



URBAN GREEN VILLA

DOWNTOWN DRB RECOMMENDATION MEETING

DPD Project Number : 3021375

June 14, 2016



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PROJECT DATA:

Building Address: 2401 3rd Avenue, Seattle, WA

Legal Description: Lots 7 and 8, block 25, second addition to that plat of the city of Seattle as laid off by A.A. Denny and W.N. Bell (Commonly known as Bell & Denny's 2nd Addition to the city of Seattle), according to the plat thereof, recorded in volume 1 of plats, page 77, in King County, Washington.

Assessor's Tax Parcel #: 065600-0215

Current Zoning: DMR/R 125/65

Gross Lot Area: 12,960 sf

Project Description: 12 floor - Mixed-use residential building containing:

- 132 Residential Units
- 5,000 sf ground floor retail space
- 73 parking stalls (underground)



STREET VIEW : BUILDING CORNER AT 3RD AVENUE & BATTERY STREET



NEIGHBORHOOD ATMOSPHERE

We expect the Urban Green Villa Project to bring an increased level of vitality to the community along this part of 3rd Avenue and surroundings by virtue of being a 24/7 occupied building. Urban Green Villa will bring lights-on after-hours to this block, as well as generating business for its own retail space, and surrounding businesses in the area. The canopies along the 3rd Avenue and Battery Street frontages will be an asset to residents, retail customers, and also to commuters along this part of the 3rd Avenue transit corridor. Landscaping is planned to soften the line between project and city, to create a relaxed and engaging pedestrian flow, and will be designed in concert with planned transit stops.

Our goal is to create a project that engages the Belltown and larger community, creates opportunities for cultural, work, and residential living, and brings human scale and nature to the street along this block. We do this by shaping the street level through landscaping, retail and residential lobbies, by introducing green walls and gardens (sky garden), and by drawing cues from traditional architecture in the area, such as bay windows, which signify residential occupancy, but freshly interpreted.

EARLY DESIGN GUIDANCE October 20, 2015

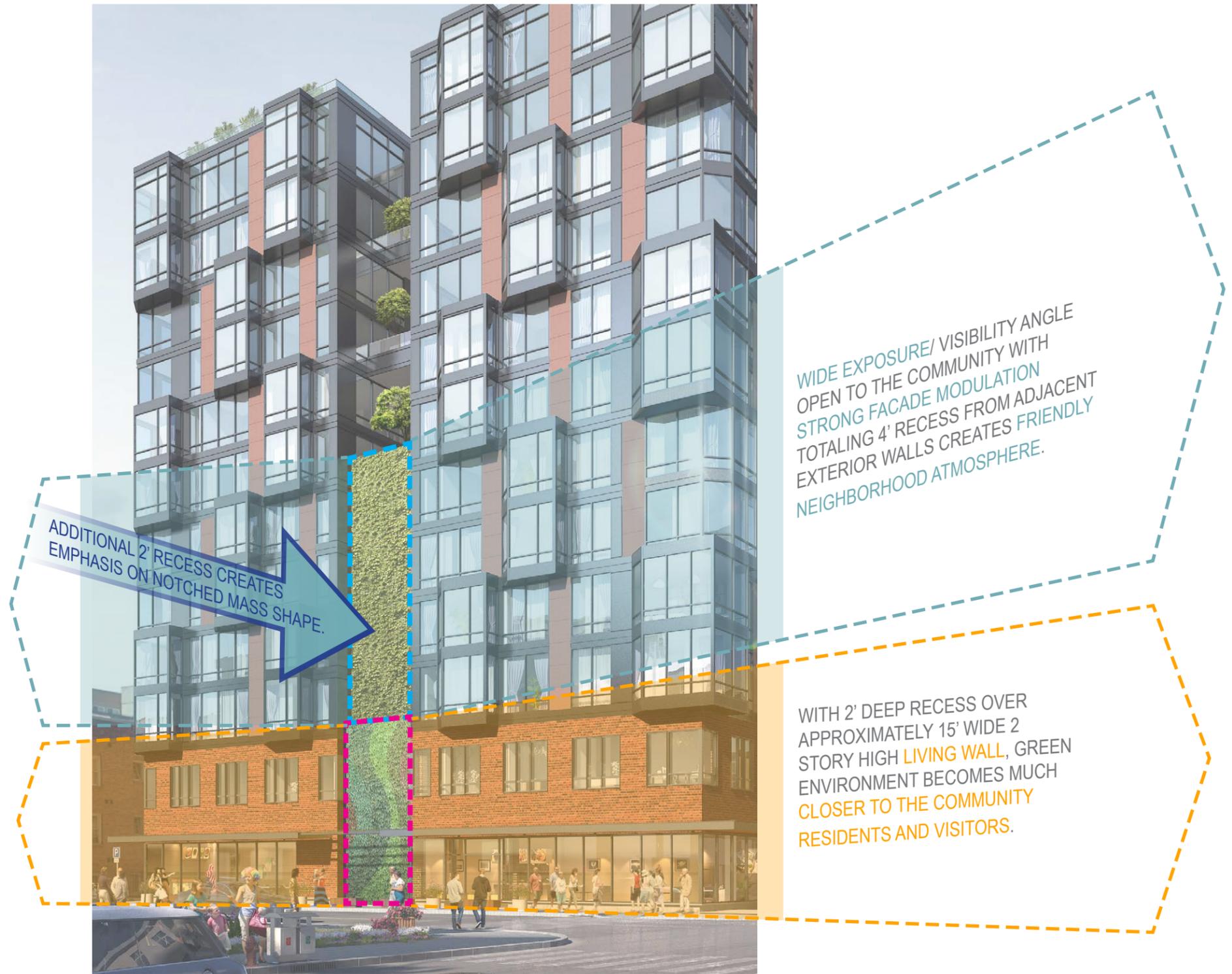
- 1) **Massing & Context Response:** The board discussed the merits of the different massing and podium options. The board unanimously preferred the massing of Option Three and the podium of Option B, as the hybrid form has the best potential to create architectural presence and respond to the streetscape. The Board directed the applicant to proceed with this preferred option. (Guidelines A1, B-1, C-1)
- a. The Board deliberated over the south facade massing and discussed whether a portion of the massing should recede or if the massing should be flipped to break up the bulk. Ultimately the Board supported the proposed massing as it anticipates and provides daylight access for future development provided that the south facade and green notch concept is further refined. (Guidelines A1.1, A1.2, B.1, B2.3)
- b. The Board unanimously supported the green notch as a concept. The Board was concerned that the stacked sky gardens will not be visible to the pedestrian and that the planted metal cabling system, proposed at the ground level, is the least successful. In order to provide interest visible from the street level, the Board recommended increasing the depth of the notch and terracing the sky gardens down. (Guidelines B1.III, B2.3, B4.1)

CONTINUOUS VINE WALL (L3 - L6, APPROX 40' HIGH) SCHEME

Within the green notched area on south building facade, continuous vine wall system from level 3 to level 6 strengthen the continuity of vertically oriented Green characteristics. For maintaining wide visibility to the community, continuous vine wall is recessed by 4' from property line. 2 level high (approx. 30' high) living wall, pre-assembled vertical planter system, initiates Vertical connection of Green feature followed by a vine wall with planters at both top and bottom for quick spread of vines.

DESIGN GUIDELINES

- PROPOSED ▶ A-1: Respond to the physical environment.
 PROPOSED ▶ B-1: Respond to the neighborhood context.
 PROPOSED ▶ C-1: Promote pedestrian interaction.



SOUTH FACADE - VISIBILITY DIAGRAM

GREEN NOTCH - SCHEME 1 (PREFERRED)

CONTINUOUS VINE WALL (L3 - L6, APPROX 40' HIGH) SCHEME

Anticipated growth of the vine wall is approximately 10' / year for the selected type of the plant. Metal cage over painted solid wall is proposed for housing vines.



YEAR - 0



YEAR - 1



YEAR - 2

ANTICIPATED VINE WALL GROWTH SCHEDULE

CASCADING PLANTING SCHEME

Within the green notched area on south building facade, **hanging vine strengthen the continuity of vertically oriented Green characteristics with a cascading effect.** For maintaining wide visibility to the community, hanging vine wall is recessed by 4' from property line.

Configuration of stepped sky terraces on L7, L9 and L11 is the same as scheme 1. Also the configuration of living wall on L1 and L2 is the same as scheme 1 for wider visibility to the community.

DESIGN GUIDELINES

- PROPOSED ▶ A-1: Respond to the physical environment.
- PROPOSED ▶ B-1: Respond to the neighborhood context.
- PROPOSED ▶ C-1: Promote pedestrian interaction.

REFERENCE IMAGE



HANGING VINE WITH VERTICAL TRELLIS



STREET VIEW - ALONG BATTERY STREET

LIVING WALL BASE DESIGN

For protection of well-maintained living wall, concrete curb with integrated planter and up-lights is proposed.



PROPOSED PLANTER IMAGE AT GREEN WALL IN SOUTH FACADE

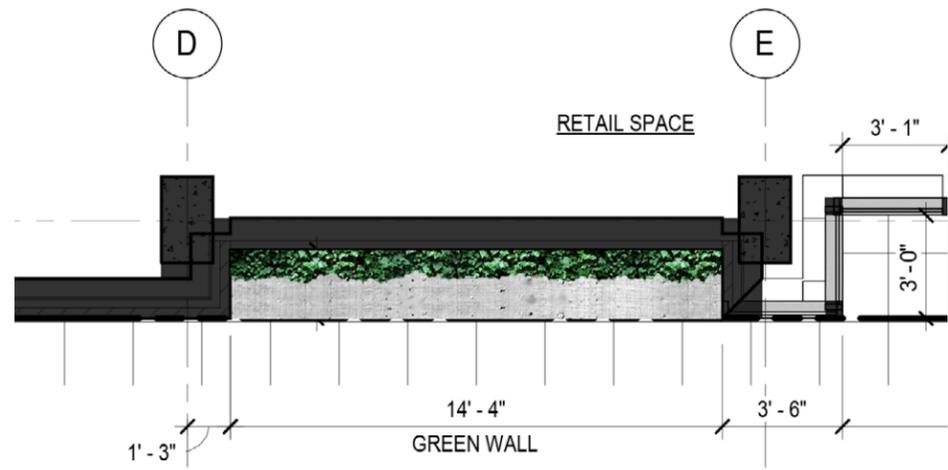
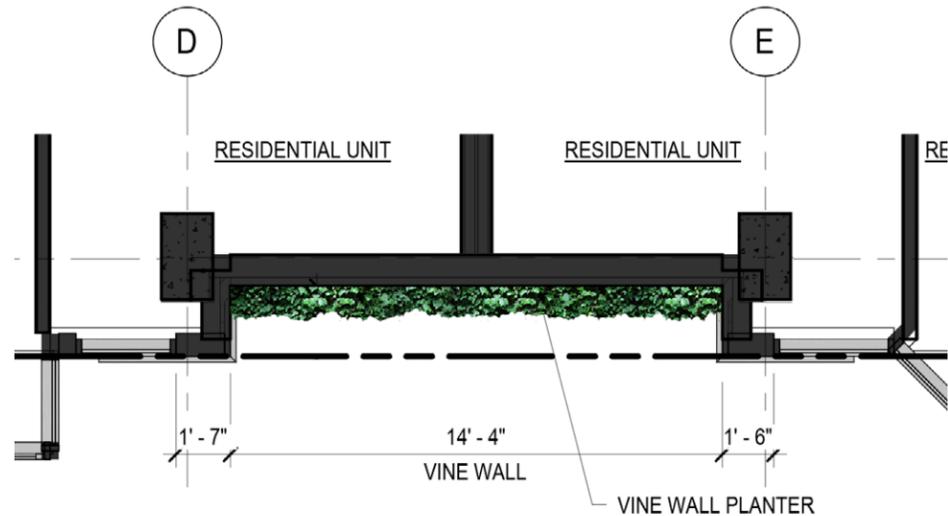
BASE PLANTER
Additional layer of plants
Up-light

EDG SUMMARY - DESIGN BOARD RECOMMENDATION

GREEN NOTCH - EDG (ORIGINAL)

CONTINUOUS VERTICAL GREEN FEATURE

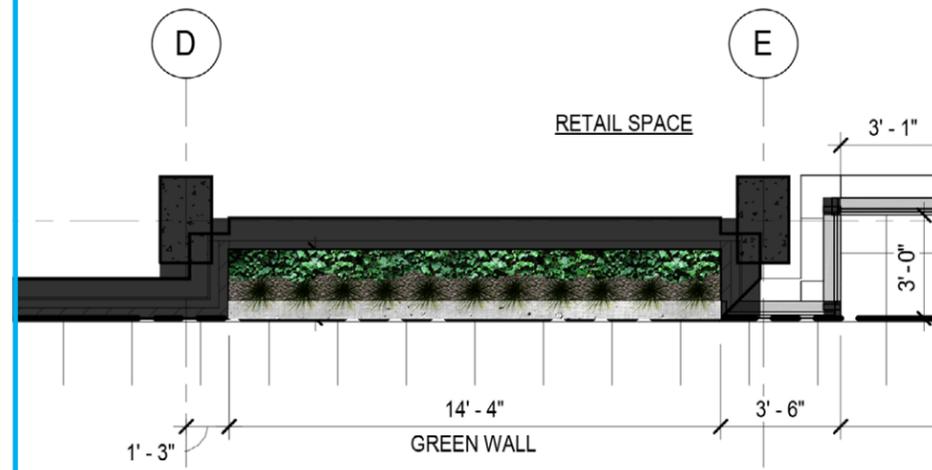
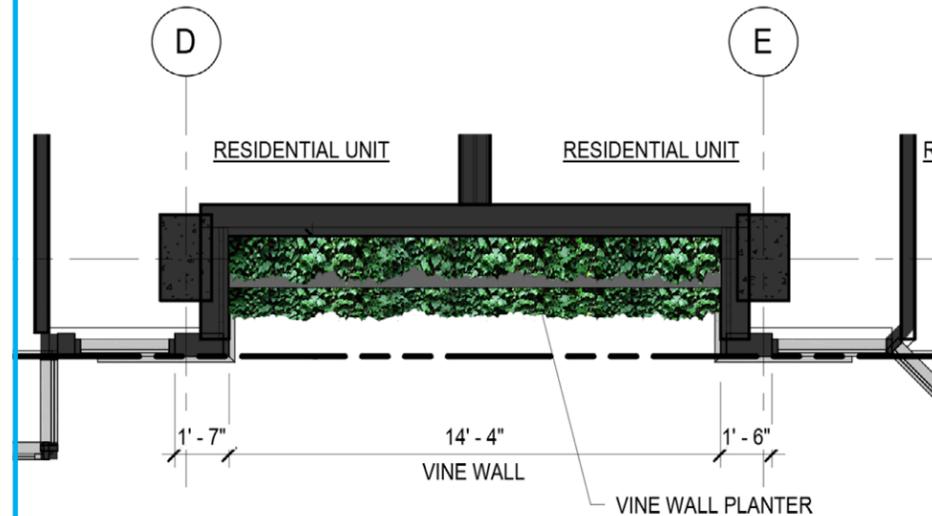
- 2' recessed Full Height Vine Wall from Level 1 through Level 6 for continuous Green effect.
- Street level planter for additional layer of Green Feature, providing clean environment and protection for Living Wall.



GREEN NOTCH - OPTION 1 (PREFERRED)

CONTINUOUS VERTICAL GREEN FEATURE

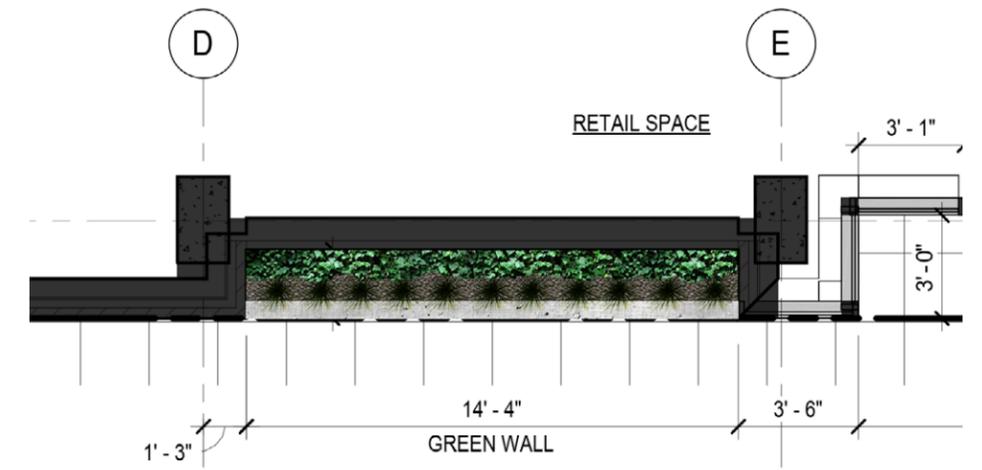
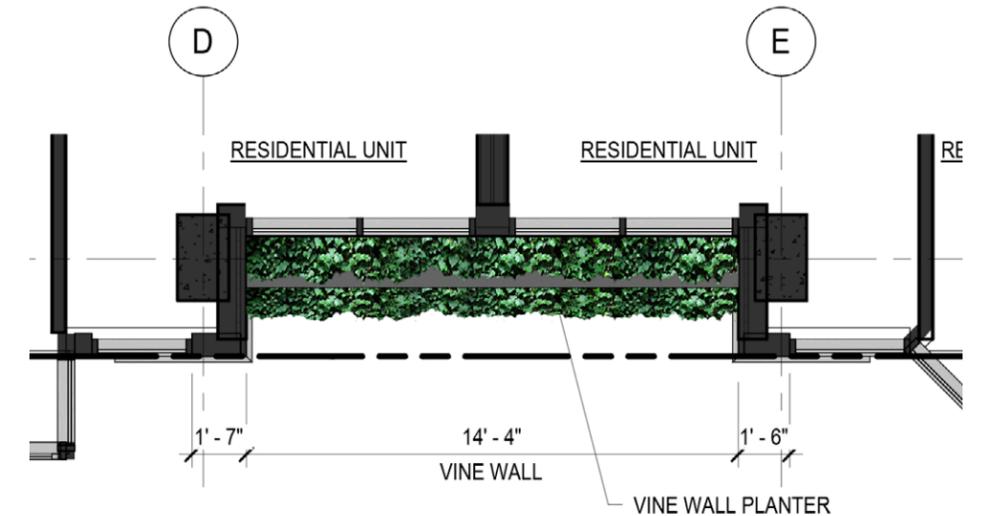
- 4' recessed Full Height Vine Wall from Level 3 through Level 6 to achieve continuity of Green Feature.
- 2' recessed Living Wall from Level 1 through Level 2 for permanent Green Accent.
- Street level planter for additional layer of Green Feature, providing clean environment and protection for Living Wall.



GREEN NOTCH - OPTION 2

TERRACED VERTICAL GREEN FEATURE

- 4' recessed Planter with Hanging Vines from Level 3 through Level 6 to repeat terracing effect of upper floors of Green Feature.
- 2' recessed Living Wall from Level 1 through Level 2 for permanent Green Accent.
- Street level planter for additional layer of Green Feature, providing clean environment and protection for Living Wall.



STREET SCAPE AND MATERIAL DETAILING - EDG OPTION 1



- Continuous brick wall pilaster creates solid anchoring effects for building base visual stability.
- Brick running bond exterior finish to share traditional style of neighboring buildings.

STREET SCAPE AND MATERIAL DETAILING - EDG OPTION 2 (BOARD SUPPORTED)



- Fully Glazed storefront creates transparency and openness between pedestrian street and retail spaces.
- Brick running bond exterior finish to share traditional style of neighboring buildings.

STREET SCAPE AND MATERIAL DETAILING - DRB OPTION 1 (PREFERRED)



- Fully Glazed storefront creates transparency and openness between pedestrian street and retail spaces.
- Brick stack bond exterior finish to share traditional style of neighboring buildings with a hint of current trend.
- 2nd Floor Windows are aligned to Accent Colored Panels above for cleanliness of building facade.

STREET SCAPE AND MATERIAL DETAILING - DRB OPTION 2



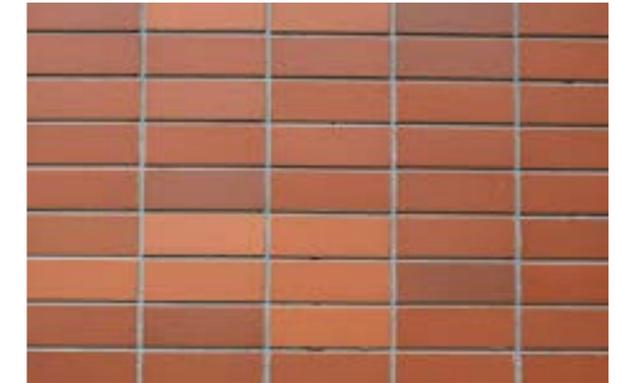
- Fully Glazed storefront creates transparency and openness between pedestrian street and retail spaces.
- Stack bond large panel exterior finish to strengthen contemporary characteristics of upper building.
- 2nd Floor Windows are aligned to Accent Colored Panels above for cleanliness of building facade.

STREET SCAPE AND MATERIAL DETAILING - OPTION 1 (PREFERRED)

EARLY DESIGN GUIDANCE October 20, 2015

- 1) **Streetscape:** The board gave direction on the architectural expression related to the streetscape.
 - a. Discussing the podium options for the tower, the Board unanimously supported Option B as the transparent base expression promotes pedestrian interaction. (Guidelines C1, C3.1)
 - b. Acknowledging that brick material is characteristics of Belltown, the Board questioned if the proposed strip of brick on the street level facade is consistent with the overall concept. The Board recommended further developing the street level facade and directed the applicant to provide a brick option and an alternate cladding option at the next meeting. (Guidelines B4)

PODIUM WINDOW LAYOUT
Windows are aligned to accent panels above.

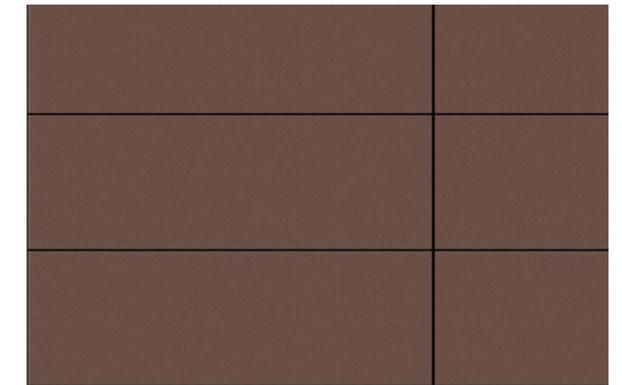


STREET LEVEL AND MATERIAL DETAILING - OPTION 2

EARLY DESIGN GUIDANCE October 20, 2015

- 1) **Streetscape:** The board gave direction on the architectural expression related to the streetscape.
 - a. Discussing the podium options for the tower, the Board unanimously supported Option B as the transparent base expression promotes pedestrian interaction. (Guidelines C1, C3.1)
 - b. Acknowledging that brick material is characteristics of Belltown, the Board questioned if the proposed strip of brick on the street level facade is consistent with the overall concept. The Board recommended further developing the street level facade and directed the applicant to provide a brick option and an alternate cladding option at the next meeting. (Guidelines B4)

PODIUM WINDOW LAYOUT
 Windows are aligned to accent panels above.

