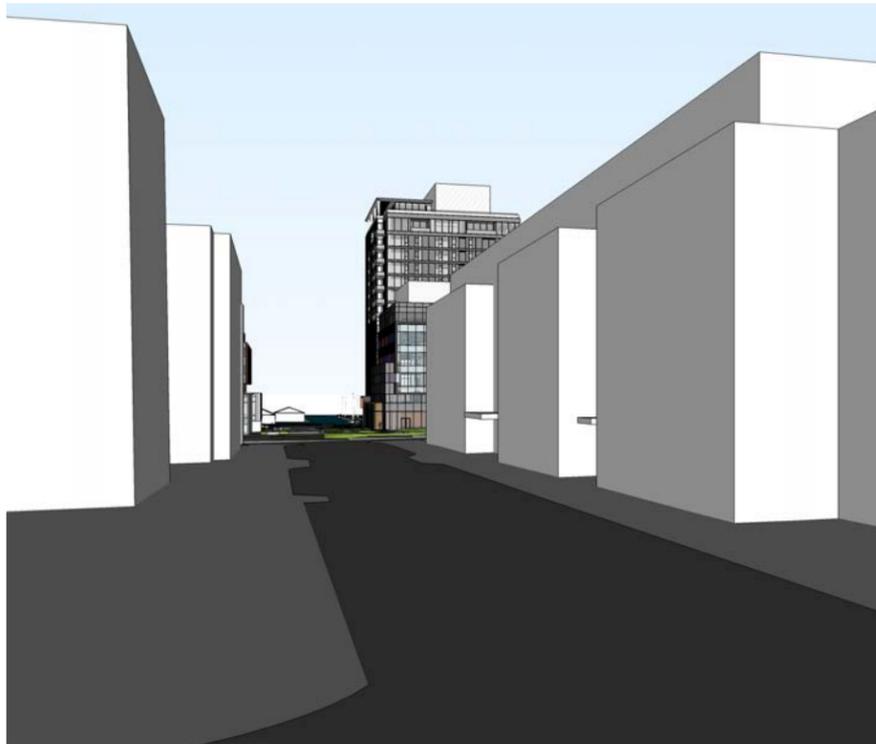
Proposed: Boren and Republican



Proposed: Boren Mid-Block



Proposed: Boren and Mercer



Compliant Scheme: Boren and Republican



Compliant Scheme: Boren Mid-Block



Compliant Scheme: Boren and Mercer

**Departure 2 (SMC 23.48.014.A.2.b):**

Minimum Facade Height in the SM 85/65-160 Zone Required:  
 2. A minimum facade height is required for the street-facing facades of new structures, unless all portions of the structure are lower than required minimum facade height listed below.  
 b. On Class 2 Pedestrian Streets and Neighborhood Green Streets, as shown on Maps A and B for 23.48.014, the minimum height for street facing facades is 25 feet.

**Departure 2A:**

**Request:**  
 Allow for portions of the façade along Boren Avenue to be setback from the street lot line at a dimension greater than 12'-0", And to allow for projections to interrupt that façade height.

**Proposed:**  
 Approximately 150 lf of street level facade set back on Boren Ave.

**Departure 2B:**

**Request:**  
 Allow for portions of the façade along Mercer St. to be setback from the street lot line at a dimension greater than 12'-0", And to allow for projections to interrupt that façade height.

**Proposed:**  
 Approximately 62 lf of street level façade set back on Mercer St.

**Departure 2C:**

**Request:**  
 Allow for portions of the façade along Valley St. to be setback from the street lot line at a dimension greater than 12'-0", And to allow for projections to interrupt that façade height.

**Proposed:**  
 Approximately 100 lf of street level façade set back on Valley St.

**Rationale:**

The building massing is improved by setting back portions of the façade more than 12 feet by creating an open space that emphasizes the relation of the open space to Lake Union Park. This massing also allows for a higher quality open space at the street level.

**Applicable Design Guidelines:**

- CS2 A.1. Sense Of Place, creates gateway to community.
- CS2 A.2. Architectural Presence, the first three floors contribute to the street edge.
- DC2 A Massing, Response to site and Reduce Perceived Mass.
- DC2 B.1. Facade Composition.



DEPARTURE REQUEST #2A,2B AND 2C  
 MINIMUM FACADE HEIGHT PER 23.48.014.A.2.b

SCALE: 1" = 20'  
 0 10 20 40

Departure 3 (SMC 23.48.010.H):

Structure Height

Required:  
The combined total rooftop coverage may be increased to 65% of the roof area provided that:  
a. All mechanical equipment is screened and  
b. No rooftop features are located closer than 10 feet of the roof edge.

Request:  
Allow for an encroachment into the required 10' rooftop setback area.

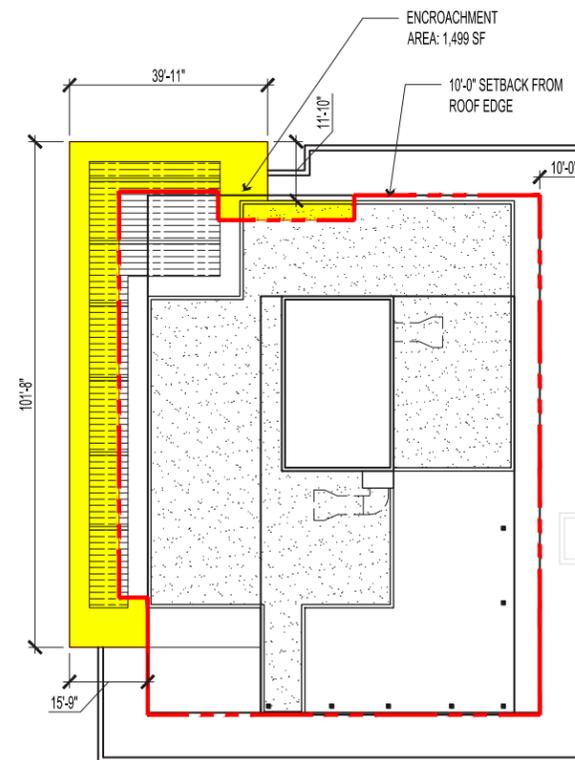
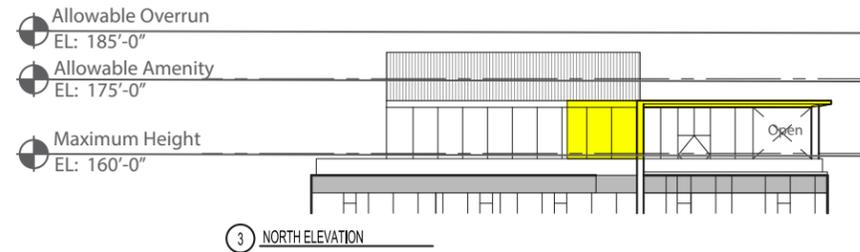
Proposed:  
Amenity level canopy align with the North and West facade of the tower.

**Rational:**  
Allowing for the requested encroachment results in an overall tower composition that enhances the skyline, is better proportioned, and has no detrimental shading impacts on adjacent projects.

**Applicable Design Guidelines:**  
CS2 A.2: Architectural Presence  
DC2 A.2: Massing, Reduce Perceived Mass  
DC2 B.1: Facade Composition



Perspective View



\*See Street Perspectives on page 57



Departure 4 (SMC 23.48.014.F.1):

Street Level Development Standards

Required:

- F. Required open area in the SM 85/65-160 zone
1. A minimum of 60 percent of the required open area shall be provided as usable open space that meets the following conditions:
    - a.) The usable open space is open from the ground to the sky and is visible and accessible to pedestrians from an abutting street, including persons with disabilities;
    - b.) The open space is substantially at street-level, although portions are permitted to be within 4 feet of street level, provided that grade changes are gradual and do not significantly disrupt the continuity of the space, and no part of the open space is significantly above or below the grade of the nearest abutting street;
    - c.) The open space has a minimum horizontal dimension of 15 feet; and
    - d.) The open space enhances visual and physical pedestrian connections between SLU Park and development on the lot, and is accessible to the public, free of charge, during the hours of operation of SLU Park.

Request:

- To allow for a 9% reduction of the required open area.

Proposed:

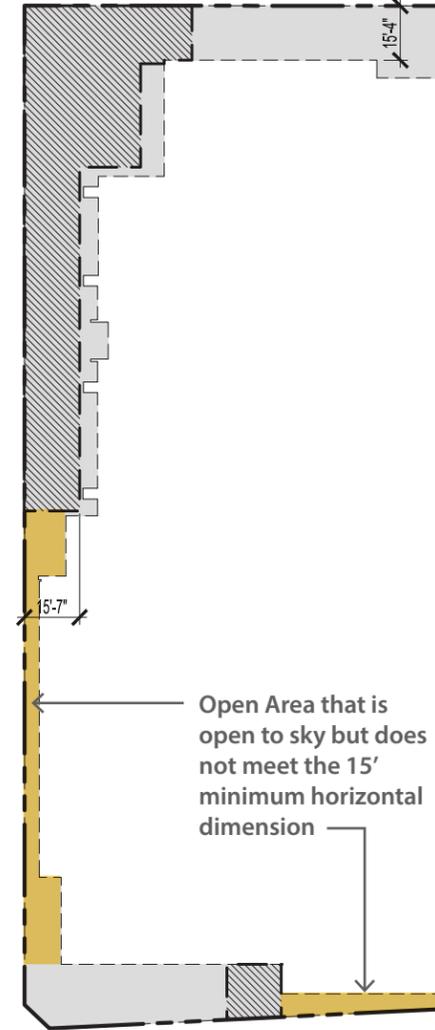
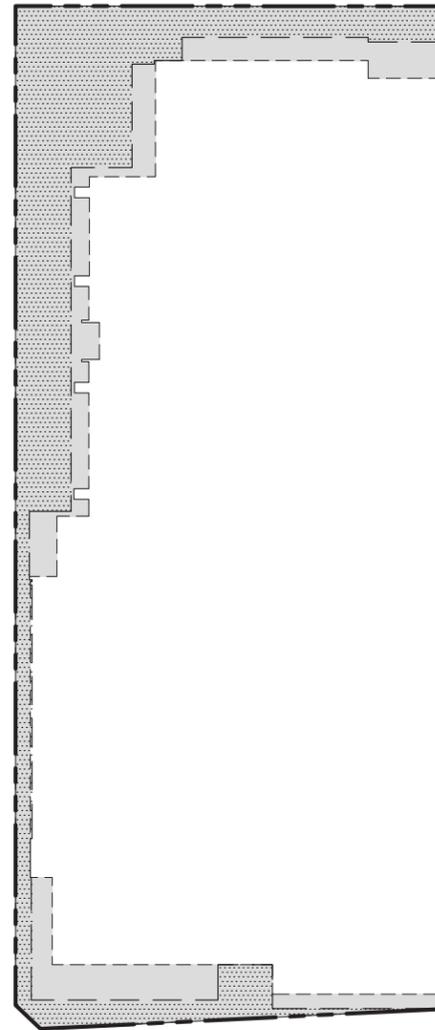
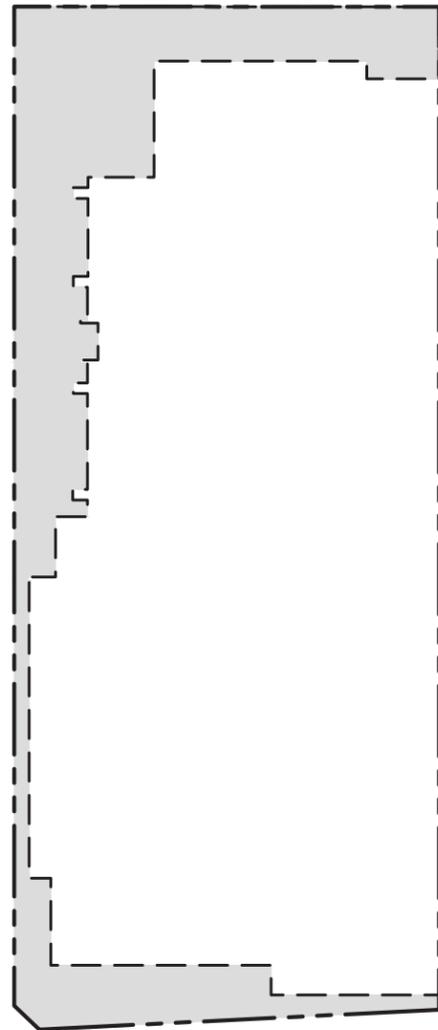
- To provide 3,482 SF of the required 4,110 SF that meets items a,b,c, and d.
- Leaving a deficit of 628 sf.

