



**5512, 5516 17th Avenue NW**  
**New Mixed-use Multifamily Development**  
DESIGN RECOMMENDATION MEETING

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DPD PROJECT NO.:  
3021541

DRB MEETING DATE:  
October 17, 2016

**caron**

CARON REF #2015.032

*Note: Renderings and elevations throughout the packet are for illustrative purposes only. Refer to material board for actual colors.*

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Project Team

OWNER  
Greenbuild Development

CARON ARCHITECTURE CONTACT  
Kusumarn Chaijumroonpun  
kusic@caronarchitecture.com  
206.367.1382  
Caron Project Ref #: 2015.032

Site Information

ADDRESS:  
5512, 5516 17th Avenue NW, Seattle WA 98107

DPD PROJECT #:  
3021541

PARCEL(S):  
2767700616  
2767700615

ZONING:  
NC3-85

LOT SIZE:  
7,798 SF

BUILDING HEIGHT MAX:  
85'

OVERLAY DESIGNATION:  
Ballard Hub Urban Village

FREQUENT TRANSIT:  
Yes

ECA:  
None

LEGAL DESCRIPTION:  
Gilman Park Add S 1/2, Gilman Park Add N 1/2.

ALLOWABLE FAR:  
TOTAL FAR: 6 (46,788 SF), provided that FAR limit for either residential or non-residential use shall not exceed 4.5 (35,091 SF)

REQUIRED PARKING STALLS:  
None required

Proposed Development Statistics:

Total Far: 38,730 SF  
Total Residential FAR: 35,040 SF  
# Residential Units: 88  
# Live/work Units: 2  
Commercial Retail SF: 1,700  
Parking Stalls: 0, none required  
Bike Stalls: 72



PROJECT INTRODUCTION

DEVELOPMENT OBJECTIVES:

The proposed development will create a 7-story mixed-use building with 88 residential units (85 SEDUs, 3 regular apartments) at the corner of NW 56th Street & 17th Avenue NW. Residential entry lobby and approximately 1,700 SF of retail space and two live/work units will be provided at ground level. Residential storage and a majority of bike storage will be provided at the underground level. Additional bike storage will be provided on ground level. Amenity space for residents will be provided on the rooftop deck, and a gym will be located on the second level. Private patios for certain units will be available on the second level, as well as balconies for units facing east. Parking is not required. The project aims to create a strong urban edge and a marker at the corner for people traveling in Ballard.

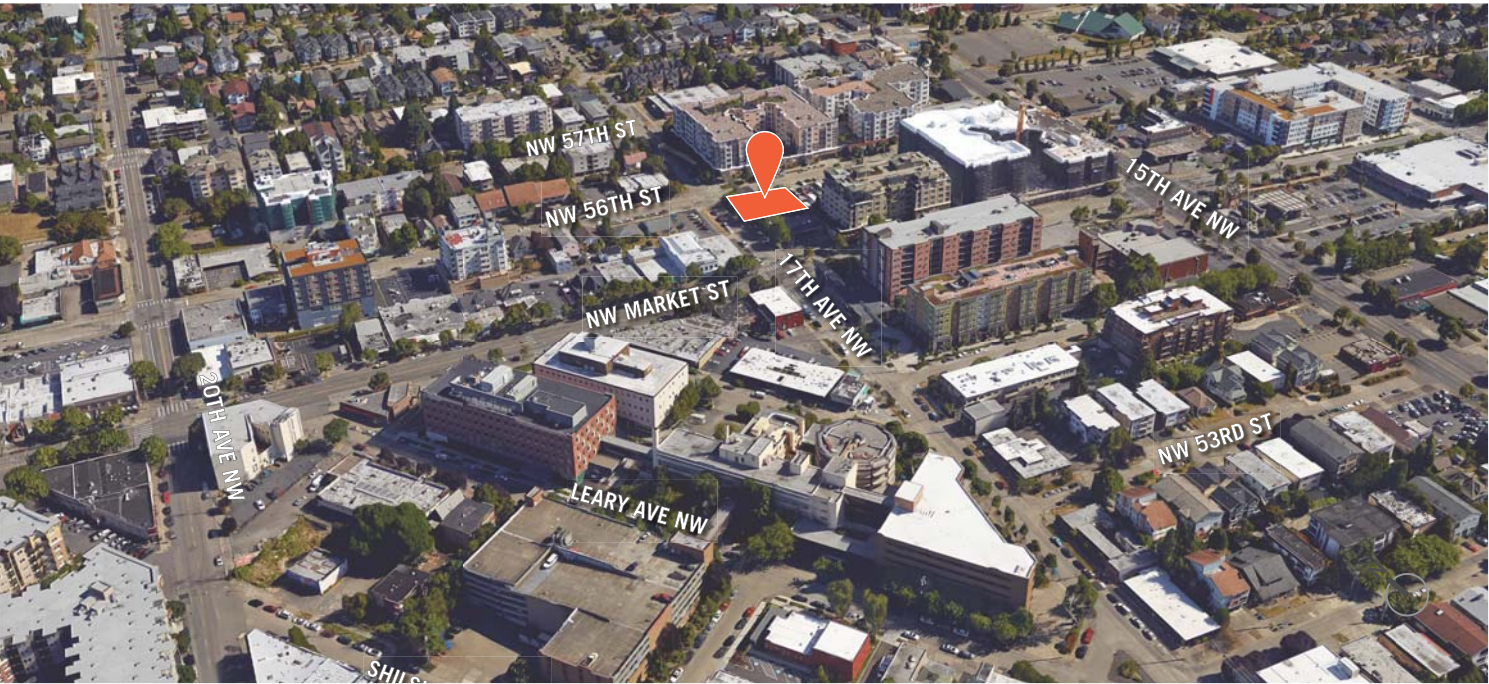
DEVELOPMENT SUMMARY:

LEVEL	TOTAL SF	RESID. FAR SF	# UNIT	LIVE/ WORK	RETAIL SF	USE
Roof	575	500	-	-	-	Residential Amenity
7	5,664	5,478	15	-	-	Residential
6	5,664	5,478	15	-	-	Residential
5	5,698	5,525	15	-	-	Residential
4	5,698	5,525	15	-	-	Residential
3	5,564	5,382	15	-	-	Residential
2	5,602	5,420	13	-	-	Residential / Amenity
1	5,950	1,732	-	2	1,700	Commercial / Live-Work / Res.
B	3,385	0	-	-	-	Residential Amenity / Mech.
Total	43,800	35,040	88	2	1,700	

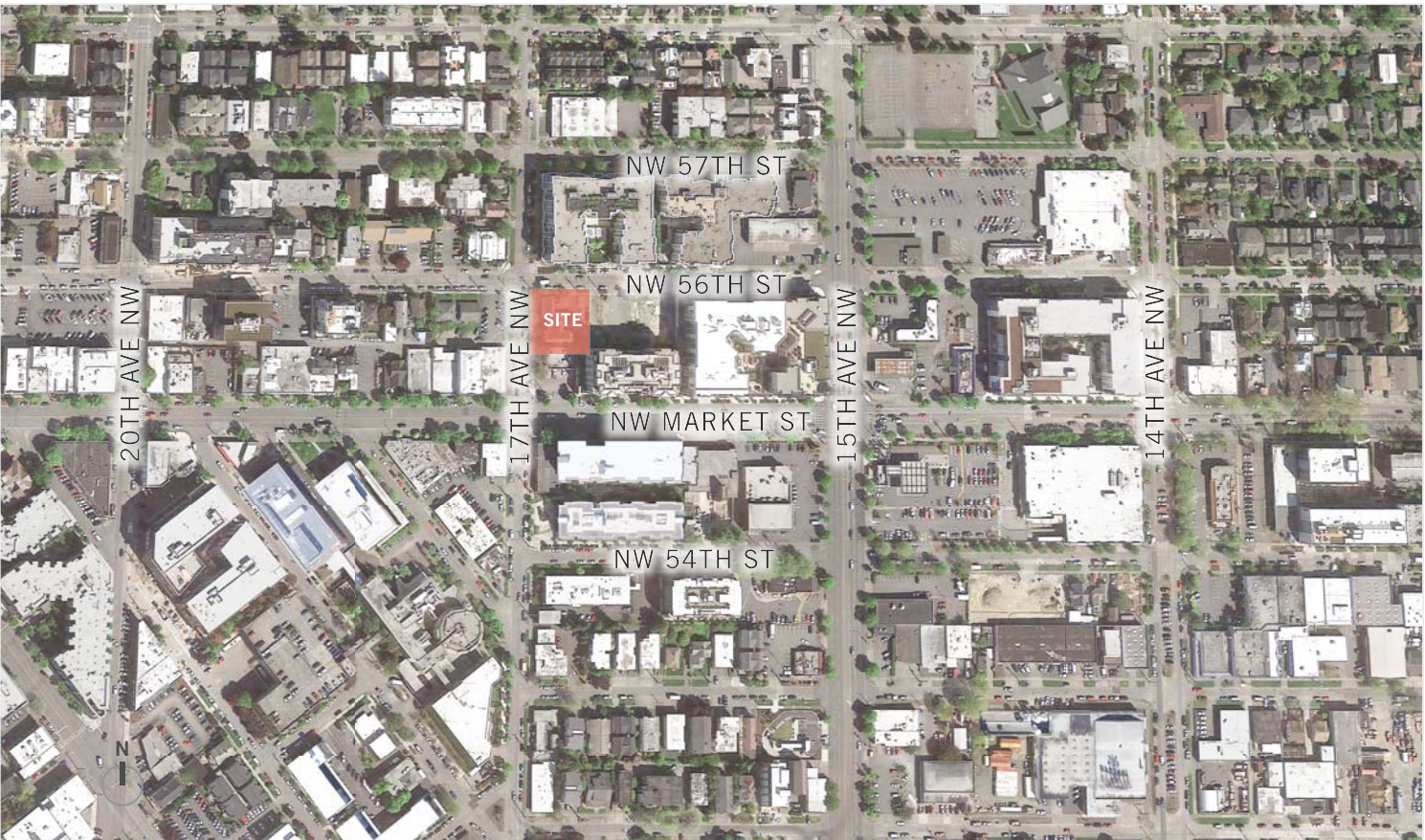
SITE DESCRIPTION:

The site is located in the heart of the Ballard neighborhood, at the corner of NW 56th Street & 17th Avenue NW. It lies within the Ballard Hub Urban Village. Zoning is designated NC3-85. Commercial, mixed-use, multifamily, and single family buildings run along both NW 56th Street and 17th Avenue NW. The site is within a short walking distance to many shops, restaurants, convenience stores and grocery stores, as well as many institutional facilities such as a library, post office and bus stops.

There is currently an office building, 2-story wood structure located on the site. High-voltage power lines run along the west property lines parallel to 17th Avenue NW. The high voltage power lines along NW 56th Street will be underground. The site is relatively flat, with approximately 4 ft. of grade change along 17th Avenue NW. The site is bordered to the south by a 1-story retail building (7-Eleven convenience store) and to the east by a new 7-story mixed-use building currently under construction.



AXONOMETRIC MAP



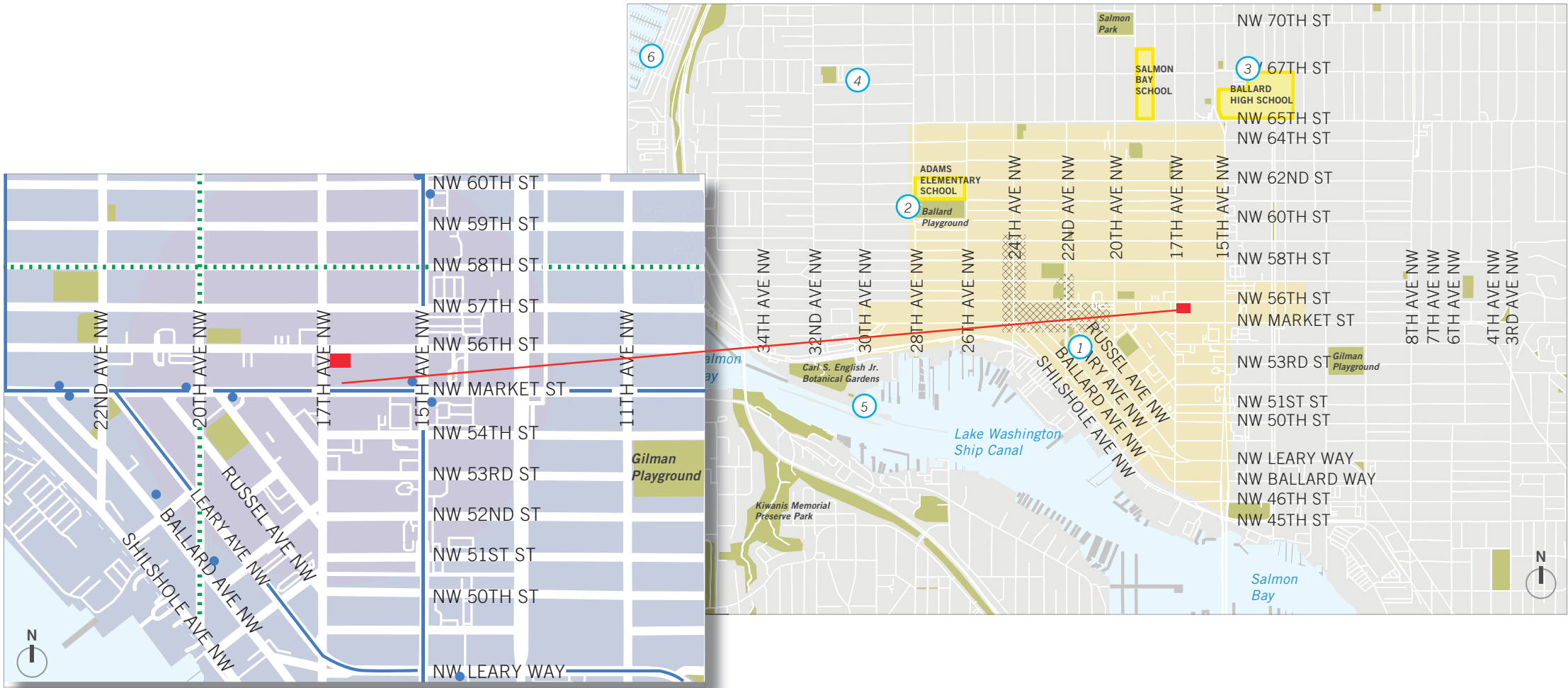
AERIAL 9 BLOCK MAP



SITE VICINITY

VICINITY & WALKING MAP KEY

- SITE
- PARK
- WATER
- PEDESTRIAN AREA
- TRANSIT RUNS
- BUS STOPS
- BIKE FRIENDLY STREETS
- VIEW
- 5 MINUTE WALK
- BALLARD HUB URBAN VILLAGE OVERLAY
- FREQUENT TRANSIT CORRIDOR
- SCHOOL



VICINITY PHOTOS:



Source: RealEstateGals.com

1 OLD BALLARD/ BALLARD AVENUE HISTORIC DISTRICT  
DISTANCE FROM SITE (0.5 MI):  
4 MIN. 11 MIN.



Source: Yelp

2 BALLARD COMMUNITY CENTER  
6020 28TH AVENUE NW  
DISTANCE FROM SITE (0.9 MI):  
5 MIN. 18 MIN.



Source: Wikipedia

3 BALLARD HIGH SCHOOL  
1418 NW 65TH STREET  
DISTANCE FROM SITE (0.7 MI):  
4 MIN. 12 MIN.



Source: Seattleite.com

4 NORDIC HERITAGE MUSEUM  
3014 NW 67TH STREET  
DISTANCE FROM SITE (1.4 MI):  
7 MIN. 26 MIN.



Source: Capecentralhigh.com

5 HIRAM M. CHITTENDEN LOCKS  
3015 NW 54TH STREET  
DISTANCE FROM SITE (0.9 MI):  
6 MIN. 18 MIN.



Source: Wikipedia

6 SHILSOLE BAY MARINA  
7001 SEAVIEW AVENUE NW  
DISTANCE FROM SITE (2.3 MI):  
13 MIN. 43 MIN.



URBAN CONTEXT

SITE ANALYSIS:

The property is located within the Ballard Hub Urban Village. NW Market Street along with Ballard Avenue NW are the major pedestrian streets vibrant with restaurants and shops. This area of Ballard boasts eclectic mix of old and new. With the Ballard Avenue Historic District nearby, there are numerous new construction projects, of various size and scale, planned or under construction in the vicinity among existing historic landmark buildings.

