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ROOSEVELT APARTMENTS

4218 ROOSEVELT WAY

DPD Project #3021266

Recommendation Meeting
Northeast Design Review Board

January 30, 2017

PROJECT TEAM

OWNER
G & K Brothers, INC
15958 NE 117th Way
Redmond, WA 98052
425.999.5472

ARCHITECT
Studio19 Architects
207½ 1st Ave S.
Suite 300
Seattle, WA 98104
206.466.1225

SITE INFORMATION

Project Location:
4218 Roosevelt Way NE,
Seattle WA 98105

Parcel #:
1142000735, 1142000740, 1142000745

Lot Size:
16,020 SF

FAR Allowed:
4.25 (68,085 SF) residential /4.75 (76,095 SF) total

Base Zone:
C1-65: Commercial 1

Overlay Zones:
University District Northwest Urban Center Village
Frequent Transit Corridors

Design Guidelines:
City of Seattle Comprehensive Plan Guidelines
University Neighborhood Design Guidelines

PROPOSAL SUMMARY

Total Gross Floor Area: 73,229 SF (FAR 4.57)
Total Residential Floor Area: 68,029 SF (FAR 4.246)
Total Commercial Floor Area: 5,200 SF

Building Height: 65 FT

Number of Residential Units: **110**
 Number of Live Work Units: **NONE**
 Number and Location of Parking Stalls: **47 - 1.5 levels below grade**
 Number of Bike Stalls: **60**

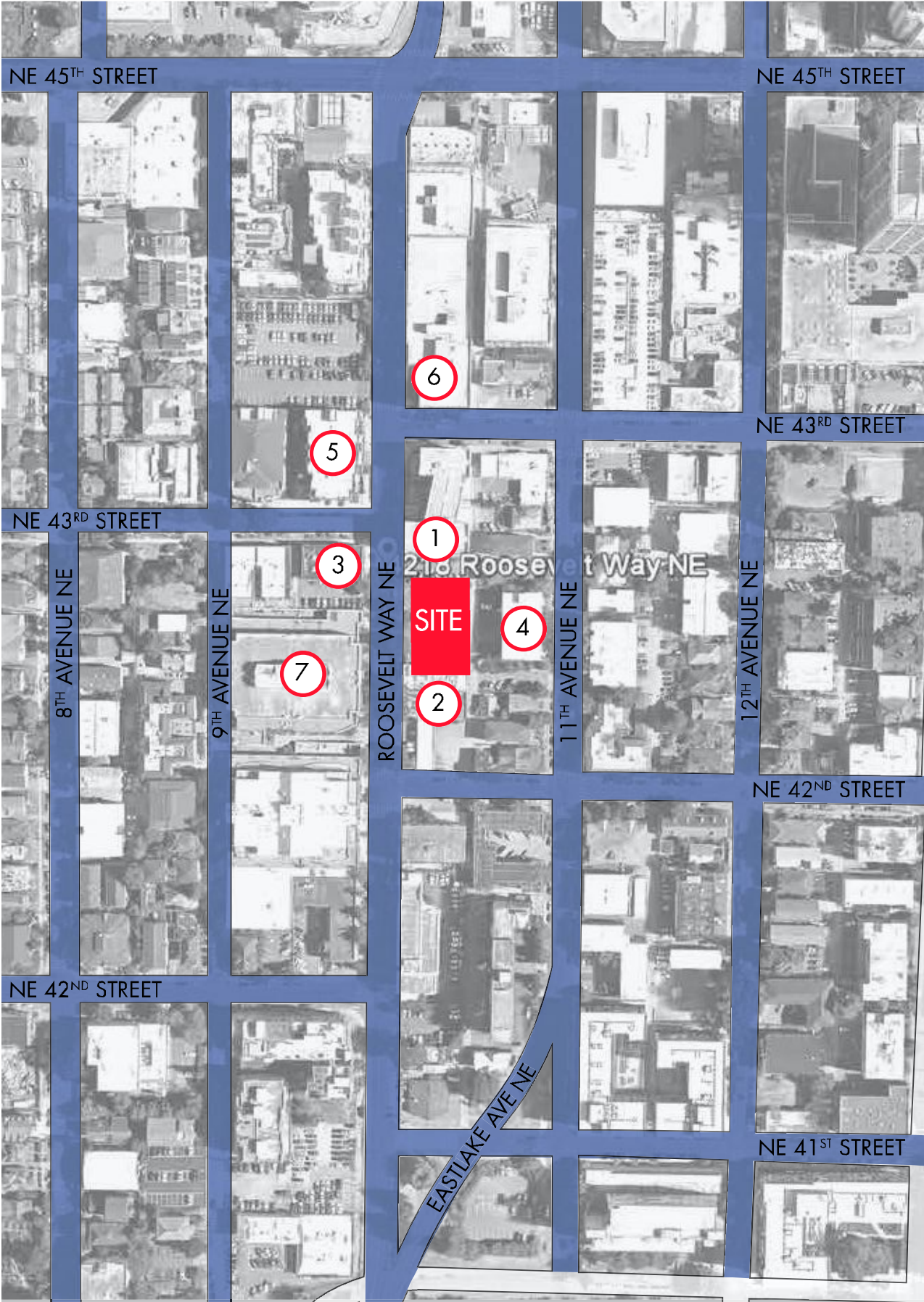
Departures:
SMC 23.47A.014.B.3
SMC 23.54.030.D.1.E

PROJECT DESCRIPTION

The proposal is to construct a new mixed-use apartment building. Commercial retail space and a residential lobby will be located at the ground level on Roosevelt Way NE. The building consists of 1.5 floors of underground parking, and 6 floors of apartments above, specifically 110 units and 49 parking stalls.



CONTEXT ANALYSIS SURROUNDING STRUCTURES



1- WATERTOWN HOTEL
4242 ROOSEVELT WAY NE | HOTEL
This 6 story boutique hotel is directly adjacent to our project site. The northern façade of our design will be affected due to this close proximity. The Watertown Hotel's building form and streetscape are sensitive to those on street level.



2- HARDWICK'S SWAP SHOP
4214 ROOSEVELT WAY NE | HARDWARE STORE
Hardwick's Swap Shop is south of the proposed building. The southern façade of our design will have direct sunlight due to the height of Hardwick's. Also, those residing on the southern side will have views of the surrounding neighborhood.



3- JACK STRAW PRODUCTIONS
4261 ROOSEVELT WAY NE | RECORDING STUDIO
Jack Straw Production is a recording studio west of the project site. It is an active hot spot within the community. The window openings at street level not only communicate the building's function but the activity within can be seen by pedestrians walking on street level.



4- CARLSTROM APARTMENTS
4225 11TH AVENUE NE | APARTMENTS
This apartment complex is 5 stories tall and directly east of the project site. Due to its proximity to our site the eastern façade of the design has more restrictions due to the adjacent apartment complex.



5- TRINITY 43RD APARTMENTS
902 NE 43RD STREET | APARTMENTS
This apartment complex is half a block away from the project site. The street-level design of the Trinity 43rd Apartment's embraces the change in topography from the north to south side of the site creative a unique experience for those passing by and entering the building.

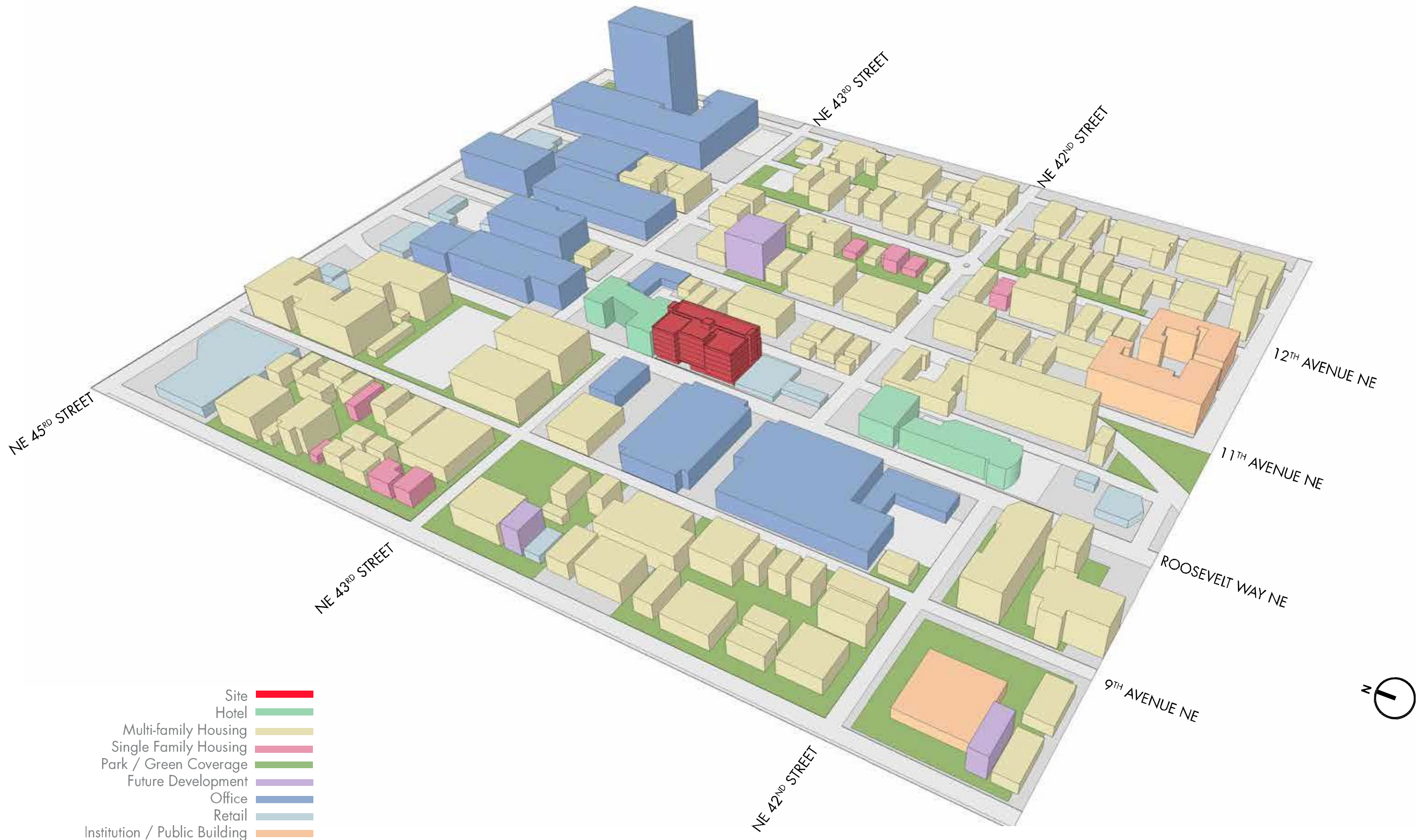


6- UW ROOSEVELT COMMONS
4300 ROOSEVELT WAY NE | CLASSROOM/ADMIN
The UW Roosevelt Commons is frequently surrounded by college students and college faculty. The design of the building incorporates raised platforms/plazas that provide the users a safe exterior space alongside Roosevelt Way.



7- UNIVERSITY OF WASHINGTON MEDICAL CENTER / SEATTLE CHILDREN'S
4245 ROOSEVELT WAY NE | HOSPITAL
Including the University of Washington's medical center, this site is also home to the Seattle Children's Hospital. It is a 4 story building that has two street front entrances, one on Roosevelt and one on 9th Ave.

CONTEXT ANALYSIS SURROUNDING USES



ZONING DATA

The proposal meets all the zoning requirements except as listed in the Departure Requests section of this packet.

Street-Level Uses 23.47A.005

- C.1 Residential uses are generally permitted anywhere in a structure in C1 zones, except as provided in 23.47A.005.C.2 and 23.47A.005.C.3.
- C.3 Residential uses may not exceed, in the aggregate, 20% of the street-level street-facing facade when facing an arterial or within a zone that has a height limit of 85 feet or higher.
- C.4 Residential uses may occupy 100% of the street level street-facing façade in a structure if the structure:
 - d. Does not face a designated principal pedestrian street.

Street-Level Development Standards 23.47A.008

- A.2.b Blank segments of the street-facing façade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width.
- A.2.c The total of all blank façade segments may not exceed forty 40% of the width of the façade of the structure along the street.
- A.3. Street-level street-facing façade segments shall be located within ten (10) feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.
- B.2.a Transparency: Sixty percent of streetfacing façade between two 2 feet and 8 feet above the sidewalk shall be transparent.

Structure Height 23.47A.012

A 65 feet max height per Land Use Map, Ch. 23.32.

Floor Area Ratio 23.47A.013

- A Floor area ratio (FAR) limits apply to all structures and lots in all C zones.
- A.1 All gross floor area not exempt under subsection D of this Section is counted against the maximum gross floor area allowed by the permitted FAR.
- D.1. Gross floor area below grade is not counted toward FAR.

Setback Requirements 23.47A.014

C A minimum 5 foot landscaped setback may be required under certain conditions and for certain uses according to Section 23.47A.016, Screening and landscaping standards.

Landscaping and Screening Standards 23.47A.016

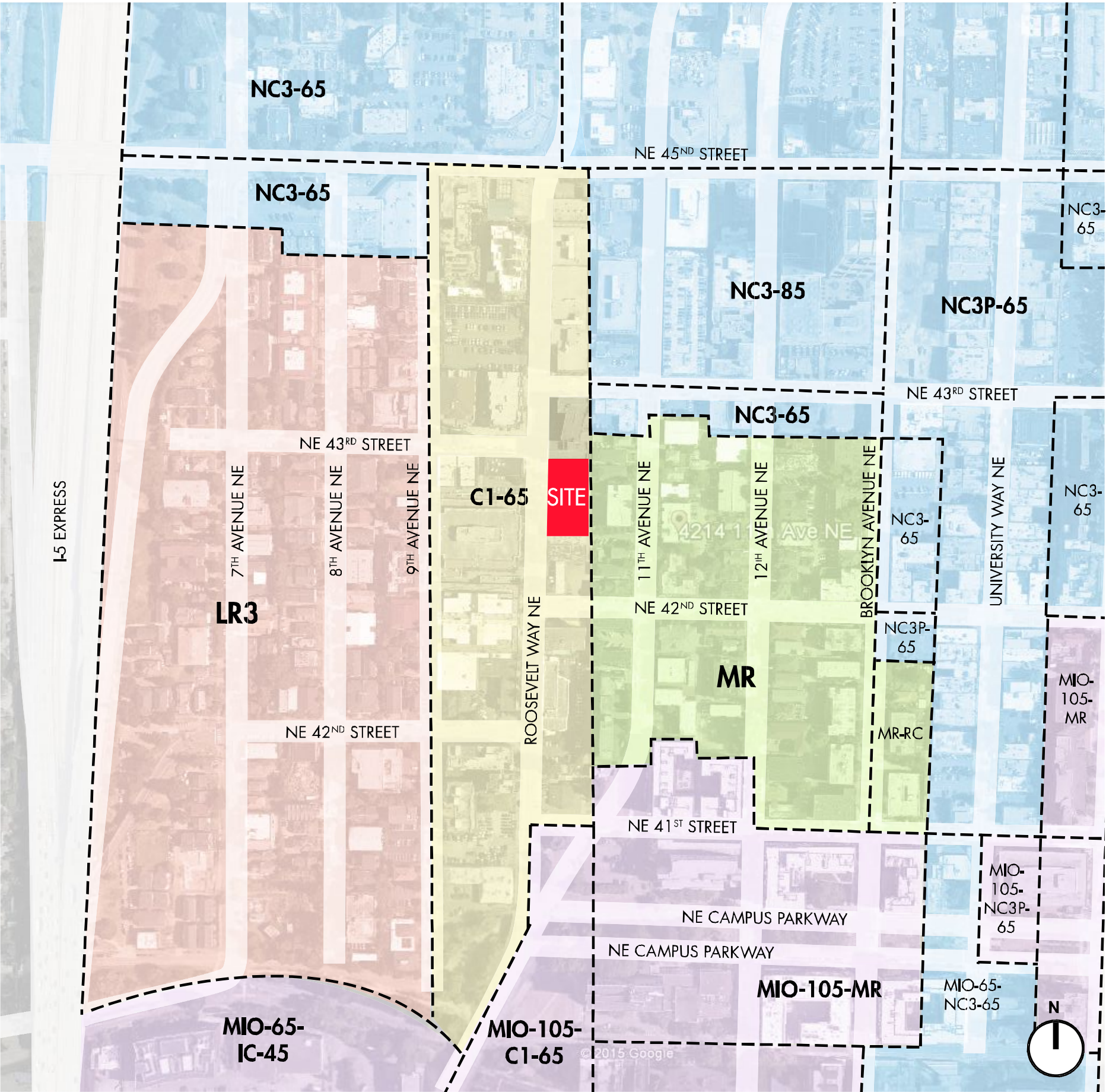
A.2 Green Factor Requirement: .30 or greater per the procedures in Section 23.86.019.