**Rationale:**

Enhancing the pedestrian connection from Mercer to Valley St. is achieved more successfully by concentrating the open space at the north end of the block in a plaza adjacent to the intersection of Boren Ave. N. and Valley St., and the adjacent active retail use. The remaining open space is more linear in proportion and functions as an enhancement of the right-of-way, emphasizing pedestrian routes to the larger northern open space and connection to the lake and SLU Park beyond. Increasing all of the open space to a minimum horizontal dimension of 15' would result in a smaller open space on the north end of the site and an elimination of some open space adjacent to Boren Ave. N., decreasing its effectiveness as a landscaped boulevard.

**Applicable Design Guidelines:**

- CS2 A.1. Sense Of Place, creates gateway to community.
- CS2 A.2. Architectural Presence, the first three floors contribute to the street edge.



OPEN AREA	REQUIRED	PROVIDED
20% OF SITE AREA (34,252 SF)	6,850 SF	7,442 SF (SURPLUS OF 592 SF)
60% OF OPEN AREA: REQUIRED TO MEET SMC 23.48.014.F.1 AS USABLE OPEN SPACE	4,110 SF	SEE TABLE 2, 3

PROPOSED OPEN SPACE MEETING STANDARDS A, B, & D	60% OF REQUIRED OPEN AREA	PROVIDED
AREA MEETING REQUIREMENTS: SMC 23.48.014.F.1 A, B, D	4,110 SF	5,201 SF (SURPLUS OF 2,503 SF)

PROPOSED OPEN SPACE MEETING STANDARDS A, B, C, & D	REQUIRED 60% OF OPEN AREA	PROVIDED
AREA NOT MEETING REQUIREMENTS: SMC 23.48.014.F.1 A, B, C, D	4,110 SF	3,482 SF (DEFICIT OF 628 SF)

DEPARTURE #4

AREA OF DEPARTURE REQUEST

A1 DEPARTURE REQUEST #4  
 REQUIRED OPEN AREA F.1 PER 23.48.014.F.1  
 SCALE: 1/32" = 1'-0"

Departure 5 (SMC 23.54.030.D.3):

Parking Space Standards

Required:  
Driveway slope for all uses. No portion of a driveway, whether located on a lot or on a right-of-way, shall exceed a slope of 15 percent. The Director may permit a driveway slope of more than 15 percent if it is found that:

- The topography or other special characteristic of the lot makes a 15 percent maximum driveway slope infeasible;
- The additional amount of slope permitted is the least amount necessary to accommodate the conditions of the lot; and
- The driveway is still useable as access to the lot.

Request:  
Allow for driveway slope of 17%

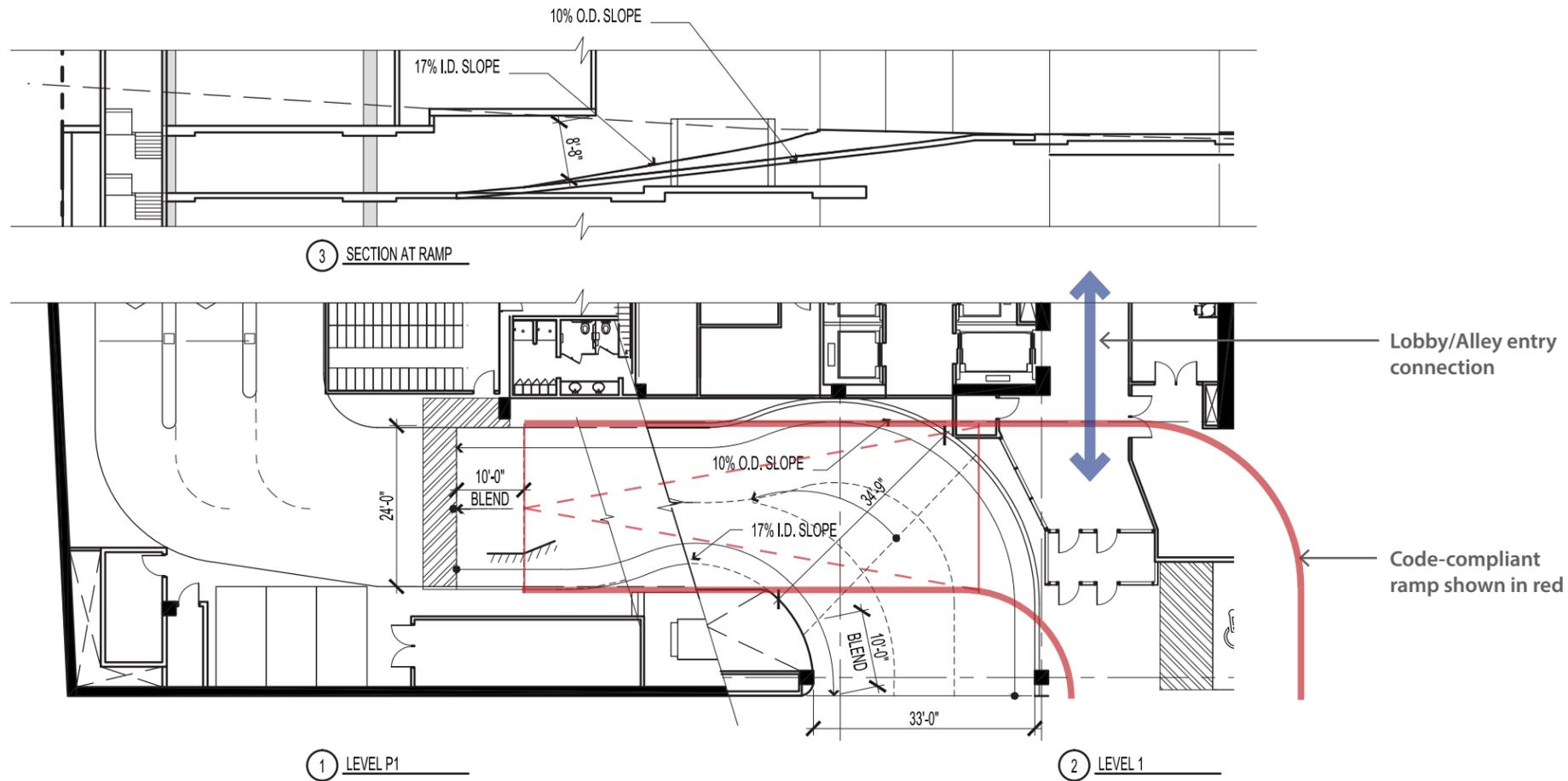
Proposed:  
See accompanying plan drawing

**Rational:**  
Working against the slope of the alley, the inner most slope of a curved radius is at 17%. There is an entry width of 33'-0", 9'-0" larger than SMC standards, to allow for greater maneuverability

An alternative, code-compliant ramp would require a slope length longer than what is proposed, which would move the garage entry portal one bay to the north. This would cut off alley access for pedestrians from the office lobby and eliminate connection across the block to Block 25 East

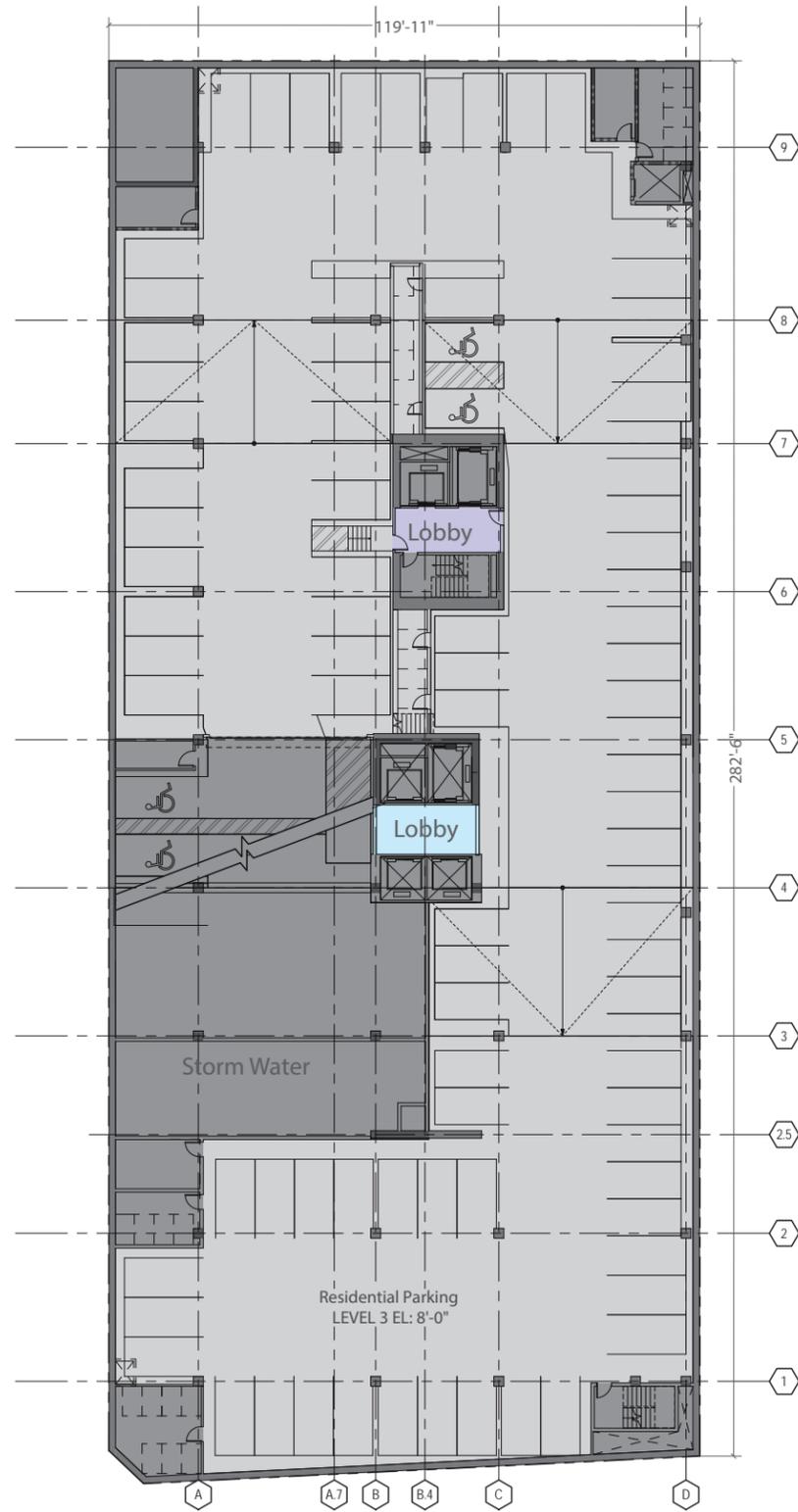
**Applicable Design Guidelines:**

- CS2 C.3.** Urban Pattern and Form; Full Block Sites; Relationship to the Block
- PL2 A.2.** Street Level Interaction; Access Challenges
- PL3 A.1.a.** Street Level Interaction; Office/Commercial Lobbies
- DC1 B.1.** Project Uses and Activities; Vehicular Access and Circulation; Location and Design