Some notable facilities in near vicinity include Ballard Community Center and Playground on NW 60th Street, Ballard High School on NW 65th Street, and Nordic Heritage Museum on NW 67th Street.

Some natural resources such as Salmon Bay, Hiram M. Chittenden Locks, and Shilshole Bay are notable attractions in this area.

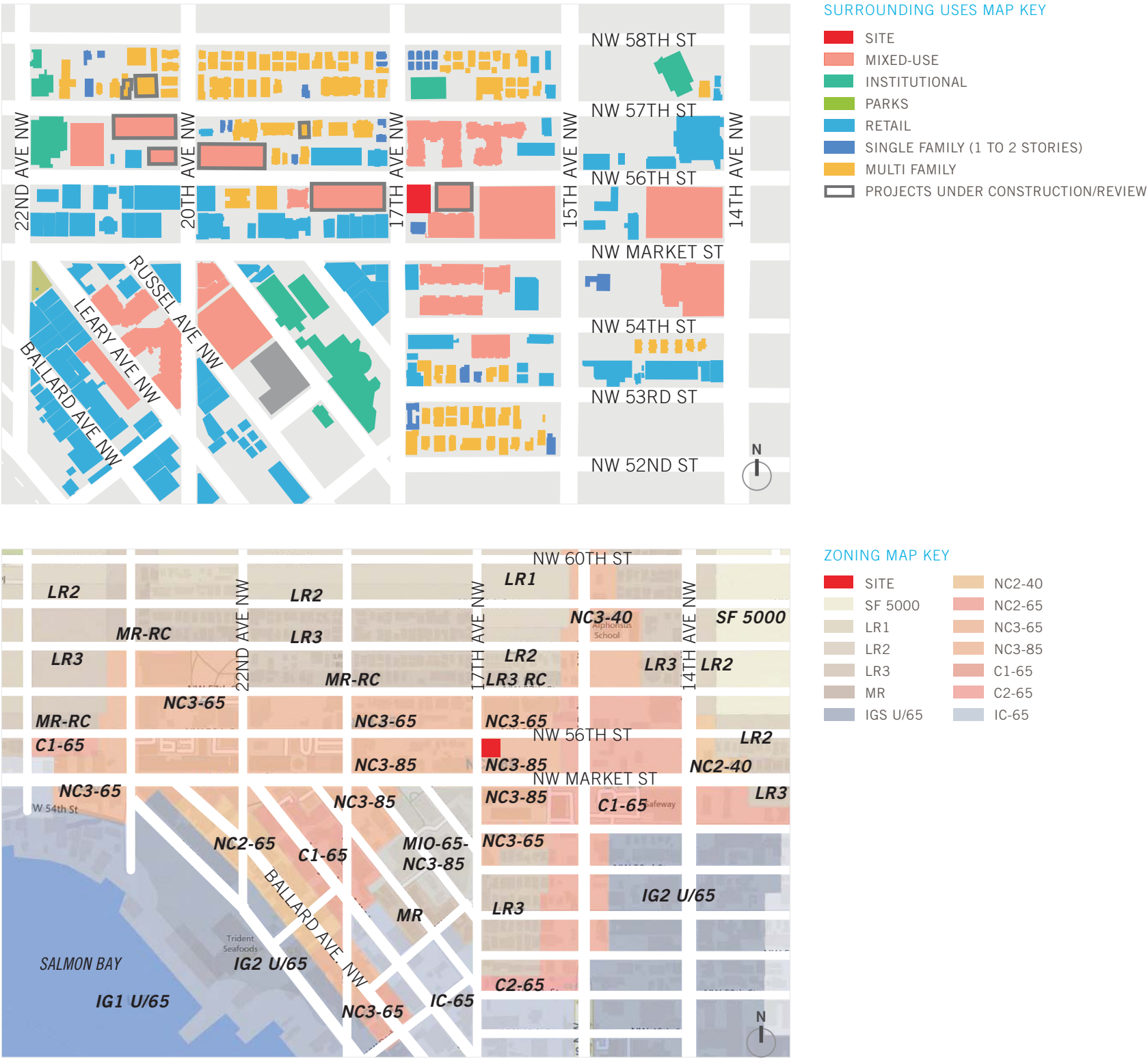
TRANSPORTATION:

The site is located within walking distance to a number of bus stops connecting south to downtown, north to Crown Hill and Greenwood neighborhoods, and east to Fremont, Wallingford and University District.

ZONING ANALYSIS:

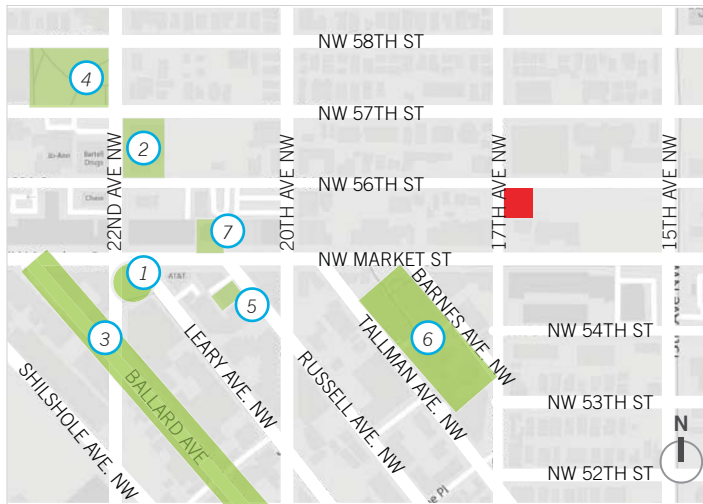
The site is zoned NC3-85, with maximum allowable height at 85feet above average grade. As shown on the zoning map, the site is surrounded by various zones ranging from single family zones (SF 5000) to commercial zones (NC and C zones) and even industrial zones (IG zones). This results in various types of architecture, scale and materials. Surrounding uses also vary greatly ranging from single family houses to multi-family and mixed-use structures, commercial/retail structures and institutional structures. Institutional structures include library, post office, schools, hospitals and churches.

SURROUNDING USES & ZONING





COMMUNITY NODES & LANDMARKS



**1** BERGEN PLACE PARK  
5420 22ND AVE. NW  
DISTANCE FROM SITE (0.3 MI):  
🚲 3 MIN. 🚶 7 MIN.



**2** BALLARD PUBLIC LIBRARY  
5614 22ND AVE. NW  
DISTANCE FROM SITE (0.3 MI):  
🚲 2 MIN. 🚶 6 MIN.



**3** BALLARD AVE. LANDMARK DISTRICT  
DISTANCE FROM SITE (0.5 MI):  
🚲 4 MIN. 🚶 11 MIN.  
*Designated as Landmark District, the neighborhood embodies distinctive characteristics of late 1800s to early 1900s commercial architecture.*



**4** BALLARD COMMONS PARK  
5701 22ND AVE. NW  
DISTANCE FROM SITE (0.4 MI):  
🚲 2 MIN. 🚶 7 MIN.



**5** OLD FIREHOUSE #18  
5427 RUSSELL AVE. NW  
DISTANCE FROM SITE (0.3 MI):  
🚲 2 MIN. 🚶 5 MIN.  
*Designated landmark*



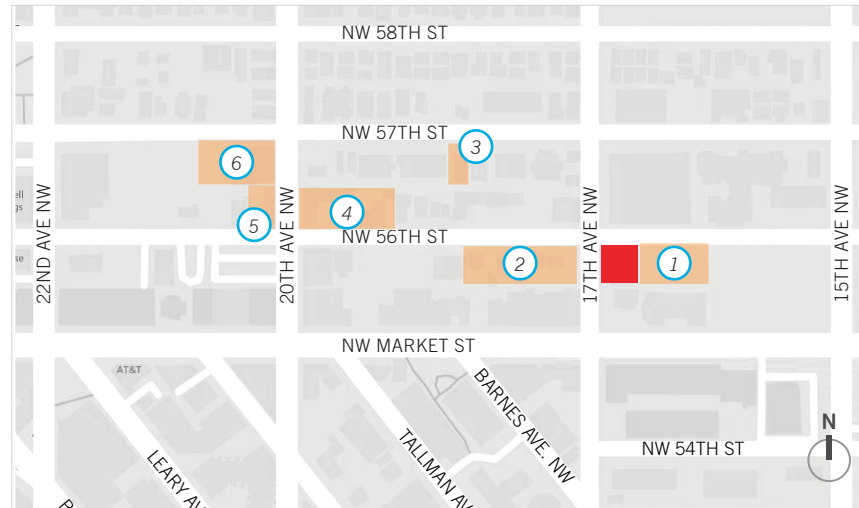
**6** SWEDISH MEDICAL CENTER  
5300 TALLMAN AVE. NW  
DISTANCE FROM SITE (0.2 MI):  
🚲 3 MIN. 🚶 5 MIN.



**7** BALLARD CARNEGIE FREE PUBLIC LIBRARY  
2026 NW MARKET ST.  
DISTANCE FROM SITE (0.2 MI):  
🚲 2 MIN. 🚶 5 MIN.  
*Designated as a Seattle Landmark. Italian Renaissance Revival style architecture.*



## PROJECTS UNDER REVIEW/ CONSTRUCTION



Source/Architect: Weber Thompson

**1** HJARTA II APARTMENTS  
1599 NW 56TH ST.  
106 UNITS



Source/Architect: Clark Design Group

**2** VALDOK I APARTMENTS  
1701 NW 56TH ST.  
176 UNITS



Source/Architect: Caron Architecture

**3** EFFICIENCY APARTMENTS  
1731 NW 57TH ST.  
48 UNITS



Source/Architect: Ankrom Moison

**4** VIK BALLARD CONDOMINIUMS  
1760 NW 56TH ST.  
117 UNITS



Source/Architect: Place Architect

**5** SALTWORKS APARTMENTS  
5601 20TH AVE. NW  
35 UNITS & 3 LIVE/WORK

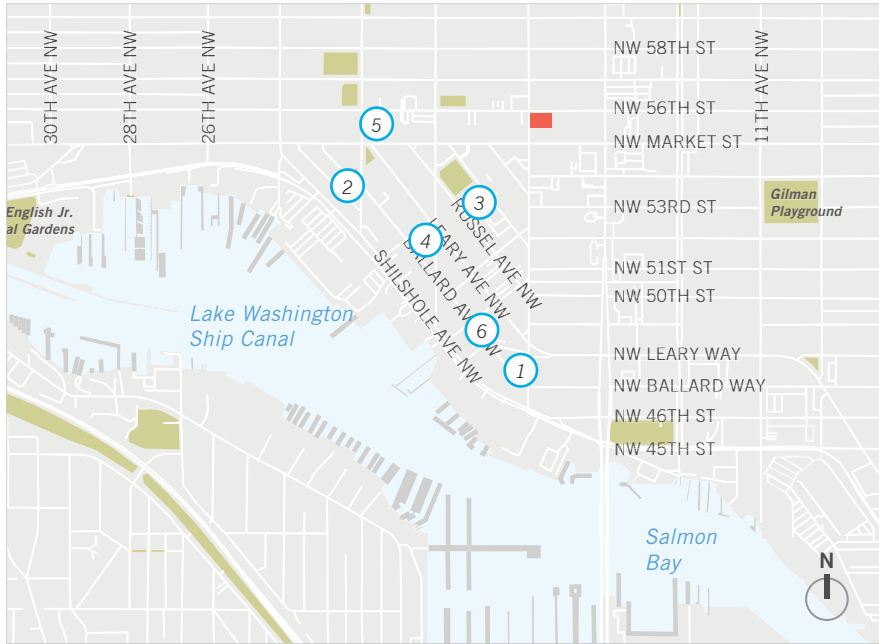


Source/Architect: Tiscareno Assoc.

**6** MODERA APARTMENTS  
2003 NW 57TH ST.  
118 UNITS & 14 LIVE/WORK



NEIGHBORHOOD HISTORIC BUILDING PHOTOS



**1** KOLSTRAND BUILDING, 4741 BALLARD AVENUE NW  
BUILT IN 1910  
*Adaptive reuse project. New transparent storefronts are inserted into the existing historic building.*



**2** PORTLAND BUILDING, 5403 - 5407 BALLARD AVENUE NW  
BUILT IN 1901  
*The original decorative brick work is well preserved. The rhythm of wider openings at ground level and smaller punched openings above is typical of the structures built in early 1900s.*



**3** LOUISA BUILDING, 5228 20TH AVENUE NW  
BUILT IN 1902  
*Two story brick building with large trabeated openings on the ground level. Narrow brick piers dividing the storefronts.*



**4** BANK BUILDING, 5300 BALLARD AVENUE NW  
BUILT IN 1902  
*Two story structure boasting the Second Empire Baroque style. The corner of the building is emphasized with open storefront at ground level and curvilinear ornaments on the roof.*



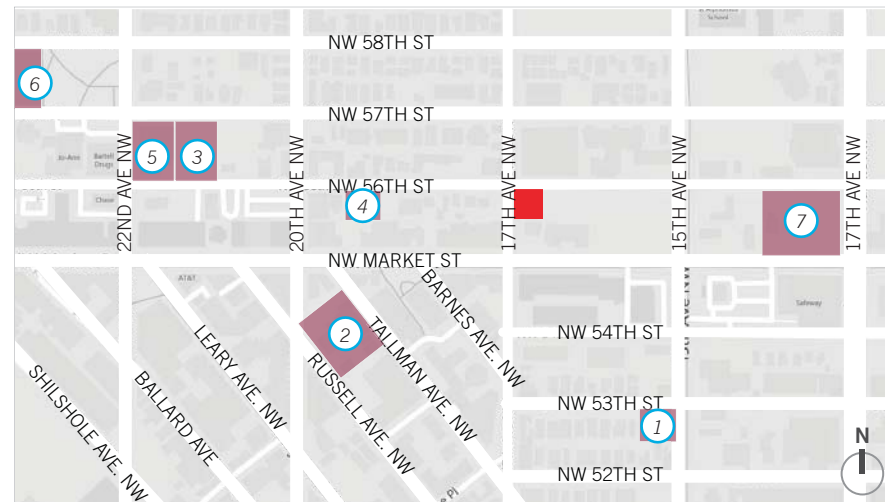
**5** BALLARD BUILDING, 2200 NW MARKET STREET  
BUILT IN 1923  
*Ornate horizontal banding breaks the building massing into two. The later addition to the building at the top adds another horizontal layer into the building.*



**6** FLATIRON BUILDING, 5130 BALLARD AVENUE NW  
BUILT IN 1896  
*Two story brick building with wide trabeated opening at ground level, smaller punched openings above.*



## NEIGHBORHOOD VICINITY PHOTOS



**1** STARBUCKS CONTAINER STORE  
5221 15TH AVENUE NW  
*Retail with materials reflecting Ballard's industrial roots (shipping container, metal siding)*



**2** ODIN APARTMENTS  
5398 RUSSELL AVENUE NW  
*286-unit apartments with modern materials and massing that contrasts with existing historic characteristics of Old Ballard*



**3** GREENFIRE CAMPUS  
2041 NW 57TH STREET  
*18 residential units and 18,000 SF of retail and office community. Use of canopies, sunshades, roof overhangs to provide human scale with rich landscaping along the street.*



**4** NYER URNESS HOUSE  
1753 NW 56TH STREET  
*80-unit supportive housing apartments with simple massing with careful detailing. Prominent residential entry at ground level.*



**5** BALLARD LIBRARY  
5614 22ND AVENUE NW  
*Use of materials such as metal siding and wood rafters reflect the fishing industry roots of Ballard.*



**6** ON THE PARK APARTMENTS  
2233 NW 58TH STREET  
*305-unit apartments with interesting canopy design, street furnitures and landscaping to create usable space at ground level.*



**7** AVA BALLARD APARTMENTS  
5555 14TH AVENUE NW  
*256-unit apartment; creates smaller perceived massing by breaking the facade mass.*

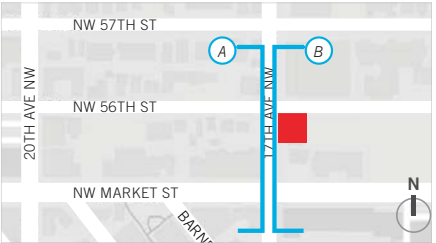


17TH AVENUE NW STREETSCAPES

A 17TH AVENUE NW LOOKING WEST



B 17TH AVENUE NW LOOKING EAST



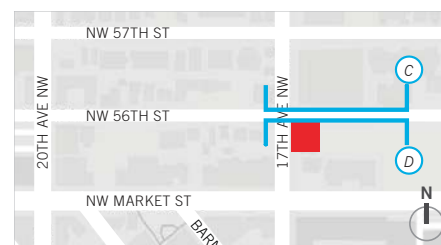


## NW 56TH STREET STREETSCAPES

**C** NW 56TH STREET LOOKING NORTH



**D** NW 56TH STREET LOOKING SOUTH





9-BLOCKS AXONOMETRIC MAP





## CURRENT CONDITIONS

The site is located at the southeast corner of NW 56th Street & 17th Avenue NW., neither street is arterial, but both are heavy with pedestrian traffic due to the close proximity to shops, restaurants and other institutional facilities such as a library and a post office.