Residential Amenity Areas 23.47A.024

- A Residential amenity areas, including but not limited to decks, balconies, terraces, roof gardens, plazas, courtyards, play areas, or sport courts, are required in an amount equal to 5% of the total gross floor area in residential use, except as otherwise specifically provided in this chapter. Gross floor area, for the purposes of this subsection, excludes areas used for mechanical equipment and accessory parking.
- B.1 All residents must have access to at least one common or private amenity area.
- B.2 Residential amenity areas shall not be enclosed.

Required parking 23.54.015

- D.1 No minimum parking is required for Urban Village Centers or Station Area Overlay
- K Bicycle parking. See Table E. Requirements are based on gross floor area of uses.
 - 1. After the first fifty (50) spaces for bicycles are provided, additional spaces are required at one half (1/2) the ratio shown in Chart E. Spaces within dwelling units or on balconies do not count toward the bicycle parking requirement. Refer to K.2-7 for specific requirements of bicycle storage.



SITE PLAN & GROUND FLOOR PLAN



EDG SUMMARY MASSING OPTIONS

OPTION 1



SUMMARY:

- Unit count: 121
- Parking: 83 stalls
- Retail Space: 4,000 SF

PROS:

- Modulated façade in multiple locations, vertical and horizontal
- Covered retail along street front
- Level platform at street level
- Retail along street front
- Community roof deck

CONS:

- Main façade is flat facing street front
- Columns required along pedestrian walkway

OPTION 2



SUMMARY:

- Unit count: 109
- Parking: 83 stalls
- Retail Space: 4,000 SF

PROS

- Residential courtyard on east side facing alley
- Covered retail along street front

CONS

- Main facade is flat facing street front with minimal modulation
- Street front steps with grade not allowing for maximized retail space

OPTION 3 (PREFERRED OPTION)



SUMMARY:

- Unit count: 114
- Parking: 83 stalls
- Retail Space: 5,000 SF

PROS

- Articulated and modulated façade along street front
- Residential courtyard along street front
- Pronounced building entrance for residents
- Modulated façade along alley
- Level platform at street level to maximize retail space
- Community courtyard

CONS

- Retail spaces are separated, not one space (which is less flexible)

EDG RESPONSE

Board Recommendations & Responses:

1. MASSING AND CONTEXT RESPONSE

The Board appreciated the thorough and thoughtful exploration of massing options in response to the context. The Board supported the development of a hybrid massing concept that retains the simplicity and clarity of the massing presented in Option 3 and that plays on the proportion of Hardwick’s as presented in Option 1. (CS2-B, CS2-D, CS3-A, SC3-I, DC2-A)

a. The Board supported the upper massing presented in Option 3 which included a second level courtyard along Roosevelt Way and two larger “bookend” masses at the north and south ends. (CS2-B, CS3-A, DC2-A)

RESPONSE: We have revised the massing to incorporate the bookend element on the north façade and a wider mass along the south and central components of the façade along Roosevelt, to respond to Board’s recommendation. This was composed to emphasize the building entrance, ground floor uses and pedestrian plaza located along the street front. The elongated building mass plays off of smaller scale buildings in the neighborhood, similar to the Hardwicks store.

b. The Board felt that the massing provided lots of opportunity for an interesting and thoughtful architectural composition that reinforces the underlying architectural concept. (CS3-A, DC2-A, DC2-B)

RESPONSE: This has been further developed and complies with the Board’s recommendation.

c. The modulation of the upper massing should relate to the entry and promote exterior legibility. The Board suggested moving the deep and narrow recess to align with the entry and reinforce the lobby location with the interruption in massing (PL2-D, PL3-A, DC2-A, DC2-B)

RESPONSE: We have shifted the recess in the façade along Roosevelt per the Board’s recommendation and it now aligns with the building entrance and defines the pedestrian plaza area located along the street front.

d. The massing at the ground plane should be further developed to reinforce the prominence of the residential entry (see Residential Entry & Entry Court, below). (PL2-D, DC2-A)

RESPONSE: We have shifted the recess in the façade along Roosevelt, which now has a direct relation to the building entrance, giving it prominence. Steps and a connection to Roosevelt have been added as well as a larger pedestrian plaza adjacent to the entry.

e. The Board supported upper level setbacks to reduce the perceived height; bulk, and scale of the structure, especially at the east façade. (CS2-D, CS2-II, CS2-IV, DC2-A)

RESPONSE: We have incorporated upper story setbacks along the East, West and South façades per the Board’s recommendation. Multiple levels of upper story setbacks have been provided along the East façade. An upper story setback along the North façade is not necessary.



ROOSEVELT WAY NE RENDERING

Ground plane scale relates to the adjacent Hardwick’s Shop (1a)



GROUND PLANE RENDERING

The accent yellow color, continuous canopy and facade recess reinforce the prominence of the residential entry (1d)

EDG RESPONSE

1. MASSING AND CONTEXT RESPONSE (CONT.)

f. The Board noted that the seven-story rise with no setback at the alley did not adequately respond to the multi-family zone across the alley, and that an upper level setback was necessary to provide relief from the massing. The Board indicated that this setback should inform the façade composition along the alley. (CS2-D, CS2-II, DC2-A, DC2-B)

RESPONSE: An upper story setback has been provided for most of the alley façade in response to the Board’s comments and the neighboring developments. We have retained one massing element that does not step back along the north façade so that it will play off of the adjacent hotel building. The remaining massing along the alley has multiple steps and two different upper story setbacks to reduce the scale of the building.

2. STREETScape & PEDESTRIAN EXPERIENCE

The street-level design should prioritize the pedestrian experience, established a relationship with the streetscape, and provide opportunities for ancillary activities. (CS2-B, PL1-B, PL1-I, PL3-C, PL1-II, DC3-A, DC3-B)

a. The Board did not support the series of steps presented in Option 2, noting that it results in less flexible retail space and creates obstacles that diminish the perceived width and accessibility of the sidewalk. (PL1-B, PL2-A)

RESPONSE: We have developed a different option per Board’s recommendation.

b. Ground-level retail spaces should stay with grade, or be slightly above, to provide adequate width and height at grade to achieve a comfortable pedestrian experience. If any portion of the sidewalk must be sunken due to the grade of the retail, it should be as minimal as possible. No entry should be located below grade. The Board indicated they may be open to a departure to allow less than a 13’ height for retail to avoid sunken entries or sidewalks. (CS2-A, PL1-B, PL3-C, PL3-II, C2-A, DC3-A, DC3-B)

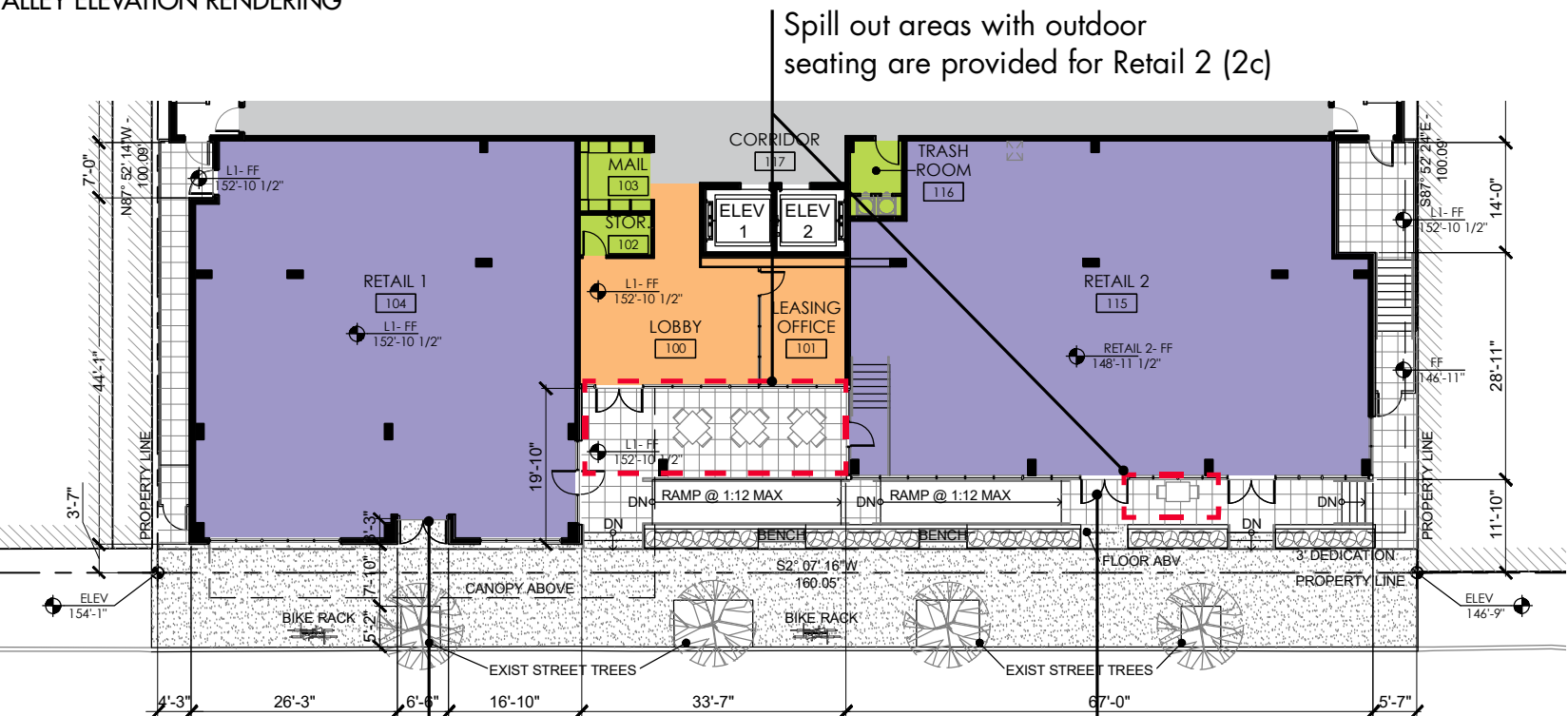
RESPONSE: The building design has been developed to incorporate a retail sidewalk that will stay close to grade with no portion located more than 30” above the existing sidewalk so that guardrails will not be required, which would restrict views in and out of the retail developments. The retail and lobby spaces will be at two different heights, but no area will have less than 13’ floor to floor, in order to meet code and no spaces will be sunken at any area. All spaces will be ADA compliant.

c. The Board supported the concept of the small raised area towards the south end of the site, as it provides an opportunity for activity to spill out from the retail while maintaining a relationship with the sidewalk. This area should be limited to less than 30” tall to avoid the need for a guardrail and to maintain a visual connection with the sidewalk. (CS2-A, PL1-8, PL3-C, PL3-II, C2-A, DC3-A, DC3-B)

RESPONSE: This area has been removed and incorporated into the main pedestrian plaza so that space can be more flexible and usable.



ALLEY ELEVATION RENDERING



GROUND FLOOR PLAN

The retail entrance is at the street level. The retail space has no steps within and is at 152'-10 1/2" (2a & b)

The retail entrance is at the street level. The retail space has no steps within and is at 148'-11 1/2" (2a & b)

EDG RESPONSE

2. STREETScape & PEDESTRIAN EXPERIENCE (CONT.)

d. The Board supported weather protection to support ancillary uses and relate to the architectural composition. (PL2-C)

RESPONSE: Weather protection has been provided along the entire façade along Roosevelt.

e. The Board supported locating a large shared amenity area at the top level, noting that it provided an opportunity to act as a focal point and to tie into the overall design concept. (DC1-A, DC2-A, DC2-B)

RESPONSE: An amenity space has been located on the upper level per the Board’s recommendation.

3. RESIDENTIAL ENTRY & ENTRY COURT

The Board indicated that the residential entry should be reinforced by a small plaza or entry court adjacent to the lobby. (CS2-B, PL1-8, PL1-I, PL2-I, PL3-A, PL3-II, DC2-A, DC3-A, DC3-I)

a. The entry court should be located at or above grade. The Board suggested that the space could spill into the raised area created by the plinth wall along the sidewalk. (DC3-A, DC3-I)

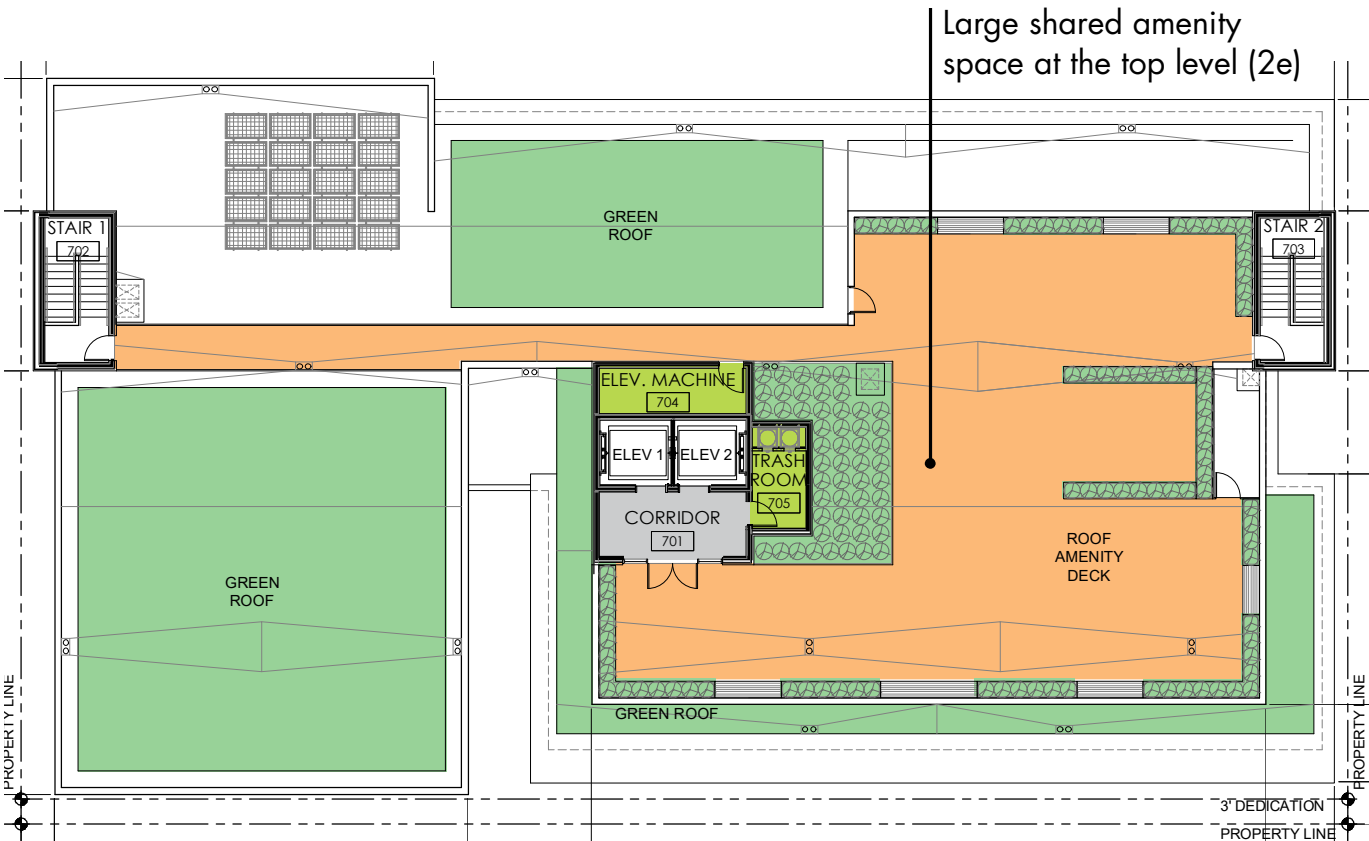
RESPONSE: The entry plaza is located above grade per the Board’s recommendation.

b. Overhead weather protection should be incorporated into the outdoor amenity space at ground level. (PL2-C)

RESPONSE: Overhead weather protection is incorporated in the entry plaza and sidewalks along Roosevelt per the Board’s recommendation.

c. The Board suggested taking cues from the courtyard at the hotel to the north, including wrapping the space with active uses and transparency. (CS2-B, PL2-B, PL3-C)

RESPONSE: We have developed the building design to incorporate a larger pedestrian plaza in the center of the building that is similar to the hotel development. The raised retail sidewalk intersects the plaza from both the north and south, creating a prominent experience along the main façade. Seating and landscaping have been provided as a buffer to the sidewalk as well to soften the edge.



