

City of Seattle

Recommendation Proposal

Submittal for November 21, 2016 DRB Meeting

WASHINGTON STATE EMPLOYEES CREDIT UNION (WSECU)
UNIVERSITY DISTRICT



project information

SDCI Project Number: 3022052

Property Address:
1121 NE 45th St (NE 45th St and 12th Ave NE)
Seattle, WA, 98105
King County Parcel #1142000400

Owner: WSECU

Owner's Representative:
Falkin Associates
7900 E. Green Lake Drive North, suite 208
Seattle, WA 98103

Contact: Bryce Falkin
206.527.3417x11
bfalkin@falkinassociated.com

Architect:
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2333 3rd Ave. Seattle, WA 98121

Architect Contact: Timothy Posey
206.903.0575
tposey@skbarchitects.com

proposal

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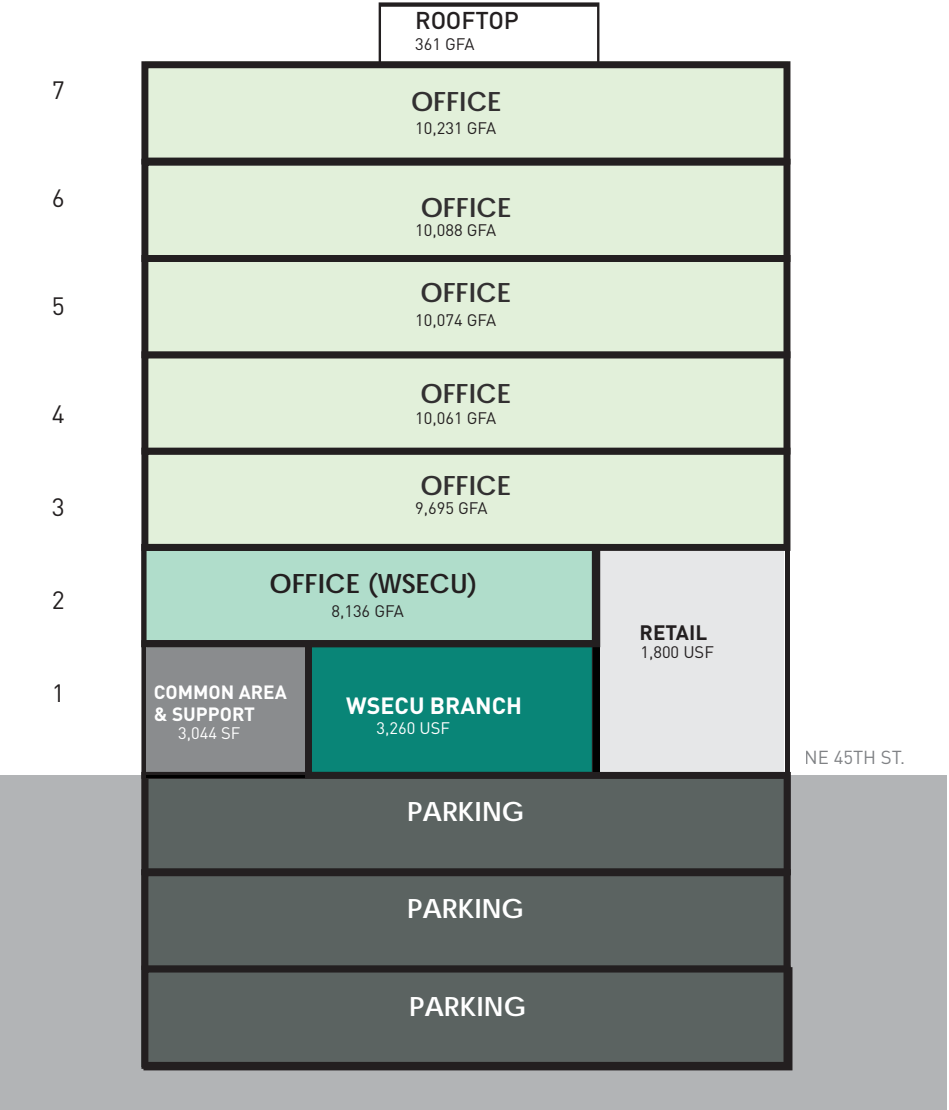
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NOTE: All drawings in package are oriented with North to the right, due to neighborhood block configuration & site orientation



- **Description:** To develop a 7-story, 85’ office building with retail at grade and 3 levels of parking below grade. A WSECU branch will occupy a portion of the first floor along with additional retail.
- **Activate** the ground-plane and streetscape with community-oriented uses, pedestrian scaled building elements, and engaging public environments.
- **Create** a contextual presence (in massing, elevation composition, and materiality) that balances responsiveness to the neighborhood context with a distinctive identity for WSECU.
- **Maximize** the use of space on a small site.

Number of residential and live/work units	0
Total proposed commercial square footage	66,750 sf
Max allowable FAR (6)	66,750 sf
Total proposed height	85’
Maximum allowable height	85’
Number of parking stalls (underground)	60



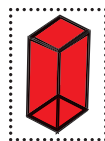
WSECU - NE 45TH ST & 12TH AVE NE

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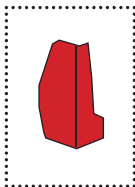
design guidelines

conceptual response

previous



current



CORNER

The corner of 12th Ave NE and 45th St is a node of pedestrian activity and vehicular visibility that can be utilized as a visual marker for the building; that corner expression has been further developed.

SIDEWALK

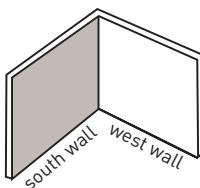
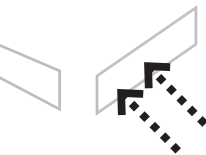
Because of the predominant pedestrian access along 45th St, the building footprint steps back to widen the sidewalk - reducing the perceived mass along the ground plane while providing a more generous pedestrian experience; this setback has been refined.

OFFICE ENTRY

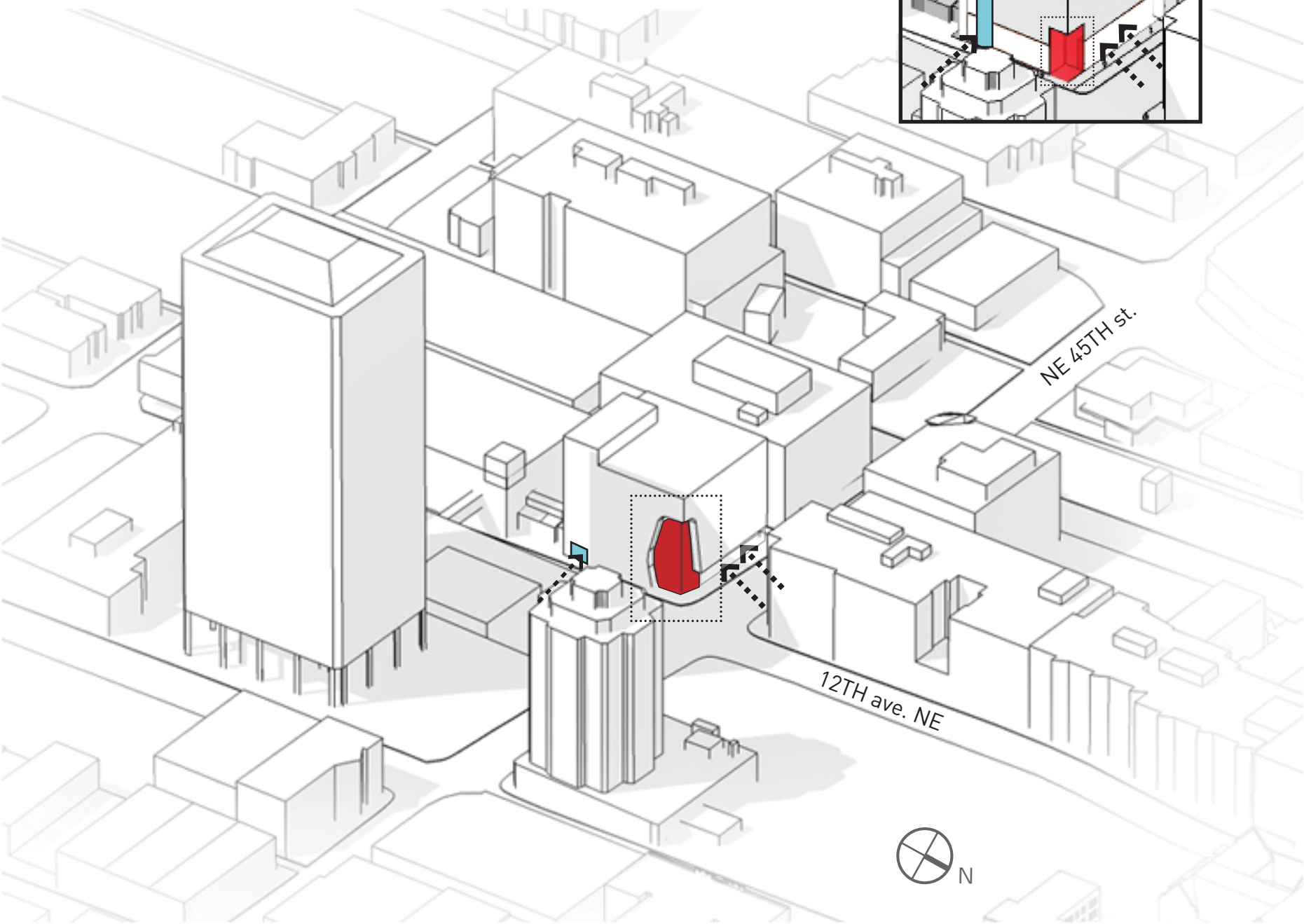
Due to the small site size and party wall at the south property line, the building will have a sided core which will allow for more open & daylight filled floor plates and create a distinct and separate entry for the office floors along 12th Ave NE. This office entry has been adjusted to fit the smaller pedestrian scale of 12th Ave NE and to not "compete" with the corner expression

NON-STREET FACING FACADE

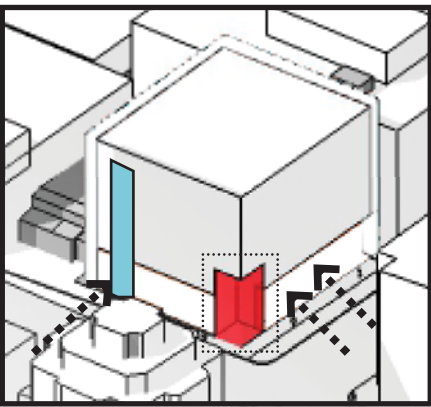
The South wall is located on the property line adjacent to a blank wall of an existing two story building, and the West wall is along the alley. Because of these conditions there is an opportunity to reduce glazing on the south, allowing for greater glazing / transparency along the street facing facades. The west (alley) wall is now treated very similarly to the North and East walls, while the South wall has no glazing but is treated with a signage graphic.



current design concept



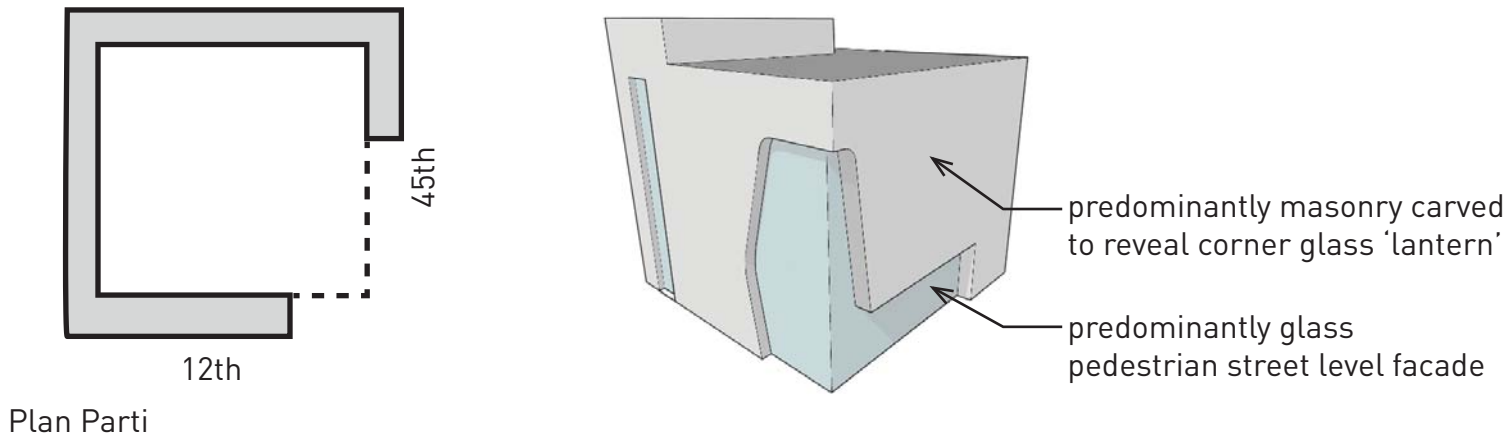
previous design concept



architectural massing concepts

option 3 - preferred

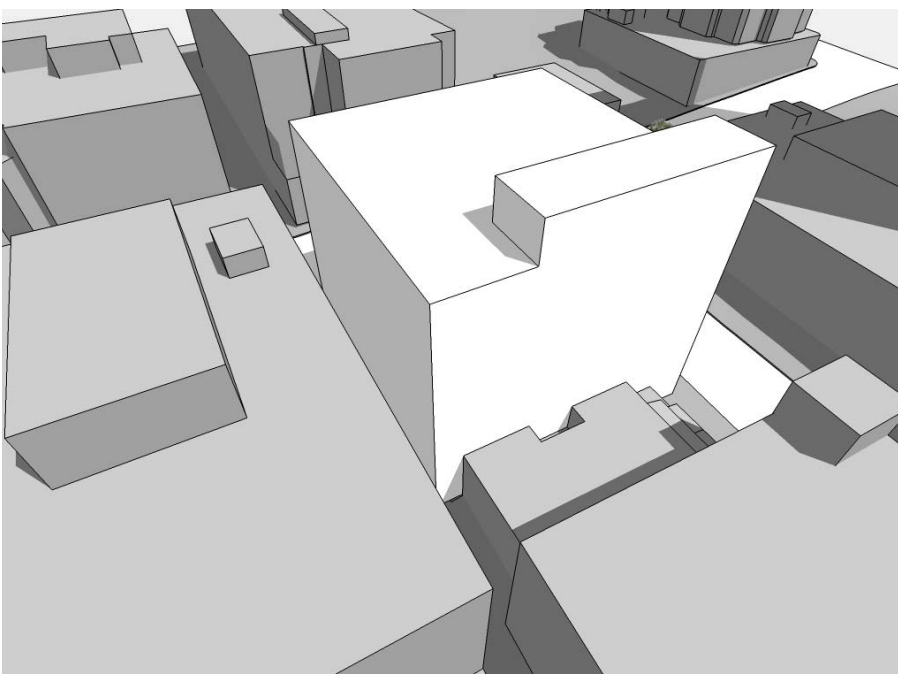
Option 3 was preferred at the Early Design Guidance meeting. This original massing concept (shown on pages 4 and 5) has now been refined in response to EDG comments and for further design development. See pages 7 - 20 (EDG comment responses) for views of the updated massing.