On the site currently is a 2-story office building with some surface parking. It is relatively flat with about 4ft of grade change along 17th Avenue NW. There are opportunities for view to the south (Salmon Bay and Mt. Rainier) and west (Olympics).

The site is surrounded by 6 or 7 story new mixed-use buildings. The one immediately east of the site is under construction, and the one west of the site (across the street) is under review. The lot immediately south of the site is one story convenient store (7-Eleven).

There are high voltage power lines along 17th Avenue NW., which will require additional setbacks. The high voltage power lines along NW 56th Street will be underground, posing an interesting challenge for massing of the project.



1 VIEW OF THE SITE FROM NW 56TH ST



1 VIEW OF THE SITE FROM NW 56TH ST, SHOWING CONSTRUCTION SITE TO THE EAST



2 VIEW OF THE SITE FROM 17TH AVE. NW, SHOWING ADJACENT BUILDING TO THE SOUTH



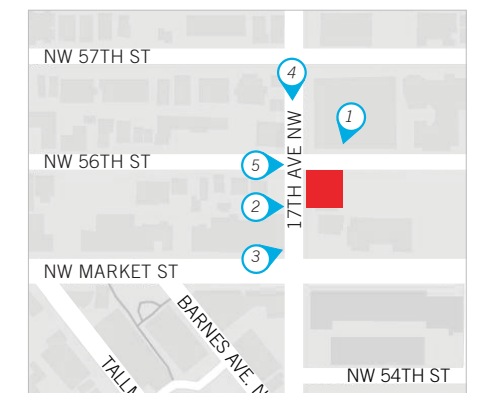
3 VIEW OF 7-11 STORE ON 17TH AVE. NW, SOUTH OF SITE



5 VIEW OF PROJECT UNDER CONSTRUCTION, EAST OF SITE



4 VIEW OF SIDEWALK ALONG 17TH AVE. NW



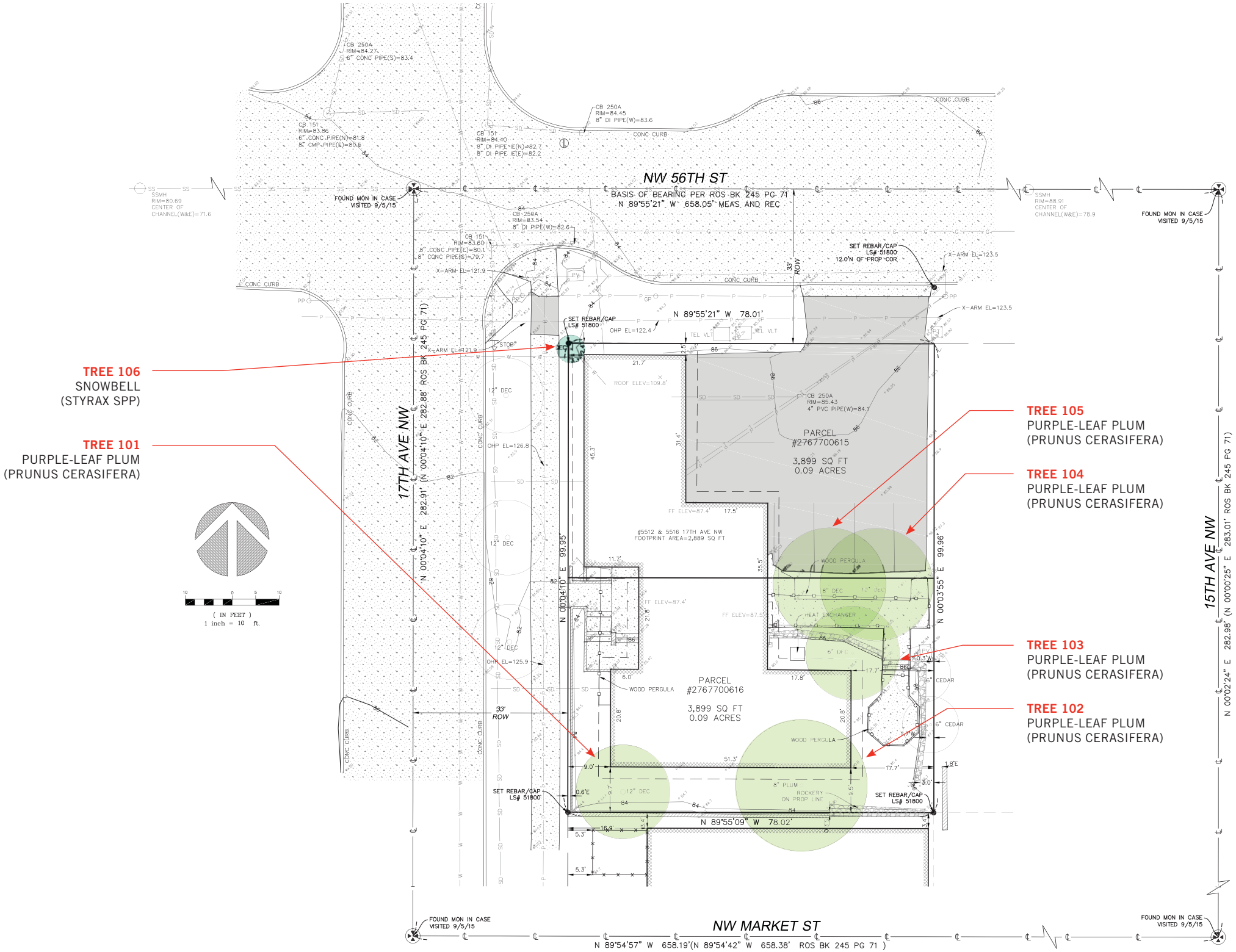


SURVEY

EXISTING TREE MAP KEY

- PURPLE-LEAF PLUM (PRUNUS CERASIFERA)
- SNOWBELL (STYRAX SPP)

\*NOTE: NONE ARE EXCEPTIONAL TREES PER ARBORIST REPORT








CODE COMPLIANCE NC3-85

APPLICABLE ZONING	SMC-SECTION	SUB-SECTION	REQUIREMENT	COMPLIANCE
Street-level Uses	23.47A.005	C	Residential Uses may occupy, in aggregate, no more than 20 percent of street-level, street-facing façade in a pedestrian-designated zone, facing a designated principal pedestrian street or within a zone that has a height limit of 85ft or higher.	Departure Requested. See page 40
Street-level Development Standards	23.47A.008	A.2.b	Blank facades – between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width	✓
		A.2.c	Blank facades may not exceed 40% of the width of façade of along the street	✓
		B.2.a	Non-residential street-level requirements - 60% of street-facing facade between 2 feet and 8 feet above sidewalk shall be transparent.	✓
		B.3	Non-residential uses shall extend an average depth of 30 ft, minimum depth of 15 ft from the street-level street-facing facade.	✓
		B.4	Non-residential uses at street level shall have floor to floor height of 13 ft.	✓
		D.1	Where residential uses are located at street-level street-facing facades at least one street-level, street facing façade shall have a visually prominent entry	✓
		E	The non-residential portion of live/work units, in which the business is conducted, must be located between the street and the residential portion, and shall extend the width of street-level street-facing facade, extend a minimum depth of 15' from street-level street-facing facade.	✓
Structure Height	23.47A.012	A	85 ft height limit	✓
		C.2	Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets and firewalls may extend as high as the highest ridge of a pitched roof or 4 feet above the otherwise applicable height limit, whichever is higher.	✓
		C.4.b	As long as the combined total coverage of all features gaining additional height listed in this subsection does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes stair or elevator penthouses, the stair and elevator penthouses may extend above the applicable height limit up to 16 feet.	✓
FAR (Floor Area Ratio)	23.47A.013	Table A	Total FAR permitted for mixed-use in 85 foot height limit zone is 6, provided that the FAR limit for either all residential uses or all non-residential uses shall not exceed the FAR limit of 4.5.	✓
Landscaping & Screening Standards	23.47A.016	A.2	Landscaping shall achieve a Green Factor score of 0.30 or greater	✓
Amenity Area	23.47A.024	A	Amenity Areas are required in an amount equal to 5 percent of the total gross floor area in residential use.	✓
		B	Required amenity areas shall meet the following standards: all residents shall have access to at least one common or private amenity area; the amenity area shall not be enclosed; parking areas do not count as amenity areas; common amenity areas shall have a minimum horizontal dimension of 10 feet and shall not be less than 250 square feet in area; private amenity areas shall have no horizontal dimension less than 6 feet and a minimum area of 60 square feet.	✓
Required Parking	23.54.015	Table A	No parking required for non-residential uses in urban villages that are not within urban centers if the non-residential use is located within 1,320 feet of a street with frequent transit service.	✓
		Table B	No parking required for residential uses in commercial and multifamily zones within urban villages that are not within urban centers if the residential use is located within 1,320 feet of a street with frequent transit service.	✓
		Table D	Long-term bike parking required for Multi-Family structures: 1 per 4 dwelling units or 0.75 per small efficiency dwelling unit. Long-term and short-term bike parking required for Sales and Services, general, are 1 per 12,000 SF and 1 per 4,000 SF respectively.	✓
Solid Waste Storage Area	23.54.040	Table A	Residential use containing between 51 and 100 units shall have a minimum area of 375 square feet plus 4 square feet of each additional unit above 50, plus 50% of non-residential development requirement.	✓



OVERVIEW

	OPTION 1	OPTION 2	PREFERRED OPTION 3
MASSING:			
# UNITS:	90	90	88
# LIVE/WORK UNITS:	2	2	2
AMENITY AREA SF	5,440 SF	5,090 SF	4,000 SF
COMMERCIAL RETAIL SF:	1,870 SF	1,880 SF	1,700 SF
PARKING STALLS:	0	0	0
BIKE STALLS:	70	70	72
FAR SF:	38,790 SF	38,650 SF	38,730 SF
RESIDENTIAL FAR SF:	35,090 SF	35,070 SF	35,040 SF
OPPORTUNITIES:	<ul style="list-style-type: none"><li>• Smaller perceived massing from 17th Avenue NW; broken down to two vertical buildings above podium.</li><li>• Possibility to combine all live/work units and commercial for one large commercial space at the ground level.</li></ul>	<ul style="list-style-type: none"><li>• 2-story brick base fitting with the neighborhood characteristics.</li><li>• More classical massing option to fit with the historic characteristics of the neighborhood- three horizontal sections: base, middle, top.</li><li>• Residential entry prominent at 17th Avenue NW.</li><li>• Possibility to combine two live/work units to create larger commercial space.</li></ul>	<ul style="list-style-type: none"><li>• Residential entry prominent at 17th Avenue NW.</li><li>• Contemporary design to juxtapose with the neighborhood's prominent historic characters.</li><li>• Balcony insets create more corner units and provide facade modulation</li></ul>
CONSTRAINTS:	<ul style="list-style-type: none"><li>• Residential entry place at NE corner of the building; not as prominent.</li><li>• Massing perceived to be tall because of the proportion.</li><li>• Blank facade along south property line (approx. 30ft)</li></ul>	<ul style="list-style-type: none"><li>• Blank facade along south property line (approx. 52ft) until the property to the south gets re-developed.</li></ul>	<ul style="list-style-type: none"><li>• Blank facade along south property line (approx. 52ft) until the property to the south gets re-developed.</li></ul>



PROPOSED DEVELOPMENT

The proposed development is based on Option 3, the preferred scheme from the Early Design Guidance Meeting, December 21, 2015.

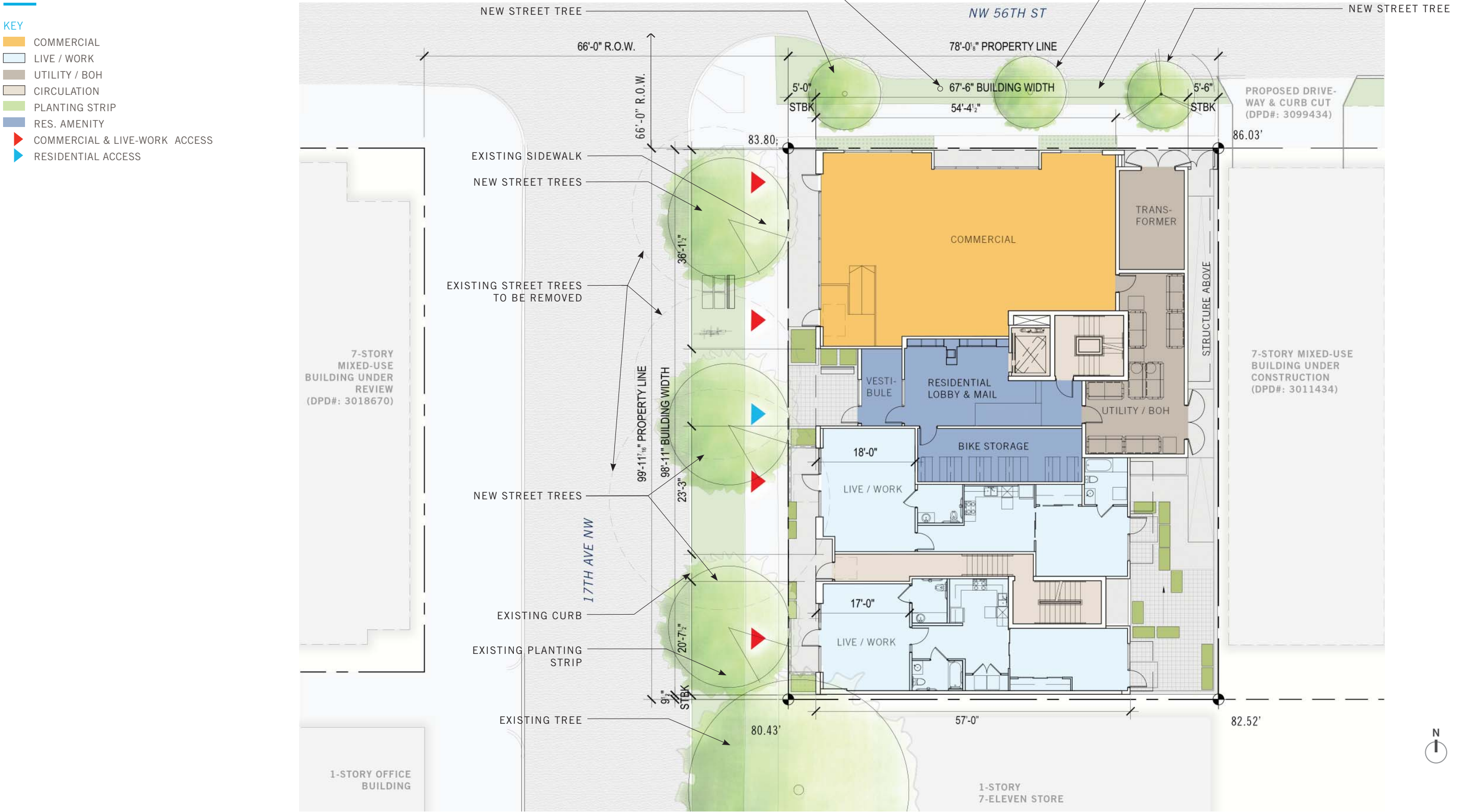
# UNITS:	88
# LIVE/WORK UNITS:	2
AMENITY AREA SF	4,000 SF
COMMERCIAL RETAIL SF:	1,700 SF
PARKING STALLS:	0
BIKE STALLS:	72
FAR SF:	38,730 SF
RESIDENTIAL FAR SF:	35,040 SF
RESIDENTIAL AMENITIES:	<ul style="list-style-type: none"><li>• Roof deck for residential use.</li><li>• Gym on level 2 for residential use.</li><li>• Green roof on deck level.</li><li>• Ample bicycle parking that is secured &amp; convenient for 72 bicycles.</li><li>• Separate residential entry lobby at street level.</li><li>• Private decks and balconies provided for some residential units.</li><li>• Laundry room on every residential floor.</li><li>• Tenant storage in basement.</li></ul>
CODE COMPLIANCE:	Departure requested