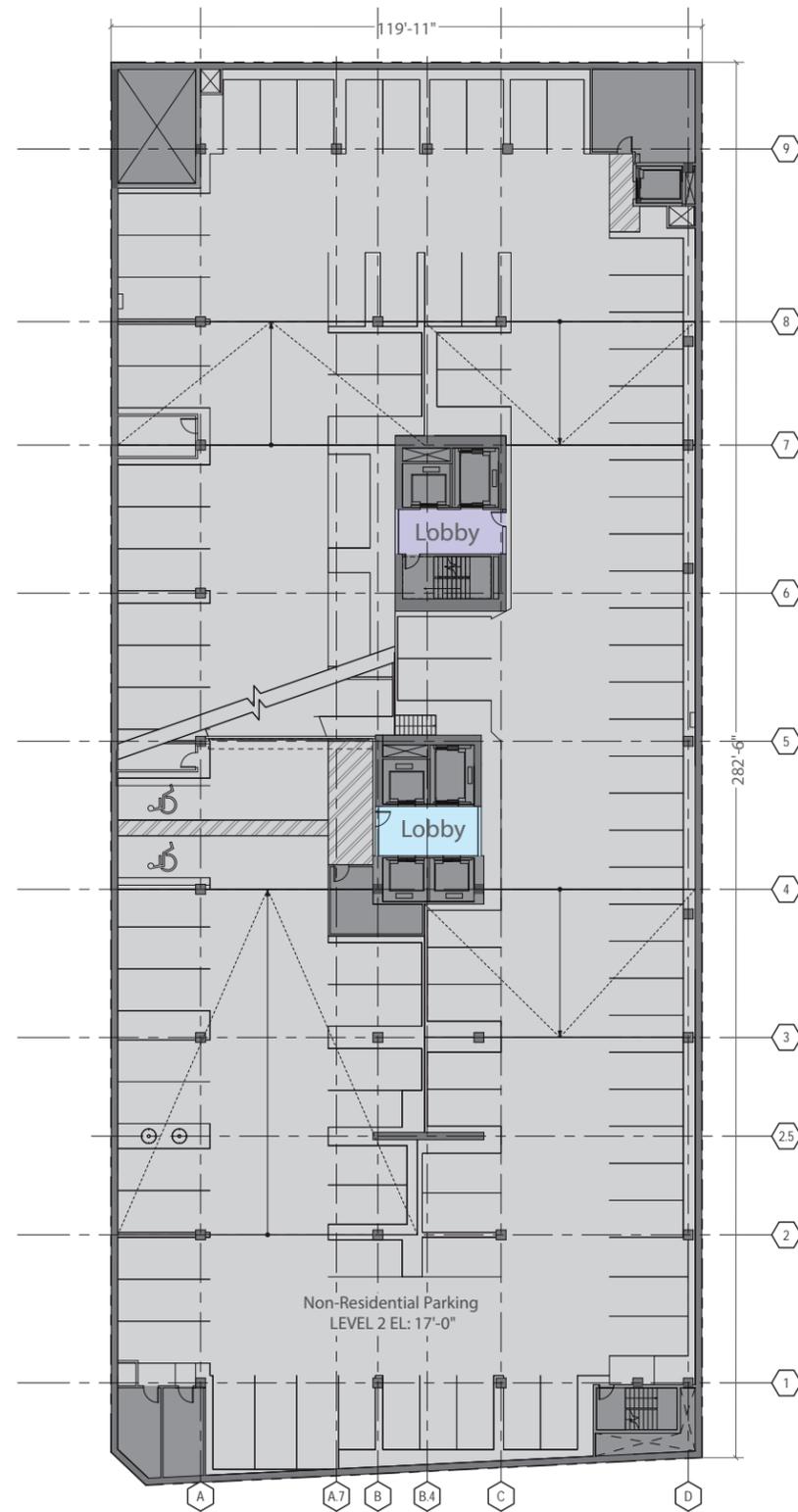


DEPARTURE REQUEST #5  
MAXIMUM RAMP SLOPE  
PER 23.54.030.D.3  
SCALE: 1/32" = 1'-0"  
0 8 16 32

Level P3 - Floor Plan

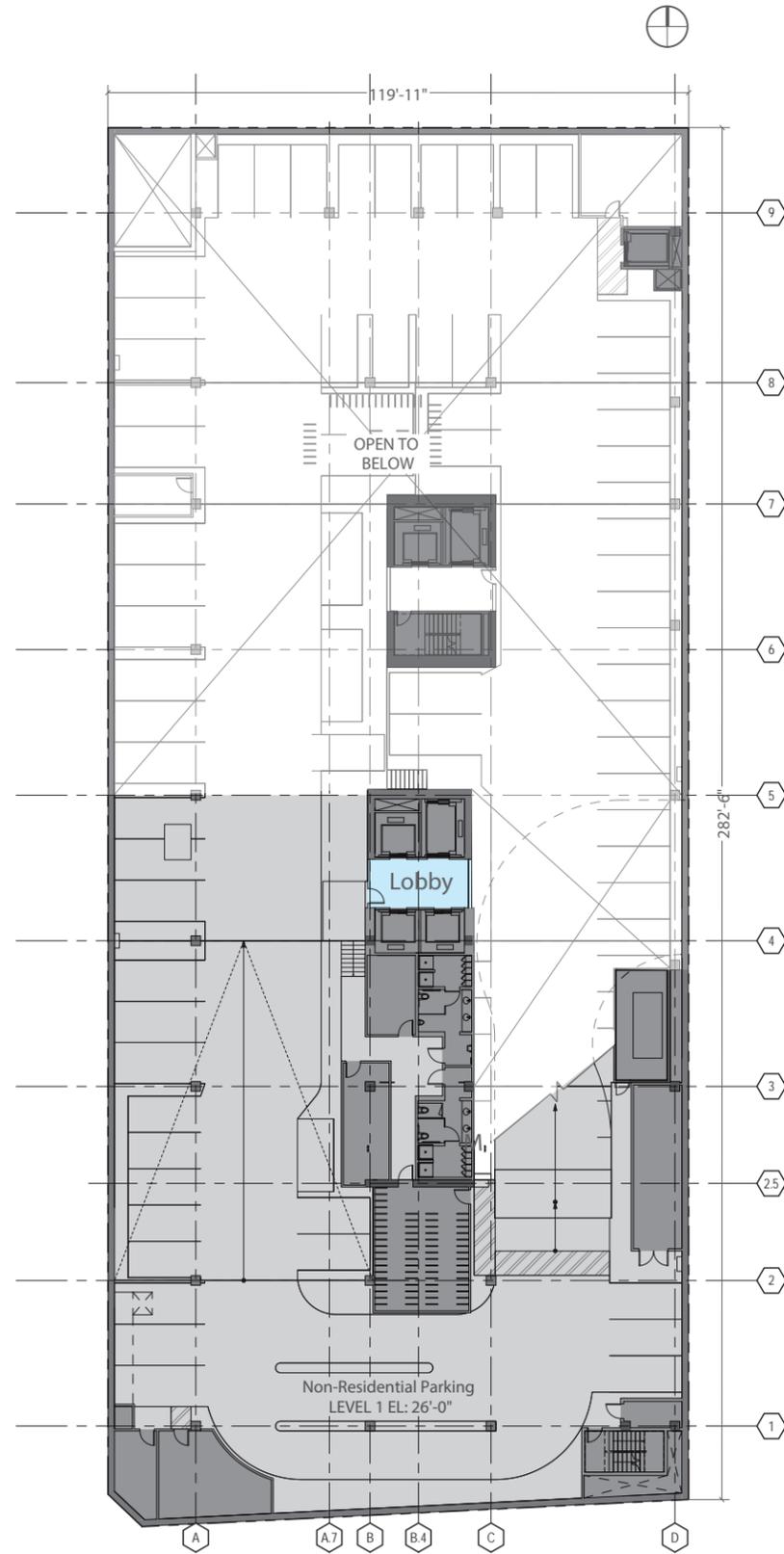


Level P2 - Floor Plan

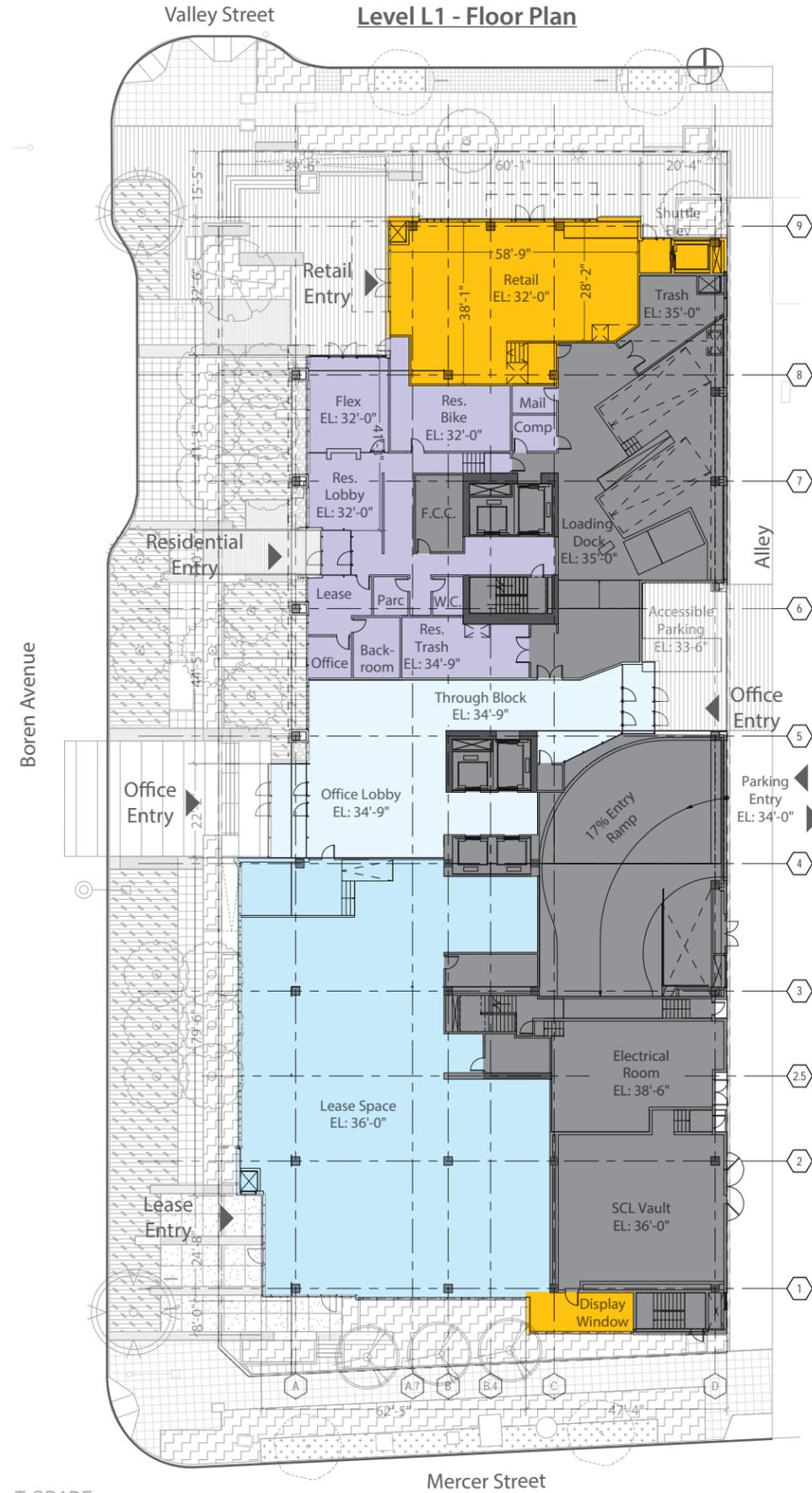


- Retail
- Residential
- Office Lobby