NE corner view



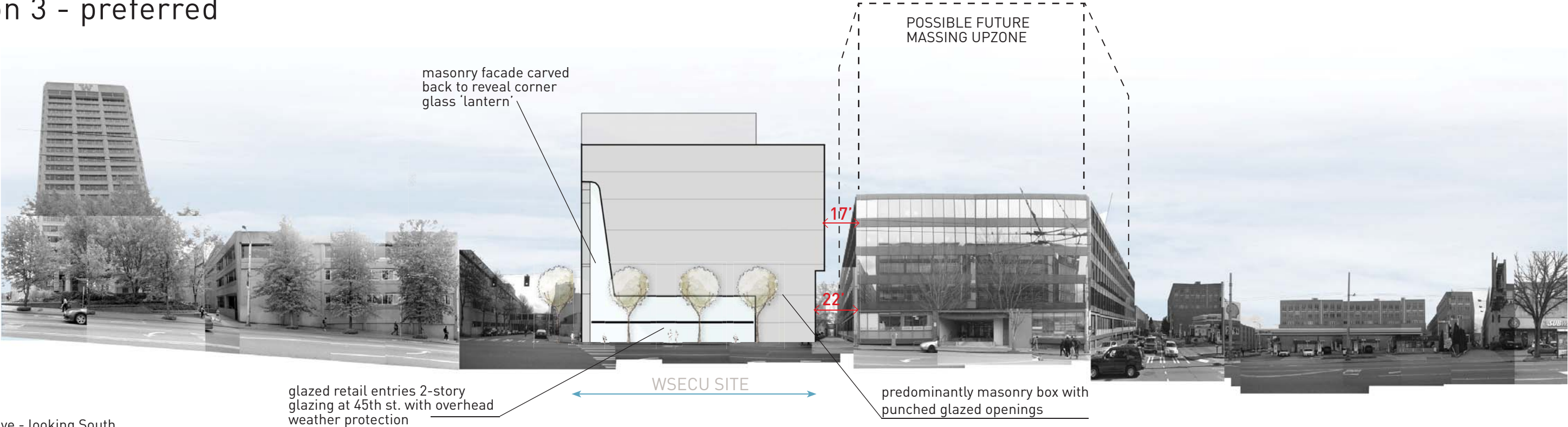
view from NW



SW corner view

architectural massing concepts

option 3 - preferred



EDG comments

items and corresponding guidelines

1. Massing Options

- a. Refine massing scheme**
 - focus on the detailing
 - avoid toning down the strong design concept presented (CS2-A, CS2-C, CS2-III-I, DC2-B, DC4-A)

2. Ground Level

- a. Strengthen circulation routes & access at ground floor**
 - explore a circulation route which allows access through the lobby for office users
 - consider access and connections for the public as related to streetscape connectivity (PL1-B, PL3-A, PL3-I-I, DC1-A)
- b. Diagram the building entries**
 - study how different users access the building (PL1-B, PL3-A, PL3-I-I, DC1-A)

3. Street Level

- a. Develop community room and cafe**
 - prioritize evening versus day use
 - provide more information on how the design and program function will complement and contribute to a vibrant street edge (PL1-A-2, PL1-B-1, PL3-II)
- b. Retain transparency at corner**
 - encourage human interaction and activity at the street level with operable window walls (PL1-B, PL3-II-I, DC3-I)

4. Service and Parking Access

- a. Address safety and security**
 - provide more information about garage storage and loading (service parking access)
 - address proximity of alley loading to community room (DC1-B-1)

5. Materials and Detailing

- a. Provide brick material as proposed**
 - defines a stately presence which reflects the bank program (DC2-B, DC2-D, DC4-A)
- b. Develop brick detailing**
 - especially important where brick spans the corner opening and where it terminates / meets the sidewalk (DC2-B, DC2-D, DC4-A)
- c. Reinforce/develop the corner expression**
 - retain fluidity of masonry pulled back at corner
 - express the terminus and identify the entry
 - reinforce the contrast between the repetitive glazing mullions and the corner expression (DC2-B, DC2-D, DC4-A)
- d. Coordinate columns, lighting, and signage**
 - complement the project as a whole with coordinated elements
 - provide information about signage (DC4-B)

6. Blank Facade

- a. Detail South facade**
 - design and detail all four elevations to the same level
 - provide street level perspective views and design intent for the blank wall (DC2-B-2, DC2-D)

EDG comments

design response

NE corner view



6.a. Detail South facade
see page 20

1.a. Refine massing scheme
see page 8

5.a. Provide brick material
as proposed
see pages 14-15, 18-19

5.b. Develop brick detailing
see page 15

5.c. Reinforce /develop the
corner expression
see page 14

5.d. Coordinate columns,
lighting, and signage
see pages 16-17

2.a. Strengthen circulation
routes & access at
ground floor
see page 9

2.b. Diagram the
building entries
see page 9

4.a. Address safety and security
see pages 12-13

3.a. Develop community
room and cafe
see pages 10-11

3.b. Retain transparency
at corner
see pages 10-11

EDG comments

1. Massing Options



a. Refine massing scheme

- focus on the detailing
- avoid toning down the strong design concept presented (CS2-A, CS2-C, CS2-III-I, DC2-B, DC4-A)



The strong design concept originally presented as Option 3 at the EDG meeting has been further developed without losing any of the major elements. Detailing of the brick material, entry/canopy structure, and glazing patterns supports the original design concept while adding a layer of human-scale texture and rhythm. The gestural corner expression remains strong.

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EDG comments

2. Ground Level



a. Strengthen circulation routes & access at ground floor

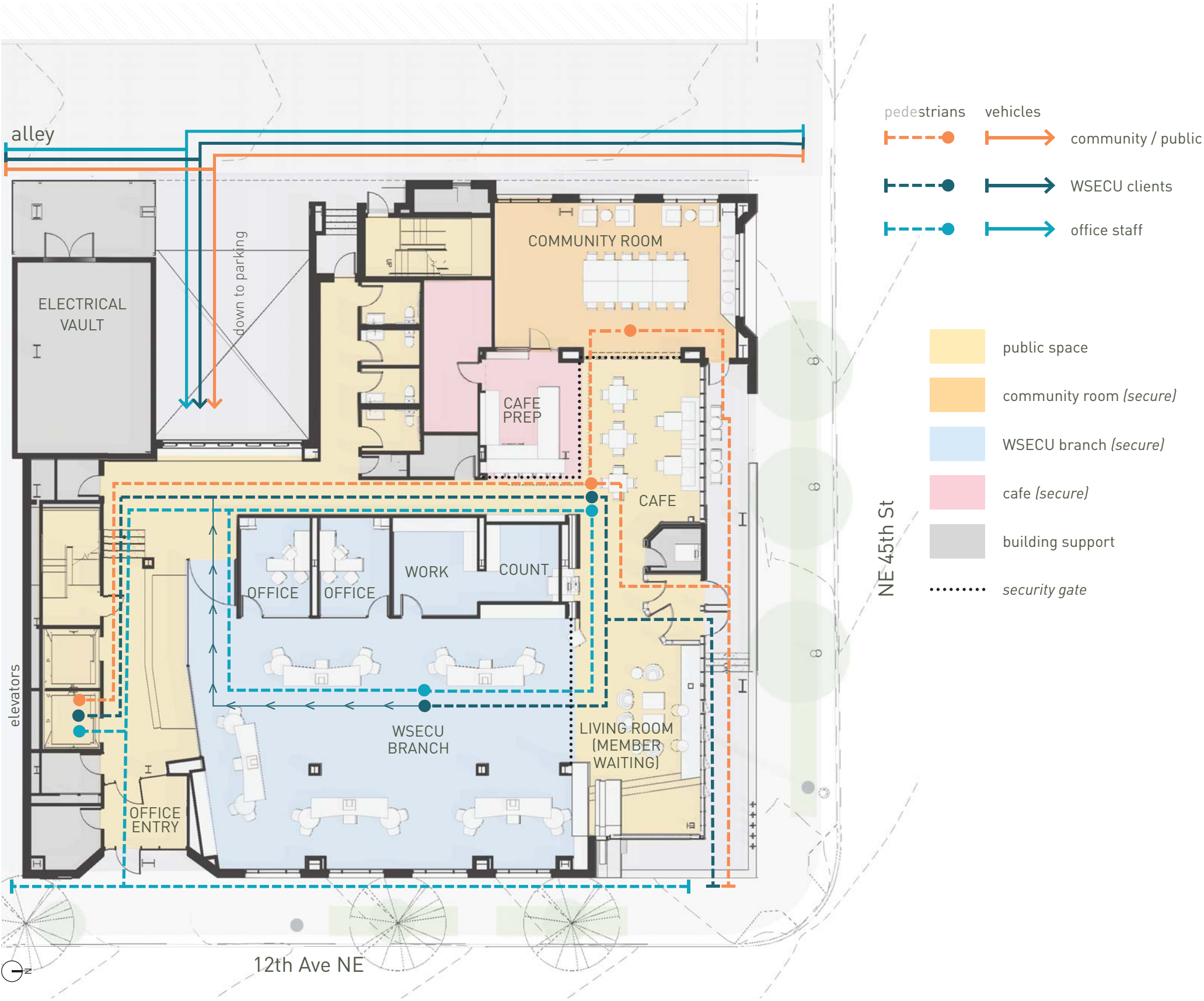
- explore a circulation route which allows access through the lobby for office users
- consider access and connections for the public as related to streetscape connectivity (PL1-B, PL3-A, PL3-I-I, DC1-A)



b. Diagram the building entries

- study how different users access the building (PL1-B, PL3-A, PL3-I-I, DC1-A)

The primary entrance at 45th St accommodates most of the pedestrian traffic in the area. Office tenant staff now have a dedicated route to the community/cafe area, which is also the route for users who park underground and come up in the elevators. WSECU staff can use the “back door” of the branch retail space to show clients upstairs. While different users will access the building from different points of entry, most of the circulation is centered around the “lobby as living room” along 45th St.



EDG comments

3. Street Level

- ✓

a. Develop community room and cafe

 - prioritize evening versus day use
 - provide more information on how the design and program function will complement and contribute to a vibrant street edge

(PL1-A-2, PL1-B-1, PL3-II)
- ✓

b. Retain transparency at corner

 - encourage human interaction and activity at the street level with operable window walls

(PL1-B, PL3-II-I, DC3-I)

NOTE: See pages 11-12 for additional street-level views

Current intention for operating hours:

WSECU BRANCH:	daytime
CAFE:	morning to evening
LIVING ROOM:	to match branch & cafe hours
COMMUNITY RM:	to match branch & cafe hours except that it will also be available 'off-hours' by appointment with building management.

The public uses of the building are arrayed along 45th St, which is the main pedestrian arterial on the site. Most of the building transparency is fronting 45th St, in the form of the curtain wall and the operable window walls that also wrap the NE corner. This allows the public to engage with the building both visually and physically, through views to the lobby, cafe, and community room, and through the main entrance within the “front porch” plaza that is an extension of the sidewalk streetscape. See intended operating hours at left.