AERIAL VIEW LOOKING NORTHEAST



PROPOSED SITE PLAN





EARLY DESIGN GUIDANCE, DECEMBER 21, 2015

1. MASSING AND ARCHITECTURAL CONCEPT

*The Board discussed each massing alternative at length. The Board noted the benefits of design option 2, which include a two story base expression. The Board agreed the two story base reduces the perceived height of the structure, but it is also predictable. Ultimately the Board agreed that design option 3, the preferred option, provided the better design solution for the site.*

- a. The Board felt that the 'Rubik's Cube' concept was unique and interesting. The Board noted that the massing, which provides a 1 story base expression, with double plate recesses, creates a simple, elemental form with good scale (CS3-A, DC2, DC4).*
- b. The Board supported balconies within the recesses but felt the balcony treatment must reinforce the cube expression (CS3-A2, DC2, DC4-A).*
- c. The Board noted the composition of the recesses must reinforce the overall cube architecture but also be located to maximize opportunities for southern exposure (CS1-B, CS3-A2).*
- d. The Board favored the three story entry expression but expressed concerns regarding the material cladding. At the Recommendation Meeting the Board would like to better understand how the material cladding will create a seamless transition between the concrete and wood construction (PL3-A, DC2, DC4-A)*
- e. The Board felt the parapet height should be reduced to the minimum necessary to reduce the overall height of the structure. (DC2-A2).*
- f. At the Recommendation Meeting the Board would like to see how the blank wall along the south façade is treated (DC2-B2).*

Response:

- a. Noted.
- b. The facades at the recesses are clad with stained wood siding to accentuate the recesses. The balcony railing material is glass. The design intent is that the railing will 'disappear' and will not distract from the overall cube expression.
- c. The recesses on the south facade allow southern exposure and natural light into the corridor of four residential floors. The insets are carefully located to create a balanced and dynamic facade that strengthens the cube concept.
- d. The clean material palette unifies the three-story entry. Stained wood siding clads the recessed entry seamlessly between different construction types. (Figure 1)
- e. The parapet height is kept at minimum (18 inches) and the guardrail is set back from the building facade to reduce the perceivable height of the structure.
- f. Two recesses and their openings on the south facade help reduce the amount of blank wall. The wood siding at the inset wraps around the corner, creating continuity on the facade as well as reinforcing the cube concept. (Figure 2)



FIGURE 1: PERSPECTIVE AT RESIDENTIAL ENTRY (1.D)



FIGURE 2: PERSPECTIVE AT SW CORNER SHOWING BLANK WALL (1.F)



EARLY DESIGN GUIDANCE, DECEMBER 21, 2015

2. GROUND LEVEL

*The Board agreed the preferred massing alternative, which locates the primary entry on 17th, provided the better design solution. The location of the entry breaks up the long façade and locates building services adjacent to the vehicular entry.*

*a. The Board agreed that the base of the structure should be treated to reinforce the old Ballard character. At the Recommendation Meeting, the Board requested additional information regarding materials, fenestration, overhead weather protection, lighting and signage (CS2-A, CS3, PL2-C, PL3-A, PL3-C, DC2, DC4).*

*b. At the Recommendation Meeting the Board requested additional information showing how the building would relate to the adjacent building context along 56th Street (CS2-A, CS3-A).*

*c. The Board agreed that the 5' voluntary sidewalk setback along 17th Avenue NW could be a good addition to the pedestrian realm. At the Recommendation Meeting the Board requested specifics on the treatment of this space to create a great pedestrian environment (PL1-B, PL2, PL3-C, DC2-D).*

*d. The Board was pleased with the provided bike parking, but felt the design should explore a direct access from the street to the bike storage room (PL4).*

*e. At the Recommendation Meeting the Board requested a ground floor and roof landscape/hardscape plan. The Board would like to better understand the treatment and programing of the ground level private amenity space and the rooftop common amenity space (DC3-B and C, DC4).*

*Response:*

- a. The 1-story base of the building is clad with brick veneer to reflect the traditional commercial building character. The facade elements, consisting of storefront windows, canopies, light fixtures and signage, enliven the sidewalk and create pedestrian-friendly atmosphere (Figure 3 & Traditional Storefront Study page 42-43).
- b. The commercial use on NW 56th Street contributes to the non-residential character of street-level, street-facing facade. The storefront windows, canopies height and scale, as well as the rhythm of facade opening and solid wall blend the building into its context. The building's modern design, with its minimum material & color palette, shares the contemporary characteristic of the new buildings along NW 56th St. (Refer to Ground Level plan page 24 and Elevation along NW 56th St on Neighbor Study page 41)
- c. The 5' setback helps widen the public sidewalk, while at the same time acts as transitional space from private to public realm. The setback in front of commercial space and residential entry is treated with landscape and hardscape design consisting of pavers, planters, benches and some planting area. These design elements helps animate the sidewalk and allow flexibility for usage by tenants. The setback in front of live-work units is partially enclosed, by utilizing planters and privacy screen, to give the tenant a sense of privacy. This treatment helps differentiate live-work units from commercial space, and add variety to pedestrian realm (Figure 4, and Landscape Plan page 27).
- d. Due to the restraint of a compact site, the majority of bike storage is provided in the basement with the access via the elevator. However, approximately one third of the required bike storage is provided on the street level with easy access from residential lobby. (Refer to Basement and Ground Floor plan page 24)
- e. The ground floor landscape & hardscape elements consist of paved area, planters, planting area, benches and bike rack. The roof deck provides a flexible space for gathering as well as community events with seating area and green roof. (Refer to Landscape Plan page 27)



FIGURE 3: PERSPECTIVE AT BRICK BASE (2.A)



FIGURE 4: HARDSCAPE/ LANDSCAPE IN FRONT OF L/W UNITS ALONG 17TH AVE. NW (2.C)



## ARCHITECTURAL DESIGN RESPONSE

### CS2. Urban Pattern & Form

#### A. LOCATION IN THE CITY & NEIGHBORHOOD

**A1. Sense of Place:** *Emphasize attributes that give Seattle, the neighborhood, and/or the site its distinctive sense of place. Design the building and open spaces to enhance areas where a strong identity already exists, and create a sense of place where the physical context is less established.*

- Ballard's rich historic characteristics are reflected on the ground level with use of brick and dark-color storefront.
- Ballard's timber industry root is reflected in the use of wood panels.

#### B. ADJACENT SITES, STREETS, & OPEN SPACES

**B2. Connection to the Street:** *Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm.*

- Setback at ground level for wider sidewalk lined with street trees.
- Retail and live-work units with maximum glazing at ground level create connection between public and private realm.
- Street-level facades are emphasized by additional setback at upper levels.

#### C. RELATIONSHIP TO THE BLOCK

**C1. Corner Sites:** *Corner sites can serve as gateways or focal points; both require careful detailing at the first three floors due to their high visibility from two or more streets and long distances.*

- Setback at ground level for generous street/pedestrian experience.
- NW Corner of the building occupied by commercial space with maximum transparency.
- A 3-story recess at NW corner, which is a strong architectural element, emphasizes a corner site.

#### D. HEIGHT, BULK, & SCALE

**D1. Existing Development & Zoning:** *Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.*

- The proposed development is in NC3-85 zone with 6-7 story developments surrounding the site.



CS2.A.1: Brick and dark-color storefronts reflect the dominant characteristics of Ballard's traditional commercial buildings..

### CS3. Architectural Context & Character

#### A. EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES

**A3. Established Neighborhoods:** *In existing neighborhoods with a well-defined architectural character, site and design new structures to complement or be compatible with the architectural style and siting patterns of neighborhood buildings.*

- Use of brick, wood panels, and dark-color storefront emphasizes the neighborhood character.

### PL1. Connectivity

#### A. NETWORK OF OPEN SPACES

**A2. Adding to Public Life:** *Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life.*

- Setback is provided at ground level to provide wider sidewalk with landscaping.
- Recessed entries with canopy, ample lighting, large storefronts, pedestrian scale displays and signage help enrich the pedestrian experience.



CS2.A.1: Example of a storefront found on Ballard Avenue The brick building has dark framed storefronts with maximum glazing which is illustrative of the neighborhood's character.



ARCHITECTURAL DESIGN RESPONSE

PL2. Walkability

A. ACCESSIBILITY

- A1. *Access for All: Provide access for people of all abilities in a manner that is fully integrated into the project design.*
- Accessible routes provided at main building entry points.

B. SAFETY & SECURITY

- B1. *Eyes on the Street: Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.*
- Maximum storefront/transparency on street level and upper-story balconies provide ‘eyes on the streets.’
- B2. *Lighting for Safety: Provide lighting at sufficient lumen intensities and scales, including pathway illumination, pedestrian and entry lighting, and/or security lights.*
- Exterior lighting provided for safety in public areas as well as private patios.
- B3. *Street-level Transparency: Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.*
- Maximum storefront/transparency provided at commercial, live-work units and residential entry at ground level.

C. WEATHER PROTECTION

- C1. *Locations & Coverage: Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activities such as entries, retail uses, and transit stops.*
- Canopy on the ground floor provided for weather protection.

PL3. Street-Level Interaction

A. ENTRIES - 1. DESIGN OBJECTIVES

- A1C. *Common Entries to Multi-story Residential Buildings: need to provide privacy and security for residents but also be welcoming and identifiable to visitors.*
- Recessed residential entry with large canopy provides a sense of privacy and security for residents.
  - Signage for wayfinding will also be provided.

B. RESIDENTIAL EDGES

- B3. *Buildings with Live/Work Uses: Maintain active and transparent facades in the design of live/work residences that are required to orient the non-residential portions of the unit toward the street.*
- Transparency at ground level provided for rich pedestrian experience.
  - Landscape elements in front of Live/Work units helps differentiate the Live/Work from commercial space, while enhances pedestrian experience.

C. RETAIL EDGES

- C1. *Porous Edge: Engage passersby with opportunities to interact visually with the building interior using glazing and transparency.*
- Maximum glazing with multiple entries provided along both 17th Avenue NW and NW 56th Street



PL1.A.2: Use of pedestrian scale signage and display windows to create pleasant pedestrian experience.



## ARCHITECTURAL DESIGN RESPONSE

PL4. Active  
Transportation**B. PLANNING AHEAD FOR BICYCLISTS**

- B2. Bike Facilities:** *Facilities such as bike racks and storage, bike share stations, shower facilities and lockers for bicyclists should be located to maximize convenience, security, and safety.*
- Bike storage for residents is provided within the structure for security.
  - Outdoor bike racks for commercial patrons provided.

DC1. Project  
Uses &  
Activities**A. ARRANGEMENT OF INTERIOR USES**

- A1. Visibility:** *Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front.*
- Commercial space is located at the building corner.
  - Residential entry is located at mid-block on 17th Ave NW with prominent signage for wayfinding.

DC2.  
Architectural  
Concept**A. MASSING**

- A2. Reducing Perceived Mass:** *Use secondary architectural elements to reduce the perceived mass of larger projects.*
- Recessed entries, canopies, recessed decks and other architectural facade treatments are utilized to break down mass.
- D. SCALE & TEXTURE**
- D1. Human Scale:** *Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.*
- Use of brick, canopies, balconies and window mullions to provide human scale.

DC3. Open Space  
Concept**C. DESIGN**

- C2. Amenities and Features:** *Create attractive outdoor spaces well-suited to the uses envisioned for the project.*
- Rooftop deck, with a combination of hardscape and plantings, is provided as a place of relaxation and to take advantage of the view.

Dc4. Exterior  
Elements &  
Finishes**A. BUILDING MATERIALS**

- A1. Exterior Finish Materials:** *Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close.*
- Durable and high quality materials such as brick, metal, fiber cement, and aluminum storefront are used.

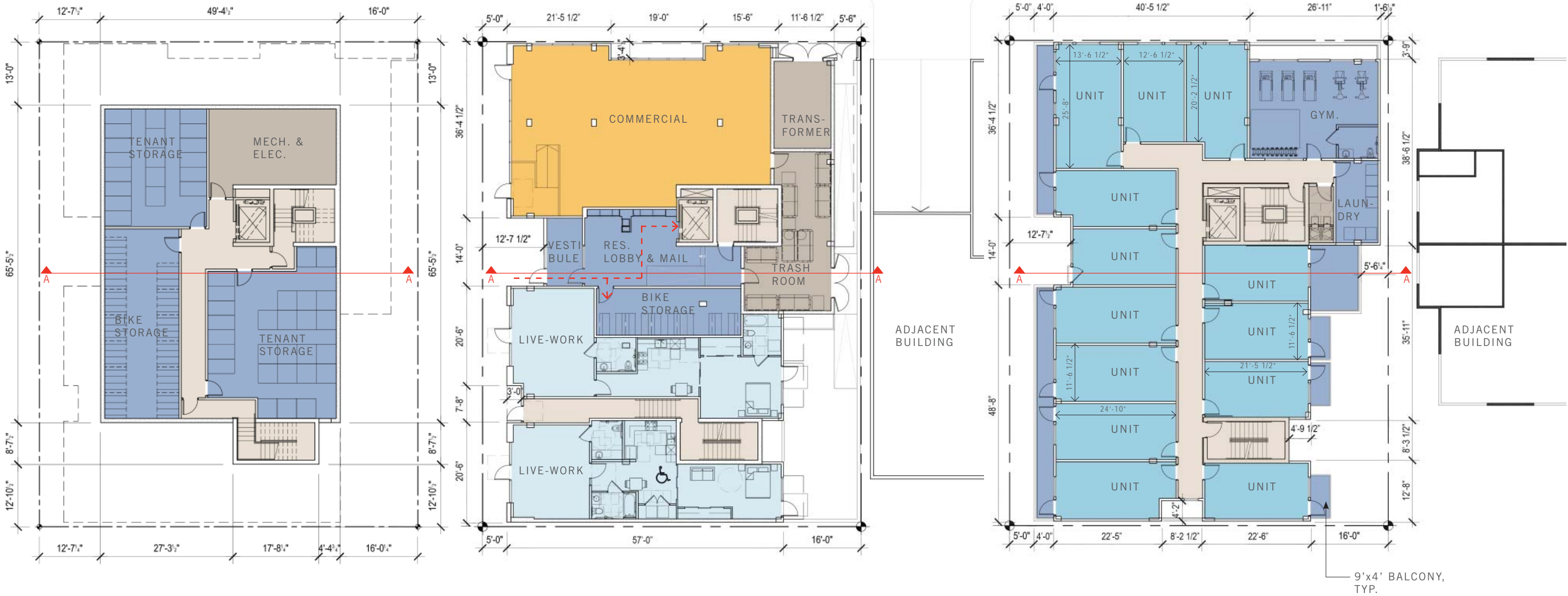


DC2.D.1: *Rhythmic window openings and the use of balconies in well-detailed manner creates rich textures and provides human scale to the building.*