- Office
- Parking
- MEP/BOH

Level P1 - Floor Plan



Level L1 - Floor Plan

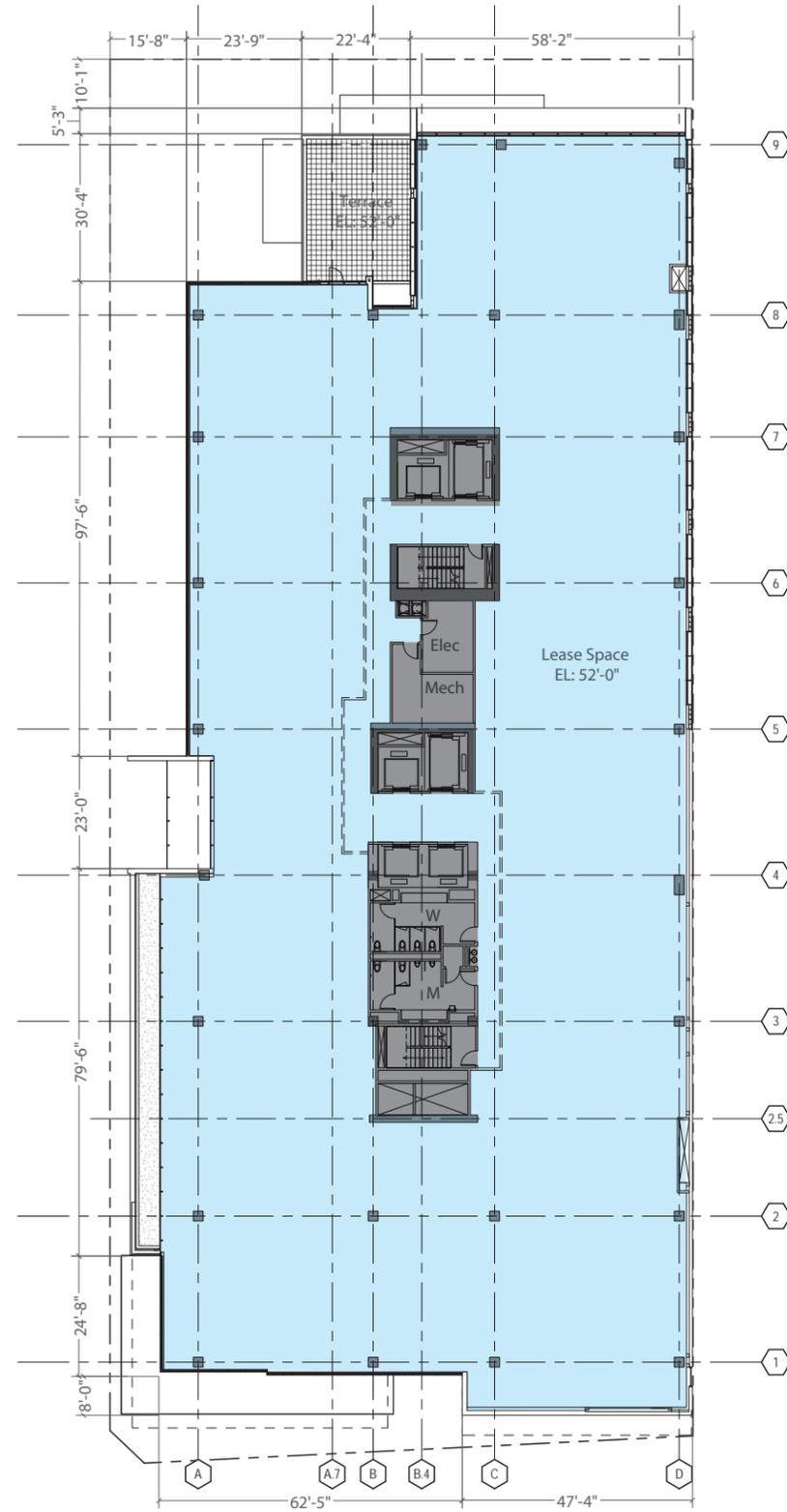


See page 17 for composite architectural and illustrative site plan

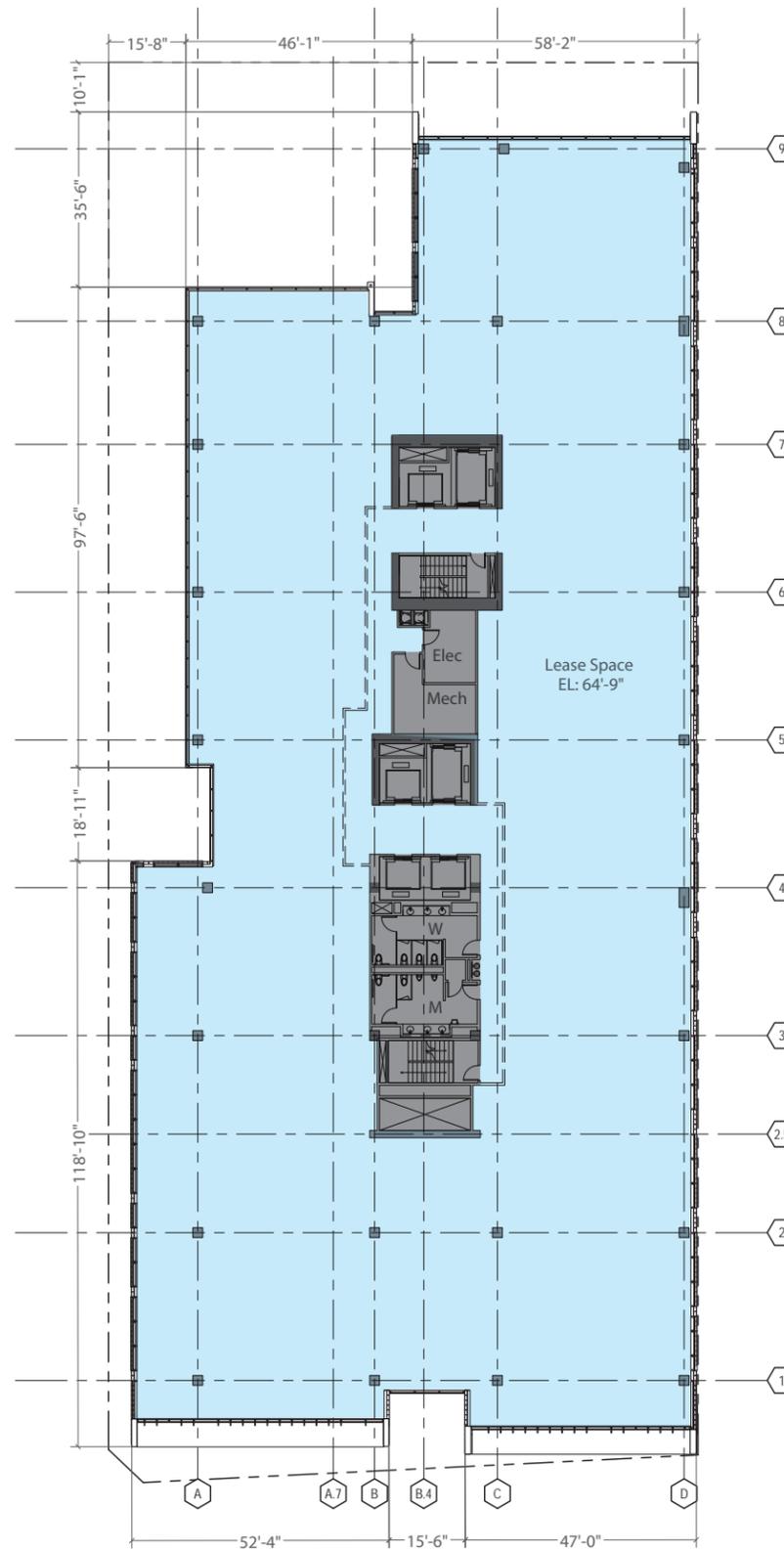
- Retail
- Residential
- Office Lobby
- Office
- Parking
- MEP/BOH