2



The primary public lobby entry is distinguished by:

- the continuation of the corner glazed "lantern" along 45th Street in a two story expression
- the linear steel and glass canopy with expressed structure along the length of the 45th Street sidewalk
- the introduction of a wood window and door storefront system



EDG comments

3. Street Level (continued)



- The secondary office tenant lobby entry is distinguished by:
- the recessed brick entryway with expressed structure
 - the solid canopy with integrated address signage
 - the massing of the core extension at the roof (visible at a distance)



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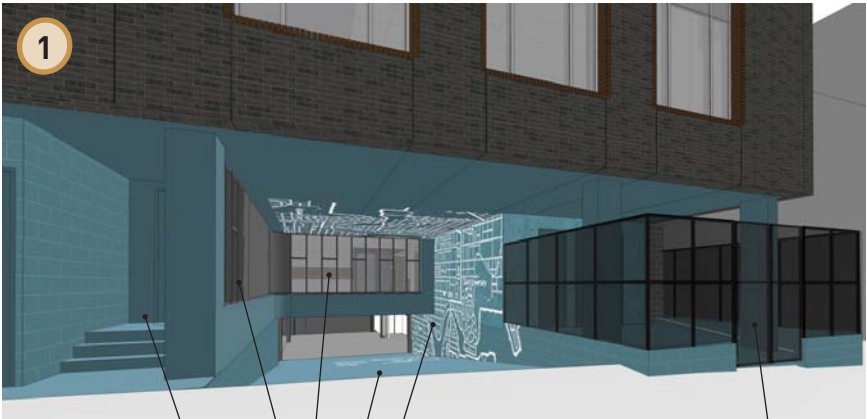
EDG comments

4. Service and Parking Access



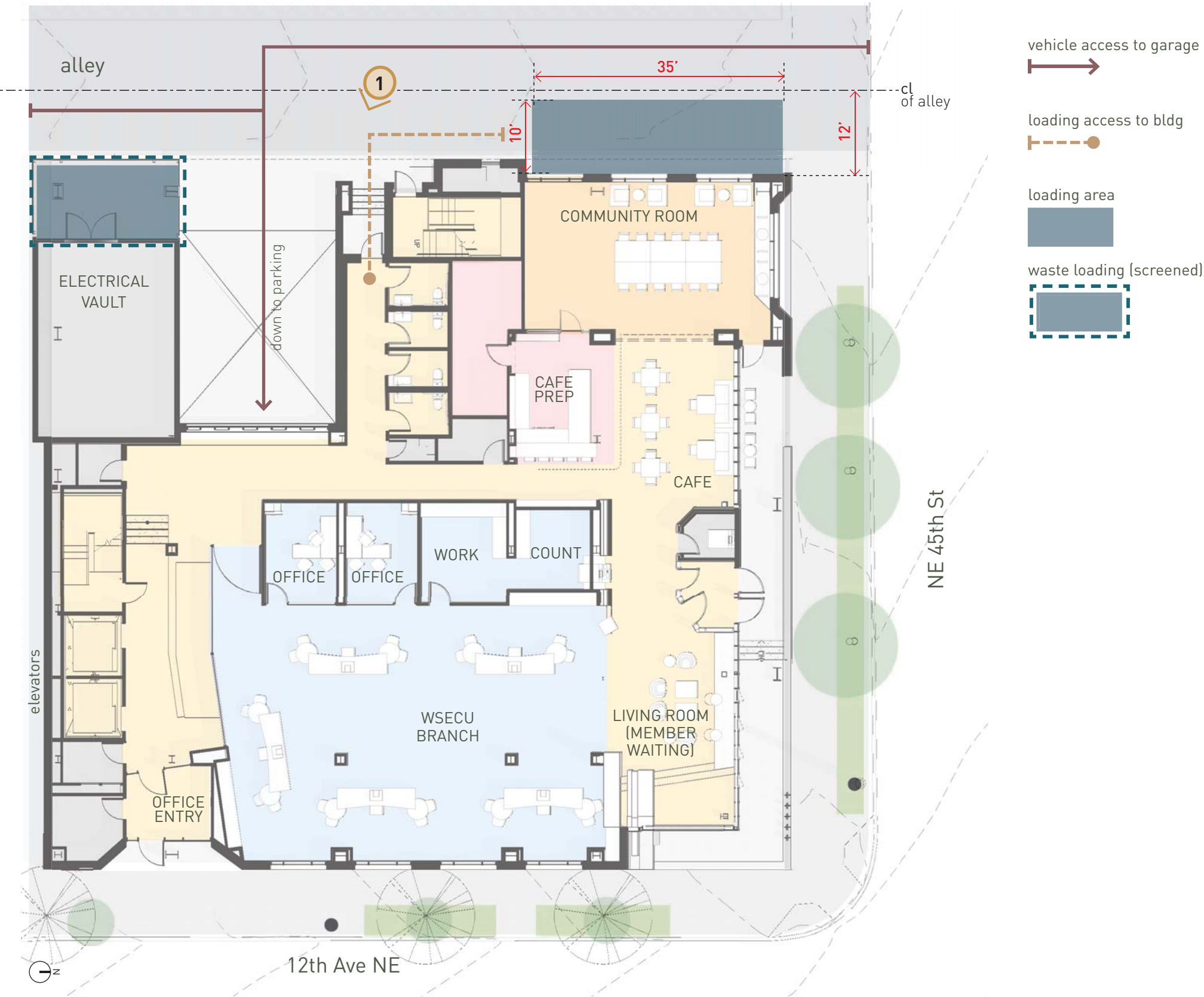
a. Address safety and security

- provide more information about garage storage and loading (service parking access)
- address proximity of alley loading to community room (DC1-B-1)



service entry
glazing to bldg interior
parking garage entry
branded color & graphics at parking entry
mesh screen around trash/recycle area

In response to this comment, the design team has restructured the back-of-house spaces and their adjacencies to the public areas. ADA parking has been moved to the lower level, in accordance with accessibility preferences, and the parking entry is set further back from the street. While the alley will still be the main vehicular access for both parking and loading, all exterior public & employee pedestrian areas have been confined to the North and East sides of the building. Windows along the alley side of the community room provide increased daylight and security. Window blinds allow for room darkening when needed. While loading is located in the same area, it is anticipated to be a relatively infrequent occurrence due to building size.



EDG comments

5. Materials and Detailing

- ✓ **a. Provide brick material as proposed**
 - defines a stately presence which reflects the bank program
(DC2-B, DC2-D, DC4-A)
- ✓ **b. Develop brick detailing**
 - especially important where brick spans the corner opening and where it terminates / meets the sidewalk
(DC2-B, DC2-D, DC4-A)
- ✓ **c. Reinforce/develop the corner expression**
 - retain fluidity of masonry pulled back at corner
 - express the terminus and identify the entry
 - reinforce the contrast between the repetitive glazing mullions and the corner expression
(DC2-B, DC2-D, DC4-A)
- ✓ **d. Coordinate columns, lighting, and signage**
 - complement the project as a whole with coordinated elements
 - provide information about signage
(DC4-B)

NOTE: See page 18 for additional materials.

mullion pattern at
different scale than
punched window
openings



The corner expression has been refined while still retaining the original fluid concept. By coupling this gestural move with a change in material, the iconic shape of this corner has been further defined. The precast concrete “ribbon” runs above the entry plaza, terminating at the secondary entrance to the community room. The main building entrance is further emphasized with the use of a screen element and exterior lighting. The fenestration pattern of the primary building mass is intended to maintain the integrity of the “box” form. The punched windows are double story and staggered to de-emphasize the floor lines and resultant horizontal “banding”. They are also recessed and lined with a contrasting brick color to distinguish them from the field.



Key features of skin material and detailing:





- **Field brick features:**
 - Norman style (longer than standard) to provide a more elegant and linear proportion;
 - laid in a 1/3 running bond - more interesting and unique than standard 1/2 running bond;
 - black, as a contrast to the lantern "ribbon", with a blend of two different textures for visual interest;
 - curved at the corner above the lantern to increase the special quality of that corner;
 - continues where it meets the sidewalk to emphasize the solidity of the main massing "box"
- **Punched openings** are "lined" with brown brick in stack bond that projects slightly for subtle emphasis against black brick field
- **Recessed areas** at office entry and community room window are beveled and also feature brown brick for distinction against the black field
- **Corner "lantern"** is lined with natural-colored precast concrete "ribbon" for contrast against field brick; it is slightly proud of the brick field and radiused at upper corner transitions
- **Lantern glazing system** is full span curtainwall to distinguish from punched openings
- **Primary entry lobby glazing** transitions from aluminum curtainwall to wood storefront for warmer, more tactile feel.

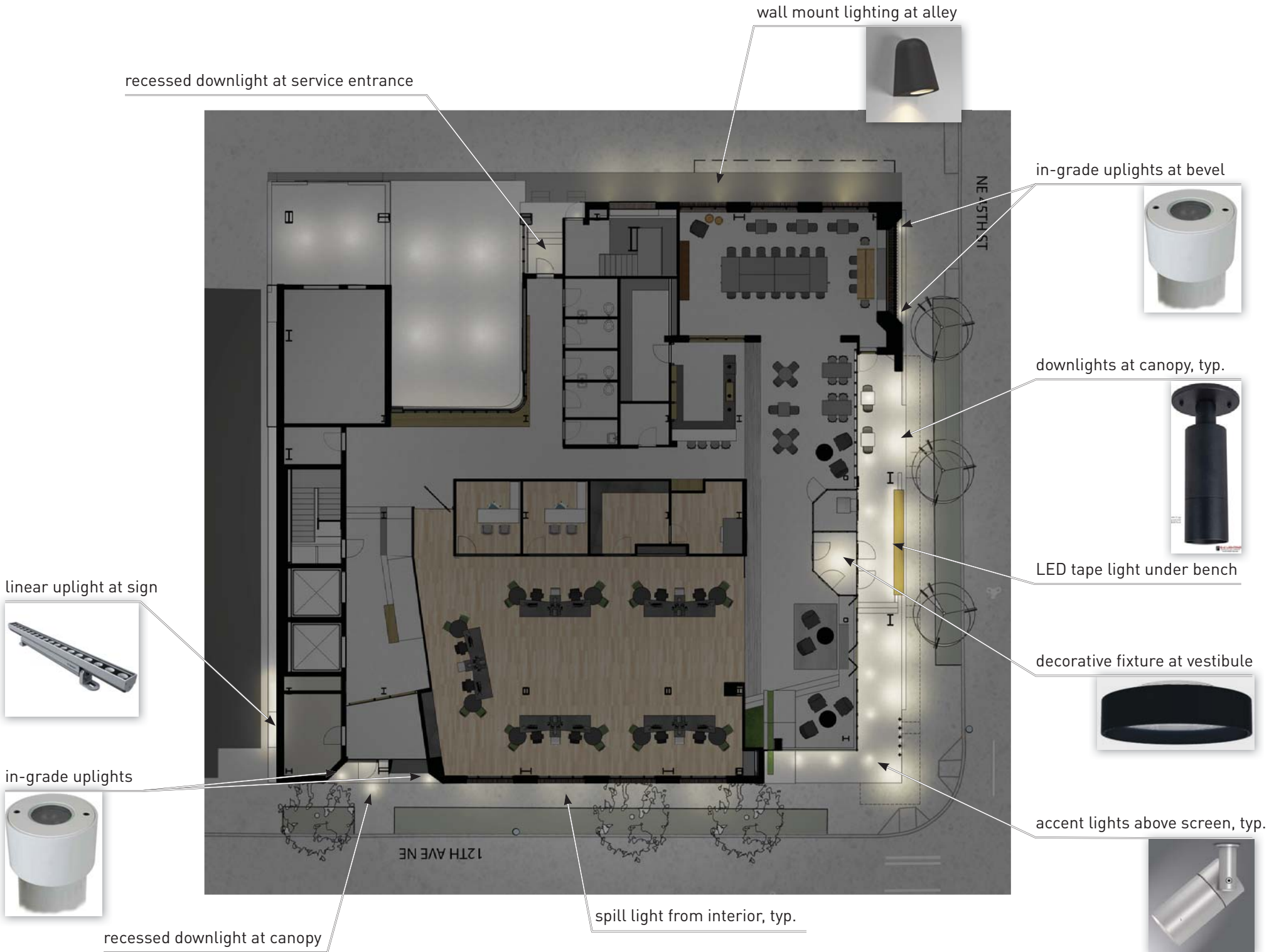
The detailing of the brick has been developed to emphasize aspects of the building design. Beveled openings with woven brick patterns denote building entries and nooks where the public space carves into the building skin. Soldier coursing above and below punched windows reinforces the pattern of the window placement and provides additional interest at ground level. The brick transitions cleanly to concrete at the sidewalk, allowing the building to be viewed as a separate object. The brick at the iconic corner is rounded -- a unique condition for this project -- further emphasizing the fluidity of the corner expression.



EDG comments

5. Materials and Detailing (continued)

-  **a. Provide brick material as proposed**
 - defines a stately presence which reflects the bank program
(DC2-B, DC2-D, DC4-A)
-  **b. Develop brick detailing**
 - especially important where brick spans the corner opening and where it terminates / meets the sidewalk
(DC2-B, DC2-D, DC4-A)
-  **c. Reinforce/develop the corner expression**
 - retain fluidity of masonry pulled back at corner
 - express the terminus and identify the entry
 - reinforce the contrast between the repetitive glazing mullions and the corner expression
(DC2-B, DC2-D, DC4-A)
-  **d. Coordinate columns, lighting, and signage**
 - complement the project as a whole with coordinated elements
 - provide information about signage
(DC4-B)

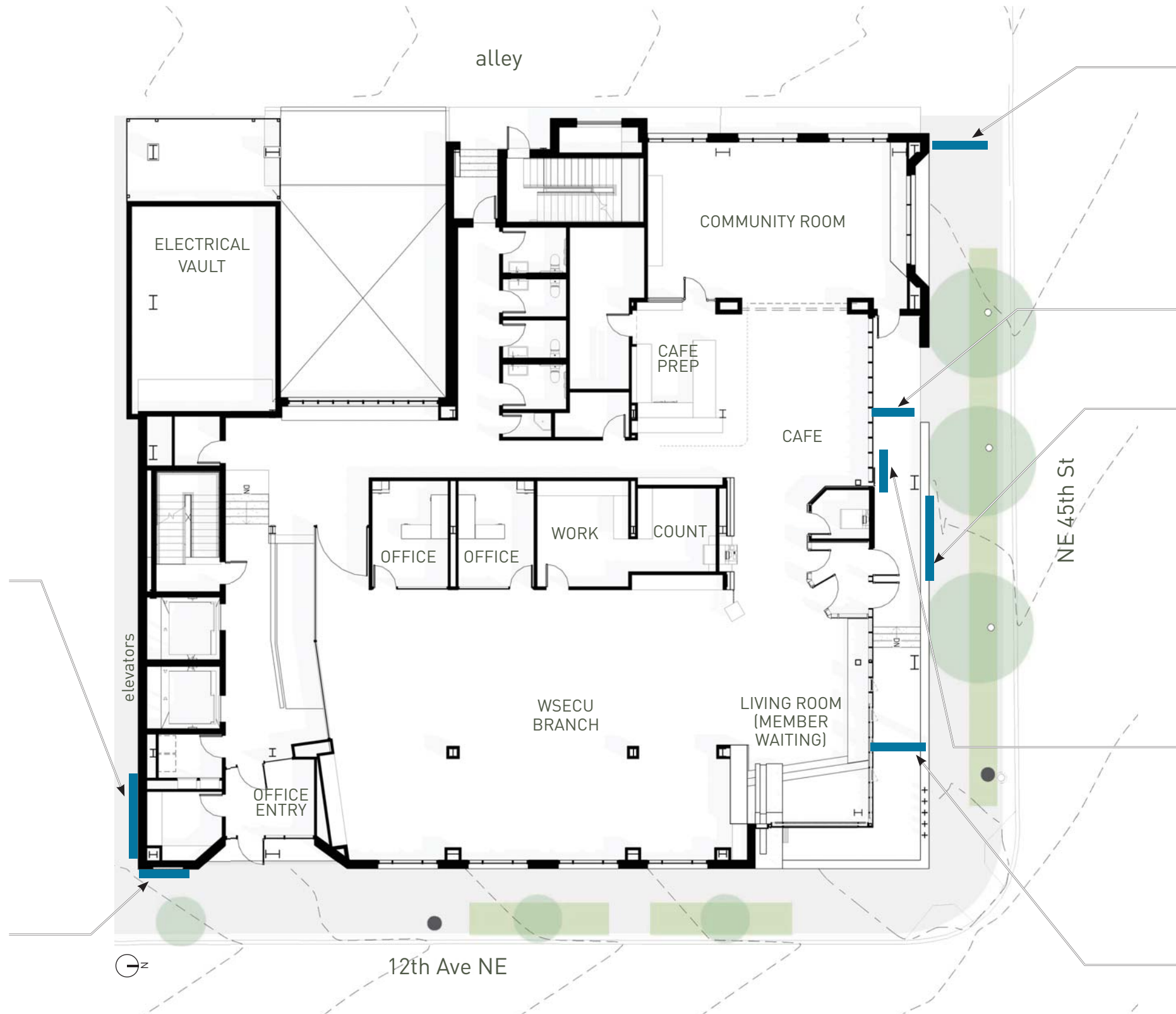


The structural columns of the building create a quiet rhythm that allows the colors, textures, and lighting to take prominence. The exterior lighting design complements the building use, while the interior lighting creates a welcoming glow during business hours. Signage is located at strategic points to indicate entry and identity.