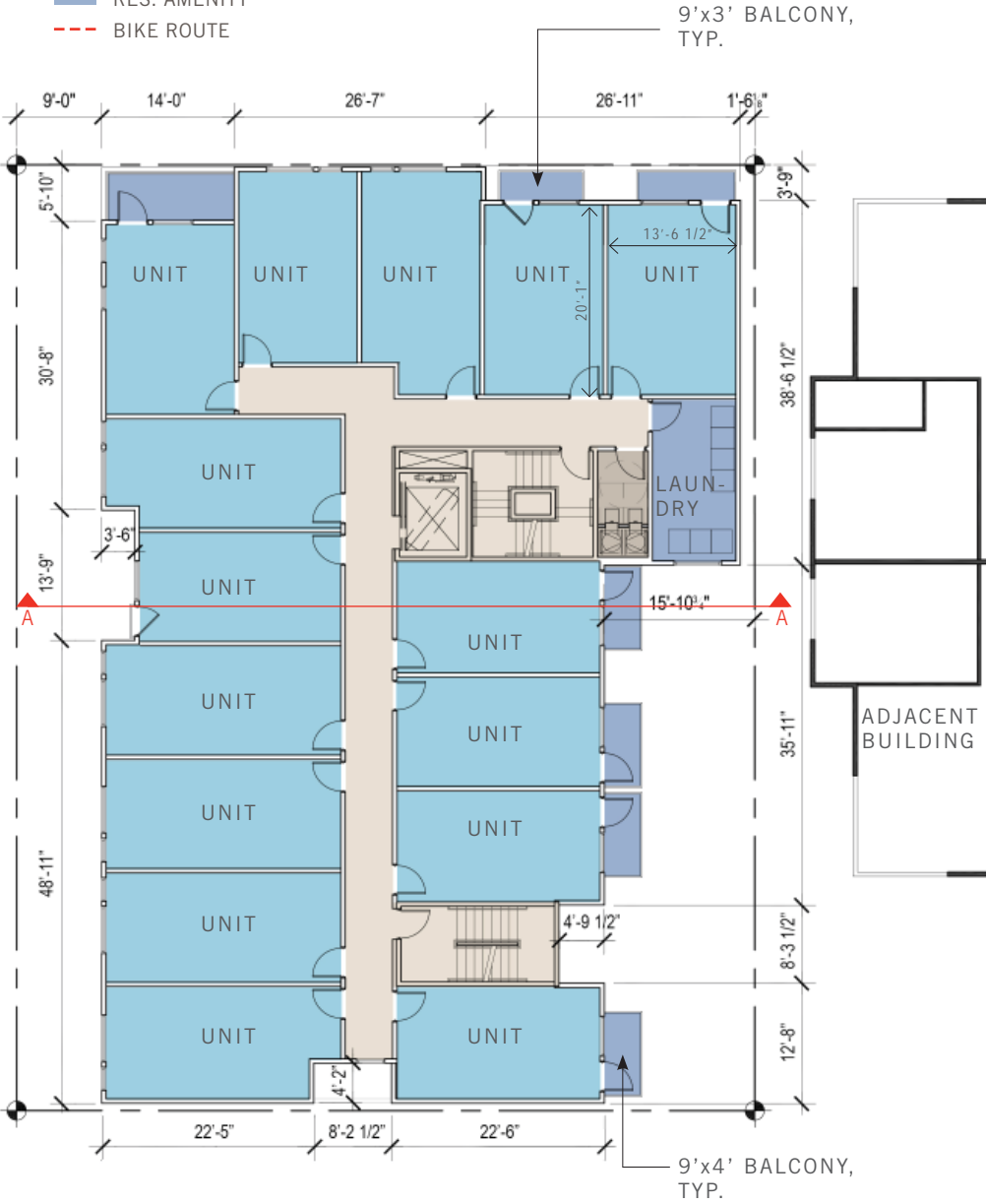
PROPOSED DEVELOPMENT

- KEY
- COMMERCIAL
  - UNITS
  - UTILITY / BOH
  - CIRCULATION
  - ROOF DECK
  - GREEN ROOF
  - RES. AMENITY
  - LIVE/ WORK
  - BIKE ROUTE

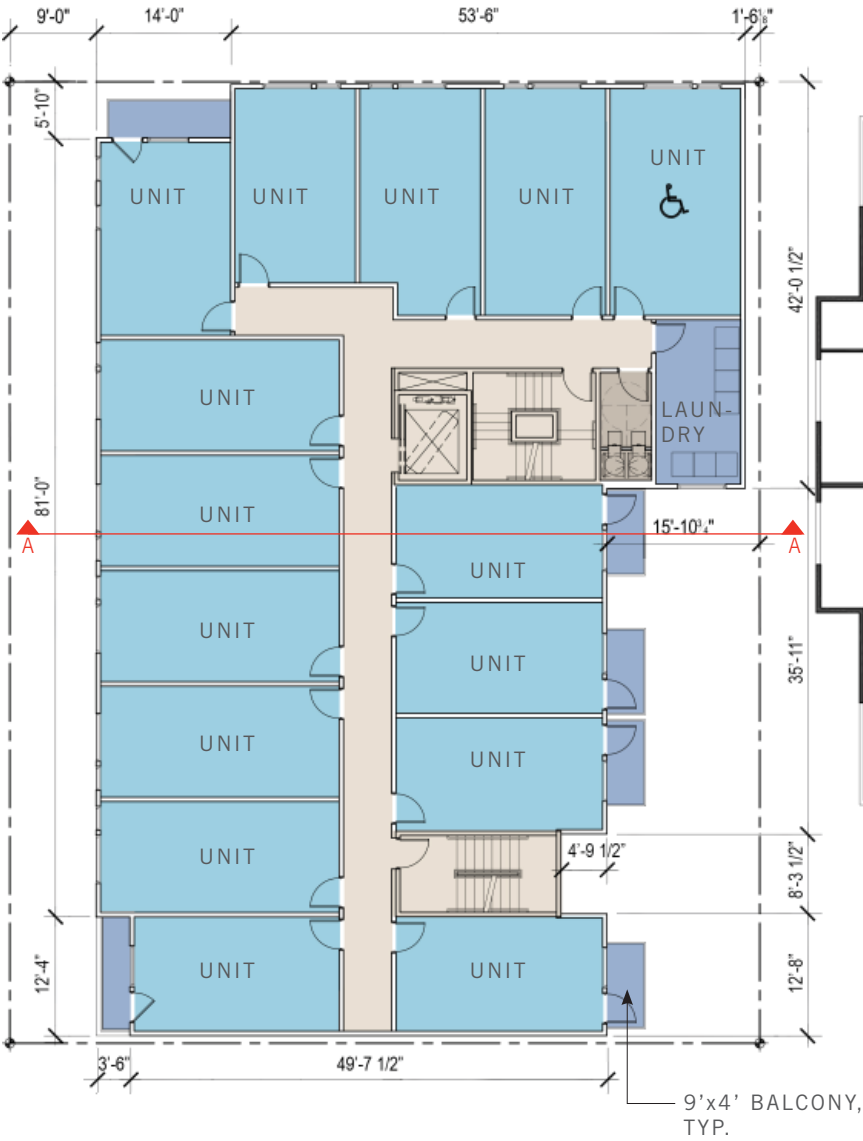




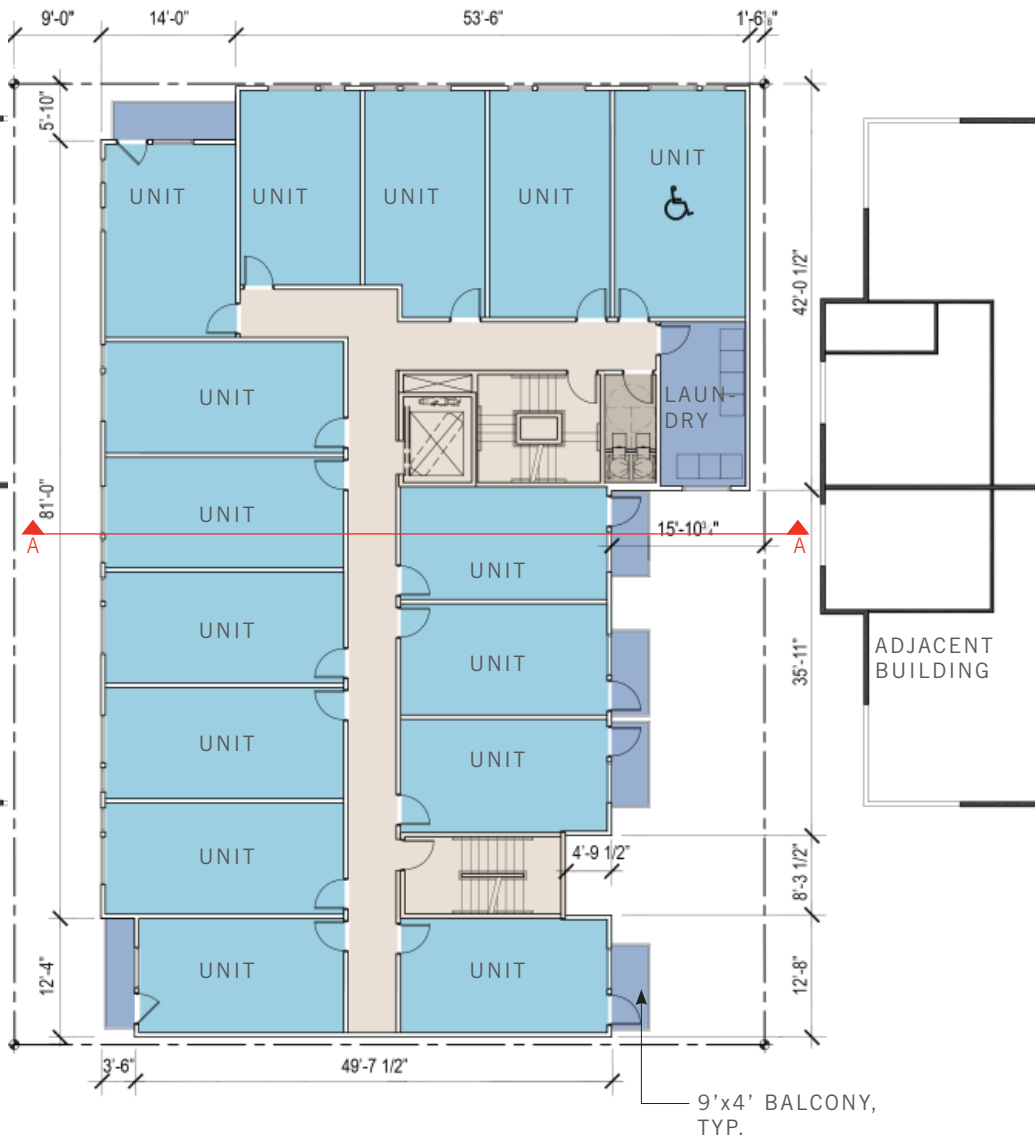
- KEY
- COMMERCIAL
  - UNITS
  - UTILITY / BOH
  - CIRCULATION
  - ROOF DECK
  - GREEN ROOF
  - RES. AMENITY
  - BIKE ROUTE



