

5512, 5516 17th Avenue NW
New Mixed-use Multifamily Development
EARLY DESIGN GUIDANCE MEETING



DPD PROJECT NO.:
3021541

EDG MEETING DATE:
December 21, 2015

caron
CARON REF #2015.032

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Project Team

OWNER

Greenbuild Development

CARON ARCHITECTURE CONTACT

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Site Information

ADDRESS:

5512, 5516 17th Avenue NW, Seattle WA 98107

DPD PROJECT #:

3021541

PARCEL(S):

2767700616

2767700615

ZONING:

NC3-85

LOT SIZE:

7,798 SF

BUILDING HEIGHT MAX:

85'

OVERLAY DESIGNATION:

Ballard Hub Urban Village

FREQUENT TRANSIT:

Yes

ECA:

None

LEGAL DESCRIPTION:

Gilman Park Add S 1/2, Gilman Park Add N 1/2.

ALLOWABLE FAR:

TOTAL FAR: 6 (46,788 SF), provided that FAR limit for either residential or non-residential use shall not exceed 4.5 (35,091 SF)

REQUIRED PARKING STALLS:

None required

Proposed Development Statistics:

Total Far: 39,240 SF

Total Residential FAR: 35,090 SF

Residential Units: 90

Live/work Units: 2

Commercial Retail SF: 1,840

Parking Stalls: 0, none required

Bike Stalls: 70 (on basement level, not shown in package)

PROJECT INTRODUCTION

DEVELOPMENT OBJECTIVES:

The proposed development will create a 7-story mixed-use building with approximately 90 efficiency units at the corner of NW 56th Street & 17th Avenue NW. Residential entry lobby and approximately 2,000 SF of retail space and two live/work units will be provided at ground level. Residential storage and bike storage will be provided at the underground level. Amenity space for residents will be provided on the rooftop deck, and private patios for certain units will be available on the second level. Parking is not required. The project aims to create a strong urban edge and a marker at the corner for people traveling in Ballard.

DEVELOPMENT SUMMARY:

Based on Preferred Scheme Option 3

LEVEL	TOTAL SF	RESID. FAR SF	# UNIT	LIVE/ WORK	RETAIL SF	USE
Roof	620	550	-	-	-	Resid. Amenity
7	5,665	5,430	15	-	-	Residential
6	5,665	5,430	15	-	-	Residential
5	5,590	5,510	15	-	-	Residential
4	5,590	5,510	15	-	-	Residential
3	5,670	5,510	15	-	-	Residential
2	5,670	5,440	15	-	-	Residential
1	6,095	1,710	-	2	1,840	Commercial / Live-Work / Res
Total	40,565	35,090	90	2	1,840	

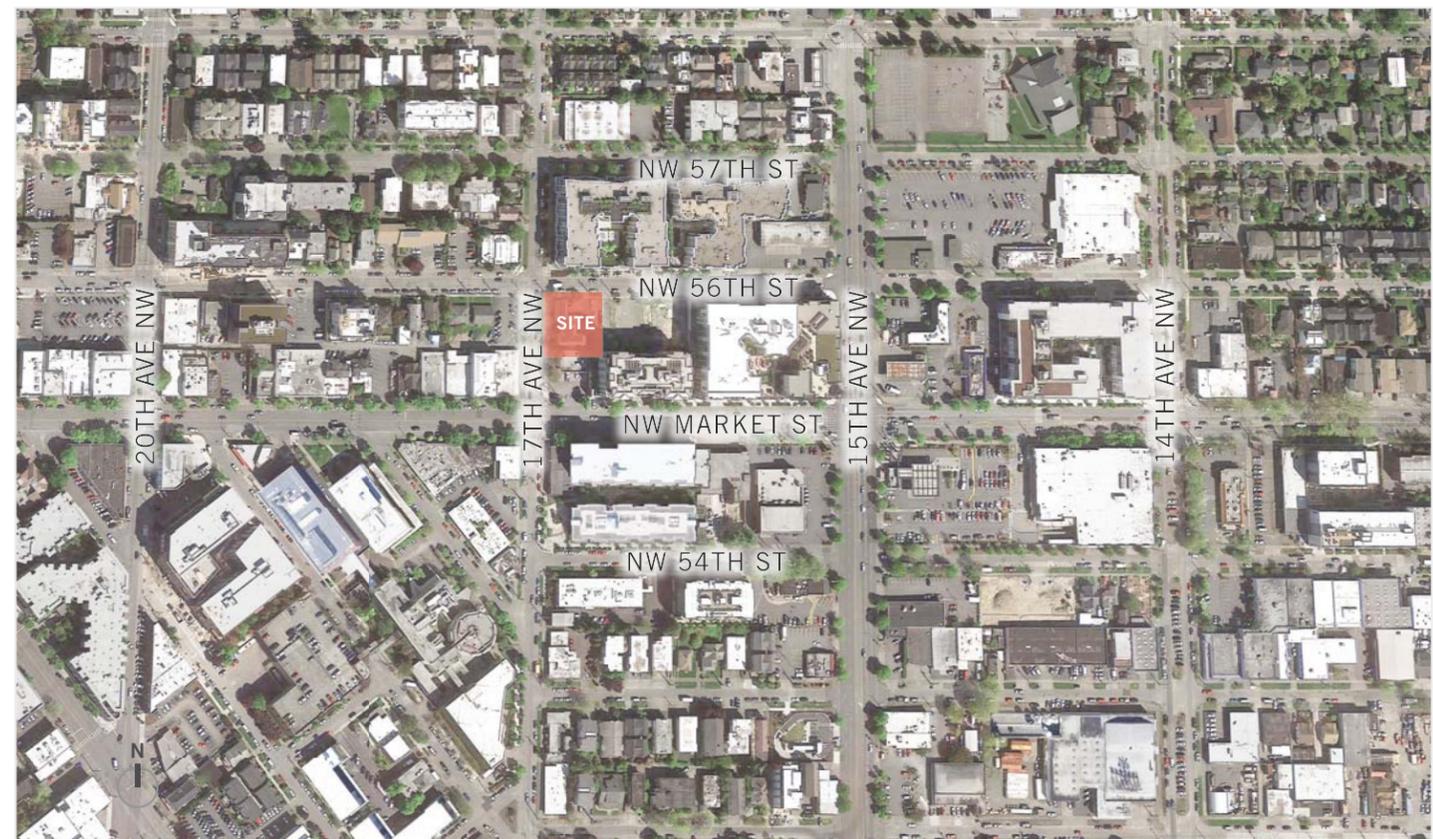
SITE DESCRIPTION:

The site is located in the heart of the Ballard neighborhood, at the corner of NW 56th Street & 17th Avenue NW. It lies within the Ballard Hub Urban Village. Zoning is designated NC3-85. Commercial, mixed-use, multifamily, and single family buildings run along both NW 56th Street and 17th Avenue NW. The site is within a short walking distance to many shops, restaurants, convenience stores and grocery stores, as well as many institutional facilities such as a library, post office and bus stops.

There is currently an office building, 2-story wood structure located on the site. High-voltage power lines run along the north and west property lines parallel to NW 56th Street & 17th Avenue NW. The site is relatively flat, with approximately 4 ft. of grade change along 17th Avenue NW. The site is bordered to the south by a 1-story retail building (7-Eleven convenience store) and to the east by a new 7-story mixed-use building currently under construction.



AXONOMETRIC MAP



AERIAL 9 BLOCK MAP

SITE VICINITY

VICINITY & WALKING MAP KEY

- SITE
- PARK
- WATER
- PEDESTRIAN AREA
- TRANSIT RUNS
- BUS STOPS
- - - BIKE FRIENDLY STREETS
- 1 VIEW
- 5 MINUTE WALK
- BALLARD HUB URBAN VILLAGE OVERLAY
- FREQUENT TRANSIT CORRIDOR
- SCHOOL



VICINITY PHOTOS:



Source: RealEstateGals.com

1 OLD BALLARD/ BALLARD AVENUE HISTORIC DISTRICT
 DISTANCE FROM SITE (0.5 MI):
 🚲 4 MIN. 🚶 11 MIN.



Source: Yelp

2 BALLARD COMMUNITY CENTER
 6020 28TH AVENUE NW
 DISTANCE FROM SITE (0.9 MI):
 🚲 5 MIN. 🚶 18 MIN.



Source: Wikipedia

3 BALLARD HIGH SCHOOL
 1418 NW 65TH STREET
 DISTANCE FROM SITE (0.7 MI):
 🚲 4 MIN. 🚶 12 MIN.



Source: Seattleite.com

4 NORDIC HERITAGE MUSEUM
 3014 NW 67TH STREET
 DISTANCE FROM SITE (1.4 MI):
 🚲 7 MIN. 🚶 26 MIN.



Source: Capcentralhigh.com

5 HIRAM M. CHITTENDEN LOCKS
 3015 NW 54TH STREET
 DISTANCE FROM SITE (0.9 MI):
 🚲 6 MIN. 🚶 18 MIN.



Source: Wikipedia

6 SHILSOLE BAY MARINA
 7001 SEAVIEW AVENUE NW
 DISTANCE FROM SITE (2.3 MI):
 🚲 13 MIN. 🚶 43 MIN.

URBAN CONTEXT

SITE ANALYSIS:

The property is located within the Ballard Hub Urban Village. NW Market Street along with Ballard Avenue NW are the major pedestrian streets vibrant with restaurants and shops. This area of Ballard boasts eclectic mix of old and new. With the Ballard Avenue Historic District nearby, there are numerous new construction projects, of various size and scale, planned or under construction in the vicinity among existing historic landmark buildings.

Some notable facilities in near vicinity include Ballard Community Center and Playground on NW 60th Street, Ballard High School on NW 65th Street, and Nordic Heritage Museum on NW 67th Street.

Some natural resources such as Salmon Bay, Hiram M. Chittenden Locks, and Shilshole Bay are notable attractions in this area.

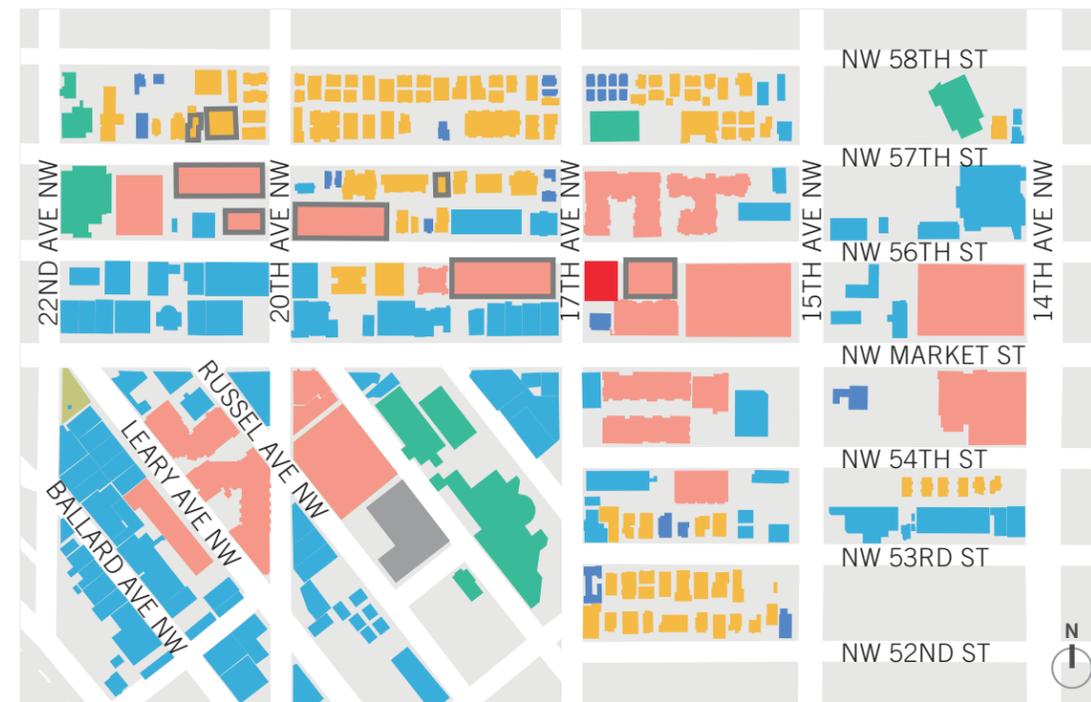
TRANSPORTATION:

The site is located within walking distance to a number of bus stops connecting south to downtown, north to Crown Hill and Greenwood neighborhoods, and east to Fremont, Wallingford and University District.

ZONING ANALYSIS:

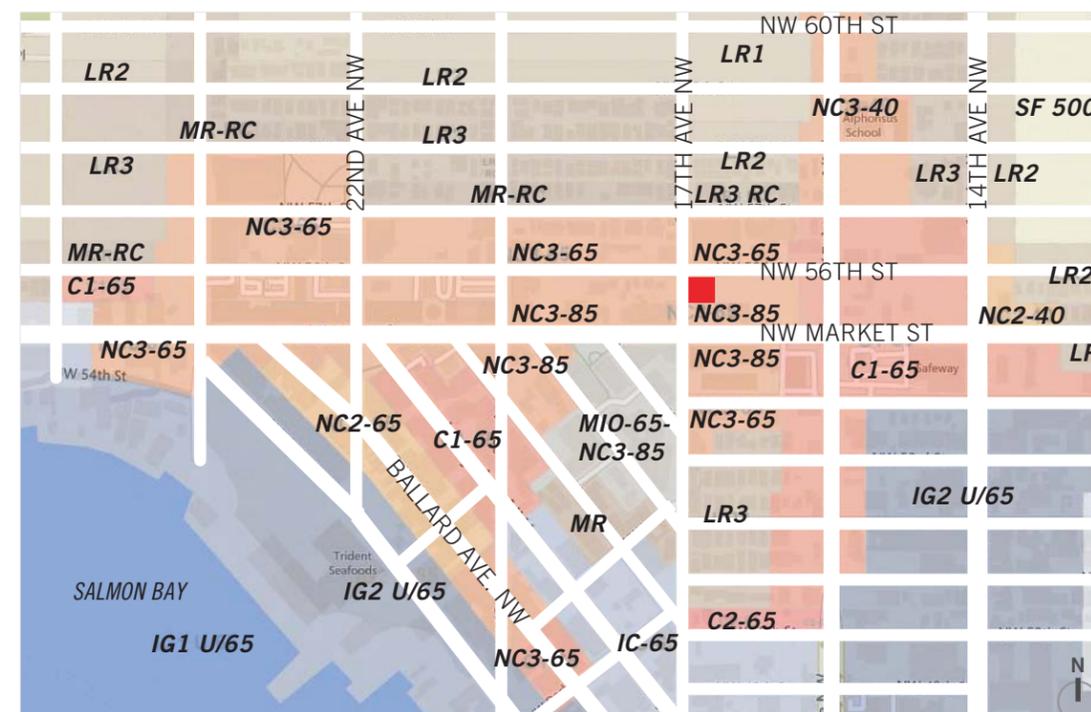
The site is zoned NC3-85, with maximum allowable height at 85feet above average grade. As shown on the zoning map, the site is surrounded by various zones ranging from single family zones (SF 5000) to commercial zones (NC and C zones) and even industrial zones (IG zones). This results in various types of architecture, scale and materials. Surrounding uses also vary greatly ranging from single family houses to multi-family and mixed-use structures, commercial/retail structures and institutional structures. Institutional structures include library, post office, schools, hospitals and churches.

SURROUNDING USES & ZONING



SURROUNDING USES MAP KEY

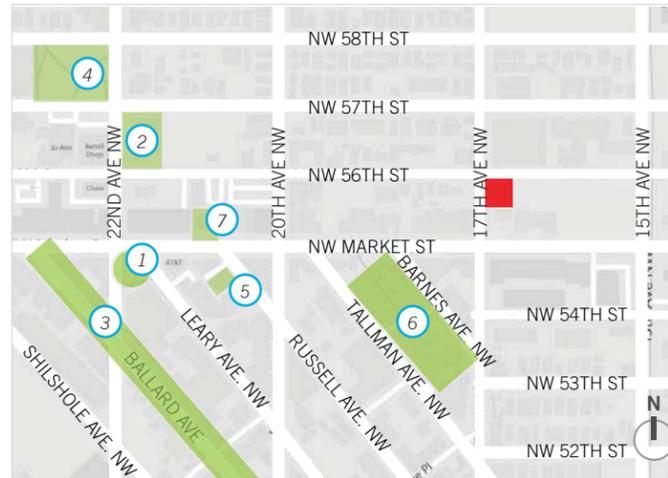
- SITE
- MIXED-USE
- INSTITUTIONAL
- PARKS
- RETAIL
- SINGLE FAMILY (1 TO 2 STORIES)
- MULTI FAMILY
- PROJECTS UNDER CONSTRUCTION/REVIEW



ZONING MAP KEY

- SITE
- SF 5000
- LR1
- LR2
- LR3
- MR
- IGS U/65
- NC2-40
- NC2-65
- NC3-65
- NC3-85
- C1-65
- C2-65
- IC-65

COMMUNITY NODES & LANDMARKS



1 BERGEN PLACE PARK
5420 22ND AVE. NW
DISTANCE FROM SITE (0.3 MI):
🚲 3 MIN. 🚶 7 MIN.



2 BALLARD PUBLIC LIBRARY
5614 22ND AVE. NW
DISTANCE FROM SITE (0.3 MI):
🚲 2 MIN. 🚶 6 MIN.



3 BALLARD AVE. LANDMARK DISTRICT
DISTANCE FROM SITE (0.5 MI):
🚲 4 MIN. 🚶 11 MIN.
Designated as Landmark District, the neighborhood embodies distinctive characteristics of late 1800s to early 1900s commercial architecture.



