

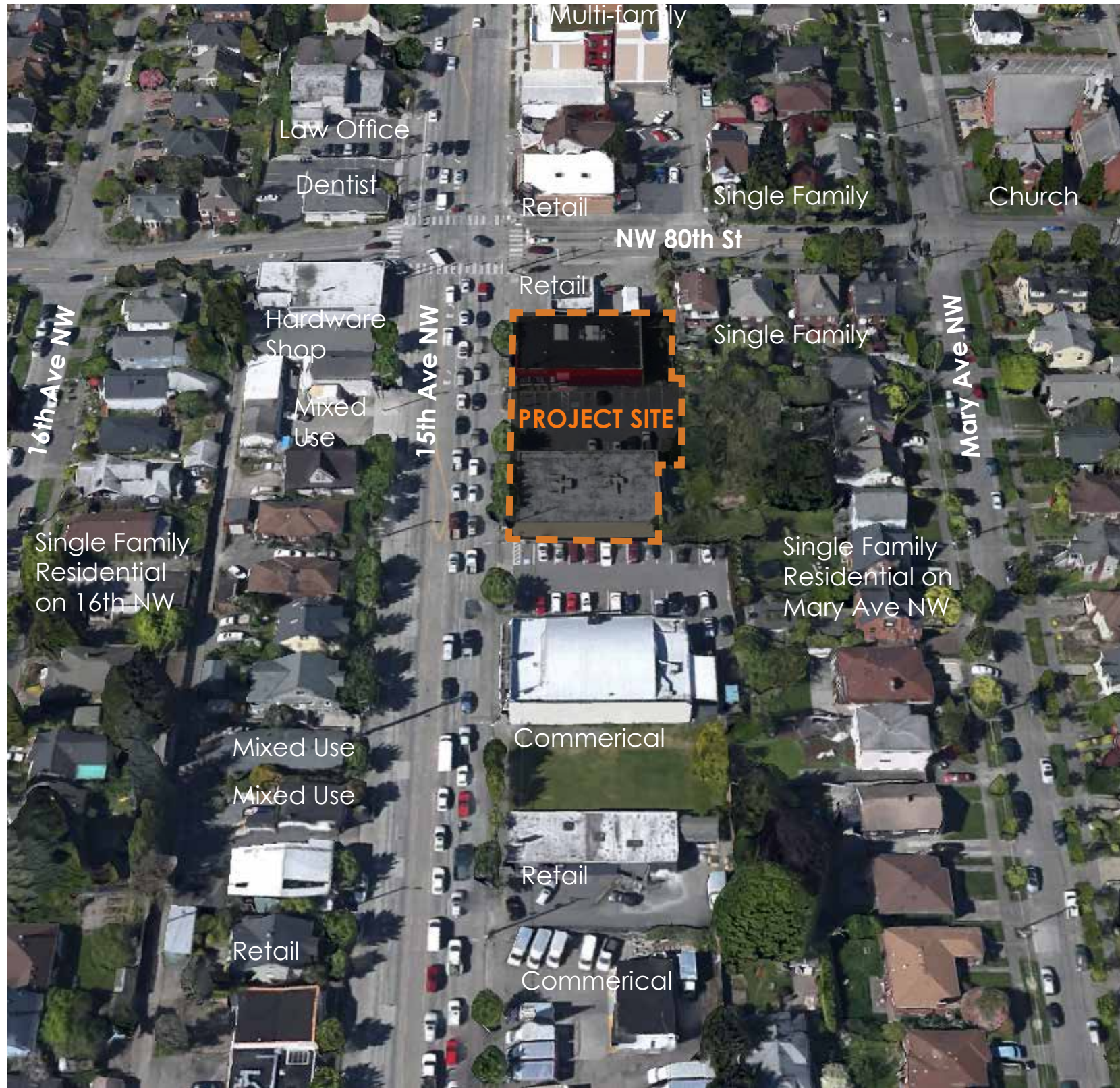


7730 15TH AVE NW

Design Review Recommendation

July 18, 2016

SDCI Project # 3021006



PROJECT PROPOSAL

Proposal for new multi-story mixed use building 4 stories above grade with 2,858 sf ground floor retail, on-site, in-building parking for 27 vehicles, and 54 apartment units.

PARCELS

#349130-0109 (7730 15th Ave NW) & #349130-0112 (7750 15th Ave NW) = 17,045 SF total

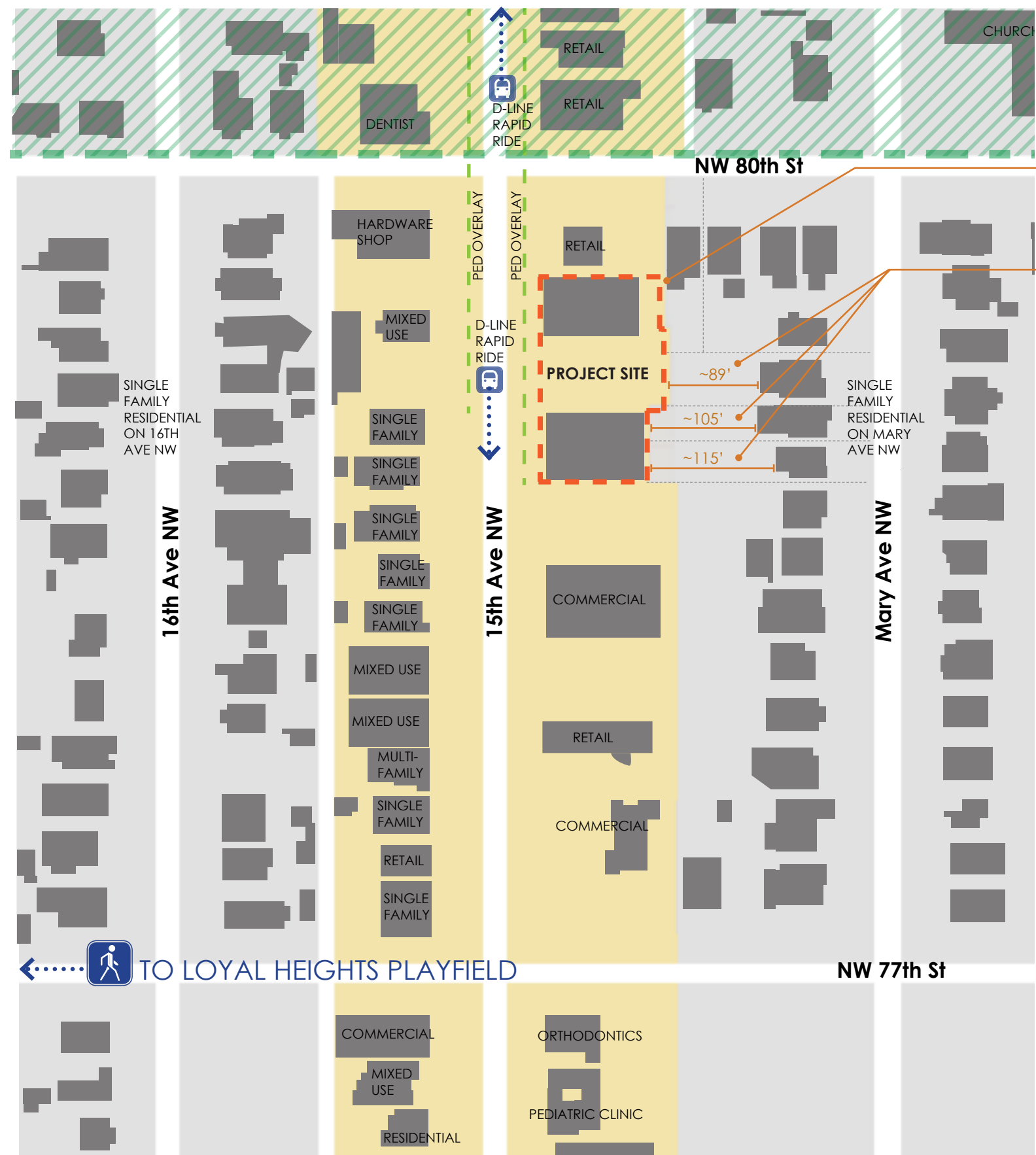
ZONING

NC2-40 (Neighborhood Commercial 40') with frequent transit overlay

SUMMARY OF ZONING DEVELOPMENT STANDARDS

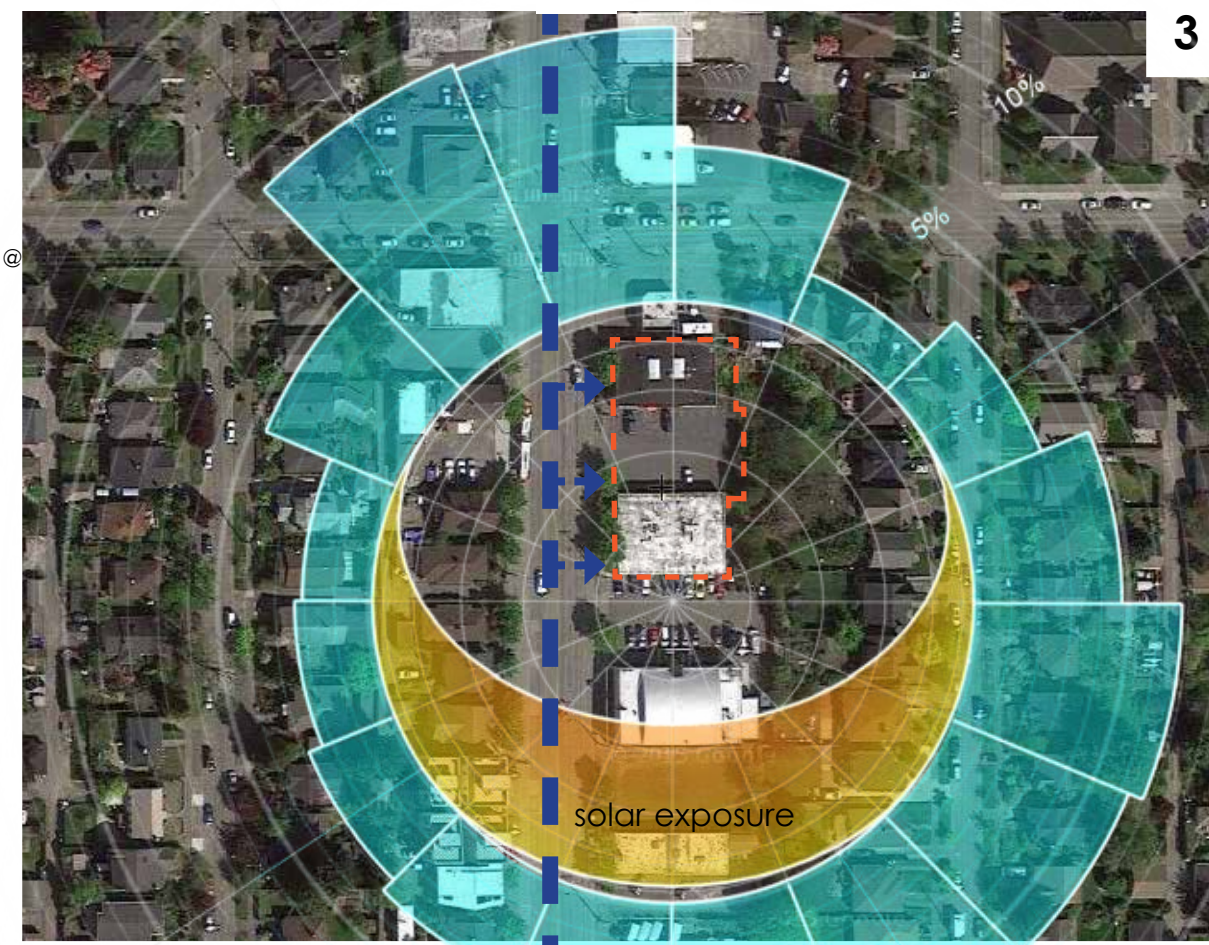
HEIGHT:	REQ'D:	40' + 4' Bonus if 1st level is 13' (SMC 23.47A.012)
	PROPOSED:	44'
PARKING:	REQ'D:	Vehicle: 1 per/ 2 dwelling units Bike: 0.25 per dwelling unit + 1 for retail (SMC 23.54.015)
	PROPOSED:	27 Vehicles, 15 Bikes
FAR:	REQ'D:	3.25 (mixed-use) (SMC 23.47A.013)
	PROPOSED:	54,338 SF
SETBACKS:		(SMC23.47A.014)
Front + Side	REQ'D:	0'
	PROPOSED:	0' Front; 1' @ Side
Power Line	REQ'D:	10' min + 4' for scaffolding (@ 15th Ave NW)
	PROPOSED:	14' MIN @ 4th floor
Rear	REQ'D:	<u>Below 13'</u> in height = 0' <u>Above 13'</u> in height = 15' <u>Above 40'</u> grade = 15' + additional 2:10 triangular setback
	PROPOSED:	<u>Below 13'</u> : 2' MIN (3'-2" buffer adjacent to NE neighbor) <u>Above 13'</u> : 15' except at triangular area @ SE corner at L2 and angled bay windows at NE <u>DEPARTURE REQUEST</u> <u>Above 40'</u> : 15' w/ no triangular setback <u>DEPARTURE REQUEST</u>
FRONTAGE:	REQ'D:	80% of street-level street-facing facade along 15th Ave NW (a Principal Pedestrian Street) shall be occupied by allowed retail uses (SMC23.47A.004G)
	PROPOSED:	53% of the facade is retail <u>DEPARTURE REQUEST</u>
GARBAGE:	REQ'D:	51-100 Units: 375 SF plus 4 SF for every unit over 50 + 82 SF for Retail
	PROPOSED:	498 SF (SMC 23.54.040)