LEVEL 3



LEVEL 4



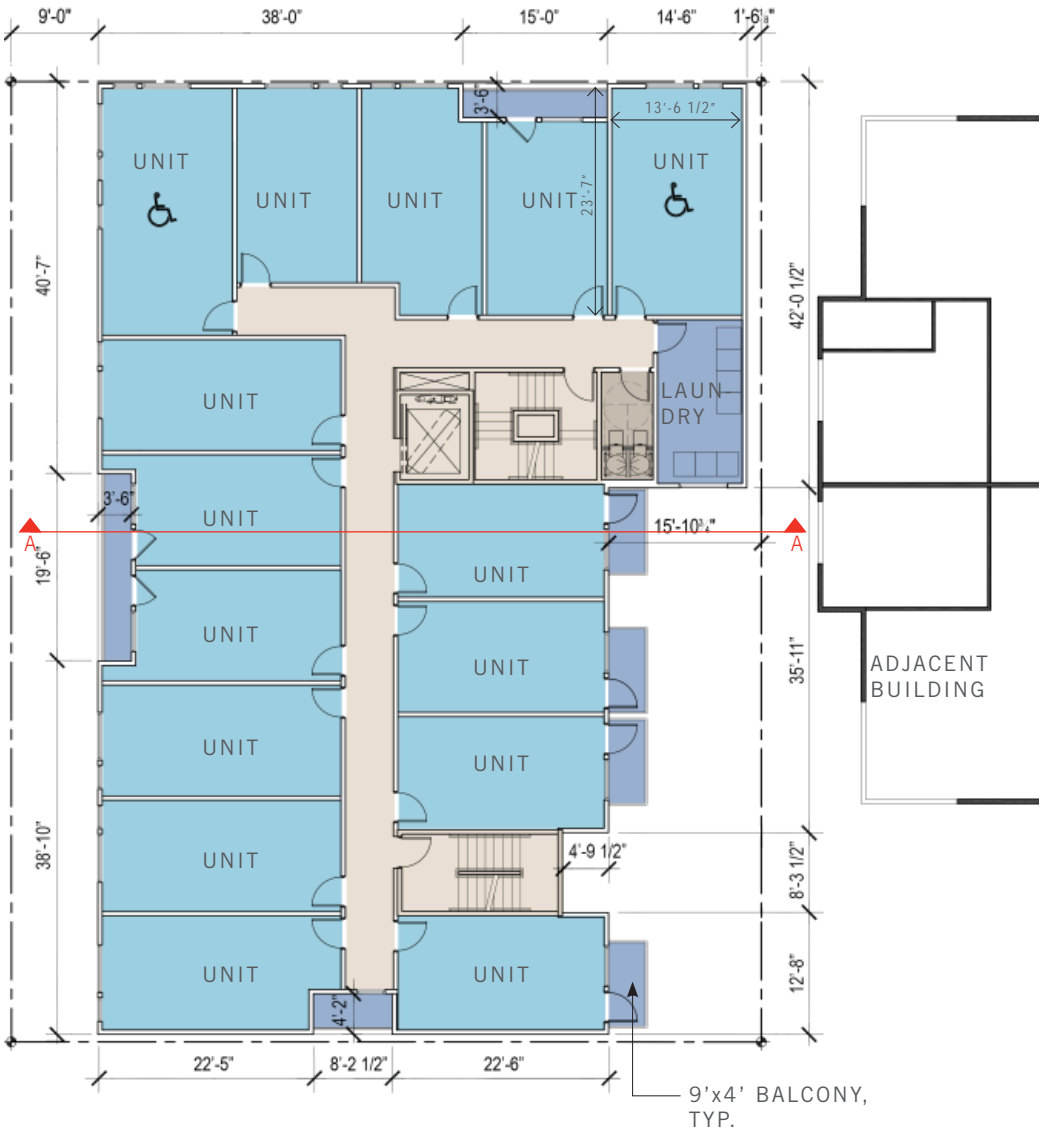
LEVEL 5



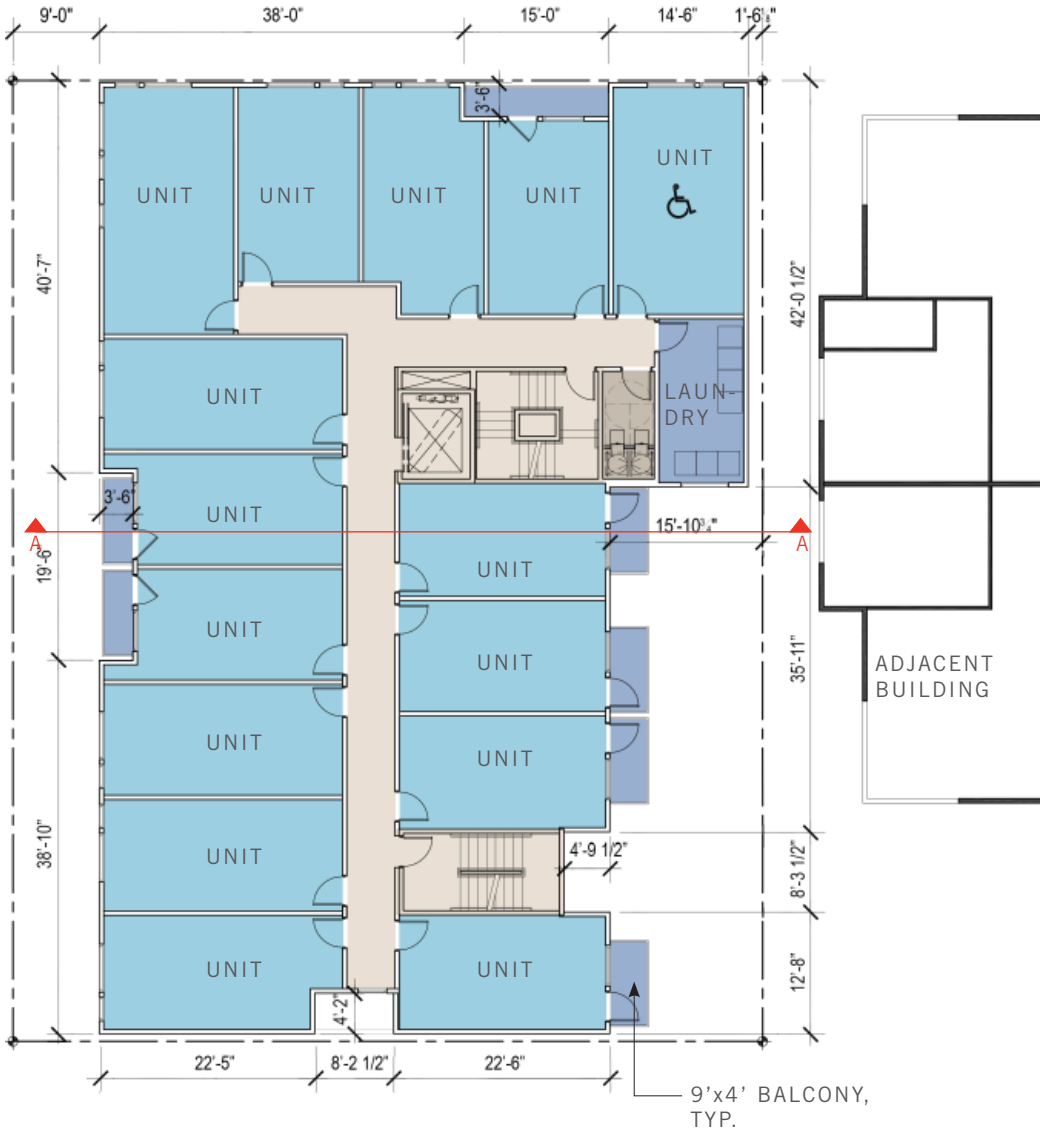


FLOOR PLANS

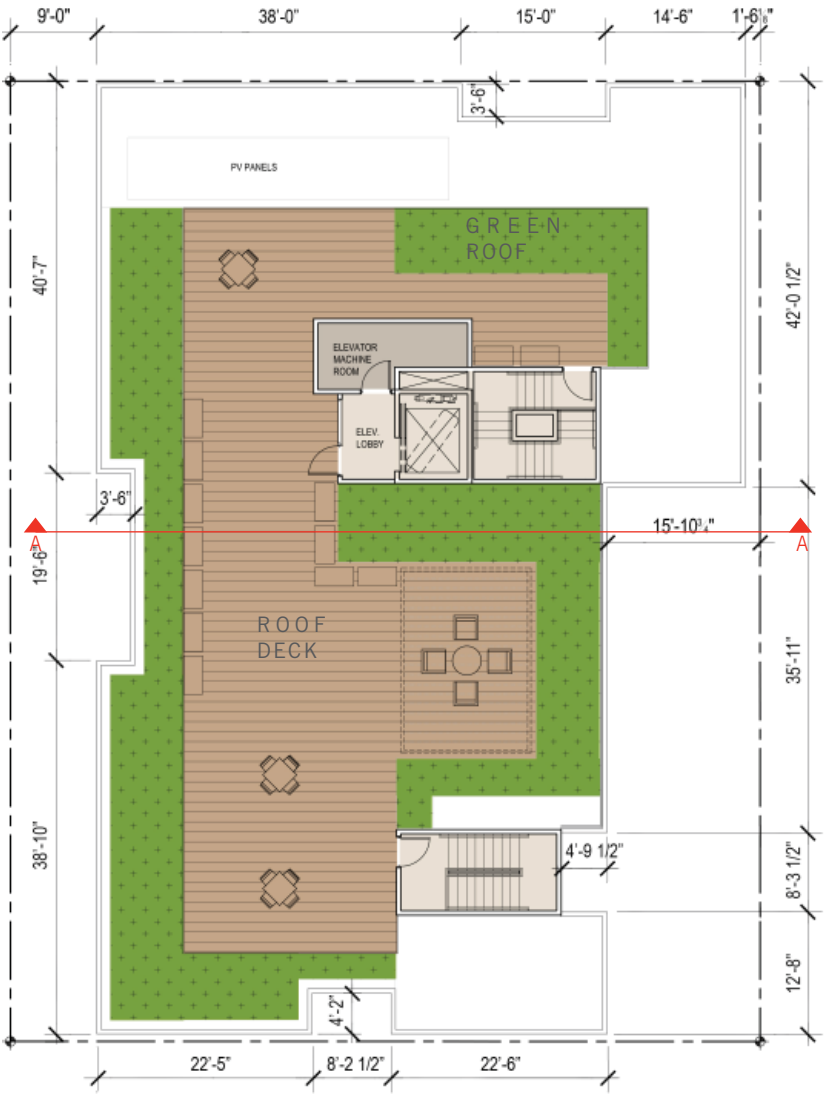
- KEY
- COMMERCIAL
  - UNITS
  - UTILITY / BOH
  - CIRCULATION
  - ROOF DECK
  - GREEN ROOF
  - RES. AMENITY
  - BIKE ROUTE



LEVEL 6



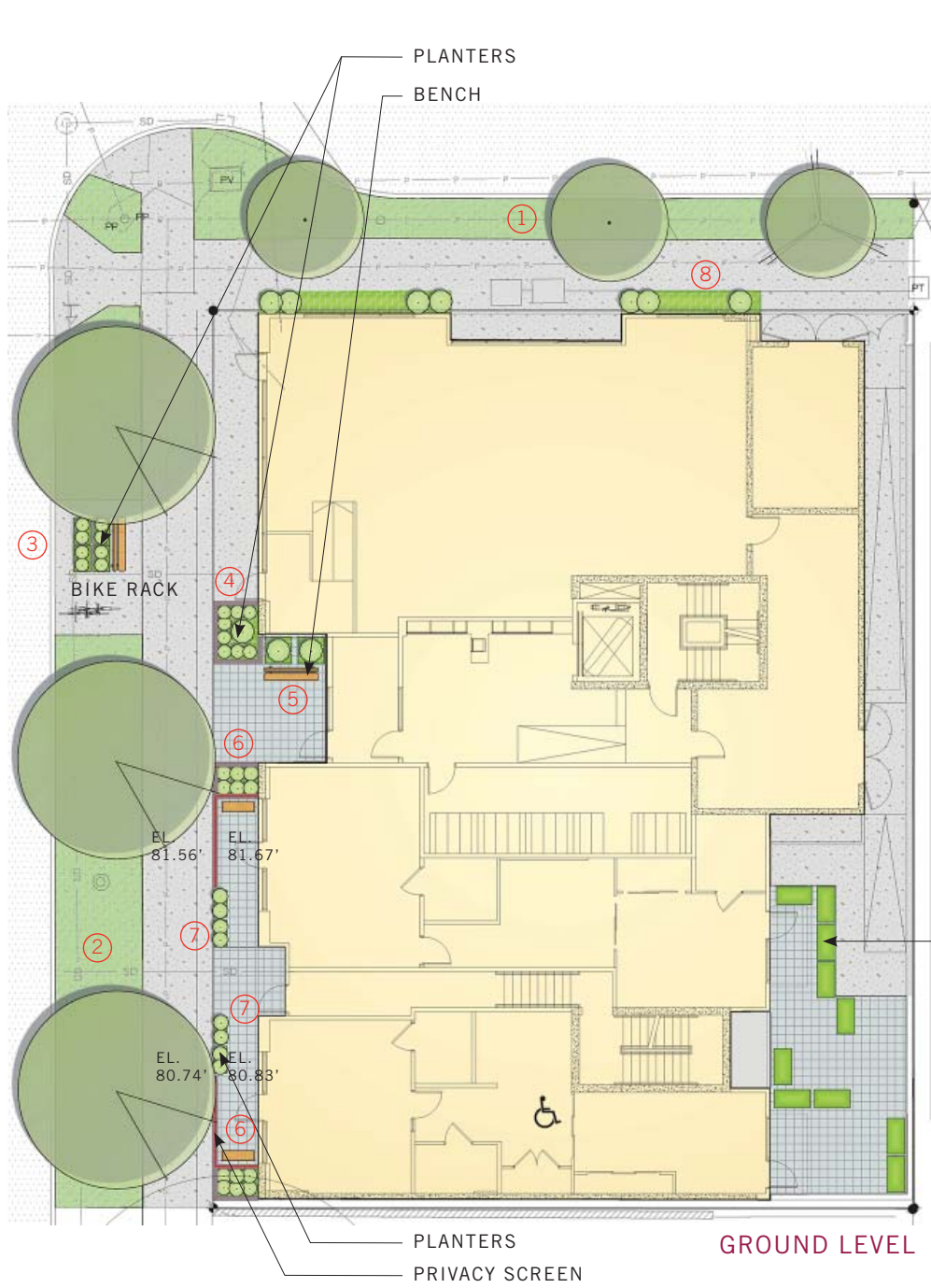
LEVEL 7



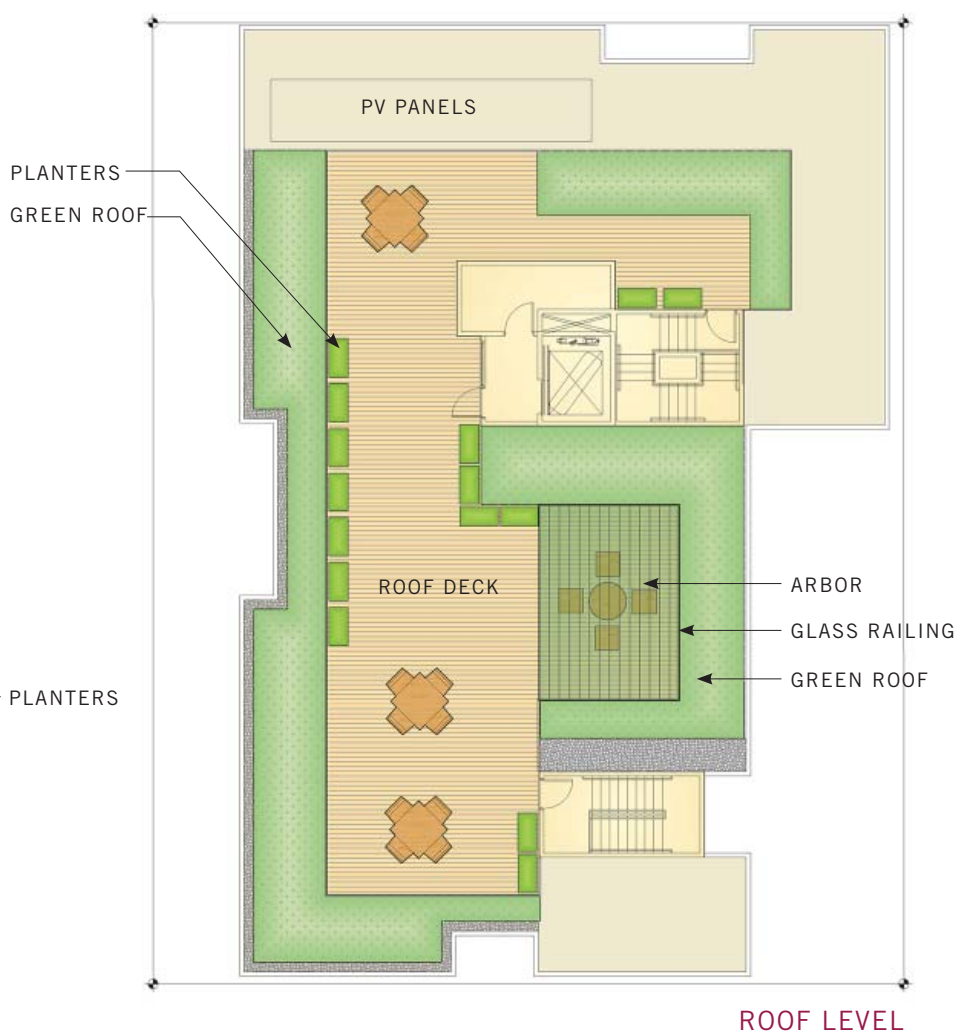
ROOF LEVEL







- KEY
- 1 STARLIGHT DOGWOOD + TURF
  - 2 ZELKOVA GREEN VASE + TURF
  - 3 GREEN SPIRE EUONYMUS + GOLDEN COLUMNAR JAPANESE BARBERRY
  - 4 COMPACT STRAWBERRY BUSH + NANDINA
  - 5 COMPACT STRAWBERRY BUSH + DWARF FOUNTAIN GRASS + HAPPY RETURNS DAYLILY
  - 6 GREEN SPIRE EUONYMUS + DWARF FOUNTAIN GRASS
  - 7 SKY PENCIL JAPANESE HOLLY + SEDUM AUTUMN JOY
  - 8 SARCOCOCCA + CAREX ICE DANCE WITH VINCA MINOR WINE GROUND COVER



ROOF DECK RENDERING



PAVERS



BIKE RACK



BENCH



PLANTERS



ARBOR



ROOF DECK



STREET TREES



STARLIGHT DOGWOOD



ZELKOVA GREEN VASE

GROUND LEVEL



VINCA MINOR WINE



YAKU JIMA MAIDEN GRASS



ARBUTUS UNEDO



CAREX ICE DANCE



HAPPY RETURNS DAYLILY



KARL FOERSTER GRASS



EUONYMUS GREENSPIRE  
(ALSO AT ROOF)



JAPANESE HOLLY ILEX CRENATA  
(ALSO AT ROOF)



KINNIKINNICK



LIRIOPE SILVERY SUNPROOF



LITTLE BUNNY FOUNTAIN GRASS  
(ALSO AT ROOF)



NANDINA MOON BAY



PRUNUS MT VERNON  
(ALSO AT ROOF)



ARP ROSEMARY  
(ALSO AT ROOF)



SARCOCOCCA RUSCIFOLIA



SEDUM AUTUMN JOY  
(ALSO AT ROOF)



SUNJOY COLUMNAR JAPANESE  
BARBERRY

ROOF LEVEL



BERBERIS BUXIFOLIA NANA



COREOPSIS FLYING SAUCERS



DWARF BOXLEAF BARBERRY



GOLD PILLAR BARBERRY



GREEN ROOF SEDUM TRAY



ROSE FLORAL CARPET



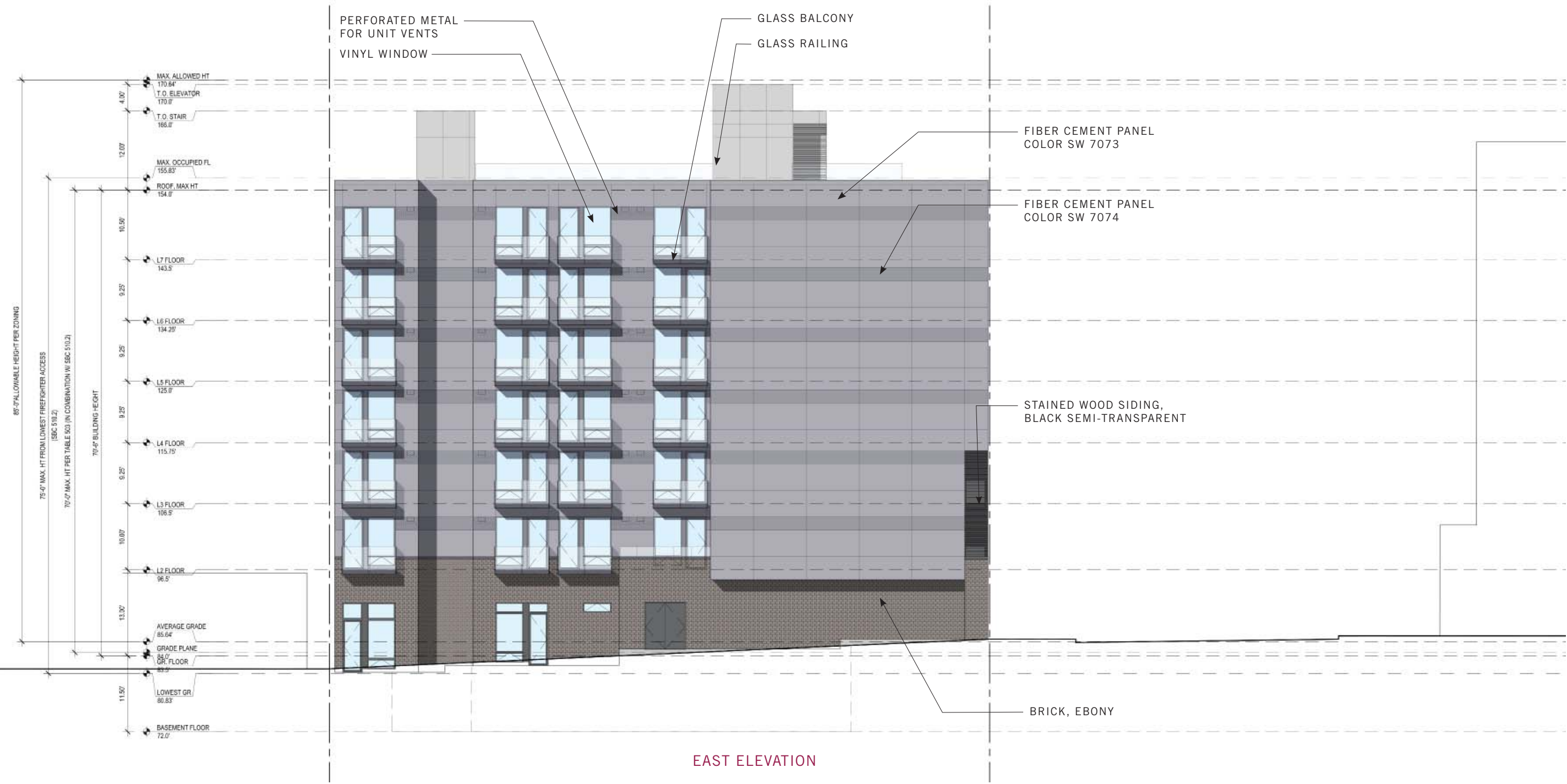


WEST ELEVATION ALONG 17TH AVE. NW.