4 BALLARD COMMONS PARK
5701 22ND AVE. NW
DISTANCE FROM SITE (0.4 MI):
🚲 2 MIN. 🚶 7 MIN.



5 OLD FIREHOUSE #18
5427 RUSSELL AVE. NW
DISTANCE FROM SITE (0.3 MI):
🚲 2 MIN. 🚶 5 MIN.
Designated landmark

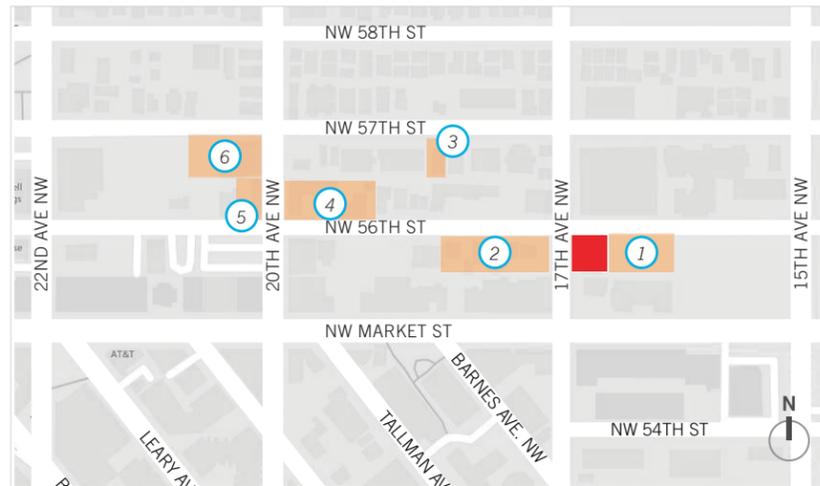


6 SWEDISH MEDICAL CENTER
5300 TALLMAN AVE. NW
DISTANCE FROM SITE (0.2 MI):
🚲 3 MIN. 🚶 5 MIN.



7 BALLARD CARNEGIE FREE PUBLIC LIBRARY
2026 NW MARKET ST.
DISTANCE FROM SITE (0.2 MI):
🚲 2 MIN. 🚶 5 MIN.
Designated as a Seattle Landmark. Italian Renaissance Revival style architecture.

PROJECTS UNDER REVIEW/ CONSTRUCTION



Source/Architect: Weber Thompson

1 HJARTA II APARTMENTS
1599 NW 56TH ST.
106 UNITS



Source/Architect: Clark Design Group

2 VALDOK I APARTMENTS
1701 NW 56TH ST.
176 UNITS



Source/Architect: Caron Architecture

3 EFFICIENCY APARTMENTS
1731 NW 57TH ST.
48 UNITS



Source/Architect: Ankrom Moison

4 VIK BALLARD CONDOMINIUMS
1760 NW 56TH ST.
117 UNITS



Source/Architect: Place Architect

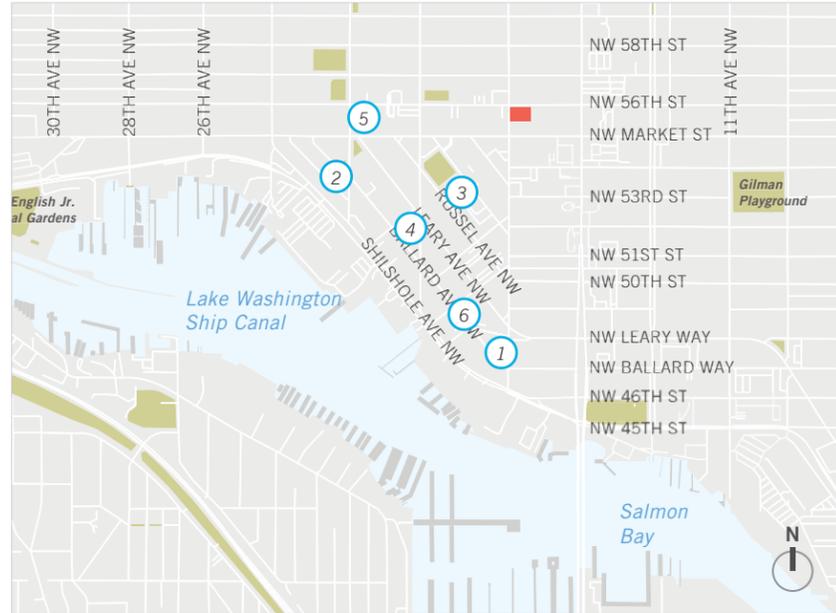
5 SALTWORKS APARTMENTS
5601 20TH AVE. NW
35 UNITS & 3 LIVE/WORK



Source/Architect: Tiscareno Assoc.

6 MODERA APARTMENTS
2003 NW 57TH ST.
118 UNITS & 14 LIVE/WORK

NEIGHBORHOOD HISTORIC BUILDING PHOTOS



1 KOLSTRAND BUILDING, 4741 BALLARD AVENUE NW
BUILT IN 1910
Adaptive reuse project. New transparent storefronts are inserted into the existing historic building.



2 PORTLAND BUILDING, 5403 - 5407 BALLARD AVENUE NW
BUILT IN 1901
The original decorative brick work is well preserved. The rhythm of wider openings at ground level and smaller punched openings above is typical of the structures built in early 1900s.



3 LOUISA BUILDING, 5228 20TH AVENUE NW
BUILT IN 1902
Two story brick building with large trabeated openings on the ground level. Narrow brick piers dividing the storefronts.



4 BANK BUILDING, 5300 BALLARD AVENUE NW
BUILT IN 1902
Two story structure boasting the Second Empire Baroque style. The corner of the building is emphasized with open storefront at ground level and curvilinear ornaments on the roof.

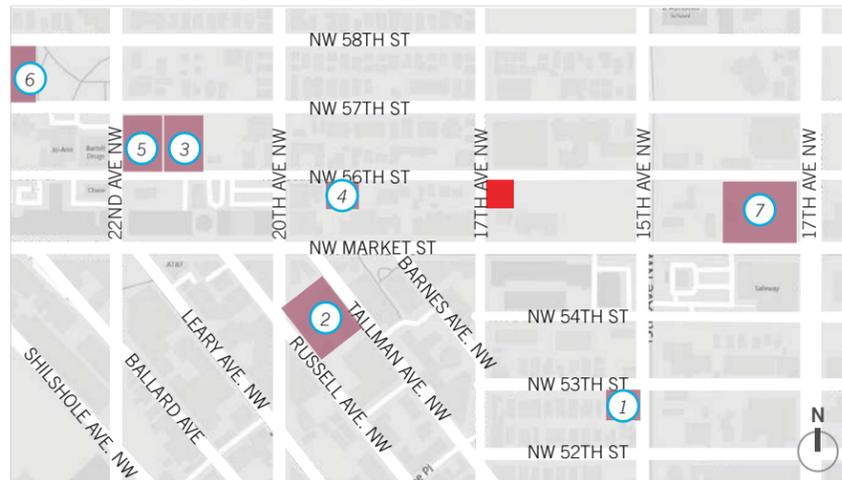


5 BALLARD BUILDING, 2200 NW MARKET STREET
BUILT IN 1923
Ornate horizontal banding breaks the building massing into two. The later addition to the building at the top adds another horizontal layer into the building.



6 FLATIRON BUILDING, 5130 BALLARD AVENUE NW
BUILT IN 1896
Two story brick building with wide trabeated opening at ground level, smaller punched openings above.

NEIGHBORHOOD VICINITY PHOTOS



1 STARBUCKS CONTAINER STORE
5221 15TH AVENUE NW
Retail with materials reflecting Ballard's industrial roots (shipping container, metal siding)



2 ODIN APARTMENTS
5398 RUSSELL AVENUE NW
286-unit apartments with modern materials and massing that contrasts with existing historic characteristics of Old Ballard



3 GREENFIRE CAMPUS
2041 NW 57TH STREET
18 residential units and 18,000 SF of retail and office community. Use of canopies, sunshades, roof overhangs to provide human scale with rich landscaping along the street.



4 NYER URNESS HOUSE
1753 NW 56TH STREET
80-unit supportive housing apartments with simple massing with careful detailing. Prominent residential entry at ground level.



5 BALLARD LIBRARY
5614 22ND AVENUE NW
Use of materials such as metal siding and wood rafters reflect the fishing industry roots of Ballard.



6 ON THE PARK APARTMENTS
2233 NW 58TH STREET
305-unit apartments with interesting canopy design, street furnitures and landscaping to create usable space at ground level.



7 AVA BALLARD APARTMENTS
5555 14TH AVENUE NW
256-unit apartment; creates smaller perceived massing by breaking the facade mass.

17TH AVENUE NW STREETSCAPES

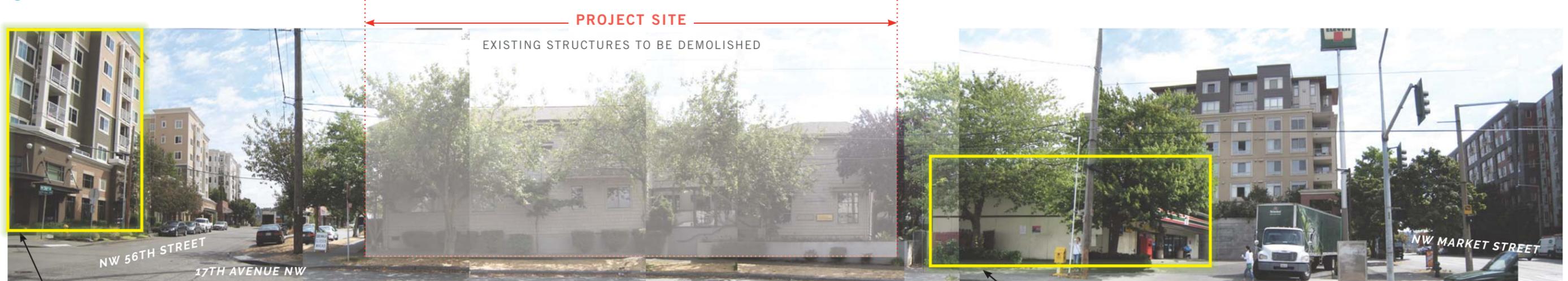
A 17TH AVENUE NW LOOKING WEST



NEW 7 STORY MIXED-USE BUILDING UNDER REVIEW

- PAINTED METAL PANEL, SYNTHETIC WOOD SIDING, ALUMINUM STOREFRONT PER DESIGN REVIEW PROPOSAL

B 17TH AVENUE NW LOOKING EAST



6 STORY MIXED-USE

- BRICK, STUCCO, ALUMINUM STOREFRONT AT GROUND LEVEL; VINYL WINDOWS, LAP SIDING ABOVE



NW 56TH STREET STREETSCAPES

C NW 56TH STREET LOOKING NORTH

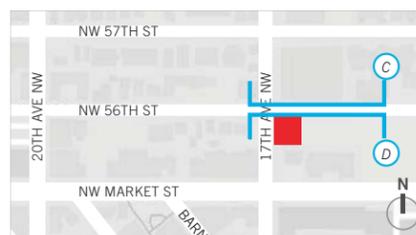


D NW 56TH STREET LOOKING SOUTH



- 7 STORY MIXED-USE
- BRICK, FIBER CEMENT BOARD SIDING, LAP SIDING, VINYL WINDOWS

- NEW 7 STORY MIXED-USE UNDER CONSTRUCTION
- METAL PANEL SIDING, FIBER CEMENT BOARD SIDING, COMPOSITE WOOD VENEER PER DESIGN REVIEW PROPOSAL



9-BLOCKS AXONOMETRIC MAP



CURRENT CONDITIONS

The site is located at the southeast corner of NW 56th Street & 17th Avenue NW., neither street is arterial, but both are heavy with pedestrian traffic due to the close proximity to shops, restaurants and other institutional facilities such as a library and a post office.

On the site currently is a 2-story office building with some surface parking. It is relatively flat with about 4ft of grade change along 17th Avenue NW. There are opportunities for view to the south (Salmon Bay and Mt. Rainier) and west (Olympics).

The site is surrounded by 6 or 7 story new mixed-use buildings. The one immediately east of the site is under construction, and the one west of the site (across the street) is under review. The lot immediately south of the site is one story convenient store (7-Eleven).

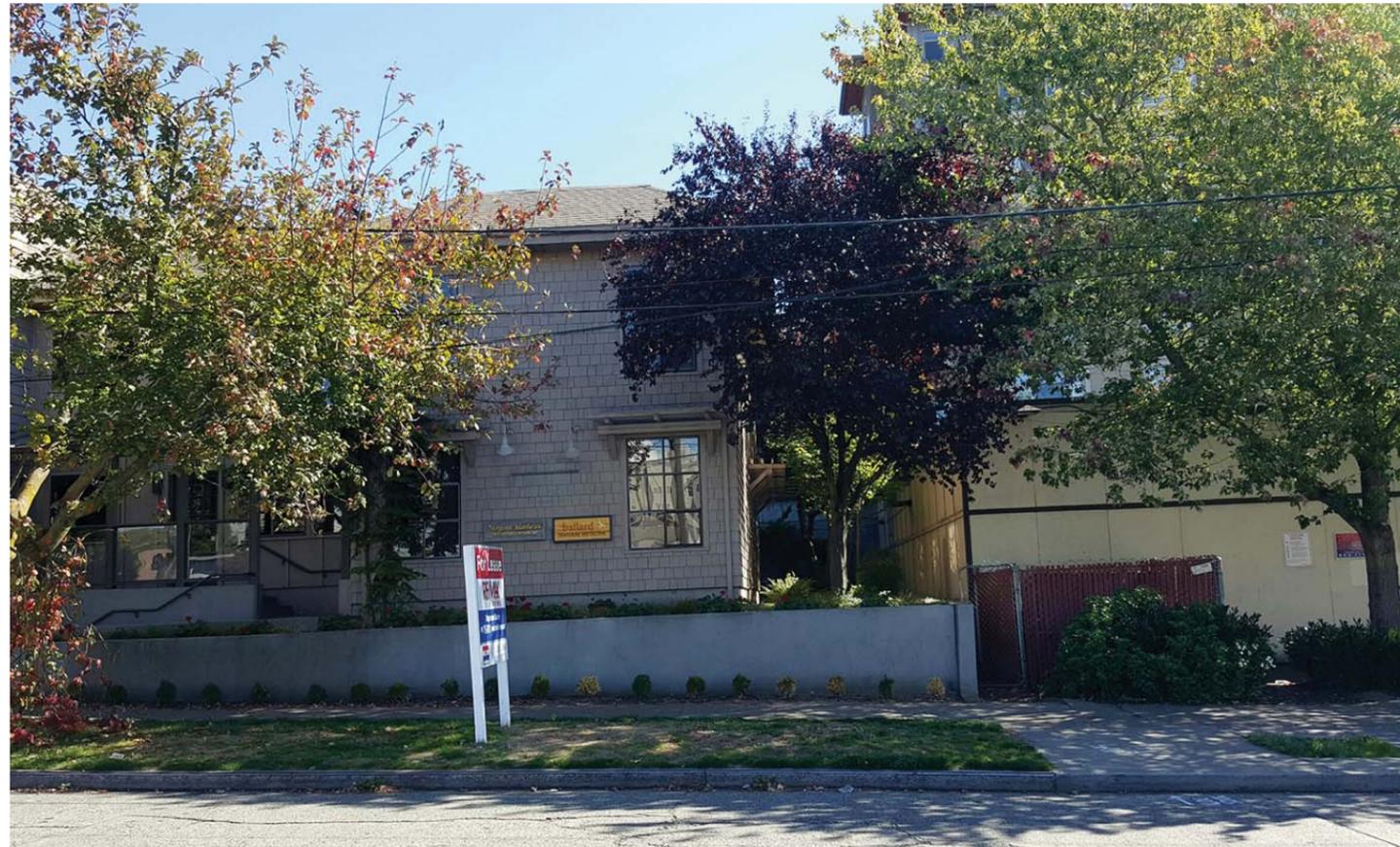
There are high voltage power lines along 17th Avenue NW., which will require additional setbacks. The high voltage power lines along NW 56th Street will be underground, posing an interesting challenge for massing of the project.