T-GRADE

Level L2 - Floor Plan

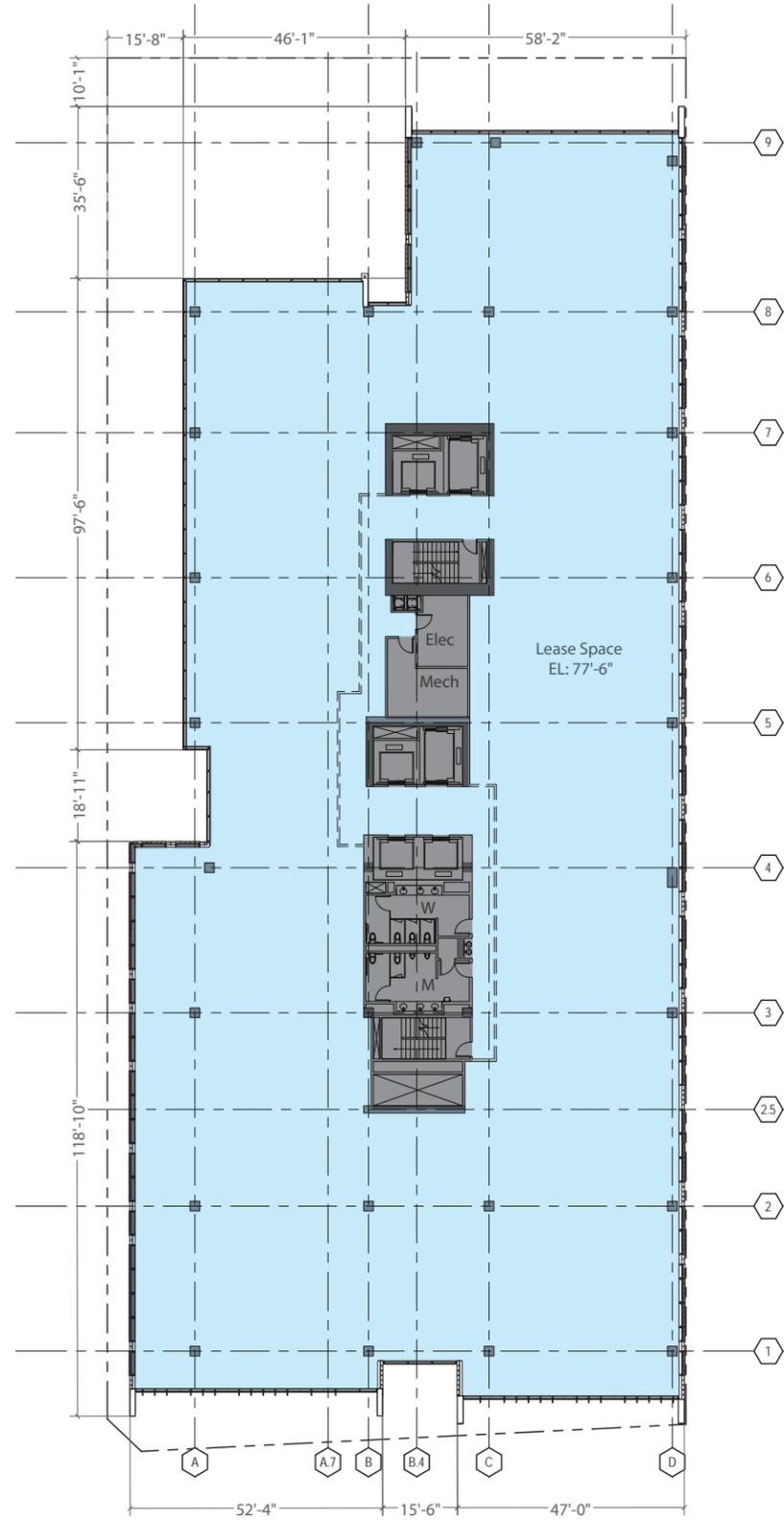


Level L3 - Floor Plan

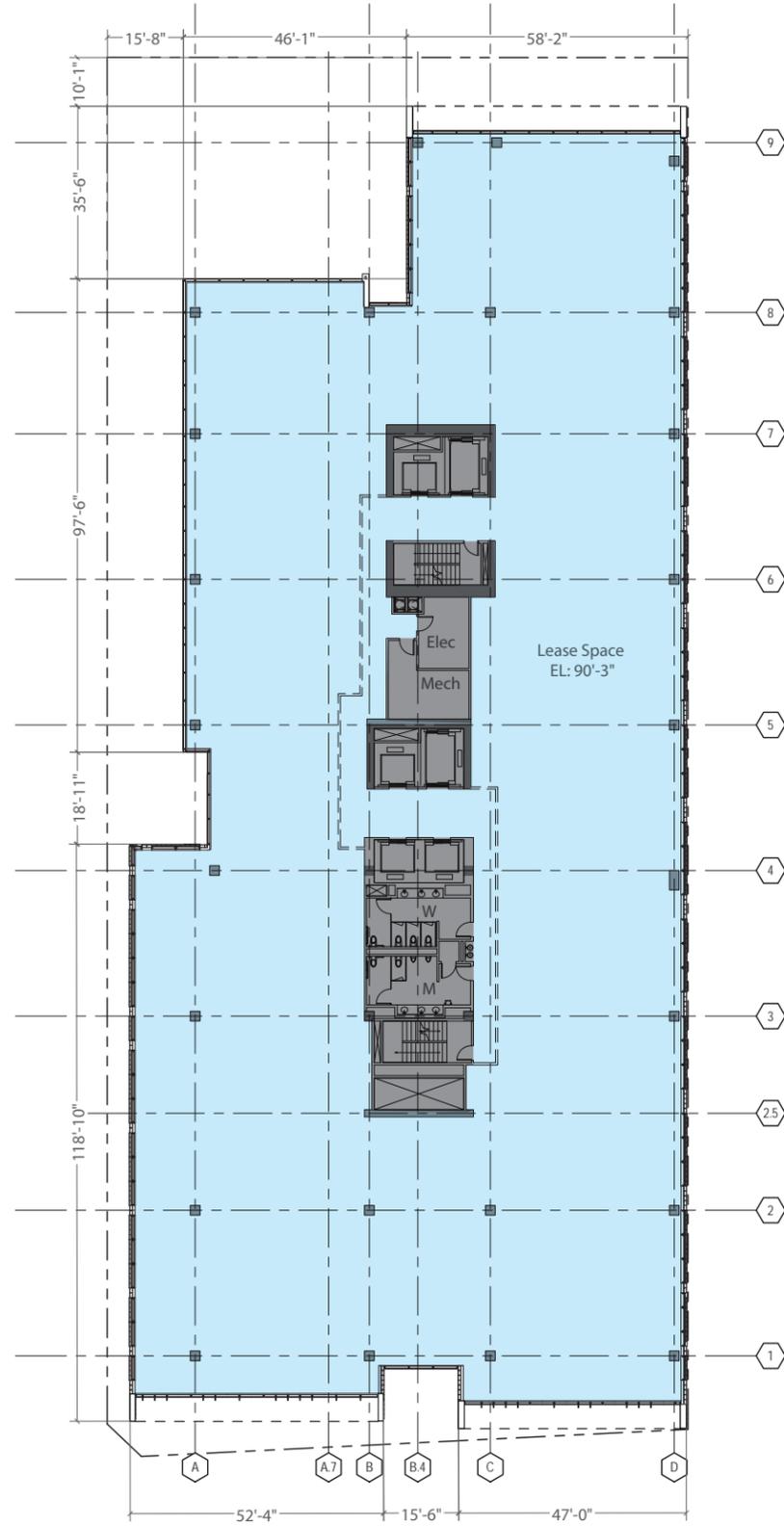


- Retail
- Residential
- Office Lobby
- Office
- Parking
- MEP/BOH

Level L4 - Floor Plan



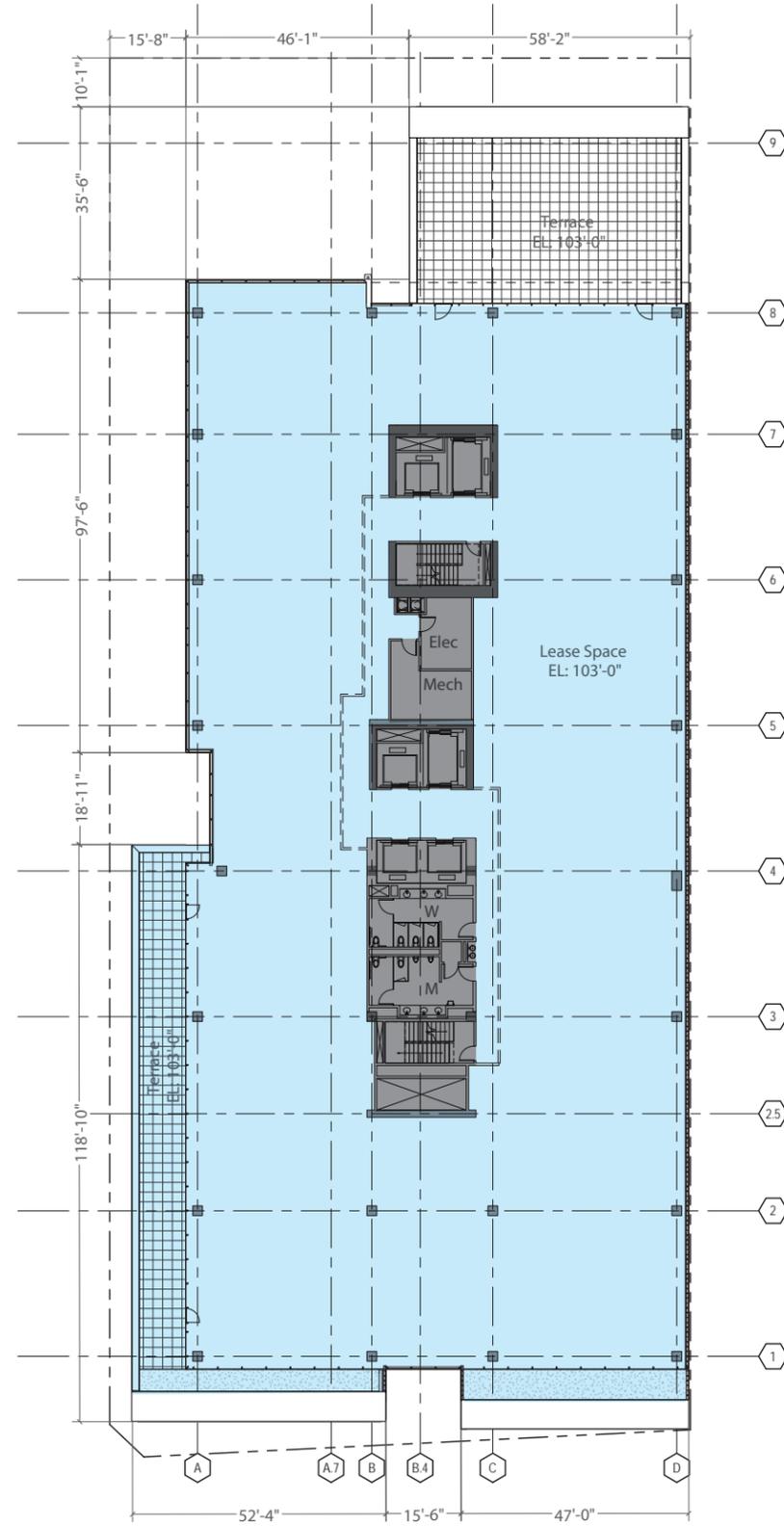
Level L5 - Floor Plan



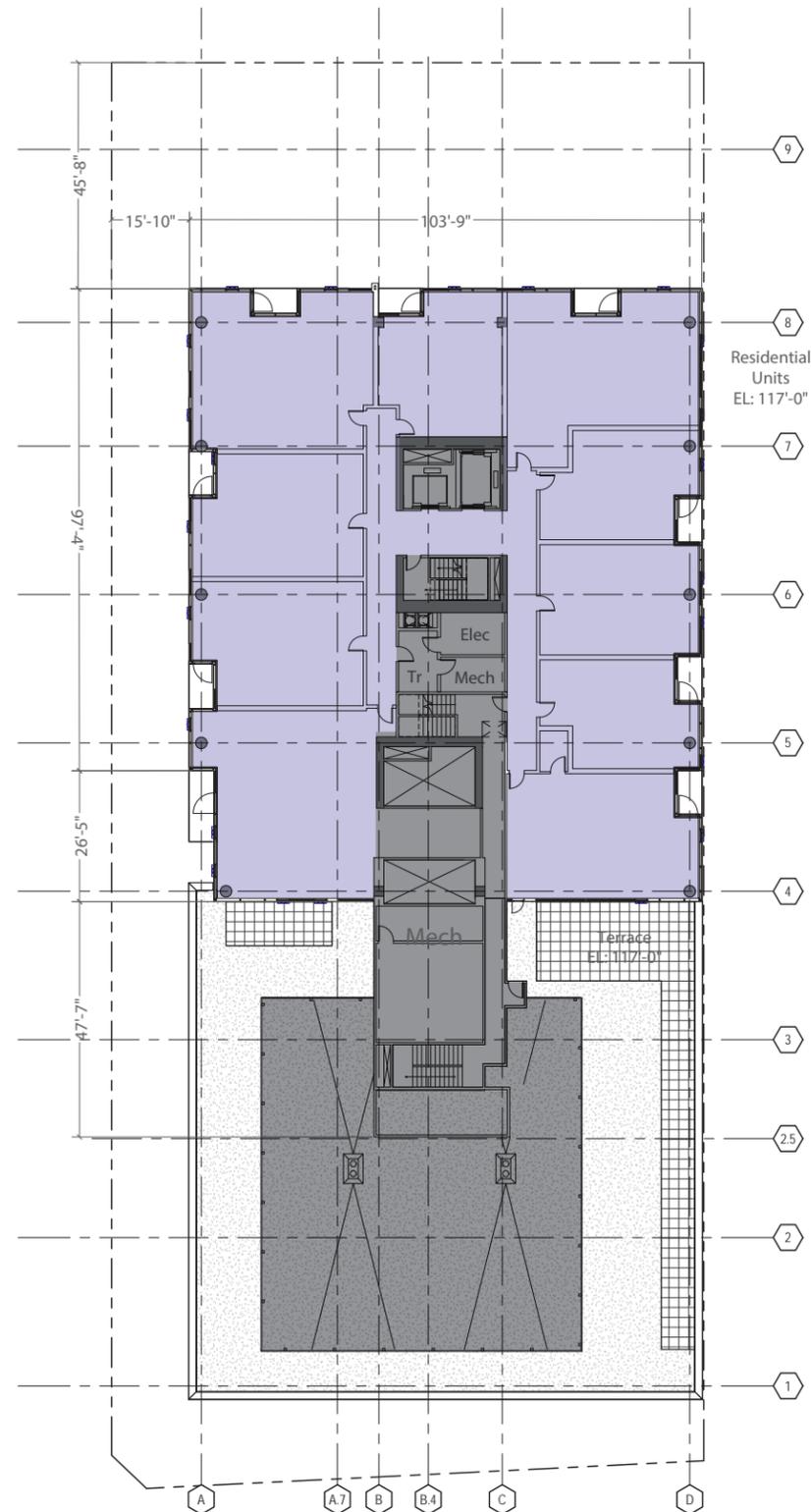
- Retail
- Residential
- Office Lobby
- Office
- Parking
- MEP/BOH