ROOF DECK FLOOR PLAN



RESIDENTIAL ENTRY PERSPECTIVE

EDG RESPONSE

4. ARCHITECTURAL CONCEPT AND FAÇADE COMPOSITION

The Board looks forward to seeing a carefully considered composition that reinforces and retains the clarity of the massing concept. (DC2-A, DC2-B, DC2-C)
a. The Board supported a play on the proportions in Option 1 that related to the adjacent 1-story commercial structure (Hardwicks).

RESPONSE: The design has a smaller scale horizontal massing element along Roosevelt that responds to smaller scale developments in the surrounding context which is in keeping with the Board’s recommendation.

b. The Board supported the intention of the design cues on p. 29, and encouraged a playful expression that relates to the eclectic context.

RESPONSE: This has been further developed and complies with the Board recommendation.

c. If moving forward with the concept of a monochromatic field marked with accent colors, the Board cautioned that the composition be thoughtful and demonstrate a judicious application of design concept.

RESPONSE: This has been further developed and complies with the Board recommendation.

d. The Board supported the conceptual sketch which indicated the center mass at the courtyard would express a different design language than the end masses.

RESPONSE: This has been further developed to only include one bookend massing, while expressing the south end of the façade with a massing similar to what was designed in the center previously.

5. SECURITY

a. The Board expressed concern about security and privacy along the alley, and noted that any fencing or screening should be aesthetically pleasing as it will be visible from the residential uses across the alley and the ground-level units. (CS2-D, CS2-II, PL2-C)

RESPONSE: The design includes a concrete wall at the face of the parking garage with the building setback an additional 5’. Landscaping will be provided in a planter along the entire façade to create a buffer from the alley for the residential units. The fitness center has been located to the north of this façade as it is the closest in proximity to the level of the alley pavement, which will help with the function of security.

b. The Board supported moving the interior amenity area from the basement to an above-grade location or to ground-level along the alley to provide additional views into the public realm for increased security. (PL2-B, DC1-A)

RESPONSE: The fitness center amenity area has been moved to the street level per the Board’s recommendation.



ROOSEVELT WAY NE RENDERING



ALLEY VIEW RENDERING

Landscaping to provide aesthetically pleasing facade and concrete retaining wall to create privacy (5a)

FLOOR PLAN PARKING LEVEL 1



FLOOR PLAN PARKING LEVEL 2



FLOOR PLAN LEVEL ONE PLAN



FLOOR PLAN LEVEL TWO PLAN



FLOOR PLAN LEVEL THREE PLAN



FLOOR PLAN LEVEL FOUR PLAN



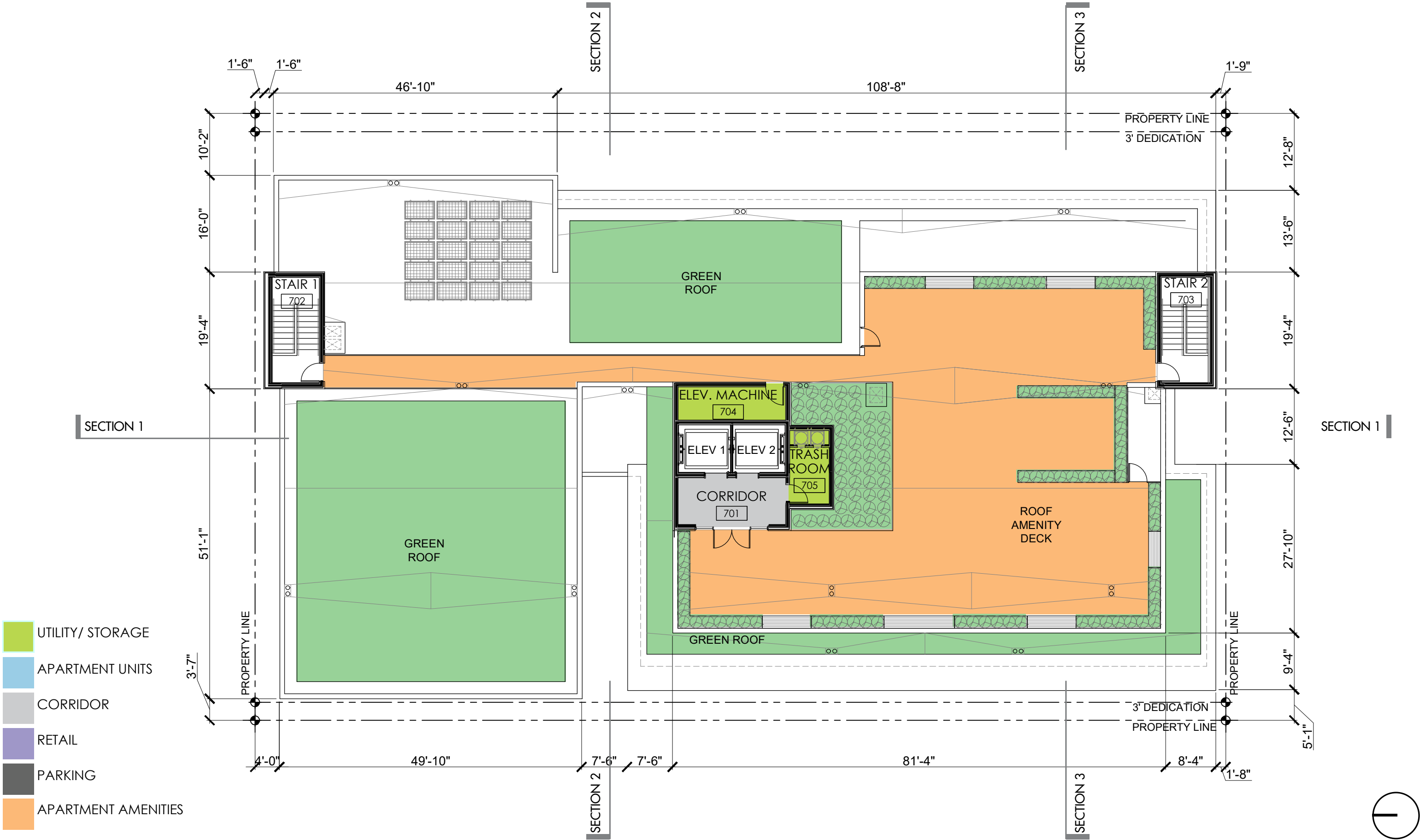
FLOOR PLAN LEVEL FIVE PLAN



FLOOR PLAN LEVEL SIX PLAN



FLOOR PLAN ROOF PLAN



LANDSCAPE SITE PLAN



DINING & LOUNGE FURNISHINGS



GREEN ROOF



WOOD DECKING



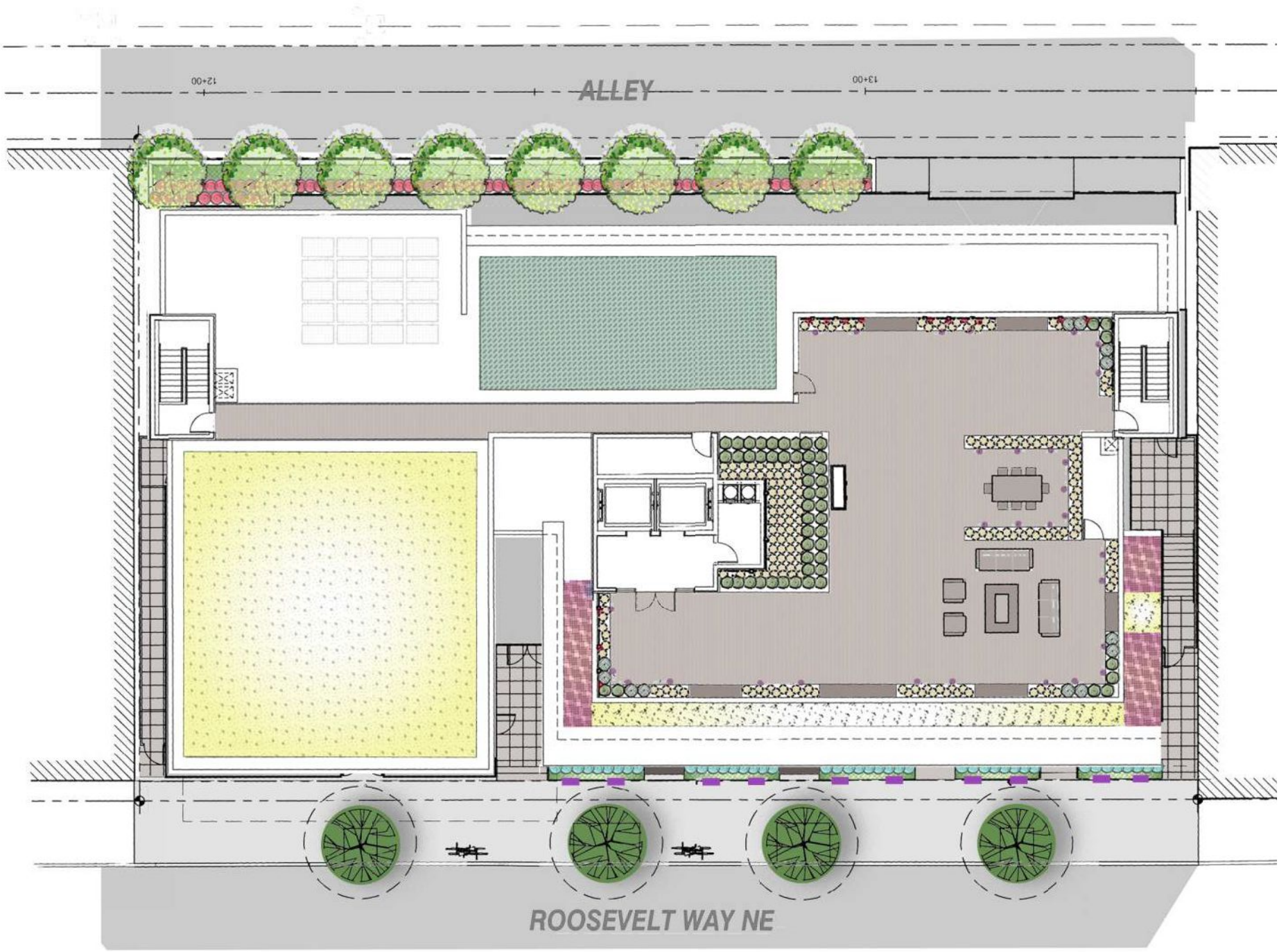
RAISED METAL PLANTERS



VEGETATED WALLS



GROUND FLOOR SITE FURNISHINGS



LANDSCAPE GROUND FLOOR PLAN



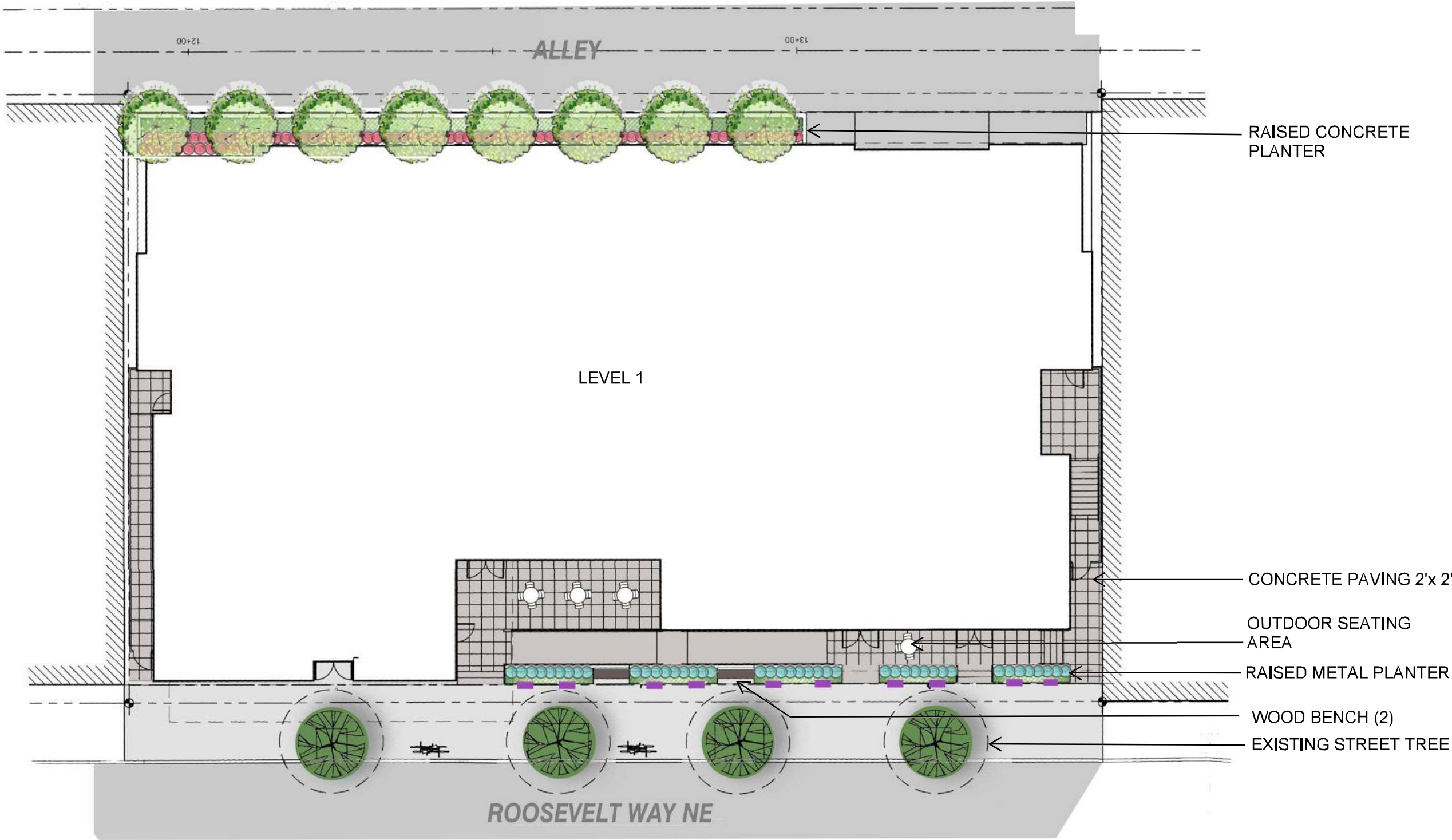
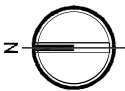
Acer circinatum
Vine Maple



Nandina 'Gulf Stream'
Heavenly Bamboo



Taxus 'Densiformis'
Dense Yew



LANDSCAPE ROOFTOP



Rosa x 'Flower Carpet White'