1 VIEW OF THE SITE FROM NW 56TH ST



1 VIEW OF THE SITE FROM NW 56TH ST, SHOWING CONSTRUCTION SITE TO THE EAST



2 VIEW OF THE SITE FROM 17TH AVE. NW, SHOWING ADJACENT BUILDING TO THE SOUTH



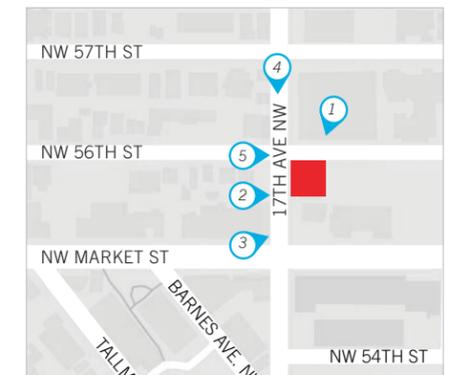
3 VIEW OF 7-11 STORE ON 17TH AVE. NW, SOUTH OF SITE



5 VIEW OF PROJECT UNDER CONSTRUCTION, EAST OF SITE



4 VIEW OF SIDEWALK ALONG 17TH AVE. NW

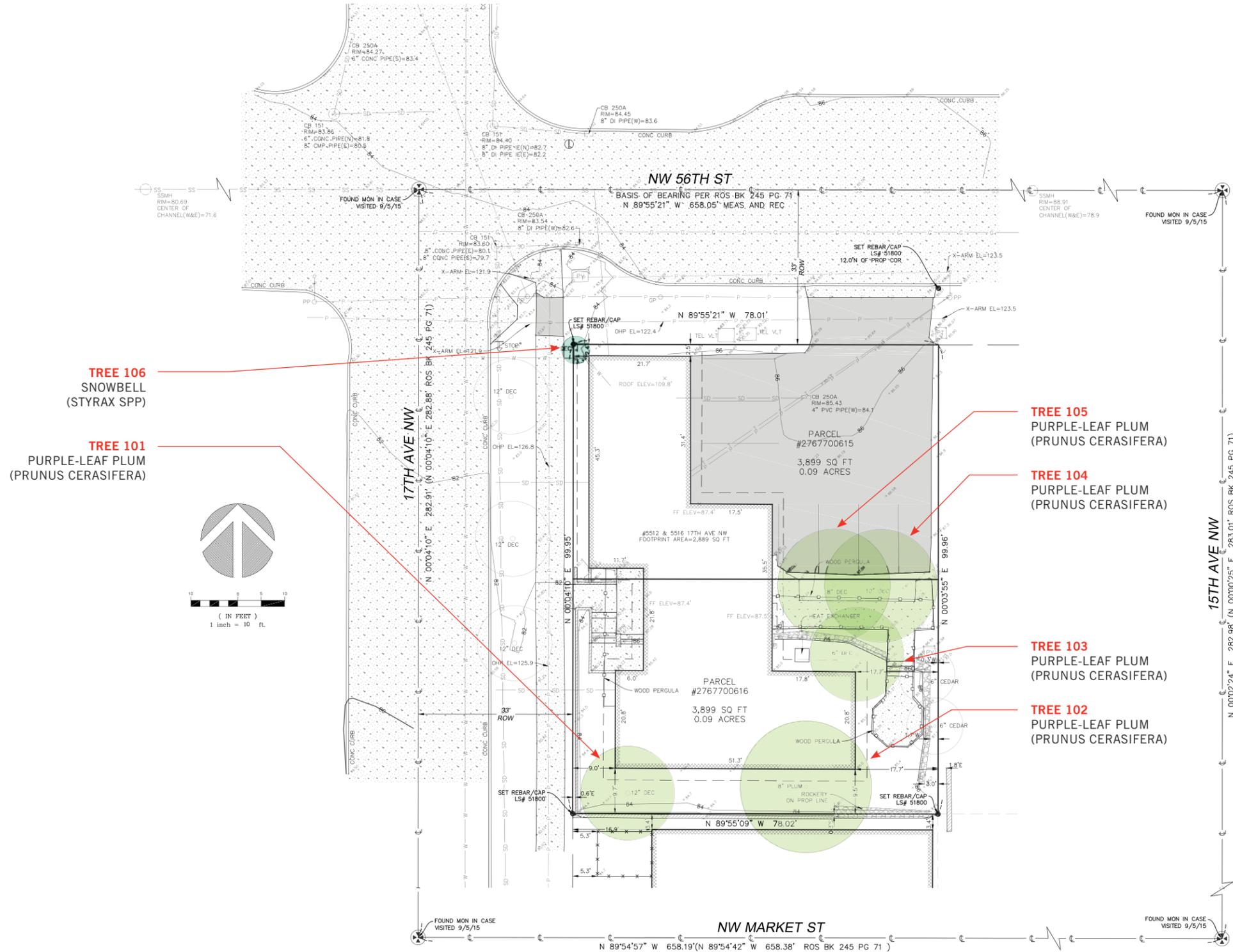


SURVEY

EXISTING TREE MAP KEY

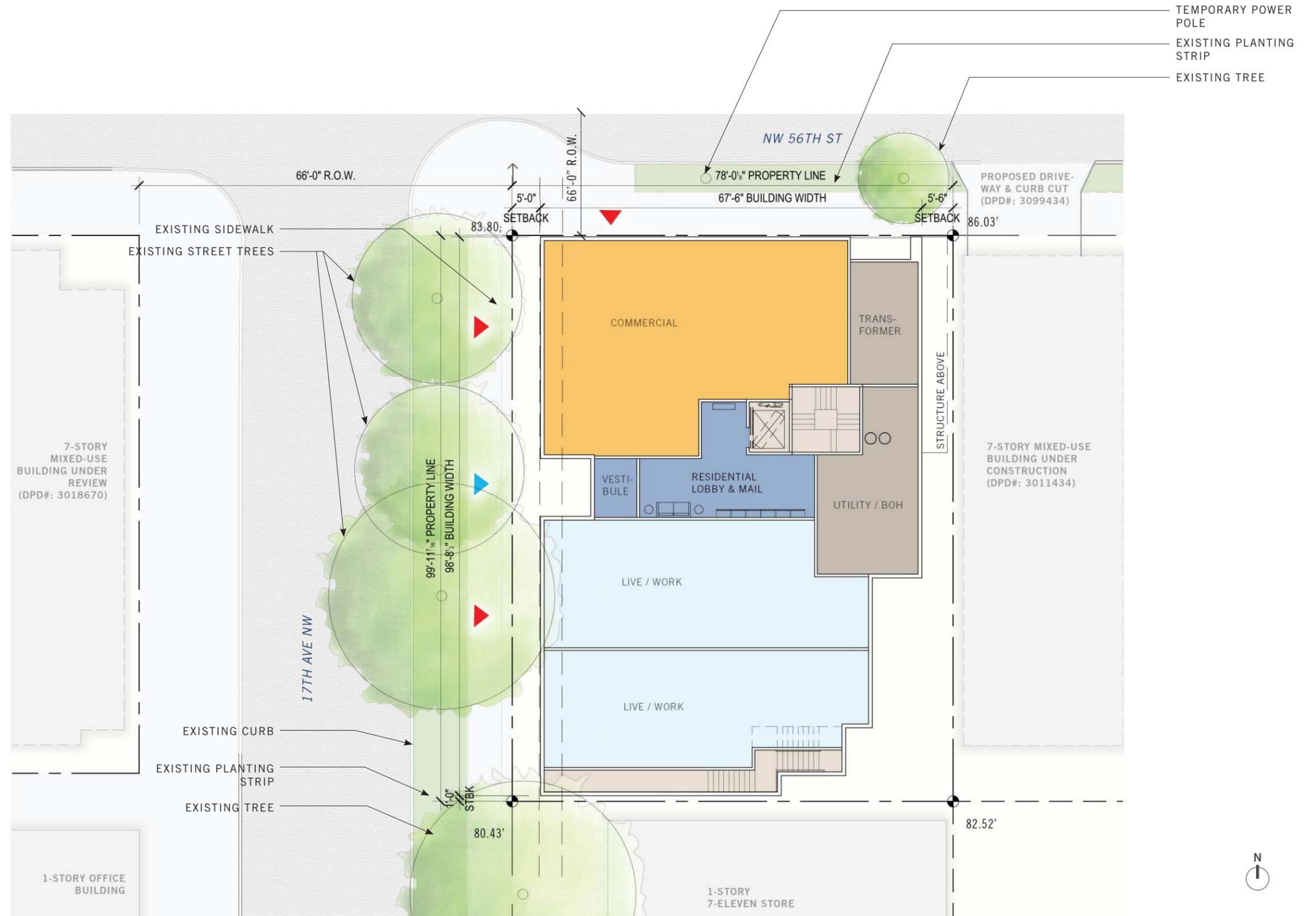
- PURPLE-LEAF PLUM (PRUNUS CERASIFERA)
- SNOWBELL (STYRAX SPP)

*NOTE: NONE ARE EXCEPTIONAL TREES PER ARBORIST REPORT



PROPOSED SITE PLAN

- KEY**
- COMMERCIAL
 - LIVE / WORK
 - UTILITY / BOH
 - CIRCULATION
 - PLANTING STRIP
 - RES. AMENITY
 - PEDESTRIAN ACCESS
 - RESIDENTIAL ACCESS



CODE COMPLIANCE NC3-85

APPLICABLE ZONING	SMC-SECTION	SUB-SECTION	REQUIREMENT	OPTION 1	OPTION 2	OPTION 3
Street-level Uses	23.47A.005	C	Residential Uses may occupy, in aggregate, no more than 20 percent of street-level, street-facing façade in a pedestrian-designated zone, facing a designated principal pedestrian street or within a zone that has a height limit of 85ft or higher.	✓	✓	✗
Street-level Development Standards	23.47A.008	A.2.b	Blank facades – between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width	✓	✓	✓
		A.2.c	Blank facades may not exceed 40% of the width of façade of along the street	✓	✓	✓
		B.2.a	Non-residential street-level requirements - 60% of street-facing facade between 2 feet and 8 feet above sidewalk shall be transparent.	✓	✓	✓
		B.3	Non-residential uses shall extend an average depth of 30 ft, minimum depth of 15 ft from the street-level street-facing facade.	✓	✓	✓
		B.4	Non-residential uses at street level shall have floor to floor height of 13 ft.	✓	✓	✓
		D.1	Where residential uses are located at street-level street-facing facades at least one street-level, street facing façade shall have a visually prominent entry	✓	✓	✓
		E	The non-residential portion of live/work units, in which the business is conducted, must be located between the street and the residential portion, and shall extend the width of street-level street-facing facade, extend a minimum depth of 15' from street-level street-facing facade.	✓	✓	✓
Structure Height	23.47A.012	A	85 ft height limit	✓	✓	✓
		C.2	Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets and firewalls may extend as high as the highest ridge of a pitched roof or 4 feet above the otherwise applicable height limit, whichever is higher.	✓	✓	✓
		C.4.b	As long as the combined total coverage of all features gaining additional height listed in this subsection does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes stair or elevator penthouses, the stair and elevator penthouses may extend above the applicable height limit up to 16 feet.	✓	✓	✓
FAR (Floor Area Ratio)	23.47A.013	Table A	Total FAR permitted for mixed-use in 85 foot height limit zone is 6, provided that the FAR limit for either all residential uses or all non-residential uses shall not exceed the FAR limit of 4.5.	✓	✓	✓
Landscaping & Screening Standards	23.47A.016	A.2	Landscaping shall achieve a Green Factor score of 0.30 or greater	✓	✓	✓
Amenity Area	23.47A.024	A	Amenity Areas are required in an amount equal to 5 percent of the total gross floor area in residential use.	✓	✓	✓
		B	Required amenity areas shall meet the following standards: all residents shall have access to at least one common or private amenity area; the amenity area shall not be enclosed; parking areas do not count as amenity areas; common amenity areas shall have a minimum horizontal dimension of 10 feet and shall not be less than 250 square feet in area; private amenity areas shall have no horizontal dimension less than 6 feet and a minimum area of 60 square feet.	✓	✓	✓
Required Parking	23.54.015	Table A	No parking required for non-residential uses in urban villages that are not within urban centers if the non-residential use is located within 1,320 feet of a street with frequent transit service.	✓	✓	✓
		Table B	No parking required for residential uses in commercial and multifamily zones within urban villages that are not within urban centers if the residential use is located within 1,320 feet of a street with frequent transit service.	✓	✓	✓
		Table D	Long-term bike parking required for Multi-Family structures: 1 per 4 dwelling units or 0.75 per small efficiency dwelling unit. Long-term and short-term bike parking required for Sales and Services, general, are 1 per 12,000 SF and 1 per 4,000 SF respectively.	✓	✓	✓
Solid Waste Storage Area	23.54.040	Table A	Residential use containing between 51 and 100 units shall have a minimum area of 375 square feet plus 4 square feet of each additional unit above 50, plus 50% of non-residential development requirement.	✓	✓	✓

ARCHITECTURAL DESIGN RESPONSE

CS2. Urban Pattern & Form

A. LOCATION IN THE CITY & NEIGHBORHOOD

A1. *Sense of Place: Emphasize attributes that give Seattle, the neighborhood, and/or the site its distinctive sense of place. Design the building and open spaces to enhance areas where a strong identity already exists, and create a sense of place where the physical context is less established.*

- Ballard's rich historic characteristics are reflected on the ground level with use of brick and dark bronze storefront.
- Ballard's industrial roots are reflected in the use of materials such as dark metal siding.

B. ADJACENT SITES, STREETS, & OPEN SPACES

B2. *Connection to the Street: Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm.*

- Setback at ground level for wider sidewalk lined with street trees.
- Retail and live-work units with maximum glazing at ground level create connection between public and private realm.
- Street-level facades are emphasized by additional setback at upper levels.

C. RELATIONSHIP TO THE BLOCK

C1. *Corner Sites: Corner sites can serve as gateways or focal points; both require careful detailing at the first three floors due to their high visibility from two or more streets and long distances.*

- Setback at ground level for generous street/pedestrian experience.
- Corner of the building occupied by commercial space with maximum transparency.

D. HEIGHT, BULK, & SCALE

D1. *Existing Development & Zoning: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.*

- The proposed development is in NC3-85 zone with 7-8 story developments surrounding the site.
- The proposed development aims to reflect the small scale storefront of NW Ballard Avenue and the Old Ballard at ground level.



▲
CS2.A.1:

Brick and dark bronze storefronts reflect the dominant characteristics found in Old Ballard.

CS3. Architectural Context & Character

A. EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES

A3. *Established Neighborhoods: In existing neighborhoods with a well-defined architectural character, site and design new structures to complement or be compatible with the architectural style and siting patterns of neighborhood buildings.*

- Use of brick and dark bronze storefront and windows to reflect characteristics of Old Ballard.
- Strong industrial roots are reflected in the choice of materials.



▲
CS2.A.1:

① *Example of a storefront found on Ballard Avenue. The brick building has dark framed storefronts with maximum glazing which is illustrative of the neighborhood's character.*

PL1. Connectivity

A. NETWORK OF OPEN SPACES

A2. *Adding to Public Life: Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life.*

- Setback is provided at ground level to provide wider sidewalk with landscaping.
- Recessed entries with canopy, ample lighting, large storefronts, pedestrian scale displays and signage help enrich the pedestrian experience.

ARCHITECTURAL DESIGN RESPONSE

PL2. Walkability

A. ACCESSIBILITY

A1. *Access for All: Provide access for people of all abilities in a manner that is fully integrated into the project design.*

- Accessible routes provided at main building entry points.

B. SAFETY & SECURITY

B1. *Eyes on the Street: Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.*

- Maximum storefront/transparency on street level and upper-story balconies provide 'eyes on the streets.'

B2. *Lighting for Safety: Provide lighting at sufficient lumen intensities and scales, including pathway illumination, pedestrian and entry lighting, and/or security lights.*

- Ample exterior lighting provided for safety.

B3. *Street-level Transparency: Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.*

- Maximum storefront/transparency provided at commercial, live-work units and residential entry at ground level.

C. WEATHER PROTECTION

C1. *Locations & Coverage: Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activities such as entries, retail uses, and transit stops.*

- Continuous canopy on the ground floor provided for weather protection.

PL3. Street-Level Interaction

A. ENTRIES - 1. DESIGN OBJECTIVES

A1C. *Common Entries to Multi-story Residential Buildings: need to provide privacy and security for residents but also be welcoming and identifiable to visitors.*

- Recessed residential entry with large canopy provides a sense of privacy and security for residents.
- Signage for wayfinding will also be provided.

B. RESIDENTIAL EDGES

B3. *Buildings with Live/Work Uses: Maintain active and transparent facades in the design of live/work residences that are required to orient the non-residential portions of the unit toward the street.*

- Transparency at ground level provided for rich pedestrian experience.
- Live-work units can be combined into a big commercial space along 17th Avenue NW.

C. RETAIL EDGES

C1. *Porous Edge: Engage passersby with opportunities to interact visually with the building interior using glazing and transparency.*

- Maximum glazing with multiple entries provided along both 17th Avenue NW and NW 56th Street
- Overhead garage door/operable wall provided for maximum porosity between the commercial space and the streets.



◀ PL1.A.2:

Use of fun signage representation of the function inside creates interests in pedestrian experience



PL1.A.2:

Use of glass canopy creates protection for pedestrians while allowing light to get through.



PL1.A.2:

Use of pedestrian scale signage and display windows to create pleasant pedestrian experience.

ARCHITECTURAL DESIGN RESPONSE

PL4. Active Transportation

B. PLANNING AHEAD FOR BICYCLISTS

B2. **Bike Facilities:** *Facilities such as bike racks and storage, bike share stations, shower facilities and lockers for bicyclists should be located to maximize convenience, security, and safety.*

- Ample bike storage for residents is provided within the structure for security.
- Outdoor bike racks for commercial patrons provided (within the property).

DC1. Project Uses & Activities

A. ARRANGEMENT OF INTERIOR USES

A1. **Visibility:** *Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front.*

- Commercial space is located at the building corner.
- Residential entry is located at mid-block on 17th Ave NW with prominent signage for wayfinding.

DC2. Architectural Concept

A. MASSING

A2. **Reducing Perceived Mass:** *Use secondary architectural elements to reduce the perceived mass of larger projects.*

- Recessed entries, canopies, recessed decks and other architectural facade treatments are utilized to break down mass.

D. SCALE & TEXTURE

D1. **Human Scale:** *Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.*

- Use of brick, canopies, balconies and window mullions to provide human scale.

DC3. Open Space Concept

C. DESIGN

C2. **Amenities and Features:** *Create attractive outdoor spaces well-suited to the uses envisioned for the project.*

- Rooftop deck, with a combination of hardscape and plantings, is provided as a place of relaxation and to take advantage of the view.

Dc4. Exterior Elements & Finishes

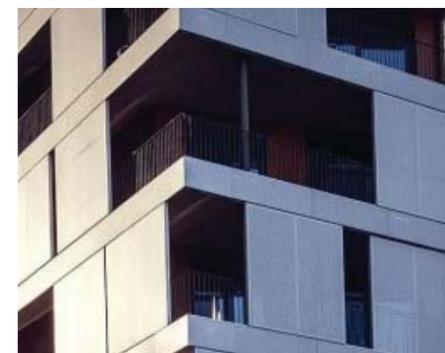
A. BUILDING MATERIALS

A1. **Exterior Finish Materials:** *Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close.*

- Durable and high quality materials such as brick, metal, fiber cement, and aluminum storefront are used.



DC2.D.1:
Rhythmic window openings create texture to the building facade. Windows scaled appropriately to provide human scale to the building.