Level L6 - Floor Plan

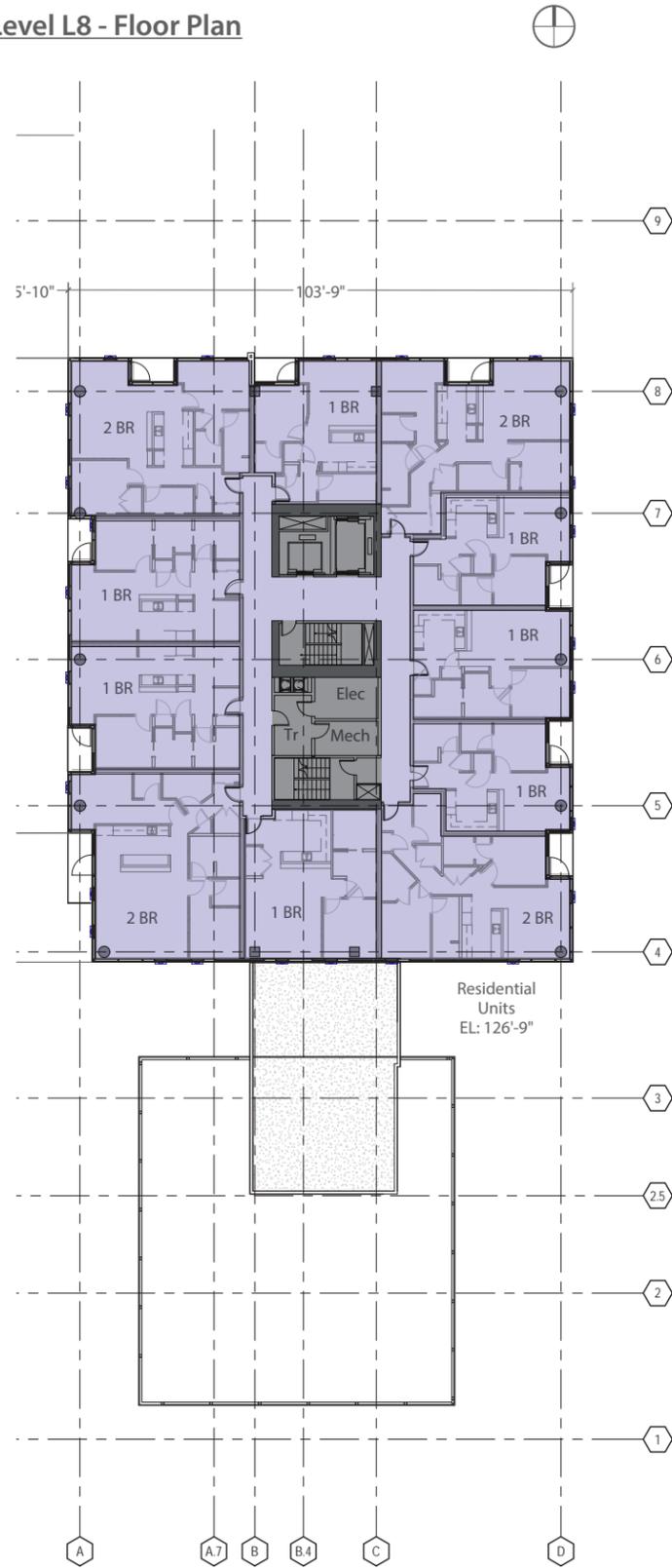


Level L7 - Floor Plan



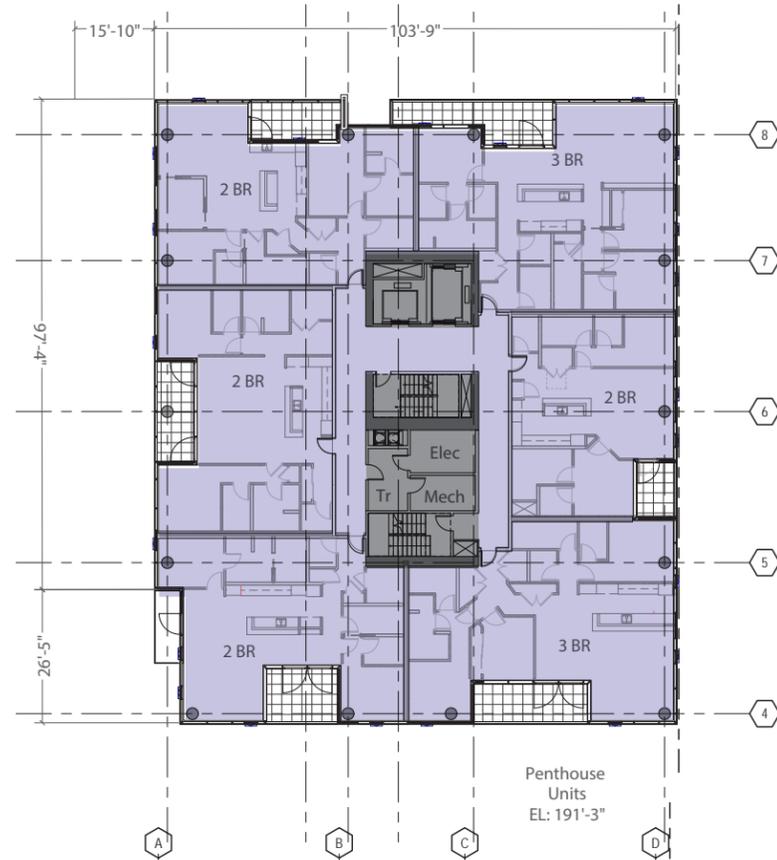
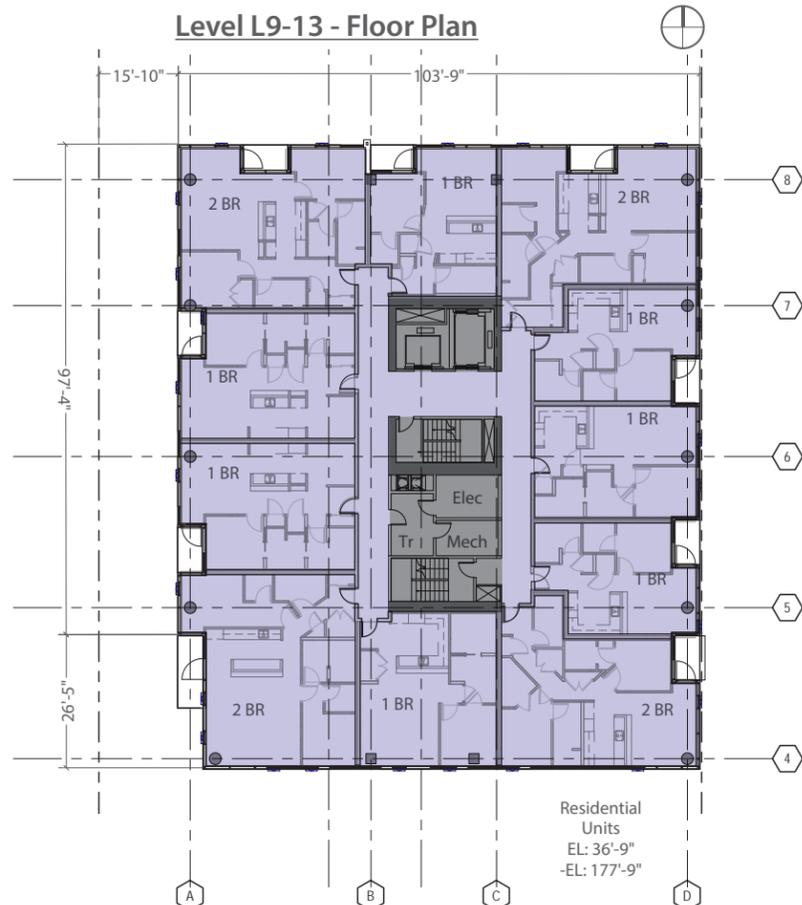
- Retail
- Residential
- Office Lobby
- Office
- Parking
- MEP/BOH

Level L8 - Floor Plan

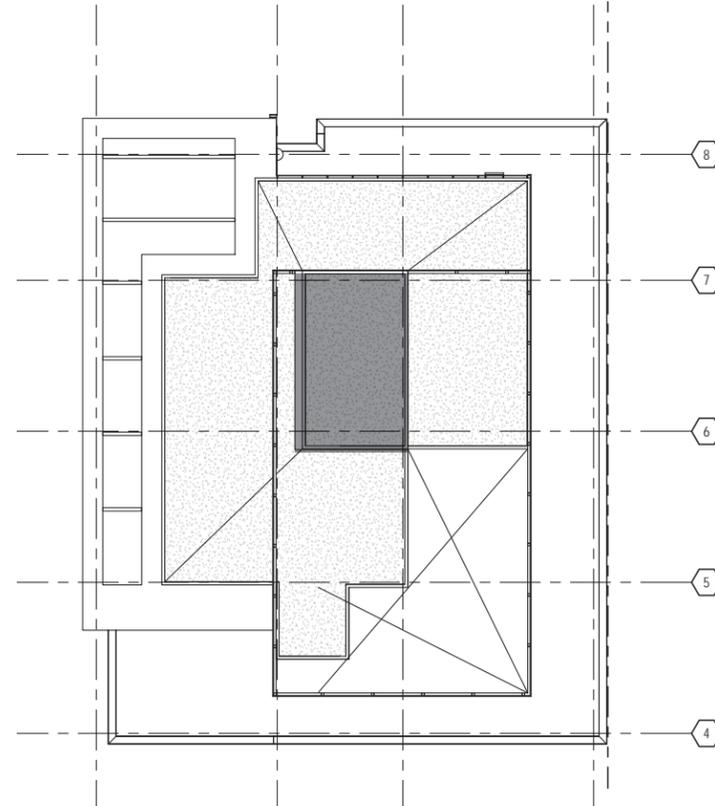
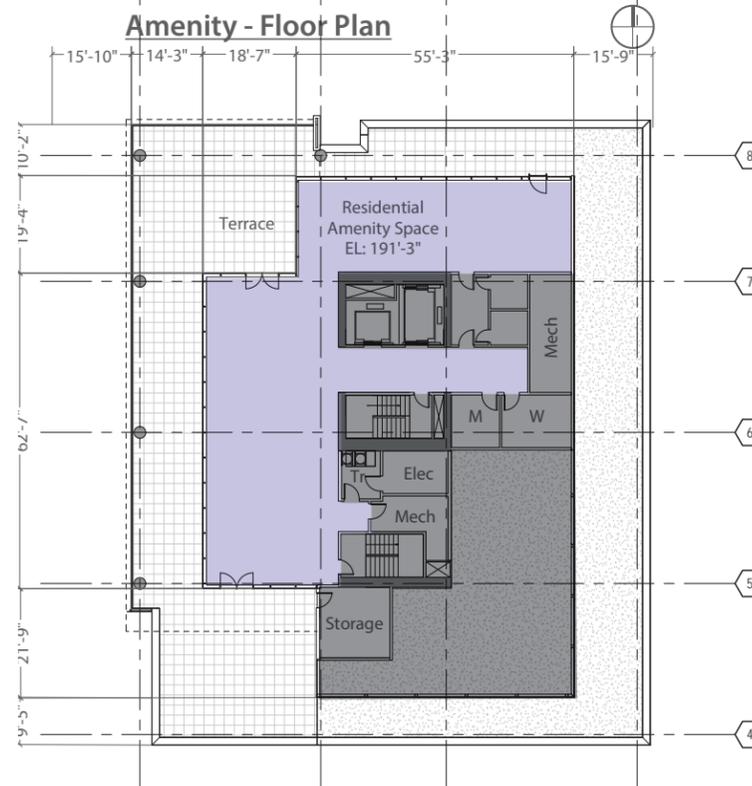