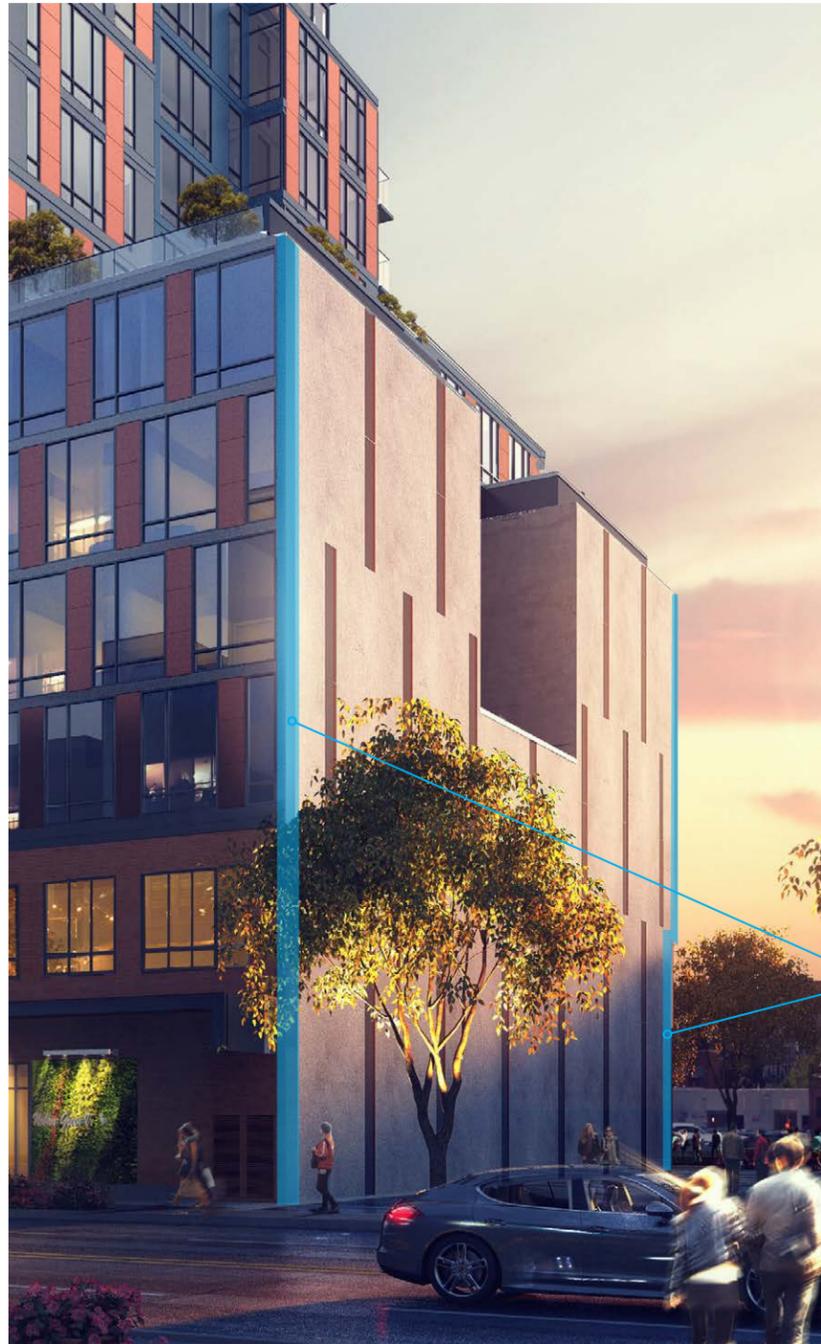


MATERIAL REFERENCE IMAGE
 (TERRACOTTA OR FIBER CEMENT BOARD FINISH)

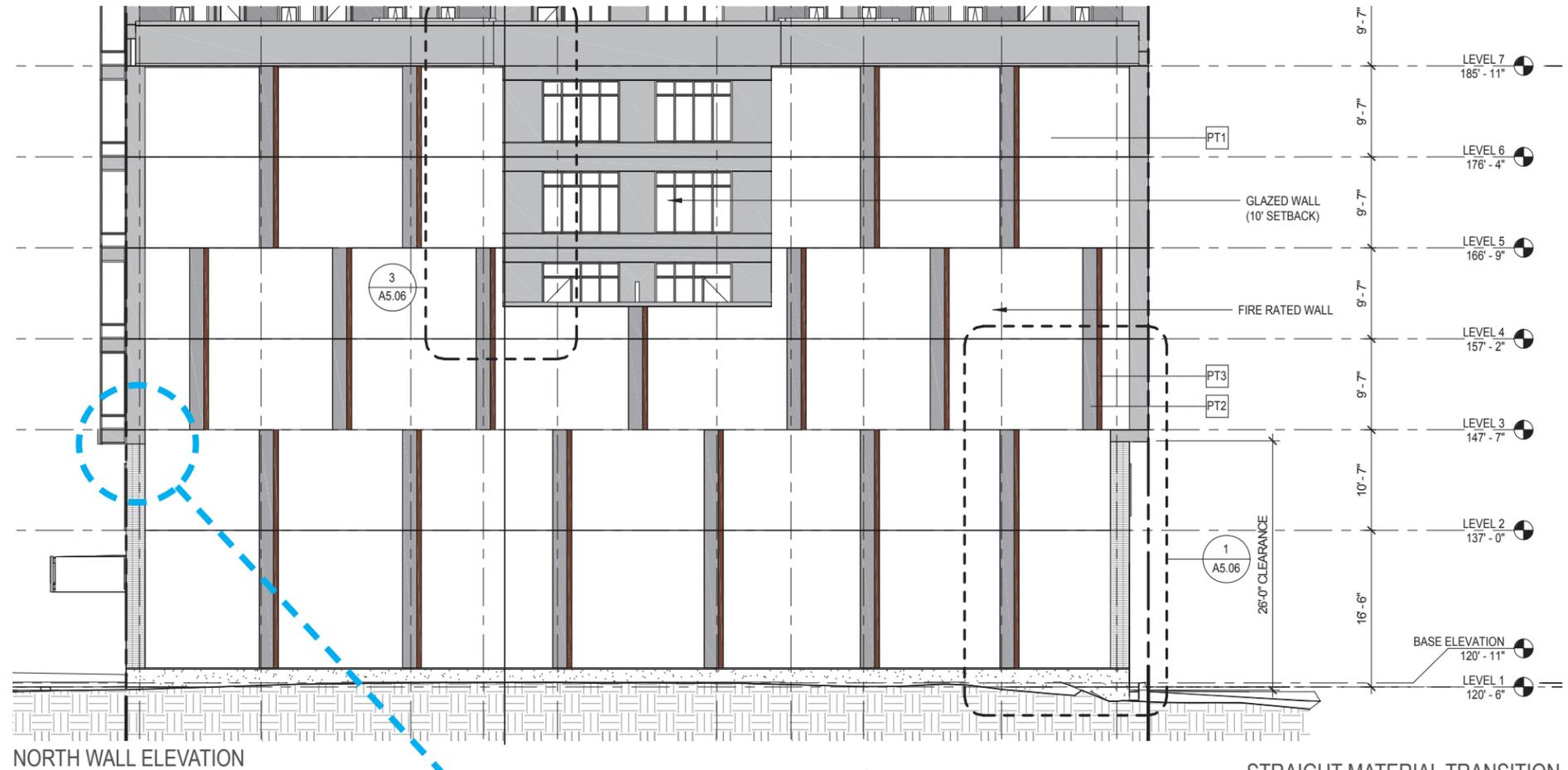


STREET VIEW ALONG 3RD AVENUE (LOOKING SOUTH)

EDG SUMMARY - DESIGN BOARD RECOMMENDATION



NORTH WALL IMAGE

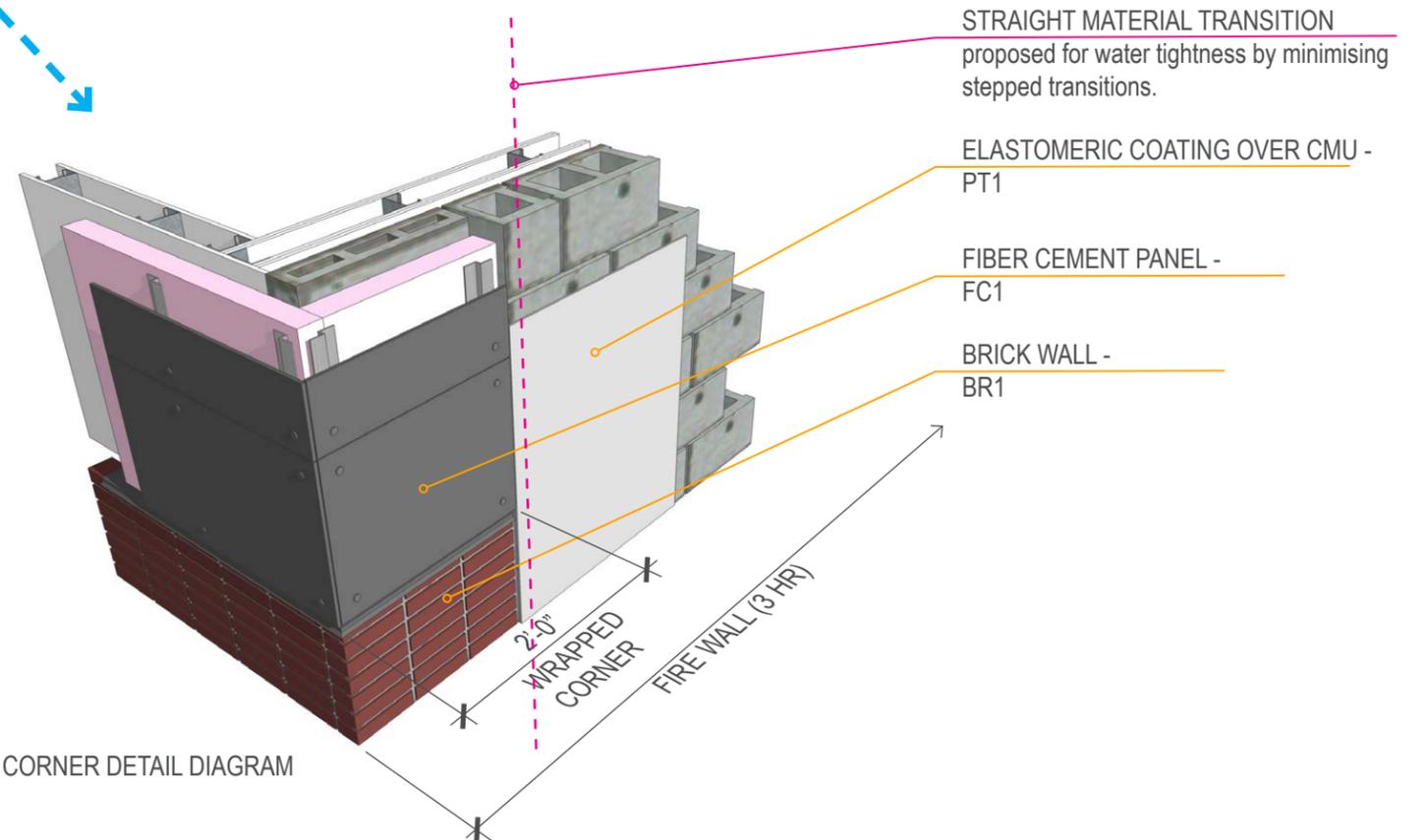


NORTH WALL ELEVATION

2 FEET CORNER WRAP STRIPES

BLANK NORTH WALL

2 feet strips of corner return with materials used for both street and alley facing adjacent walls is proposed to strengthen the esthetics of wall having accent colored strips enhancing the main building facade characteristics of staggered pattern.



NORTH WALL CORNER DETAIL DIAGRAM

STRAIGHT MATERIAL TRANSITION proposed for water tightness by minimising stepped transitions.

ELASTOMERIC COATING OVER CMU - PT1

FIBER CEMENT PANEL - FC1

BRICK WALL - BR1

EARLY DESIGN GUIDANCE October 20, 2015

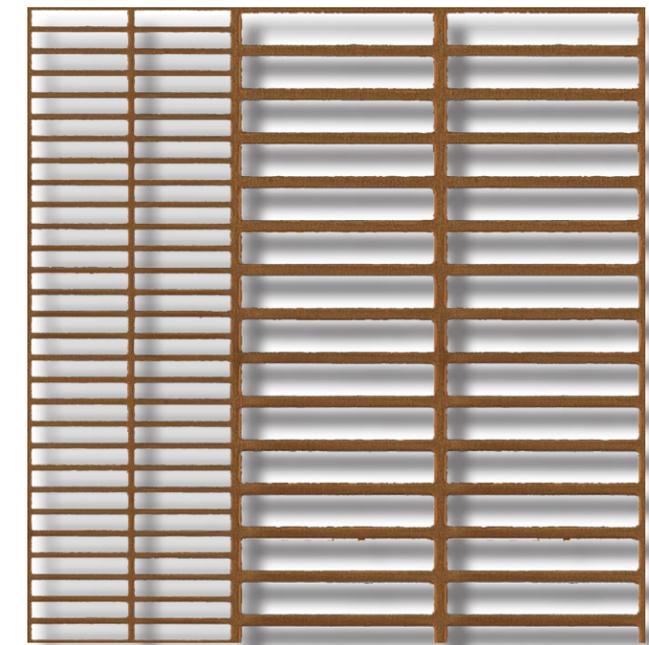
4) **Architectural Concept and Materials:** The board strongly supported the quality of materials shown in the packet and the general direction of the material treatment.

a. The Board acknowledged that the north facade will be very visible for the time being, before the adjacent surface parking site is redeveloped, and recommended thoughtfully developing the facade treatment. (Guidelines B-1, B-4.3, C3.1)



RESIDENTIAL ENTRY AREA FACADE TREATMENT IMAGE

GAS MANIFOLD SCREEN DOOR
Perforated Metal Panel with
Weathered Finish



MATERIAL REFERENCE IMAGE

GAS MANIFOLD SCREEN (PREFERRED)

As a result of further consideration of design options with additional green cable system or similar system, we are proposing permanent application without intensive landscape system for this location.

We believe it is beneficial to enhance solidity of this building facade with a **simple, durable and permanent application** with a similar finish (Weathered Metal Finish: proposed) to brick color.



3RD AVENUE FACADE

With building design elements of repetitive building massing pattern of staggered bay windows and reduced scaled pattern for the building mass with a residential entry, the Project strengthen the **neighborhood characteristics** to suite for majority of new local residents.

The residential entry is designed with an enhanced building identity signage and a community friendly **green wall for lively appearance** to the neighborhood.

BATTERY STREET FACADE

In addition to unique characteristics of bay windows, historically recognized brick facade creates **strong horizontal connection** to both new and historical neighboring buildings.

Within the community consisted with mixture of historical low-rise buildings and newer existing massive buildings, vertically applied **Green Strip/ Notch** softens urban massing environment that we are anticipating in the near future.







L2 FLOOR PLAN



L3 - L6 TYPICAL FLOOR PLAN

- LEGEND
- RESIDENTIAL
 - RETAIL
 - AMENITY
 - COMMON AREA
 - PUBLIC TERRACE
 - MEP
 - GARAGE
 - PROPERTY LINE

ARCHITECTURAL CONCEPT



L7 - L8 TYPICAL FLOOR PLAN



L9 - L10 TYPICAL FLOOR PLAN

- LEGEND
- RESIDENTIAL
 - RETAIL
 - AMENITY
 - COMMON AREA
 - PUBLIC TERRACE
 - MEP
 - GARAGE
 - PROPERTY LINE



L11 - L12 TYPICAL FLOOR PLAN

ROOFTOP (R1) FLOOR PLAN

- LEGEND
- RESIDENTIAL
 - RETAIL
 - AMENITY
 - COMMON AREA
 - PUBLIC TERRACE
 - MEP
 - GARAGE
 - PROPERTY LINE



BIRD'S EYE VIEW (LOOKING SOUTHEAST BUILDING CORNER)

ALLEY FRONTAGE

Alley side building corner is wrapped with retail storefront for **sharing retail environment** to light-up the typical image of alley.

PEDESTRIAN GLASS CANOPY

Inviting **natural light** to both retail facade/ interior and pedestrian street. Continuous coverage of the canopy provides **comfort and safety**.

PEDESTRIAN STREET

Landscape/ streetscape design is coordinated with "**Third Avenue Transit Corridor Improvements**" plan issued by SDOT.

EARLY DESIGN GUIDANCE October 20, 2015

- 1) **Streetscape:** The board gave direction on the architectural expression related to the streetscape.
- c. For the alley frontage, the Board supported the retail turning the corner and appreciated the privacy study. (Guidelines C6.1, C6.II, C6.III)
- d. Recognizing that continuous canopies are encouraged, the Board discussed if the canopy should wrap the green notch. Ultimately, the Board directed the applicant to develop a continuous canopy or provide compelling reasoning for a lack of continuous coverage. (Guidelines C5.1)

DESIGN GUIDELINES

- PROPOSED ▶ C-5: Encourage overhead weather protection.
- PROPOSED ▶ C-6: Develop the alley facade.

Design Review Guidelines

D2 Enhance the Building with Landscaping: Enhance the building and site with generous landscaping - which includes special pavements, trellisses, screen walls, planters, and site furniture, as well as living plant material.

D3 Provide elements that define the place.: Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable "sense of place" associated with the building.

D4 Provide appropriate signage.: Design signage appropriate for the scale and character of the project and immediate neighborhood. All signs should be oriented to pedestrians and/ or persons in vehicles on streets with in the immediate neighborhood.

D5 Provide adequate lighting. To promote a sense of security for people downtown during nighttime hours, provide appropriate levels of lighting on the building facade, on the underside of overhead weather protection, on and around street furniture, in merchandising display windows, and on signage.

RESIDENTIAL ENTRY CANOPY

Providing extra clear height for **spacial enhancement** at the residential entry.

TREES, SHRUBS & HARDSACING

Coordinated with SDOT.

ENTRY GREEN/ LIVING WALL

Green/ living wall with a simple pattern of plants and a building identity sign embedded.

PEDESTRIAN GLASS CANOPY

Continuous canopy along both 3rd Avenue and Battery street for providing **weather protection and natural light**.

VERTICAL GREEN/ LIVING WALL

Green/ living wall with a simple pattern of plants within. At the base, **another layer of planting with up-light provided**.

STREET FURNITURE & PLANTERS

By coordinating with SDOT, **removable street furniture and planters** are proposed for sidewalk above Battery Tunnel.



LANDSCAPING CONCEPT

PAVING LEGEND

- DRIVEWAY, CEMENT CONC, HES (24 HRS), 8 IN OR ROADWAY, CEMENT CONC
- PAVEMENT, HMA (CL 1/2")
- SIDEWALK, CEMENT CONC W/ 25% POZZOLANS
- SIDEWALK, OVER AREAWAY, CEMENT CONC
- AMENITY ZONE, SEE SITE DETAIL PLANS
- AMENITY ZONE, OVER AREAWAY, SEE SITE DETAIL PLANS
- LANDSCAPE ZONE, SEE SITE DETAIL PLANS
- FLEX LOAD ZONE, SEE PAVING AND DRAINAGE DETAILS
- FLEX LOAD ZONE, OVER AREAWAY
- DETECTABLE WARNING PLATE
- CURB, CEMENT CONC, TYPE 410C
- BUS CANOPY FOOTING

PAVING ACTIVITIES

UNLESS OTHERWISE NOTED:

- ① CURB RAMP, TYPE 422A W/ 25% POZZOLANS
- ② CURB RAMP, NON-STANDARD W/ 25% POZZOLANS, SEE PAVING AND DRAINAGE DETAILS
- ③ DRIVEWAY, CEMENT CONC, HES (24 HRS), 8 IN
- ④ GREENSTREET RAISED CROSSING, SEE PAVING AND DRAINAGE DETAILS
- ⑤ SIDEWALK SWALE, SEE PAVING AND DRAINAGE DETAILS
- ⑥ BUS CANOPY FOOTING, SEE PAVING AND DRAINAGE DETAILS
- ⑦ RESTORE ROADWAY ACCORDING TO COS STANDARD PLAN 404

DRAINAGE LEGEND

- | | | |
|-------|-----|-----------------------|
| EXIST | NEW | |
| | | CATCH BASIN TYPE 240A |
| | | CATCH BASIN TYPE 240D |
| | | CATCH BASIN TYPE 242B |
| | | INLET TYPE 250B |

DRAINAGE ACTIVITIES

UNLESS OTHERWISE NOTED:

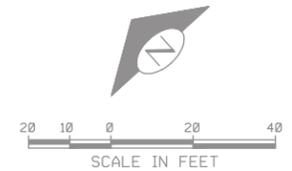
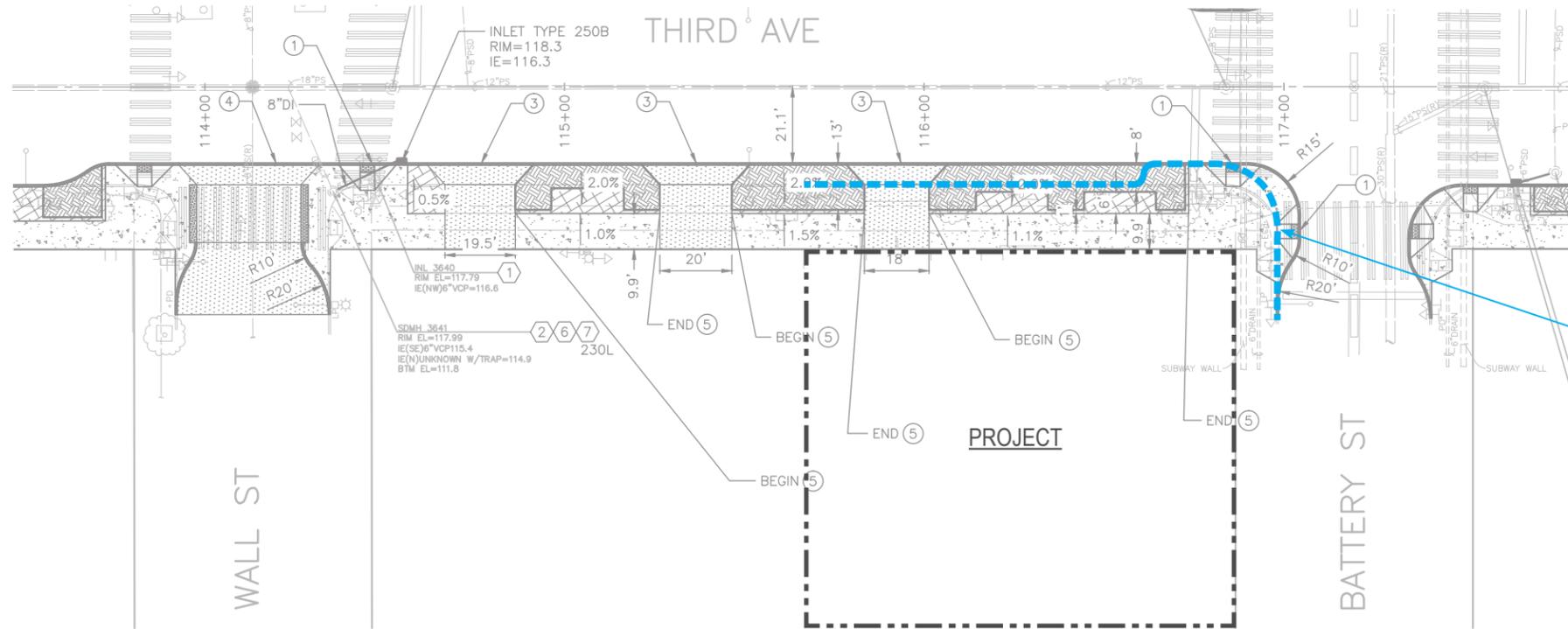
- ① REMOVE EXISTING INLET OR CATCH BASIN
- ② CONNECT TO EXISTING INLET OR CATCH BASIN
- ③ CONNECT TO EXISTING PIPE
- ④ CUT-IN TEE TO EXISTING PIPE BY SPU
- ⑤ INSTALL NEW TYPE 263 INLET FRAME AND VANED GRATE
- ⑥ ADJUST TO GRADE
- ⑦ INSTALL NEW FRAME AND COVER
- ⑧ INSTALL CANOPY DOWNSPOUT CONNECTION TO CURB, SEE SHT PVD04

NOTES

1. FOR INTERSECTION GRADING, SEE INTERSECTION PLANS
2. FOR SIDEWALK CROSS SLOPE, SEE TYPICAL SECTIONS

EARLY DESIGN GUIDANCE October 20, 2015

- 3) **Landscape and Open Space:** The board gave direction regarding the landscaping design.
 - b. The Board was concerned with the undulating landscape treatment along 3rd Ave. To provide a continuous experience for the pedestrian, the Board recommended revising the design to be consistent with the 3rd Ave Street Concept Plan and relocating unique landscape and gathering spaces along the property line. (Guidelines D1.1, D1.2, D2.2)



STREETSCAPE IMPROVEMENT

As a result of streetscape design coordination with SDOT, proposed streetscape design of the Project consists of the area within the outlined area. Refer to Landscape plan for further developed layout with SDOT.

PAVING, GRADING, AND DRAINAGE PLAN
WALL ST TO BATTERY ST (WEST)
PV10

**30% SUBMITTAL
NOT FOR CONSTRUCTION**

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CHECKED	SDOT	SDOT	PROJ. MGR.
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CHECKED	REVISED AS BUILT		

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SEATTLE STANDARD PLANS AND SPECIFICATIONS AND OTHER DOCUMENTS CALLED FOR IN SECTION 0-02.3 OF THE PROJECT MANUAL.