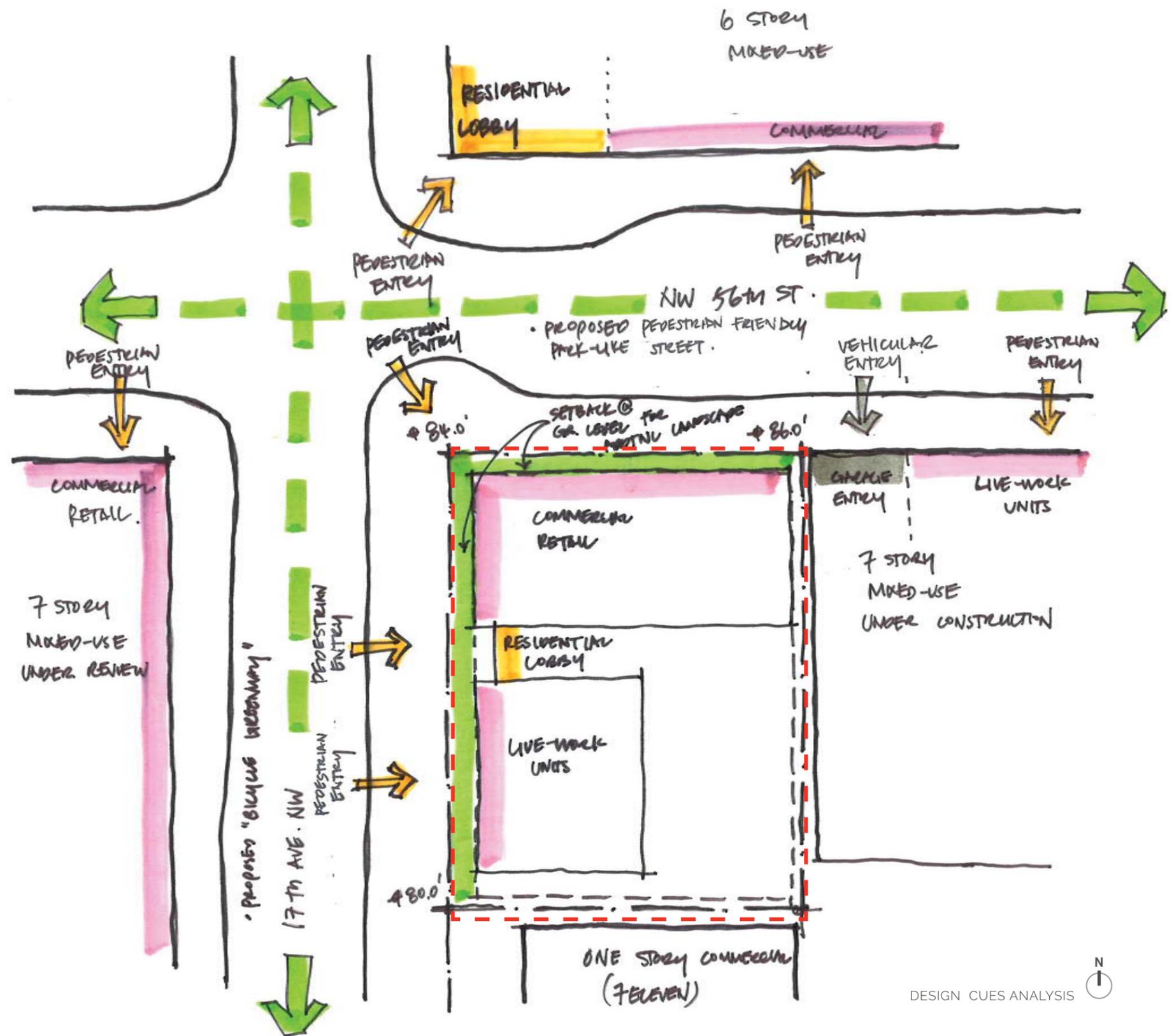


DC2.D.1:
Use of balconies in well-detailed manner creates rich textures and provides human scale to the building.

DESIGN CONTEXT

The site is located at an important cross-paths connecting various neighborhood destinations such as the civic core, historic district, general commercial and residential. Similarly, the site is situated where old and new emerge together. There are abundant examples of structures ranging from 1800s to current. The proposed development aims to create a structure that reflects the neighborhood's rich historic roots while harmoniously merging the contemporary design.

Both NW 56th Street and 17th Avenue NW are proposed to be improved as more pedestrian friendly streets. NW 56th Street is to be a park-like street that is attractive for pedestrians traveling east west. 17th Avenue NW is to be a bicycle green-way connecting north south.



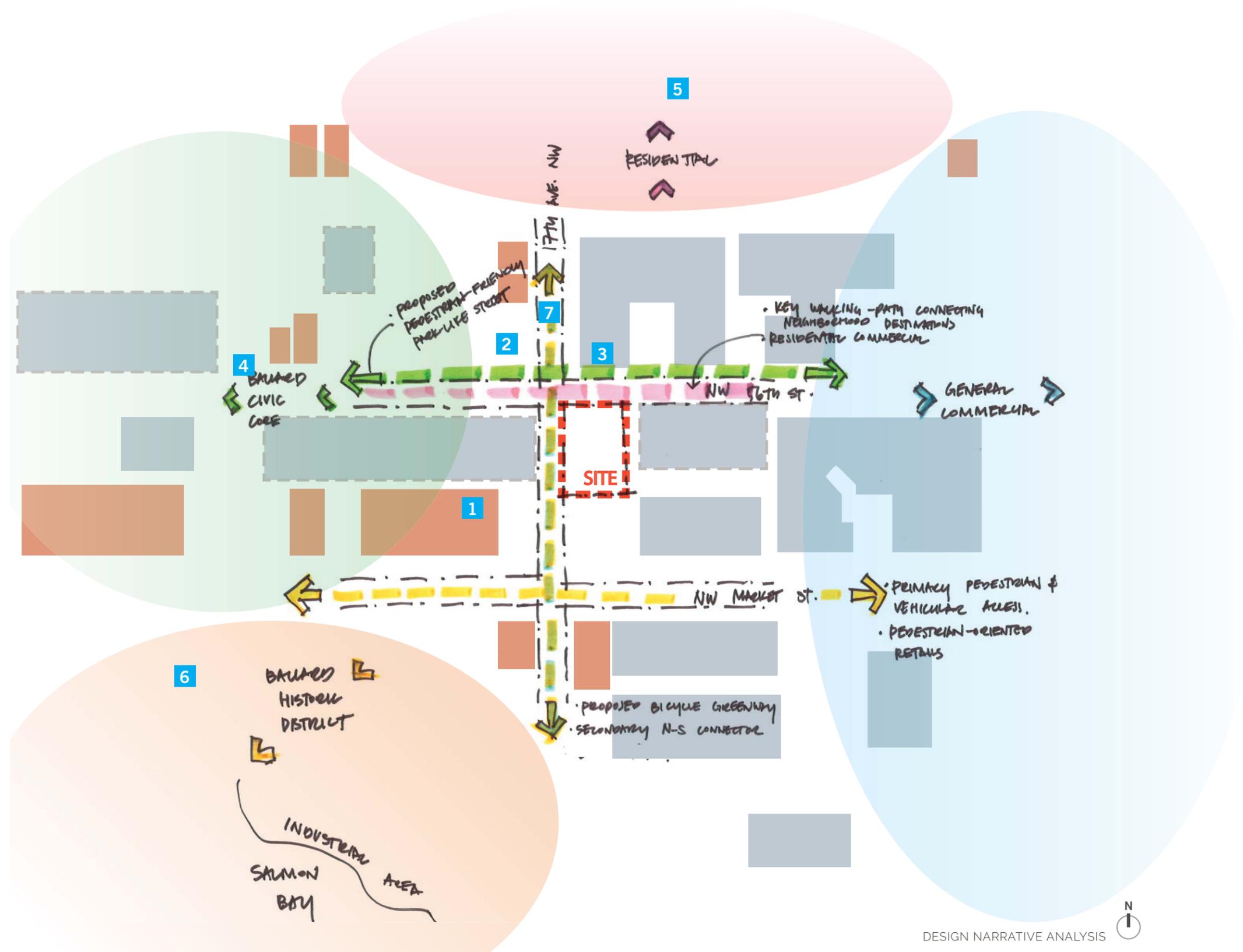
SITE ACCESS DIAGRAM KEY

- - - SITE
- - - PROPOSED PEDESTRIAN/BICYCLE FRIENDLY GREEN STREETS & LANDSCAPING
- █ RESIDENTIAL ENTRY
- █ COMMERCIAL/RETAIL LIVE/WORK ENTRANCES
- █ VEHICULAR ENTRY TO GARAGE

DESIGN CONTEXT

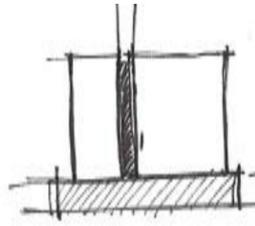
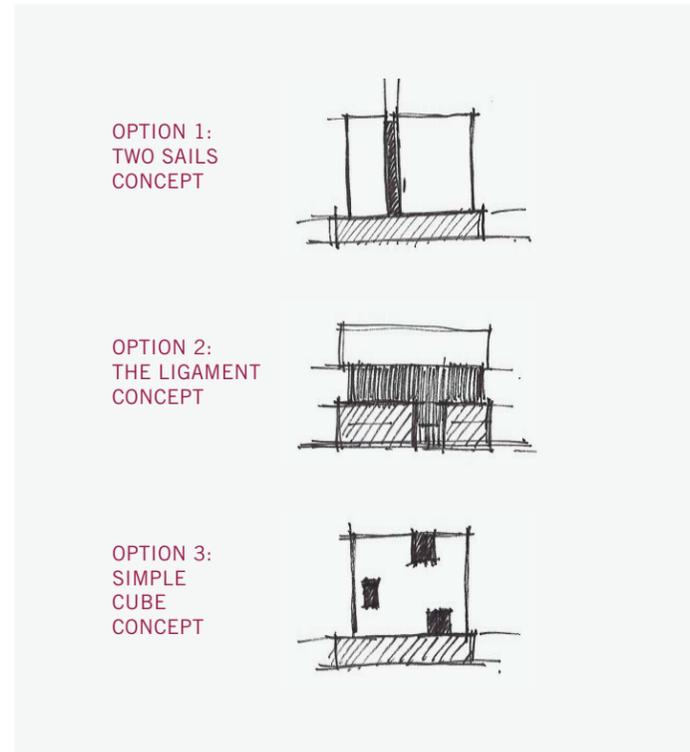
DIAGRAM KEY

- SITE
- STRUCTURE BUILT PRIOR TO EARLY 1900S
- STRUCTURE BUILT (TO BE BUILT) AFTER 2000S



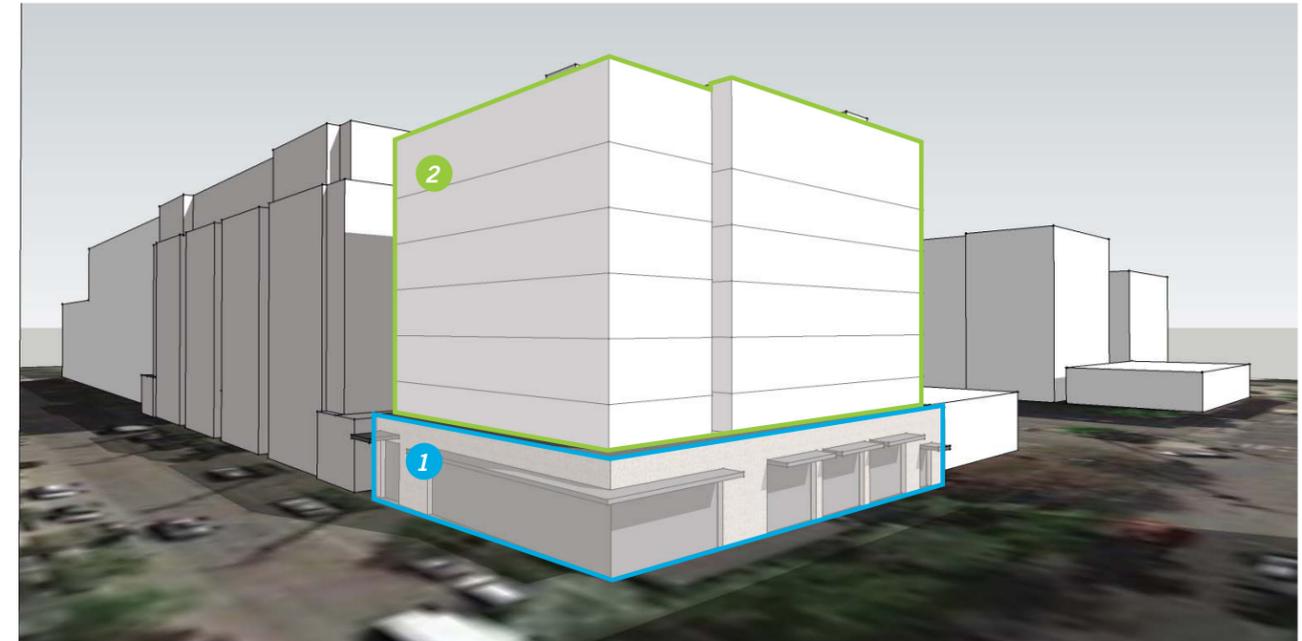
DESIGN NARRATIVE ANALYSIS

DESIGN CONCEPT DEVELOPMENT



OPTION 1: TWO SAILS

THE "NEW" MASSING OF TWO VERTICAL "SAILS" BLOCKS ARE PLACED ON TOP OF A ONE STORY "OLD HULL" BASE.



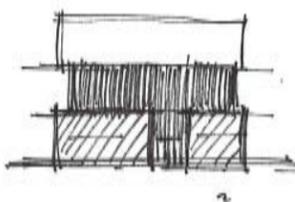
1 1-STORY BRICK BASE WITH TRABEATED STOREFRONT OPENINGS.

*Typical storefronts along Ballard Avenue Historic District.
5319 Ballard Avenue NW*



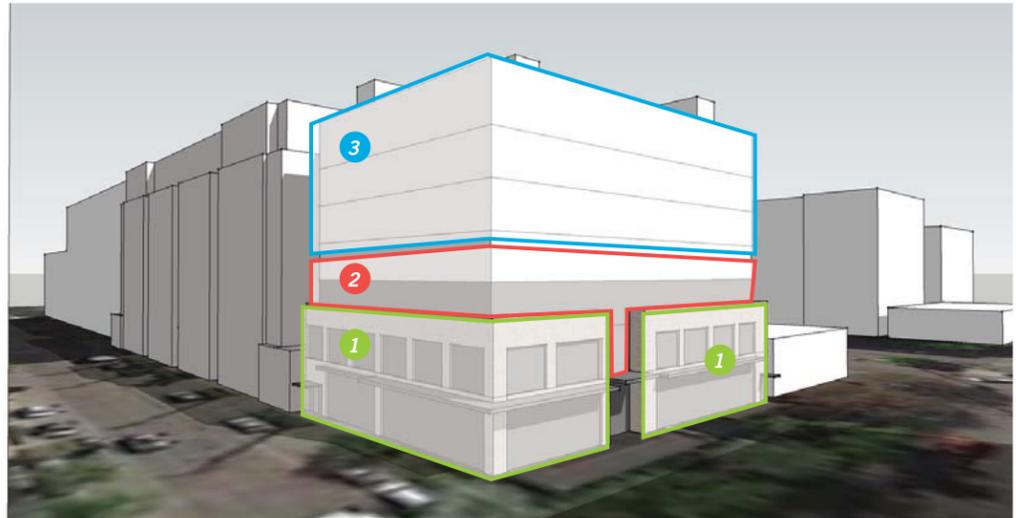
2 TWO "MODERN" BLOCKS WITH FLOOR TO CEILING GLAZING AT THE MAIN CORNER

*Design/ image source: Agnes Lofts
Designed by Weinstein A+U.*



OPTION 2: THE LIGAMENT

THE TWO STORY "OLD" BASE AND THE "NEW" MASSING AT THE TOP IS CONNECTED BY THE THIRD ELEMENT ACTING AS THE LIGAMENT.



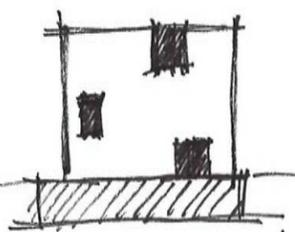
1 2-STORY BRICK BASE, TRABEATED STOREFRONT OPENINGS, DARK FRAMED GLAZING.
Design/ image source: The Jack designed by WSA Studio.



2 DARK FRAMED FLOOR TO CEILING GLAZING
Design/ image source: 19th & Mercer Apartments designed by Weinstein A+U.

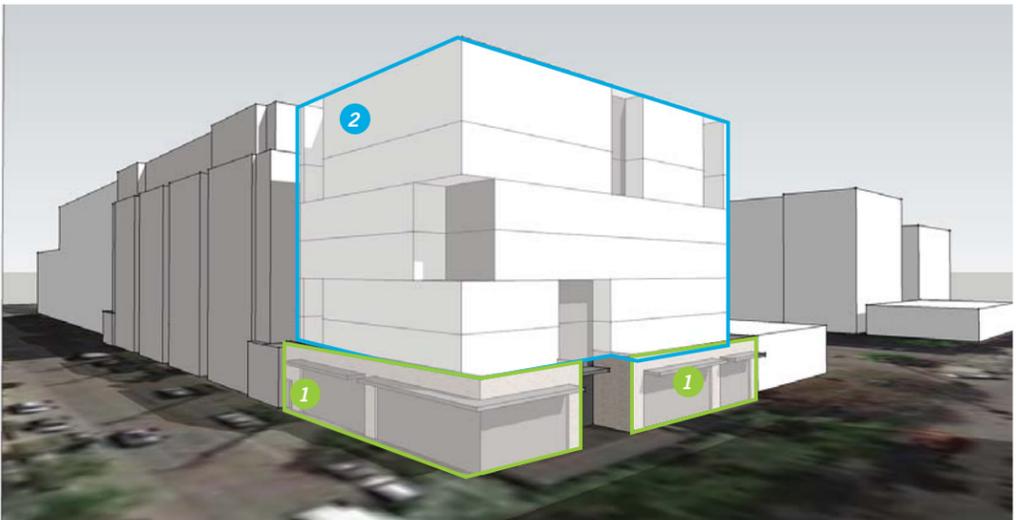


3 DARK FRAMED GLAZING IN PUNCHED OPENING
Design/ image source: unknown



PREFERRED OPTION 3: SIMPLE CUBE

A SIMPLE CUBE WITH INSETS, WHERE THE INSETS ARE RESPONSE TO THE SURROUNDINGS, IS INTEGRATED OVER A ONE STORY "OLD" BASE.



1 1-STORY BRICK BASE, TRABEATED STOREFRONT OPENINGS.
Typical storefronts along Ballard Avenue Historic District.