4.3' SETBACK @ SFR (non-conforming)

deep, vegetated rear yards



solar exposure

traffic noise along 15th Ave NW and NW 80th St

annual wind speed and directional approach

Zoning Key



Frequent Transit Line (15 minute frequency)



Crown Hill Residential Urban Village



NC2-40



NC2P-40 (w/ pedestrian overlay along 15th Ave NW)



SF5000



existing street trees, typical

grade change of +6' from south to north

views to Sound

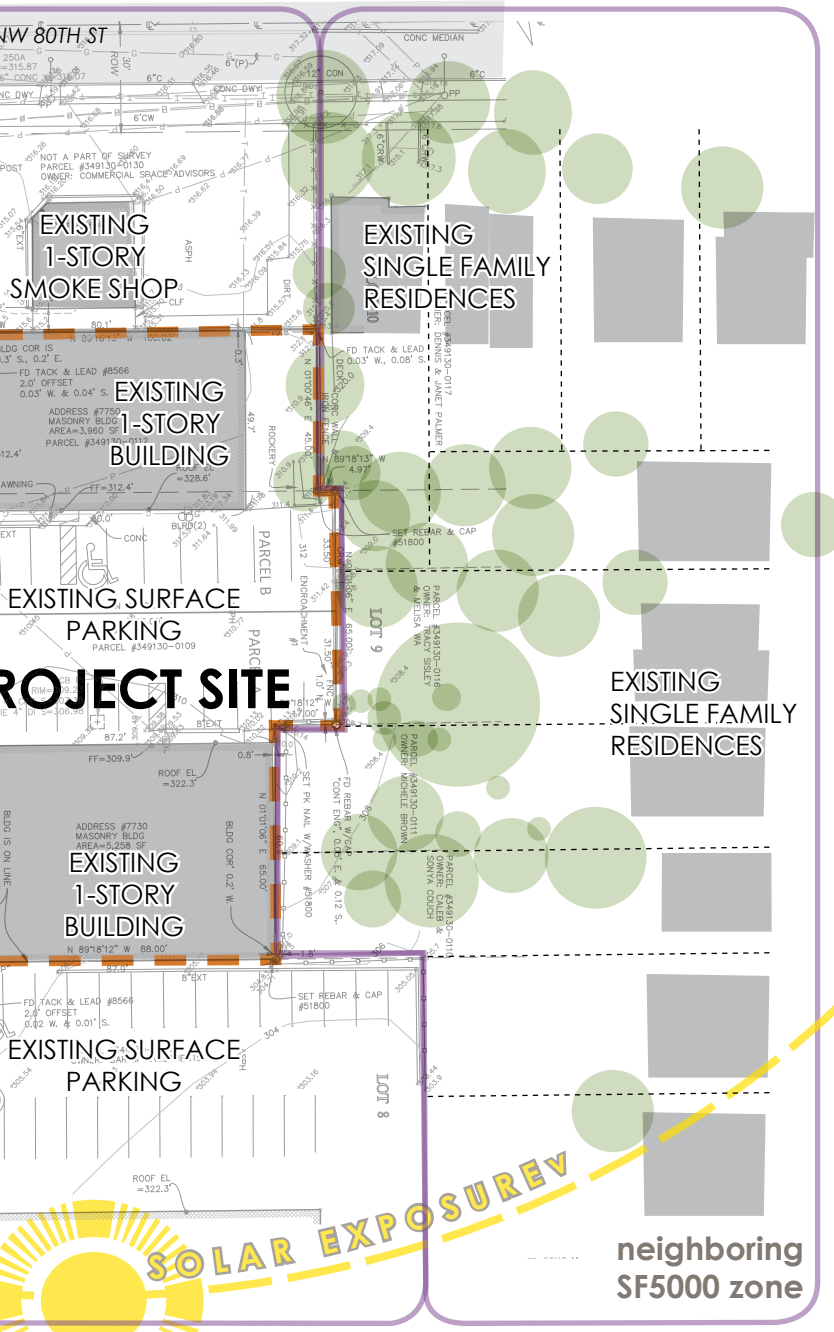
bus stop
(D Rapid
Ride Line)

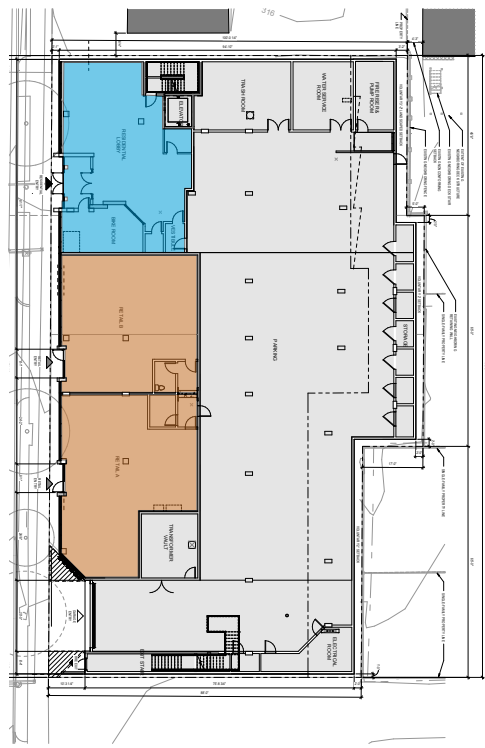
NC2-40 zone


PROJECT SITE

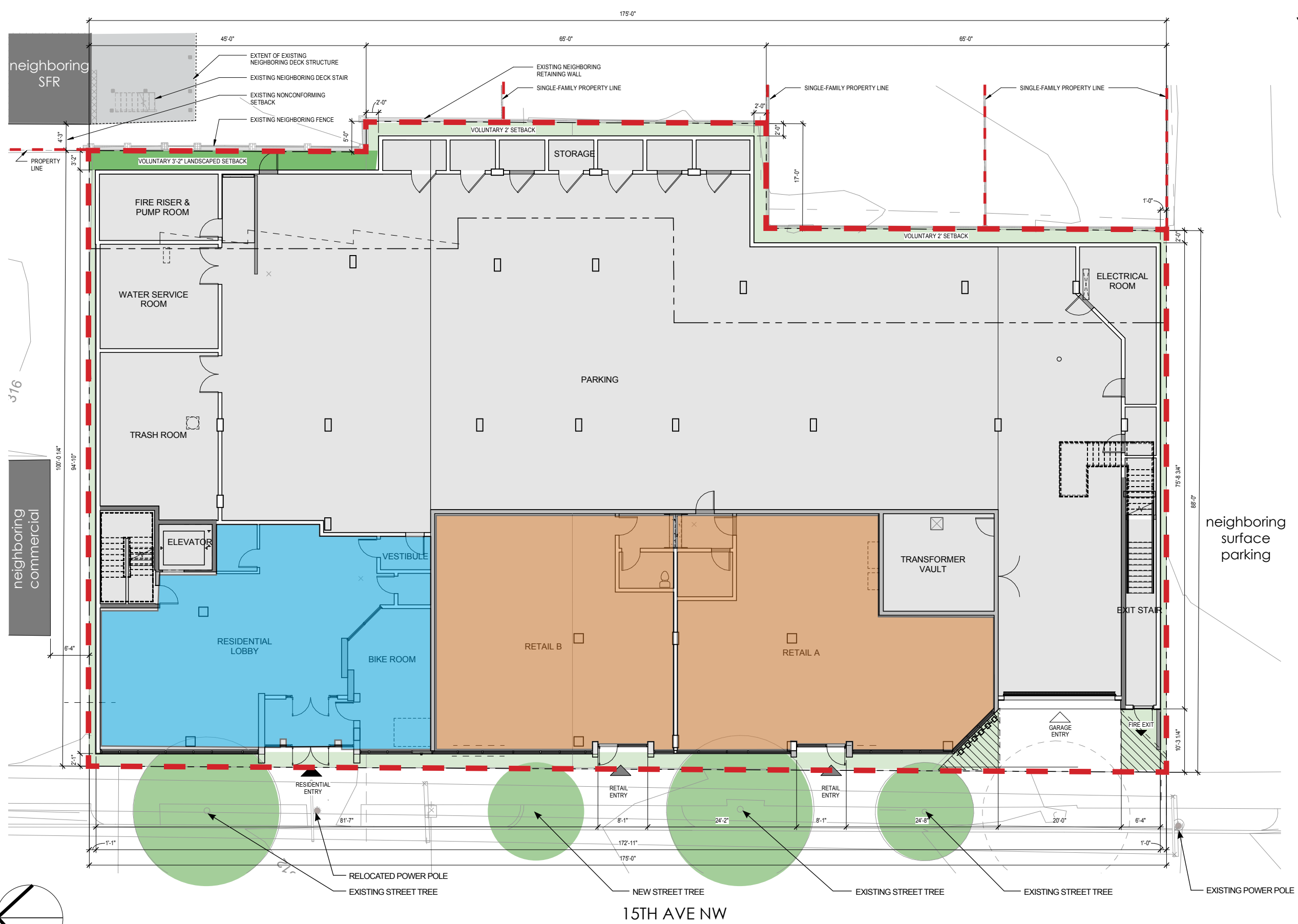
SOLAR EXPOSURE

neighboring
SF5000 zone






 SITE PROPOSAL ORIENTED TO TRUE NORTH



SITE PLAN PROPOSAL WITH GROUND FLOOR USES (ROTATED)

CS CONTEXT & SITE

> CS2 C 2: **Mid-block Sites**

Respond to existing street edges and datum lines created by adjacent buildings. Where adjacent properties are underdeveloped, design party walls to provide visual interest.

> CS2 D 3,4, & 5: **Height/Bulk/Scale: Zone Transitions, Massing, & Adj Sites**

Provide an appropriate transition/complement to adjacent zones and create a step in perceived height/bulk/scale. Consider type and distance of separation. Break up mass of building and/or match the scale of adj properties in building detailing. Minimize disruption of privacy

> CS3 A 4: **Evolving Neighborhoods**

Explore ways to establish a positive context for others to build on in the future

PL PUBLIC LIFE

> PL1 B 3: **Pedestrian Amenities**

Create lively, pedestrian-oriented spaces to attract interest and interaction with the project, visible access to the entry, and an engaging retail environment

> PL2 B 3: **Street-level Transparency**

Maintain sight lines into/out of ground level space to enhance safety and security

> PL3 A 1: **Entries**

Design primary entries to be obvious, identifiable, and distinctive with clear sightlines and visual connections between lobbies and the street

> PL4 B 2: **Bike Facilities**

Provide facilities such as bike racks, storage, shower facilities and lockers for bicyclists, located to maximize convenience, security and safety

DC DESIGN CONCEPT

> DC2 D 1: **Human Scale**

Incorporate architectural features and details of a human scale into the facade, entries, and open spaces to engage the pedestrian

> DC2 C 1: **Visual Depth and Interest of Architectural Features**

Add depth to facades where appropriate by incorporating secondary elements into the facade design. Add detailing at the street to create interest for the pedestrian and encourage active street life

> DC4 A 1: **Exterior Finish Materials**

Utilize durable materials that have texture, pattern, and high-quality detailing

PRIORITIES AND BOARD RECOMMENDATIONS: PROJECT RESPONSE

1 ZONE TRANSITION

Board Direction: *"include additional detail/study of relationship with eastern neighbors (especially the NE neighbor); further develop and provide additional details on landscaping/screening along the eastern property edge. Fenestration and amenity space should be mindful of privacy of the neighboring property"*

PROJECT RESPONSE: east neighbor privacy relationship has been studied and more detail is now included. Areas of projecting decks have been removed and windows have been canted/rotated away from zones of highest privacy sensitivity. At-grade landscaping has been added along the NE property line to better provide a zoning transition. On-roof and on-podium landscaping has been positioned along the east edge to maximize privacy for site neighbors. Frequent modulation, a variety of siding materials, and enhanced texture at the garage wall along the east elevation provide a finer-grain scale transition to the east.