painted block at S facade



office tenant address



WSECU sign at 45th St



potential cafe tenant signage

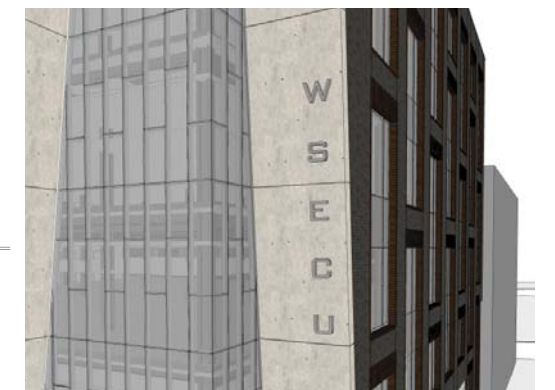
WSECU sign at canopy



ATM sign



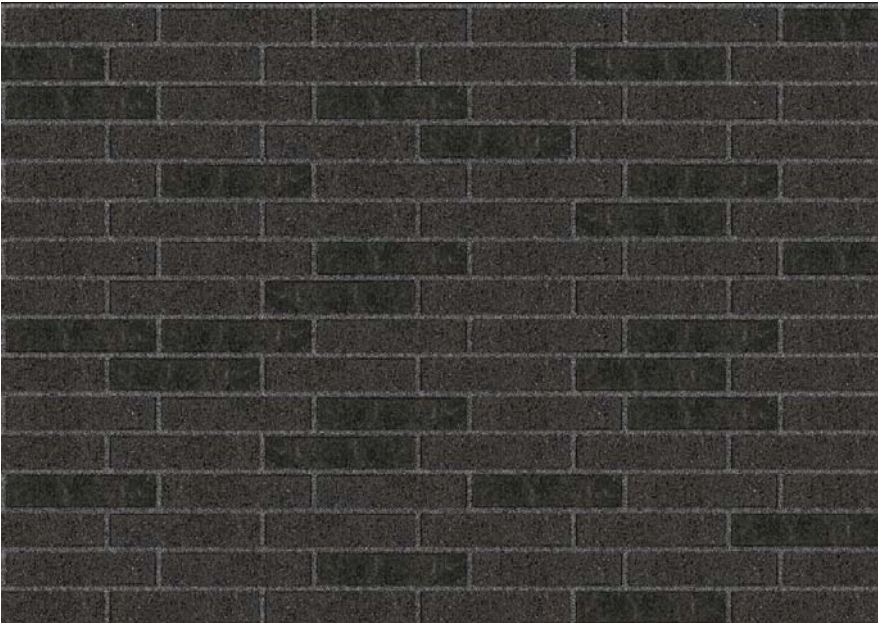
WSECU sign at 'ribbon'




EDG comments

5. Materials and Detailing (continued)


1




2




3




4




5




6



7



8



1

dark brick cladding
mutual materials, mix:
60% coal creek
40% clinker

2

brown brick at windows
mutual materials, color TBD

3

precast concrete cladding
natural color

4

window mullions
black

5

textured concrete
natural concrete color

6

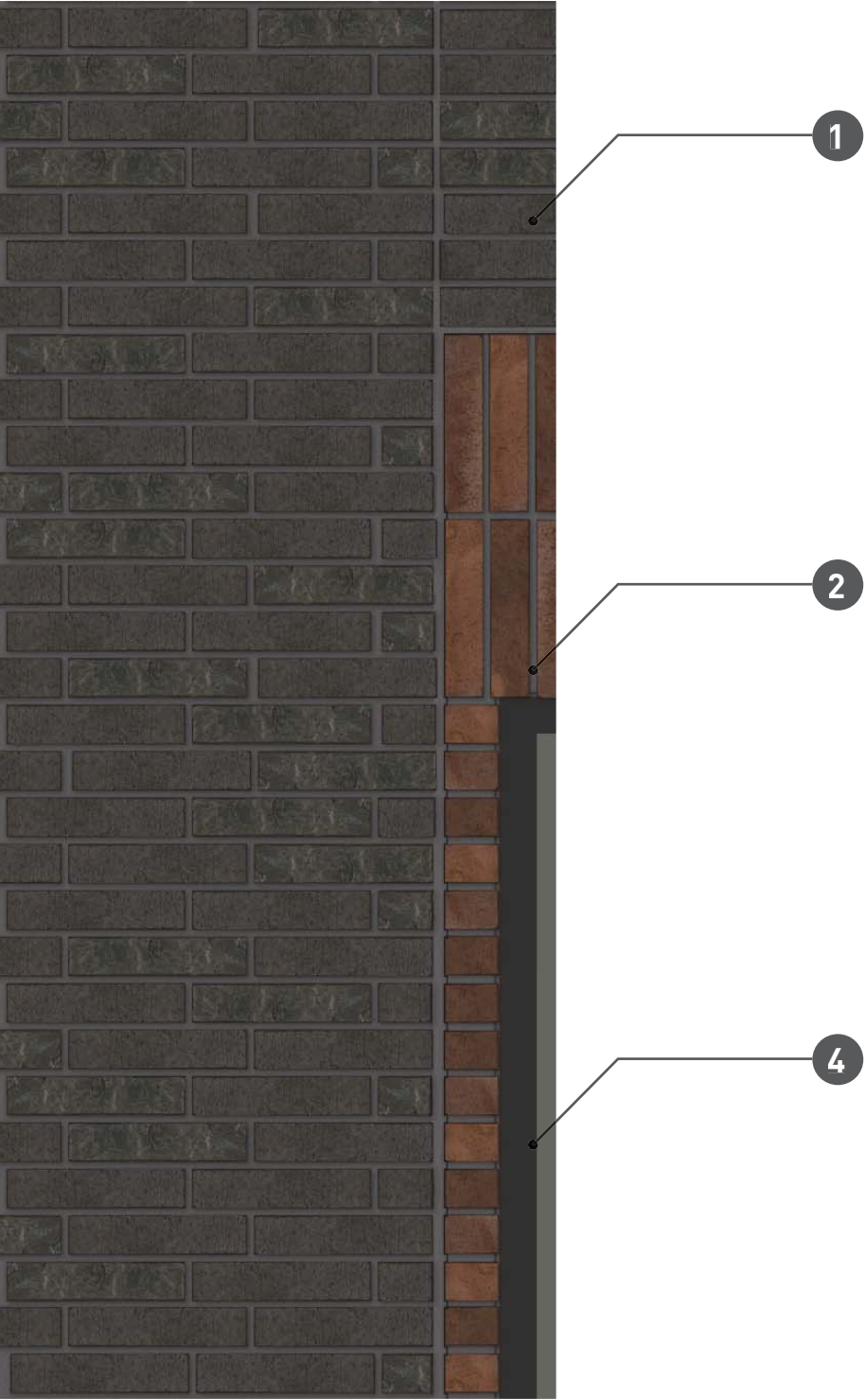
black painted steel
structural elements & canopy

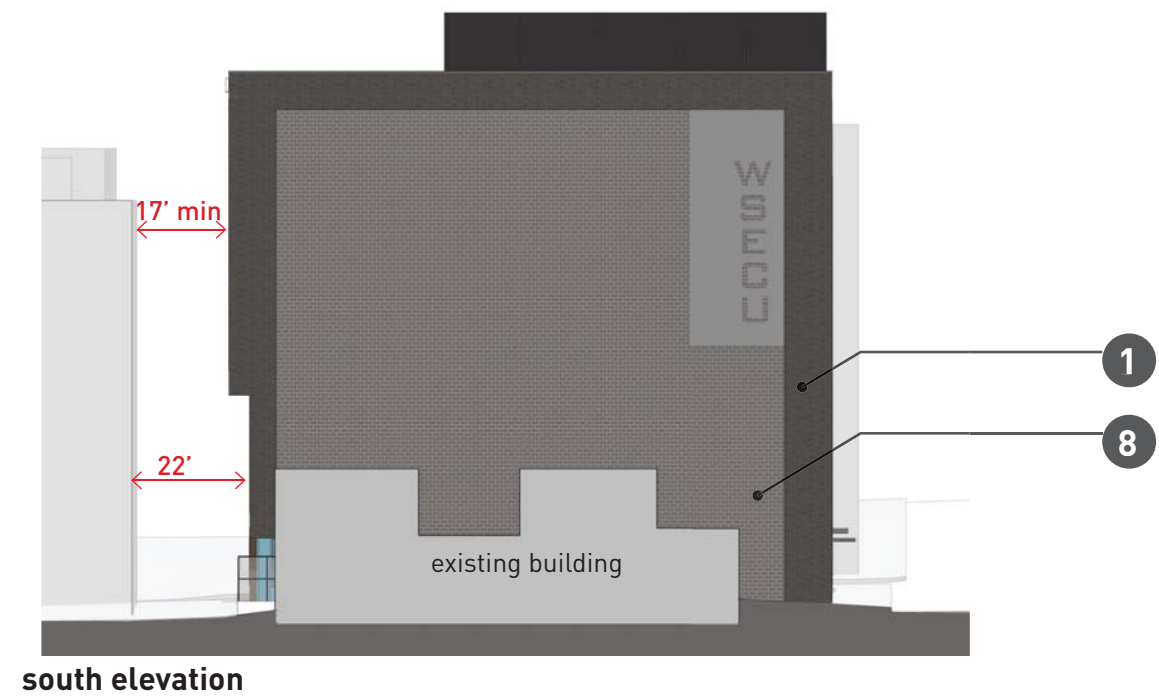
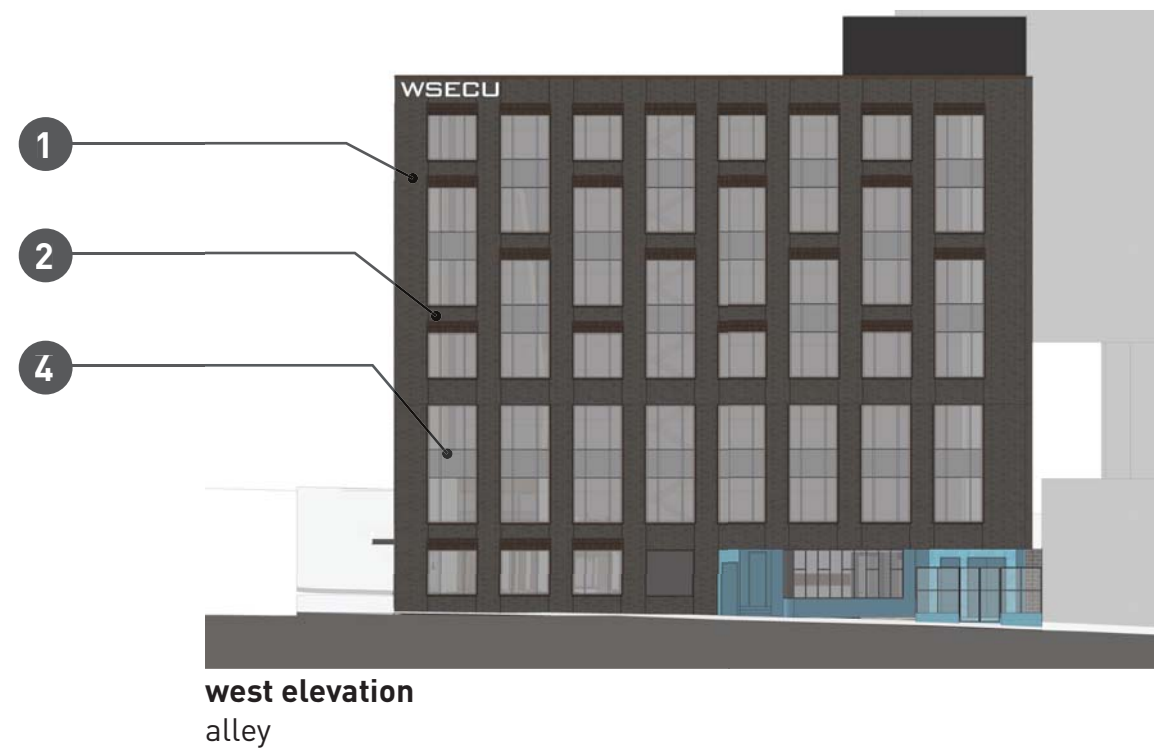
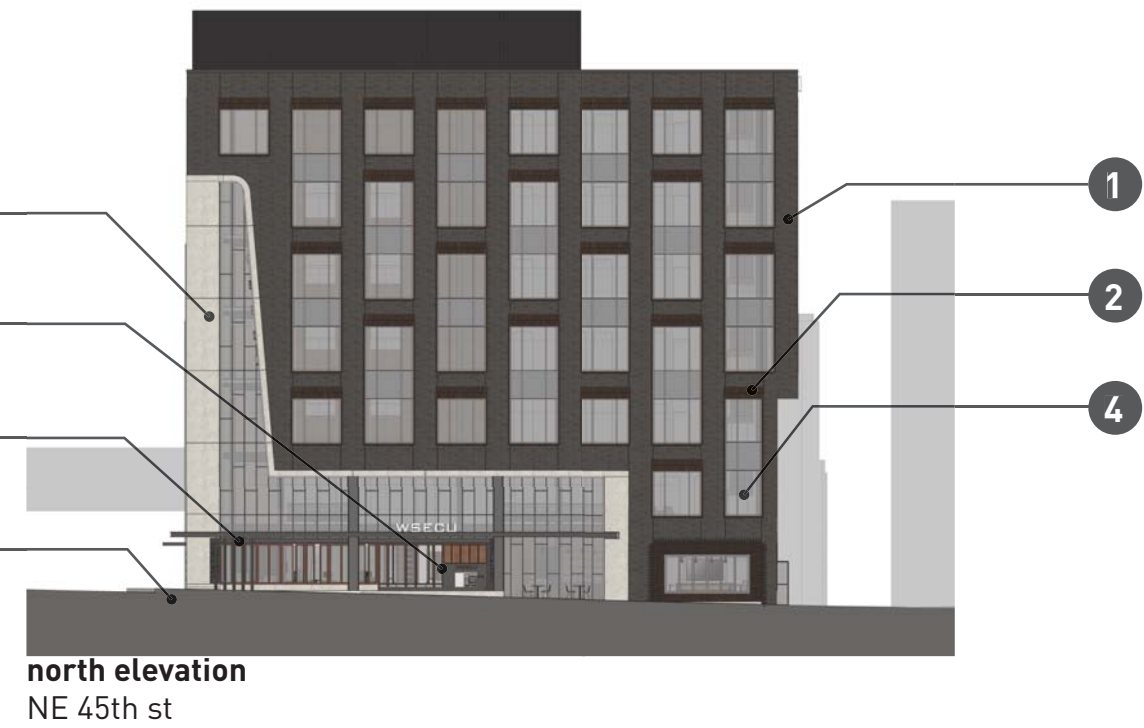
7