City of Seattle
**Seattle Department
of Transportation**
ORDINANCE NO. APPROVED
FUNDS:
SCALE: H. 1"=20', V. 1"=10' INSPECTOR'S BOOK

**THIRD AVENUE TRANSIT
CORRIDOR IMPROVEMENTS**

JOB NO.	PC
	R/W
	CO
VAULT PLAN NO.	---
SHEET	24 OF 216

EXISTING BELL STREET STREETScape/ LANDSCAPE



PROPOSED BATTERY STREET STREETScape/ LANDSCAPE



EARLY DESIGN GUIDANCE October 20, 2015

4) **Architectural Concept and Materials:** The board strongly supported the quality of materials shown in the packet and the general direction of the material treatment.

- a. The Board acknowledged that the north facade will be very visible for the time being, before the adjacent surface parking site is redeveloped, and recommended thoughtfully developing the facade treatment. (Guidelines B-1, B-4.3, C3.1)

STREET FURNITURE, PLANTERS & GROUND COVERING

By coordinating with SDOT, **removable street furniture and planters** are proposed for sidewalk above Battery Tunnel in addition to paving material/ pattern derived from 3rd Avenue improvement plan for consistency.

Temporary but **harmonious design** method is utilized for the design.





BIKE RACK



BENCH



FLOWER POT



G2: BLUE FESCUE



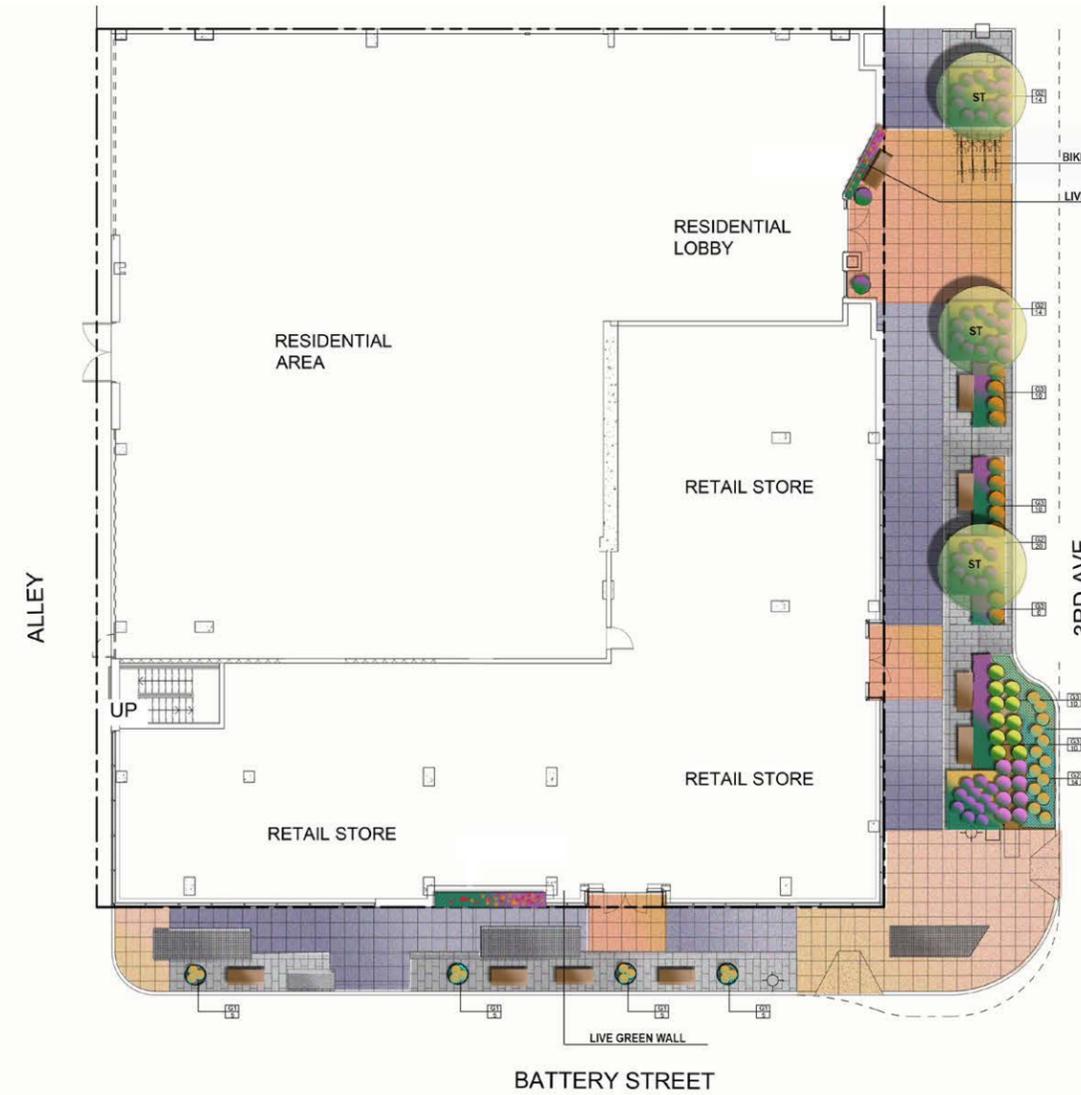
G1: HEATHER ASSORTED



G3: SPANISH LAVENDER



ST: ALLEE ELM



PLANTING DESIGN PLAN

SCALE: 1/8" = 1'-0"



S1: RHODODENDRON 'PJM' COMPACT



S2: CAVATINE ANDROMEDA



S3: DWARF JAPANESE MOCK ORANGE



S4: PURPLE GEM RHODODENDRON



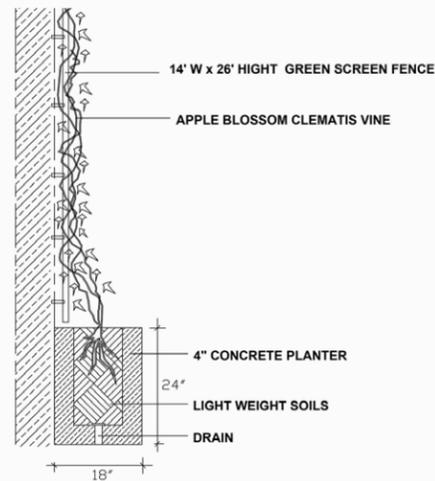
S5: GOLDEN SWORD YUCCA



STREETSCAPE LANDSCAPE
LOTUS LANDSCAPE DESIGN



V1: APPLE BLOSSOM CLEMATIS



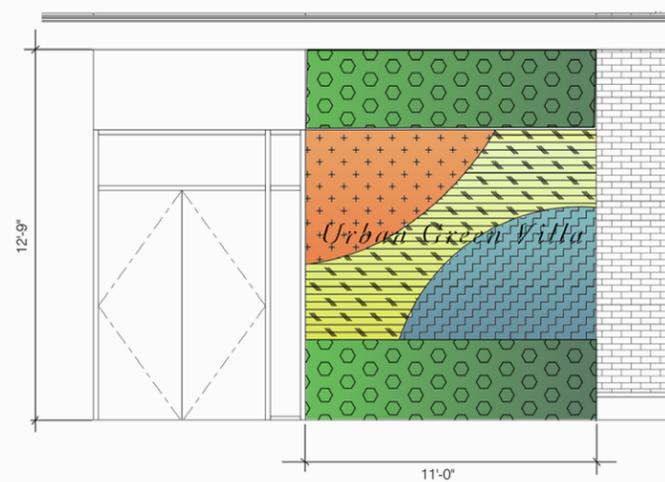
A. GREEN SCREEN WITH VINE PLANTING



John Creech Stonecrop



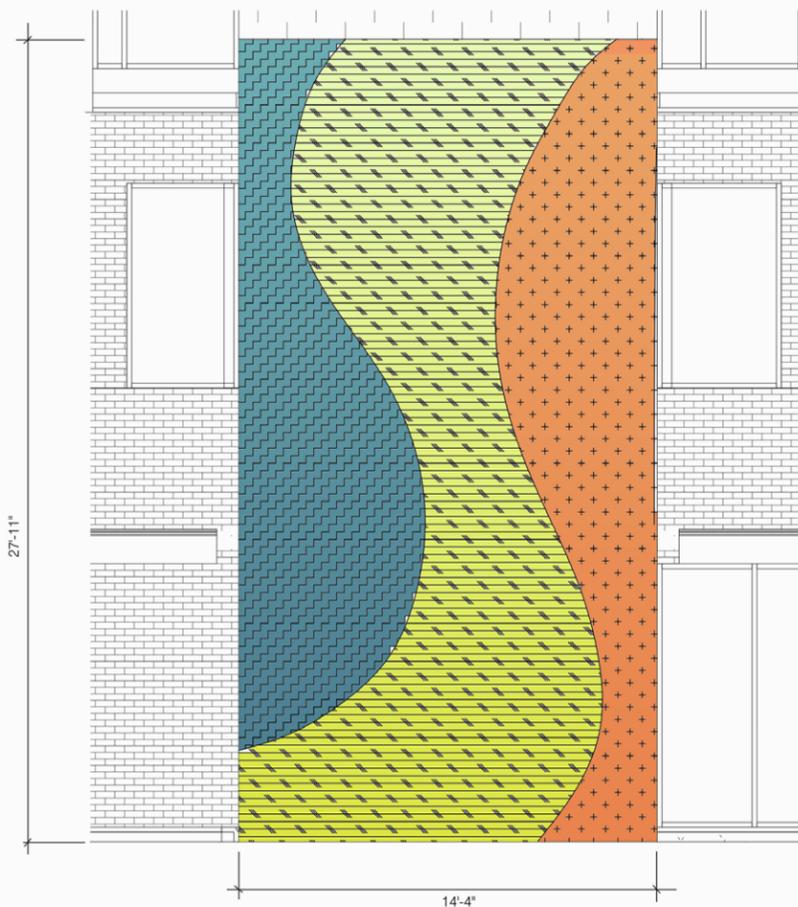
Blue Rose Echeveria



LIVE GREEN WALL ELEVATION (3RD AVE)

Scale: 1/2" = 1'-0"

GREEN SCREEN & LIVE WALL
LOTUS LANDSCAPE DESIGN



LIVE GREEN WALL ELEVATION (BATTERY ST)

Scale: 1/2" = 1'-0"

B. LIVE GREEN WALL IMAGE



Carvex Grass Evergold



Coppertone Stonecrop

Symbol	Common Name	Botanical Name	Size	Quantity	Note
A. Vine					
	Apple Blossom Clematis	Clematis grmandii 'Apple Blossom'	1 gal.	11	3' Long Min.
B. Flower/ Grass/ Groundcover					
	Coppertone Stonecrop	(Sedum nussbaumerianum)	4" pot		
	Carvex Grass Evergold	(Carvex Oshimensis ' Evergold')	4" pot		
	John Creech Stonecrop	(Sedum spurium ' John Creech')	4" pot		
	Blue Rose Echeveria	(Echeveria imbricata)	4" pot		



S6: YULETIDE CAMELIA



S10: PINK-A-POO CAMALLIA



T1: CORAL BARK MAPLE

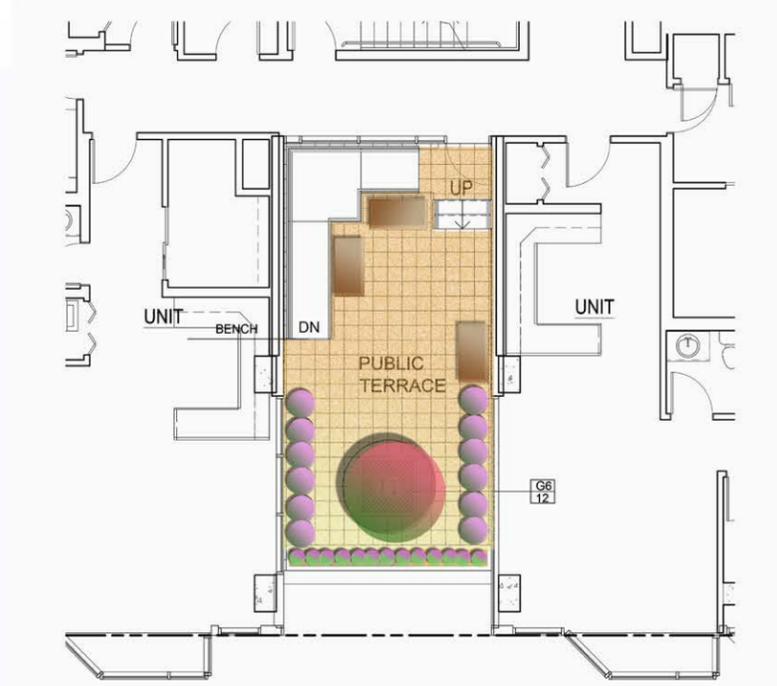


(WINTER)



PLANTING DESIGN PLAN

SCALE: 1/4" = 1'-0"



PLANTING DESIGN PLAN

SCALE: 1/4" = 1'-0"



V1: APPLE BLOSSOM CLEMATIS



G6: CORAL BELLS



G1: HEATHER ASSORTED



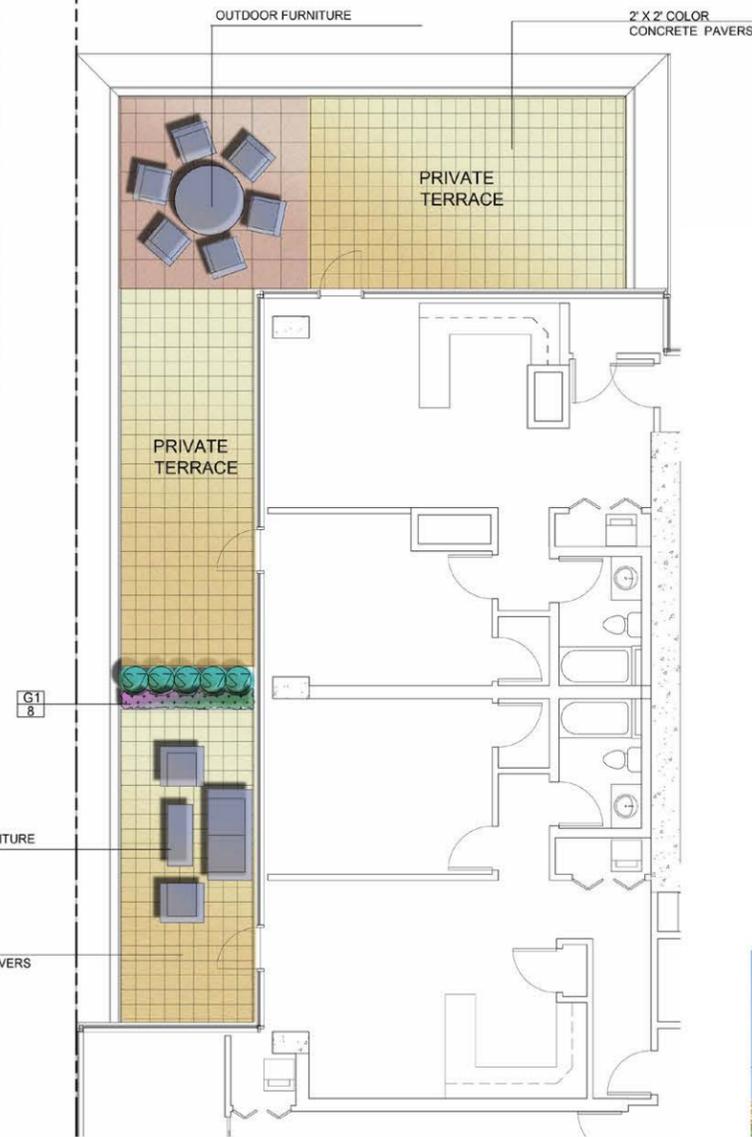
7 F TERRACE LANDSCAPE
LOTUS LANDSCAPE DESIGN



S7: COLUMNAR JUNIPER

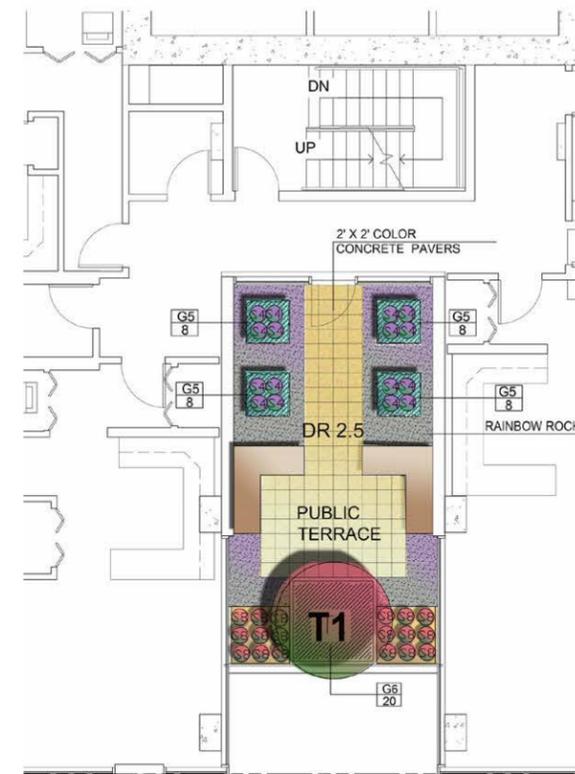


G1: HEATHER ASSORTED



PLANTING DESIGN PLAN

SCALE: 1/4" = 1'-0"



PLANTING DESIGN PLAN

SCALE: 1/4" = 1'-0"



S4: PURPLE GEM RHODODENDRON



G5: MONDO GRASS



G6: CORAL BELLS



T1: CORAL BARK MAPLE



(WINTER)



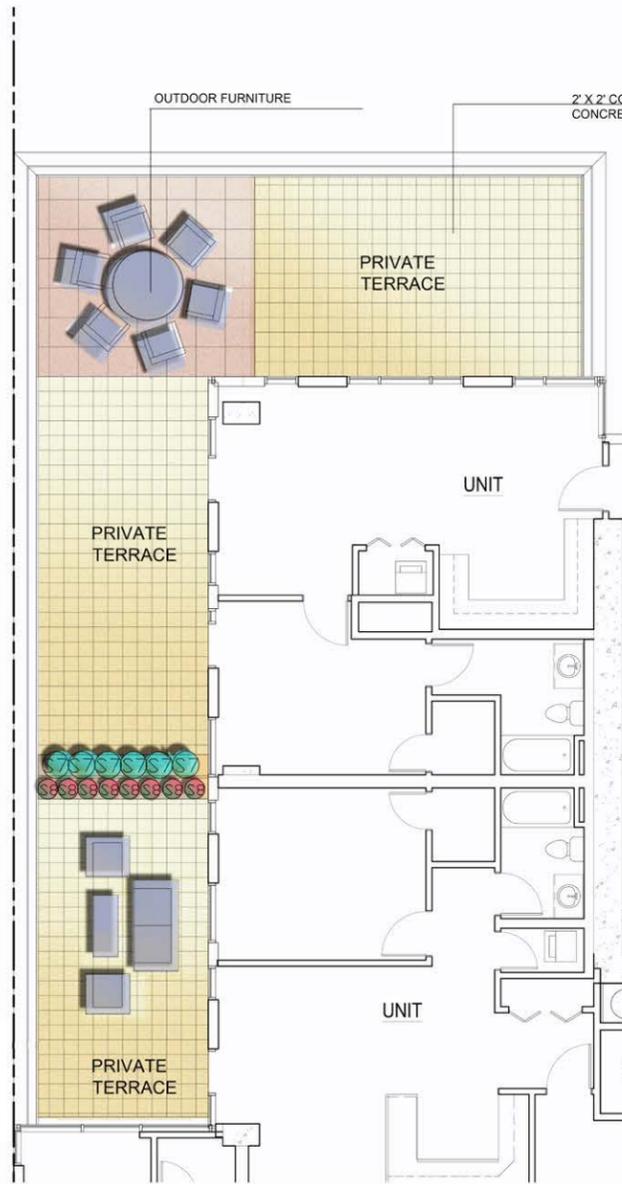
S8: DWARF HEAVENLY BAMBOO



S6: YULETIDE CAMELLIA

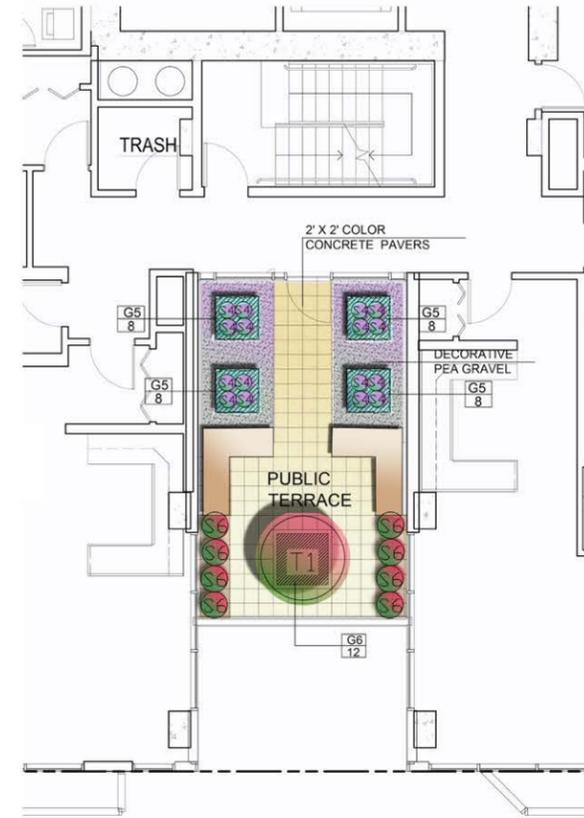


S7: COLUMNAR JUNIPER



PLANTING DESIGN PLAN

SCALE: 1/4" = 1'-0"



PLANTING DESIGN PLAN

SCALE: 1/4" = 1'-0"



S4: PURPLE GEM RHODODENDRON



G5: MONDO GRASS



G6: CORAL BELLS



T1: CORAL BARK MAPLE



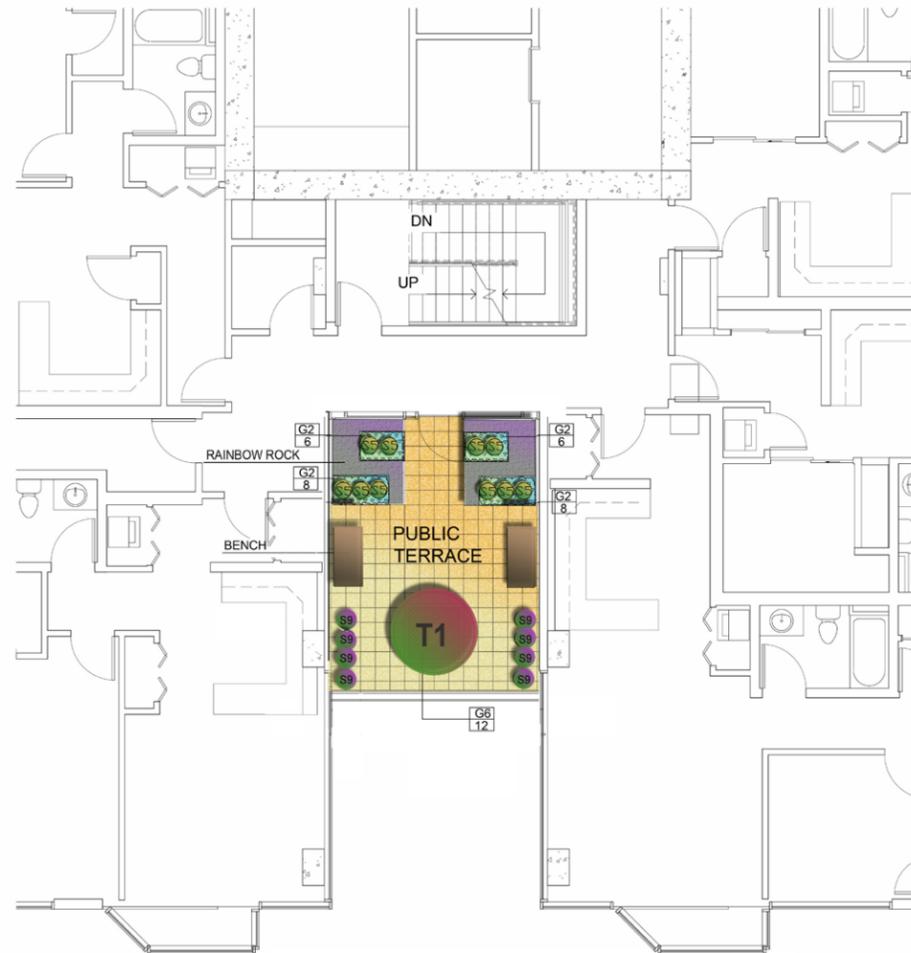
(WINTER)