2 MASSING

Board Direction: *"encouraged the use of departures if they would result in a better relationship with eastern neighbors, and encouraged reduction of podium height, or appealing wall treatment, or landscaping along the eastern edge. Supported preferred design option, including the west upper floor setback, parking access away from 80th St intersection, and west ground level setback along 15th to enhance pedestrian experience."*

PROJECT RESPONSE: ground floor setback at east property line adjacent to NE single family neighbor has been increased and added ground floor landscaping provides screening of the garage wall. A departure has been added at the upper levels in order to cant/rotate windows to the south, improving privacy for the NE neighbor. The Board-preferred massing from EDG has been maintained/further developed

3 ARCHITECTURAL CONCEPT, FACADE COMPOSITION & BLANK WALLS

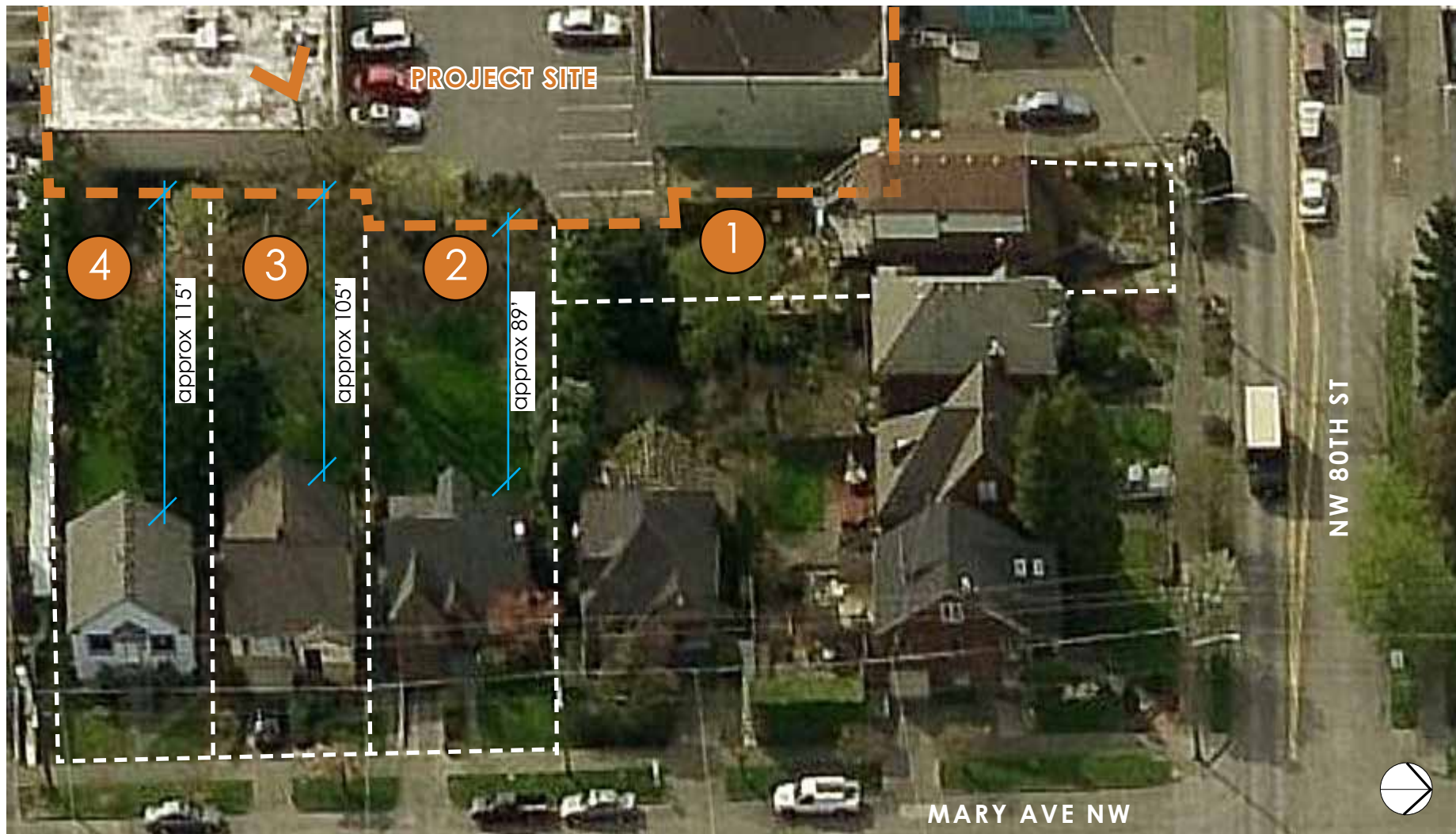
Board Direction: *"expressed concern about the north and south blank walls; provide additional detail on blank wall facade treatment. The east facade should blend into the background of single family yards and gardens"*

PROJECT RESPONSE: modulation has been added to the north/south facades to allow some windows in the center portion, and an artistic wall treatment is proposed for visual interest. Treatment of the east facade has been further developed and includes landscaping, modulation, texture and privacy at the base, and a variety of cladding materials above to reduce its sense of mass, blend into the background, and provide a better transition to the east

4 ENTRIES & STREET RELATIONSHIP

Board Direction: *"entries should be easily identifiable; provide additional information on residential entry and secondary architectural elements that reinforce the entry design. Minimize the impact of the driveway design on the pedestrian experience along 15th"*

PROJECT RESPONSE: residential entry location has been shifted away from an existing street tree for higher visibility. Overhead canopy and building modulation along 15th Ave NW has been modified to better enhance and clarify entry locations. Driveway width is zoning minimum, located away from pedestrian entries, and interrupts streetscape planting strip as little as possible and garage door is semi-transparent to enhance safety and visibility of cars and pedestrians.



Aerial view of east neighbors from the east

NEIGHBOR PRIVACY STUDY:

- deep rear yards, dense/mature vegetation, and high perimeter fencing define the three neighbors to the east (lots 2-4 on this page). Existing windows are well screened by vegetation
- the NE neighbor (lot 1 on this page) is in close proximity to the project site lot line (with a non-conforming setback of 4.25') and will have the most privacy and shading impacts



View from existing building roof to the northeast



View to NE neighbor's rear yard from project site



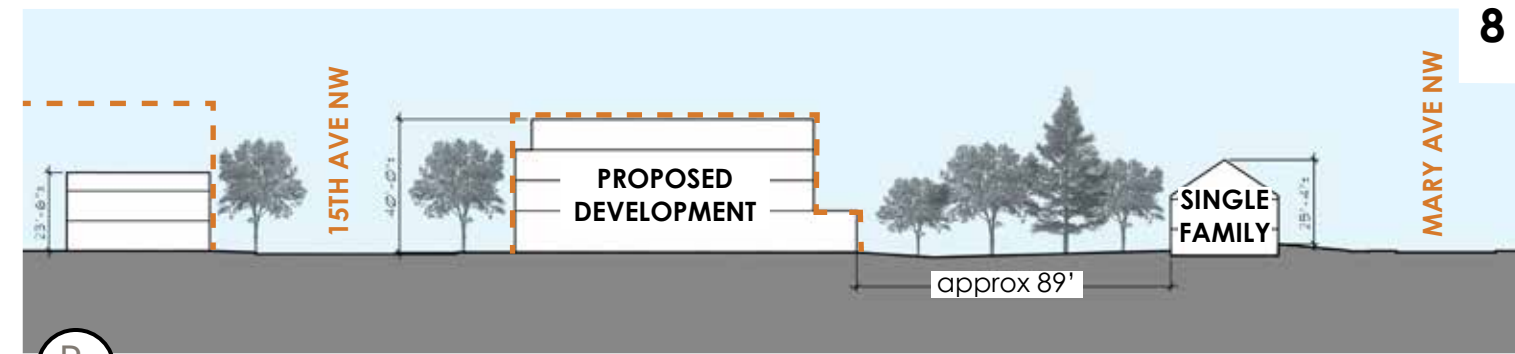
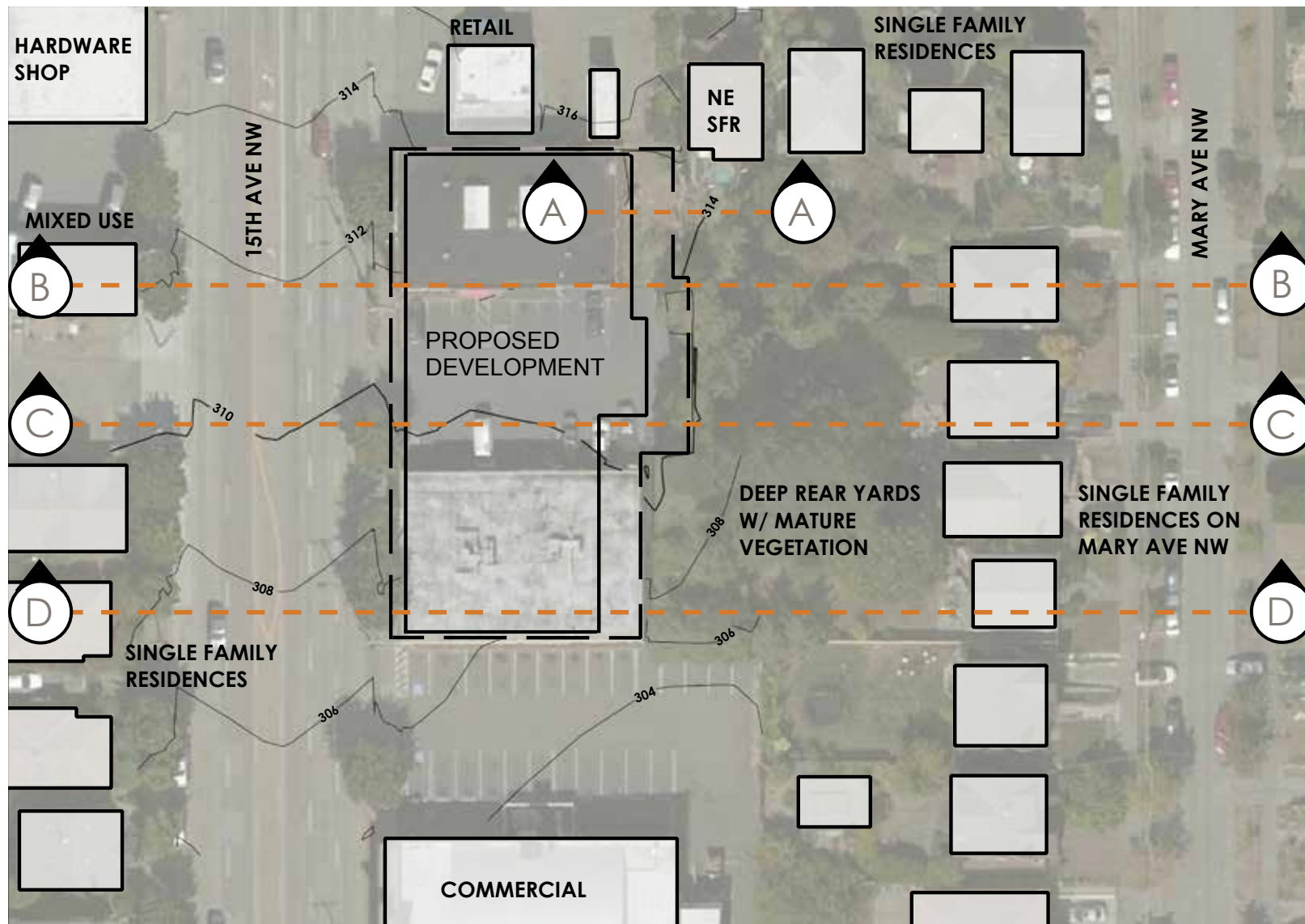
View to southern eastern neighbor's rear yard from site



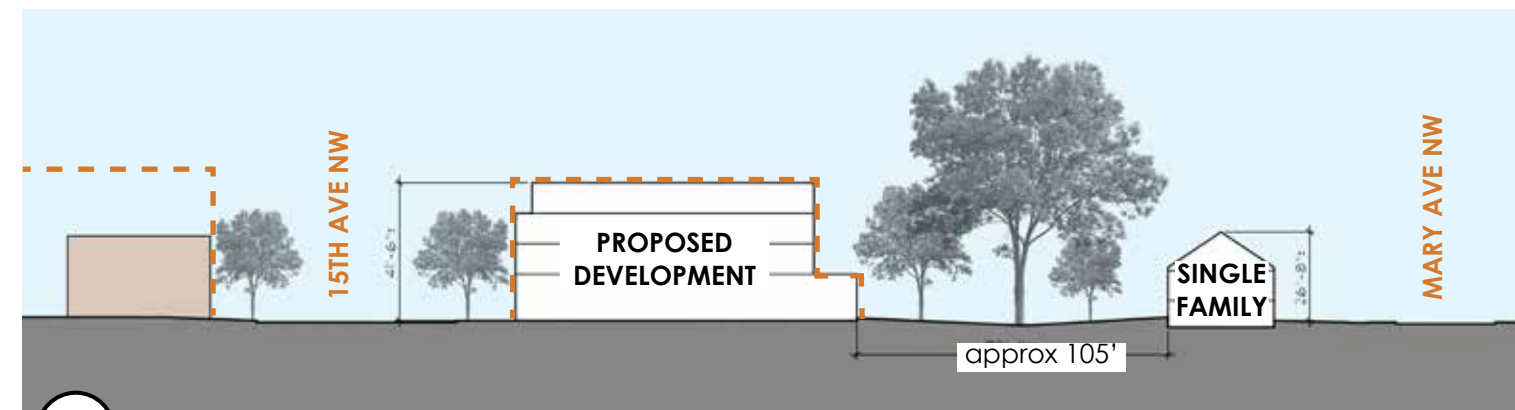
View to central eastern neighbor's rear yard from site