- Retail
- Residential
- Office Lobby
- Office
- Parking
- MEP/BOH

Level L9-13 - Floor Plan



Amenity - Floor Plan



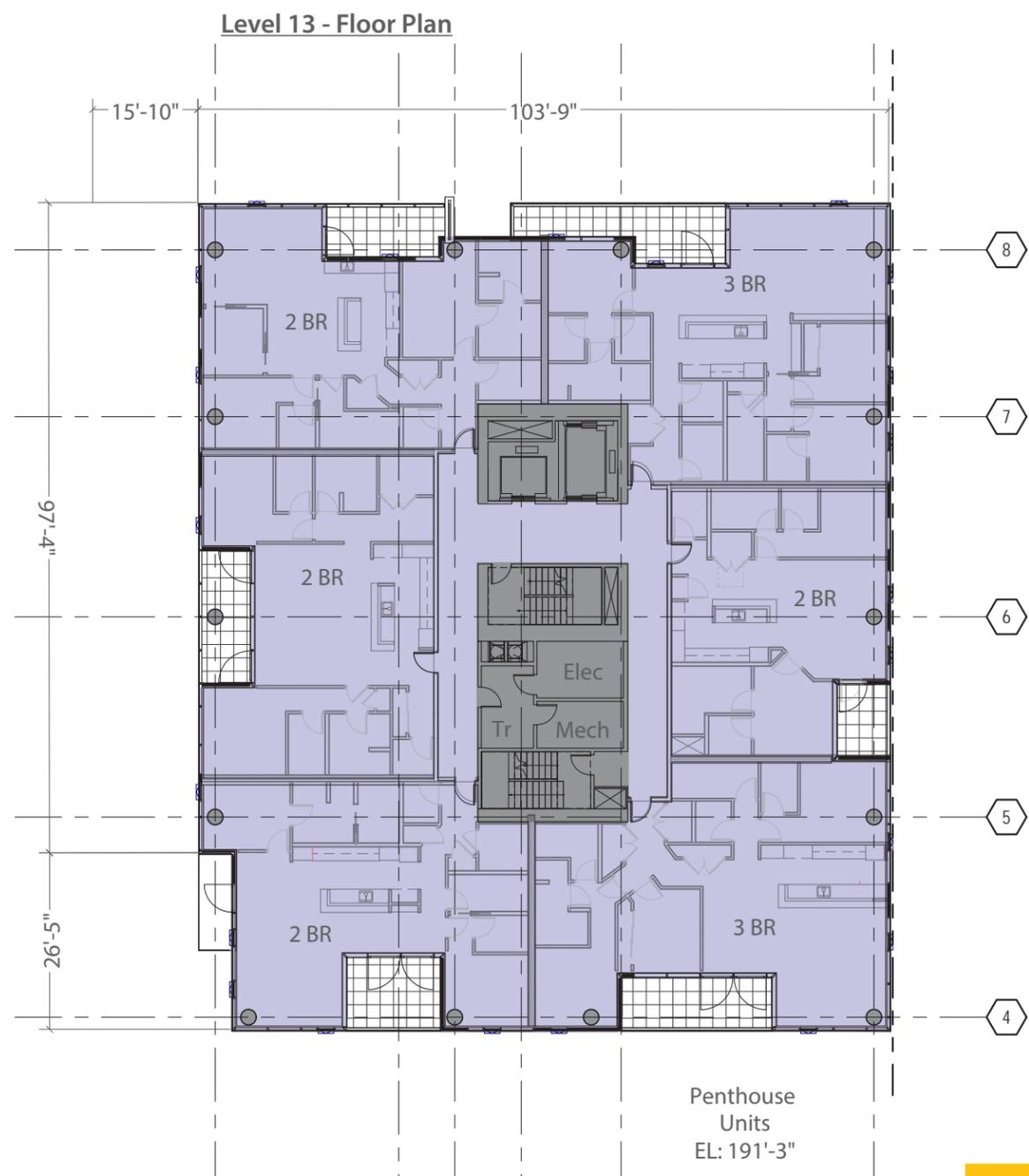
- Retail
- Residential
- Office Lobby
- Office
- Parking
- MEP/BOH

Level L9-12 - Floor Plan



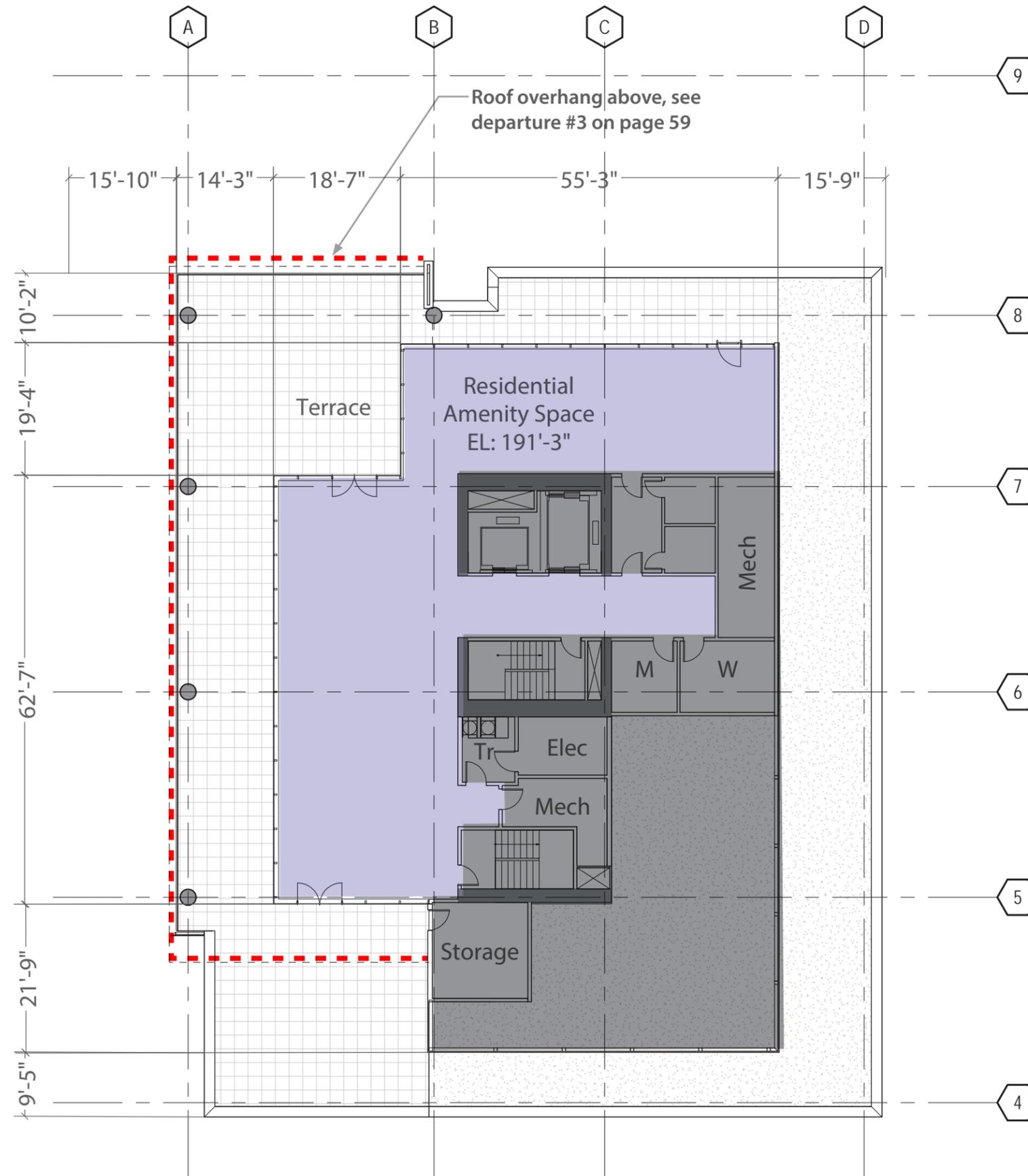
Residential Units  
 EL: 36'-9"  
 -EL: 177'-9"

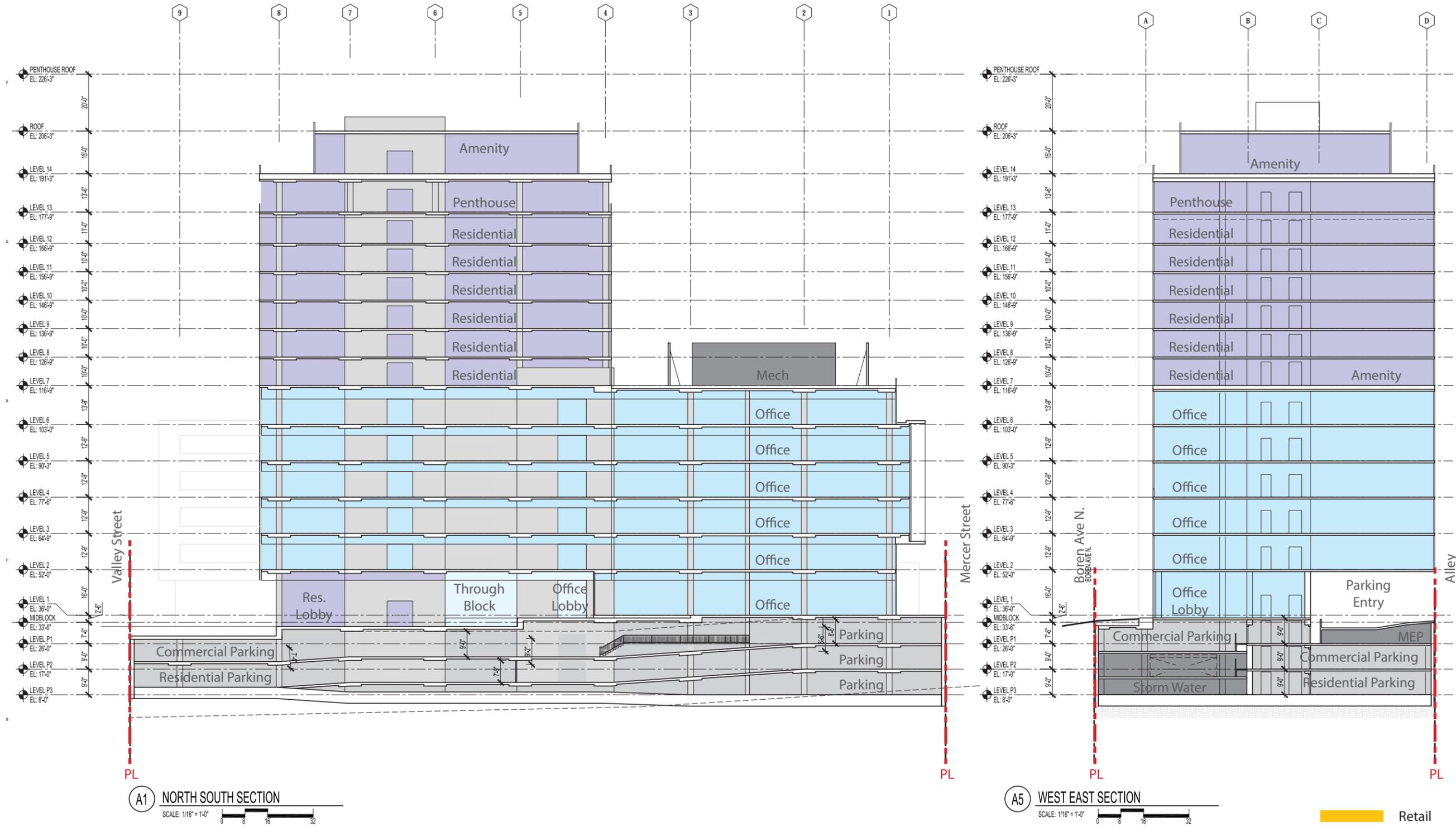
Level 13 - Floor Plan



Penthouse Units  
 EL: 191'-3"