S8: DWARF HEAVENLY BAMBOO



9 F TERRACE LANDSCAPE
LOTUS LANDSCAPE DESIGN



PLANTING DESIGN PLAN

SCALE: 1/4" = 1'-0"



T1: CORAL BARK MAPLE



(WINTER)



S5: GOLDEN SWORD YUCCA



S9: HEBE "G2 FRANCISCANA"



RAINBOW ROCKS



G2: BLUE FESCUE



G6: CORAL BELLS



OUTDOOR BENCH

PLANTING IMAGES



11F TERRACE LANDSCAPE
LOTUS LANDSCAPE DESIGN



T2: POM POM SCOTCH PINE



G1: HEATHER

CONCRETE PAVERS

FIRE TABLE & FURNITURE



S8: DWARF HEAVENLY BAMBOO



DOG PARK



STORAGE BENCH

VEGETABLE WASH SINK

BENCH

FLOWER PLANTER
G7
10

P-PATCH MODULE, TYP.
G7
10



G7: ENGLISH LAVENDER

PLANTING DESIGN PLAN

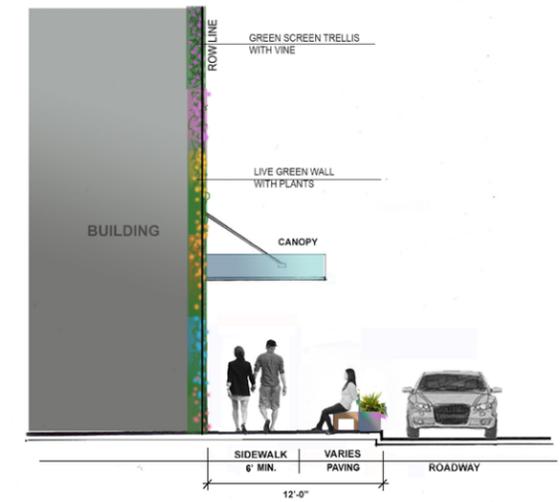
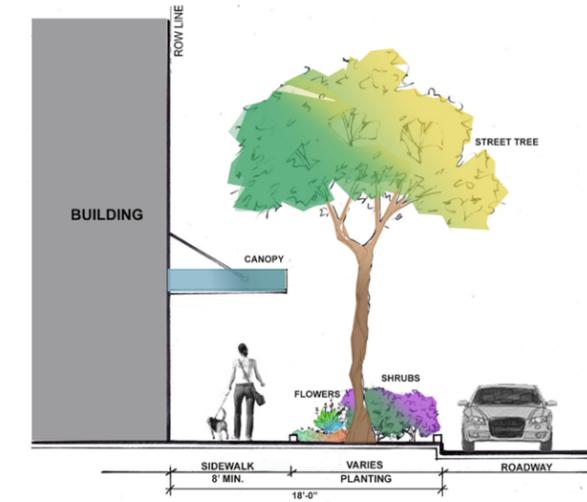
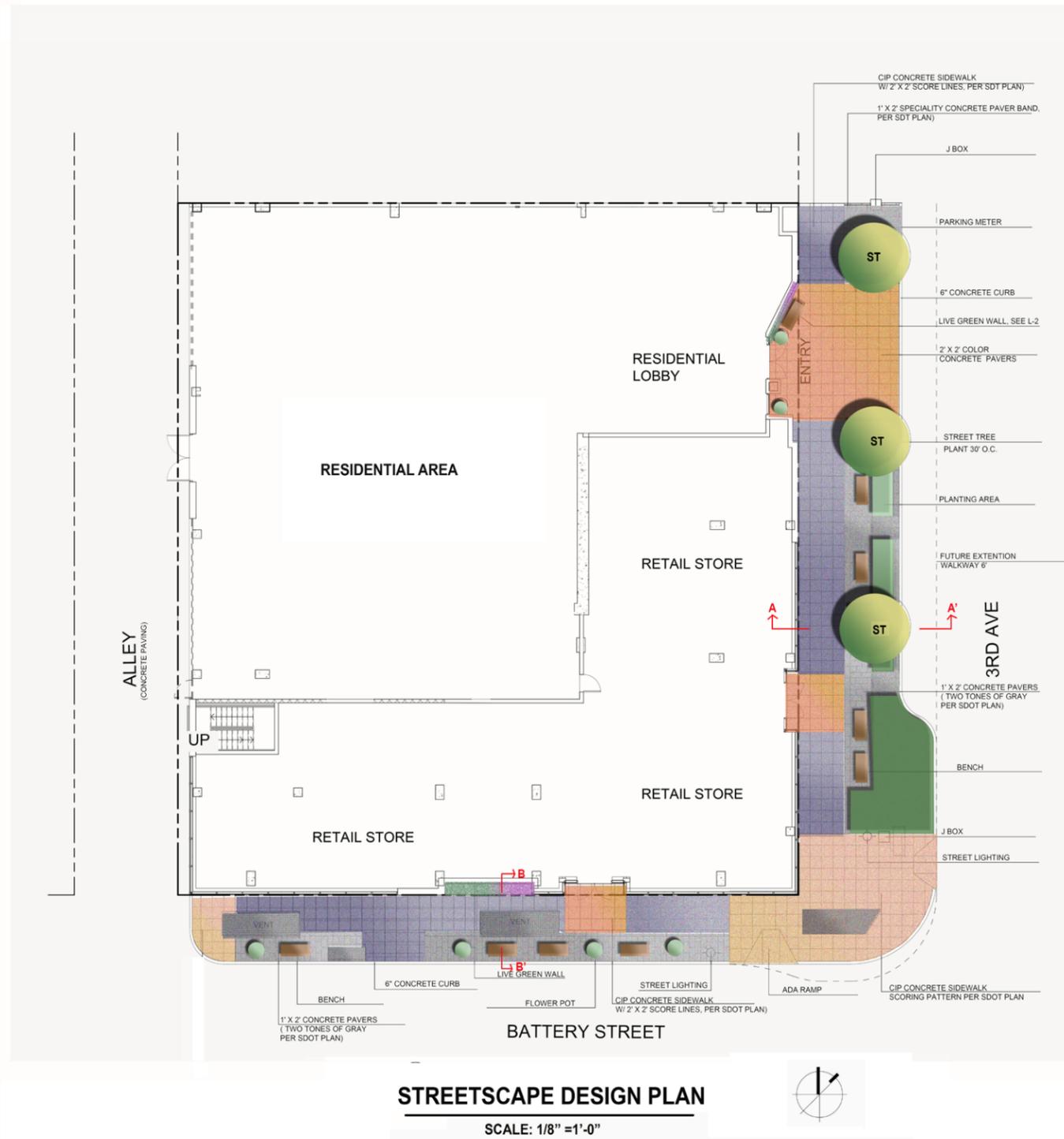
SCALE: 1/4" = 1'-0"



FLOWER PLANTER



P-PATCH MODULE



LANDSCAPING CONCEPT

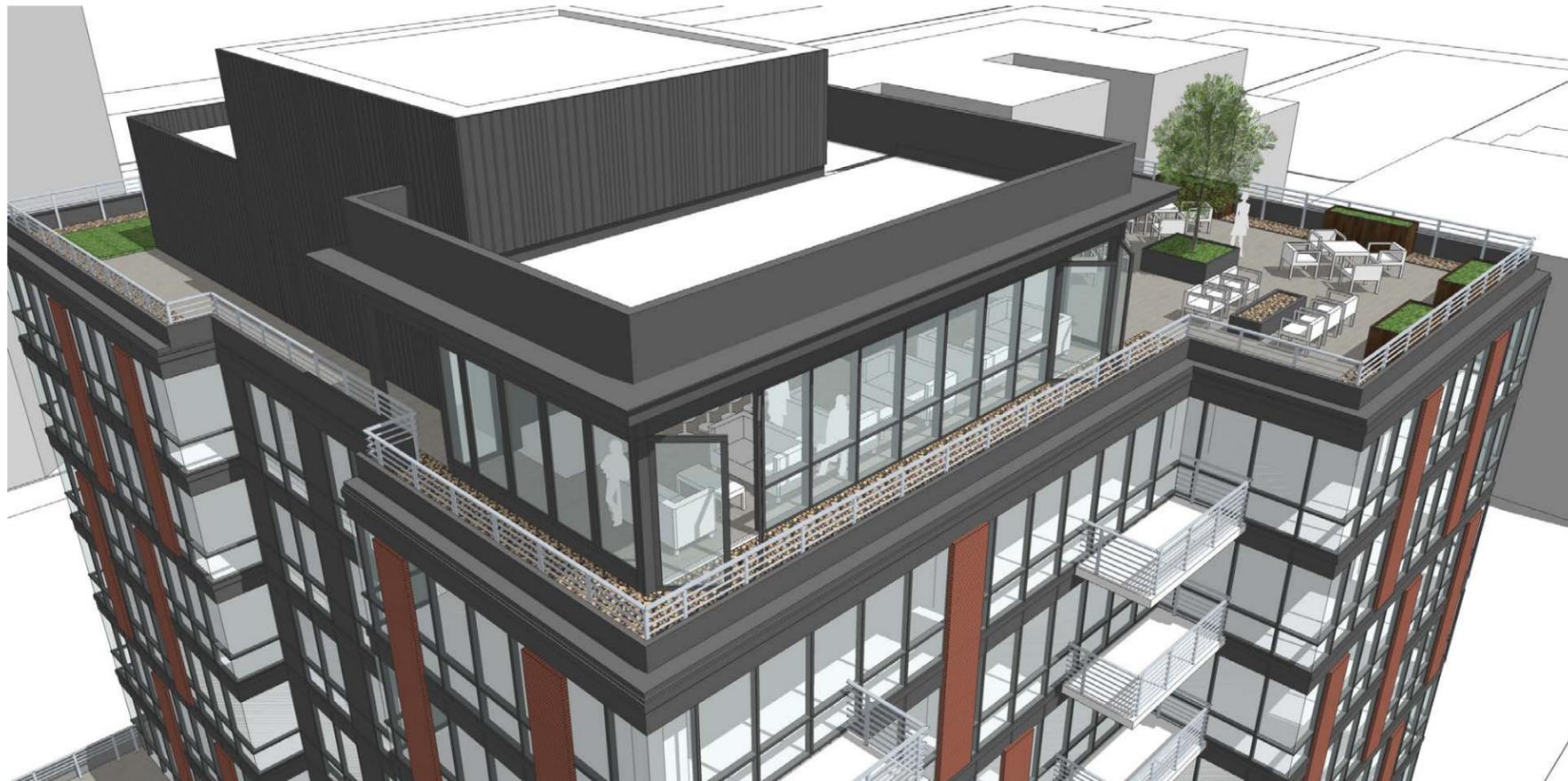
Signature rooftop tree
(Reminds users that they are a part of the nature)

Perimeter planter
(Add framing effect to enhance the rooftop community area)

Rooftop pedestal paver
(Lighter material color to reduce solar heat gain)

Dog Park
(Communication area among dogs/owners)

P-Patch
(Area to appreciate nature for plant/vegetable growth)



ROOFTOP LANDSCAPING DESIGN

The key design element of rooftop features is Green Design, a continuous design feature of the Project elevated from ground level landscaping.

Functionality of rooftop Green Design provides practical aspects of "Green Effects for Residents" to the highest level of the Project.

In addition, the dog park with artificial turf supports Green Effect to the rooftop environment.

EARLY DESIGN GUIDANCE October 20, 2015

3) **Landscape and Open Space:** The board gave direction regarding the landscaping design.
a. The Board recognized the proposed roof landscape as a great amenity and directed the applicant to provide more details about the design at the next meeting. (Guidelines A2, D1.3, D2.1)

TERRACE LANDSCAPING DESIGN

Continuously laid out natural plants engages urban living environment with pleasant nature in close proximity.

South facade view from street level reveals continuity of Green features recessed gradually from outer walls.



Signature terrace trees
(Reminds users that they are a part of the nature in urban setting)

Stepped-back Terrace Edge
(Softens Building Mass at the same time providing enhancements to Green Features)

Public Terrace
(Providing gathering space on an intermediate floor level)

EARLY DESIGN GUIDANCE October 20, 2015

- 1) **Massing & Context Response:** The board discussed ...
- d. The Board discussed the parapet/ guardrail roofline expression and recommended integrating the element with the rest of the facade. The Board directed the applicant to provide a fully transparent option and an integrated skin expression option at the next meeting. (Guidelines A2, B4)

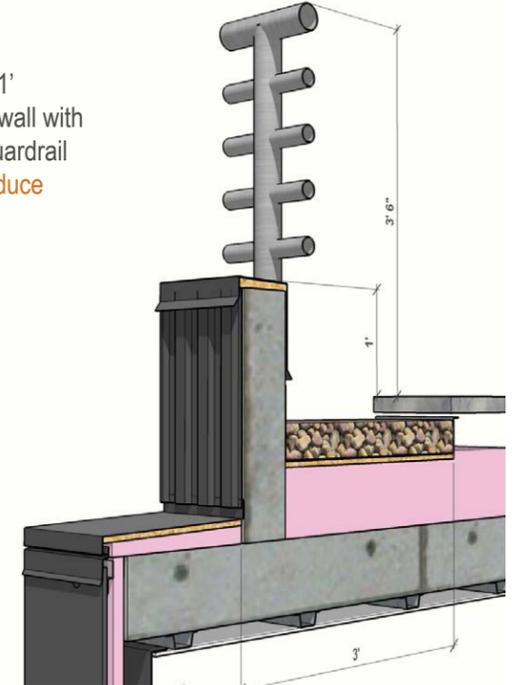
DESIGN GUIDELINES

- PROPOSED ▶ A-2: Enhance the skyline.
- PROPOSED ▶ B-4: Design a well-proportioned & unified building.

LANDSCAPING AND ARCHITECTURAL DETAILING - RAILING OPTION 1 (PREFERRED)



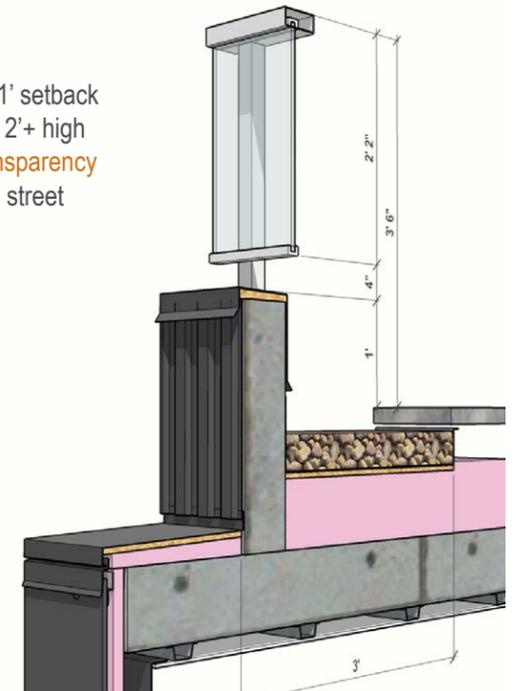
ROOF EDGE CONDITION
 Roof edge condition consists of 1' setback, 2'+ high metal parapet wall with 2'-6" high anodized aluminum guardrail that provides **transparency to reduce heavyness** from street view.



LANDSCAPING AND ARCHITECTURAL DETAILING - RAILING OPTION 2



ROOF EDGE CONDITION
 Roof edge condition consists of 1' setback, 2'+ high metal parapet wall with 2'+ high glass guardrail that provides **transparency to reduce visual heavyness** from street view.



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GROUND LEVEL LIGHTING DIAGRAM



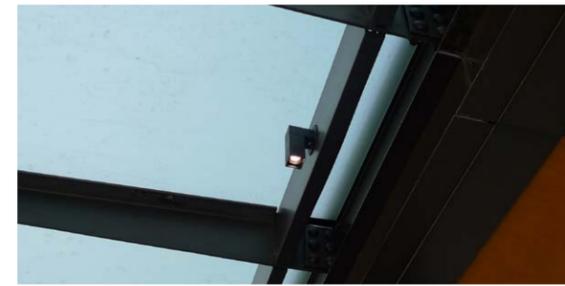
LINEAR LED DOWN LIGHTING
Along Green Wall



LED DOWN LIGHTING
At building soffit and canopy soffit



LED DOWN LIGHTING
Mounted on canopy structure



WALL MOUNT SECURITY LIGHTING
Along Alley Wall



LANDSCAPE UP-LIGHTING
At Green Wall

STREET VIEW ALONG 3RD AVENUE - LOOKING SOUTH



RETAIL SIGNAGE
BUILDING SIGNAGE - BACK LIT CUT OUT SIGNAGE ON A COLUMN WRAP

RESIDENTIAL SIGNAGE EMBEDDED IN GREEN WALL







NORTH ELEVATION



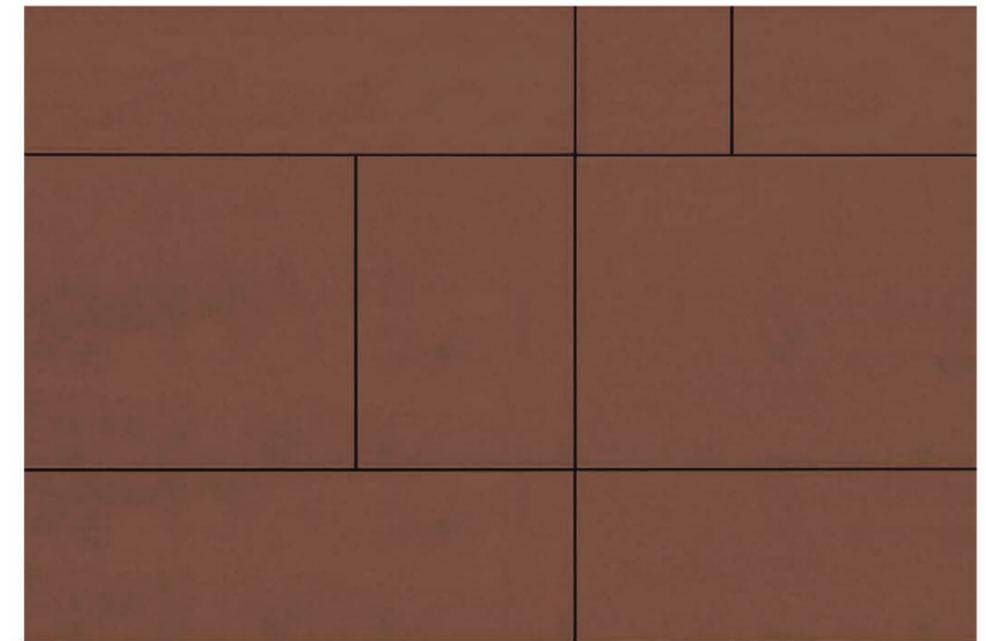
1. Insulated Low E Glass (32% Reflectance)



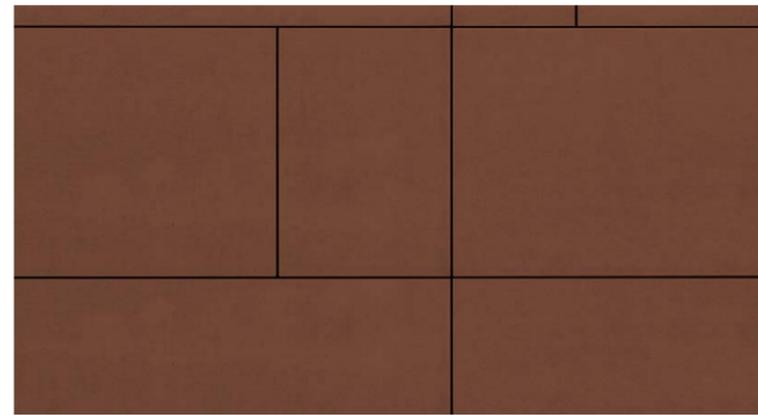
3. Dark Gray Fiber Cement Panel



2. Dark Gray Metal Panel & Mullion



4. Accent Fiber Cement Panel (Color to Match Terra Cotta)



1. Accent Fiber Cement Panel (Color to Match Terra Cotta)



2. Dark Gray Metal Panel



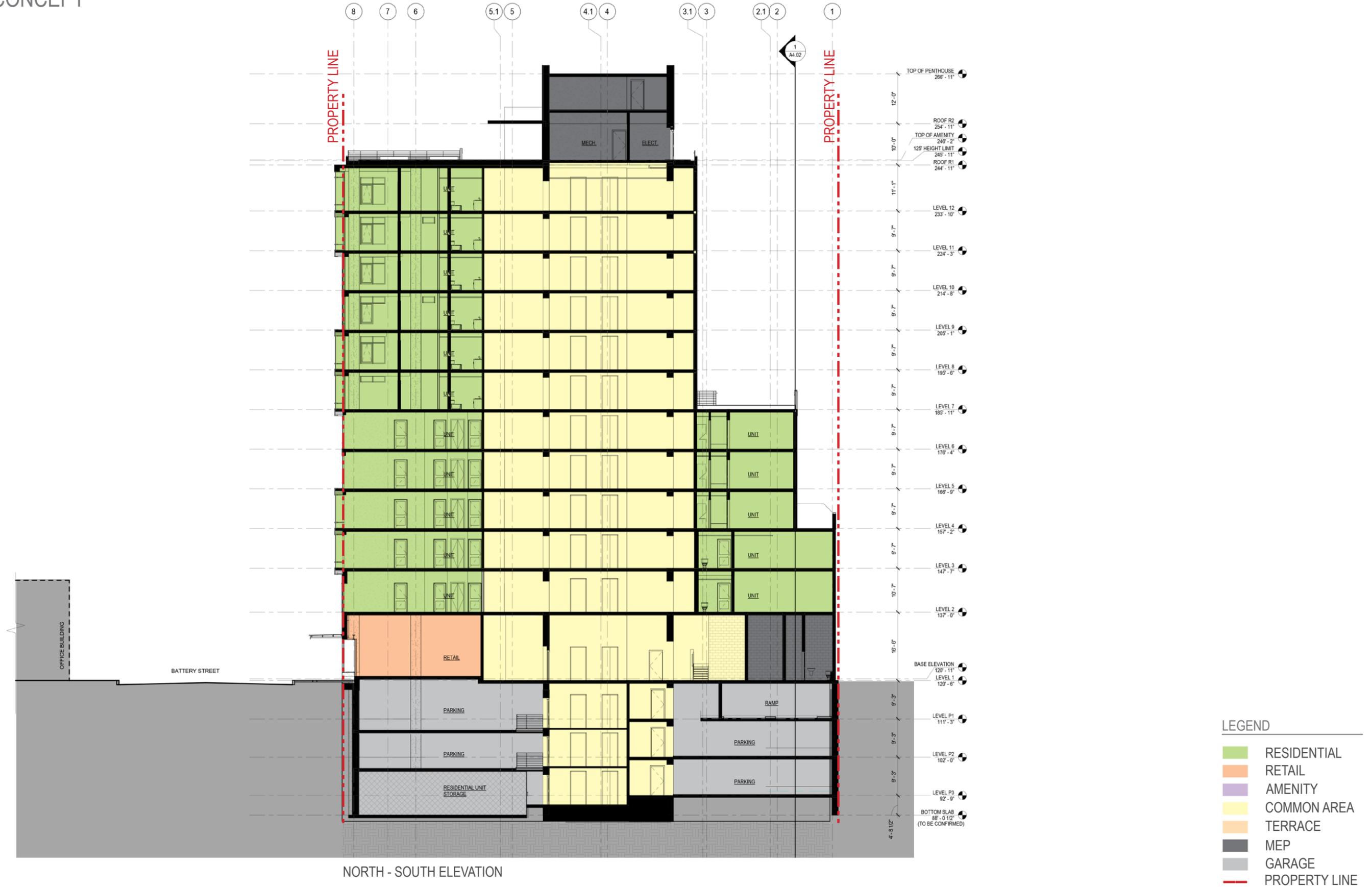
3. Thin Brick Veneer (Burgundy-Sands)