windows at first floor
wood cladding

8

CMU at South facade
ground face





EDG comments

6. Blank Facade



a. Detail South facade

- design and detail all four elevations to the same level
- provide street level perspective views and design intent for the blank wall

(DC2-B-2, DC2-D)

Precedent brick wall signage in neighborhood



The Malloy - 4337 15th Ave NE



Starbucks - 4147 University Way NE



University Manor (formerly Malloy Manor) - 1305 NE 43rd St



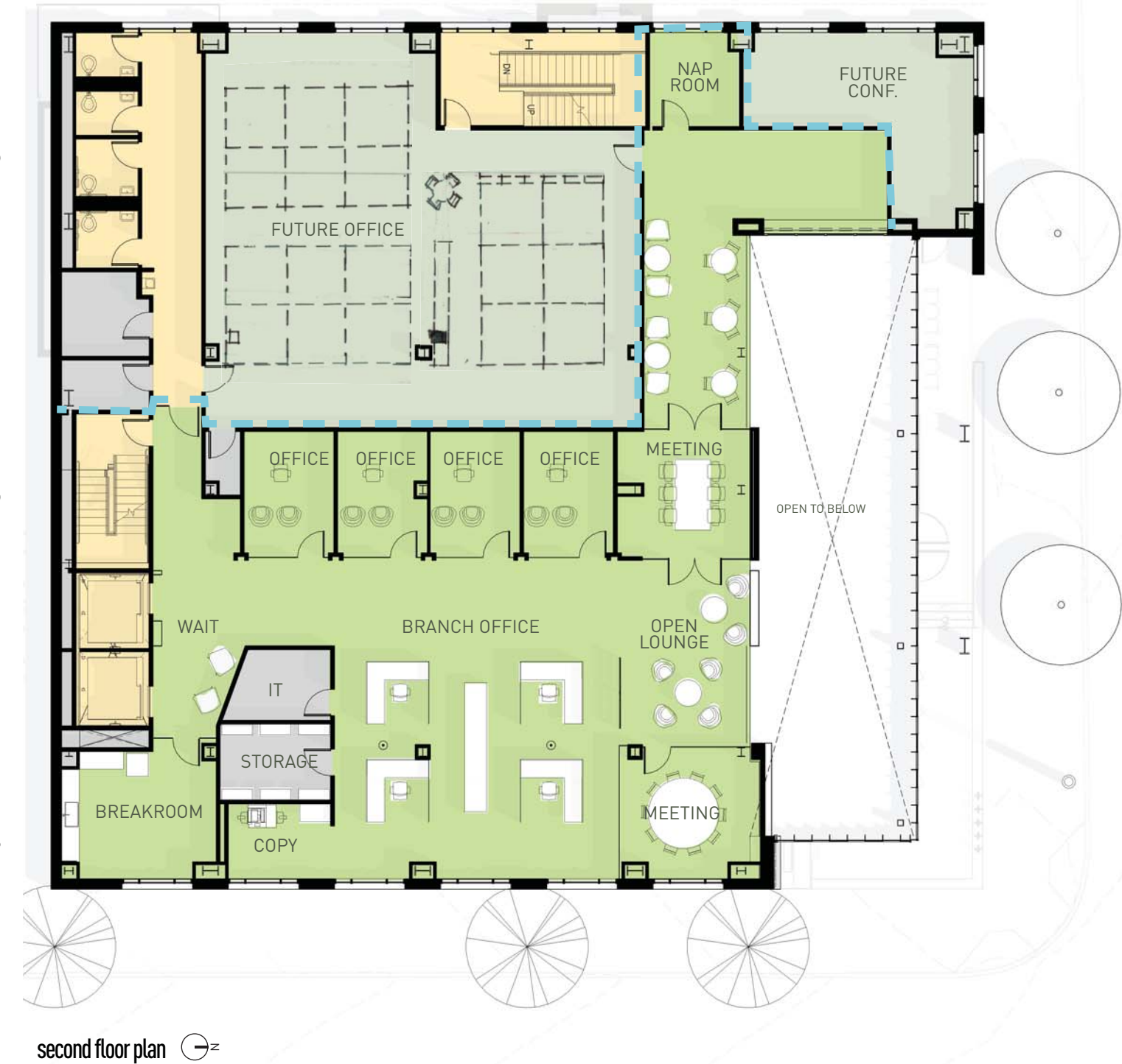
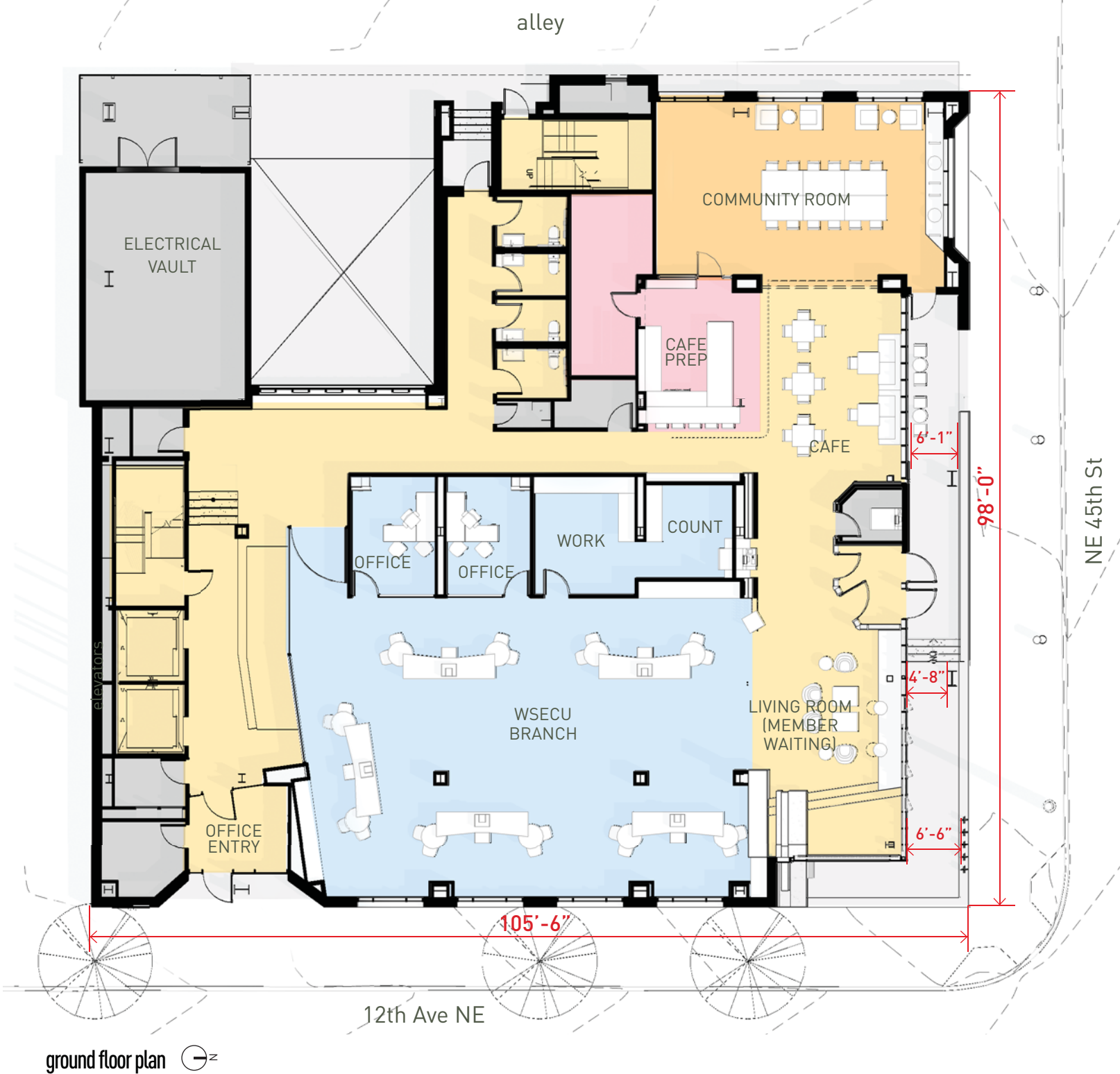
The south façade is composed with the field brick of the main facades returning at the corners and the parapet to complete the “box” and create a “frame” for the inset field material. The inset is a darker-than-standard ground-faced CMU. This is in keeping with a more traditional party wall material application, but with a slightly more refined approach. In addition, the upper right portion of the South wall will be painted such that the contrast against the block will create an identifying “WSECU” sign. This sign will be visible when traveling North on 12th Ave, until future development of the adjacent building covers this wall. This party-wall painted sign treatment is very common on old brick buildings throughout Seattle and the U-District.

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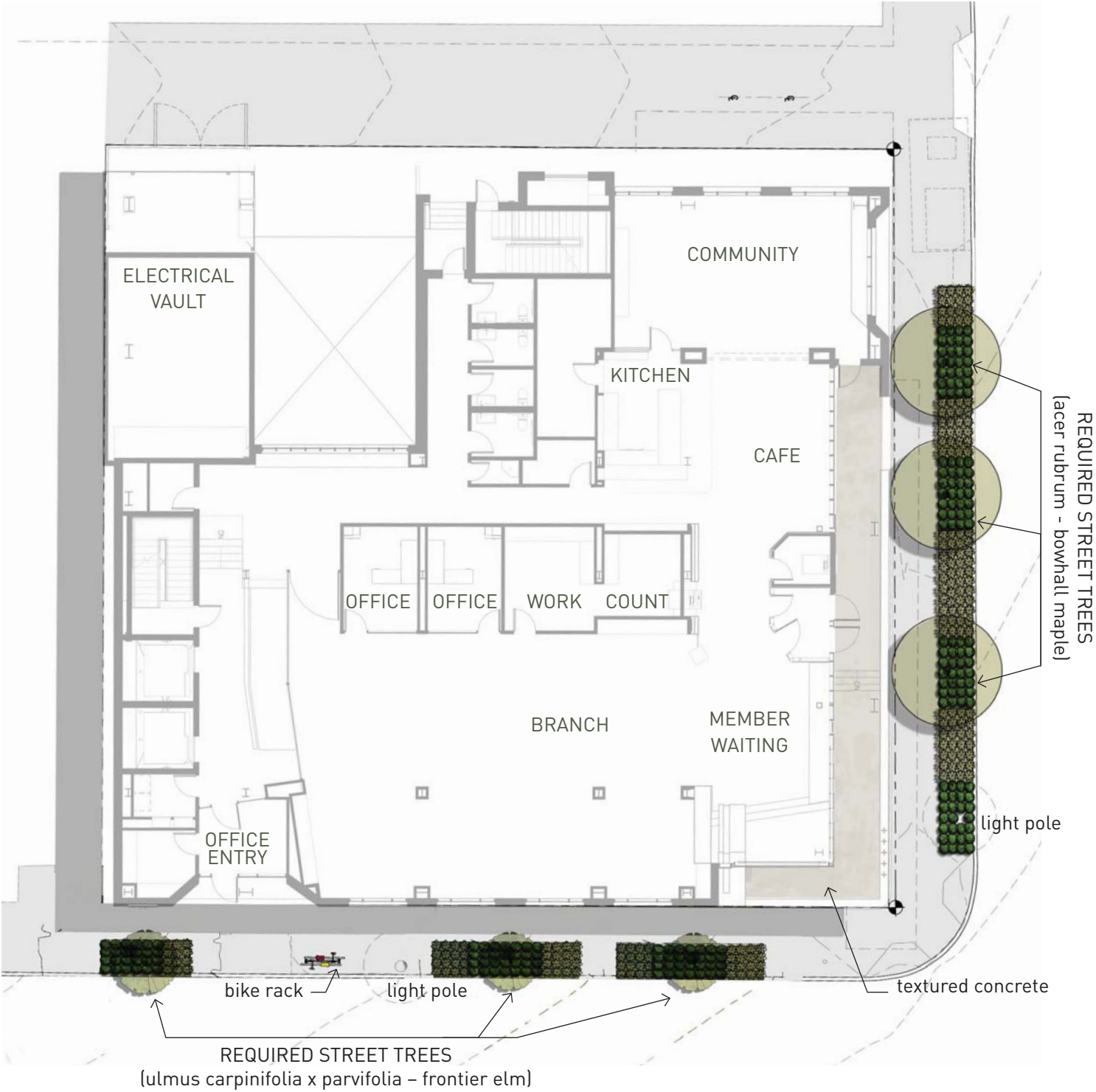
design development