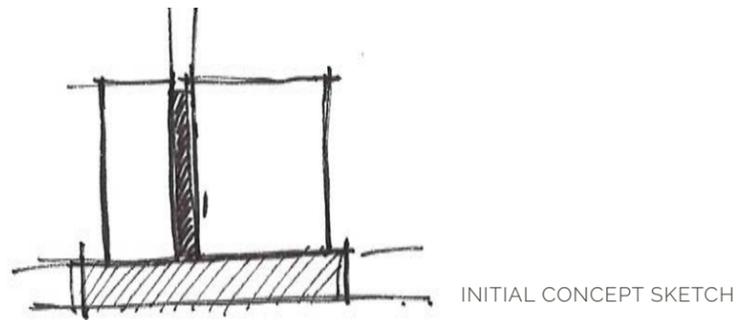


2 DOUBLE STORY INSETS
Design/ image source: UD+P.com

OVERVIEW

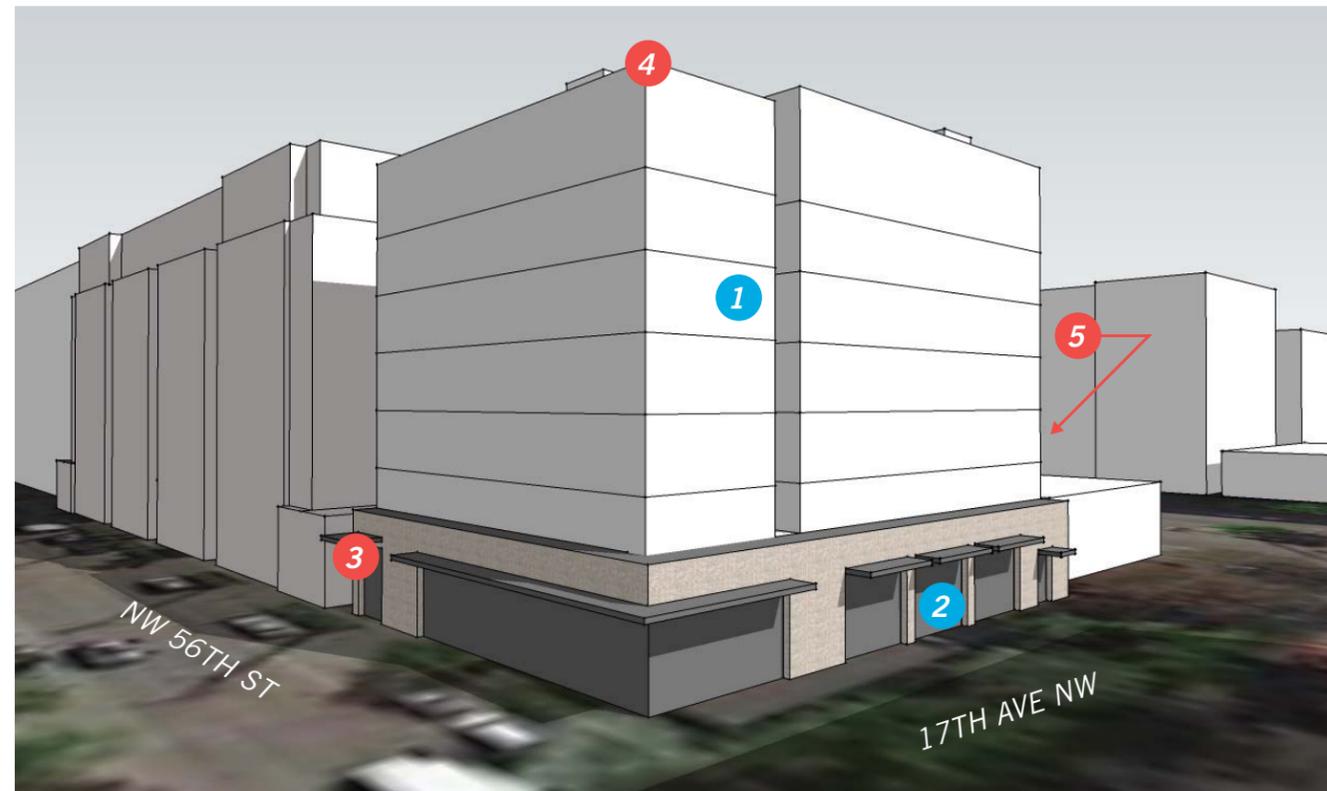
	OPTION 1	OPTION 2	PREFERRED OPTION 3
MASSING:			
# UNITS:	90	90	90
# LIVE/WORK UNITS:	2	2	2
AMENITY AREA SF	5,440 SF	5,090 SF	5,080 SF
COMMERCIAL RETAIL SF:	1,870 SF	1,880 SF	1,840 SF
PARKING STALLS:	0	0	0
BIKE STALLS:	70	70	70
FAR SF:	38,790 SF	38,650 SF	39,240 SF
RESIDENTIAL FAR SF:	35,090 SF	35,070 SF	35,090 SF
OPPORTUNITIES:	<ul style="list-style-type: none"> • Smaller perceived massing from 17th Avenue NW; broken down to two vertical buildings above podium. • Possibility to combine all live/work units and commercial for one large commercial space at the ground level. 	<ul style="list-style-type: none"> • 2-story brick base fitting with the neighborhood characteristics. • More classical massing option to fit with the historic characteristics of the neighborhood- three horizontal sections: base, middle, top. • Residential entry prominent at 17th Avenue NW. • Possibility to combine two live/work units to create larger commercial space. 	<ul style="list-style-type: none"> • Residential entry prominent at 17th Avenue NW. • Contemporary design to juxtapose with the neighborhood's prominent historic characters. • Balcony insets create more corner units and provide facade modulation • Possibility to combine two live/work units to create larger commercial space.
CONSTRAINTS:	<ul style="list-style-type: none"> • Residential entry place at NE corner of the building; not as prominent. • Massing perceived to be tall because of the proportion. • Blank facade along south property line (approx. 30ft) 	<ul style="list-style-type: none"> • Blank facade along south property line (approx. 52ft) until the property to the south gets re-developed. 	<ul style="list-style-type: none"> • Blank facade along south property line (approx. 52ft) until the property to the south gets re-developed.
CODE COMPLIANCE:	Yes, code compliant	Yes, code compliant	Departure requested

OPTION 1 - TWO SAILS CONCEPT



THE "NEW" MASSING OF TWO VERTICAL "SAILS" BLOCKS ARE PLACED ON TOP OF A ONE STORY "OLD HULL" BASE.

# UNITS:	90
# LIVE/WORK UNITS:	2
AMENITY AREA SF	5,440 SF
COMMERCIAL RETAIL SF:	1,870 SF
PARKING STALLS:	0
BIKE STALLS:	70
FAR SF:	38,790 SF
RESIDENTIAL FAR SF:	35,090 SF
RESIDENTIAL AMENITIES:	<ul style="list-style-type: none"> • Roof deck for residential use. • Green roof on deck level. • Ample bicycle parking that is secured & convenient for 70 bicycles. • Separate residential entry lobby at street level. • Private decks provided for some residential units.
CODE COMPLIANCE:	Yes, code compliant



AERIAL VIEW LOOKING NORTHEAST

DESIGN PROS:

- 1 Smaller perceived massing from 17th Avenue NW; broken down to two vertical buildings above podium.
- 2 Possibility to combine all live/work units and commercial for one large commercial space at the ground level.

DESIGN CONS:

- 3 Residential entry place at NE corner of the building; not as prominent.
- 4 Massing perceived to be tall because of the proportion.
- 5 Blank facade along south property line (approx. 30ft)