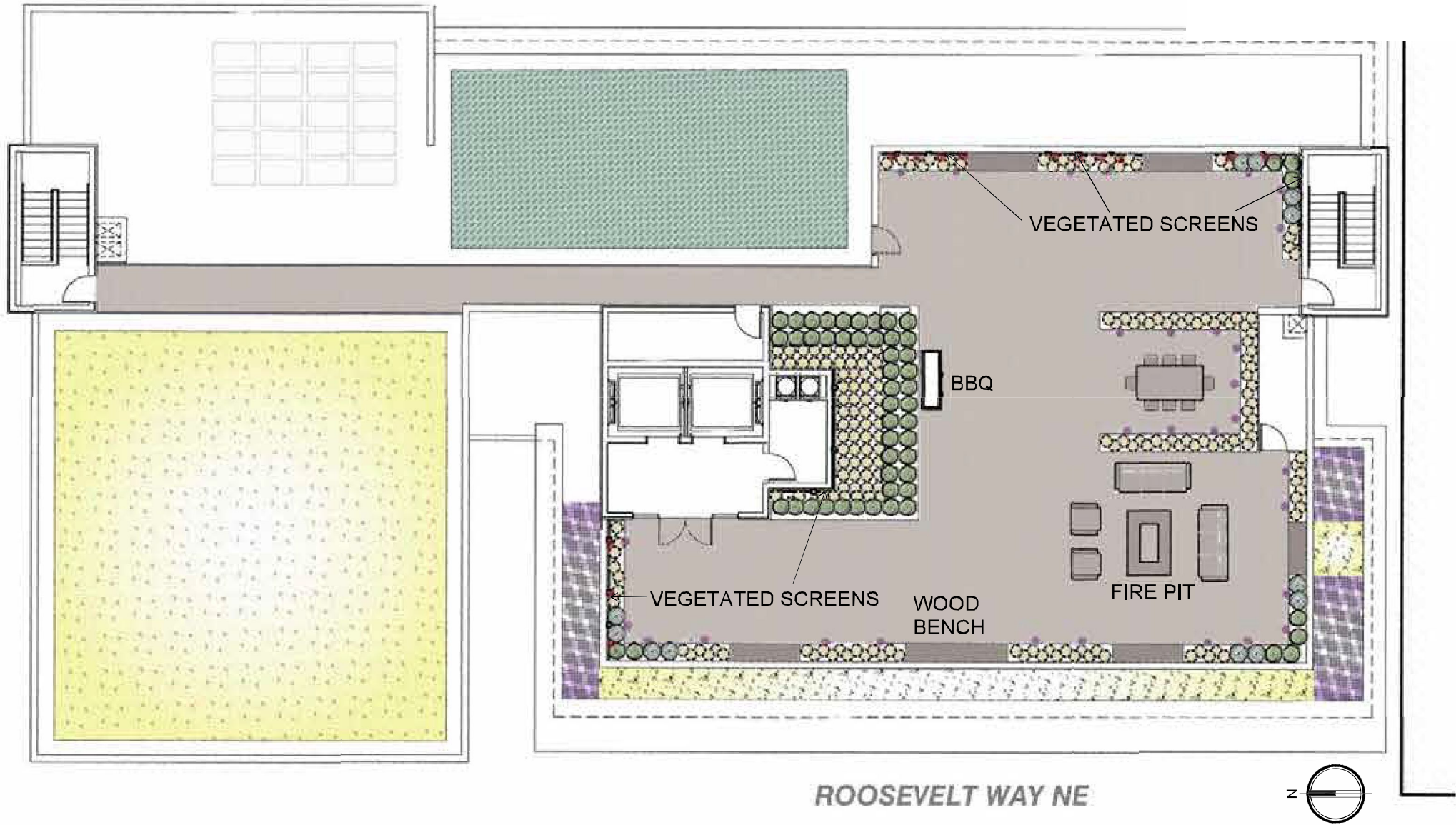
Taxus 'Dark Green Spreader'
Dark Green Spreader Yew



Nassella tenuissima
Mexican Feather Grass



Hydrangea integrifolia
Evergreen Climbing Hydrangea



Rosmarinus 'Irene'
Irene Trailing Rosemary



Sedum album 'Coral Carpet'
Coral Carpet Stonecrop



Sedum album 'Murale'
Chubby Fingers



Sedum kamtschaticum
Orange Stonecrop







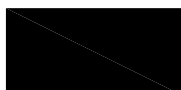




Sedum kamtschaticum
Orange Stonecrop

ELEVATIONS WEST



ELEVATIONS NORTH



COLOR 1 - MUTUAL MATERIALS CO - RAVEN  01 MUTUAL MATERIALS CO. - 2-1/2" X 7-1/2" STANDARD FACE BRICK, SMOOTH TEXTURE	COLOR 3 - TYGER DRYLAC POWDER COATINGS - 049/22280  05 PAINTED FIBER CEMENT PANEL 06 POWDER COATED STEEL CANOPY	COLOR 5 - AEP SPAN - "METALLIC SILVER"  09 AEP SPAN - NU WAVE - METALLIC SILVER CORRUGATED METAL SIDING	COLOR 7 - CORTEN STEEL  11 CORTEN STEEL PLATE	COLOR 9 - ANODIZED ALUMINUM STOREFRONT - BLACK  13 PAINTED ARCHITECTURAL CONCRETE 14 ALUMINUM STOREFRONT 15 GLASS AND METAL RAILING 16 METAL RAILING 17 METAL AND WOOD FENCE
COLOR 2 - JAMES HARDIE - "ARCTIC WHITE"  02 JAMES HARDIE FIBER CEMENT PANEL 03 PAINTED ARCHITECTURAL CONCRETE 04 METAL REVEAL TO MATCH HARDIE PANEL ABV	COLOR 4 - TYGER DRYLAC POWDER COATINGS - 049/24570  07 PAINTED FIBER CEMENT PANEL 08 POWDER COATED METAL PANEL	COLOR 6 - AEP SPAN - "ZACTIQUE II"  10 AEP SPAN - NU WAVE - ZACTIQUE II CORRUGATED METAL SIDING	COLOR 8 - SEALED CONCRETE  12 ARCHITECTURAL CONCRETE	

ELEVATIONS EAST



COLOR 1 - MUTUAL MATERIALS CO - RAVEN



01

MUTUAL MATERIALS CO. - 2-1/2" X 7-1/2" STANDARD FACE BRICK, SMOOTH TEXTURE

COLOR 3 - TYGER DRYLAC POWDER COATINGS - 049/22280



05

PAINTED FIBER CEMENT PANEL
POWDER COATED STEEL CANOPY

COLOR 5 - AEP SPAN - "METALLIC SILVER"



09

AEP SPAN - NU WAVE - METALLIC SILVER
CORRUGATED METAL SIDING

COLOR 7 - CORTEN STEEL



11

CORTEN STEEL PLATE

COLOR 2 - JAMES HARDIE - "ARCTIC WHITE"



02

JAMES HARDIE FIBER CEMENT PANEL
PAINTED ARCHITECTURAL CONCRETE
METAL REVEAL TO MATCH HARDIE
PANEL ABV

COLOR 4 - TYGER DRYLAC POWDER COATINGS - 049/24570



07

PAINTED FIBER CEMENT PANEL
POWDER COATED METAL PANEL

COLOR 6 - AEP SPAN - "ZACTIQUE II"



10

AEP SPAN - NU WAVE - ZACTIQUE II
CORRUGATED METAL SIDING

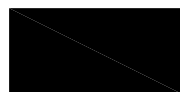
COLOR 8 - SEALED CONCRETE



12

ARCHITECTURAL CONCRETE

COLOR 9 - ANODIZED ALUMINUM STOREFRONT - BLACK



13

PAINTED ARCHITECTURAL
CONCRETE
ALUMINUM STOREFRONT

14

GLASS AND METAL RAILING

15

METAL RAILING





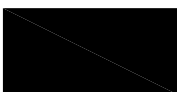




16

METAL AND WOOD FENCE

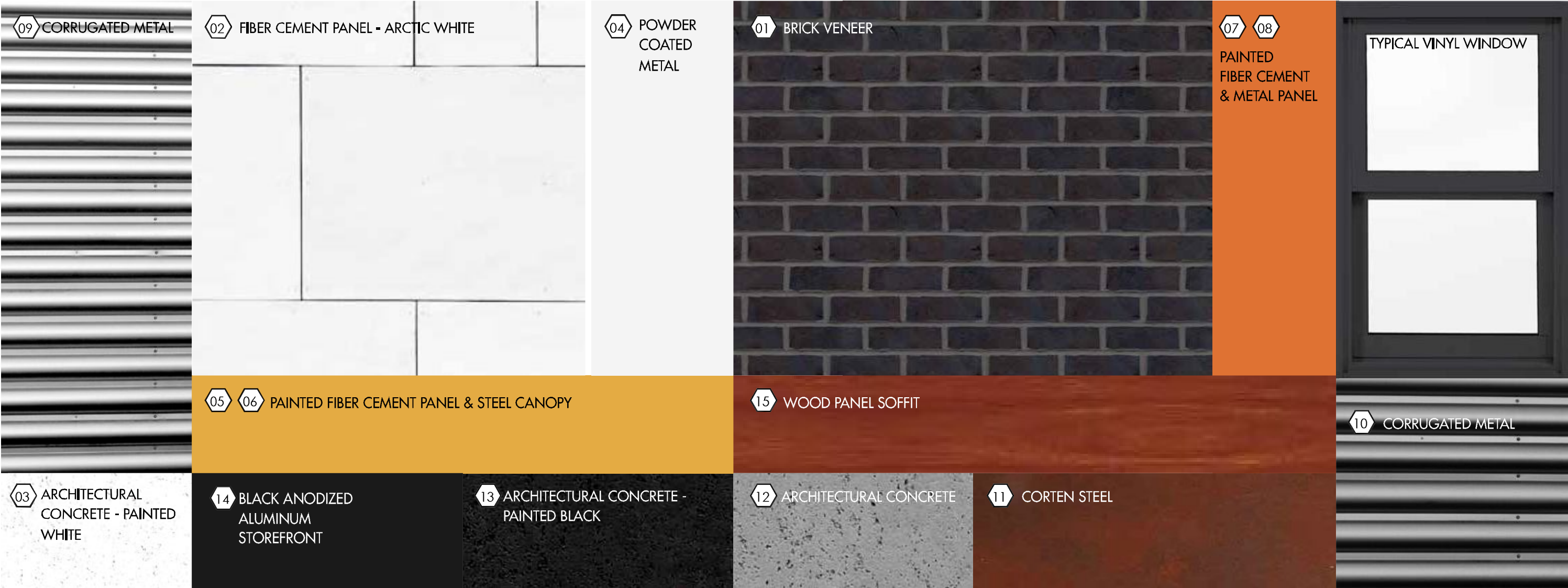
17

ELEVATIONS SOUTH



COLOR 1 - MUTUAL MATERIALS CO - RAVEN	COLOR 3 - TYGER DRYLAC POWDER COATINGS - 049/22280	COLOR 5 - AEP SPAN - "METALLIC SILVER"	COLOR 7 - CORTEN STEEL	COLOR 9 - ANODIZED ALUMINUM STOREFRONT - BLACK
 01 MUTUAL MATERIALS CO. - 2-1/2" X 7-1/2" STANDARD FACE BRICK, SMOOTH TEXTURE	 05 PAINTED FIBER CEMENT PANEL 06 POWDER COATED STEEL CANOPY	 09 AEP SPAN - NU WAVE - METALLIC SILVER CORRUGATED METAL SIDING	 11 CORTEN STEEL PLATE	 13 PAINTED ARCHITECTURAL CONCRETE 14 ALUMINUM STOREFRONT 15 GLASS AND METAL RAILING 16 METAL RAILING 17 METAL AND WOOD FENCE
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 02 JAMES HARDIE FIBER CEMENT PANEL 03 PAINTED ARCHITECTURAL CONCRETE 04 METAL REVEAL TO MATCH HARDIE PANEL ABV	 07 PAINTED FIBER CEMENT PANEL 08 POWDER COATED METAL PANEL	 10 AEP SPAN - NU WAVE - ZACTIQUE II CORRUGATED METAL SIDING	 12 ARCHITECTURAL CONCRETE	