floor plans



exterior ground plane

landscape & hardscape



BOWHALL MAPLE



FRONTIER ELM






DEER FERN



SWEET BOX

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY	SHRUBS	BOTANICAL NAME / COMMON NAME	SPACING	QTY
	Acer rubrum 'Bowhall' / Bowhall Maple	B & B	2" CAL. MIN.	3		Blechnum spicant / Deer Fern	18" o.c.	187
	Ulmus carpinifolia x parvifolia 'Frontier' / Frontier Elm	B & B	2" CAL. MIN.	3		Sarcococca hookerana humilis / Sweet Box	18" o.c.	191

landscape plan

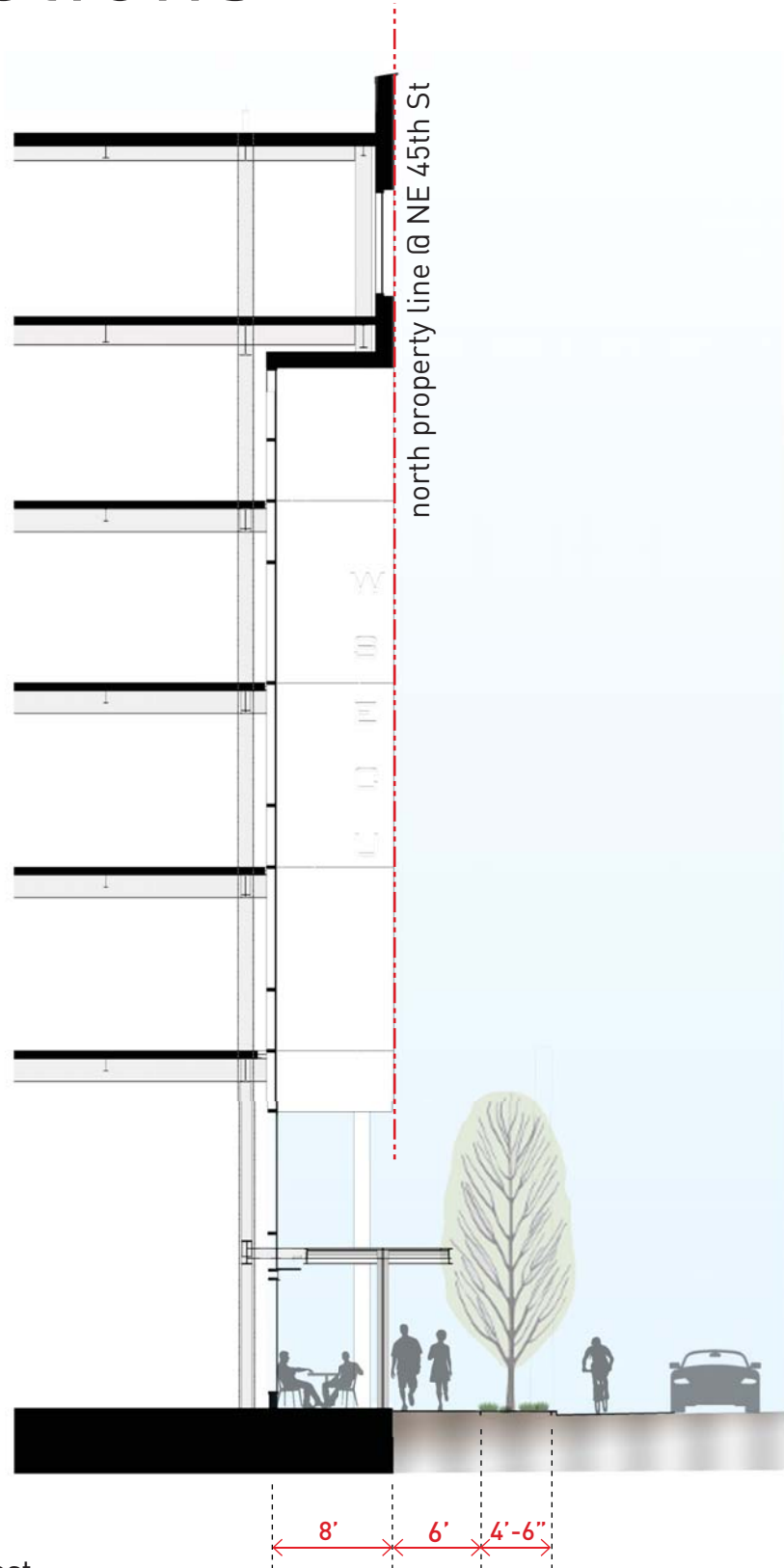


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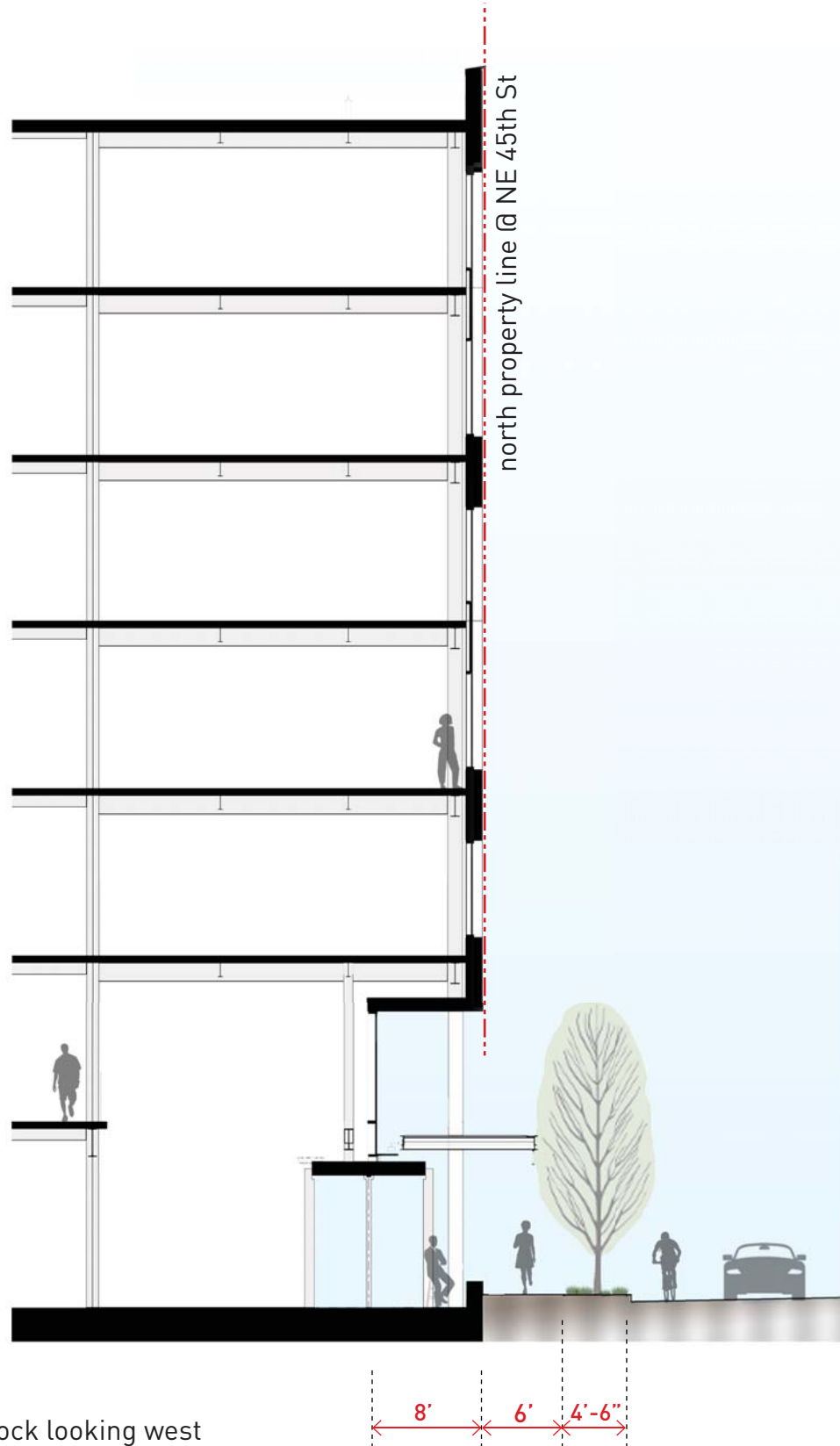
building sections

- LEVEL 8 TOP OF ROOF 264'-0"
- LEVEL 7 FLOOR PLAN 252'-0"
- LEVEL 6 FLOOR PLAN 240'-0"
- LEVEL 5 FLOOR PLAN 228'-0"
- LEVEL 4 FLOOR PLAN 216'-0"
- LEVEL 3 FLOOR PLAN 204'-0"
- LEVEL 2 FLOOR PLAN 192'-0"
- LEVEL 1 FLOOR PLAN 179'-0"



at corner looking west

- LEVEL 8 TOP OF ROOF 264'-0"
- LEVEL 7 FLOOR PLAN 252'-0"
- LEVEL 6 FLOOR PLAN 240'-0"
- LEVEL 5 FLOOR PLAN 228'-0"
- LEVEL 4 FLOOR PLAN 216'-0"
- LEVEL 3 FLOOR PLAN 204'-0"
- LEVEL 2 FLOOR PLAN 192'-0"
- LEVEL 1 FLOOR PLAN 179'-0"



at mid block looking west

departures

no departures requested

Appendix - reference information

The following pages contain background information about the building and site; most of the information was presented at the Early Design Guidance meeting on May 2, 2016. Information has been updated where required per Recommendation Packet Guidelines.

architectural massing concepts

conceptual floor plans (original from EDG)

NOTE: Ground floor plan is the same for all options programmatically, structurally and for site access. The 45th street facade shown below reflects the preferred option 3.



SECOND FLOOR PLAN

design guidelines

preferred option response (original from EDG)

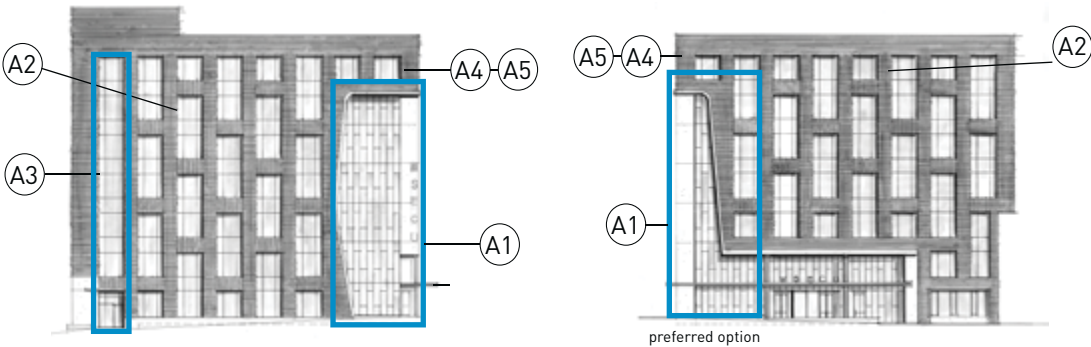
Feature A: Masonry Building w/ Punched Openings

Guidelines Most Enhanced:

- CS2-A.1 – Sense of Place
Create sense of place and strong identity where physical context is less established.
- CS2-A.2 – Architectural Presence
Create design with significant presence and individual identity
Contribute to a strong street edge
Encourage design detail, articulation, and quality materials
- CS3-A.4 – Evolving Neighborhoods
Establish a positive and desirable context for others to build upon in the future
- DC2-B.1 – Façade Composition
Consider the composition and architectural expression of the building as a whole – including the alley façade
- DC4-A.1 – Exterior Finish Materials
Construct of durable materials that are attractive up close and have texture and lend themselves to a high quality of detailing

Characteristics:

- A1 Strong, simple form to visually and physically anchor corner site and establish benchmark for future context.
- A2 Punched windows with unique patterning to avoid monotony and provide visual interest and scale.
- A3 Modified fenestration and secondary canopy to articulate office building entry
- A4 Brick utilized as traditional material to relate to and strengthen some of the historic buildings in the neighborhood and connection to the University of Washington “collegiate” architecture.
- A5 Brick utilized as more human-scaled, pedestrian-friendly skin