AERIAL VIEW LOOKING NORTHEAST



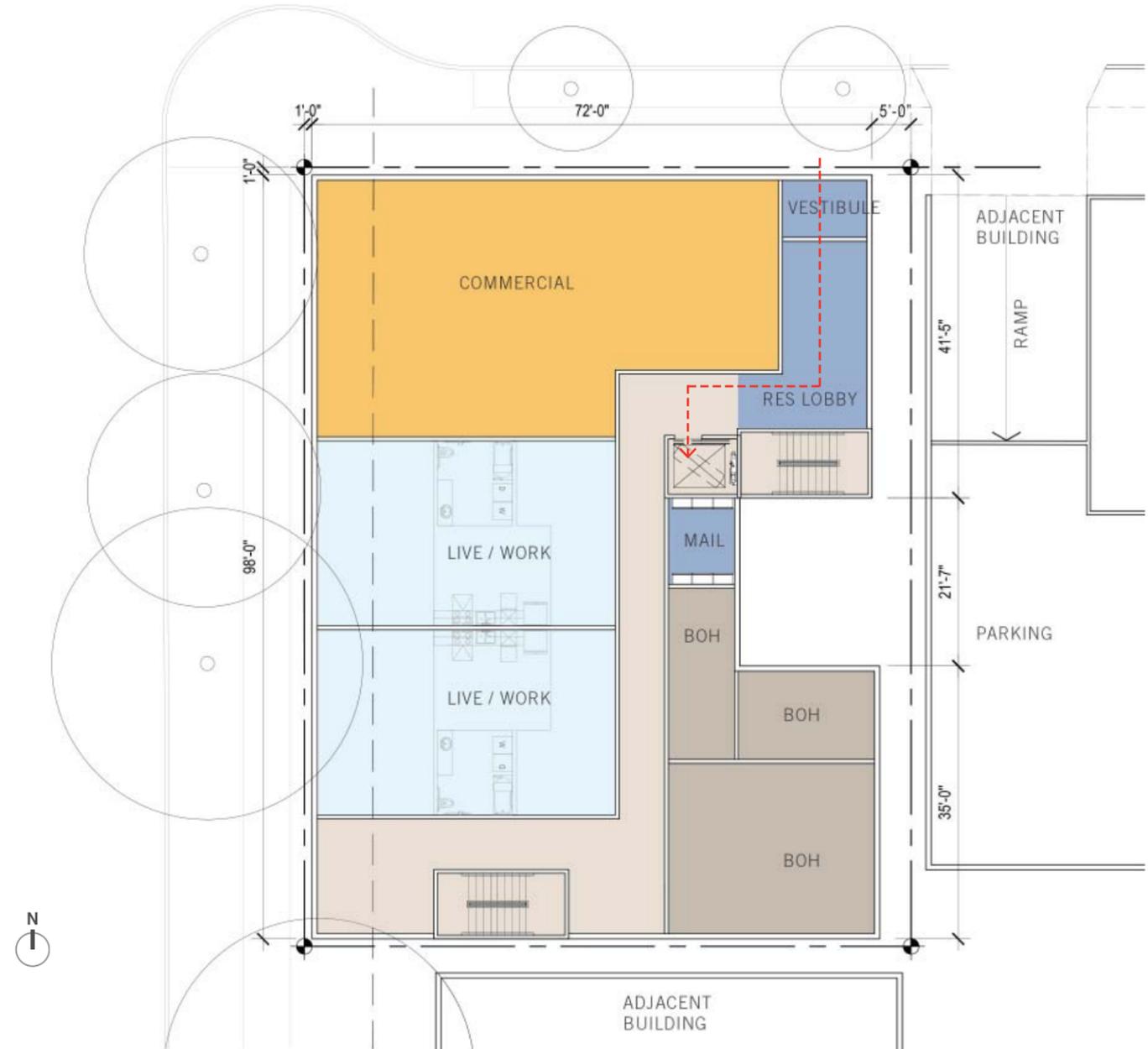
STREET VIEW LOOKING SOUTH



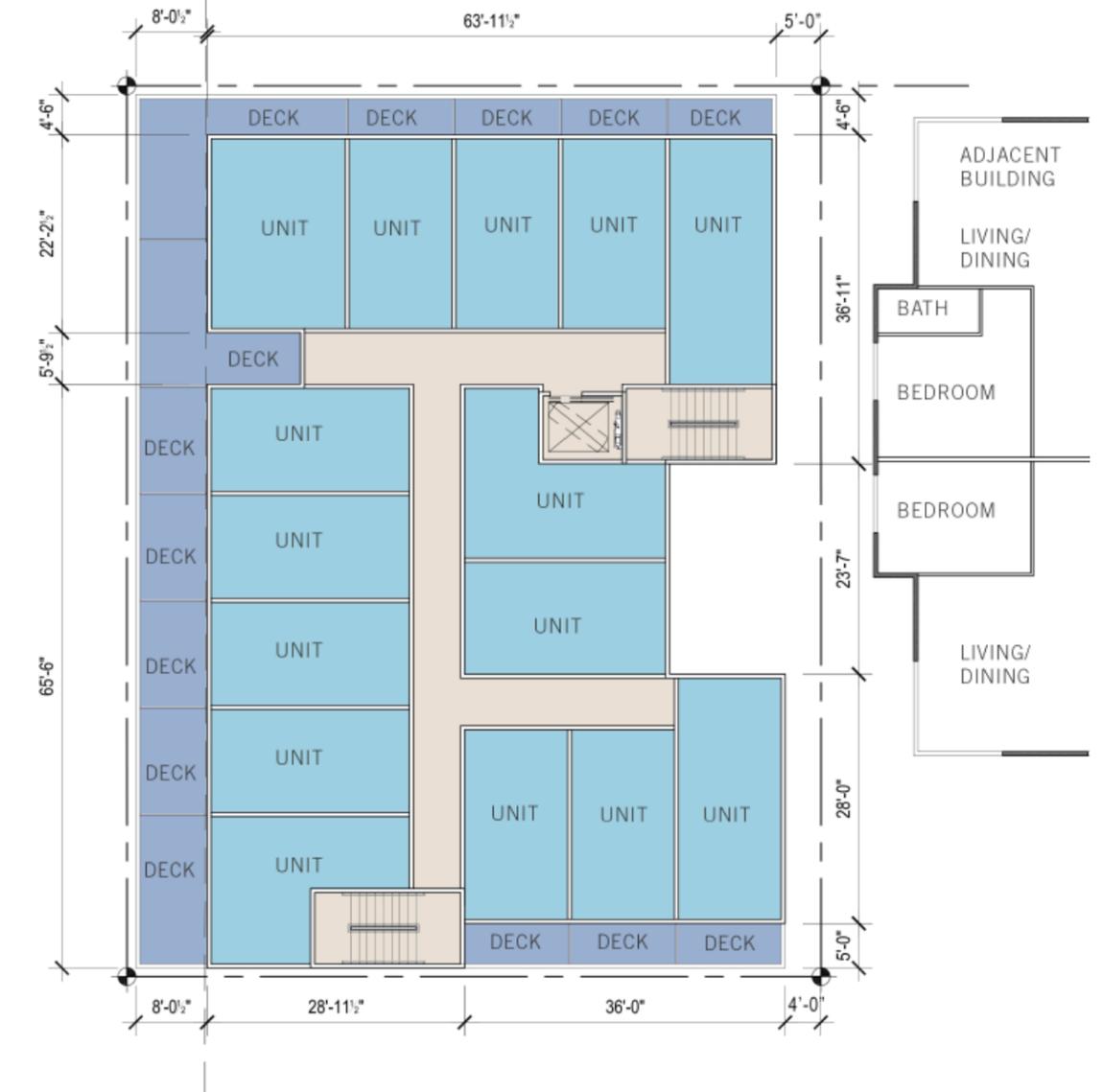
STREET VIEW LOOKING EAST

OPTION 1 FLOOR PLANS

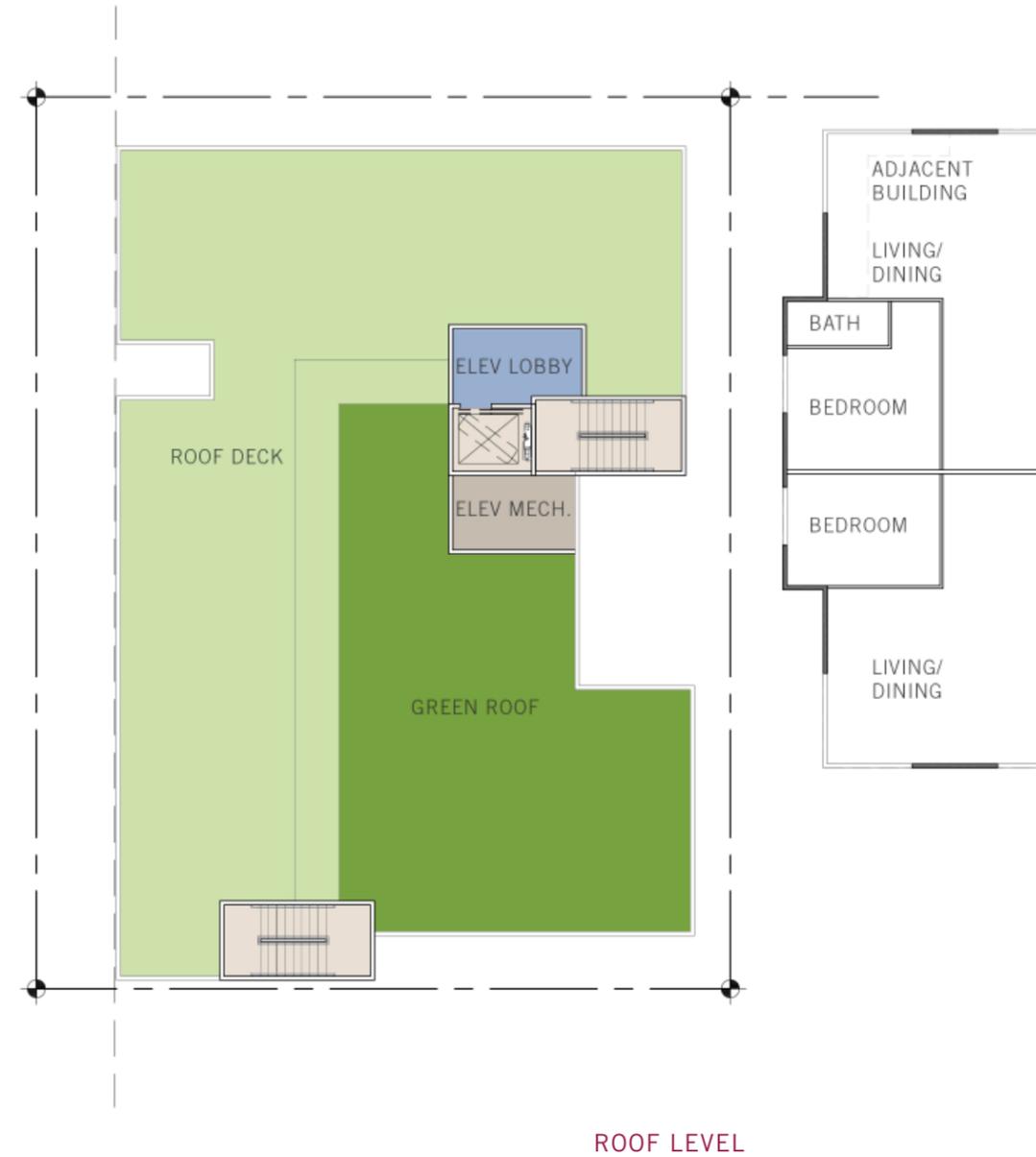
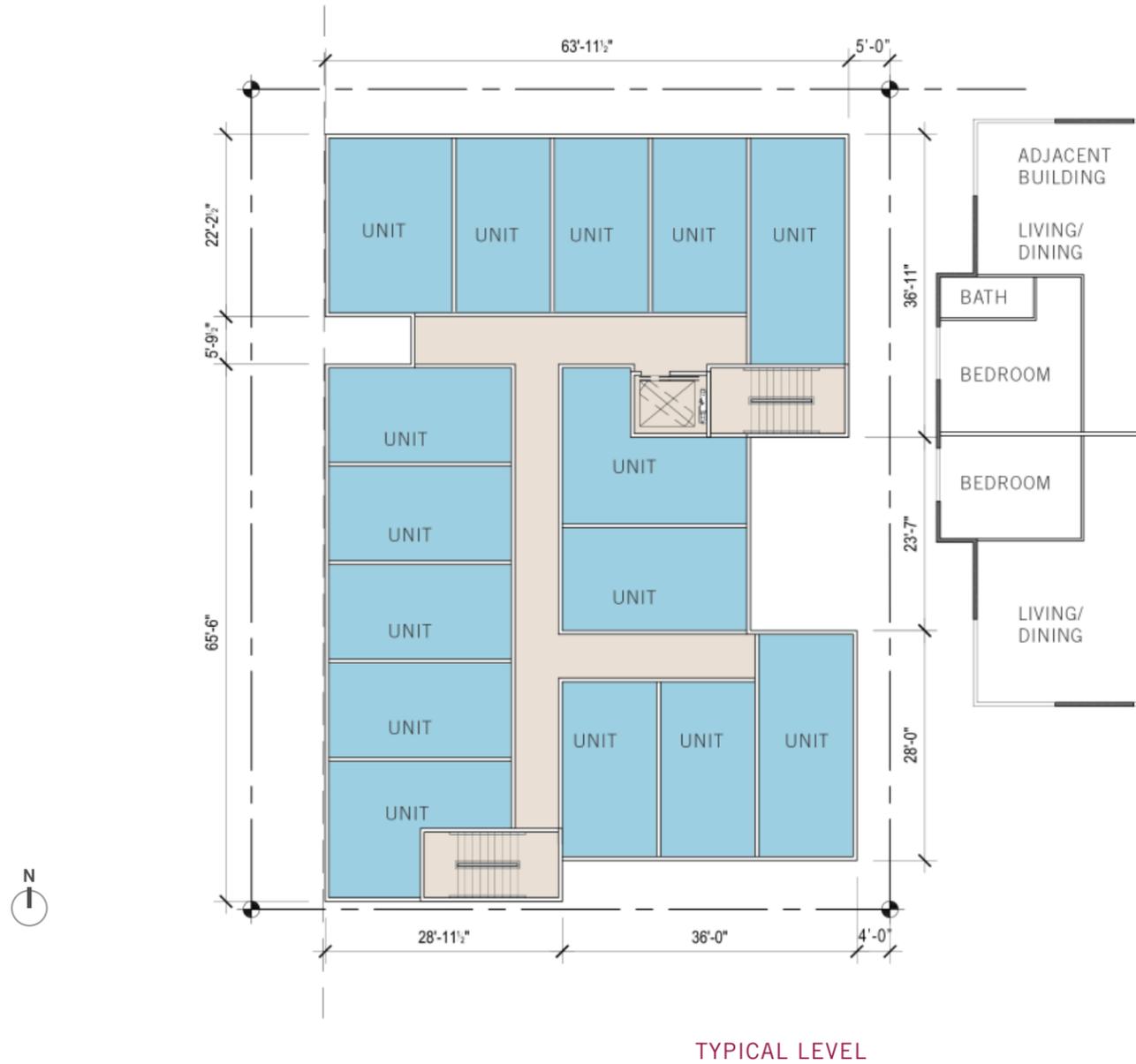
- KEY**
- COMMERCIAL
 - UNITS
 - UTILITY / BOH
 - CIRCULATION
 - ROOF DECK
 - GREEN ROOF
 - RES. AMENITY
 - LIVE / WORK
 - BIKE ROUTE



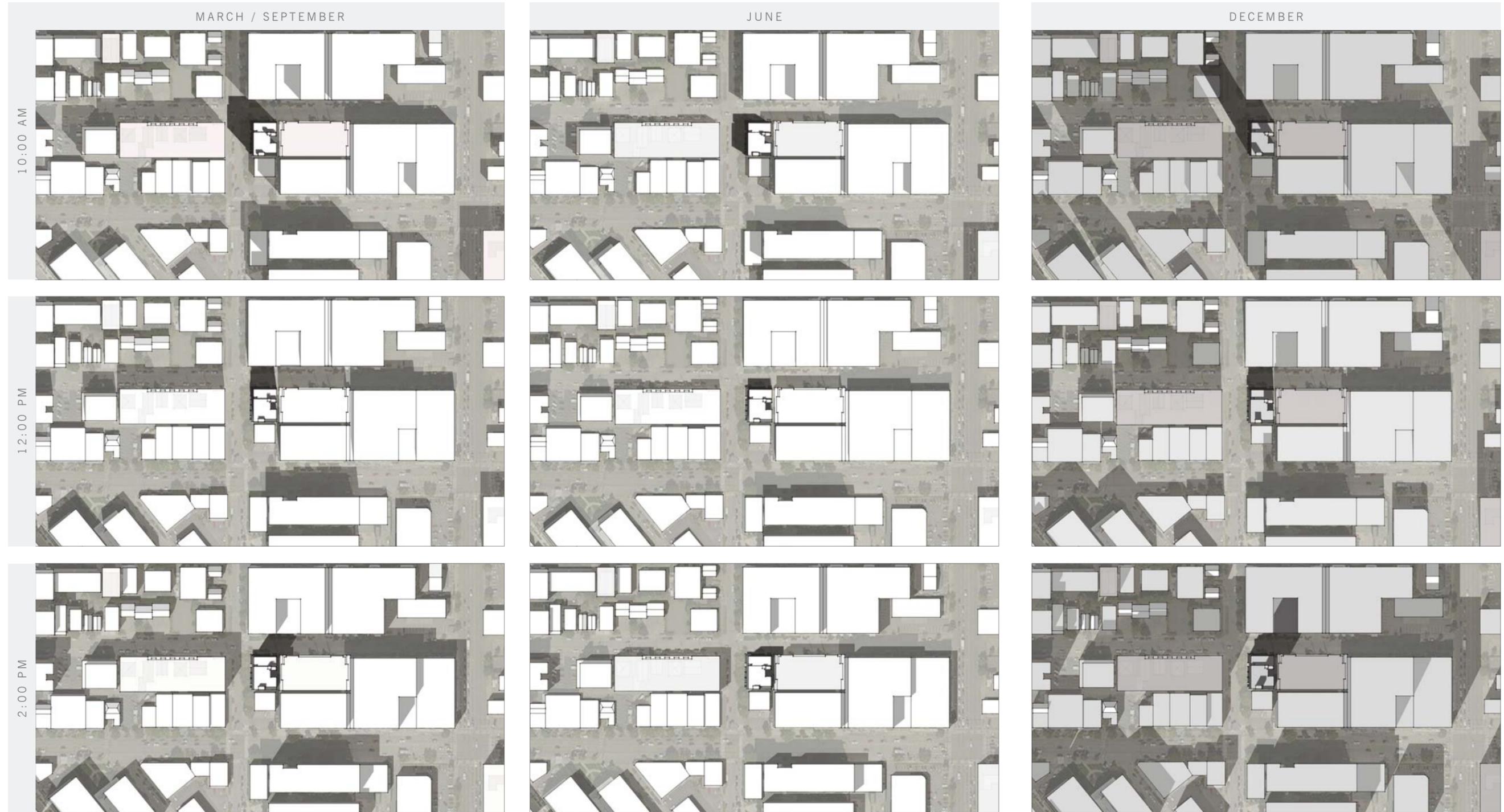
GROUND LEVEL



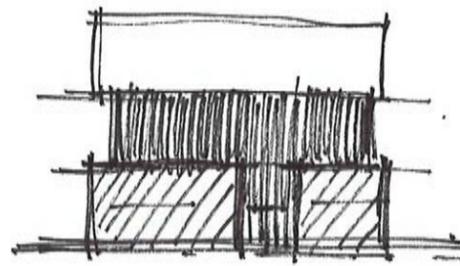
2ND LEVEL



OPTION 1 SHADOW STUDY



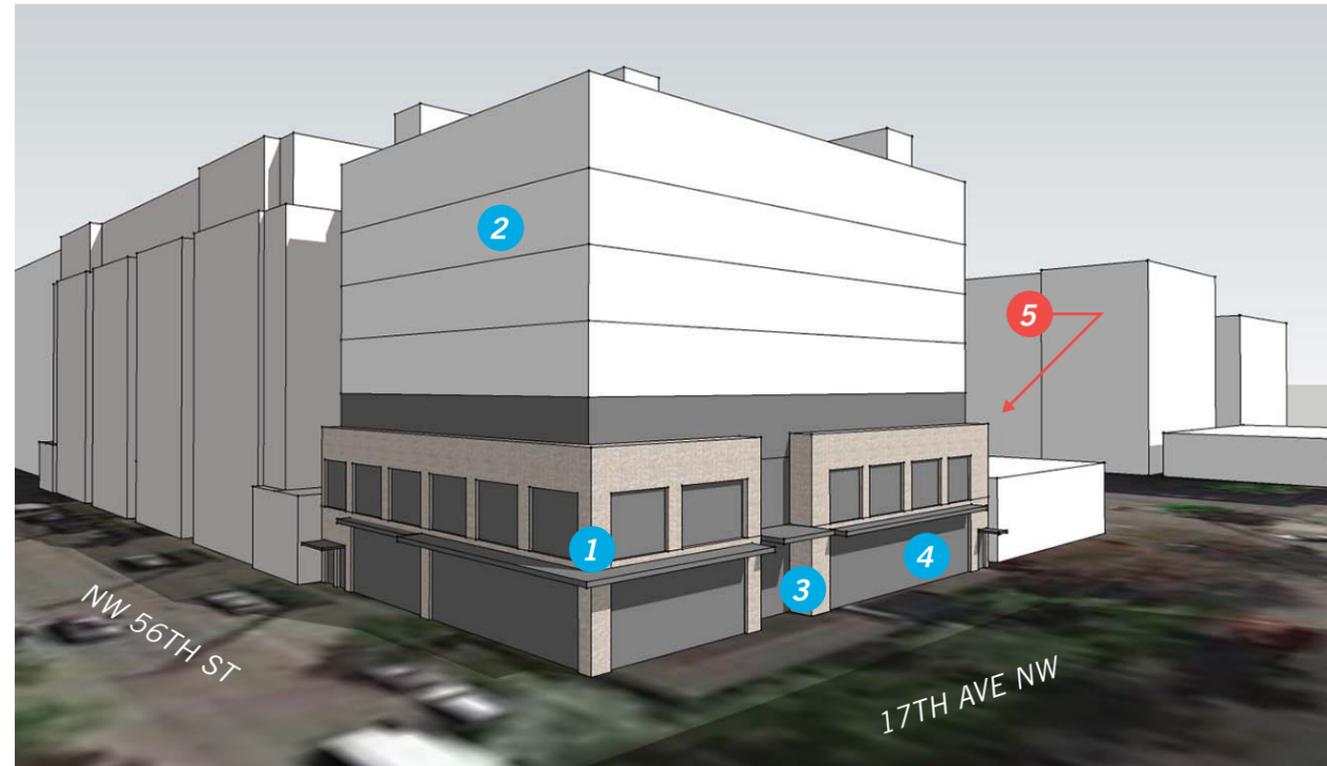
OPTION 2 - THE LIGAMENT CONCEPT



INITIAL CONCEPT SKETCH

THE TWO STORY "OLD" BASE AND THE "NEW" MASSING AT THE TOP IS CONNECTED BY THE THIRD ELEMENT ACTING AS THE LIGAMENT.

# UNITS:	90
# LIVE/WORK UNITS:	2
AMENITY AREA SF	2,090 SF
COMMERCIAL RETAIL SF:	1,880 SF
PARKING STALLS:	0
BIKE STALLS:	70
FAR SF:	38,650 SF
RESIDENTIAL FAR SF:	35,070 SF
RESIDENTIAL AMENITIES	<ul style="list-style-type: none"> • Roof deck for residential use. • Green roof on deck level. • Ample bicycle parking that is secured & convenient for 70 bicycles. • Separate residential entry lobby at street level. • Private decks provided for some residential units.
CODE COMPLIANCE:	Yes, code compliant



AERIAL VIEW LOOKING NORTHEAST

DESIGN PROS:

- 1 2-story brick base fitting with the neighborhood characteristics.
- 2 More classical massing option to fit with the historic characteristics of the neighborhood.
- 3 Residential entry prominent at 17th Avenue NW.
- 4 Possibility to combine two live/work units to create larger commercial space.

DESIGN CONS:

- 5 Blank facade along south property line (approx. 52ft) until the property to the south gets re-developed.