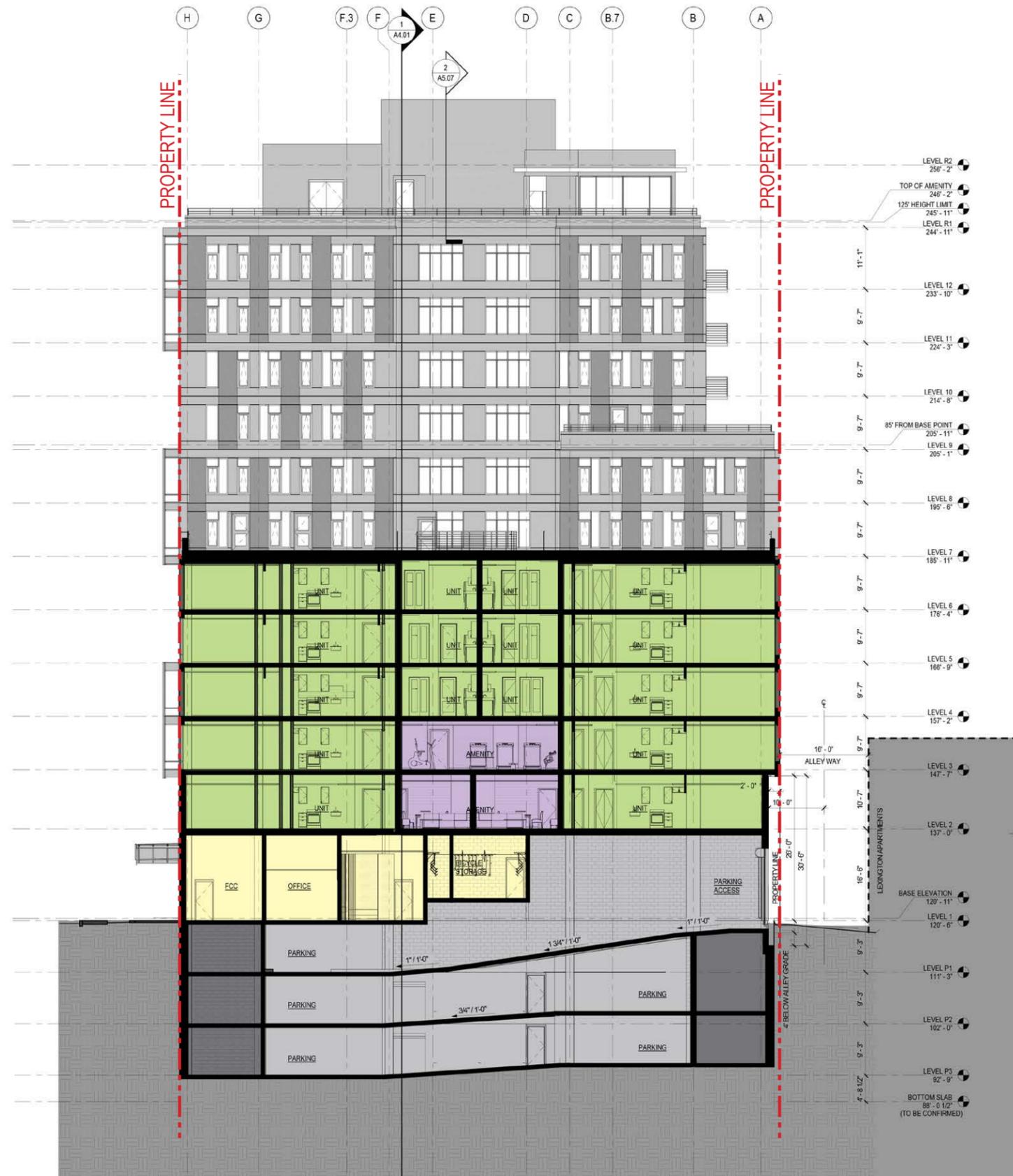
4. Medium Gray Metal Panel



5. Dark Gray Metal Canopy with Wood Soffit



NORTH - SOUTH ELEVATION



EAST - WEST ELEVATION

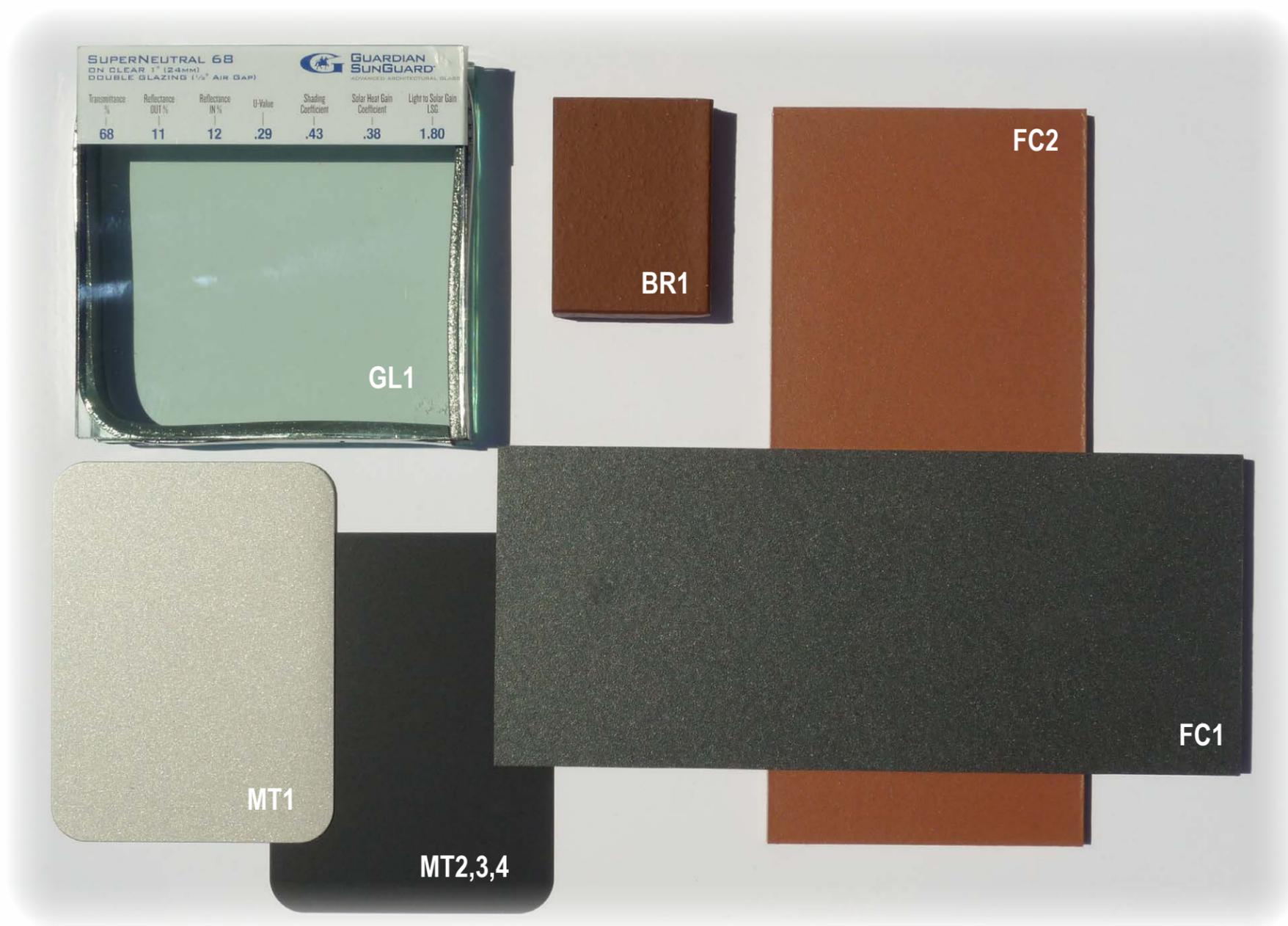
- LEGEND
- RESIDENTIAL
 - RETAIL
 - AMENITY
 - COMMON AREA
 - TERRACE
 - MEP
 - GARAGE
 - PROPERTY LINE



STREET SCAPE IMAGE ALONG 3RD AVENUE



STREET SCAPE IMAGE ALONG BATTERY STREET



BUILDING MATERIAL DATA:

METAL FINISH

- MT1: ACCENT PANEL
Color: Silver Metallic
System: Formed Aluminum
- MT2: MISCELLANEOUS METAL
Color: Dark Gray
System: Prefinished Aluminum
- MT3: METAL CLADDING (ROOFTOP)
Color: Dark Gray
System: Prefinished Aluminum
- MT4: METAL MULLION (WINDOW WALL)
Color: Dark Gray
System: Window Wall System

FIBER CEMENT FINISH

- FC1: MAIN PANEL
Color: Dark Gray
System: Swiss Pearl/ Carat
- FC2: ACCENT PANEL
Color: Coral
System: Swiss Pearl/ Carat

MASONRY FINISH

- BR1: BRICK VENEER (STACK BOND)
Color: Red Brown
System: Brick veneer

PAINT FINISH

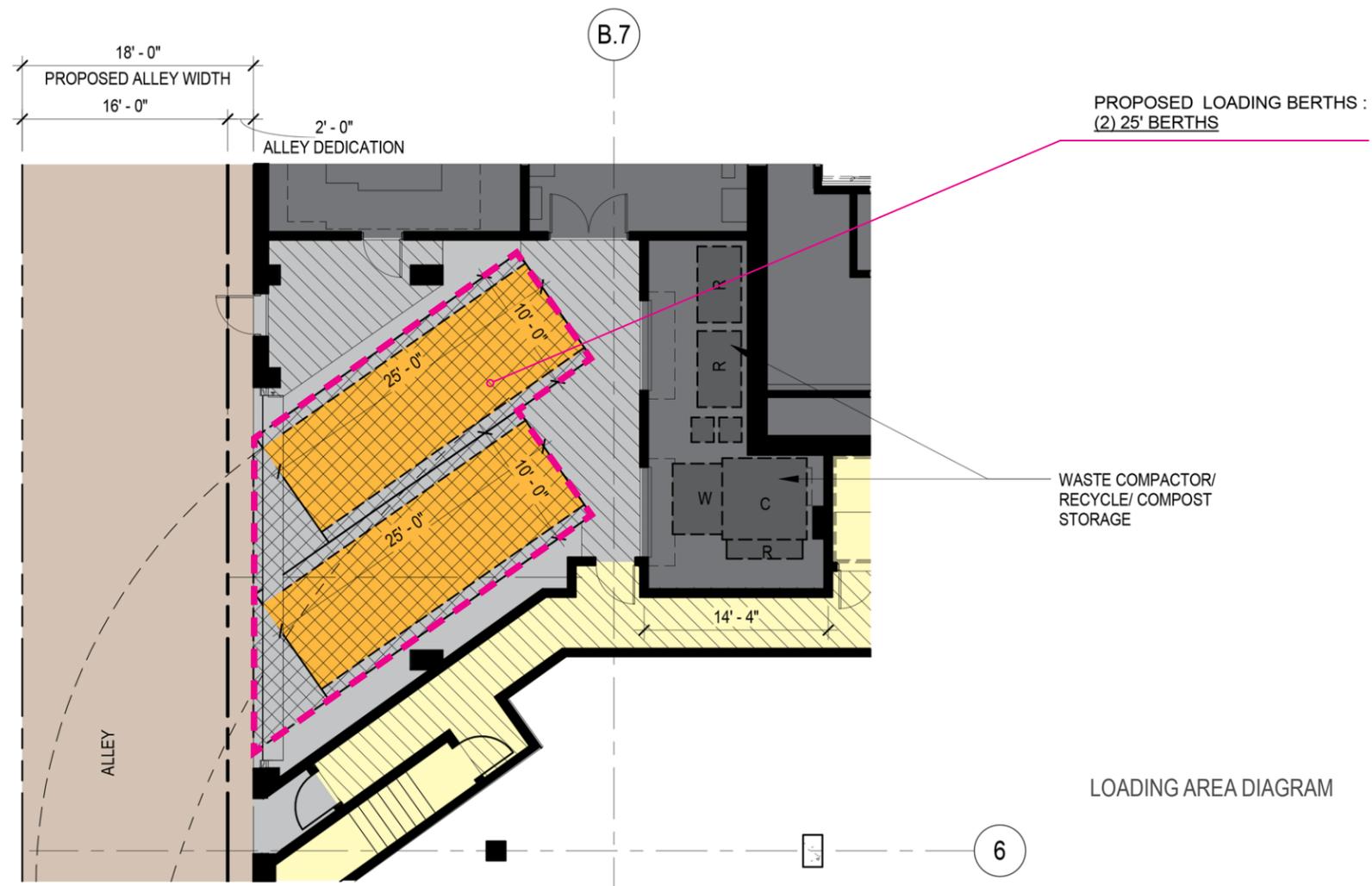
- PT1: MAIN COLOR
Color: Light Gray/ PANTONE 420C
System: Polyurea Coating
- PT2: DARK COLOR
Color: Medium Gray/ PANTONE 424C
System: Polyurea Coating
- PT3: ACCENT COLOR
Color: Coral/ PANTONE 1675C
System: Polyurea Coating

GLAZING

- GL1: INSULATED LOW-E GLASS
Color: Clear
System: Double Glazing (1/2" Air Gap)
Data: 11% reflectance out, 68% transmittance

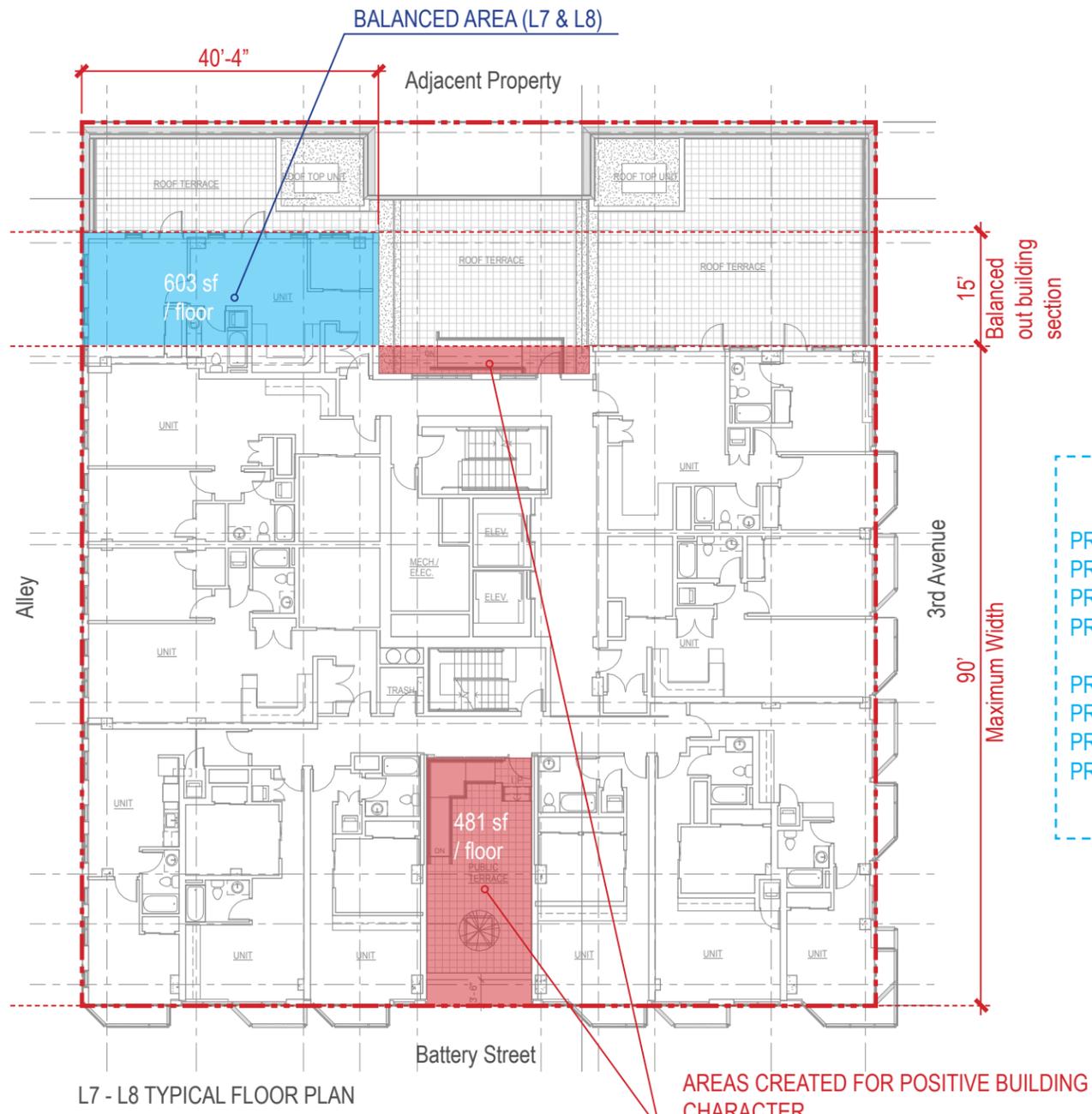


	DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	RATIONAL
<p>DEPARTURE REQUEST #1</p>	<p>SMC 23.54.035 Loading Berth</p>	<p>Required loading berths for the project are two (2) loading berths for the conditions having low demand use for residential-use as a majority of the use. Required size of berths is thirty-five (35) feet in length and ten (10) feet in width. Exception to the loading berth length, where the director finds berths are within property lines, twenty-five (25) feet for the condition of the project is permitted.</p>	<p>Proposed two (2) loading berths measuring 10' in width X 25' in length.</p>	<p>Required number of loading berths is proposed. In order to accommodate expected active retail businesses on the ground level, two (2) loading berths (25' in length) are proposed. The project consists of one bedroom units as majority of residential units and some two bedroom units. Therefore, for the project, small size of loading berths are suggested for practical operation.</p>

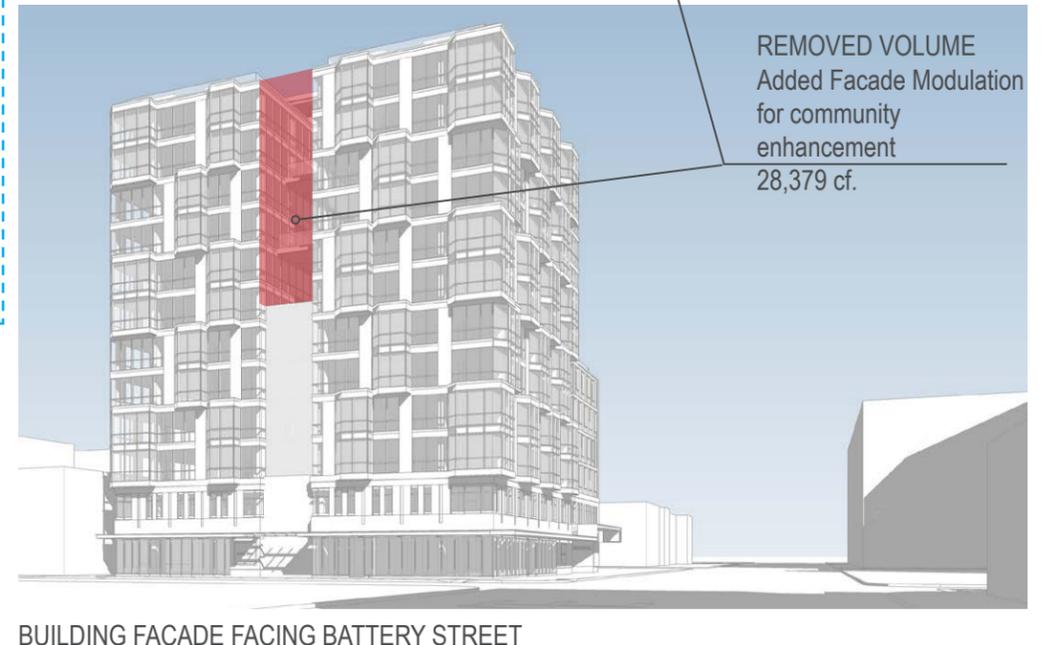
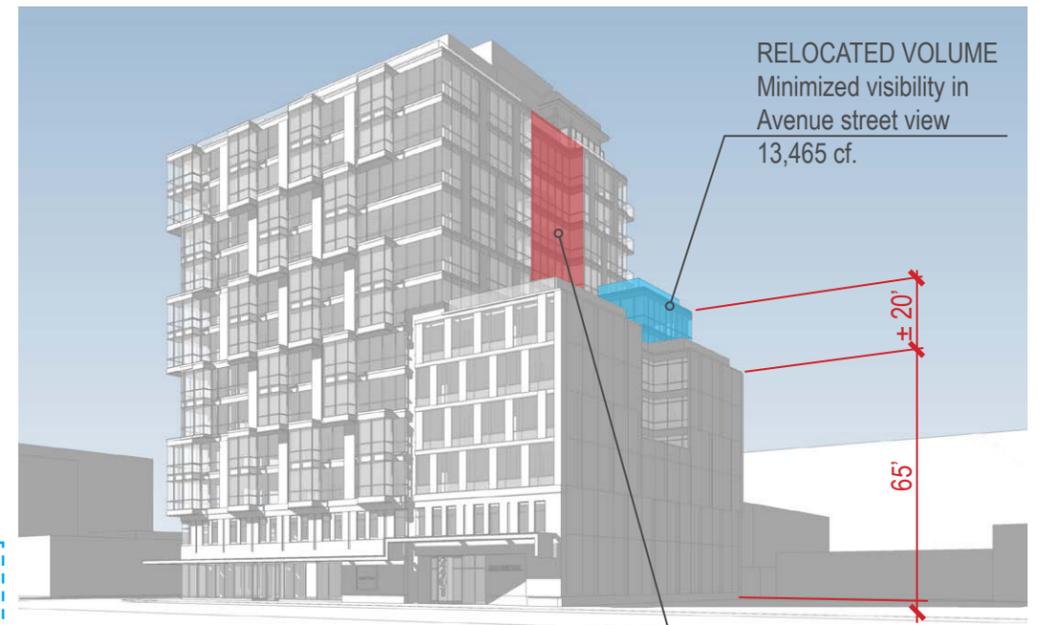


DEPARTURE REQUEST

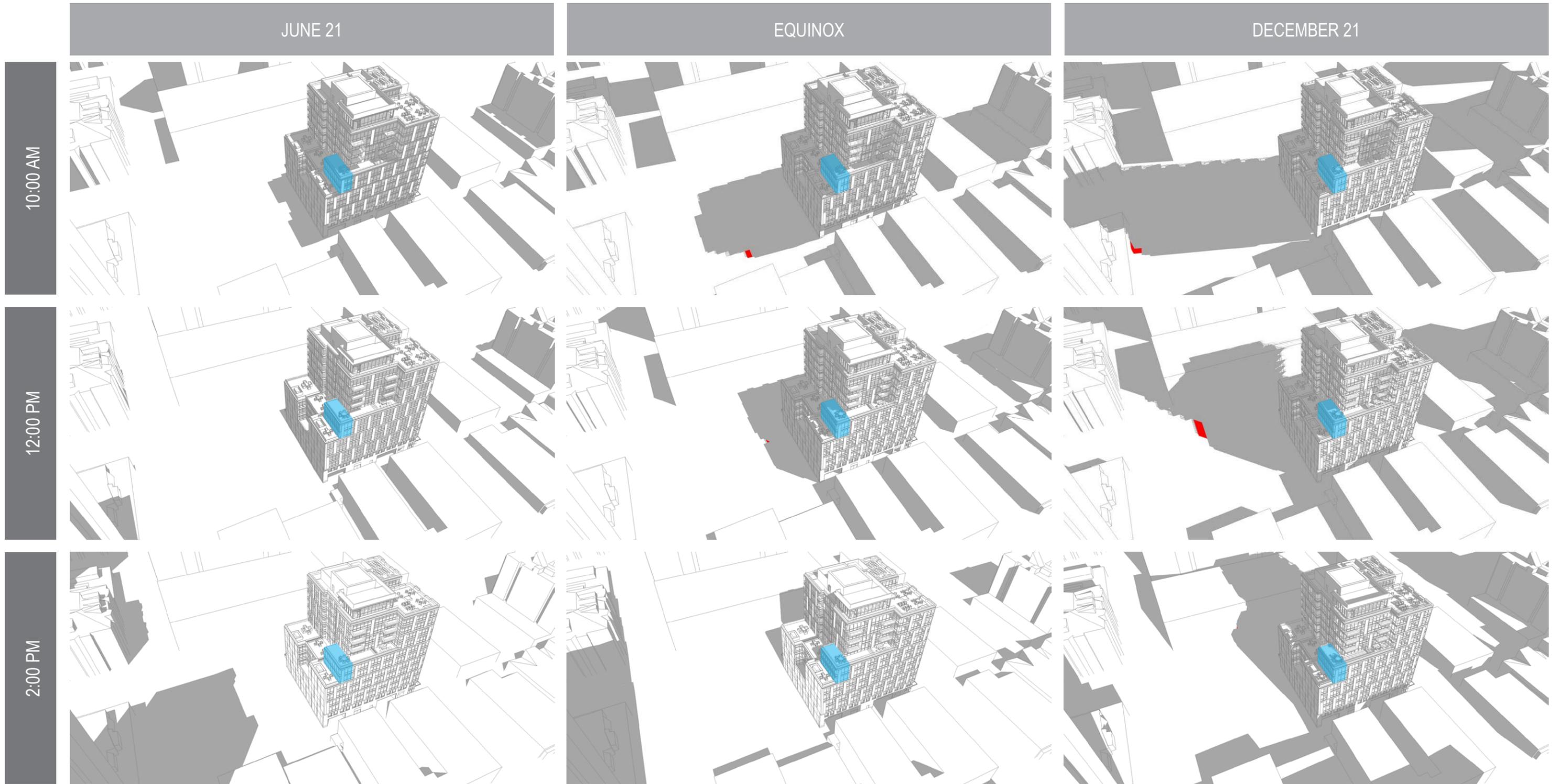
	DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	RATIONAL
DEPARTURE REQUEST #3	SMC 23.49.164.A Maximum Width, Depth and Separation	Width and Depth Limits. A maximum width and depth for the portion of a structure above 65 feet in height is 90 feet on Avenues and 120 feet on east/ west streets. The maximum applies to the width and depth of portions of structure as measured parallel to any street lot line.	Proposed west side of the building on L7 and L8 to be beyond 90 feet in width (105 feet) parallel to 3rd Avenue with the condition of less than 120 feet in depth (105 feet) parallel to Battery Street (east/ west street).	For the purpose of breaking the mass facing Battery street, notched building spaces as sky terraces were created. In order to create feasible and attractive building volume for the site at the same time following the guidance/ regulation, the project design applied with positive justifications of regulation was carried out. Design Guidelines: A-1/ Respond to the physical environment, A-2/ Enhance the skyline, B-2/ Create a transition in Bulk & scale, B-4/ Design a well-proportioned & unified building.