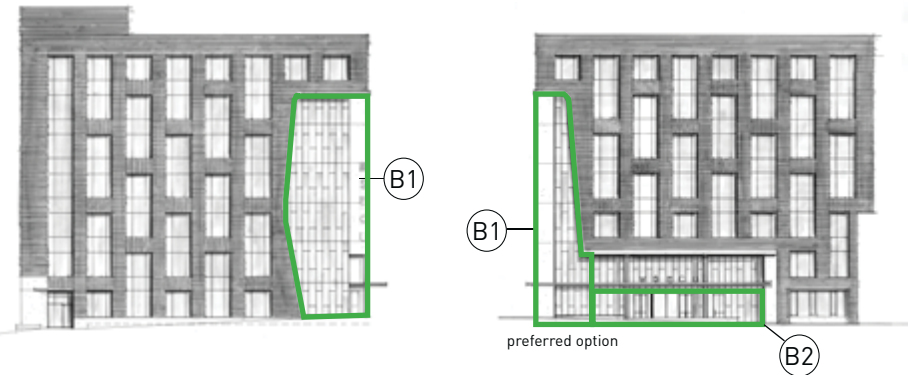
Feature B: Articulated Corner Expression

Guidelines Most Enhanced:

- CS2-A.1 – Sense of Place
Create sense of place and strong identity where physical context is less established.
- CS2-C.1 & CS2 III-i – Corner Sites
Serve as gateway or focal point
Provide extra space for pedestrians and entry expression
Corner set back from pedestrian flow and good visibility at intersection

Characteristics:

- B1 Recessed skin to create multi-story, glazed expression at most visible corner of 12th and 45th
- B2 Signal to entry access zone for pedestrian, retail, and community amenity spaces along 45th



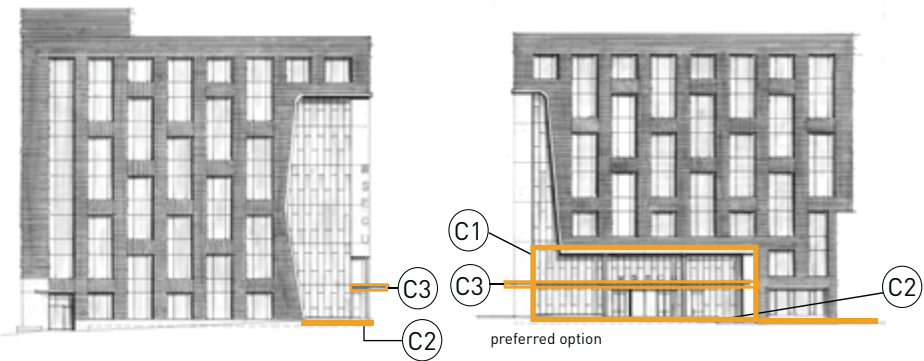
Feature C: Recessed Street Level Façade (along 45th – “Pedestrian Oriented Street”)

Guidelines Most Enhanced:

- PL1-A.2 – Adding to Public Life
Provide widened sidewalks, recessed entries
- PL1-B.3 – Pedestrian Amenities
Provide seating, lighting, awnings, large storefront windows, and engaging retail displays
- PL2-B.3 – Street-Level Transparency
Ensure transparency of street-level uses
- PL2-C.1 – Weather Protection – Location and Coverage
Provide continuous coverage at entries and retail uses that also addresses topography

Characteristics:

- C1 Two story, fully-glazed façade along 45th with access to retail and community amenity spaces
- C2 Pedestrian-oriented amenities for gathering / seating within widened sidewalk area
- C3 Overhead weather protection along entire glazed retail facade along NE 45th st



zoning

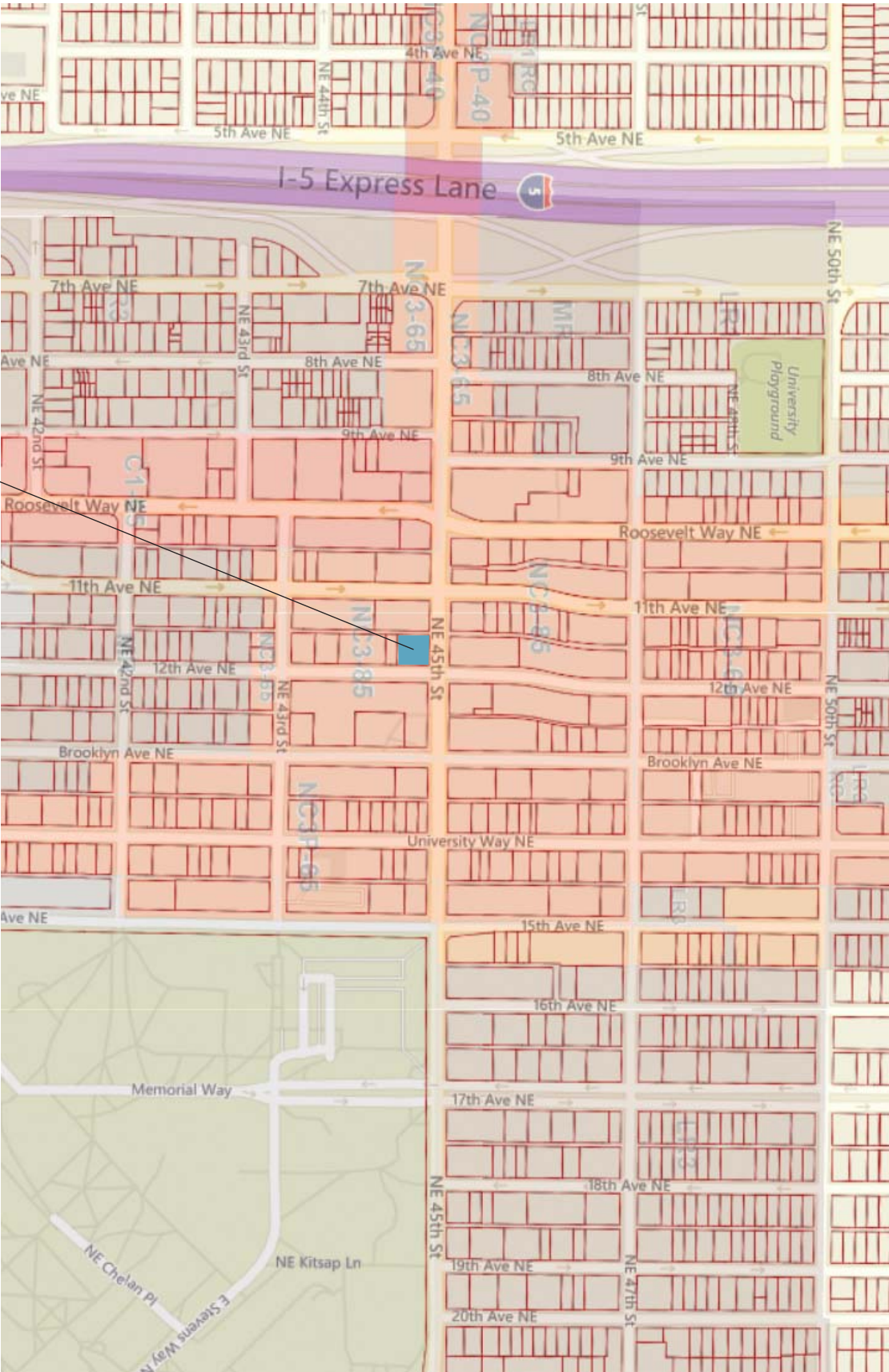
summary & data (updated from EDG)

Neighborhood Commercial - NC3-85

- **Designations / Overlays:** University District Northwest (Urban Center Village) overlay; Light Rail [45] and Frequent Transit; no ECA designations
- **Use Requirements:** Along designated principal pedestrian streets, certain uses are required along 80 percent of the street-level street-facing facade - **NE 45th Street is a designated principal pedestrian street.**
- **Proposed Uses:** Commercial Building (66,750 GFA) - 7 stories
 - 33,000 GSF of below-grade parking for 60 cars [P1-P3]-
 - 8,104 GFA of "Retail" - Floor 1
 - 59,264 GFA of Office space - Floors 2-7
- **Structure Height:** 85' height limit with some allowable extensions. Proposal is within limit.
- **FAR:** FAR is 6 Max (w/in Station Area Overlay District) = 66,750 GFA. No incentive available. Proposal is within limit.
- **Street-level Development Standards:** Transparency required for 60% of a street-facing facade. Blank facade provisions apply. Nonresidential uses at street level must have an average depth of 30' and have a minimum height of 13' floor-to-floor. Overhead weather protection for at least 60% of the length of principal pedestrian street. Proposal meets standards.
- **Alley Dedication:** Proposal must dedicate to 10' from center line of alley to a height of 26'. Proposal meets requirement with 3' dedication.
- **Parking Access:** Must be from the alley. Proposal meets requirement.
- **Parking Quantity:** No minimum parking is required in Urban Centers, and portions of Urban Villages with frequent transit service within 1/4 mile. Proposal to provide parking.
- **Loading Location and Quantity:** Per use square footages, 1 loading berth is required for office use and (0) berths are required for retail use. Proposal includes one berth located along alley with requisite additional setback - 12' from center line of alley to face of building.

- NC3-85
- NC3-65
- LR1
- LR3
- C1-65
- MR

WSECU SITE
NC3-85



NOTE: Entire U-district neighborhood is pending a substantial upzone within the next year or so. Substantial contextual transition is anticipated.

summary context analysis

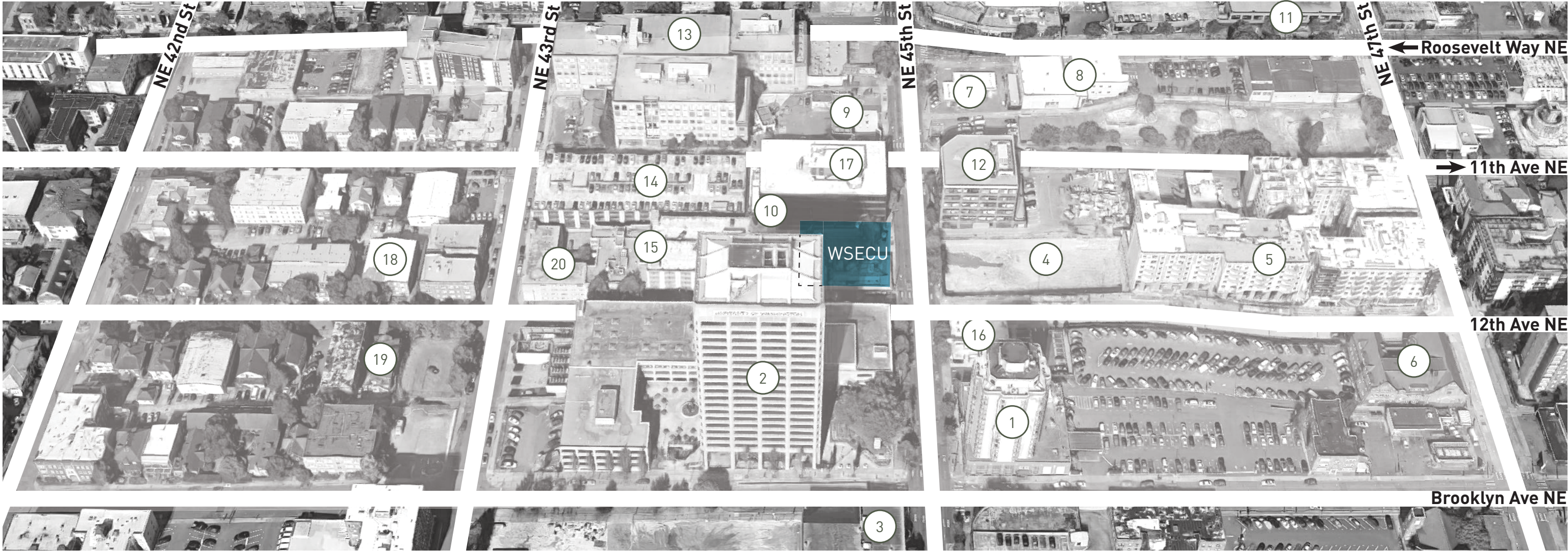
zoning - surrounding context usage (original from EDG)

- restaurant/ cafe
- grocery store
- retail
- multi-family/ hotel
- single-family
- religious
- office
- parking
- structured parking



summary context analysis

9 block aerial & vicinity map (original from EDG)



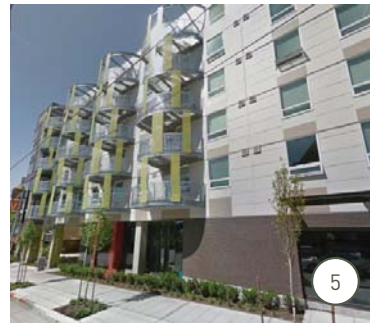
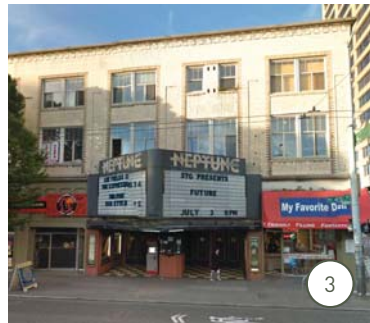
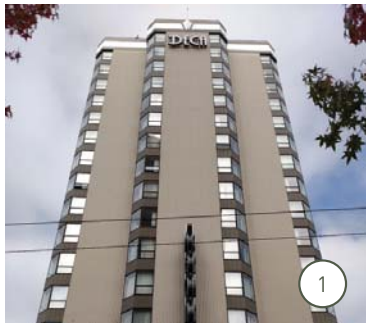
1 community nodes, architecture, and landmarks (see opp. page)



summary context analysis

surrounding architecture (original from EDG)

1. Hotel Deca (15 stories)
2. UW Tower (22 stories - 325ft)
3. Neptune Theatre (3 stories)
4. Residence Inn - extended stay hotel (7 stories)
5. AVA U district - apartment building (6 stories)
6. Cross & Crown Church (3 stories)
7. ONP Auto Hobbies - Permanently closed (1 story)
8. University Mazda - car dealership (3 stories)
9. Shell - gas station (1 story)
10. U District Family Dentistry (2 stories)
11. Trader Joe's - grocery store (2 stories)
12. Existing WSECU branch (6 stories)
13. Roosevelt Commons - Seattle Children's Hospital administrative building (5 stories)
14. UW parking garage (5 stories)
15. UW parking garage (5 stories)
16. Qdoba Mexican Grill & Washington Federal Bank (2 stories)
17. University District Building (UDB) - leased office spaces (5 stories)
18. Goss Apartments (3 stories)
19. Single Family Home (3 stories)
20. Collegiana Hospitality House - UW Medicine Patients lodging (3 stories)



summary context analysis

vehicular/pedestrian access & open spaces (original from EDG)