- Retail
- Residential
- Office Lobby
- Office
- Parking
- MEP/BOH



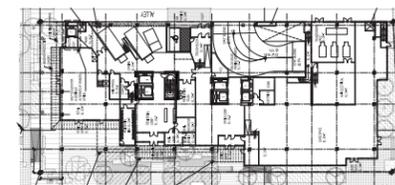


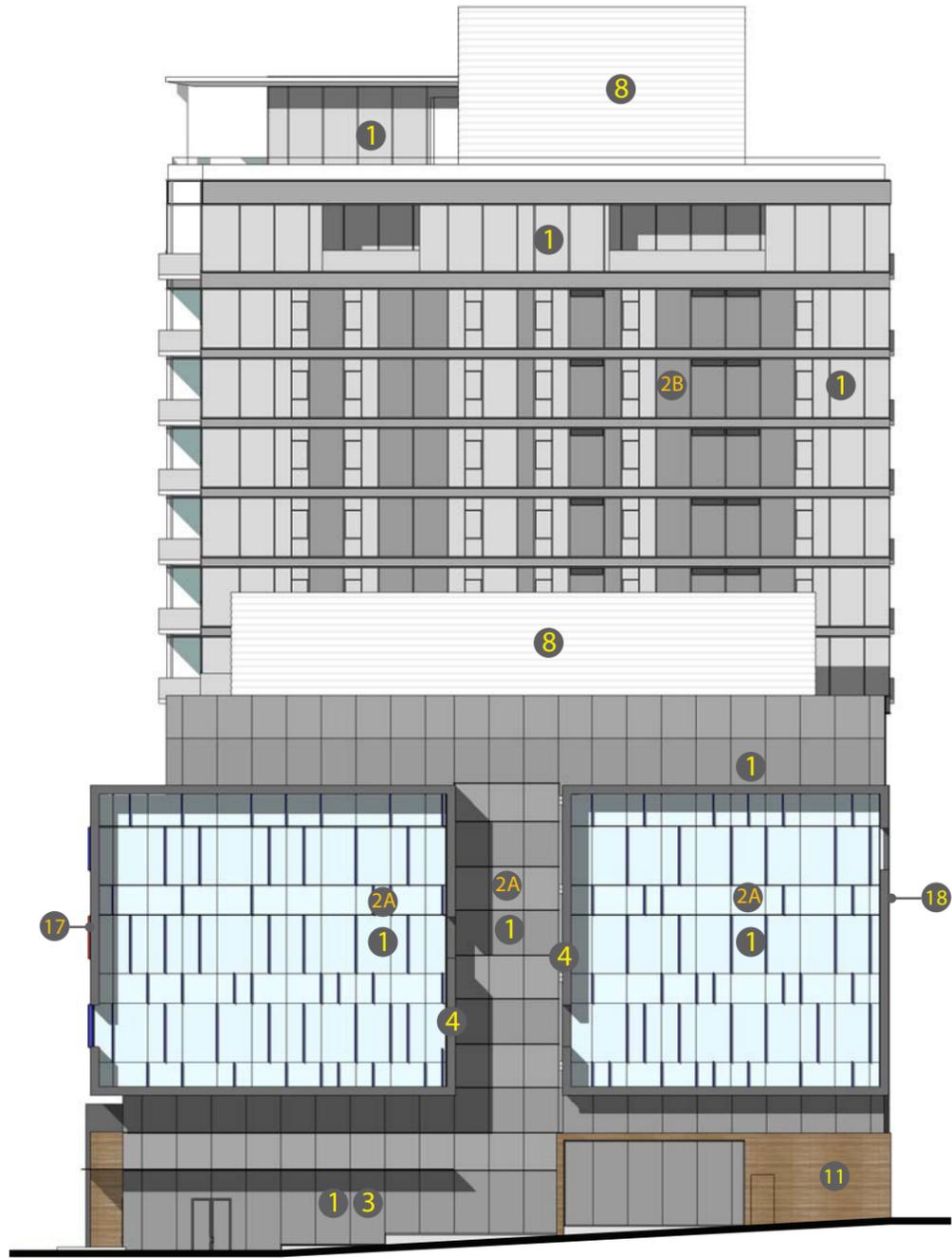


Material Palette

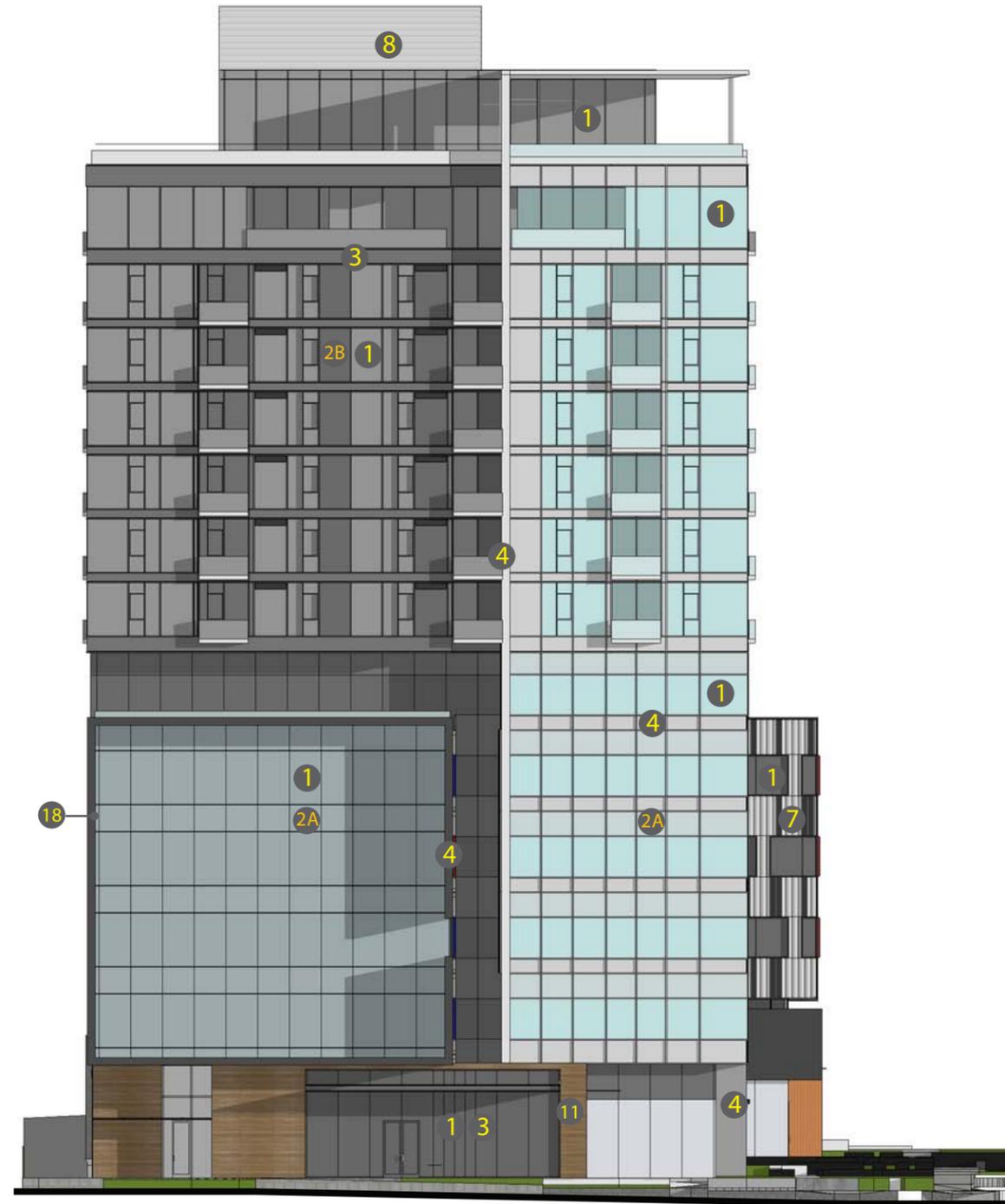
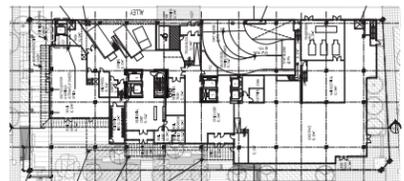
- 1 Vision Glass
- 2A Spandrel Glass (Office)
- 2B Spandrel Glass (Residential)
- 3 Metal 1
- 4 Metal 2
- 5 Metal 3
- 6 Metal 4
- 7 Profiled Metal Panels
- 8 9 Corrugated Metal Siding
- 10 Composite Metal
- 11 Wood Planks
- 12 Cast-in-Place Concrete
- 13 Paving Units
- 14 Color 1: Light Green
- 15 Color 2: Orange
- 16 Color 3: Dark Blue
- 17 Color 4: Rust
- 18 Color 5: Light Blue

Boren Avenue Elevation 0 4 8 16

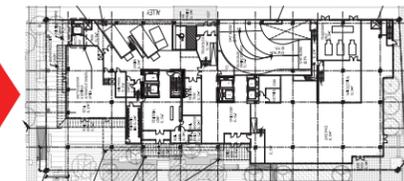




Mercer Street Elevation 0 4 8 16

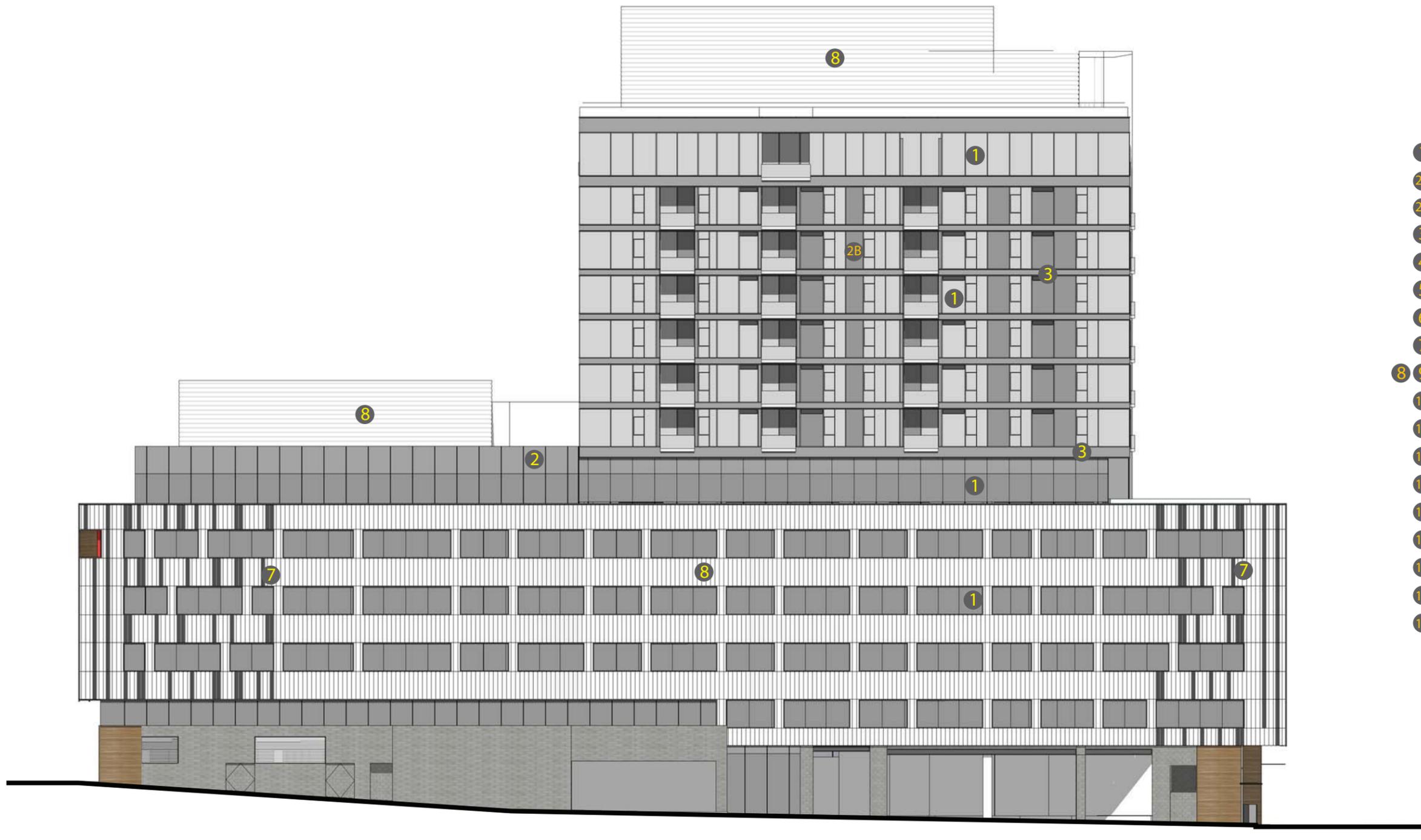


Valley Street Elevation 0 4 8 16



Material Palette

- 1 Vision Glass
- 2A Spandrel Glass (Office)
- 2B Spandrel Glass (Residential)
- 3 Metal 1
- 4 Metal 2
- 5 Metal 3
- 6 Metal 4
- 7 Profiled Metal Panels
- 8 Corrugated Metal Siding
- 9 Composite Metal
- 10 Wood Planks
- 11 Cast-in-Place Concrete
- 12 Paving Units
- 14 Color 1: Light Green
- 15 Color 2: Orange
- 16 Color 3: Dark Blue
- 17 Color 4: Rust
- 18 Color 5: Light Blue



Material Palette

- 1 Vision Glass
- 2A Spandrel Glass (Office)
- 2B Spandrel Glass (Residential)
- 3 Metal 1
- 4 Metal 2
- 5 Metal 3
- 6 Metal 4
- 7 Profiled Metal Panels
- 8 9 Corrugated Metal Siding
- 10 Composite Metal
- 11 Wood Planks
- 12 Cast-in-Place Concrete
- 13 Paving Units
- 14 Color 1: Light Green
- 15 Color 2: Orange
- 16 Color 3: Dark Blue
- 17 Color 4: Rust
- 18 Color 5: Light Blue

Boren Avenue Elevation 0 4 8 16