- DESIGN GUIDELINES**
- PROPOSED ▶ A-1: Respond to the physical environment.
 - PROPOSED ▶ A-2: Enhance the skyline.
 - PROPOSED ▶ B-2: Create a transition in bulk & scale.
 - PROPOSED ▶ B-4: Design a well-proportioned & unified building.
 - PROPOSED ▶ C-2: Design facades of many scales.
 - PROPOSED ▶ D-1: Provide inviting & usable open space.
 - PROPOSED ▶ D-2: Enhance the building with landscaping.
 - PROPOSED ▶ D-5: Provide adequate lighting.



SHADED AREA STUDY DIAGRAM



- Shaded area created outside the property by THE PROPOSED BALANCED BUILDING VOLUME
- THE PROPOSED BUILDING VOLUME adjusted for balancing out notched volume on south facade

- APPENDIX -

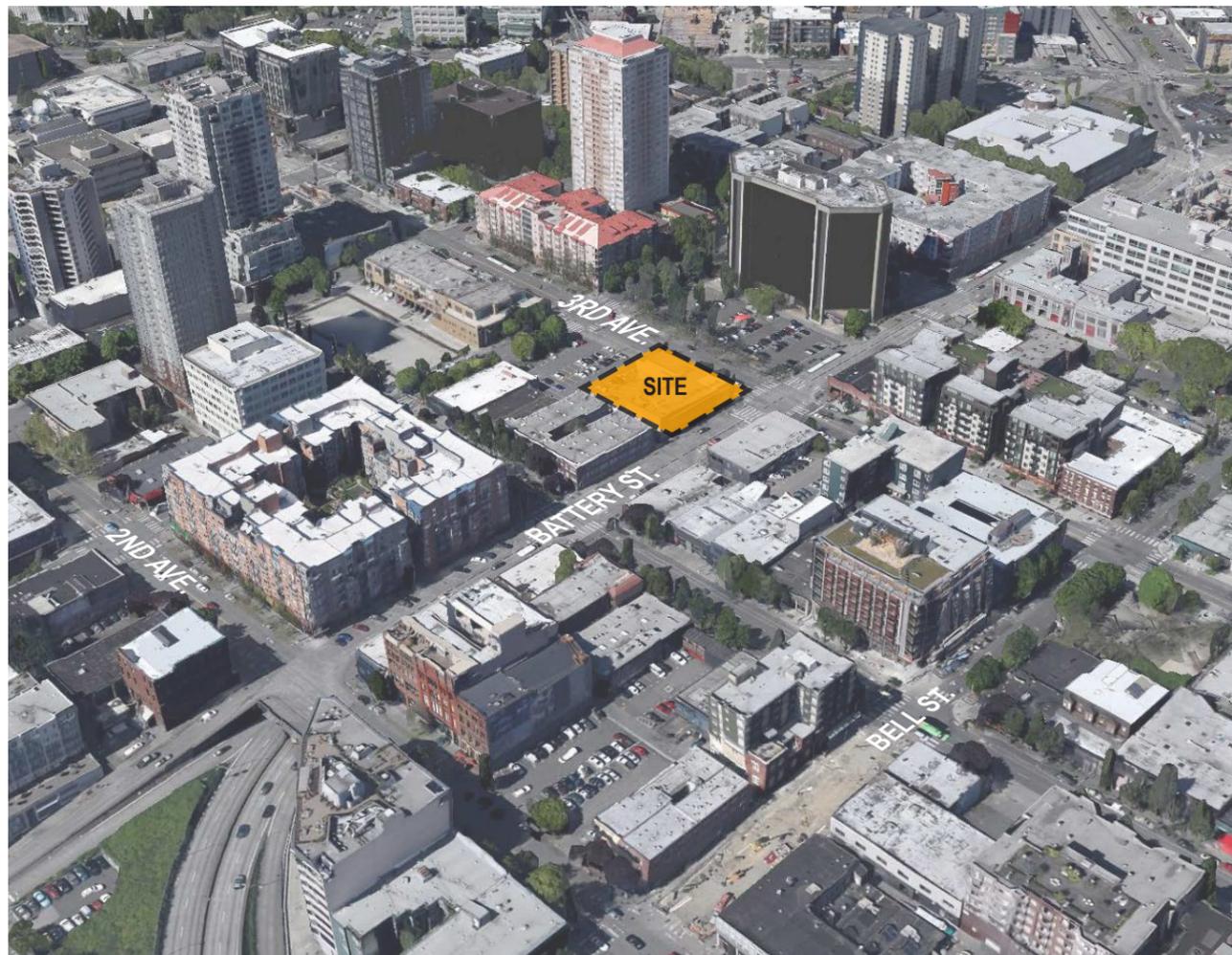
DEVELOPMENT OBJECTIVES

DEVELOPMENT OBJECTIVES:

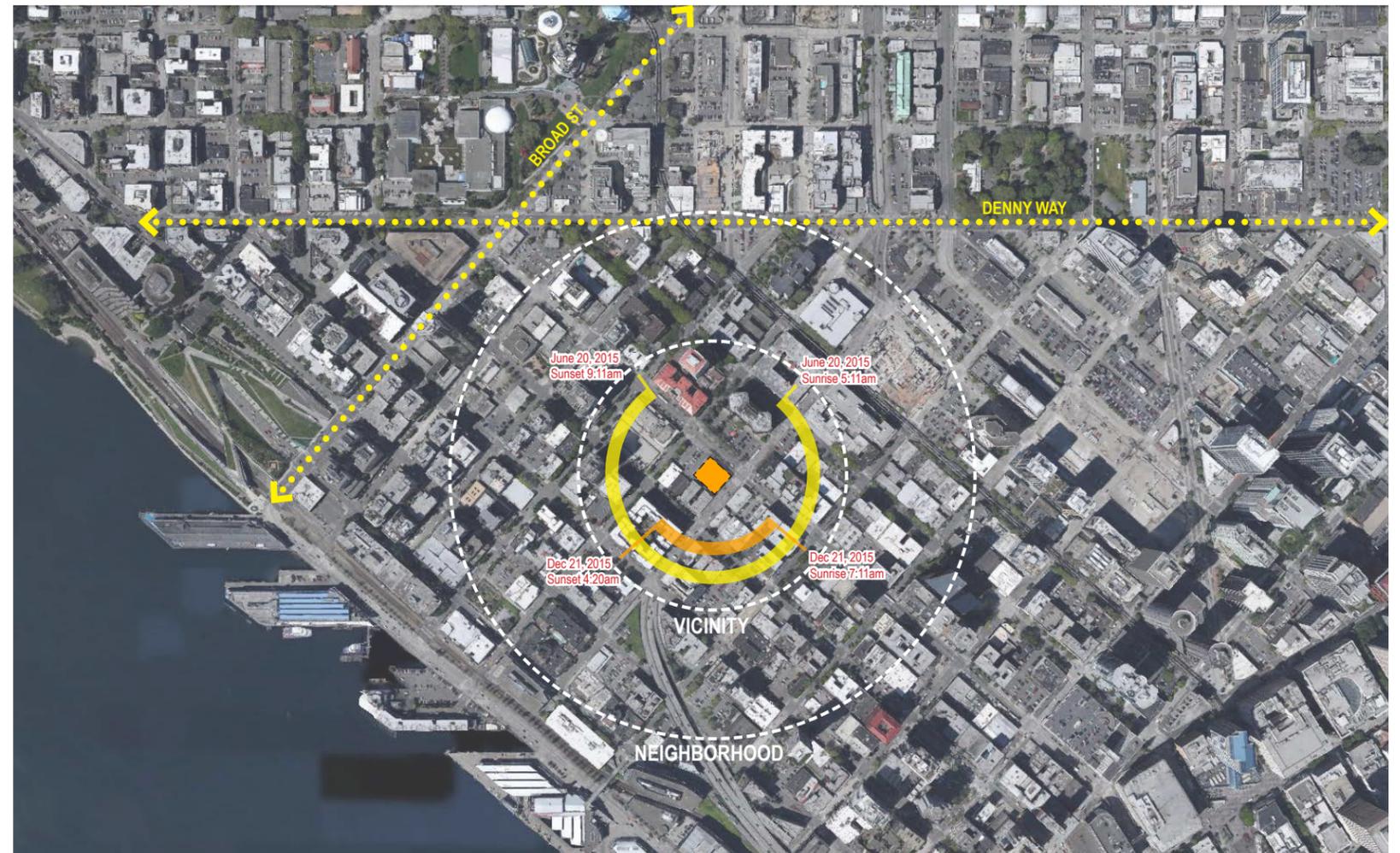
The 3rd and Battery Project will be Chainqui's first U.S. project, introducing their "Human Spirit, Integrity and Sustainable brand". The positive, proactive and creative team to advance the state of the art in residential and commercial development, leading to demand and the creation of a new living environment. The Project will appeal to a tech-savvy and multi-cultural segment of the population, including market segments of age 22 to 32 (Gen-Y / Wise Geeks), 5 – 10 years out of college and purchasing condominiums for urban living, and for future investment.

The Project context is mixed residential and low-rise commercial. Currently on the Project site is a 2 story building dating from the 50s occupied by U.S. Bank. The proposed Project consists of a retail podium with 11 stories of condominiums above, and 4 floors of underground parking. The site immediately abuts the Battery Street tunnel, which will be reworked in some as-yet-to-be-determined manner once abandoned. It is expected that abandonment and rework of the Battery Street tunnel and lid will trail the completion of this Project (targeted completion in July 2018) by 2 years or more. DSA and GWest are currently cooperating and communicating with the Department of Planning and Development, the Downtown Design Review Board, the Belltown Community Council, and Green Vine Street 20/20 to create a project vision that reinforces community objectives for development of Belltown.

Programmatically, and in response to design guidelines, the residential entry for the Project will front on Third Avenue (which is also the frontage that will be least disrupted during Battery Street Tunnel replacement / abandonment). Retail storefronts will wrap around the Third Avenue and Battery Street sides, with a "green return" into the alley. An objective of the client, and of the community, is to create a garden atmosphere based on the theme "Boutique Urban Green Villa", similar to that of living in a boutique villa in France, while respecting and building on the unique character of Belltown, with its mix of cafes, bars, restaurants, shops and new and old residents. The proposed designs include green walls at street and upper levels, and terrace and pocket gardens on upper levels. The green enhancements will include landscaping along the 3rd Avenue and Battery Street sides (the latter being provisional, until final disposition of the tunnel is decided). The landscaping will include elements of water, stone and green, and soften the street and sidewalk with fluid lines suggesting the movement of water.



BIRD'S EYE PHOTO



AERIAL PHOTOGRAPH



ZONING & LAND USE SUMMARY

PROJECT DATA :

LEGAL DESCRIPTION:

Bell & Denny's 2nd Add Less Street, Plat Block: 25, Plat Lots: 7 & 8

LAND SQUARE FOOTAGE:

108' x 120' = 12,960 sf

ZONING MAP 1A:

DMR/R 125/65

Downtown Mixed Residential, 65' height non-residential uses 125' height on Residential uses

NEIGHBORHOOD:

Belltown Urban Center Village

Separate Guideline Booklet for design standards and features for architectural review

STREET CLASSIFICATION MAP 1B:

Battery Street: Principal Arterial

3rd Avenue: Principal Transit Street

SIDEWALKS WIDTHS MAP 1C:

Battery Street: 12'

3rd Avenue: 18'

VIEW CORRIDORS MAP 1D:

Battery Street: View Corridor no setback requirements

3rd Avenue: Not a View Corridor

EXISTING PUBLIC BENEFIT FEATURES MAP 1E:

None

PEDESTRIAN STREET CLARIFICATION MAP 1F:

Battery Street: Class II

3rd Avenue: Class I

STREET LEVEL USES REQUIRED MAP 1G:

Battery Street: None required

3rd Avenue: Street Level Uses Required

PROPERTY LINE FACADES MAP 1H:

Battery Street: None required

3rd Avenue: Property Line Façade Required

PARKING USES PERMITTED MAP 1I:

Battery Street: No parking required

3rd Avenue: No parking required

PUBLIC AMENITY FEATURES MAP 1J:

Battery Street: None required

3rd Avenue: None required

PIKE PLACE MARKET MAP 1K:

Not in Market Zone

DOWNTOWN ZONING REGULATIONS :

23.49.008 Height:

- 65' limit for non-residential uses, 125' limit for residential uses **125' building height (PROPOSED)**
- Rooftop Features above the Height limit:
- 4' for railings, planters, skylights, parapets, clerestories
- 7' for solar collectors (unlimited rooftop coverage)
- 50' for flagpoles, smokestacks and religious symbols
- 15' (does not exceed 55 percent of the roof top area) for stair & elevator penthouses, covered or enclosed common recreation area, mech. Equip, solar collectors, wind turbines. **Top of mechanical enclosure 15' above roof level (PROPOSED)**

23.49.009 Street Level Uses

- 75% of frontage use must be occupied by permitted use (sales, services, dining, etc) **Approx. 5,000 sf commercial space (PROPOSED)**

23.49.010 General Requirements for Residential Uses

- Common Recreation Area: 5% of total gross residential area is required.
- Maximum 50% of common area can be enclosed
- Minimum horizontal dimension of any space shall be 15'

23.49.011 Floor Area Ratio

- Base FAR 1, Maximum FAR 2
- Areas not included in FAR
 - Street Level Uses (retail, sales & services, etc)
 - Residential uses
 - Floor areas below grade
 - Parking
 - Child Care, Museums, Human Services, Public Restrooms, showers for bike commuters
 - 3.5% allowance for mechanical space

23.49.018 Overhead Weather Protection

- Continuous overhead protection required
- 8' wide minimum, 10' to 15' above the sidewalk

23.49.019 Parking Requirements

- No parking is required.
- Parking is allowed above grade at this lot, but not on 3rd Ave side
- Bicycle Parking is required 1 for every two dwelling units up to 50, then 1:4 units.

23.49.024 View Corridor Requirements

- Battery Street setbacks only required west of 1st Avenue

23.49.028 Keeping of Animals

- Up to 3 small pets per dwelling unit are allowed.

DOWNTOWN MIXED RESIDENTIAL REGULATIONS :

23.49.144 Prohibited Uses

- Outdoor storage, heliports, manufacturing, waste management, drive-in business

23.49.144 Principal and Accessory Parking

- Parking for non-residential uses is limited to 1 space per 1,000 sf of floor area.
- No parking limits or requirements for residential parking

23.49.156 Minimum Lot Size

- 19,000 sf for buildings over 125' high

23.49.158 Coverage and Level Sizes

- Up to height of 65', 100% lot coverage
- 65' to 85' height, 75% lot coverage
- 85' to 125' height, 65% lot coverage

23.49.162 Street Façade Requirements

- A. Minimum Façade Height.
 - 3rd Avenue – 25' minimum façade height
 - Battery St - - 15' minimum façade height
- B. Façade Setback Limits.
 - On 3rd Avenue
 - (1) No setback limits shall apply up to an elevation of fifteen (15) feet above sidewalk grade.
 - (2) Between the elevations of fifteen (15) and thirty-five (35) feet above sidewalk grade, the facade shall be located within two (2) feet of the street property line, except that:
 - i. Any exterior public open space that satisfies the Downtown Amenity Standards, whether it receives a bonus or not, and any outdoor common recreation area required for residential uses, shall not be considered part of a setback.
 - ii. Setbacks between the elevations of fifteen (15) and thirty-five (35) feet above sidewalk grade at the property line shall be permitted according to the following standards (See Exhibit 23.49.162 B.):
 - (a) The maximum setback shall be ten (10) feet.
 - (b) The total area of a facade that is set back more than two (2) feet from the street property line shall not exceed forty (40) percent of the total facade area between the elevations of fifteen (15) and thirty-five (35) feet.
 - (c) No setback deeper than two (2) feet shall be wider than twenty (20) feet, measured parallel to the street property line.
 - (d) The facade of the structure shall return to within two (2) feet of the street property line between each setback area for a minimum of ten (10) feet. Balcony railings and other nonstructural features or walls shall not be considered the facade of the structure.
- C. Façade Transparency Requirements.
 - a. Class I pedestrian streets: A minimum of sixty (60) percent of the street-level facade shall be transparent.
 - b. Class II pedestrian streets and designated green streets: A minimum of thirty (30) percent of the street-level facade shall be transparent.
 - c. When the slope of the street frontage of the facade exceeds seven and one-half (7½) percent, the required amount of transparency shall be reduced to fifty (50) percent on Class I pedestrian streets and twenty-five (25) percent on Class II pedestrian streets and designated green streets.
- D. Blank Façade Limits.
 - 3rd Avenue; 40% of façade, blank face limit 15'
 - Battery St; 70% of façade, blank face limit 30'

• F. Landscaping Requirements.

1. Street Tree Requirements. Street trees are required on all streets that have a pedestrian classification and abut a lot. If areaways are located beneath the sidewalk, the street trees shall be planted in below-grade containers with provisions for watering the trees. Street trees shall be planted according to street tree planting standards in the Right-of-Way Improvements Manual.
2. Landscaping in the Street Right-of-way if Green Factor standards do not apply. New development that is not required to achieve a Green Factor score shall provide landscaping in the sidewalk area of the street right-of-way. The square feet of landscaped area provided shall be at least 1.5 times the length of the street lot line. The following standards apply to the required landscaped area:
 - a. The landscaped area shall be at least 18 inches wide and shall be located in the public right-of-way along the entire length of the street lot line.
 - b. Exceptions shall be allowed for building entrances, vehicular access or other connections between the sidewalk and the lot, but exceptions shall not exceed 50 percent of the total length of the street lot line(s).
 - c. As an alternative to locating the landscaping at the street lot line, all or a portion of the required landscaped area may be provided within 5 feet of the curb line.
 - d. Landscaping provided within 5 feet of the curb line shall be located and designed in relation to the required street tree planting and take into consideration use of the curb lane for parking and loading.
 - e. Landscaping shall not reduce unobstructed sidewalk width to less than 5 feet on east/west streets or less than 8 feet on avenues, except that in South Downtown, landscaping shall not reduce unobstructed sidewalk width to less than 8 feet on east/west streets or less than 5 feet on avenues.
 - f. All plant material shall be planted directly in the ground. A minimum of 50 percent of the plant material shall be perennial.
 - g. Landscaping shall be consistent with applicable landscaping guidelines for designated green streets or approved street design concept plans identified in the Right-of-Way Improvements Manual.

23.49.164 Maximum Width, Depth and Separation Requirements

- No limit under 65'
- 65' and above – 90' maximum width, depth on 3rd Avenue
- 65' and above – 120' maximum width, depth on Battery Street

23.49.166 Side and Green Street Setback Requirements

- No requirements on lots less than 120' in length

23.53.035 Structural building overhangs and minor architectural encroachments

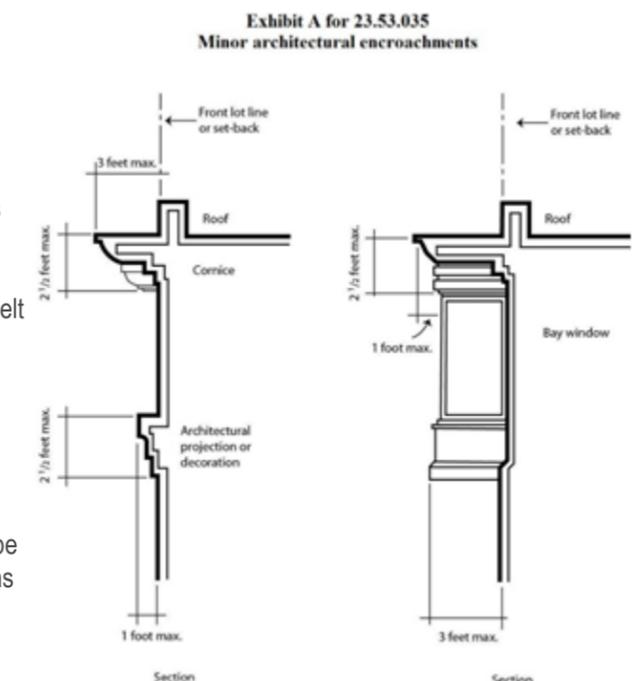
A. Minor architectural encroachments.

Minor architectural encroachments include overhead horizontal extensions of a purely architectural or decorative character such as cornices, eaves, sills, and belt courses that do not create any interior volume or floor area.

Exhibit A for 23.53.035

Minor architectural encroachments

4. Vertical clearance. Clearance to any minor architectural encroachment shall be a minimum of 8 feet above all sidewalk elevations, or 16 feet above all elevations of an alley, or greater when required by other regulations.

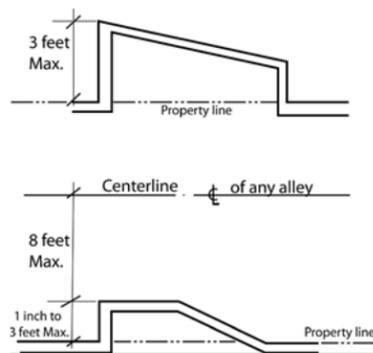


DOWNTOWN MIXED RESIDENTIAL REGULATIONS (CONTINUED) :

B. Structural building overhangs. Structural building overhangs include bay windows, balconies, and other projections into and over public places as defined under Title 15 that exceed the limits of minor architectural encroachments as set forth in subsection 23.53.035.A and that increase either the floor area of the building or the volume of space enclosed by the building above grade.

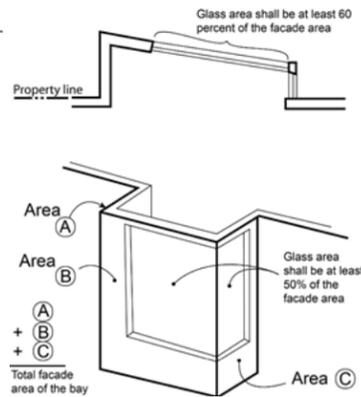
1. An annual permit from the Seattle Department of Transportation is required for structural building overhangs.
2. Structural building overhangs shall be removable per Title 15.
3. Structural building overhangs shall not be part of the essential building structure and shall not contain building systems, such as plumbing.
4. Vertical clearance: Clearance to any structural building overhang shall be a minimum of 8 feet above all sidewalk elevations, or 26 feet above all elevations of an alley, or greater if required by other regulations.
5. Depth: The maximum horizontal projection for a structural building overhang, measured to the furthest exterior element, shall be 3 feet, and the projection shall in no case be closer than 8 feet to the centerline of any alley (see Exhibit B for 23.53.035).