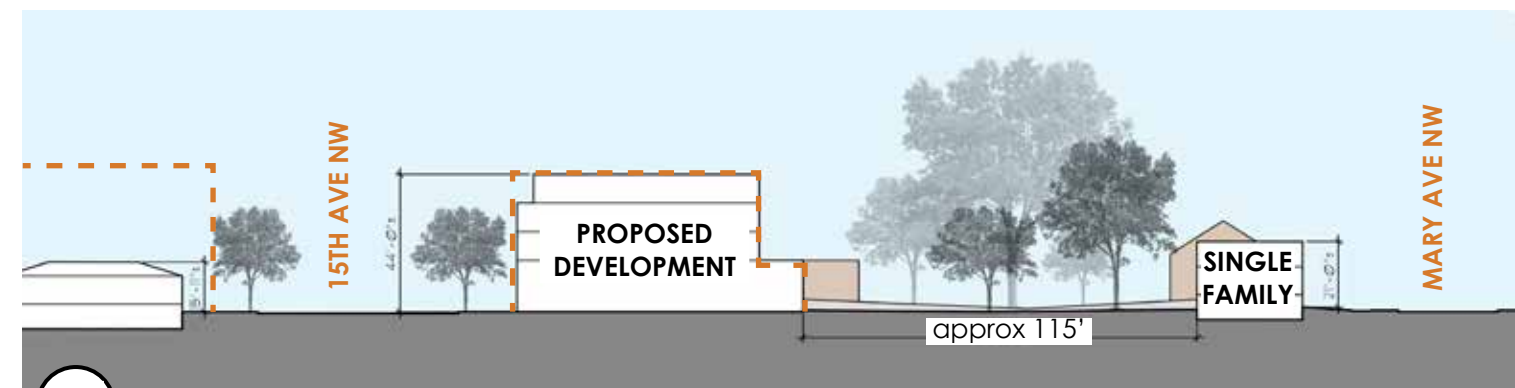
View to northern eastern neighbor's rear yard from site



B SITE SECTION LOOKING NORTH

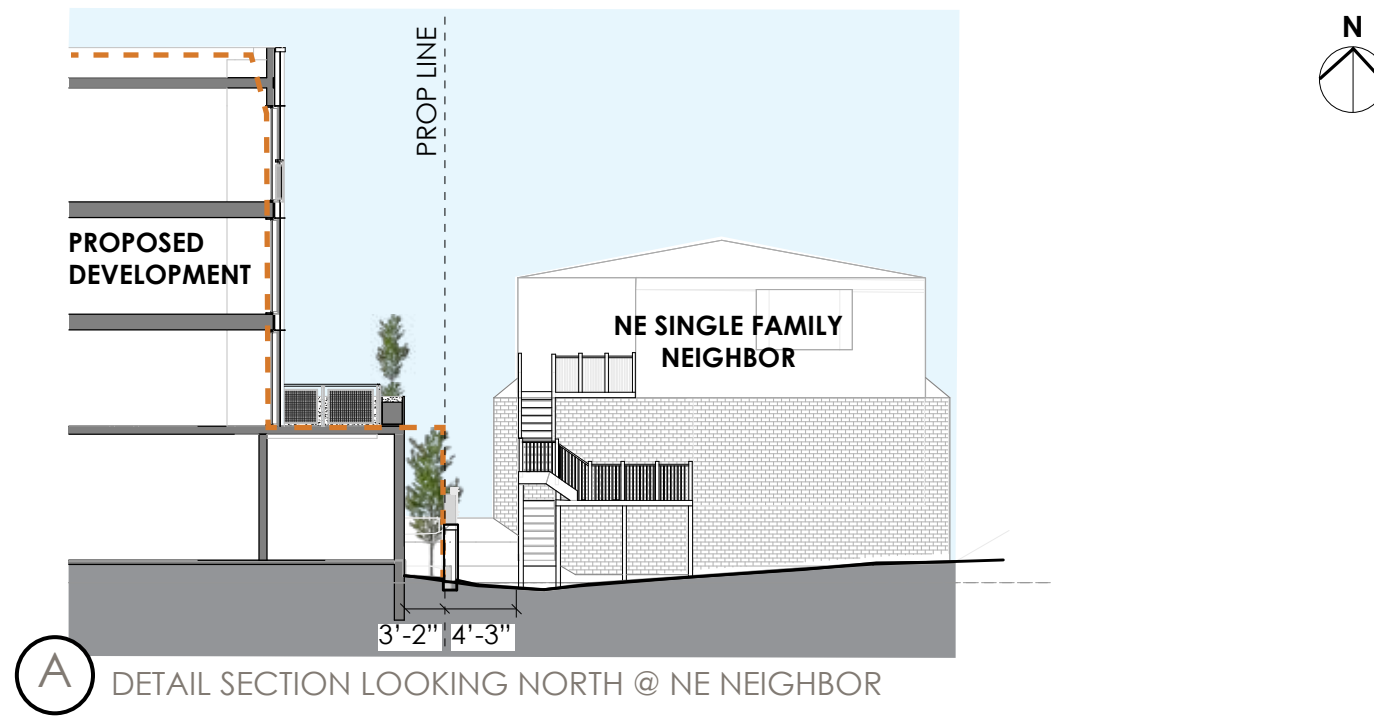


C SITE SECTION LOOKING NORTH



D SITE SECTION LOOKING NORTH

Site Section Key
 - - - - - NC2-40 ZONING LIMITS



A DETAIL SECTION LOOKING NORTH @ NE NEIGHBOR

ZONE TRANSITION AND MASSING:

- east neighbor privacy study has informed window and balcony locations along the east property line to provide a better scale transition and more privacy
- enhanced ground level landscaping and textured concrete garage walls are proposed to soften the east frontage
- landscaping along the east edge softens the building mass, enhances privacy, and provides screening



frequent building modulation breaks down scale of building

variety of cladding materials breaks down scale of building

stormwater planter provides privacy buffer at edge of podium deck

boardform pattern on concrete garage wall adds visual interest and natural texture

deep rear yards and existing mature landscaping at all but one of the eastern single family neighbors

fenceline indicates end of NE neighbor's adjacent rear yard

sawtooth modulation adjacent to NE neighbor to angle windows toward the SE (away from house and deck) to enhance privacy

privacy planter at podium edge is in a contrasting material to the garage wall (pre-weathered steel) to break up the height and reduce the scale of the concrete garage wall

parking garage and trash area are fully-enclosed within the building for privacy

increased the ground floor setback from 2' to 3'-2" to allow ground floor landscaping/screening (the code-required setback is 0'); plant selection in buffer has been discussed with neighbor

deck of existing single family residence to the NE

PERSPECTIVE VIEW LOOKING SW FROM NE NEIGHBOR

existing fences (approx 6' tall) partially screen garage wall

inset modulation to add texture and reduce bulk

inset modulation to add texture and reduce bulk

stormwater planter buffer at 2nd floor deck adds privacy and manages on-site stormwater in an environmentally-responsible fashion

sawtooth modulation angles windows southeast away from house and deck and adds texture

smaller windows adjacent to existing deck area of neighbor

"sunken" planter buffer at 2nd floor deck adds privacy without adding extra height and reduces height of concrete garage wall

occupiable/projecting balconies are only included adjacent to deep, heavily-vegetated rear yards

frequent modulation and changes in siding materials add texture and reduces scale

area of increased ground floor setback and landscaping

3 occupiable/projecting decks (shown at EDG) have been removed adjacent to NE neighbor

existing NE single-family neighbor



SFR Prop Line

deep rear yard w/ significant screening vegetation

SFR Prop Line

deep rear yard w/ significant screening vegetation

SFR Prop Line

deep rear yard w/ significant screening vegetation

SFR Prop Line

NE neighboring yard

EAST (REAR) ELEVATION

SOUTHEAST SIDE
SETBACK DEPARTURES

NORTHEAST SIDE
SETBACK DEPARTURES



departure request for small encroachments into setback at podium and top of roof parapet to allow 13' ground floor retail

inset modulation to reduce bulk and scale along east facade

recessed pre-weathered steel planter to reduce visual height of garage wall and reduce extent of departure request

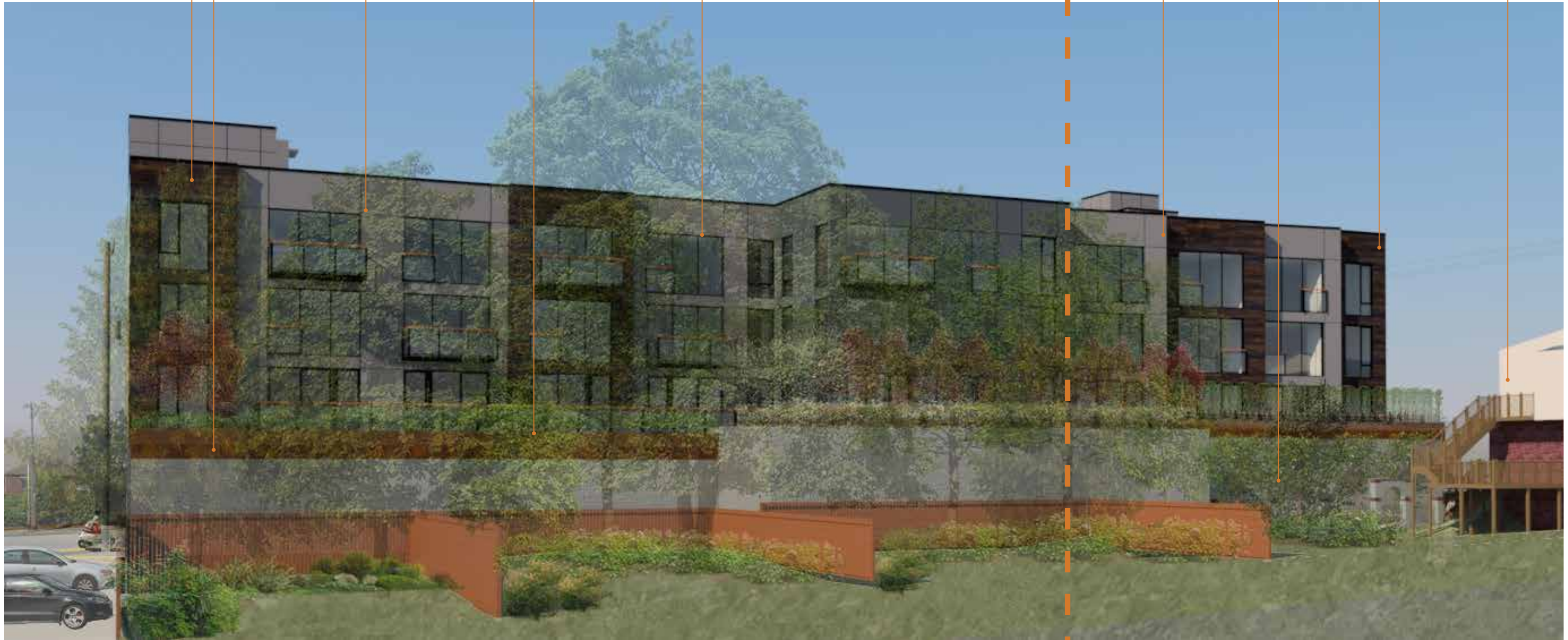
inset modulation to reduce bulk and scale along east facade

angled/canted sawtooth bay windows to direct views away from neighbor encroach into side setback

small triangular area of parapet encroachment

increased voluntary setback at base of building to reduce bulk and allow landscaping screening buffer at grade