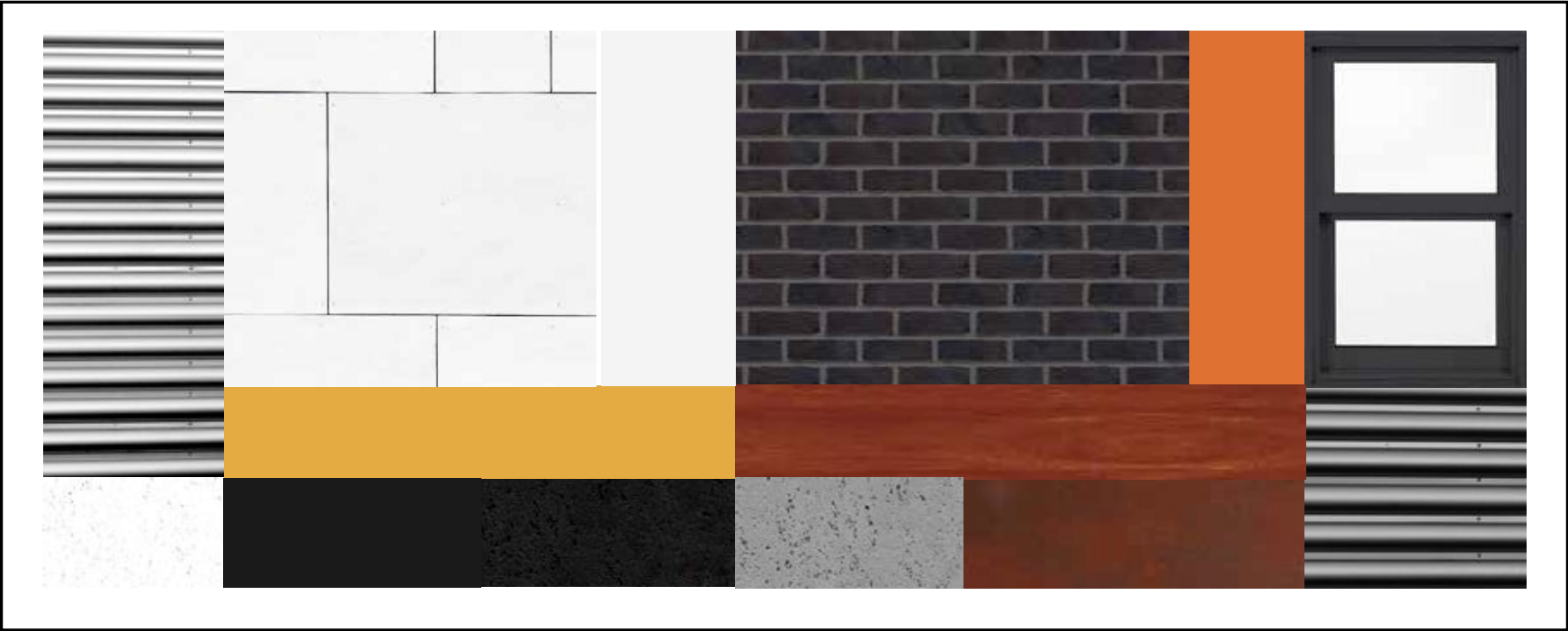
MATERIAL AND COLOR PALETTE



TYPICAL WALL VENT,
COLOR TO MATCH WALL FINISH

MATERIAL BOARD

NOTE: THE MATERIAL BOARD WILL BE PRESENTED AT THE MEETING



ADJACENT CONTEXT ROOSEVELT WAY NE



RENDERINGS



VIEW OF THE RESIDENTIAL ENTRANCE AND RETAIL AT ROOSEVELT WAY NE

RENDERINGS



VIEW FROM ROOSEVELT WAY NE

RENDERINGS



VIEW FROM ROOSEVELT WAY NE

RENDERINGS



VIEW FROM ROOSEVELT WAY NE

RENDERINGS



VIEW FROM ROOSEVELT WAY NE

LIGHTING GROUND FLOOR PLAN



A. WALL MOUNTED
LIGHT FIXTURE



B. WALL MOUNTED
STEP LIGHT



C. WALL MOUNTED
LIGHT FIXTURE



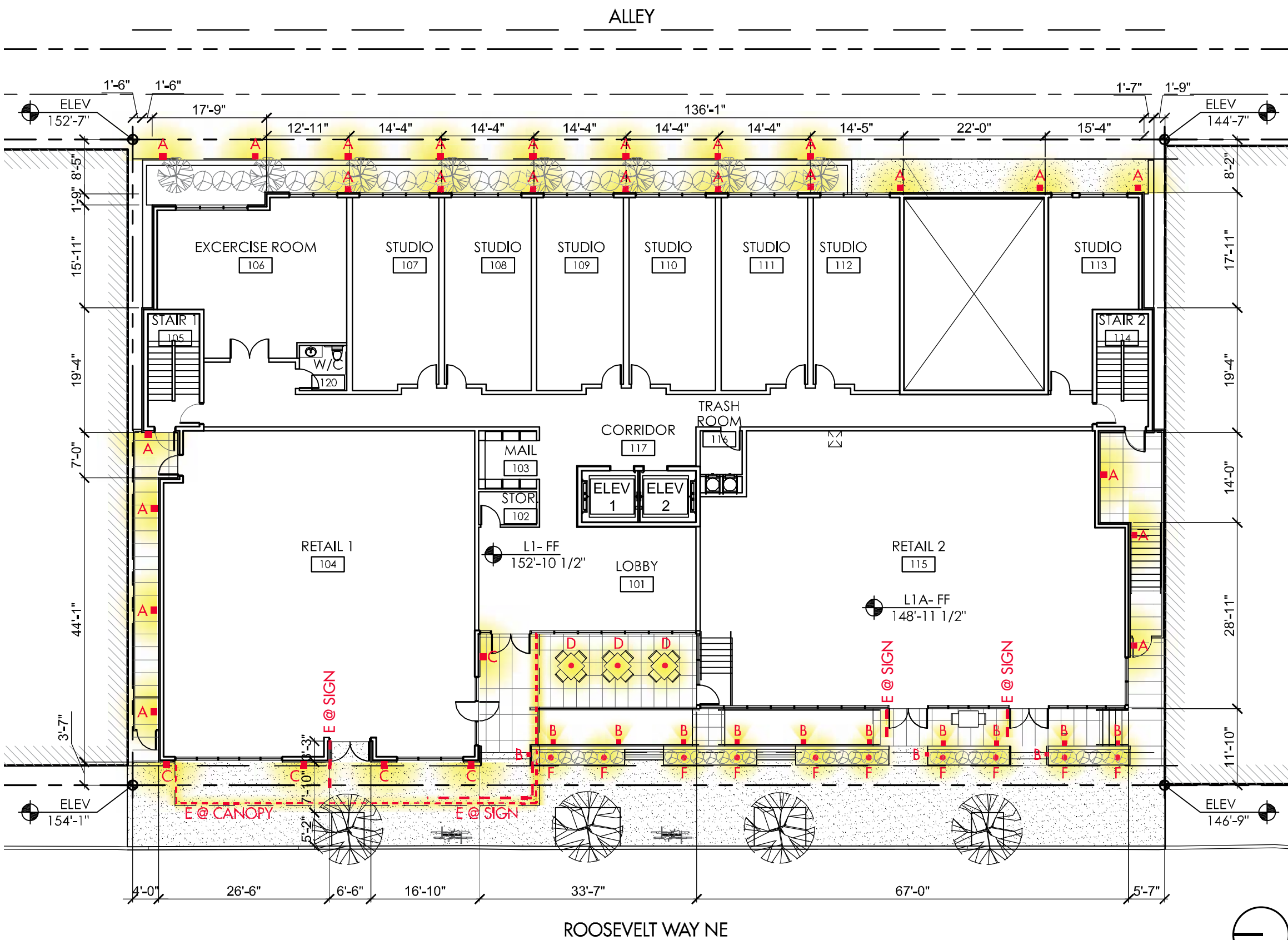
D. RECESSED CEILING
MOUNTED LIGHT



E. EXTERIOR GRADE
LED STRIP LIGHTING



F. LANDSCAPE
IN-GROUND LIGHT
FIXTURE



LIGHTING SIXTH FLOOR AND ROOF PLAN



A. WALL MOUNTED
LIGHT FIXTURE



B. RECESSED FLOOR
MOUNTED LIGHT



C. WALL MOUNTED
LIGHT FIXTURE



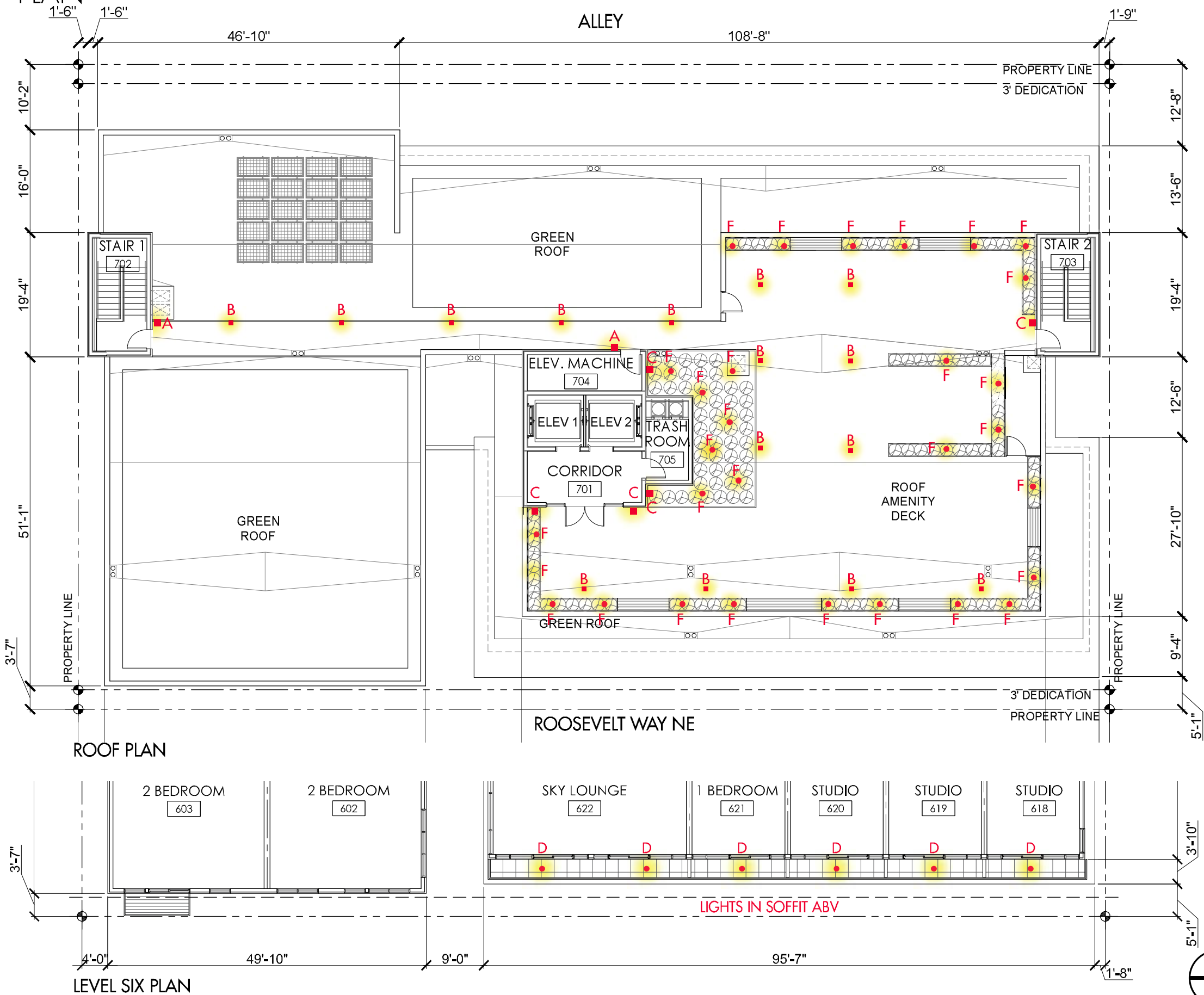
D. RECESSED CEILING
MOUNTED LIGHT



E. LED STRIP
LIGHTING



F. LANDSCAPE
IN-GROUND LIGHT
FIXTURE





WEST (ROOSEVELT WAY) ELEVATION



EAST (ALLEY) ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

LIGHTING VISUALS



PRODUCT RENDERING
DOUBLE-SIDED VERTICAL WALL
MOUNTED SCONCE (C)



INSPIRATION IMAGE
PLANTER MOUNTED STEP LIGHT GRAZING THE WALKWAY



INSPIRATION IMAGE
DECK MOUNTED LIGHTING



INSPIRATION IMAGE
IN-PLANTER LIGHTING



INSPIRATION IMAGE
LINEAR LED STRIP AT CANOPY



PRODUCT RENDERING
WALL MOUNTED SCONCE (A)