AERIAL VIEW LOOKING NORTHEAST



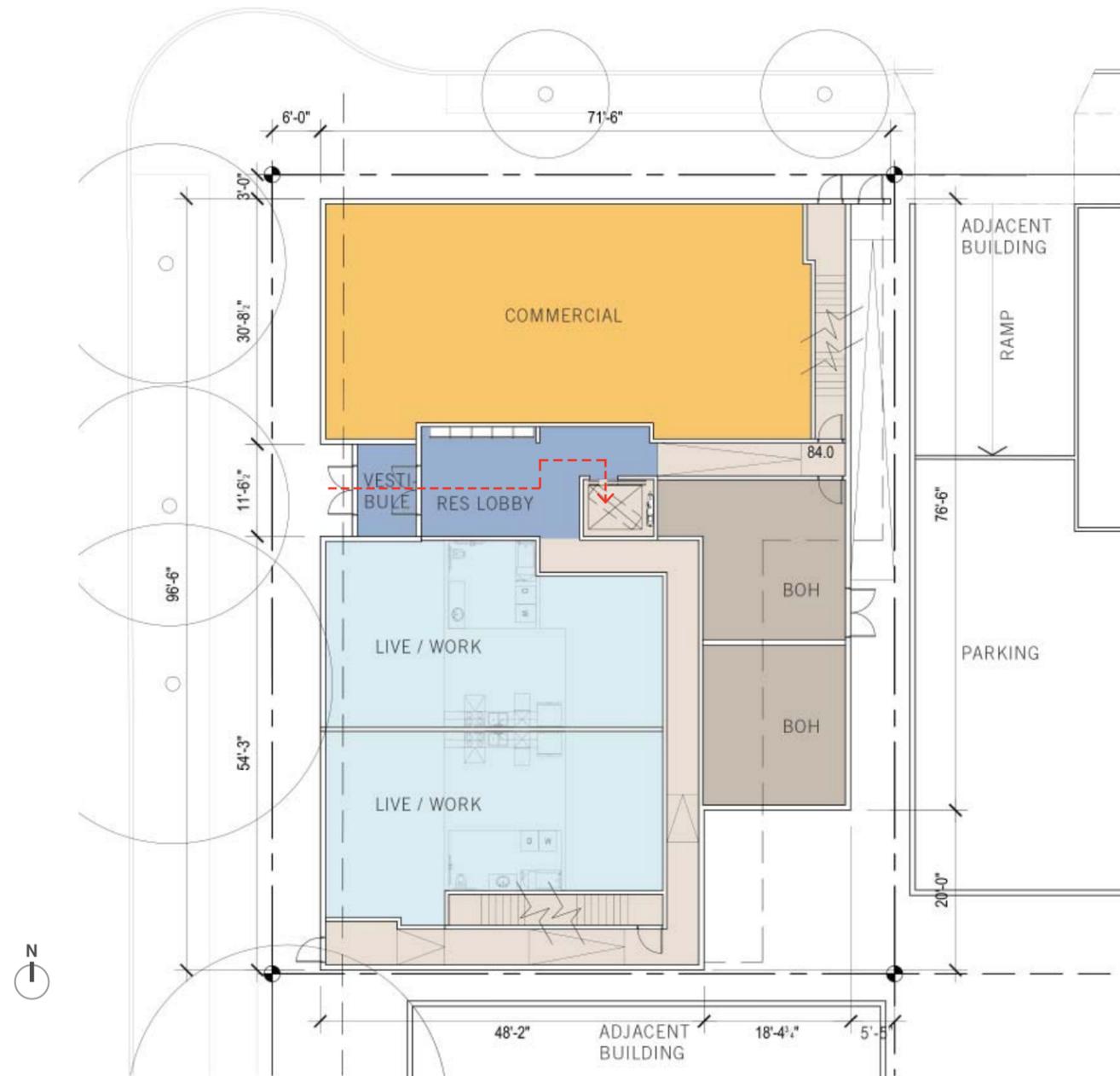
STREET VIEW LOOKING SOUTH



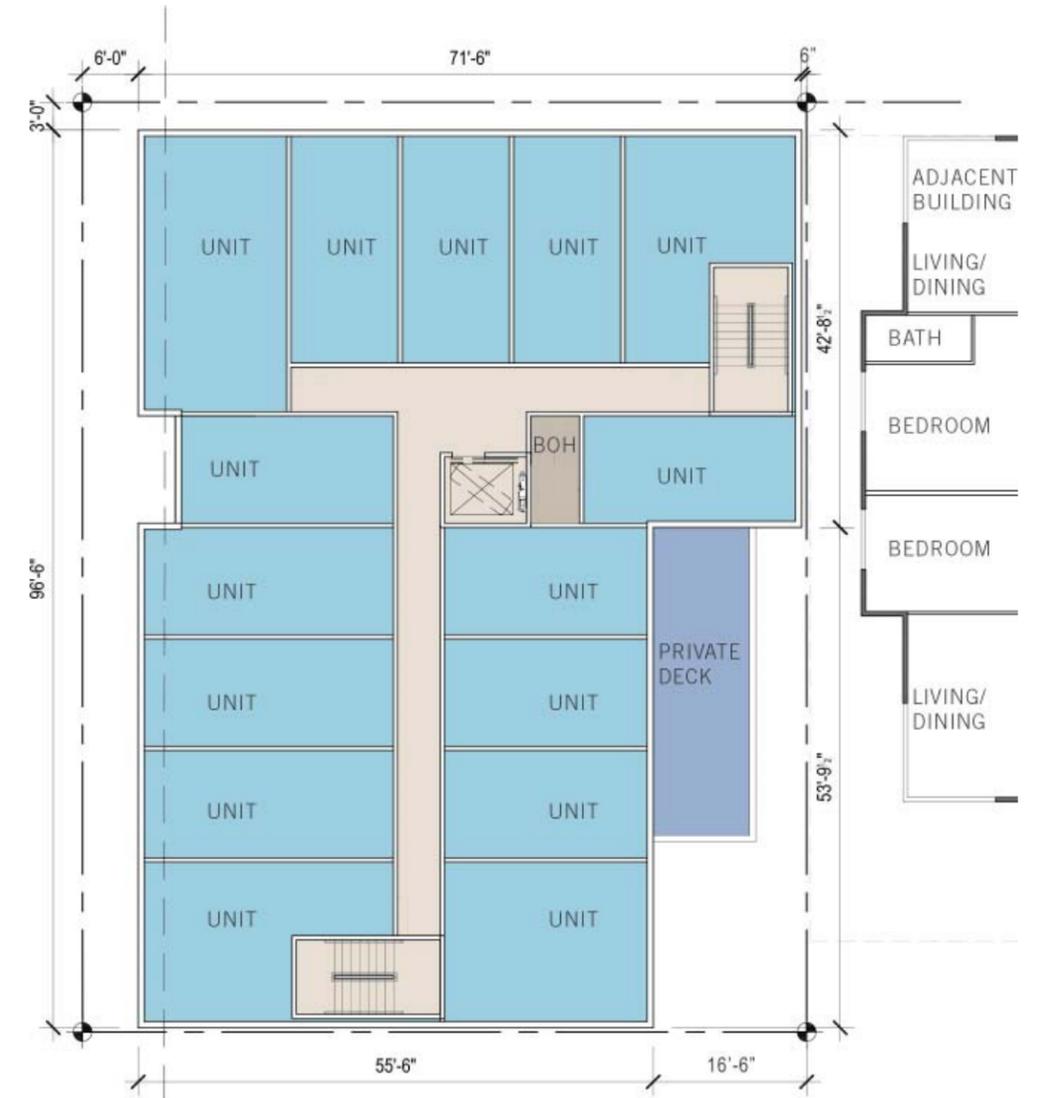
STREET VIEW LOOKING EAST

OPTION 2 FLOOR PLANS

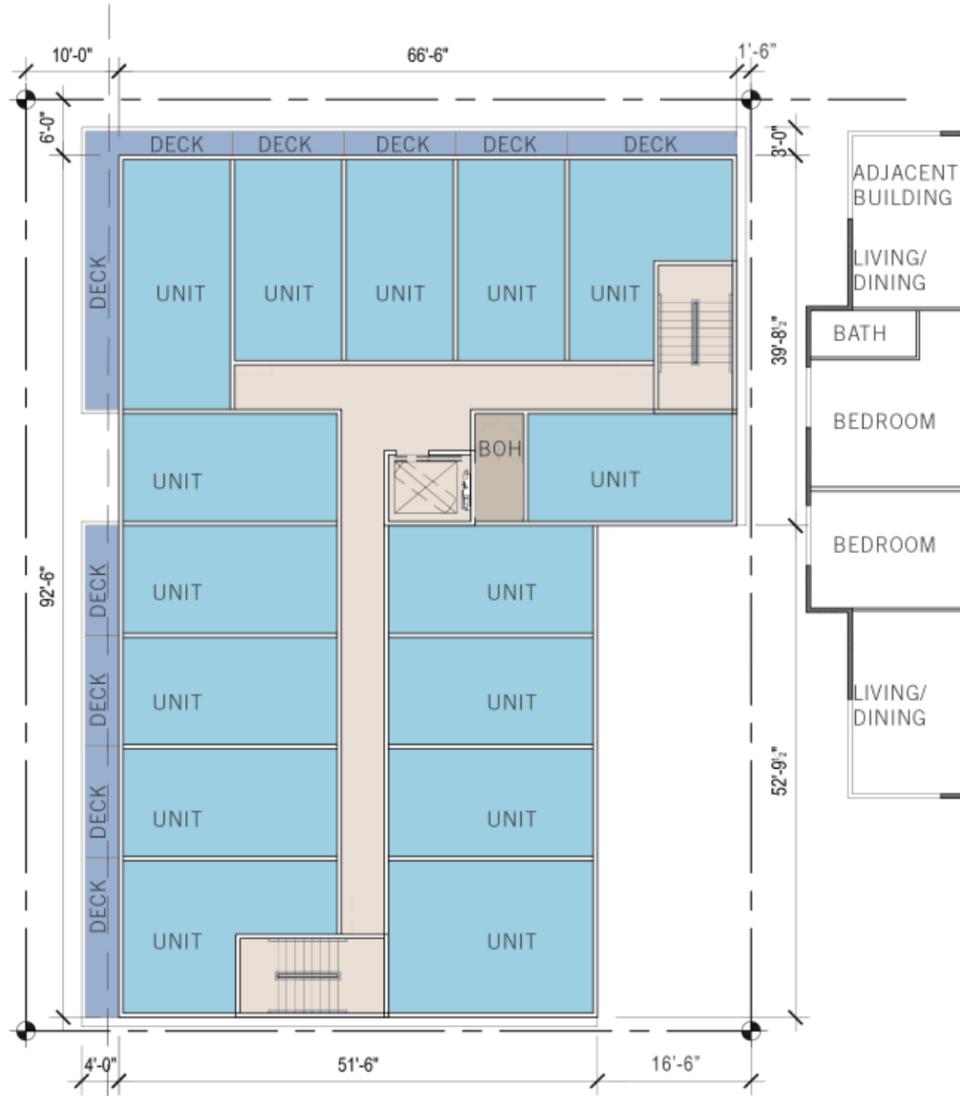
- KEY**
- COMMERCIAL
 - UNITS
 - UTILITY / BOH
 - CIRCULATION
 - ROOF DECK
 - GREEN ROOF
 - RES. AMENITY
 - BIKE ROUTE