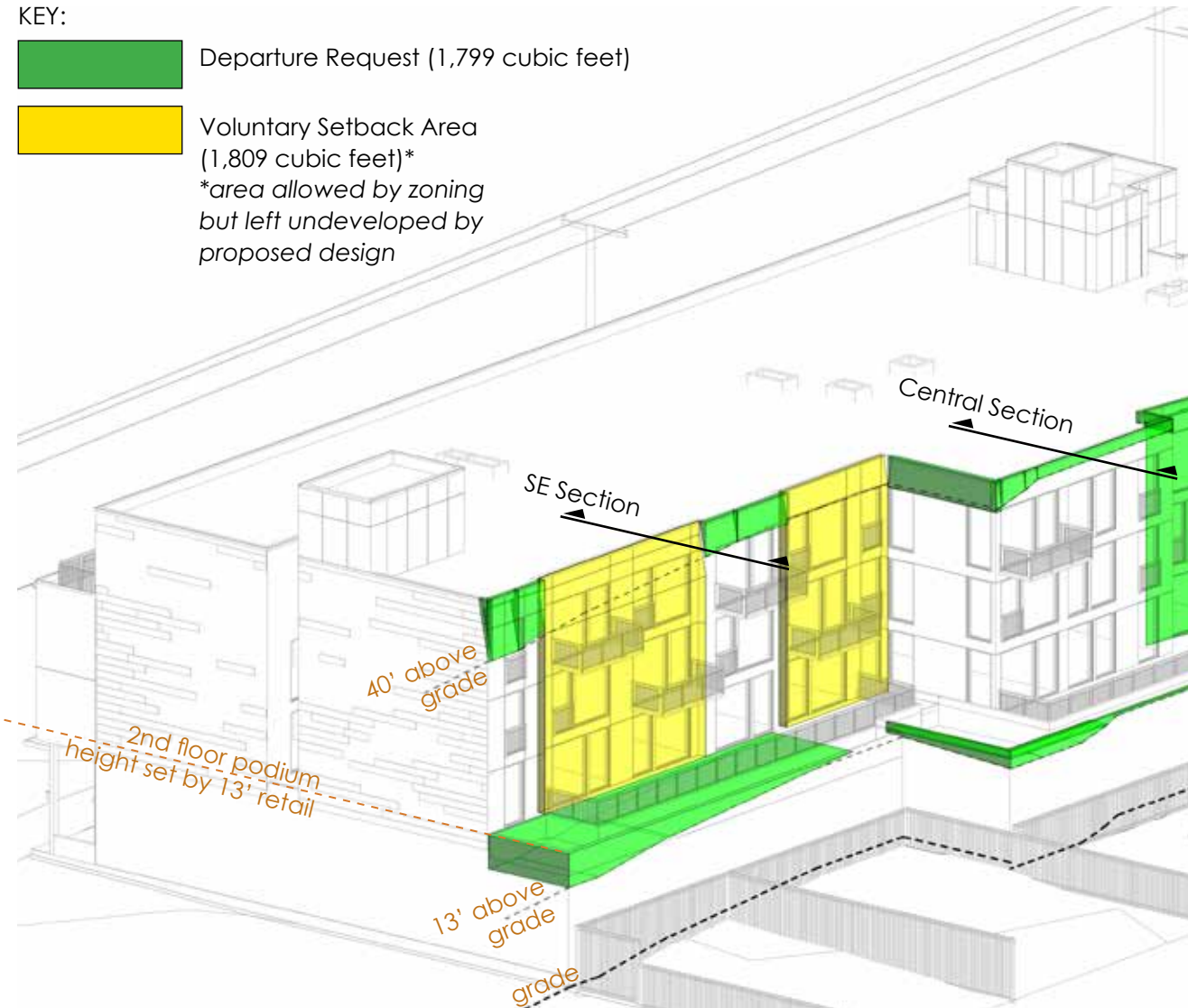
NE neighboring house and rear deck



DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Side setback at east lot line bordering a residential zone - LEVEL 2 DECK	SMC 23.47A.014 B 3 a The code requires a 15' setback above 13' height abutting a residential zone	Due to existing topographic fluctuations and to allow viable ground floor retail along 15th Ave NW, several triangular areas along the top of the 2nd floor deck up to 3'-7" tall and 13' deep are in the setback area, resulting in a 2' setback instead of 15' near the top of the garage wall.	The elevation of the 2nd floor is determined by a 13' floor-to-floor height of Retail B along 15th Ave NW. The finished floor at the entry of Retail B matches the elevation of the existing sidewalk in order to maximize transparency and ADA Accessibility of the retail (GUIDELINES CS2.A.2: ARCHITECTURAL PRESENCE and CS2.B.2: CONNECTION TO THE STREET, and PL2.A.1: ACCESS FOR ALL). To minimize the scale of this departure request, a sunken planter buffer is provided along the southeastern edge of the Level 2 patios, which enhances privacy for site neighbors and reduces the visible height of the concrete garage wall by providing a contrasting cladding material. A code-compliant design would require retail spaces with finished floors well below sidewalk level.
Side setback at east lot line bordering a residential zone - ROOF PARAPET	SMC 23.47A.014 B 3 b The code requires a 15' setback above 13' height + a 2:10 sloped setback at portions above 40' height	Due to existing topography fluctuations, several small triangular zones along the top of the roof parapet up to 9'-1" tall and 1'-4" deep are in the setback area. This results in a 15' setback at the top of the parapet instead of an up to 17' setback. To reduce bulk and scale, modulation areas with a greater setback than is required by code are also proposed.	The east facade has been modulated and some areas of voluntary increased setback are proposed to better provide a bulk transition to adjacent single family zoning (GUIDELINE CS2.D.3: ZONE TRANSITIONS). The modulation visually divides the east elevation, breaking down the apparent scale of the building to better fit the smaller scale of the eastern neighbors (GUIDELINE DC2.A.2: REDUCING PERCEIVED MASS). In order to ensure an overall well-proportioned and composed facade that has an appropriate amount of visual depth and interest--given the increased setback at the inset bays--the flanking bays maintain a vertical continuum along the height of the facade instead of sloping back along the setback line (GUIDELINES DC2.B.1: FACADE COMPOSITION and DC2.C.1: VISUAL DEPTH AND INTEREST). A code-compliant design would be a flat, unmodulated east facade with an inward slope at the top along the sloped setback line above 40' in height.

KEY:

- Departure Request (1,799 cubic feet)
- Voluntary Setback Area (1,809 cubic feet)*
*area allowed by zoning but left undeveloped by proposed design





^ 3D diagram (from SE corner) of departure request

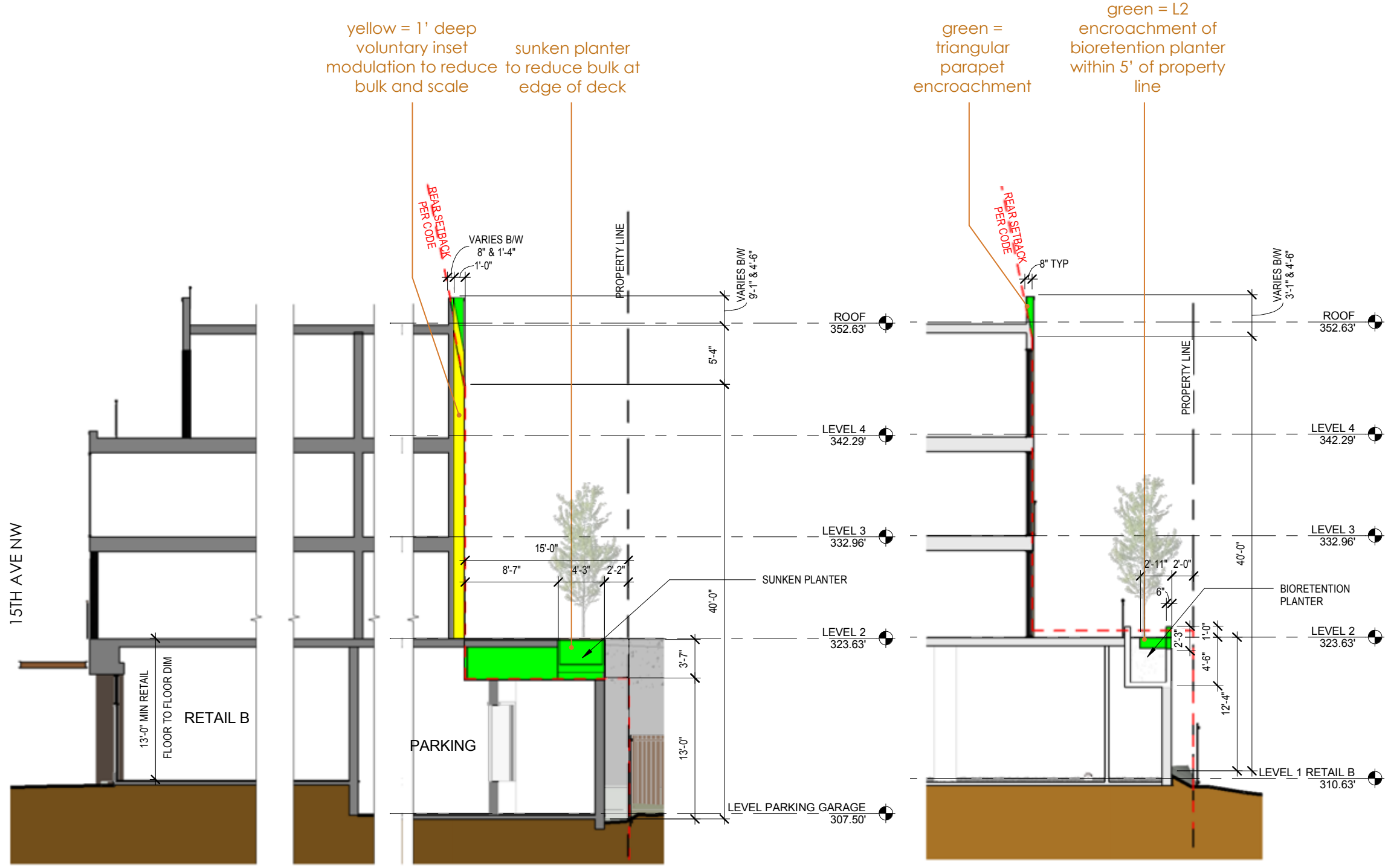


^ rendered view from the SE corner showing proposed design (with departures)

KEY:

 Departure Request (1,799 cubic feet)

 Voluntary Setback Area (1,809 cubic feet)*
*area allowed by zoning but left undeveloped by proposed design

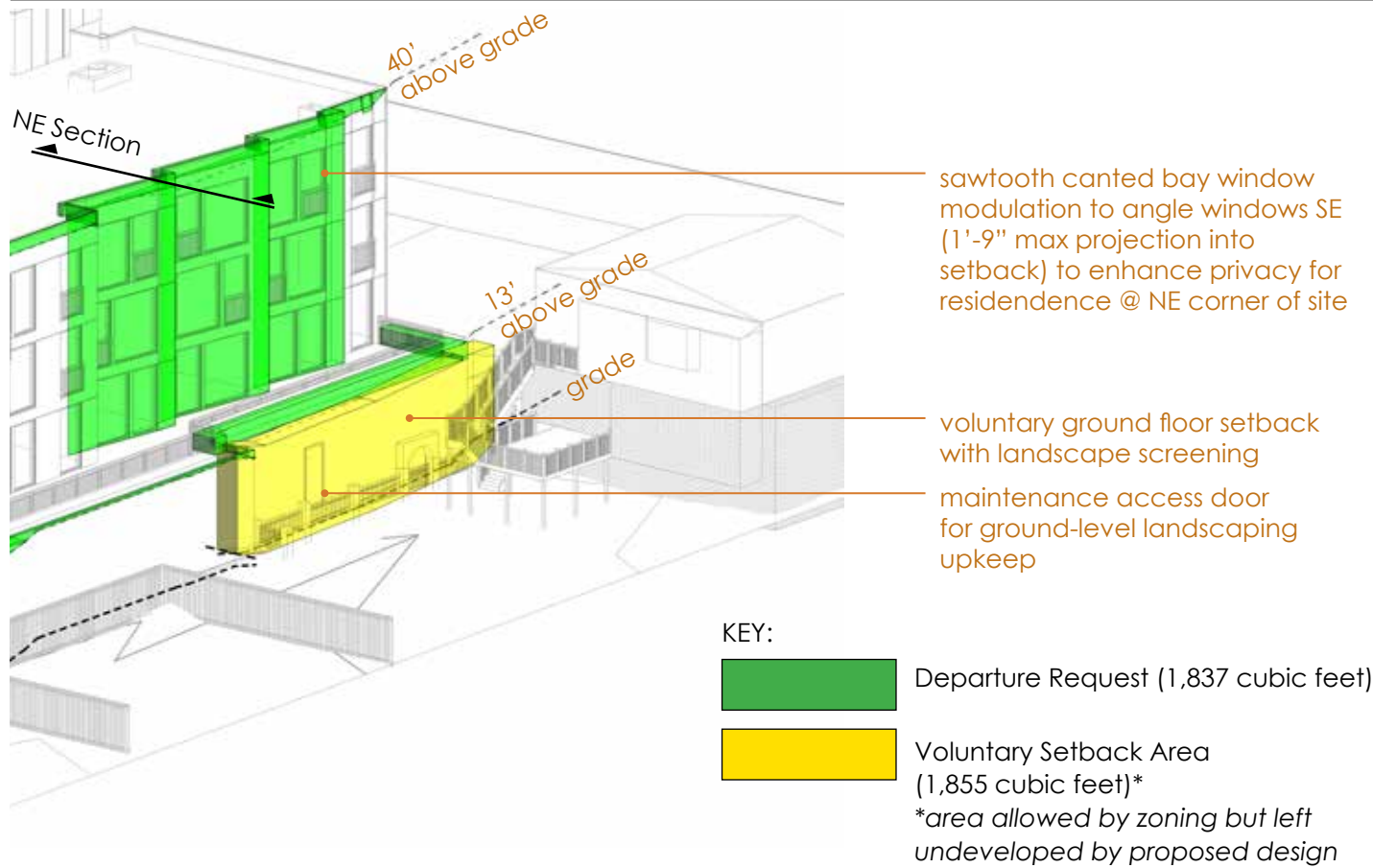


^ section through SE portion (also showing Retail B)