WSECU - NE 45TH ST & 12TH AVE NE

Recommendation Proposal: 2016.11.21

existing site plan

site features & photos (original from EDG)

site survey and tree locations

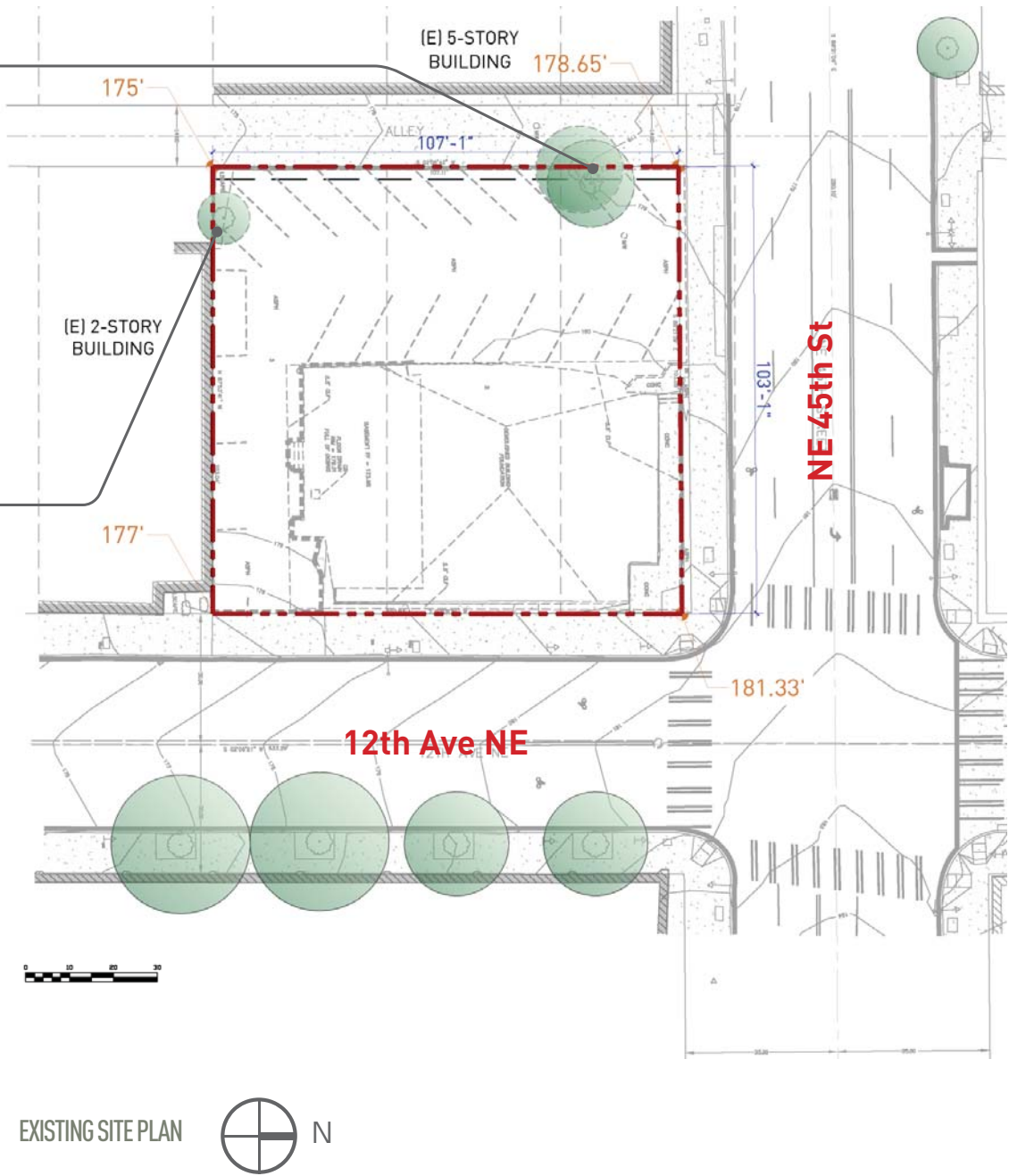
birch tree - not significant
less than 12" dia. trunk



birch tree - not significant
less than 12" dia. trunk



NOTE: Existing trees
are located in alley
dedication.





appendix

proposed site plan

(updated from EDG)



existing site conditions

- **Dimensions:** 107.89' x 103' (11,113 SF footprint)
- **Lot Area:** 11,113 SF
- **Coordinates:** Latitude (N): 47.661108; Longitude (W): -122.315798; Elevation: 179 Feet Above Sea Level
- **Bordering Streets & Classifications:** The property is bounded by NE 45th Street to the North, 12th Ave NE to the East, and an alley to the West. NE 45th Street is classified as a Minor arterial. 12th Ave NE is classified as an access street (both commercial and residential)
- **Site Description:** Vacant site currently used for parking. No significant trees. Topography has 6' elevation gain from SW corner up to NE corner of site.





PEDESTRIAN ACCESS

VEHICULAR ACCESS



acer rubrum - bowhall maple

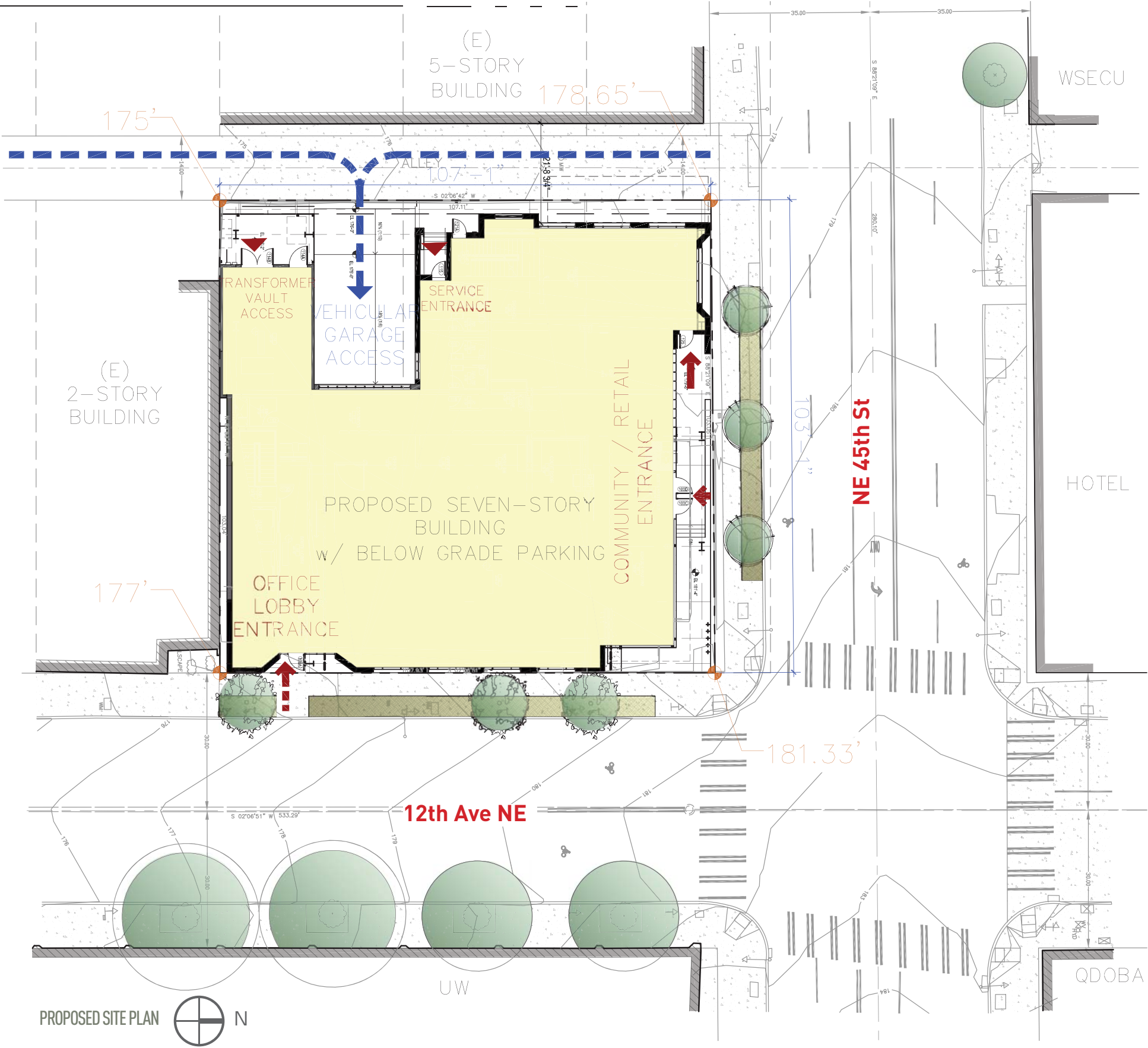
ulmus carpinifolia x parvifolia - frontier elm



PROPERTY DESCRIPTION: (PARCEL NO. 114200-0400)

LOTS 1, 2, AND 3, BLOCK 4, BROOKLYN ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 32, IN KING COUNTY, WASHINGTON; EXCEPT THAT PORTION OF SAID LOT 1, LYING NORTH OF A LINE 35 FEET SOUTH OF AND PARALLEL WITH THE SECTION LINE BETWEEN SECTIONS 8 AND 17, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M. IN KING COUNTY, WASHINGTON, CONDEMNED FOR STREET PURPOSES IN KING COUNTY SUPERIOR COURT CAUSE NO. 42256, AS PROVIDED BY ORDINANCE NO. 10566 OF THE CITY OF SEATTLE.

SITE ADDRESS:
1121 NE 45TH STREET SEATTLE, WA 98105



site context relationship



adjacent south property - north elevation



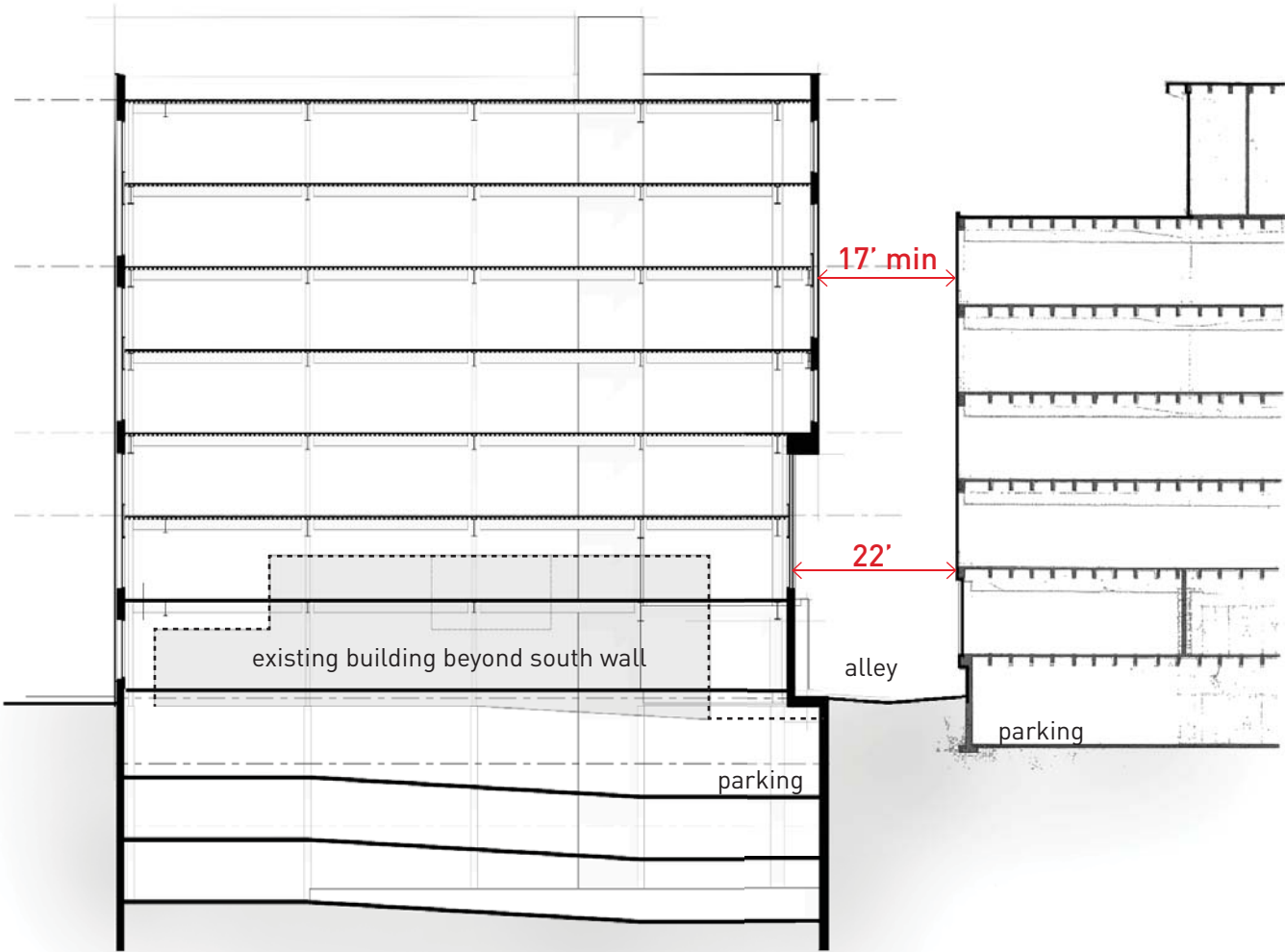
west elevation



adjacent west property



alley looking north



building site section looking south