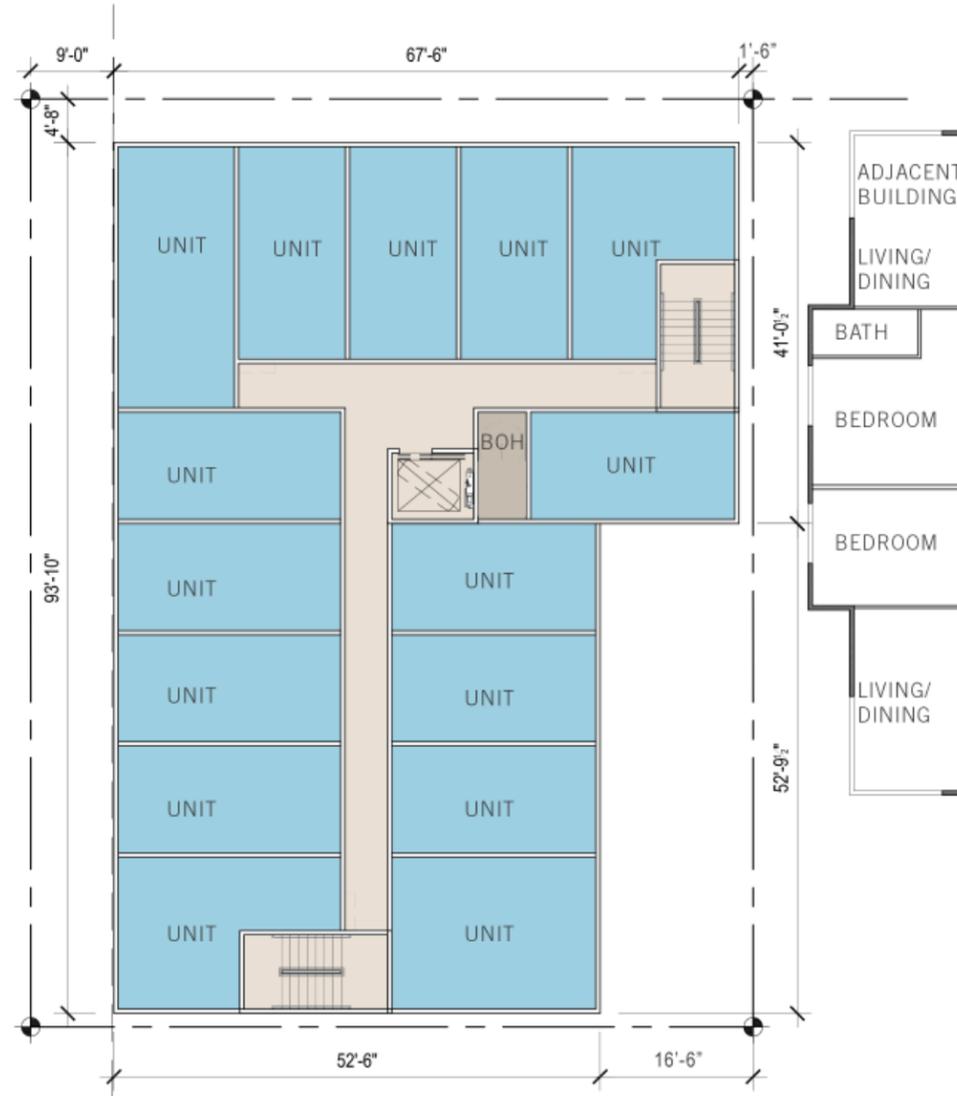
GROUND LEVEL



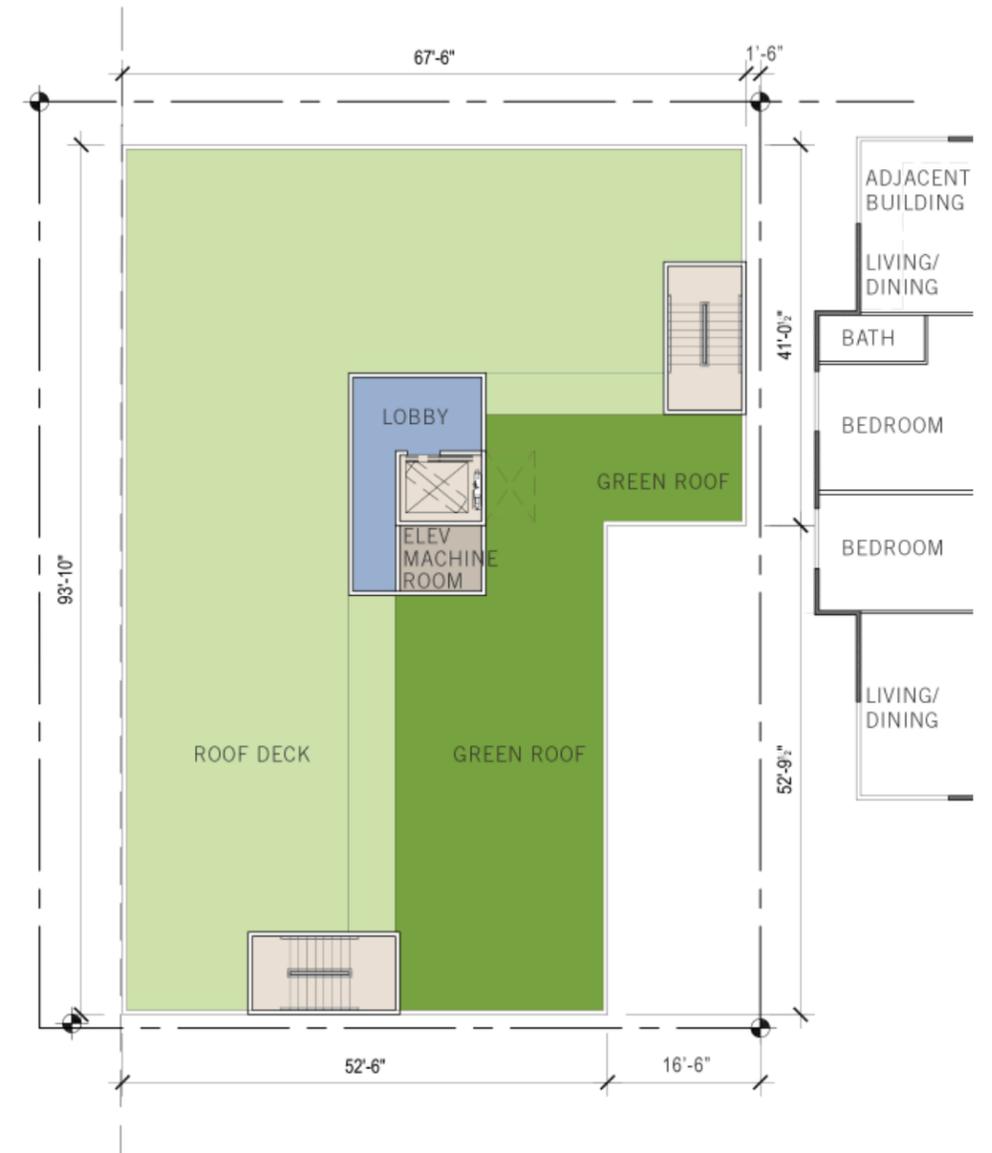
2ND LEVEL



3RD LEVEL

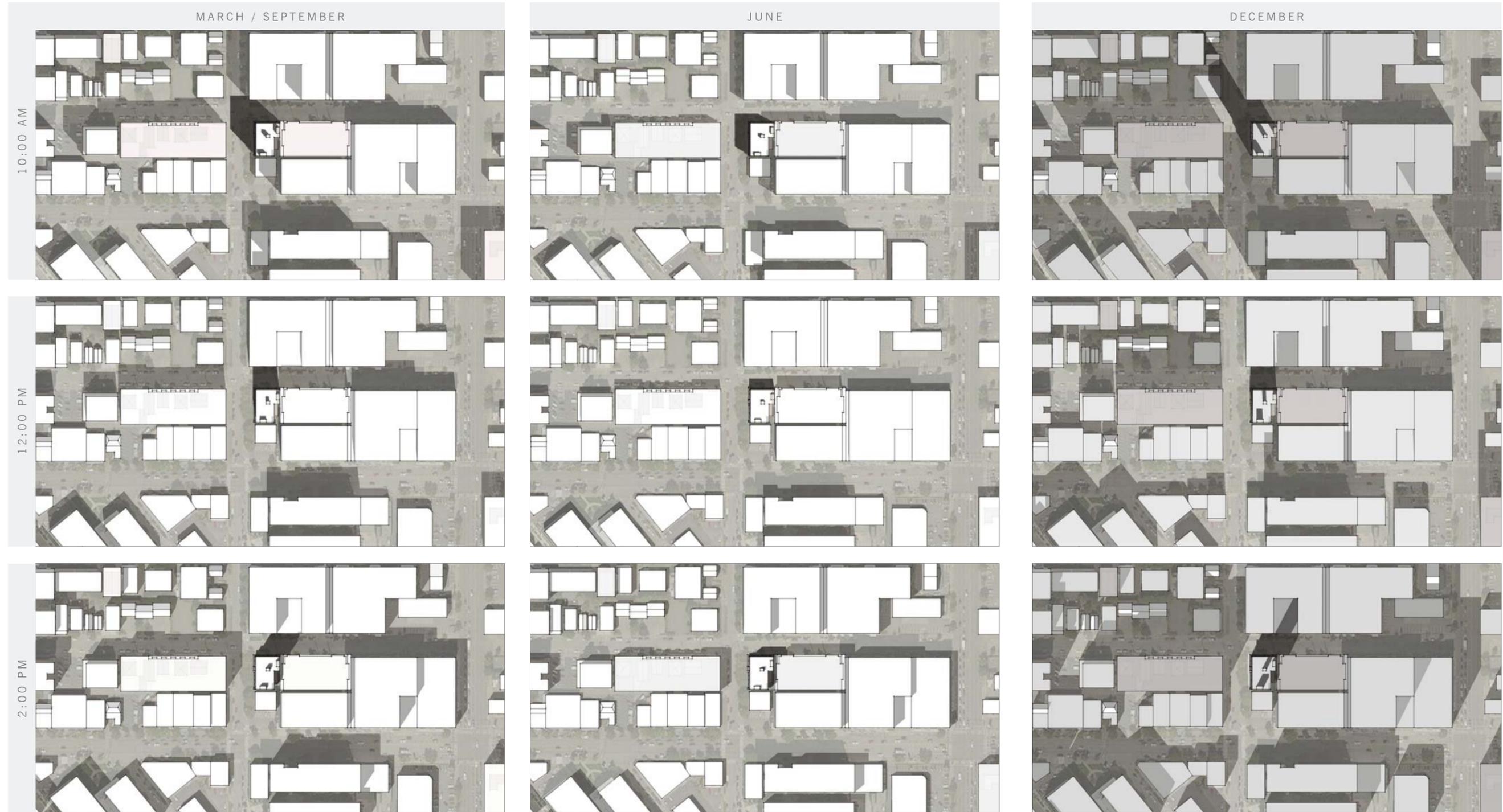


TYPICAL LEVEL

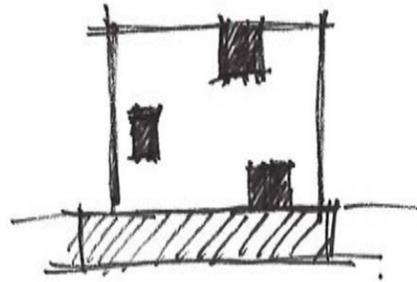


ROOF LEVEL

OPTION 2 SHADOW STUDY



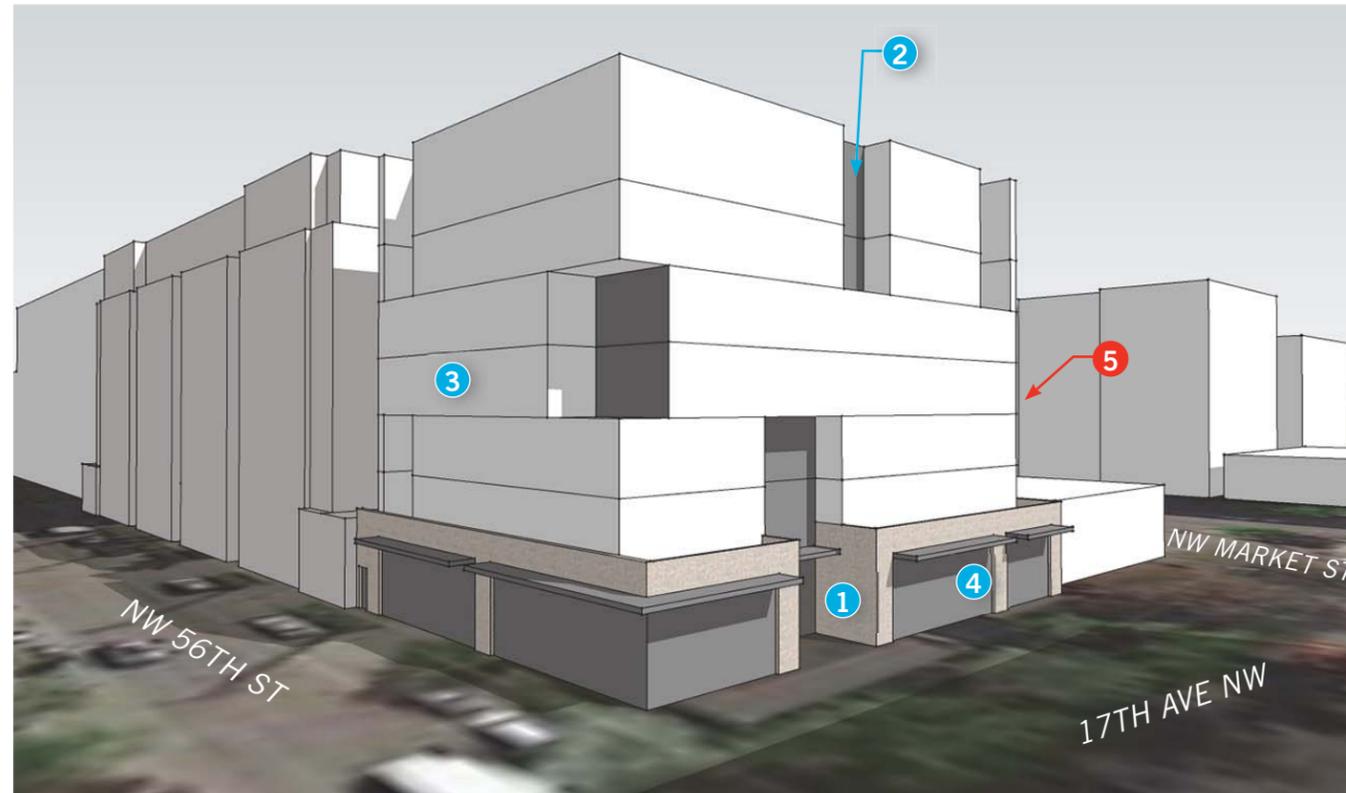
PREFERRED OPTION 3 - SIMPLE CUBE CONCEPT



INITIAL CONCEPT SKETCH

A SIMPLE CUBE WITH INSETS, WHERE THE INSETS ARE RESPONSE TO THE SURROUNDINGS, IS INTEGRATED OVER A ONE STORY "OLD" BASE.

# UNITS:	90
# LIVE/WORK UNITS:	2
AMENITY AREA SF	5,080 SF
COMMERCIAL RETAIL SF:	1,840 SF
PARKING STALLS:	0
BIKE STALLS:	70
FAR SF:	39,240 SF
RESIDENTIAL FAR SF:	35,090 SF
RESIDENTIAL AMENITIES:	<ul style="list-style-type: none"> • Roof deck for residential use. • Green roof on deck level. • Ample bicycle parking that is secured & convenient for 70 bicycles. • Separate residential entry lobby at street level. • Private decks provided for some residential units.
CODE COMPLIANCE:	Departure requested



AERIAL VIEW LOOKING NORTHEAST

◀ DESIGN PROS:

- 1 Residential entry prominent at 17th Avenue NW.
- 2 Balcony insets create more corner units and provide facade modulation
- 3 Contemporary design to juxtapose with the neighborhood's prominent historic characters.
- 4 Possibility to combine two live/work units to create larger commercial space.

◀ DESIGN CONS:

- 5 Blank facade along south property line (approx. 52ft) until the property to the south gets re-developed.



AERIAL VIEW LOOKING NORTHEAST



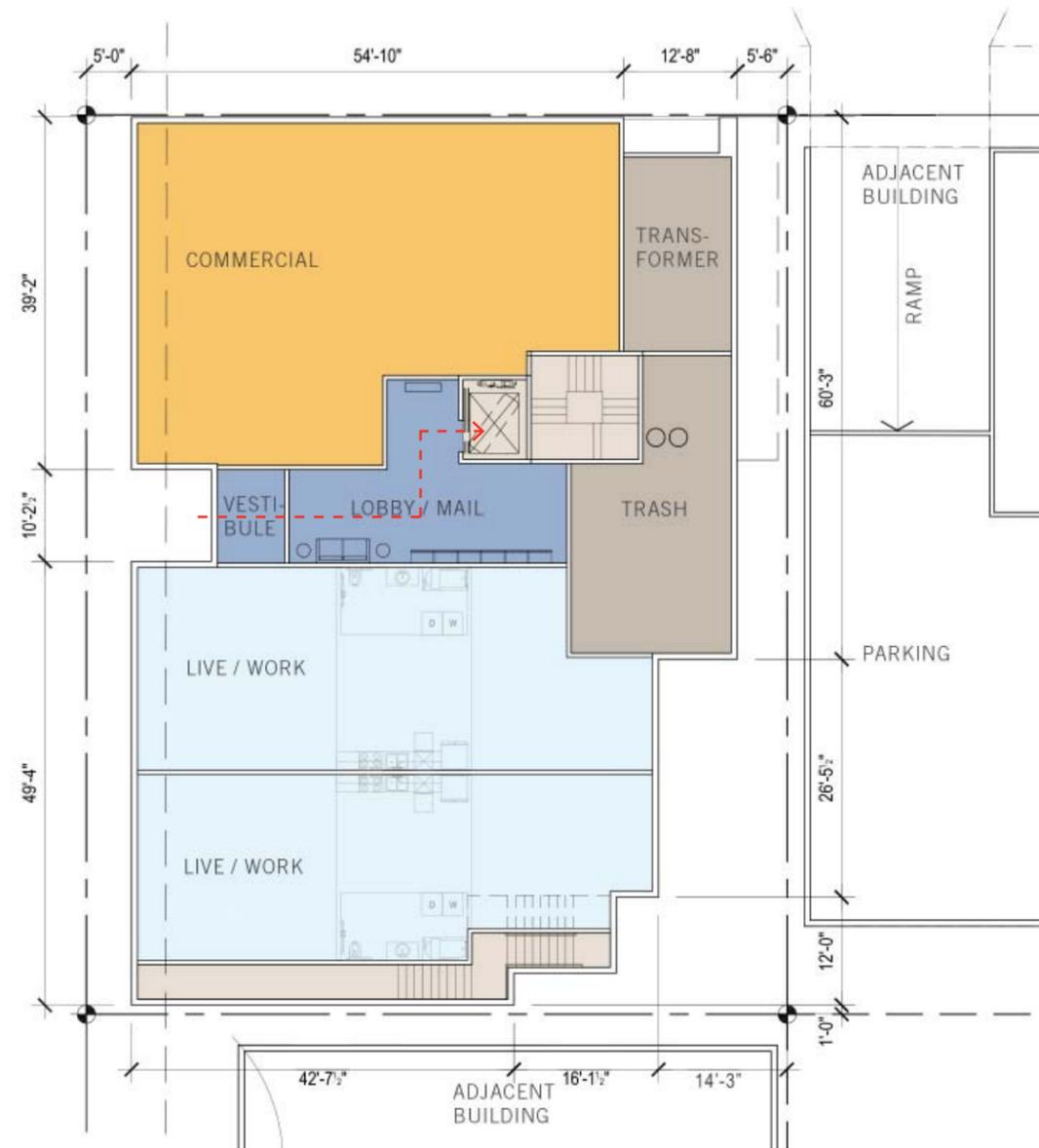
STREET VIEW LOOKING SOUTH



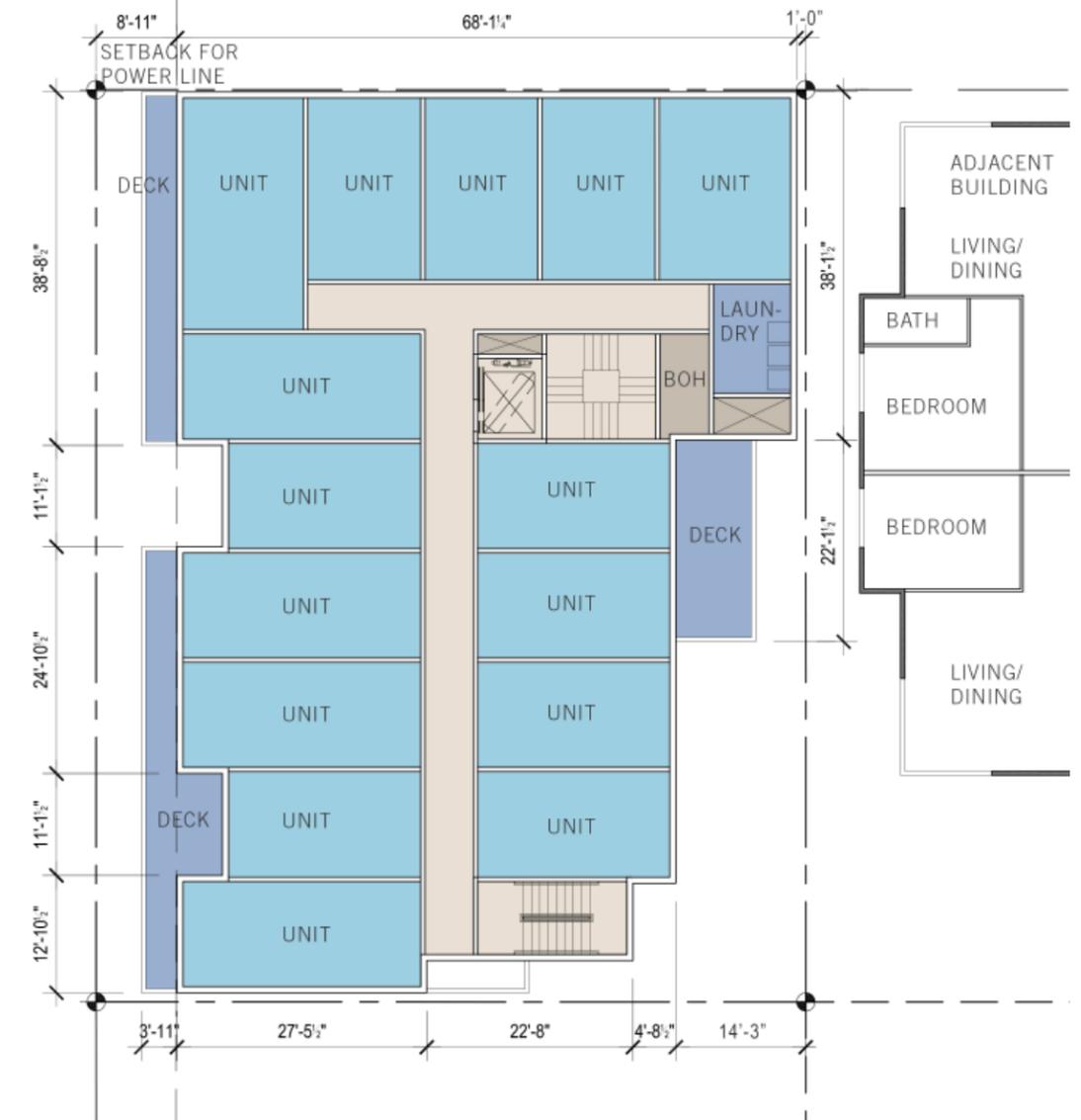
STREET VIEW LOOKING EAST

PREFERRED OPTION 3 FLOOR PLANS

- KEY**
- COMMERCIAL
 - UNITS
 - UTILITY / BOH
 - CIRCULATION
 - ROOF DECK
 - GREEN ROOF
 - RES. AMENITY
 - BIKE ROUTE



GROUND LEVEL



LEVELS 2-3

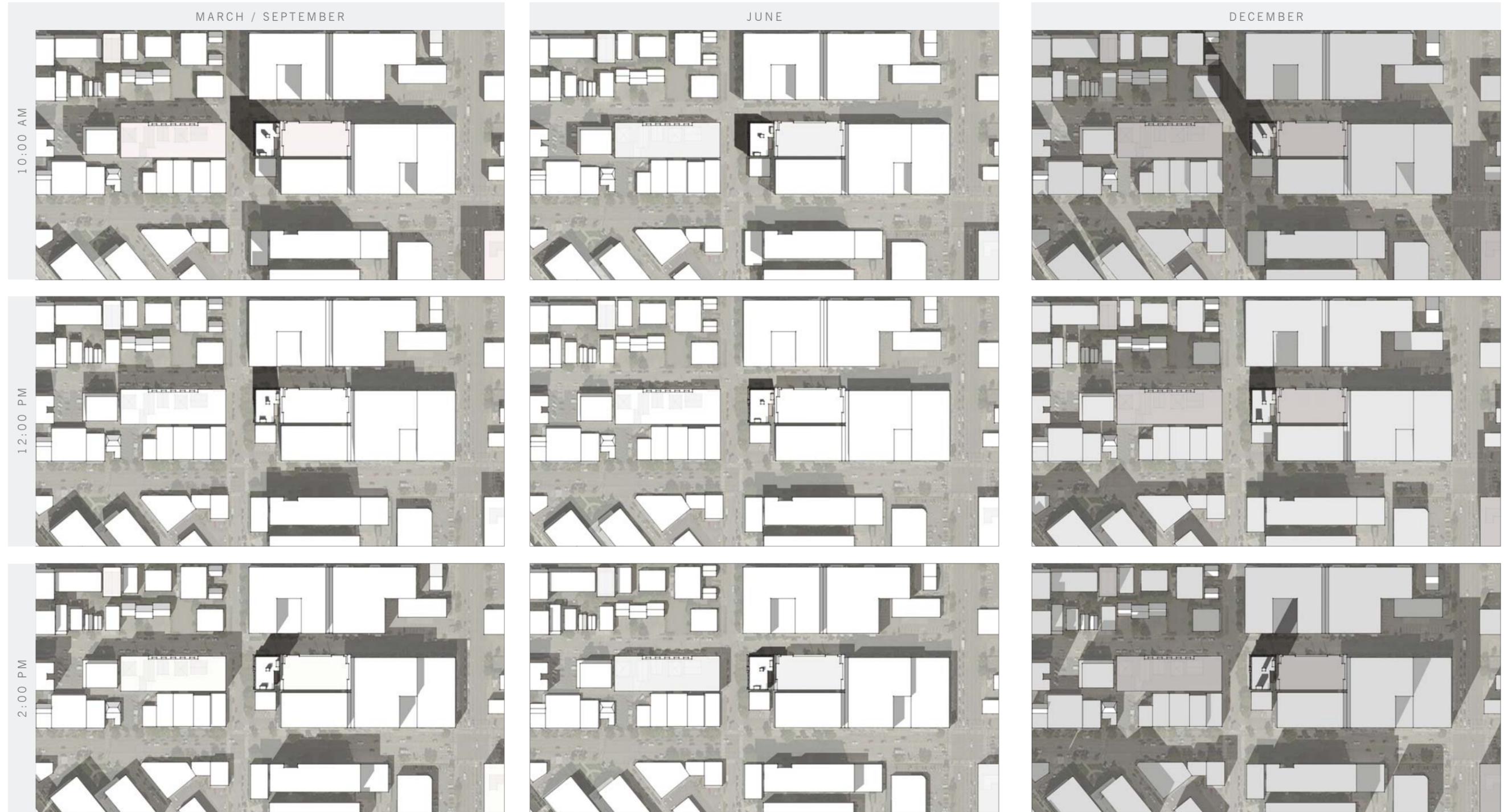


LEVELS 4-5

LEVELS 6-7

ROOF LEVEL

PREFERRED OPTION 3 SHADOW STUDY



PREFERRED OPTION 3 SECTION

- KEY
- COMMERCIAL
 - UNITS
 - UTILITY / BOH
 - CIRCULATION
 - ROOF DECK
 - GREEN ROOF
 - RES. AMENITY



DESIGN ELEMENTS - INSPIRATION IMAGES



Brick facade with rhythmic piers and dark framed glazing



Use of materials that compliments one another



Use of materials and graphics that emphasize the sense of place



Facade treatment that shows integration of two elements



Simplicity in massing and the siding treatments



Using of materials, scale and mass to reveal juxtaposition between old and new



Porosity at retail edge



Well-executed detail to delineate floor lines that add scale to the mass



Simple signage/wayfinding



DEPARTURE REQUESTED

STREET-LEVEL USES

23.47A.005.C. RESIDENTIAL USES AT STREET LEVEL

1. In all NC and C zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations:

- d. Within a zone that has a height limit of 85 feet or higher, except as provided in subsection 23.47A.005.C.2.

DEPARTURE REQUESTED:

Residential uses along NW 56th Street occupy 25% of the street-level street-facing facade. The uses include a transformer vault and emergency escape as required by Building Codes. Placing the transformer vault up front, instead of inside the building, allows windows and livable portion to be open to the east of the live/work units, while the front of the live work units is fully dedicated for commercial use, thus providing clear separation between the 'live' and 'work' portion and making it more viable proposition.

The departure will result in a project that better meets the intent of Design Guidelines, PL3.B3: Buildings with Live/Work uses: *Maintain active and transparent facades in the design of live/work residences that are required to orient the non-residential portions of the unit toward the street. Design the first floor so it can be adapted to other commercial uses as needed in the future.*

This residential use portion of the facade will be treated architecturally to create a pedestrian-friendly atmosphere.

17TH AVE NW



PRECEDENT CARON ARCHITECTURE PROJECTS



4128 Brooklyn Avenue NE Student Housing



306 QA Apartments



Fremont Green



LIV Seattle Student Housing



Othello Station North



The Central