^ section through central portion

^ proposed departure allows code-compliant retail spaces matching sidewalk grade along 15th Ave NW

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Side setback at east lot line bordering a residential zone - LEVELS 2-4	SMC 23.47A.014 B 3 a The code requires a 15' setback above 13' height abutting a residential zone. A 0' setback is required up to 13' height	A series of projecting sawtooth modulation bays are proposed, projecting 1'-9" max horizontally (reducing the 15' setback to 13'-3") within the east setback near the NE corner to protect the privacy of the NE neighbor. A landscaped raised planter buffer 2'-6" tall and 2' deep is proposed at the 2nd floor deck within the setback for privacy screening. A voluntary 3'-2" ground floor setback is also provided to allow for at-grade landscaping	To better provide an appropriately-scaled transition to the neighboring SF-5000 property to the NE, the ground floor has been set back 3'-2" from the property line to allow for landscape screening along the garage wall and reduced bulk directly adjacent to the existing house, deck, and yard (GUIDELINE DC2.A.2: REDUCING PERCEIVED MASS AND CS2.D.3: ZONE TRANSITIONS), even though no setback at the ground level is required by code. Above the ground floor, sawtooth modulation bays with canted/angled windows are proposed along the portion of the east facade adjacent to privacy-sensitive areas to help protect the privacy of the NE neighboring residence. The angle of the windows will direct views from apartment windows further to the south, where adjacent SF-5000 properties are protected by deep yards and dense existing vegetation. The sawtooth modulation also provides an opportunity for varied siding treatment, and helps to break down the apparent scale of the upper floors to better fit the smaller-scale development to the east.
Side setback at east lot line bordering a residential zone - ROOF PARAPET	SMC 23.47A.014 B 3 b The code requires a 15' setback above 13' height + a 2:10 sloped setback at portions above 40' height	Due to existing topography fluctuations and provided modulation, several small zones up to 4'-9" tall and 2'-4" deep along the top of the roof parapet are in the setback area, resulting in a 13'-3" setback instead of an up to 16' required setback along the top of the parapet line	The east facade has been modulated to break down the scale of the east facade and to direct window views away from privacy-sensitive areas to better provide a transition to adjacent single family zoning (GUIDELINE CS2.D.3: ZONE TRANSITIONS). In order to ensure an overall well-proportioned and composed facade that has an appropriate amount of visual depth and interest--given the vertical bay modulation proposed--the east elevation maintains a vertical continuum along the height of the facade instead of sloping back along the setback line (GUIDELINES DC2.B.1: FACADE COMPOSITION and DC2.C.1: VISUAL DEPTH AND INTEREST). A code-compliant design would be a flat, unmodulated east facade with an inward slope at the top along the sloped setback line above 40' in height.
Side setback at east lot line bordering a residential zone - DOOR LOCATION	SMC 23.47A.014 B 5 No entrance or opening is permitted within 5' of a residentially-zoned lot	In order to maintain a ground-level landscaping buffer, a non-transparent maintenance access door is proposed 3'-2" from a residentially-zoned lot	An increased ground floor setback is proposed to better provide a bulk transition to adjacent single family zoning (GUIDELINE CS2.D.3: ZONE TRANSITIONS). Within this setback area, ground-level landscaping is proposed to visually soften the textured concrete garage wall. The proposed access door (intended for maintenance access only and containing no glazing or transparency) is needed for proper maintenance of the landscaped area.

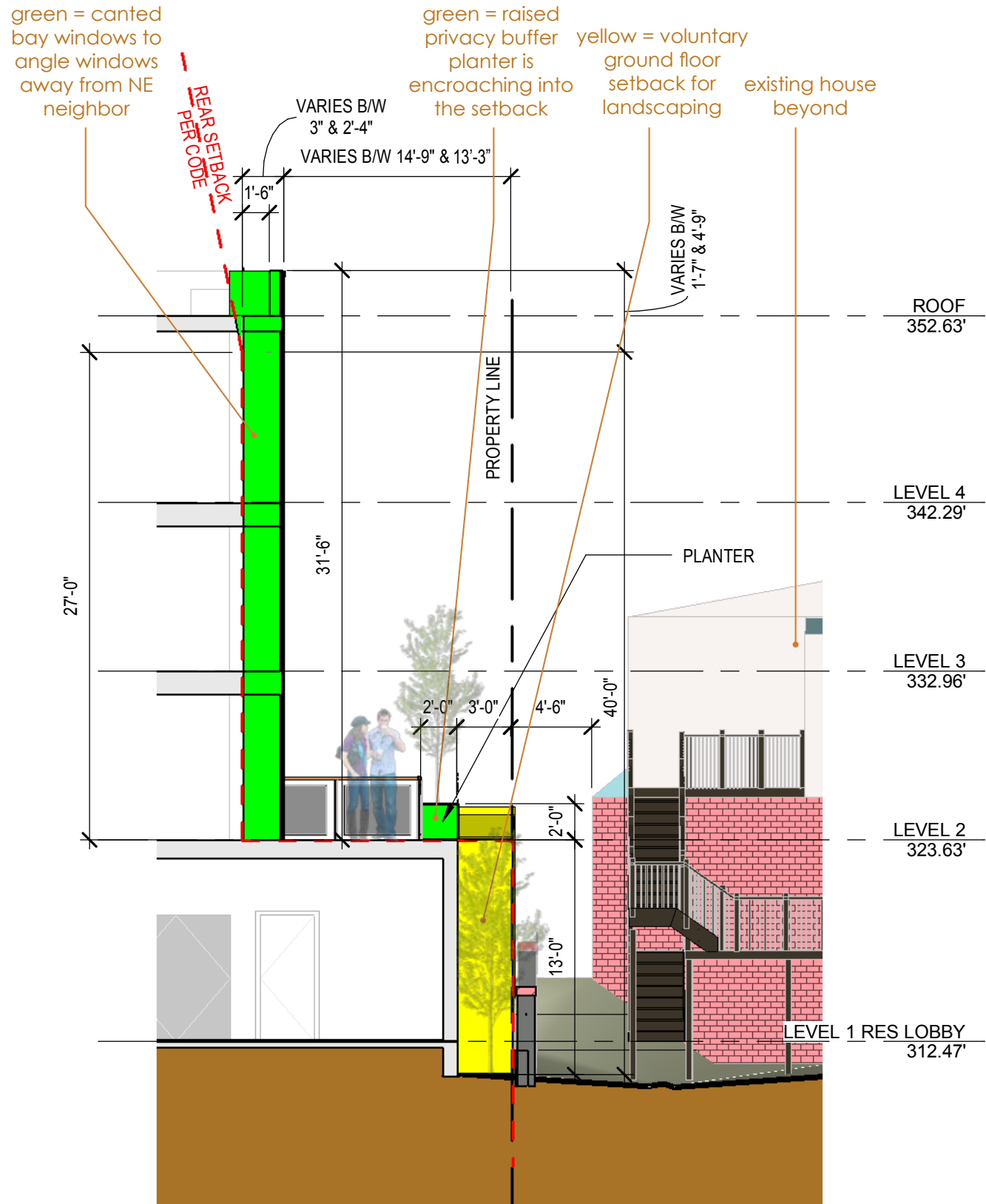


^ 3D diagram (from SE corner) of departure request

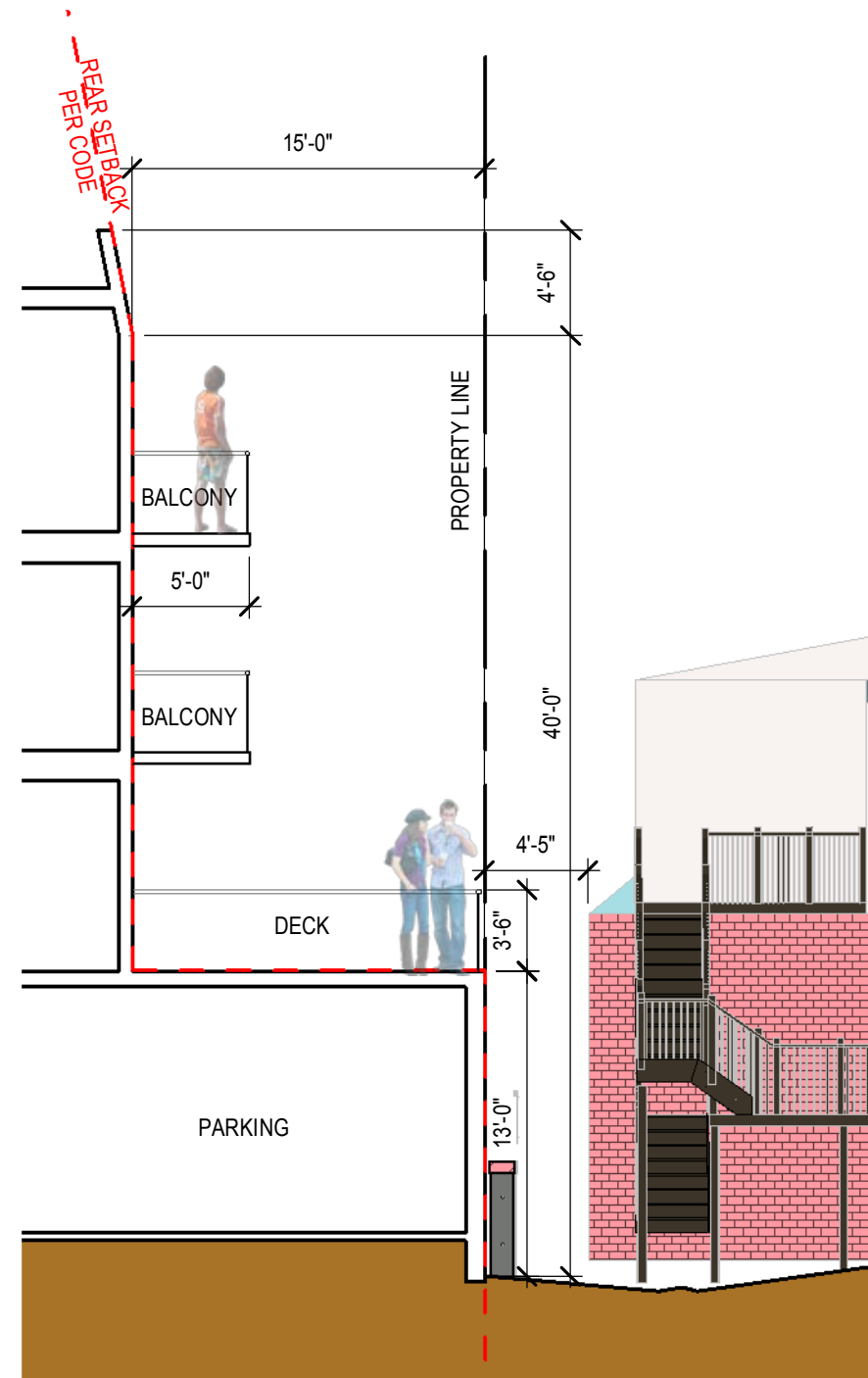


^ rendered view from NE showing sawtooth modulation and landscaped ground floor setback

KEY:
 Departure Request (1,837 cubic feet)
 Voluntary Setback Area (1,855 cubic feet)*
 *area allowed by zoning but left undeveloped by proposed design



^ section through northeast portion showing proposed design (with departures)



^ section through northeast portion showing code-compliant design

EAST FACADE COMPOSITION

In order to break down the scale of the east facade, a variety of cladding materials and frequent modulation are employed to add visual interest and allow the facade to fade into the background.

occupiable/projecting balconies are only included along zones of deep neighboring rear yards with dense vegetation

inset areas to reduce bulk, break down scale, and provide material transition

inset areas to reduce bulk, break down scale, and provide material transition

material change at modulation

sawtooth angled modulation with material changes



NORTH AND SOUTH BLANK WALLS:

- Due to the mid-block condition of the project, north and south walls will have limited fenestration in preparation for future adjacent development. The Board requested further development of the blank wall treatment.