SIGNAGE CONCEPT



CANTILEVERED WALL MOUNTED RETAIL SIGN



CANOPY MOUNTED RESIDENTIAL SIGN

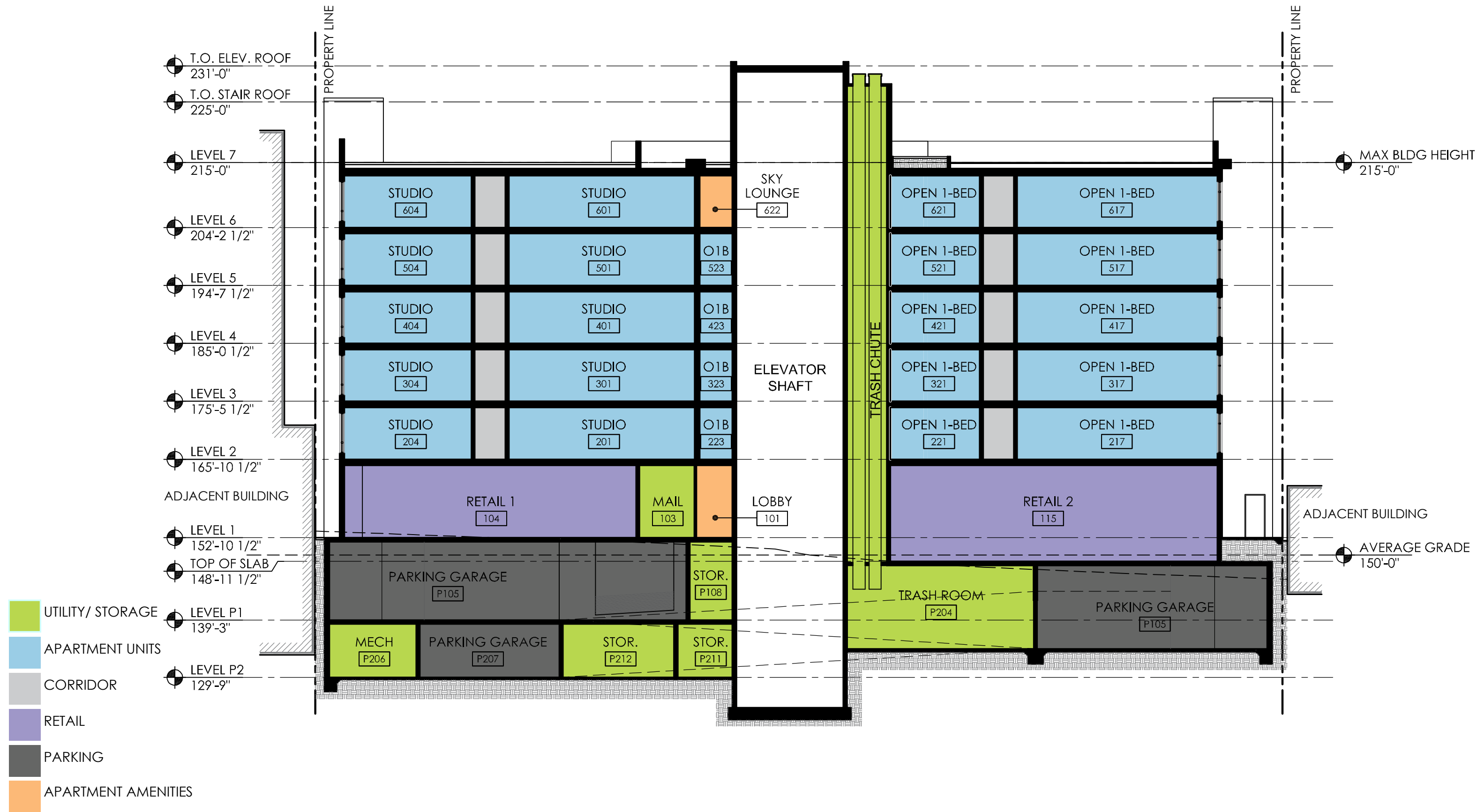


GLASS FILM SIGN

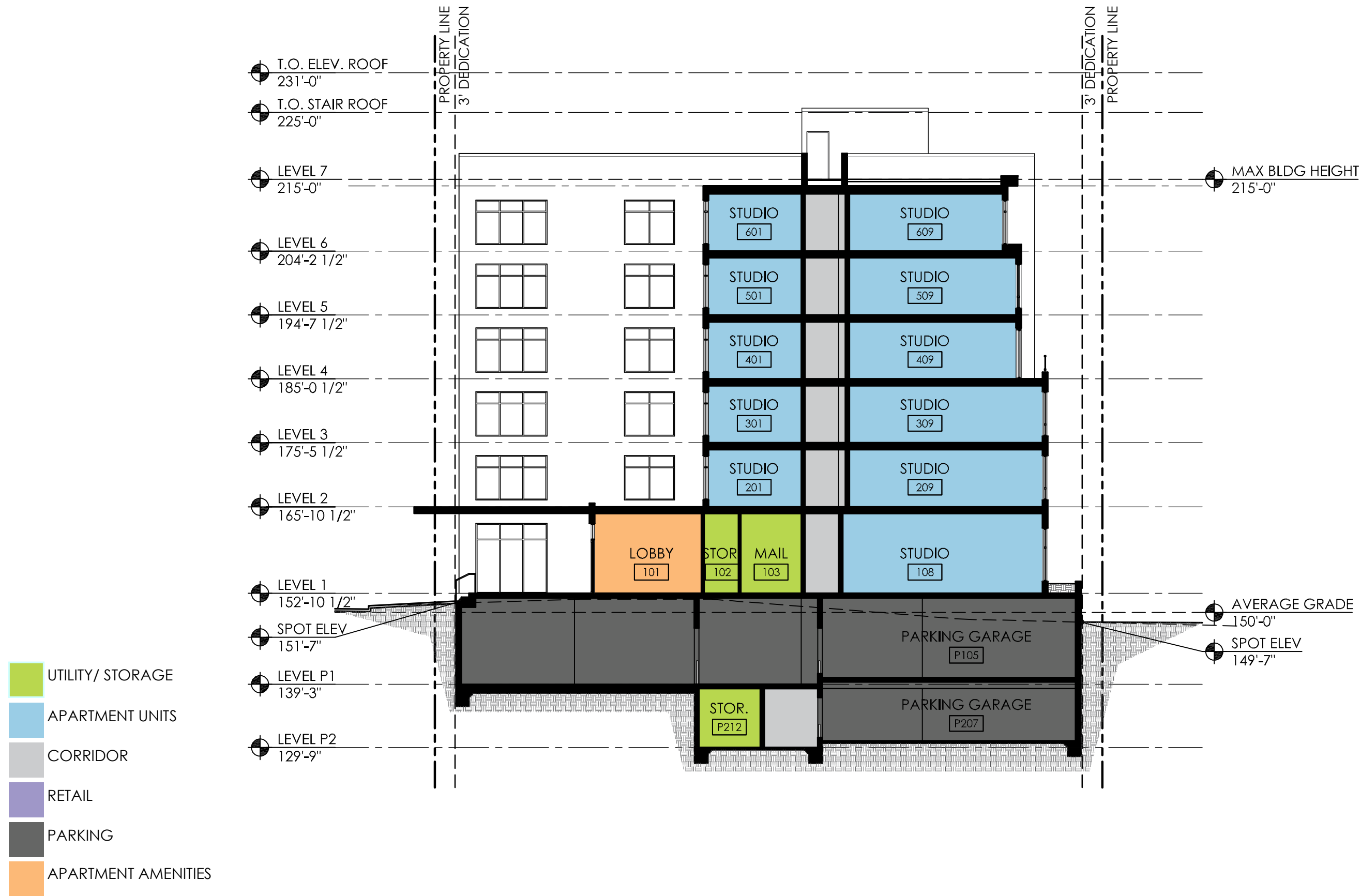


GLASS FILM RETAIL GRAPHICS

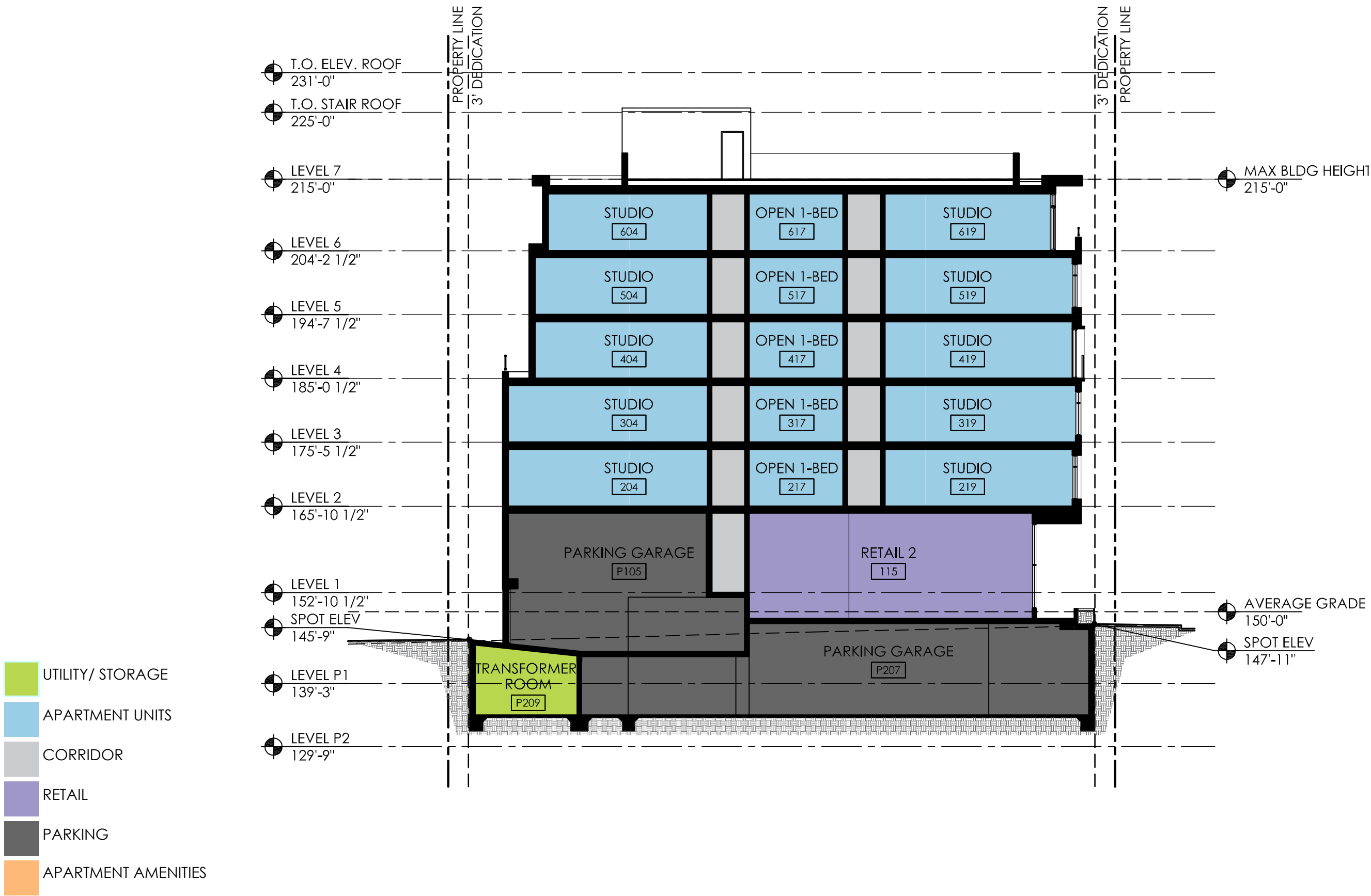
SECTION 1 NORTH-SOUTH



SECTION 2 EAST-WEST

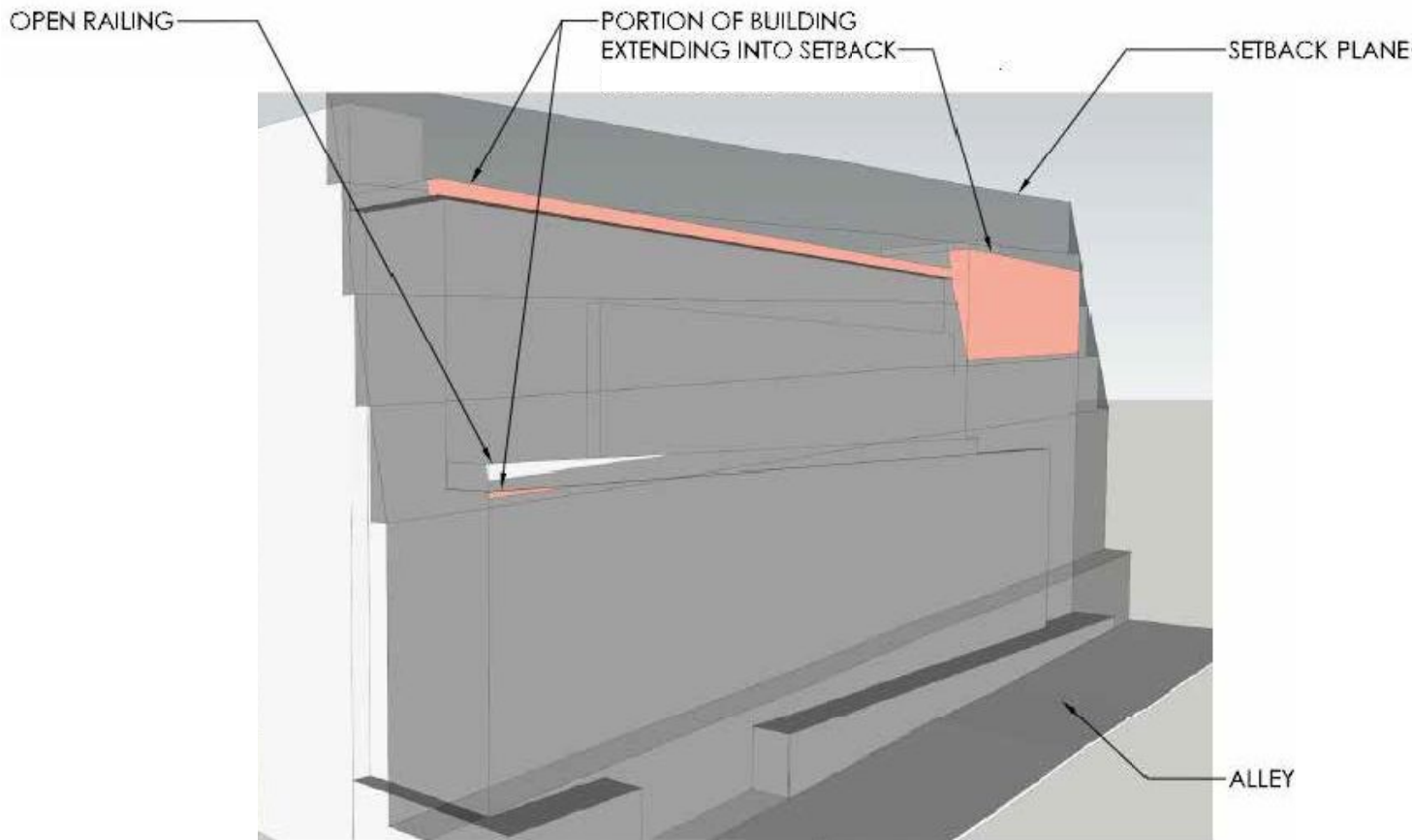


SECTION 3 EAST-WEST

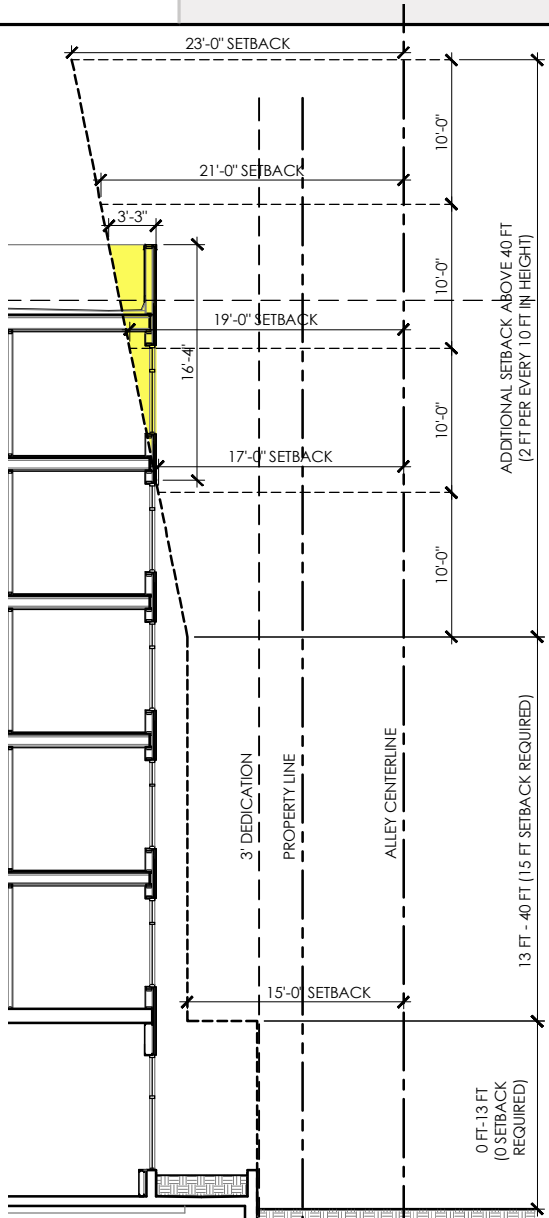


DEPARTURE REQUEST 1

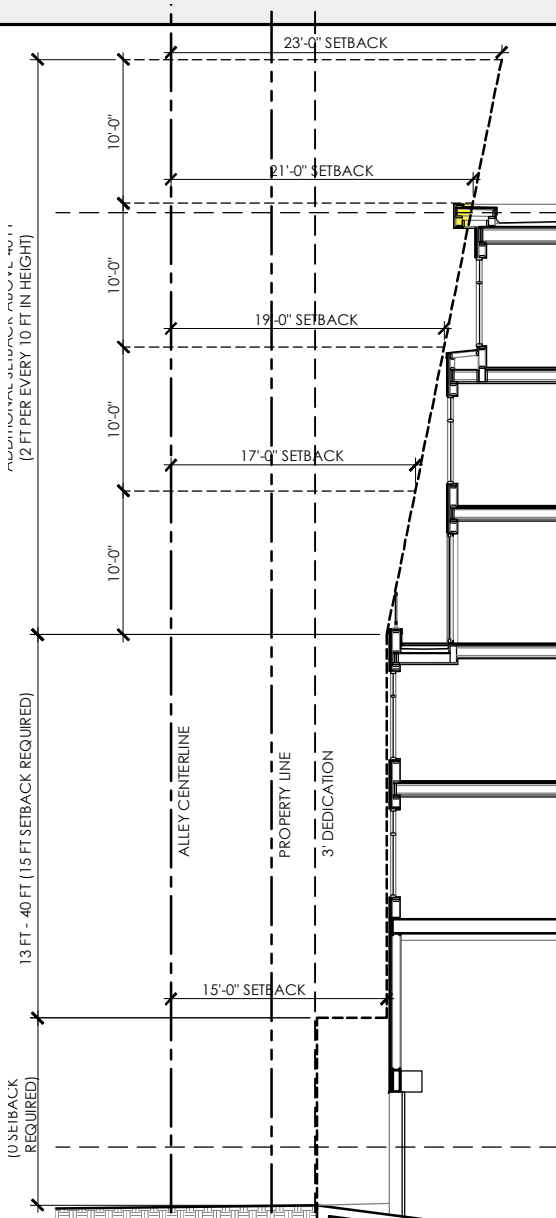
DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D1	SMC 23.47A.014.B.3 - For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows: for portions of structure 13'-40' in height, 15'. for portions of structure above 40' in height, additional setback of 2' every 10'	Requesting a reduction of required setback at the northeast and southeast corners of the east facade: 1) a 108'-3" wide by 1'-6" high portion of the 'eyebrow canopy' at the southeast corner encroaches 1'-5" into the 70' setback at roof level. 2) a 46'-7" wide by 17'-6 1/2" high portion of level 7 and roof parapet at the northeast corner encroaches a maximum of 3'-0" into the setback between 50' and 70'. 3) a 12'-10" wide by 7 1/2" high portion of level 4 deck area at the southeast corner encroaches a maximum of 1 1/2" into the setback.	We are requesting a reduction in the upper story setback for a very small portion of the building on the top level so that we can have adequate modulation along the alley façade to break up the building horizontally and vertically. This will enhance the façade and allow it to be more aesthetically pleasing for the neighboring developments. The departure request would only be for the north 46 feet of the alley façade and an average of a reduction of 18" for the top floor setback. The building to the north, adjacent to this façade, does not have an upper story setback either, so we would be aligning our proposed building to match and play off of their massing as well to enhance the connection of the two projects.



ALLEY FACADE DIAGRAM



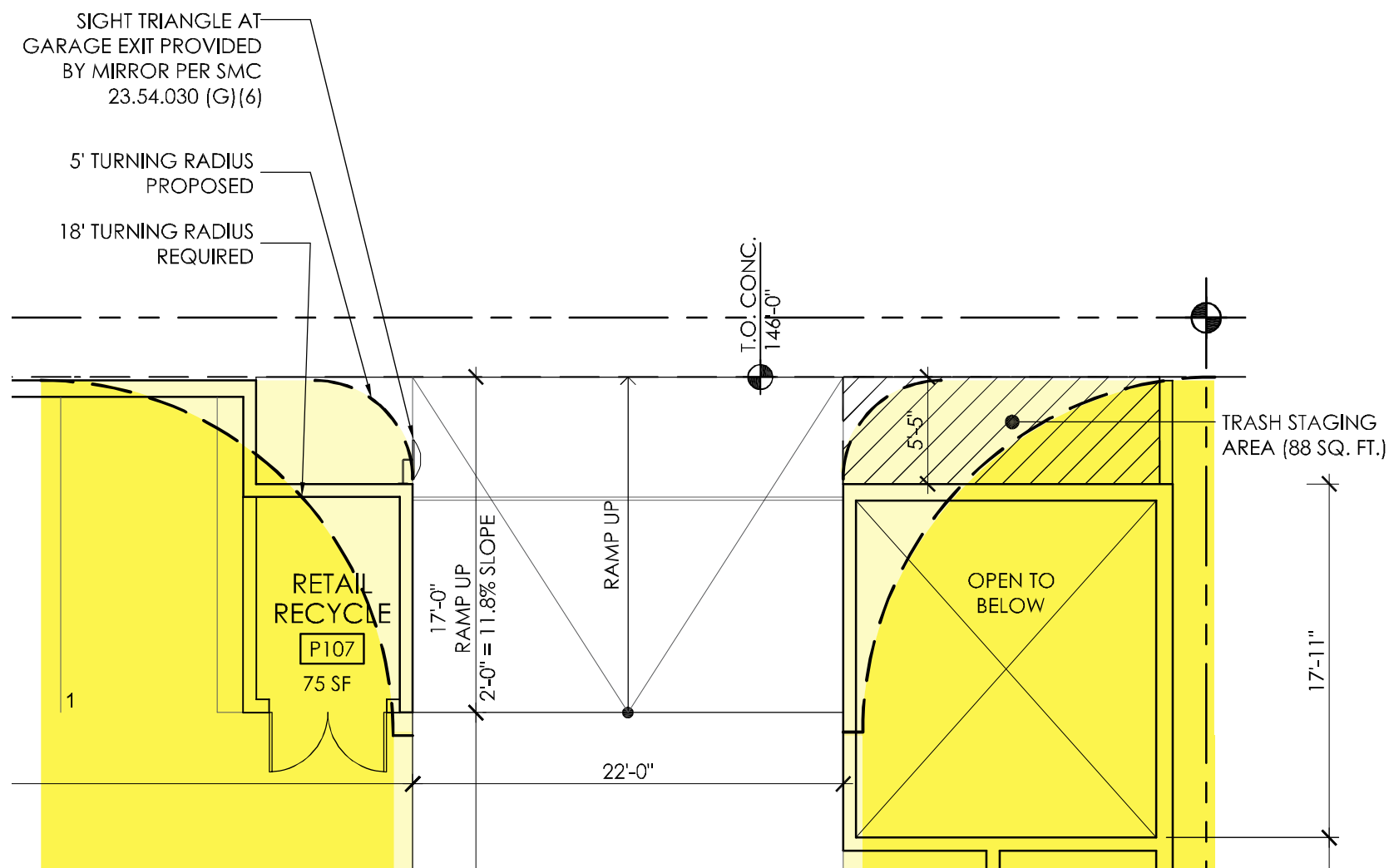
SECTION THROUGH NORTH ENCROACHMENT



SECTION THROUGH SOUTH ENCROACHMENT

DEPARTURE REQUEST 2

DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
2 D2	SMC 23.54.030.D.1.E - Driveways with a turning radius of more than 35 degrees shall conform to the minimum turning path radius shown in exhibit b.	We are requesting a reduction of the required turning radius from 18' to 5' and a reduction of the required width of two way driveway from 24' to 22'.	Due to the limited space available between the alley and the garage entry door, we are requesting a departure from the 18' radius required. The building has been recessed at both sides of the entry door to provide additional maneuvering space and to increase visibility as vehicles enter and exit the garage. However with the driveway at only 5'-3" deep, we believe a 18' turning radius is both impractical and unnecessary. Due to lower traffic volume and slower vehicle speed in the alley we feel the updated driveway configuration provides a safe and effective means to access the alley.