Exhibit B for 23.53.035
Depth of structural building overhangs



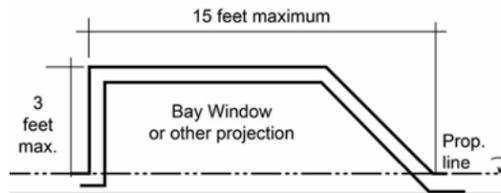
6. Transparency: The glass areas of each bay window shall be a minimum of 50 percent of the sum of the areas of all the vertical surfaces of the bay window. At least 60 percent of such required glass area for each bay window shall be on the vertical surface most parallel to the property line (see Exhibit C for 23.53.035).

Exhibit C for 23.53.035
Transparency requirements for structural building overhangs



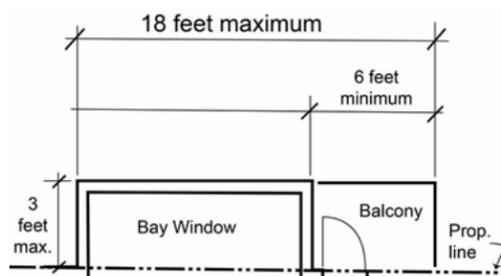
7. Length: The maximum length of each structural building overhang shall be 15 feet measured at any location that is beyond the property line. The bay or other projection may be shaped in any way that remains within the 3 foot by 15 foot envelope beyond the property lines (see Exhibit D1 for 23.53.035).

Exhibit D1 for 23.53.035
Maximum length of structural building overhangs



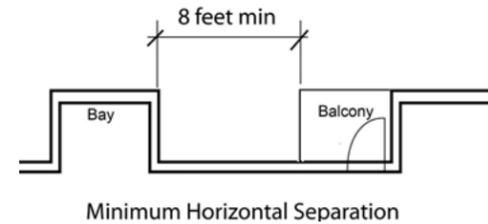
8. Bay window and balcony combinations: If a bay window and a balcony are located immediately adjacent to one another, and the floor of such balcony has a minimum horizontal dimension of 6 feet parallel to the property line, the maximum length of the bay window and balcony together shall be 18 feet (see Exhibit D2 for 23.53.035).

Exhibit D2 for 23.53.035
Maximum length of bay window and balcony combinations



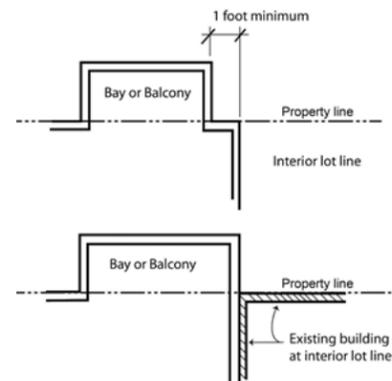
9. Separation: The minimum horizontal separation between bay windows, between balconies, and between bay window and balcony combinations, shall be 8 feet (see Exhibit E for 23.53.035).

Exhibit E for 23.53.035
Separation between structural building overhangs



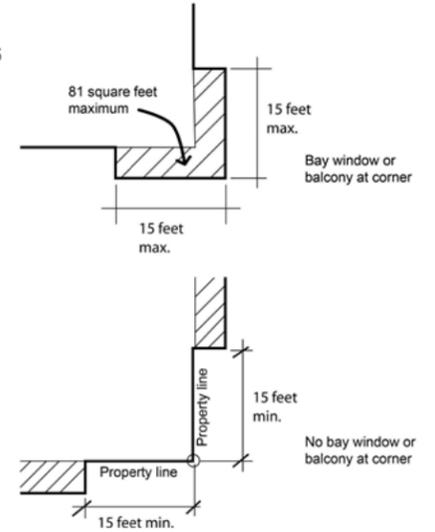
10. Interior lot lines: Each bay window or balcony or other projection over a street or alley shall also be horizontally separated from interior lot lines by a minimum of 1 foot (except where the wall of a building on the adjoining lot is flush to the interior lot line immediately adjacent to the projecting portions of such bay window or balcony, then the bay window, balcony or projection may be placed at the interior lot line) (see Exhibit F for 23.53.035).

Exhibit F for 23.53.035
Minimum distance from interior lot lines for structural building overhangs



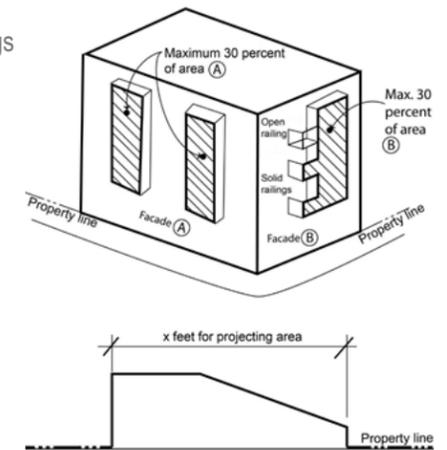
11. Corners: Bay windows, balconies, and other projections may be located at a property corner but are limited to a maximum width of 15 feet along each facade of the corner, and a maximum total horizontal area of 81 square feet per floor. If there is no bay at the corner, then the minimum distance from the property corner to the nearest projecting bay is 15 feet (see Exhibit G for 23.53.035).

Exhibit G for 23.53.035
Structural building overhangs at property corners



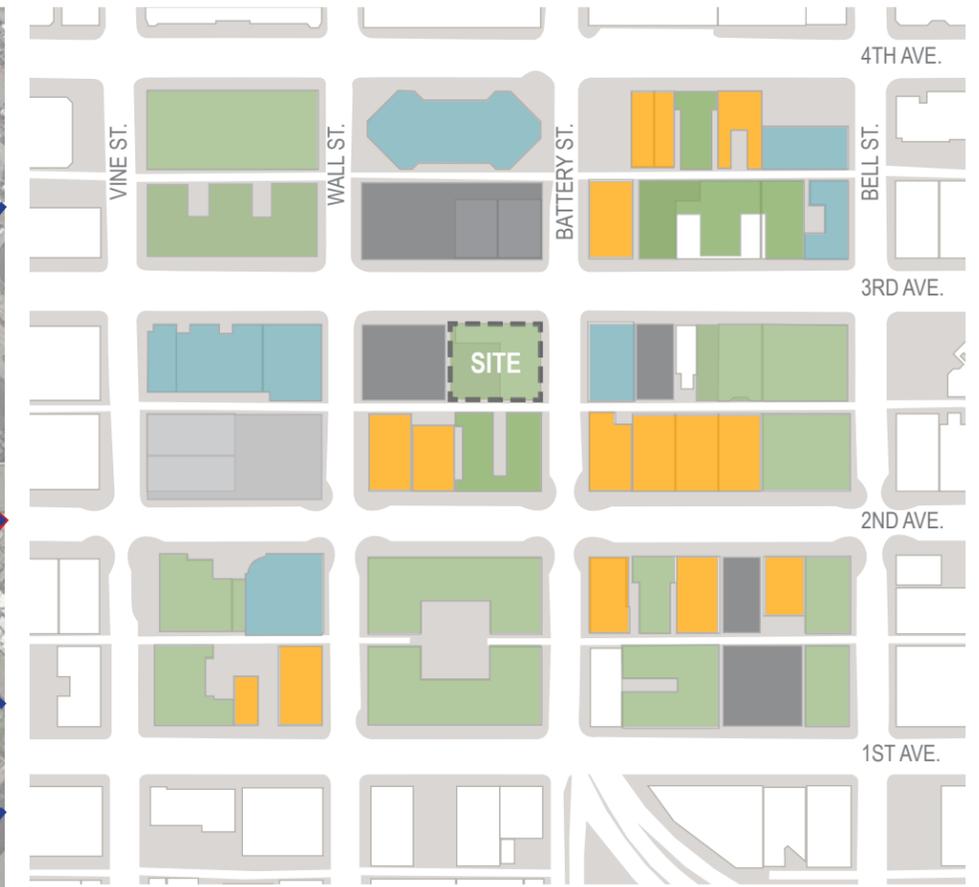
12. Total facade area: The total vertical surface area of bay windows, balconies and other projections, measured at the maximum horizontal dimension into the public property, shall not exceed 30 percent of the total vertical surface area of the respective street-facing or alley facade. The vertical surface area of all solid balcony railings that project beyond the property line is included in this calculation; open railings are not (see Exhibit H for 23.53.035).

Exhibit H for 23.53.035
Structural building overhangs



- C. Canopies. Canopies shall be no closer than 6 feet to the curb.
- D. Street trees. If the Seattle Department of Transportation landscape architect indicates that retention of street trees would be unfeasible, planting of new street trees of at least 4 inch caliper shall be required.

ZONING & LAND USE SUMMARY



VICINITY MAP

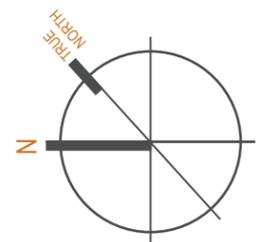
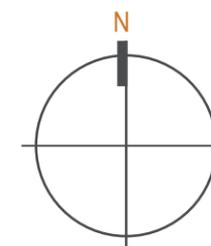
LEGEND :

- | | | | |
|--|-----------------|--|---------------------|
| | MULTI-FAMILY | | OTHER HOUSING |
| | MIXED-USE | | VACANT |
| | RETAIL/ SERVICE | | PARK/ PLAYGROUND |
| | OFFICE | | OTHER |
| | WAREHOUSE | | GOVERNMENT SERVICES |
| | PARKING | | |

ZONING MAP

LEGEND :

- ZONING BOUNDARY
- URBAN CENTER VILLAGE BOUNDARY

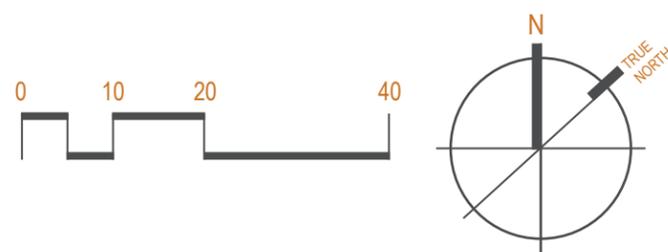
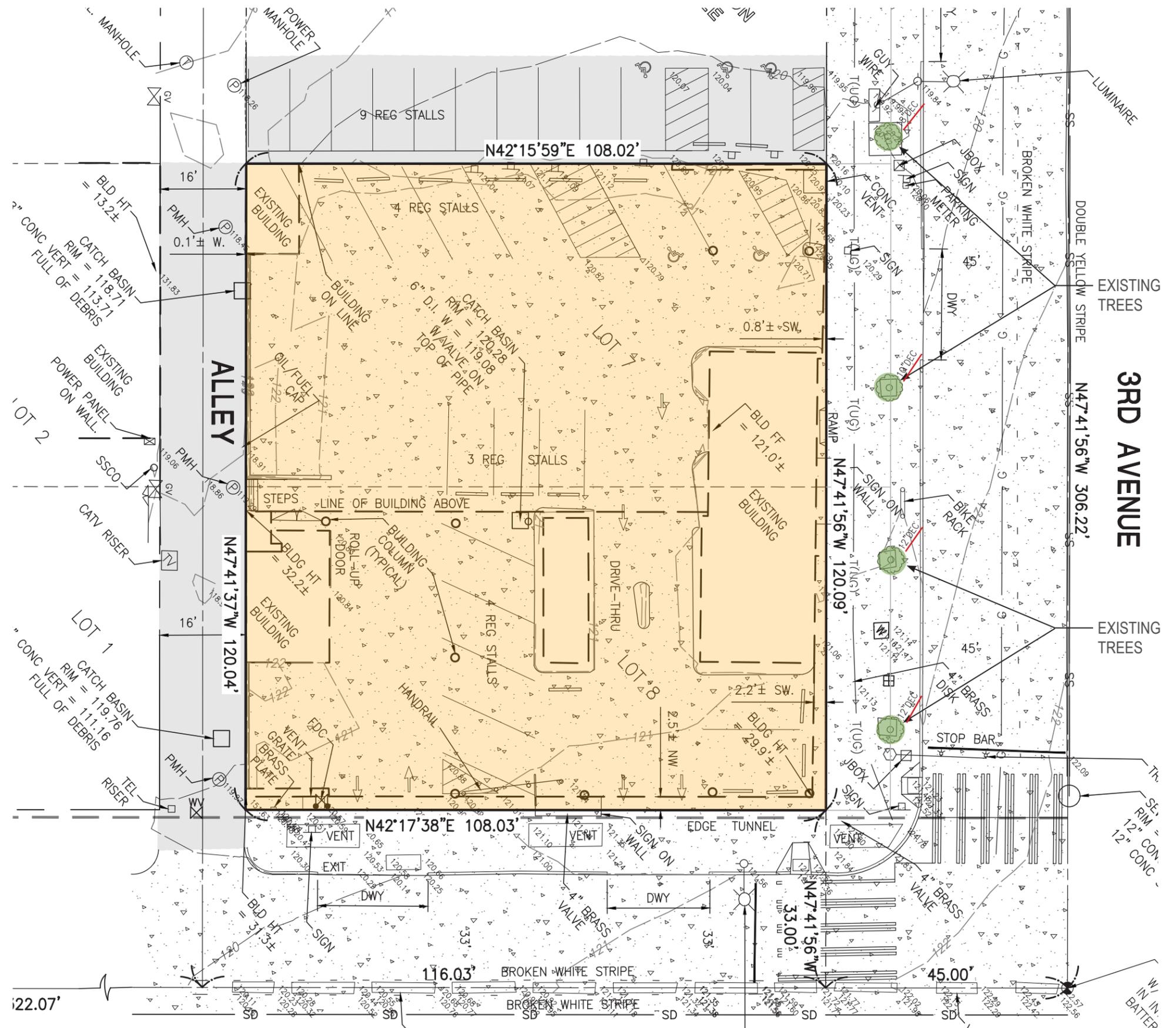


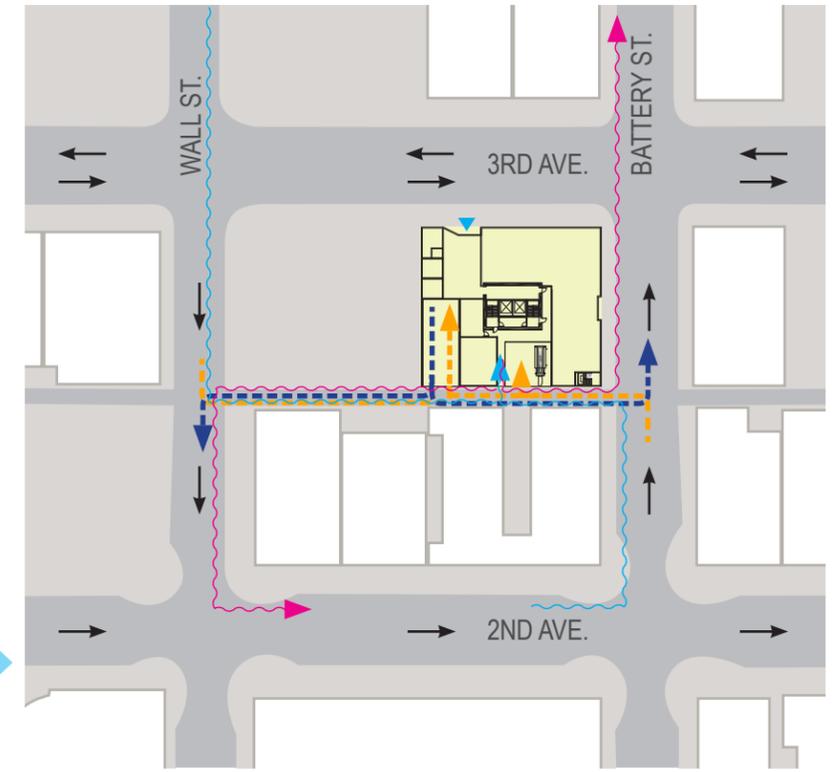
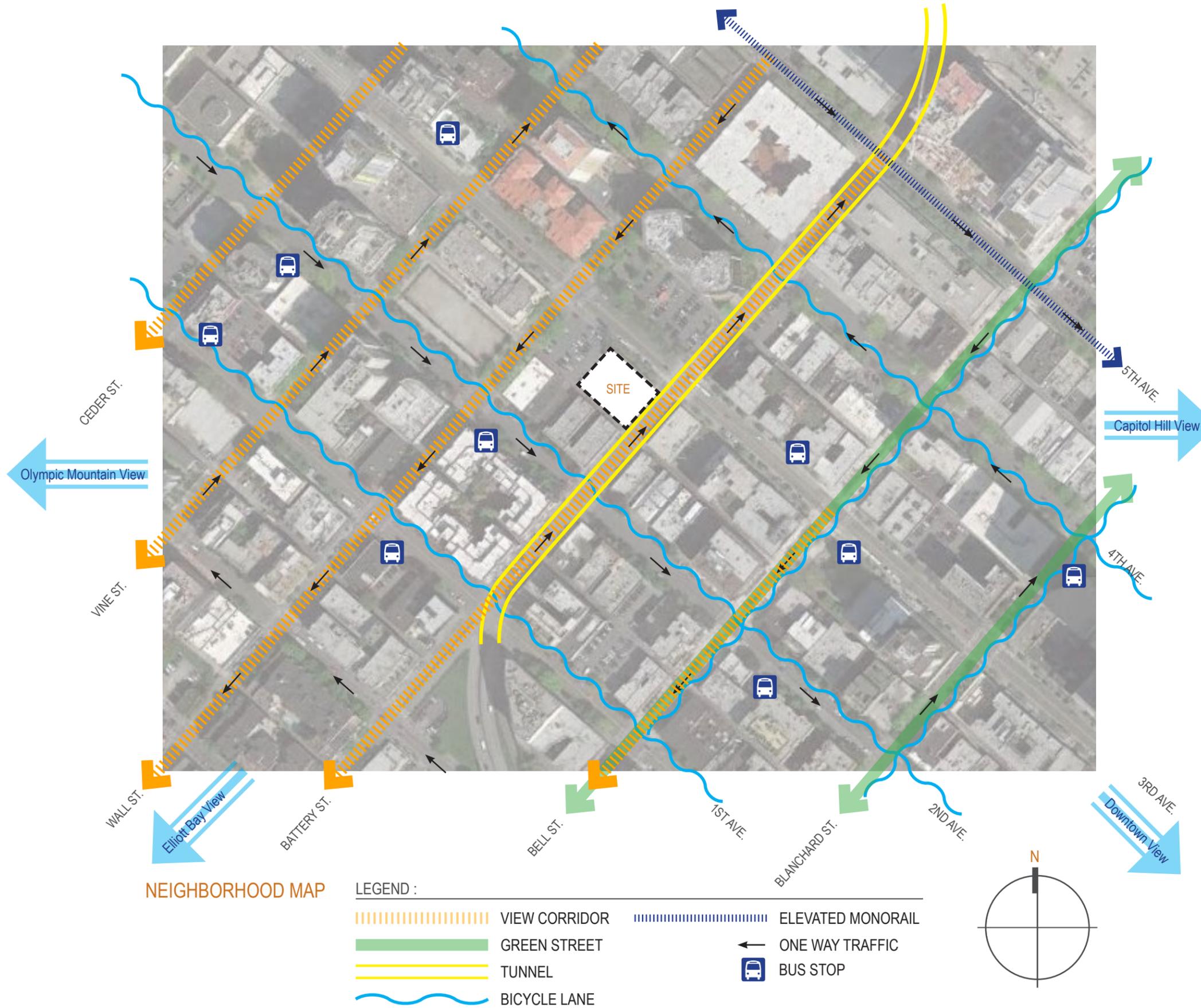
SITE SURVEY

Current use of the site improvements is a two story office building adjacent to existing surface parking. Along southeastern property line, underground Battery Tunnel is currently running a few feet away from the property line of the site. Within the southeasterly sidewalk, air vents from the tunnel with metal grating and removable planters are observed.

For the project, we assume project north to be along the direction of 3rd Avenue. Brick paving covers the alley on the west side of the site. Across from the alley, 3 story residential building is situated. There is surface parking across 3rd Avenue.

The project will include improvements within zero setback buildable area along all sides of property lines with some minor adjustments.







1. 4th & Battery Building



4. Belltown Court Condominium



2. Centennial Tower Apartments



5. 2nd & Bell Building (Apartment)



3. Moda Apartments



6. Legacy Centre Seattle (Mixed-Use)

PROMINENT SURROUNDING BUILDINGS

Belltown is home to numerous iconic and historical buildings, many of which are landmarks. The buildings represent almost every style: Federal (like the Lexington and Concord Apartments immediately to the Southwest of our project site across the alley), Gothic, Spanish Colonial, Italianate, International Style (like the mid-century modern US Bank building, dating from 1954 currently standing on the 3rd and Battery project site, and the 1951 building across Battery Street to the Southeast), and recently built contemporary styled buildings. There is a large variety of ages and types of buildings in Belltown compared to other neighborhoods in Seattle.

Residential building in Belltown, as in many of Seattle's neighborhoods, has followed a pattern: the early decades of the 20th century saw construction of low-rise apartment buildings near downtown and neighborhood centers (urban villages). These apartments were served by bus, trolley, and streetcar lines, and are in many cases without on-site parking. Then followed a period through the mid and late 20th century where new residential construction was almost entirely in the surrounding suburban areas, and the downtown area came to be seen strictly as a working area. It was not until the 1980s and successful renewal of areas like Pike Place public market and Pioneer Square that new residential construction came back to the downtown areas. Belltown was one of the earliest areas to experience renewed residential construction. By this time, zoning and economics were dictating a denser use of the area – i.e. taller building heights. The 7 story condominium structure at 1st and Battery exemplifies this latter type.

In addition to Residential construction, of which there is quite a bit, there is a large variety of commercial building types, ranging from low-rise commercial along the main Northwest – Southeast avenues built during the interwar years, to the Union halls characteristic of Belltown during the Postwar years, and newer glass modern high rises built during the age of urban renewal from the late 60s onward.

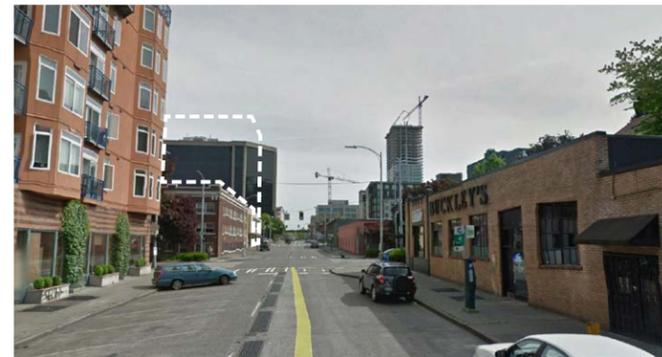
Guidelines call for new buildings to “establish a sympathetic transition between newer and older buildings”, and for “compatible design to respect the scale, massing and materials of adjacent buildings and landscape”, while avoiding a mimetic approach to design. “Creative, contemporary architectural solutions are encouraged.” The most obvious departure from these stated goals will be in allowable building height and floor area, due to recent zoning, which can create a critical density that will make multi-modal transit options viable, and encourage a vibrant community life at all hours of the day and evening.