- Design response includes an increased setback at the center portion of each facade to allow limited windows and modulation relief, and an attractive artistic cladding pattern.



inset area at center with added windows

"eroding" plank pattern wrapping from front/back facades

artistic cladding pattern to add interest



^ Perspective view of south facade from 15th Ave NW (preferred design)

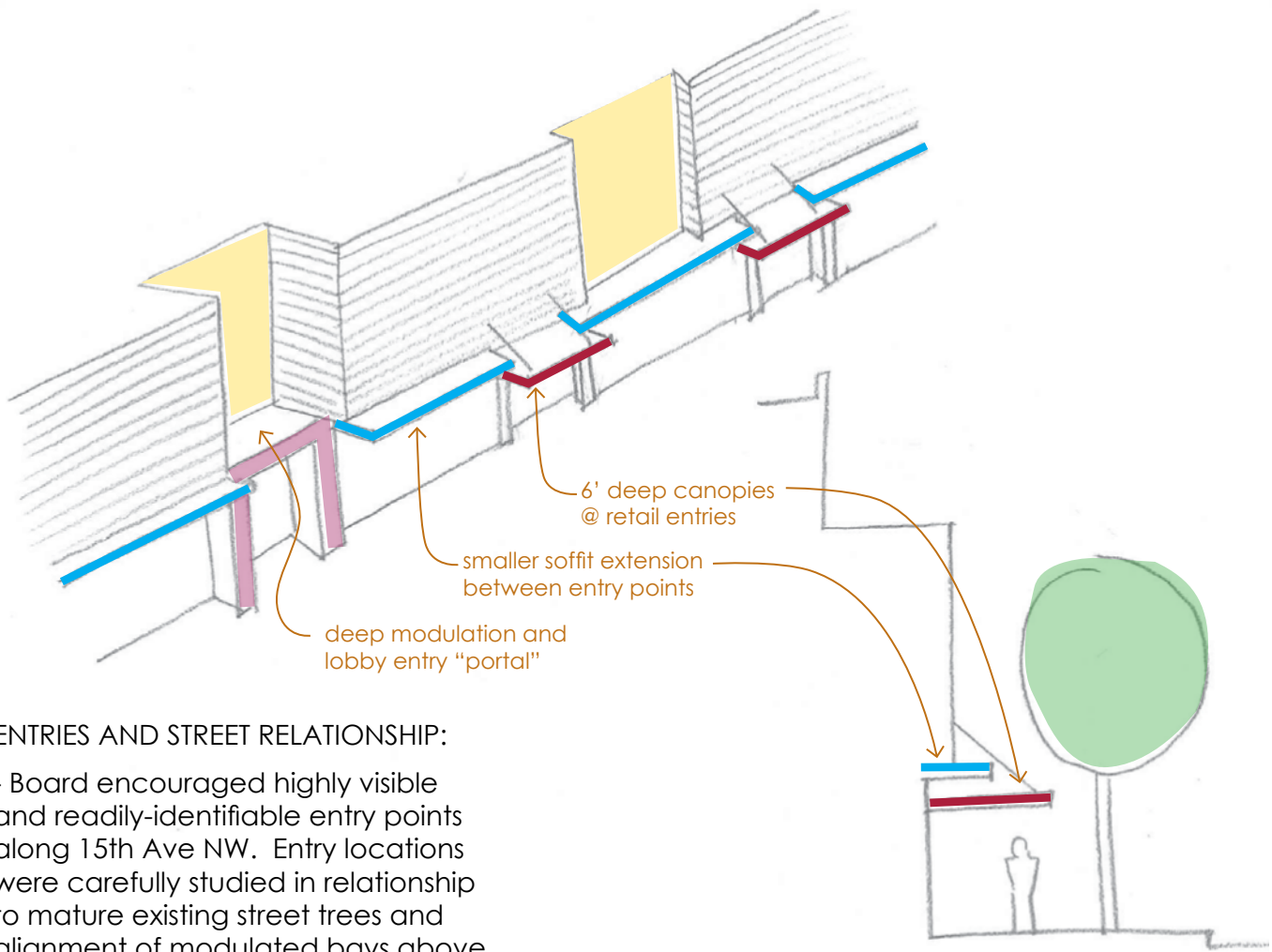
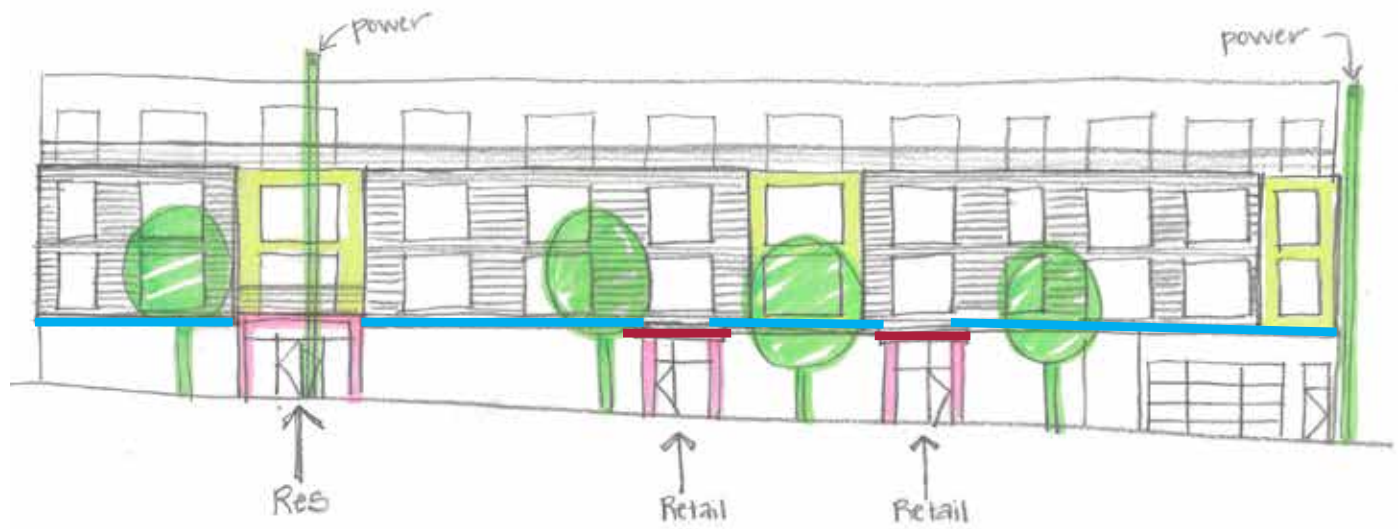


< preferred design: artistic graphic underlay similar to abstract landscape style of the above example (final design will be determined by local artist and submitted to SDCI Planner for approval)

< Perspective view of north facade from 15th Ave NW (preferred design)

an alternate design that was studied for north and south facades >





ENTRIES AND STREET RELATIONSHIP:

- Board encouraged highly visible and readily-identifiable entry points along 15th Ave NW. Entry locations were carefully studied in relationship to mature existing street trees and alignment of modulated bays above
- Size of mature street trees and presence of power poles mandates a modulated canopy. Larger canopies at retail entry points and deep modulated recess above main entry enhances pedestrian wayfinding

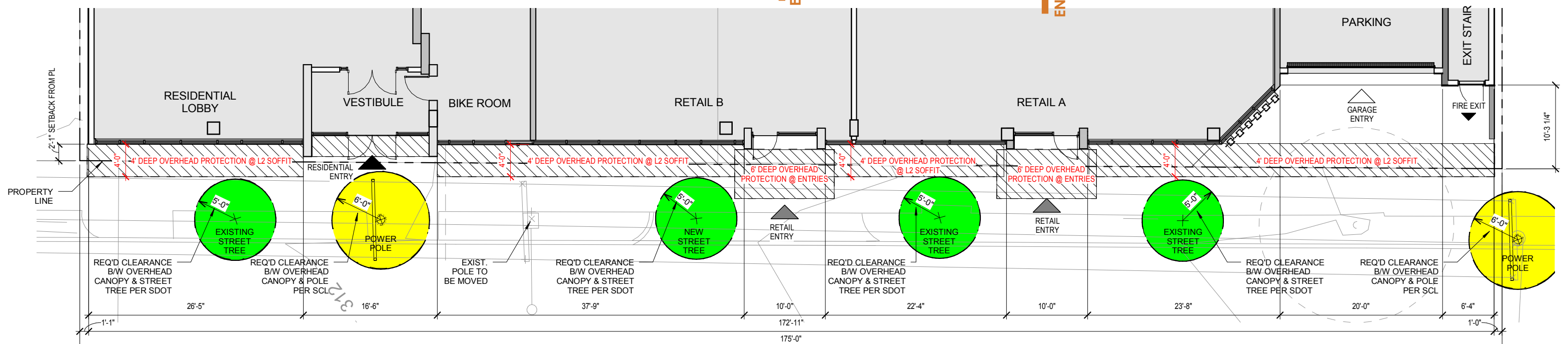
^ study of canopy/entry alignment with existing trees

perspective view of 15th Ave NW sidewalk at lobby entry >





WEST (15th Ave NW) ELEVATION



PARTIAL GROUND FLOOR PLAN AT STREET FRONT

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Overhead weather protection	SMC 23.47A.008.C.4 b Along 15th Ave NW (a Principal Pedestrian Street), the code requires overhead weather protection for 60% of the street frontage for a minimum width of 6' unless there is a conflict with street trees or utility poles	Due to (3) existing and (1) proposed street trees --which require 5' trunk clearance by SDOT--and (2) power poles--which require a 6' clearance from City Light, project proposes: <ul style="list-style-type: none"> - 6' wide canopies at retail entries (14% of the facade length rather than the 60% required) - a 2.5' deep entry 'portal' to mark the residential entry lobby - 4' wide canopies/soffits along the remaining frontage 	In order to better emphasize the entries and create a simplified well-composed facade, the project proposes to align the canopy modulation with the entries and overall architecture (GUIDELINES PL2.C.2: WEATHER PROTECTION DESIGN INTEGRATION and PL3.A.1: ENTRY DESIGN OBJECTIVES and DC2.B.1: FACADE COMPOSITION). To highlight retail entry points (which are located between street trees for street visibility), a 6' wide canopy is proposed. At the entry lobby, deep modulation of the building above is proposed to mark the main entry. Between entry points, the project proposes continuous 4' wide weather protection (the maximum width allowed without encroaching in the required street tree buffer). In a code-compliant design, the canopy would modulate in and out around the street trees with no relationship to building entries or the modulation of the facade.

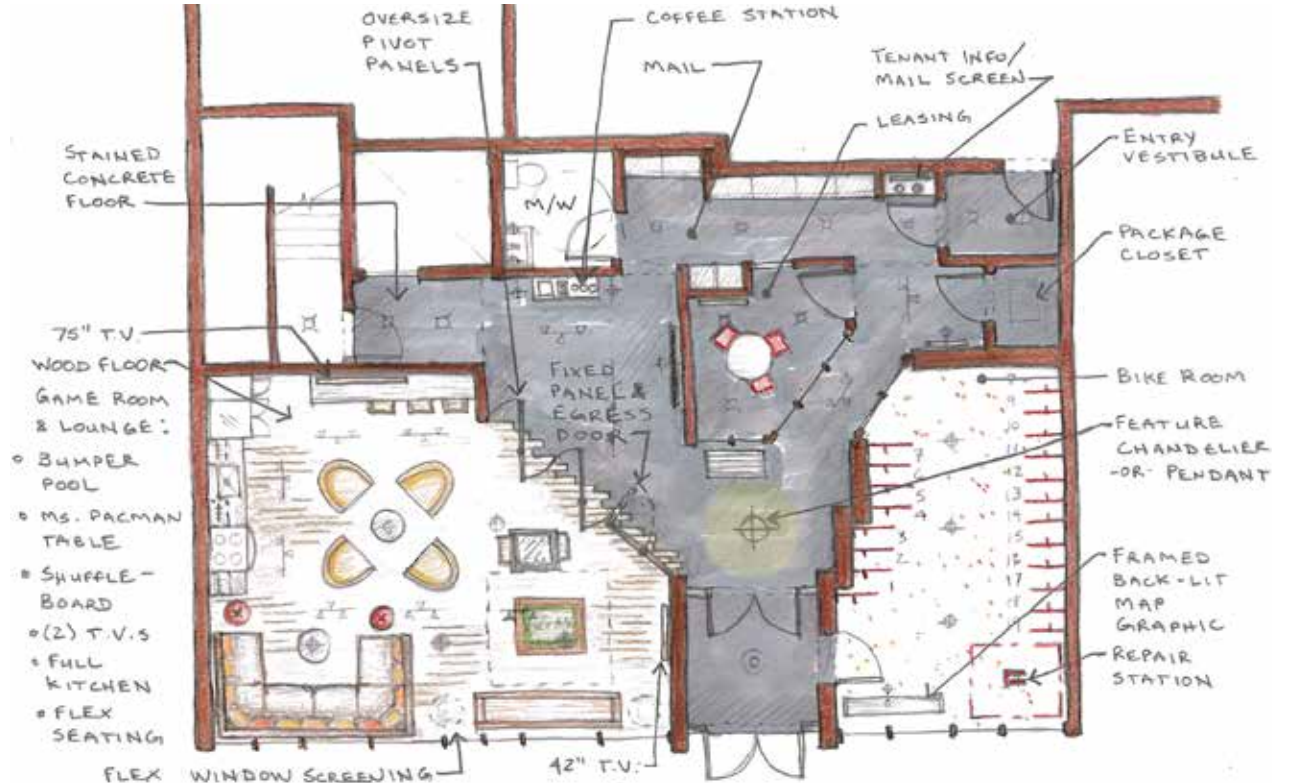


^ Code-compliant design with notched canopy at street tree locations.
Canopy has no relationship to entries or facade composition