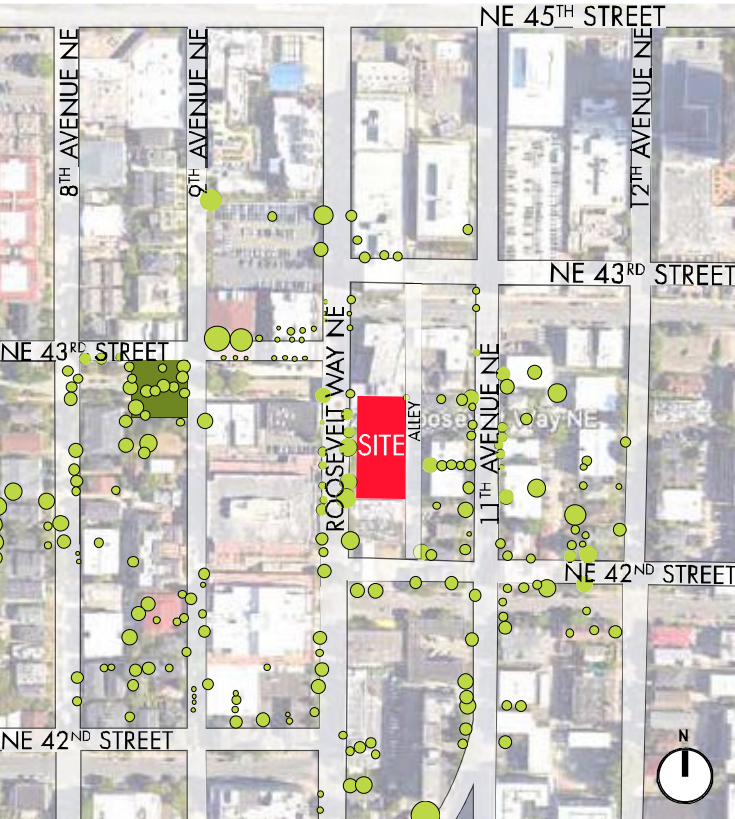


DEPARTURE 2 - PARKING LEVEL ENTRY FLOOR PLAN

SUPPLEMENTAL INFORMATION SITE ANALYSIS

TREES + SURROUNDING PARKS

No significant trees have been identified within the boundaries of our site. There are street trees to the west edge of the site along Roosevelt Way NE. West of the site is Christie Park, a neighborhood park that offers picnic space, drinking fountains, public artwork, and a basketball court.

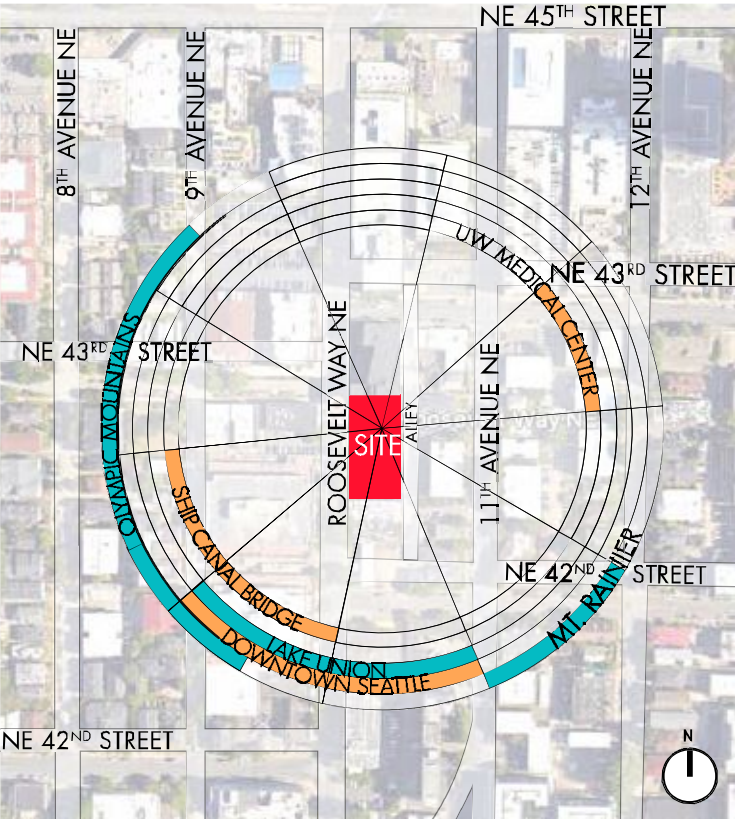


TREES LEGEND

- Site
- Trees
- Park

SIGNIFICANT VIEWS

There are no immediate ground level views due to the heights of the surrounding buildings. The upper floors and the building's rooftop may have views of the surrounding neighborhood, Downtown Seattle, the Olympic Mountains, Mt. Rainier, and of South Lake Union.

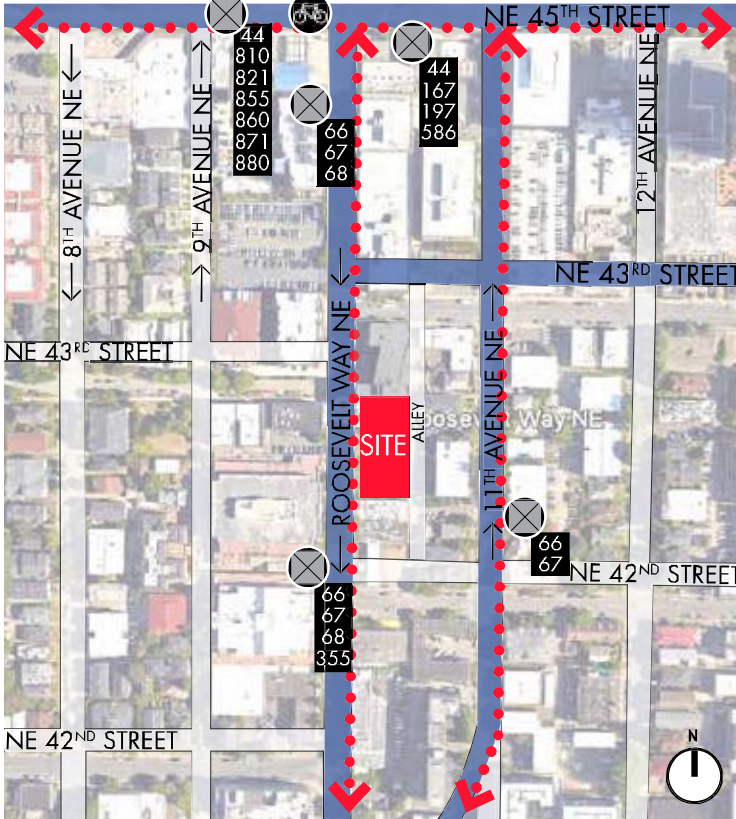


VIEWS LEGEND

- Site
- Neighborhoods and Structures
- Natural Surroundings

ACCESS OPPORTUNITIES + CONSTRAINTS

The site is currently a surface parking lot. Roosevelt Way and 8th Avenue are both designated one-way streets that run north to south. 11th Avenue NE and 9th Avenue are also both designated one-way streets that run south to north. There are five nearby bus stops. Two stops are located on Roosevelt Way, two are on 45th Street, and one is located on 11th Avenue. There are three dedicated bike lanes surrounding the site located on Roosevelt Way, 11th Avenue, and on 45th Street. There is also a bike shop located on 45th Street. Pedestrian access to the site occurs from Roosevelt Way.

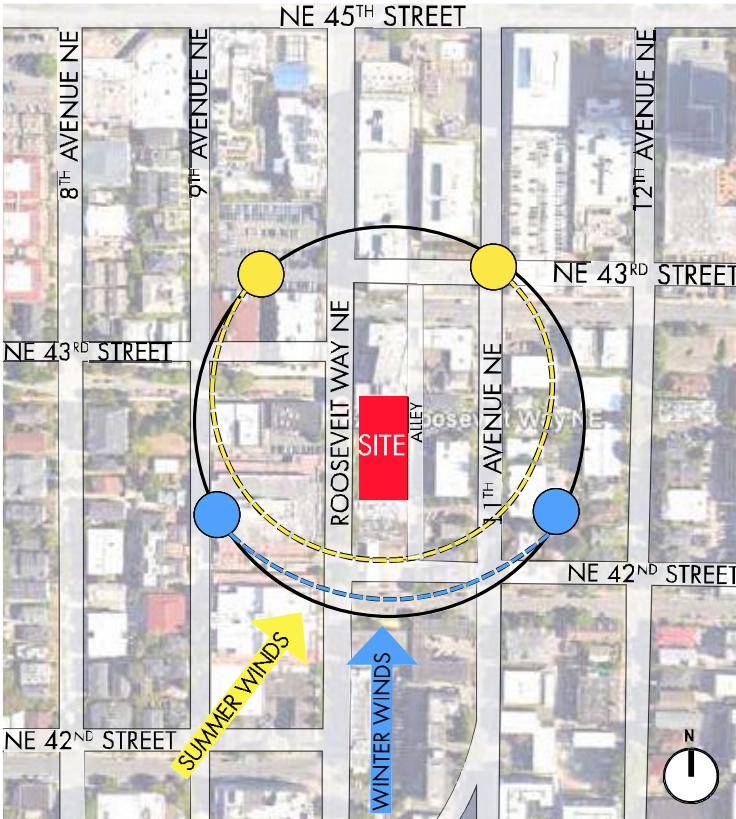


ACCESS/CIRCULATION LEGEND

- Site
- Direction of Traffic
- Arterial Streets
- Alley access
- Bike Routes
- Bus Stops
- Bike Shop

SOLAR EXPOSURE + PREVAILING WINDS

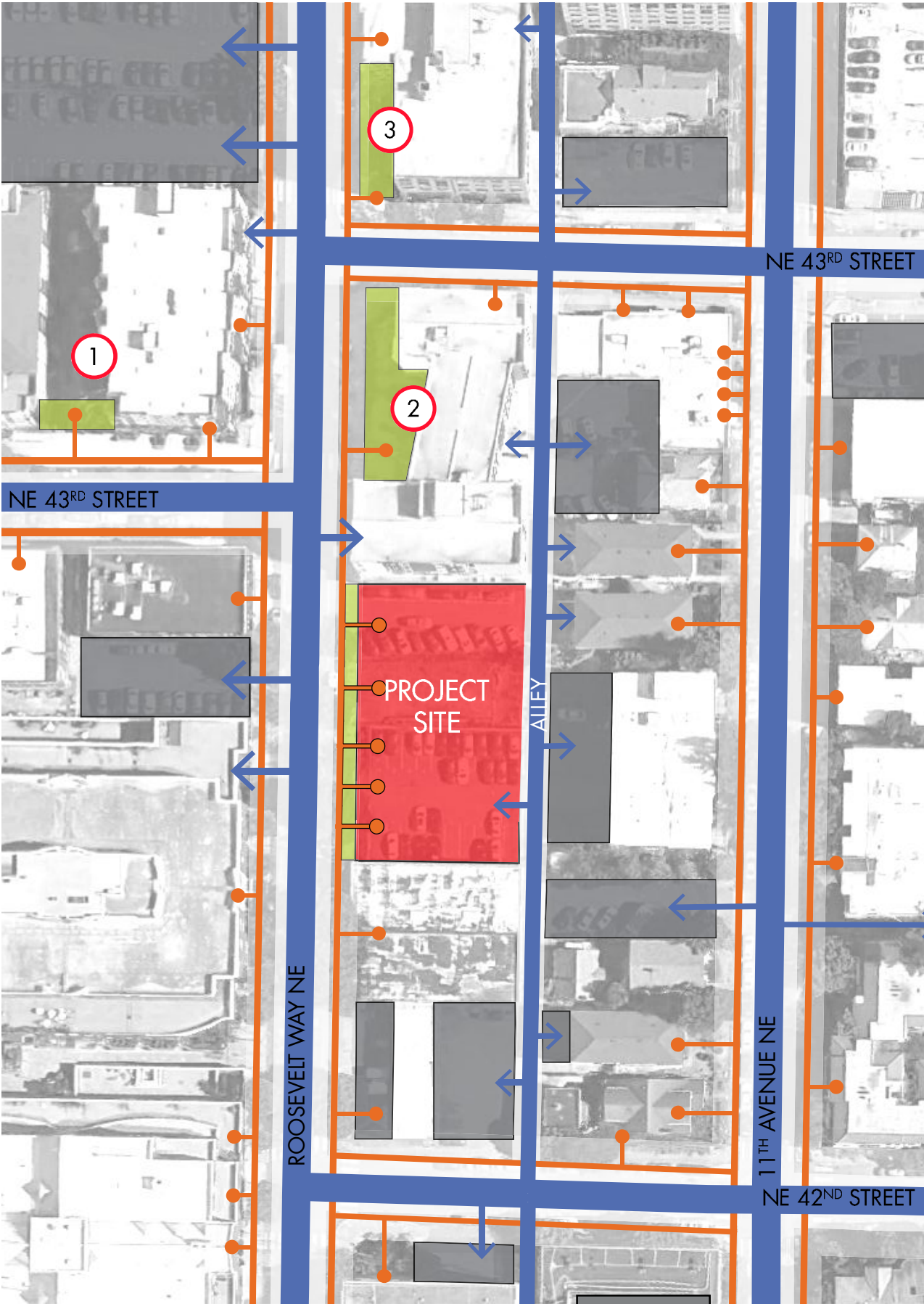
The site is enclosed by a 6-story building to the north, 4-story building to the east, and 3 and 4-story buildings to the west. There is a 1-story retail shop to the south of the site. Due to the lower building height on the south side of the site, the proposed design will be exposed to the sun and wind on the design's southern facade.



SOLAR/WINDS LEGEND

- Site
- Summer Sun and Winds
- Winter Sun and Winds

SUPPLEMENTAL INFORMATION SURROUNDING CIRCULATION/ENTRIES



VEHICULAR/PEDESTRIAN ENTRY POINTS

The primary means of circulation on Roosevelt Way NE is by vehicle. A public sidewalk exists on both sides of the street, but only a few of the buildings along Roosevelt are designed for a pedestrian experience. By studying the entry points of the vehicular and pedestrian circulation, we discovered that the majority of the pedestrian entry-ways are located away from the major streets, and most vehicular entries are off of arterials or alley-ways. Below are three examples of pedestrian entries in our vicinity which helped to inform our design concepts.

SURROUNDING PEDESTRIAN ENTRANCES/PLAZAS



1- TRINITY 43RD APARTMENTS ENTRANCE
902 NE 43RD STREET

The Trinity 43rd Apartments have a small plaza dividing the two major masses of the apartment complex. The plaza itself has plantings and a canopy that continues to wrap around the western façade of the building.



2 - WATERTOWN HOTEL ENTRANCE
4242 ROOSEVELT WAY NE | HOTEL

The Watertown Hotel's street level plaza is composed of a series of steps, platforms, and plantings that are combined to create a unique spatial experience for those entering the hotel lobby and along Roosevelt Way. Due to the change in topography the topography is composed of a series of stairs and platforms to make the change in topography more comfortable for pedestrians passing by.



3- UW ROOSEVELT COMMONS ENTRANCE
4300 ROOSEVELT WAY NE | CLASSROOM/ADMIN

The pedestrian entry into the UW Roosevelt commons is elevated on a platform that separates the pedestrian from the car circulation on street level. The designers used the platform as not only a means of separation but also as an opportunity for plantings and green space for the building's exterior.