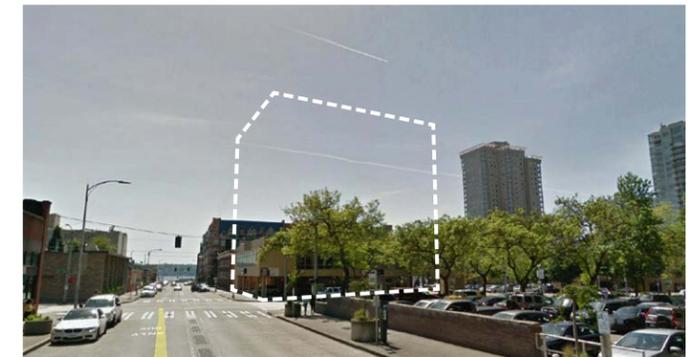
A. 3rd Ave - Looking North



B. 3rd Ave - Looking South



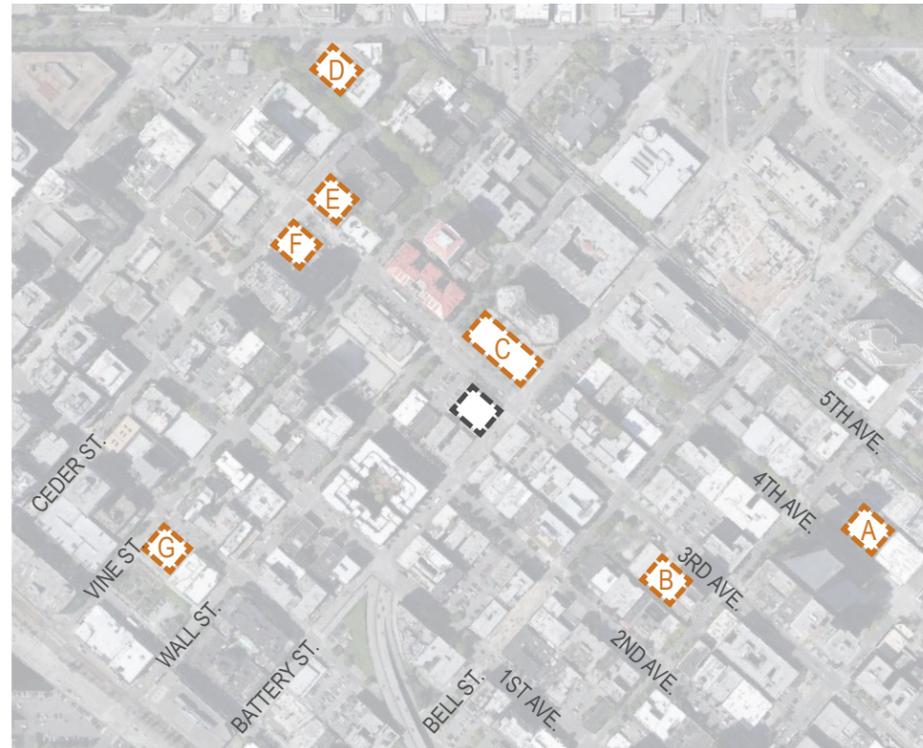
C. Battery St. - Looking East



D. Battery St. - Looking West



A. 2116 4TH AVE - RESIDENTIAL TOWER
BUILDING MASS CONTAINS SEVERAL FRAMED
SUB-SECTIONAL BUILDING VOLUMES



NEW DEVELOPMENT PROJECTS IN NEIGHBORHOOD



B. 2217 3RD AVE - MULTI-FAMILY BLDG
STAGGERED BAY WINDOWS AND
BALCONIES CREATE RHYTHMICAL SHADOW
ON ITS FACADE



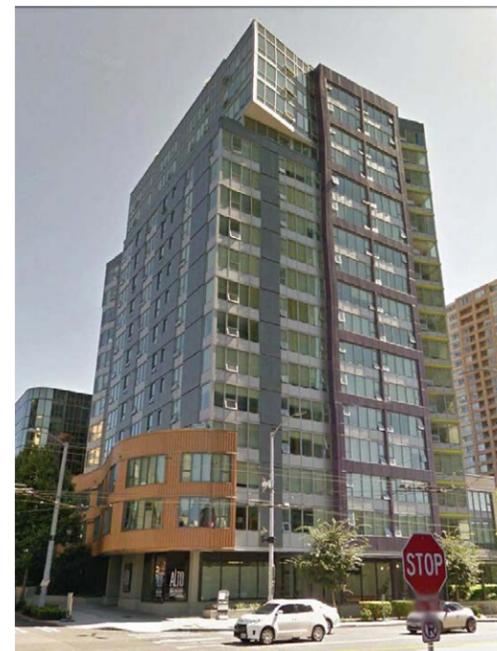
C. 2400 3RD AVE - OFFICE BUILDING
LOW RISE OFFICE BUILDING WITH REPETITIVE FACADE DESIGN
AND MASONRY CLADDED PODIUM



D. 2720 4TH AVE - RESIDENTIAL TOWER
LARGE VOLUME OF MASSING CONSISTING OF
VARIETY OF SIMPLE FORMS



F. 225 CEDER ST. - RESIDENTIAL TOWER
BUILDING MASS ROUGHLY SHAPED PER
AREA COVERAGE REQUIREMENTS WITH
VERTICAL BAY WINDOW STRIPS



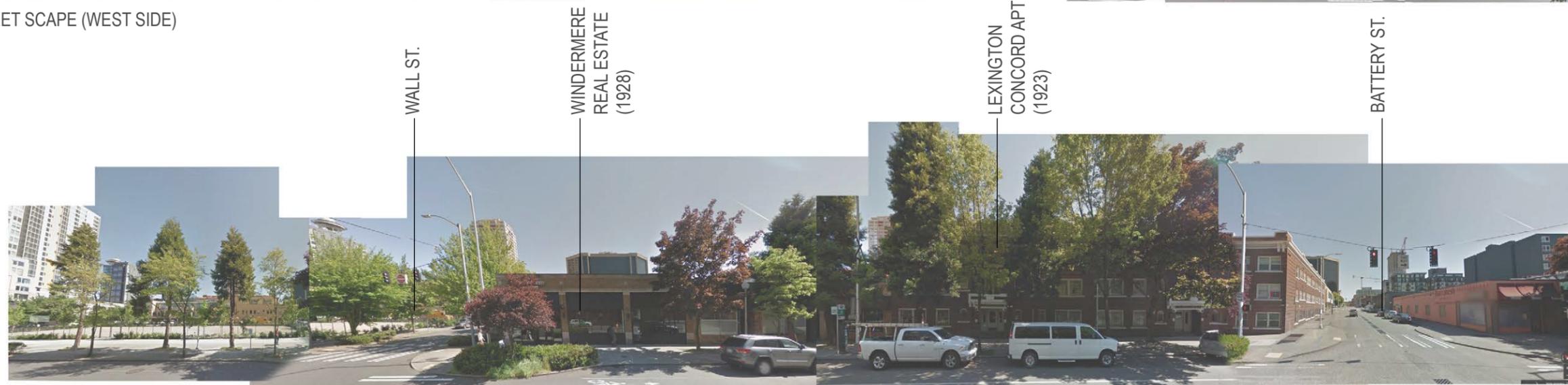
E. 311 CEDER ST. - RESIDENTIAL TOWER
UNIQUE SHAPES OF MASSING VOLUMES
CREATE STRONG INFLUENCE IN THE
COMMUNITY



G. 2521 WESTERN AVE - RESIDENTIAL
BUILDING MASS ROUGHLY SHAPED PER
AREA COVERAGE REQUIREMENTS

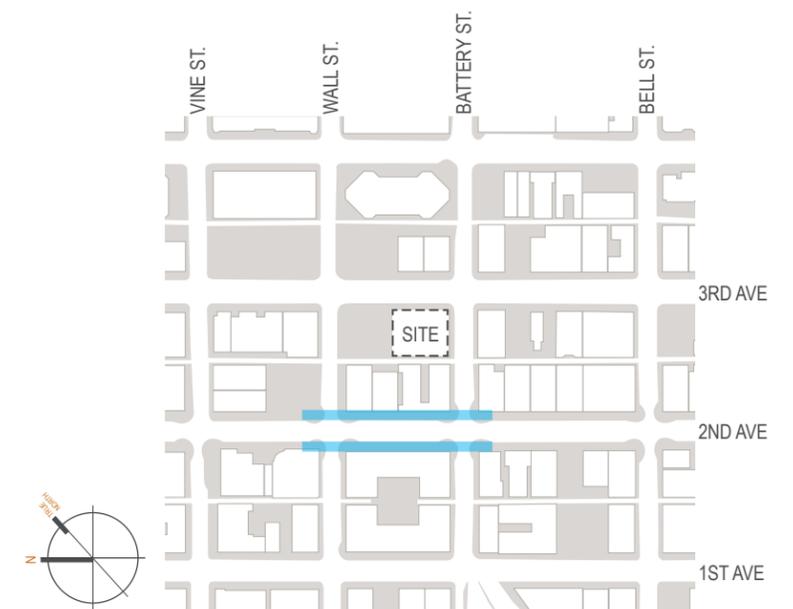


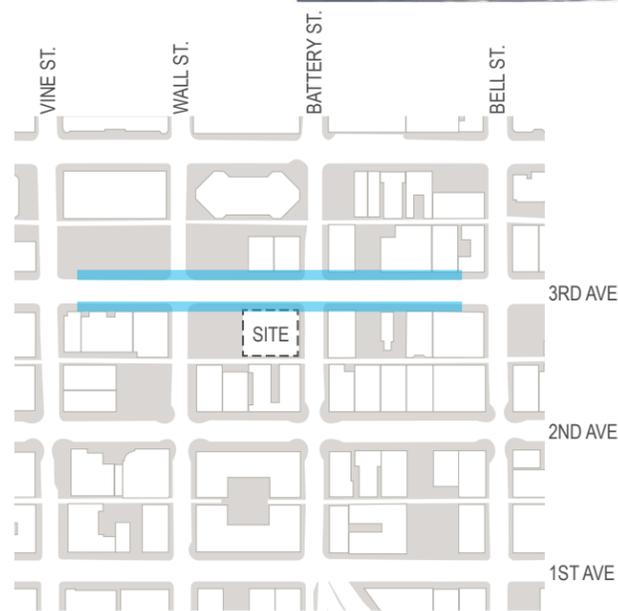
2ND AVE. STREET SCAPE (WEST SIDE)



2ND AVE. STREET SCAPE (EAST SIDE)

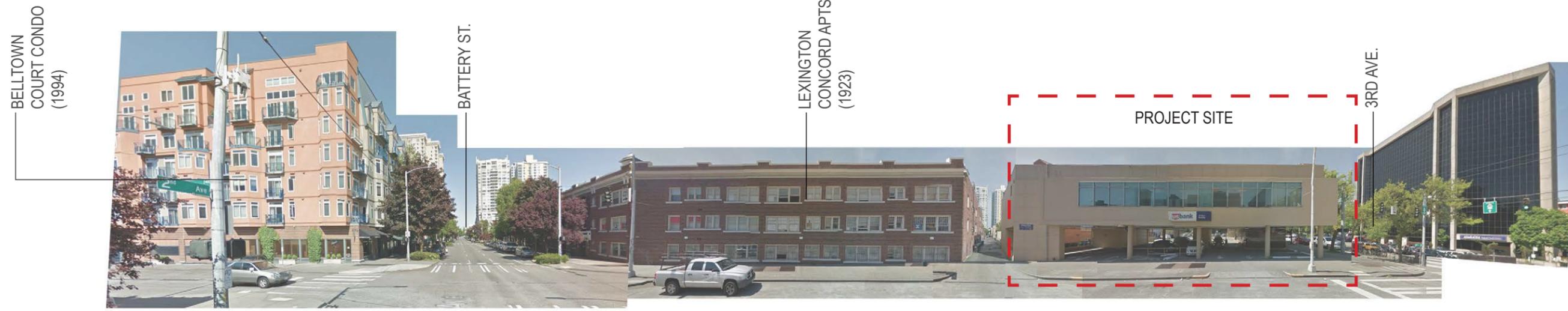
STREET SCAPE IMAGE





STREET SCAPE IMAGE

URBAN DESIGN ANALYSIS

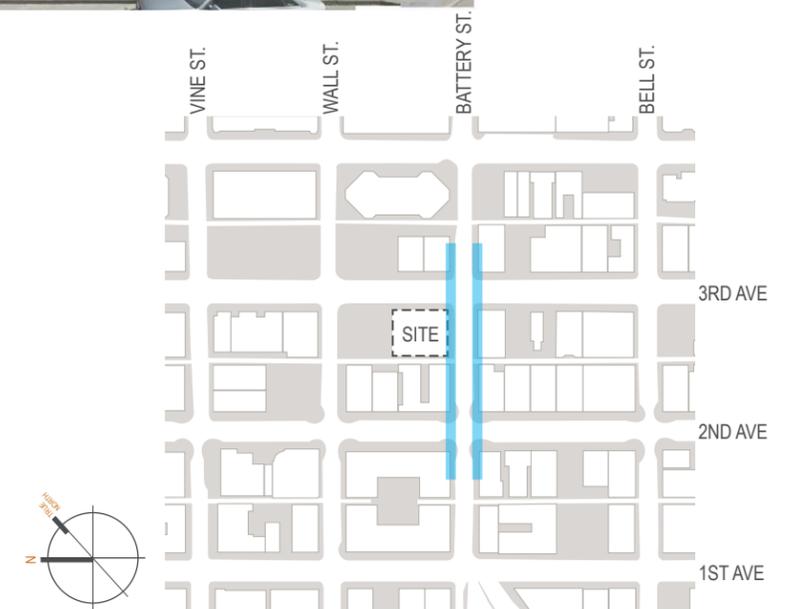


BATTERY ST. STREET SCAPE (NORTH SIDE)



BATTERY ST. STREET SCAPE (SOUTH SIDE)

STREET SCAPE IMAGE

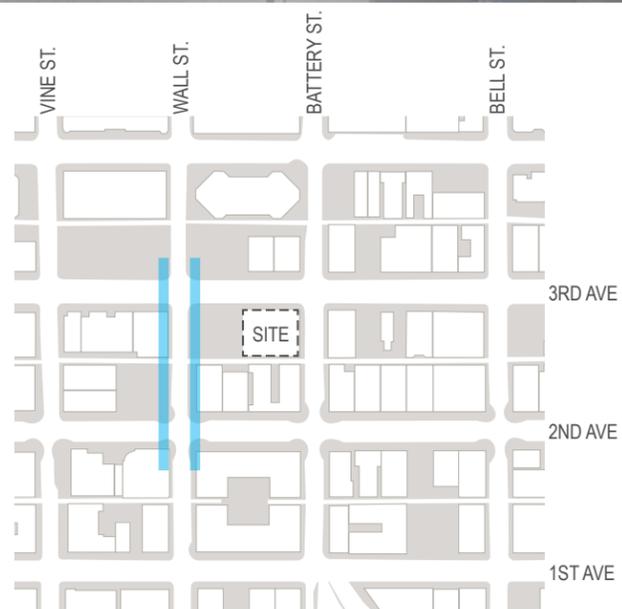




WALL ST. STREET SCAPE (NORTH SIDE)



WALL ST. STREET SCAPE (SOUTH SIDE)



STREET SCAPE IMAGE



7. Barnes Building (Odd Fellows Hall)



10. Fire Station No.2



11. Hull Building



13. New Pacific Building



32. Adams Building



43. Lexington & Concord Building



44. Trianon Building



46. 3rd & Vine Street Building

BELLTOWN HISTORICAL BUILDING CHARACTER

Historic buildings in Belltown range from the single family wood-frame houses at Belltown Cottage Park along Elliott Avenue – some of the last remaining wood frame houses in the Downtown area – through early 20th century low-rise apartment and commercial buildings, to mid-century modern low-rises, such as that on the project site, to late 20th century high-rise glass-walled commercial buildings. Prominent along 1st avenue also are the trade union halls dating from the early and mid 20th century that once characterized the area.

The historic residential buildings in the area are mostly low-rise apartment buildings. Many of these are clad in brick, and built in the Federal style. Some are older, Italianate, and clad in stucco, wood siding, or other materials. The latter often have features such as canopies at sidewalk level, and projecting bay windows. The Federal style brick buildings are more monumental in massing. The majority of these structures are 3 stories. There are examples with and without retail at street level.

Newer zoning, and the need to create greater density to make mass transit viable, and maximize the potential for 24 hour active urban lifestyle combining work, play, transportation and dwelling, dictate that the 3rd and Battery project will be larger in scale than the existing historic buildings. Furthermore, Belltown Urban Village Design Guidelines recommend that new buildings not take a mimetic approach to the surrounding historic Architecture. However, there are essential qualities that can and should be promoted: an engaging street level, featuring a variety of retail, dining, entertainment, and service uses, building canopies offering shelter from sun and rain, and bringing the building scale down to sidewalk level, and an engaging variation in the upper structure to help mediate between the building scale and human scale.

Appendix

Belltown Historic and Icon Building Inventory





CONCRETE STRUCTURE WITH BRICK PODIUM LEVELS.

ALASKA BUILDING

1904



HIGHEST BUILDING IN WEST PART OF THE US FOR 40 YEARS.

SMITH TOWER

1914



HISTORICAL APPLICATION OF BAY WINDOWS IN THE PAST AND NOW.

BAY WINDOW CHARACTERISTIC



CONTEMPORARY STYLE AND BUILDING TECHNOLOGY RESHAPES TRADITIONAL STYLE OF BAY WINDOWS.

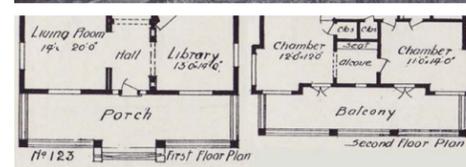


1869 ~
INCORPORATION
OF SEATTLE

1890 ~ 1930
AMERICAN FOURSQUARE
MASS-PRODUCED STYLE OF AMERICAN HOUSING. THIS STYLE WAS INTRODUCED IN SEATTLE AND CARRIES STRONG BUILDING CHARACTER THROUGH CENTURY.



1910 ~ 1940
SEATTLE BOX
UNIQUE ARCHITECTURAL STYLE INTRODUCED IN SEATTLE WITH CHARACTERS OF SQUARE SHAPE AND BAY WINDOWS.



STRONG BUILDING COMPOSITION WITH DEFINED BASE, BODY HAS BEEN CONSIDERED AS ONE OF THE IMPORTANT CHARACTER OF SEATTLE'S RICH HISTORY.



Strong podium gesture to respect both historical and contemporary condition of building base design.
Expected exterior material: masonry blocks, stone, metal panels.

BELLTOWN DESIGN REFERENCE

PRIORITY DESIGN GUIDELINES :

Site Planning & Massing

A-1 RESPOND TO THE PHYSICAL ENVIRONMENT:

“Develop an architectural concept and compose the building’s massing in response to geographic conditions and patterns of urban form found nearby or beyond the immediate context of the building site.”



Response:

The site is surrounded by variety of building types. The condition of the site is considered as being in transition. The proposed project offers new design standard based on the community guideline.

A-2 ENHANCE THE SKYLINE:

“Design the upper portion of the building to promote visual interest and variety in the downtown skyline.”



Response:

Proposed rooftop amenity areas, sky garden and roof garden offer active space along downtown skyline connecting adjacent similar proactive projects for community enhancement.

Architectural Expression

B-1 RESPOND TO THE NEIGHBORHOOD CONTEXT:

“Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.”

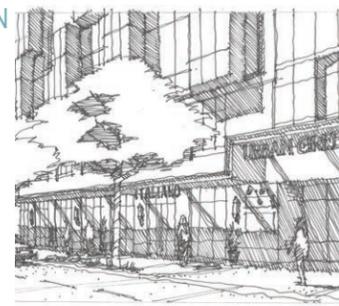


Response:

The Project utilizes both key design elements derived from the historical community and current building design technologies to reinforce strong community development.

B-2 CREATE A TRANSITION IN BULK & SCALE:

“Compose the massing of the building to create a transition to the height, bulk, and scale of development in nearby less intensive zones.”

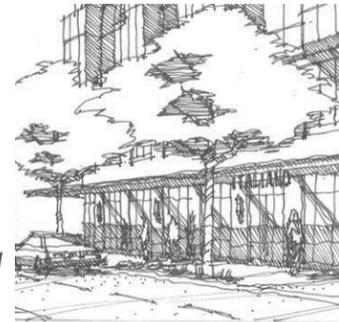


Response:

The Project carries out traditional facade design approach of the community at podium levels and current construction technologies for upper levels. In addition, the building mass is divided into subsections to contain varieties of functions.

B-3 REINFORCE THE POSITIVE URBAN FORM & ARCHITECTURAL ATTRIBUTES OF THE IMMEDIATE AREA:

“Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and street scape characteristics of nearby development.”



Response:

The Project proposes better visual connection with glazed storefront and brick wall based on human scale between retail spaces and pedestrian streets along the immediate area for positive urban environment.

B-4 DESIGN A WELL PROPORTIONED & UNIFIED BUILDING:

“Compose the massing and organize the publicly accessible interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.”



Response:

All brick finish podium, glass wall and metal wall with an essence of integrated landscaping are the key building design features of the Project. Also, the use of color will be coordinated with surrounding building in the neighborhood.

The Streetscape

C-1 PROMOTE PEDESTRIAN INTERACTION:

“Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk related spaces should appear safe, welcoming, and open to the general public.”

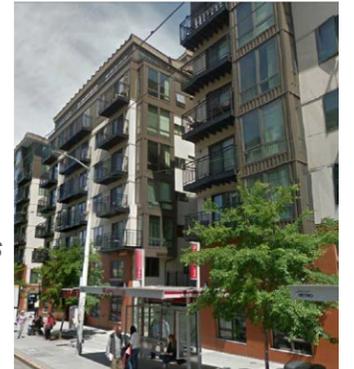


Response:

The building facade at street level visually opens to public with transparent building elements. Proposed green walls offer continuity to/ from street level landscaping.

C-2 DESIGN FACADES OF MANY SCALES:

“Design architectural features, fenestration patterns, and materials compositions that refer to the scale of human activities contained within. Building facades should be composed of elements scaled to promote pedestrian comfort, safety, and orientation.”



Response:

The Project offers variety of comfortable building scales for residents, customers and the neighborhood.

C-3 PROVIDE ACTIVE -NOT BLANK- FACADES:

“Buildings should not have large blank walls facing the street, especially near sidewalks.”



Response:

Building facade of the project offers unique connections to public with green connection, retail atmosphere and welcoming residential entry.

The Streetscape

C-4 REINFORCE BUILDING ENTRIES:

“To promote pedestrian comfort, safety, and orientation, reinforce the building’s entry.”



Response:

As guided by the Downtown Design Guidelines, the project offers welcoming atmosphere, smooth transition to pedestrian traffic and interactive area at the residential entry.

C-5 ENCOURAGE OVERHEAD WEATHER PROTECTION:

“Project applicants are encouraged to provide continuous, well lit, overhead weather protection to improve pedestrian comfort and safety along major pedestrian routes.”



Response:

Proposed continuous storefront/ entry canopies offers ample of light and weather protection.

C-6 DEVELOP THE ALLEY FACADE:

“To increase pedestrian safety, comfort, and interest, develop portions of the alley facade in response to the unique conditions of the site or project.”



Response:

The Project utilizes safe building features such as security lighting, safety/ security doors for utility areas and parking access in order to provide safe environment for pedestrian traffic.

Public Amenities

D-1 PROVIDE INVITING & USABLE OPEN SPACE:

“Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.”

D-2 ENHANCE THE BUILDING WITH LANDSCAPING:

“Enhance the building and site with generous landscaping which includes special pavements, trellises, screen walls, planters, and site furniture, as well as living plant material.”



Response:

The Project offers proposed applications of variety of landscaping features including vertical vine walls, green screen wall, planters, green roof and sky terrace.

D-3 PROVIDE ELEMENTS THAT DEFINE THE PLACE:

“Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable “sense of place” associated with the building.”



Response:

The proposed elements as facade enhancement include vegetated walls, brick walls and retail walls.

D-4 PROVIDE APPROPRIATE SIGNAGE:

Design signage appropriate for the scale and character of the project and immediate neighborhood. All signs should be oriented to pedestrians and/or persons in vehicles on streets within the immediate neighborhood.



Response:

Proposed signage design will be visible and clear from public space and respectful in the community.

D-5 PROVIDE ADEQUATE LIGHTING:

“To promote a sense of security for people downtown during nighttime hours, provide appropriate levels of lighting on the building facade, on the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and on signage.”



Response:

Proposed lighting design include sufficient lighting for pedestrian, such as canopy soffit light and pilaster light.

D-6 DESIGN FOR PERSONAL SAFETY & SECURITY:

“Design the building and site to enhance the real and perceived feeling of personal safety and security in the immediate area.”



Response:

Frontage of the Project design offers safe and comfortable area with proposed landscaping, sufficient lighting and simple wall configuration for both pedestrians and residents.

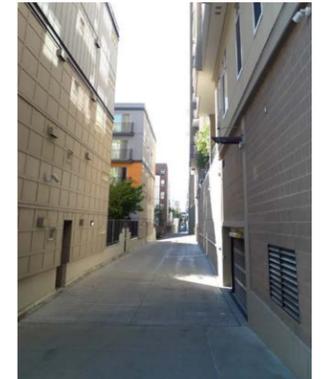
Vehicular Access & Parking

E-1 MINIMIZE CURB CUT IMPACTS:

“Minimize adverse impacts of curb cuts on the safety and comfort of pedestrians”

E-2 INTEGRATE PARKING FACILITIES:

“Minimize the visual impact of parking by integrating parking facilities with surrounding development. Incorporate architectural treatments or suitable landscaping to provide for the safety and comfort of people using the facility as well as those walking by.”



Response:

The Project facilitates integrated underground parking space with design consideration of security and public safety.

E-3 MINIMIZE THE PRESENCE OF SERVICE AREAS:

“Locate service areas for trash dumpsters, loading docks, mechanical equipment, and the like away from the street front where possible. Screen from view those elements which for programmatic reasons cannot be located away from the street front.”



Response:

The Project facilitates service areas accessible from alley side with a consideration of use of roll-up door for screening purpose.