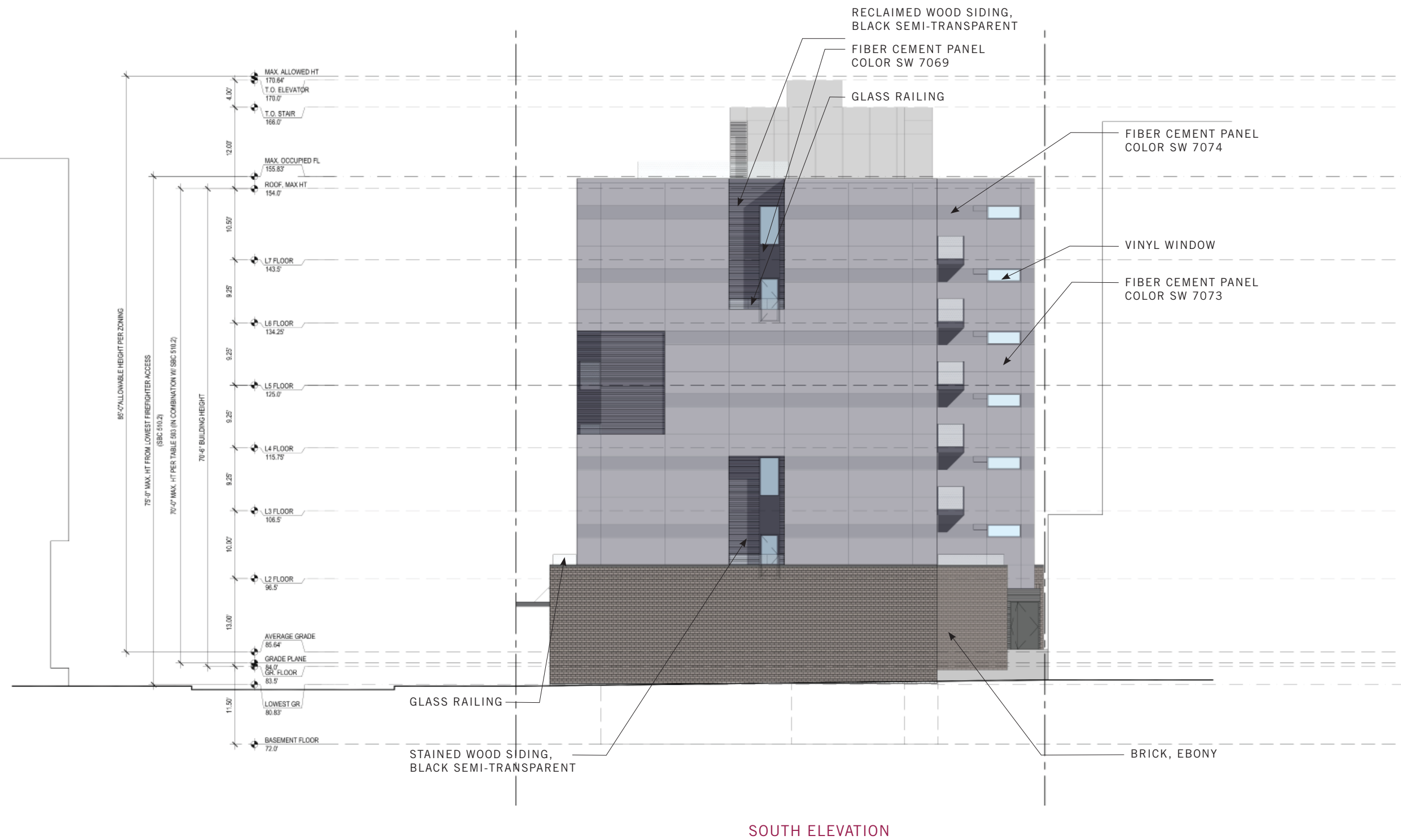
















1. SW 7073 (Network Gray),  
Paint Color



2. SW 7074 (Software),  
Paint Color



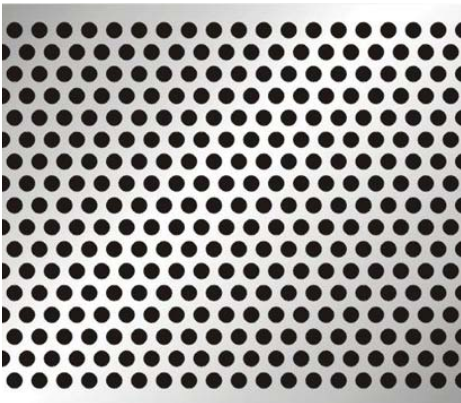
3. SW 7069 (Iron Ore),  
Paint Color



4. Brick Mutual Materials, Ebony



5. Stained wood,  
Cabot black semi-transparent



6. Perforated panel, McNichols

black semi-transparent stained wood



perforated metal railing



Glass balcony



Glass canopy



metal canopy with wood soffit



Glass railing at Juliet balcony



Glass railing at deck



MATERIAL BOARD

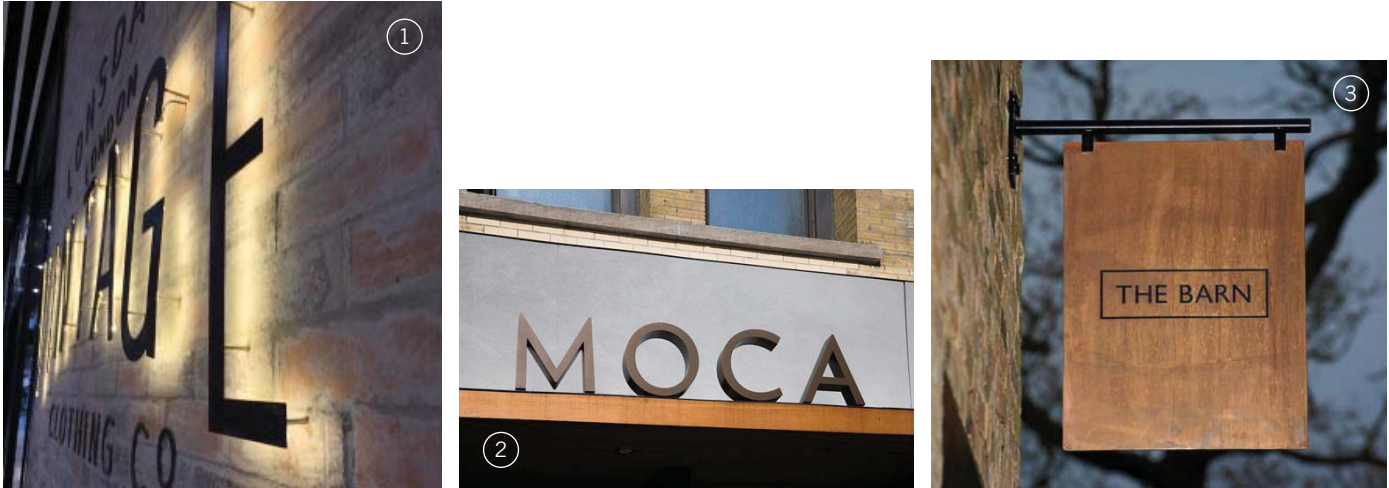




SIGNAGE CONCEPT

Signage will be of simple and sophisticated design to complement the building design concept. There will be signage at residential entry, live-work units and commercial space.

The signage at residential entry will be a back-lit, vertical design that helps emphasize the 3-story recessed entry. The commercial signage will be freestanding and mounted on top of canopy for visibility. The pedestrian-scaled blade sign will be used at live-work units. The sign will be externally lit by wall-mounted light fixture. The design team also expects supplemental addressing and signage on storefront glazing as well.



② SIGNAGE @ COMMERCIAL SPACE



① SIGNAGE @ RESIDENTIAL ENTRY



③ SIGNAGE @ LIVE-WORK UNITS









PERSPECTIVE AT NE CORNER



PERSPECTIVE AT SW CORNER



PERSPECTIVE AT 17TH AVE NW



GROUND LEVEL



ROOF LEVEL



1. EGRESS LIGHT



2. WALL-MOUNTED  
DOWN LIGHT



3. FLUSH SOFFIT LIGHT



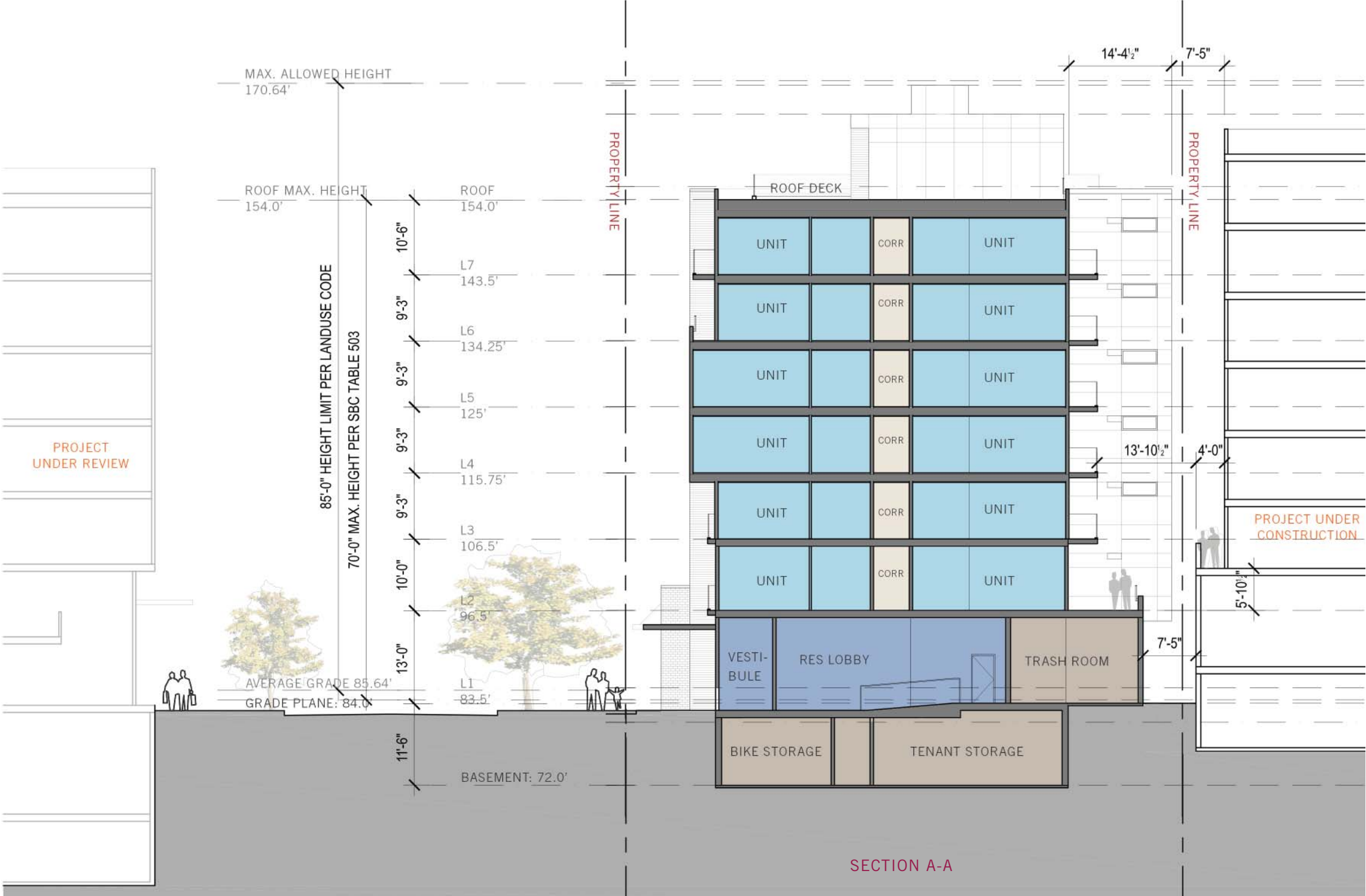
4. UP LIGHT



5. BOLLARD LIGHT



- KEY
- COMMERCIAL
  - UNITS
  - UTILITY / BOH
  - CIRCULATION
  - ROOF DECK
  - GREEN ROOF
  - RES. AMENITY





DEPARTURE REQUESTED

STREET-LEVEL USES

23.47A.005.C. RESIDENTIAL USES AT STREET LEVEL

1. In all NC and C zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations:

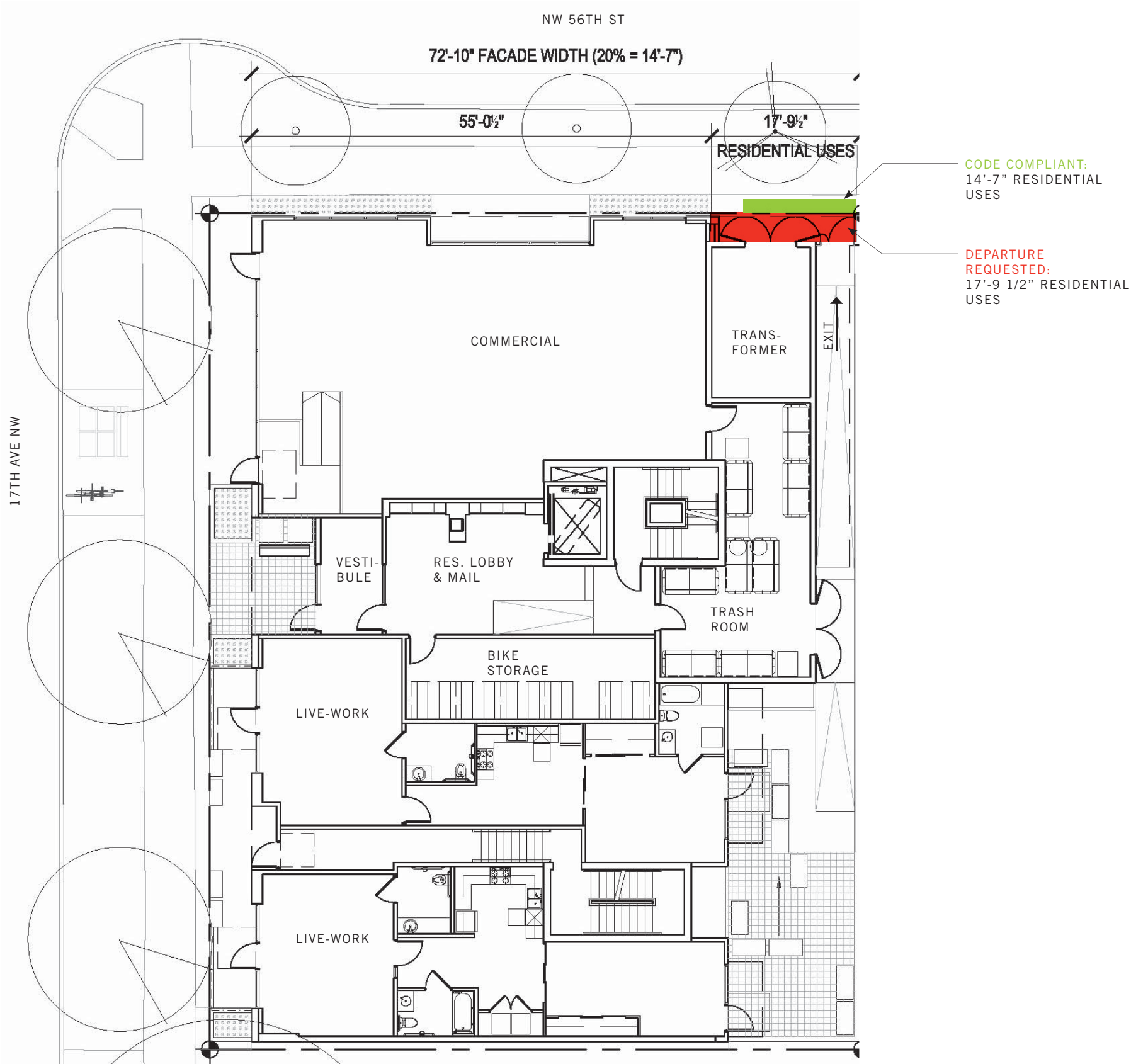
- d. Within a zone that has a height limit of 85 feet or higher, except as provided in subsection 23.47A.005.C.2.