PEDESTRIAN/VEHICULAR CIRCULATION ENTRIES LEGEND

- Site
- Vehicular Routes/Entries
- Pedestrian Routes/Entries
- Parking Lots
- Residential Entry Plazas

SUPPLEMENTAL INFORMATION STREETSCAPE



SUPPLEMENTAL INFORMATION STREETSCAPE



4218 SITE FROM ALLEY

PROJECT SITE
View of site facing East, from Alley



ACROSS ALLEY

PROJECT SITE
View of site facing East, from Alley

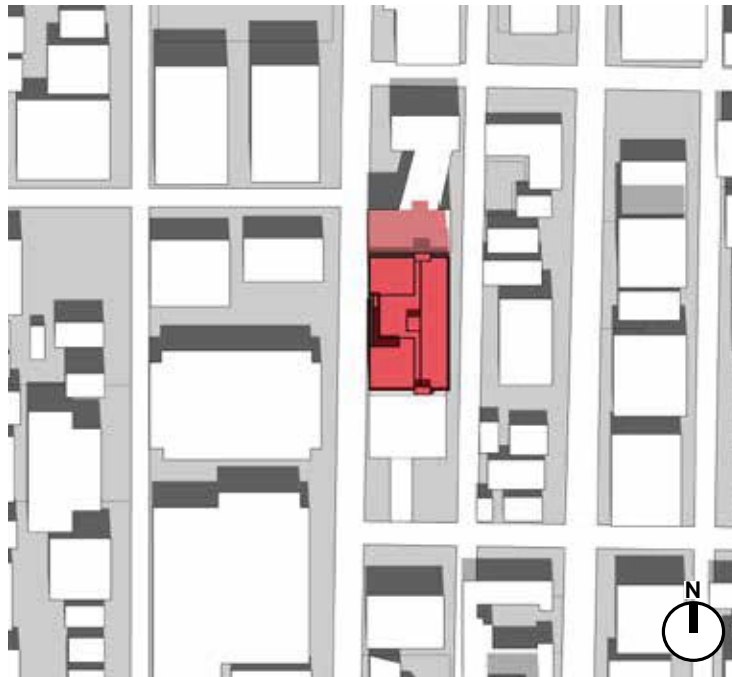
SUPPLEMENTAL INFORMATION SHADOW ANALYSIS



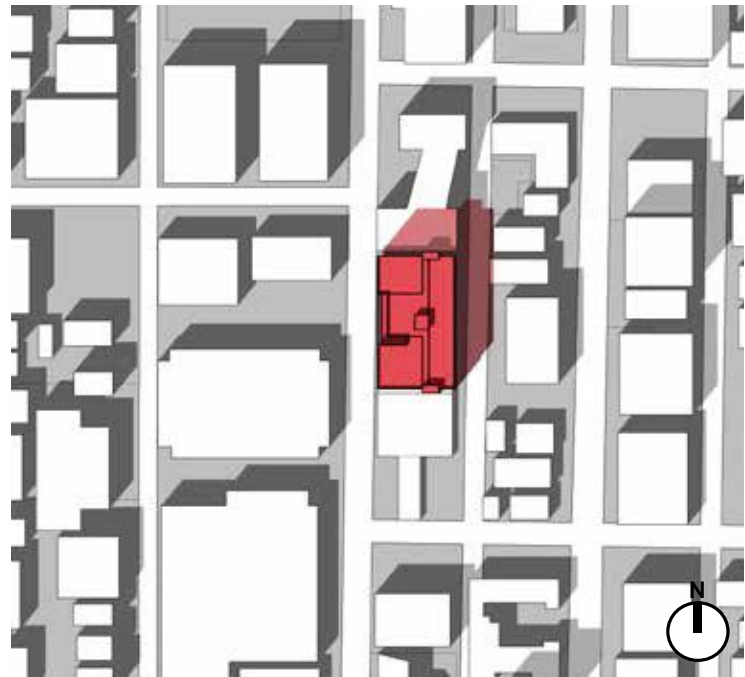
10 AM - SPRING EQUINOX
March 20, 2015



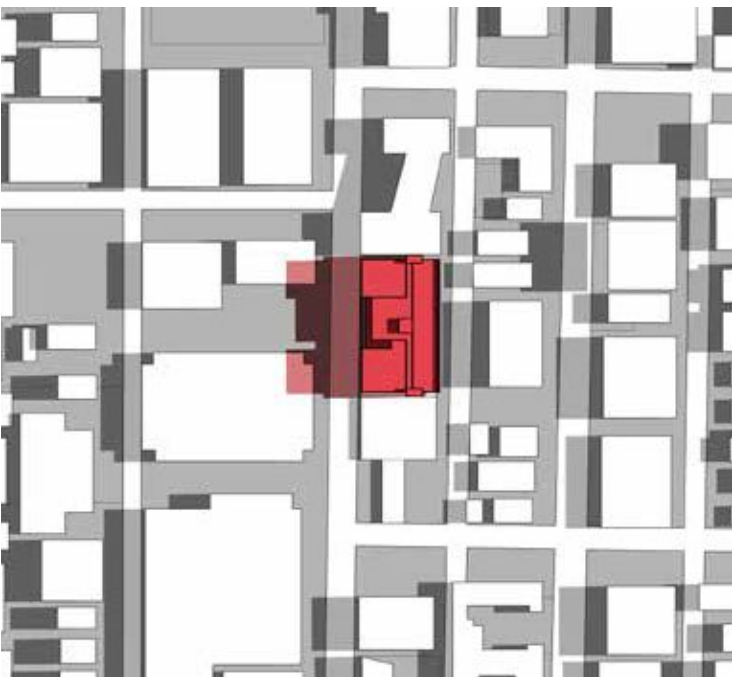
12 PM - SPRING EQUINOX
March 20, 2015



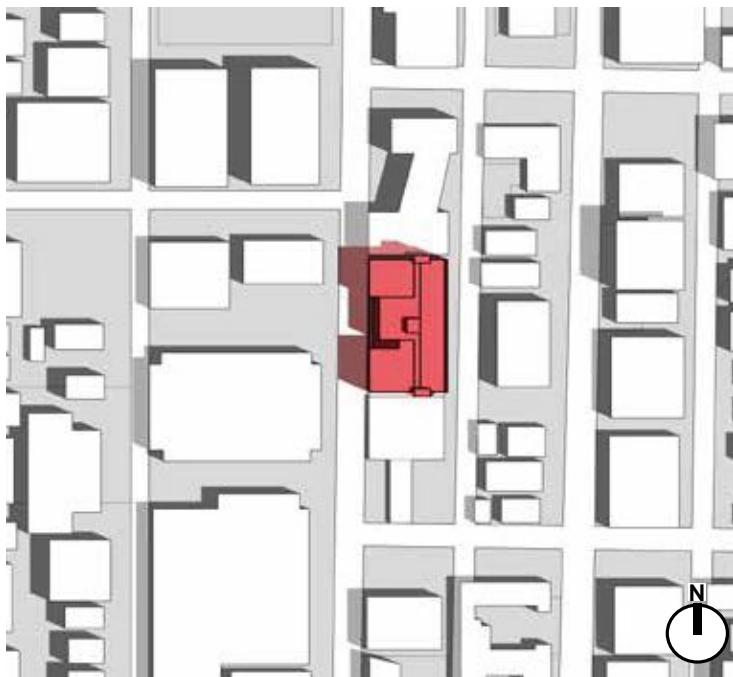
2 PM - SPRING EQUINOX
March 20, 2015



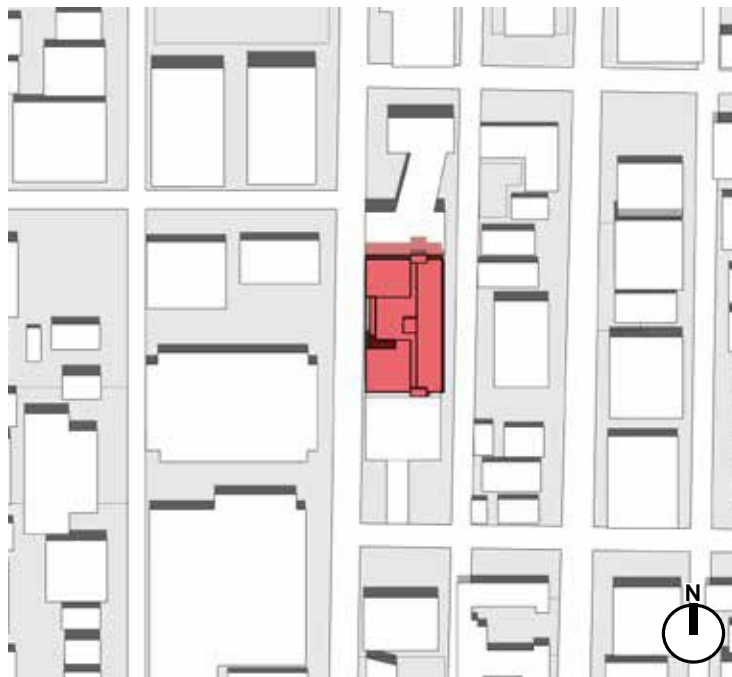
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March 20, 2015



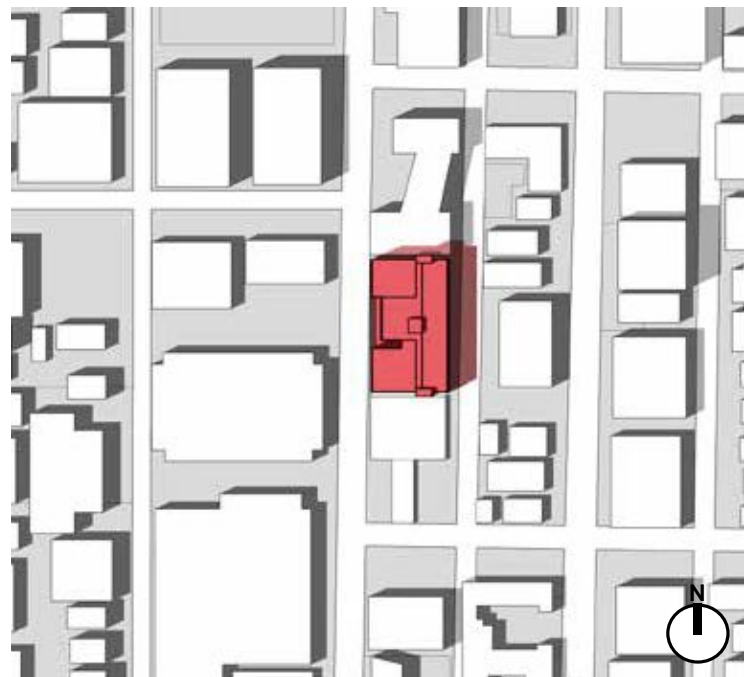
10 AM - SUMMER SOLSTICE
June 21st, 2015



12 PM - SUMMER SOLSTICE
June 21st, 2015

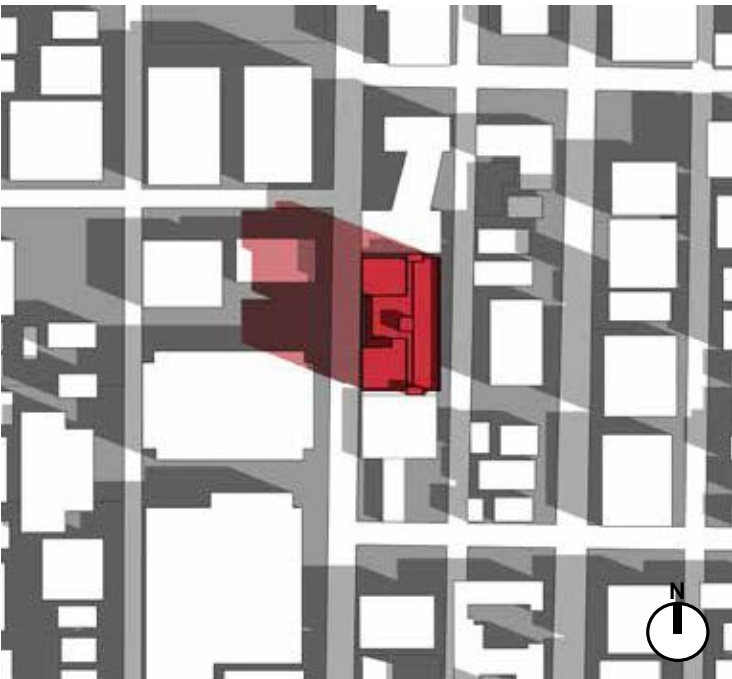


2 PM - SUMMER SOLSTICE
June 21st, 2015



4 PM - SUMMER SOLSTICE
June 21st, 2015

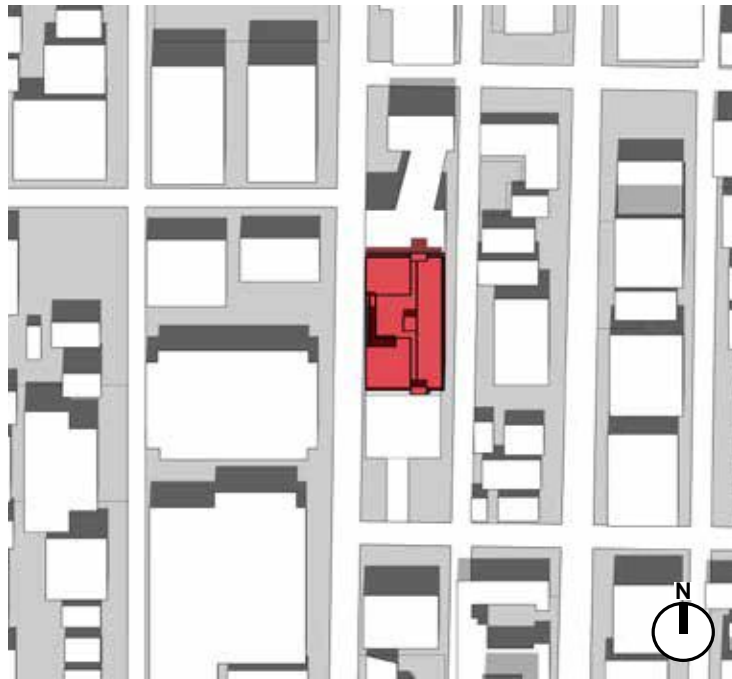
SUPPLEMENTAL INFORMATION SHADOW ANALYSIS



10 AM | AUTUMN EQUINOX
September 23, 2015



12 PM | AUTUMN EQUINOX
September 23, 2015



2 PM | AUTUMN EQUINOX
September 23, 2015



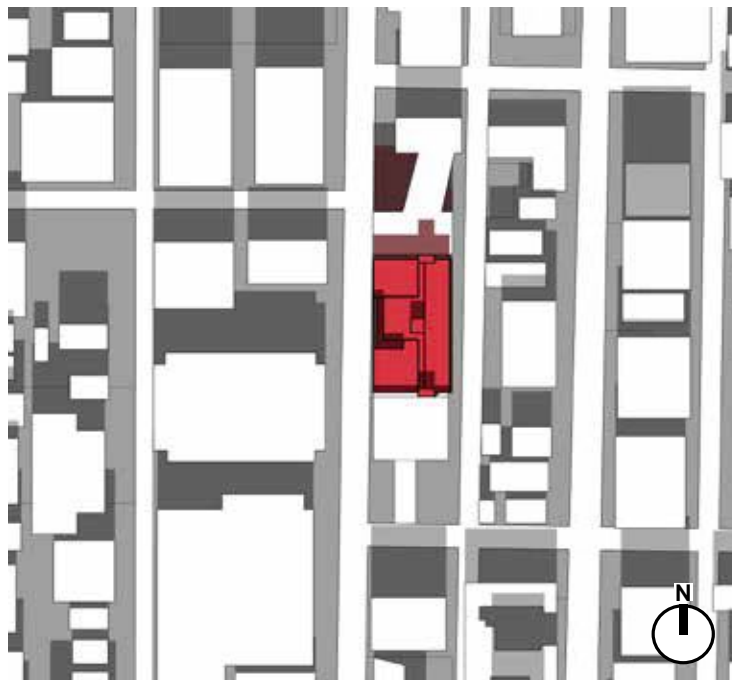
4 PM | AUTUMN EQUINOX
September 23, 2015



10 AM | WINTER SOLSTICE
December 21st, 2015



12 PM | WINTER SOLSTICE
December 21st, 2015



2 PM | WINTER SOLSTICE
December 21st, 2015



4 PM | WINTER SOLSTICE
December 21st, 2015