DEPARTURE REQUESTED:

Residential uses along NW 56th Street occupy 24.4% of the street-level street-facing facade. The uses include a transformer vault and emergency escape as required by Building Codes. Placing the transformer vault up front, instead of inside the building, allows windows and livable portion to be open to the east of the live/work units, while the front of the live work units is fully dedicated for commercial use, thus providing clear separation between the ‘live’ and ‘work’ portion and making it more viable proposition.

The departure will result in a project that better meets the intent of Design Guidelines, PL3.B3: Buildings with Live/Work uses: *Maintain active and transparent facades in the design of live/work residences that are required to orient the non-residential portions of the unit toward the street. Design the first floor so it can be adapted to other commercial uses as needed in the future.*

This residential use portion of the facade will be treated architecturally to create a pedestrian-friendly atmosphere.





## NEIGHBOR STUDY

### Architectural design within the context

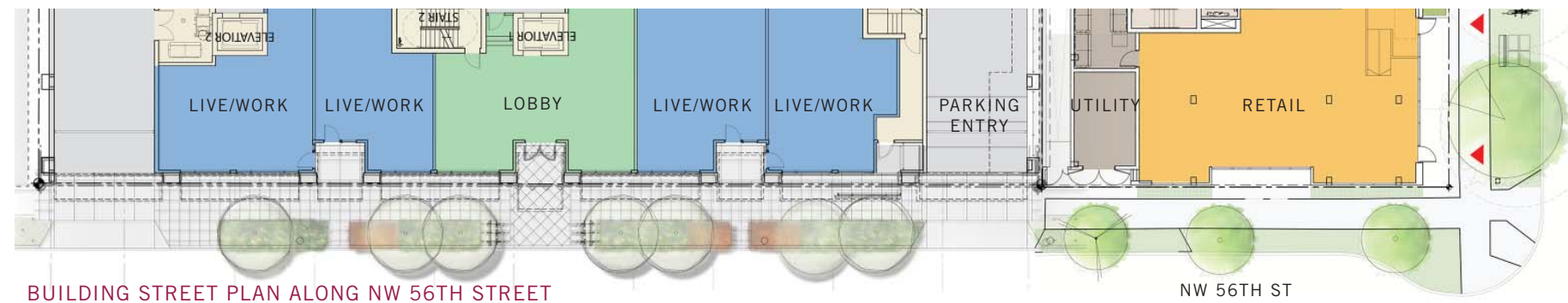
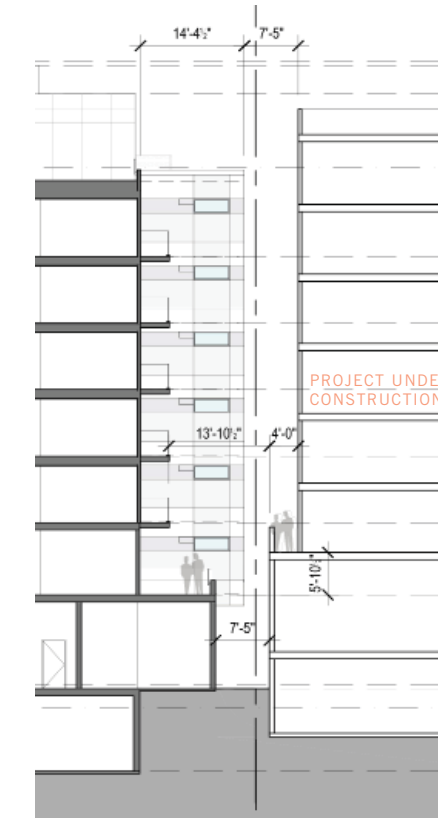
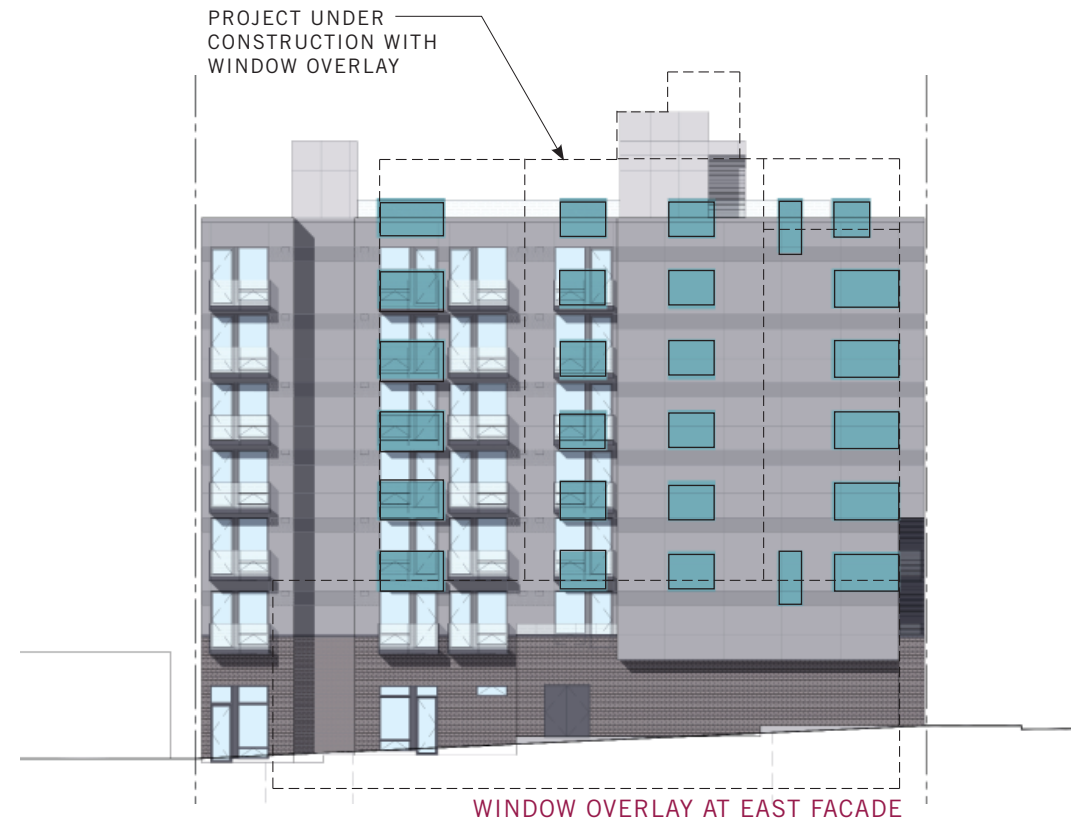
The aesthetic of adjacent buildings seems colorful and busy, so the design intent for this project is to be a quieter kid on the block, with simple and clear massing articulation and a subdued color palette.

### Privacy for neighbors

The study shows the relationship between the proposed development and adjacent building at the east property line. The study includes window overlay and section showing the distance between balconies and adjacent building at the narrowest point.

### Graphic Credit:

Elevation and floor plan of adjacent buildings, Hjarta II and Valdok I, are from DRB proposals for project 3011434 and 3018670 prepared by Weber Thompson and Clark Design Group PLLC respectively.



BUILDING STREET PLAN ALONG NW 56TH STREET

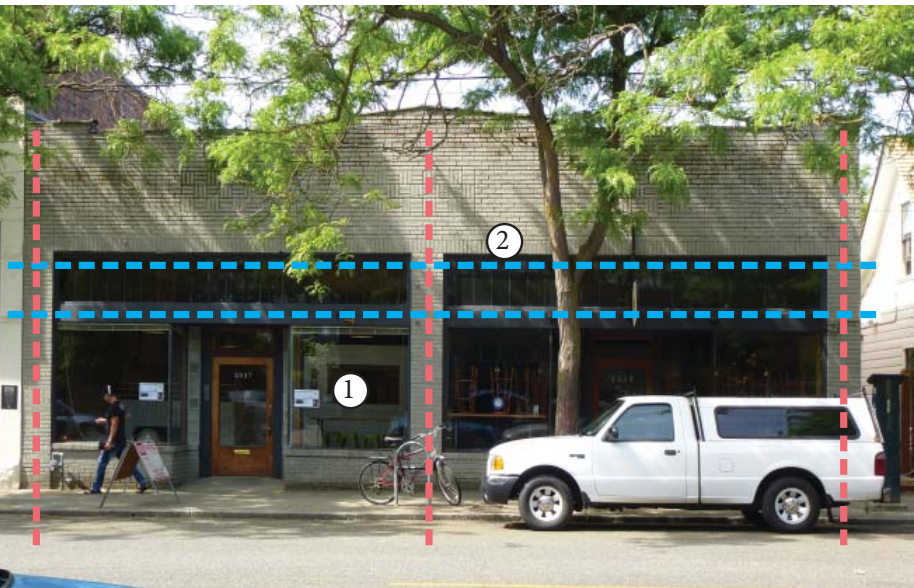


BUILDING FACADE ALONG NW 56TH STREET





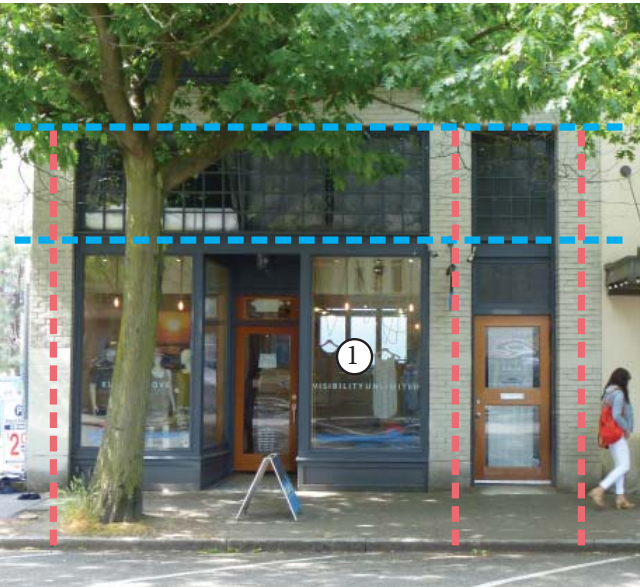
PORTLAND BUILDING - 5403 BALLARD AVE. NW  
Red brick facade



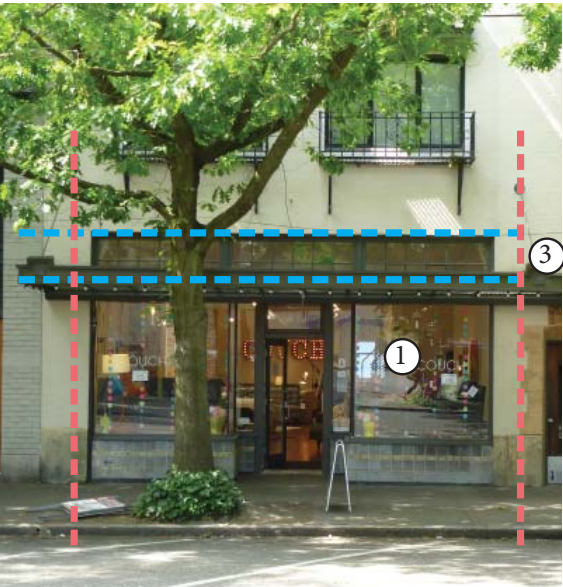
5337 BALLARD AVE. NW  
Beige brick facade



SANBORN BUILDING - 5323 BALLARD AVE. NW  
Sandstone facade



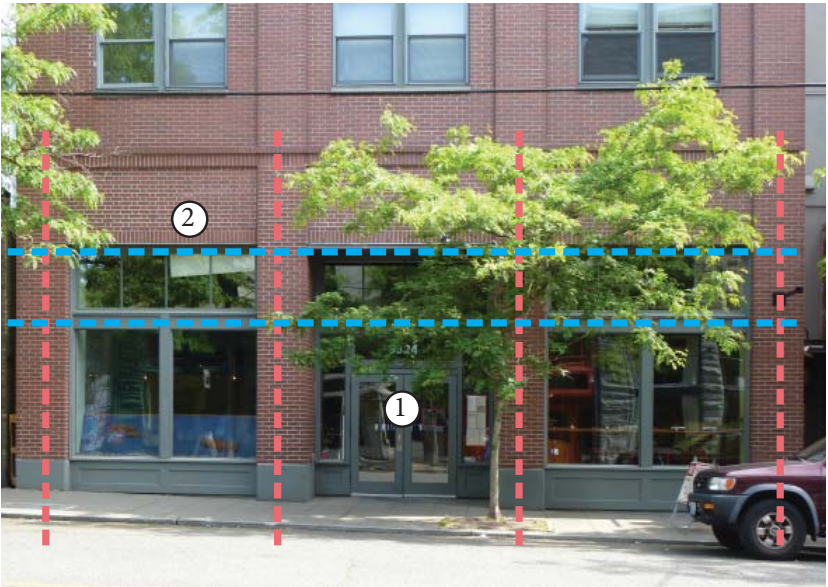
5419 BALLARD AVE. NW  
Painted brick facade



5423 BALLARD AVE. NW  
Stucco facade



5447 BALLARD AVE. NW  
Red brick facade



5324 BALLARD AVE. NW  
Red brick facade - newer construction

strong horizontal lines pronounce trabeation  
strong vertical lines

- 1. dark frame storefronts with solid base and regular spacing
- 2. brick soldier course at the storefront header
- 3. canopy with connection rods





STREET LEVEL FACADE ALONG NW 56TH STREET



STREET LEVEL FACADE ALONG 17TH AVENUE NW





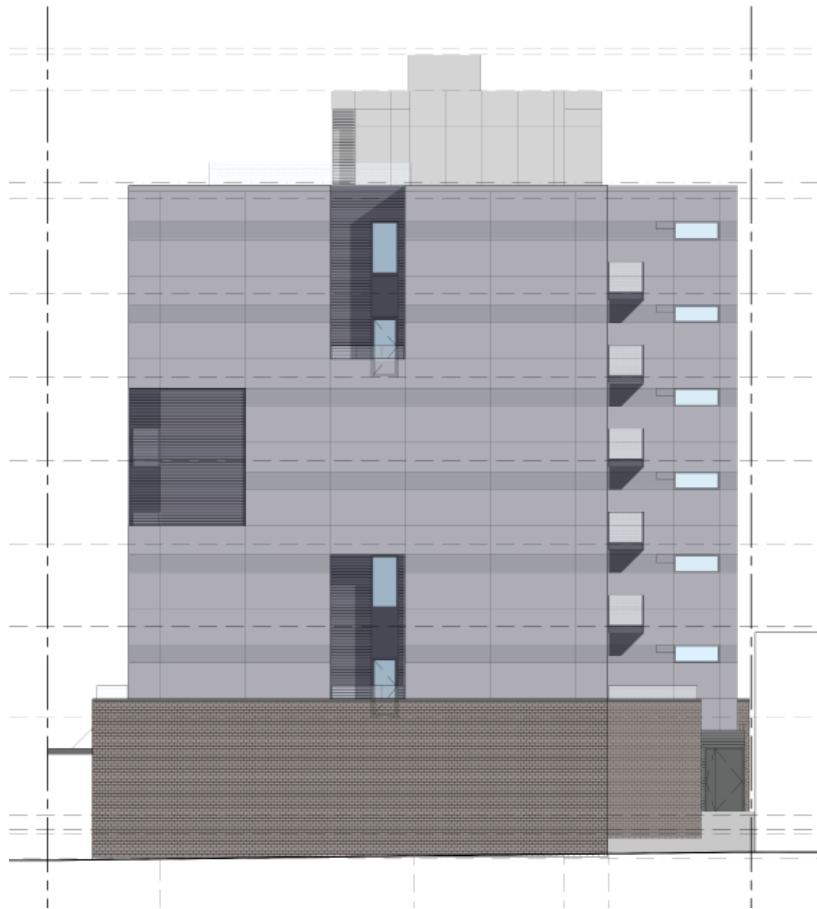
SW CORNER OPTION 1: WOOD CORNER



SW CORNER OPTION 2: GLOSSY PAINT



PREFERRED SW CORNER: WOOD CORNER



PREFERRED SOUTH ELEVATION



CANOPY OPTION 1: PREFERRED CANOPY TREATMENT



CANOPY OPTION 2: CANOPY WRAPPING AROUND THE CORNER







PRECEDENT CARON ARCHITECTURE PROJECTS



4128 Brooklyn Avenue NE Student Housing



306 QA Apartments



Fremont Green



LIV Seattle Student Housing



Othello Station North



The Central