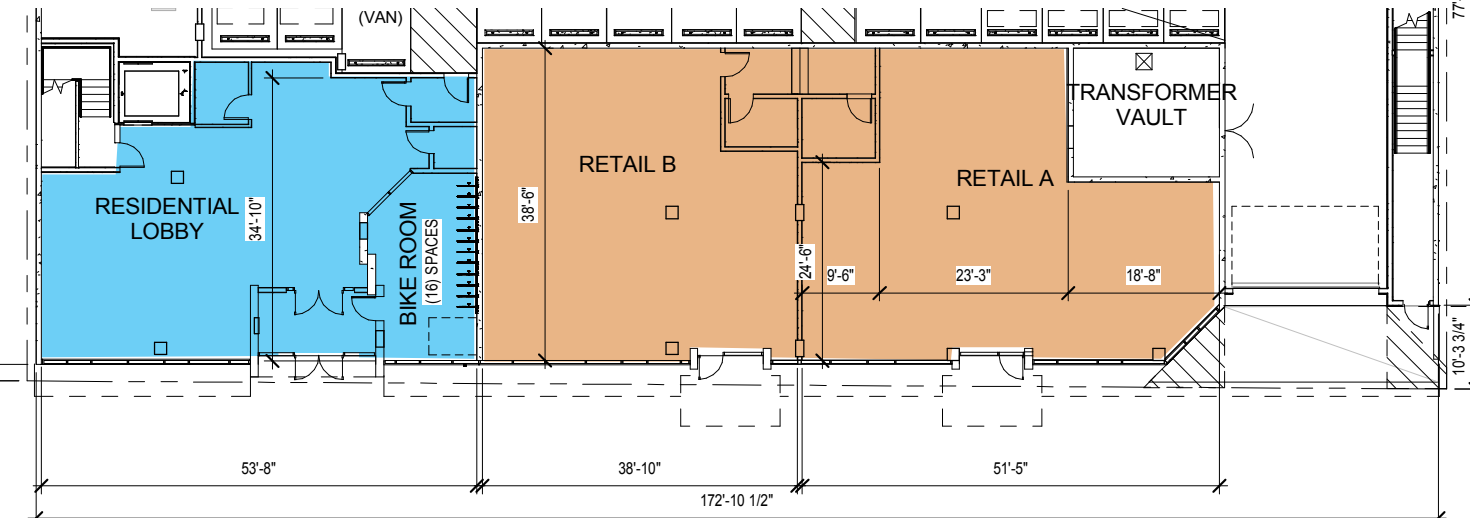


^ proposed design (with departure) from 15th Ave NW. Canopy design highlights building entry points and aligns with facade modulation

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Street Level Requirements: Use Frontage	SMC 23.47A.005.C.1 Along 15th Ave NW (a Principal Pedestrian Street), the code requires a maximum of 20% of the street-level street-facing facade to be occupied by residential uses. SMC 23.47A.005.D.1 Along 15th Ave NW (a Principal Pedestrian Street), the code requires a minimum of 80% of the frontage be occupied with allowed retail uses.	53.1% of the street-level facade facing 15th Ave NW is occupied by allowed retail uses to allow for an expanded residential lobby with associated residential amenity area.	The intent of the code is to provide an active use along the street frontage that is engaging to the pedestrian realm. The project proposes an active lobby area with resident lounge designed to facilitate lingering, studying, socializing, and engagement with building management/leasing personnel, creating a stronger sense of residential community and connection to the street (GUIDELINES CS2.B.2: CONNECTION TO THE STREET and PL3.B.4: RESIDENTIAL INTERACTION). A code-compliant alternative would be to decrease the lobby width (thereby eliminating the lounge area), reducing the residential entry to a transient space that would see little use other than residential through-passage to and from dwelling units above.



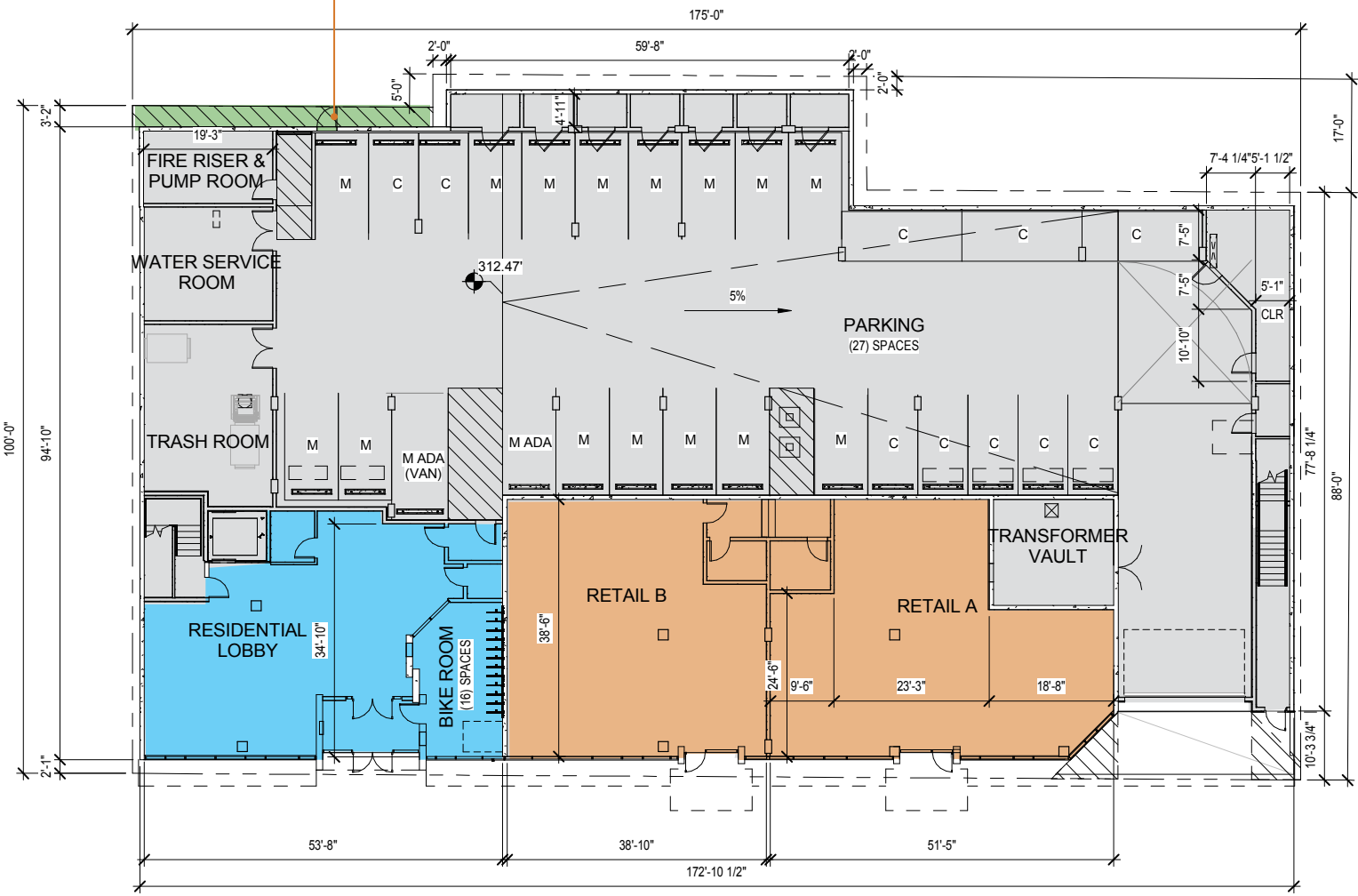
^ VIBRANT LOBBY AMENITY AND BIKE ROOM CONCEPT



^ PARTIAL GROUND FLOOR PLAN (FRONTING 15TH AVE NW)



ground floor setback and landscaping

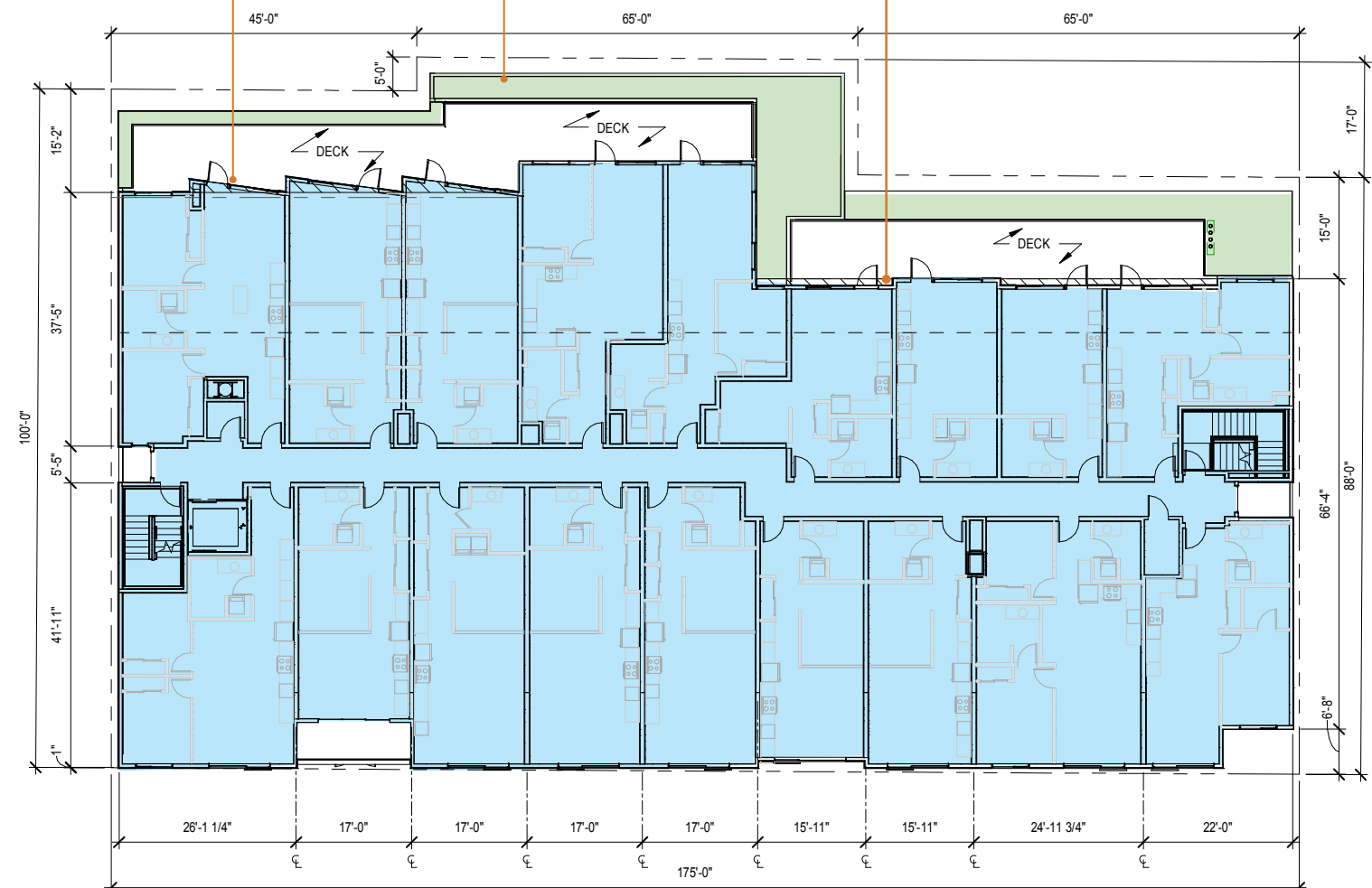


15th Ave NW

GROUND FLOOR PLAN



sawtooth bay window modulation, stormwater planter/privacy buffer @ deck edge, inset modulation bays



15th Ave NW

2ND FLOOR PLAN (3RD FLOOR SIMILAR)



power line setback @ 4th floor

inset areas with windows @ north and south facades

residential rooftop amenity area held to west (away from SF-5000 neighbors to east)

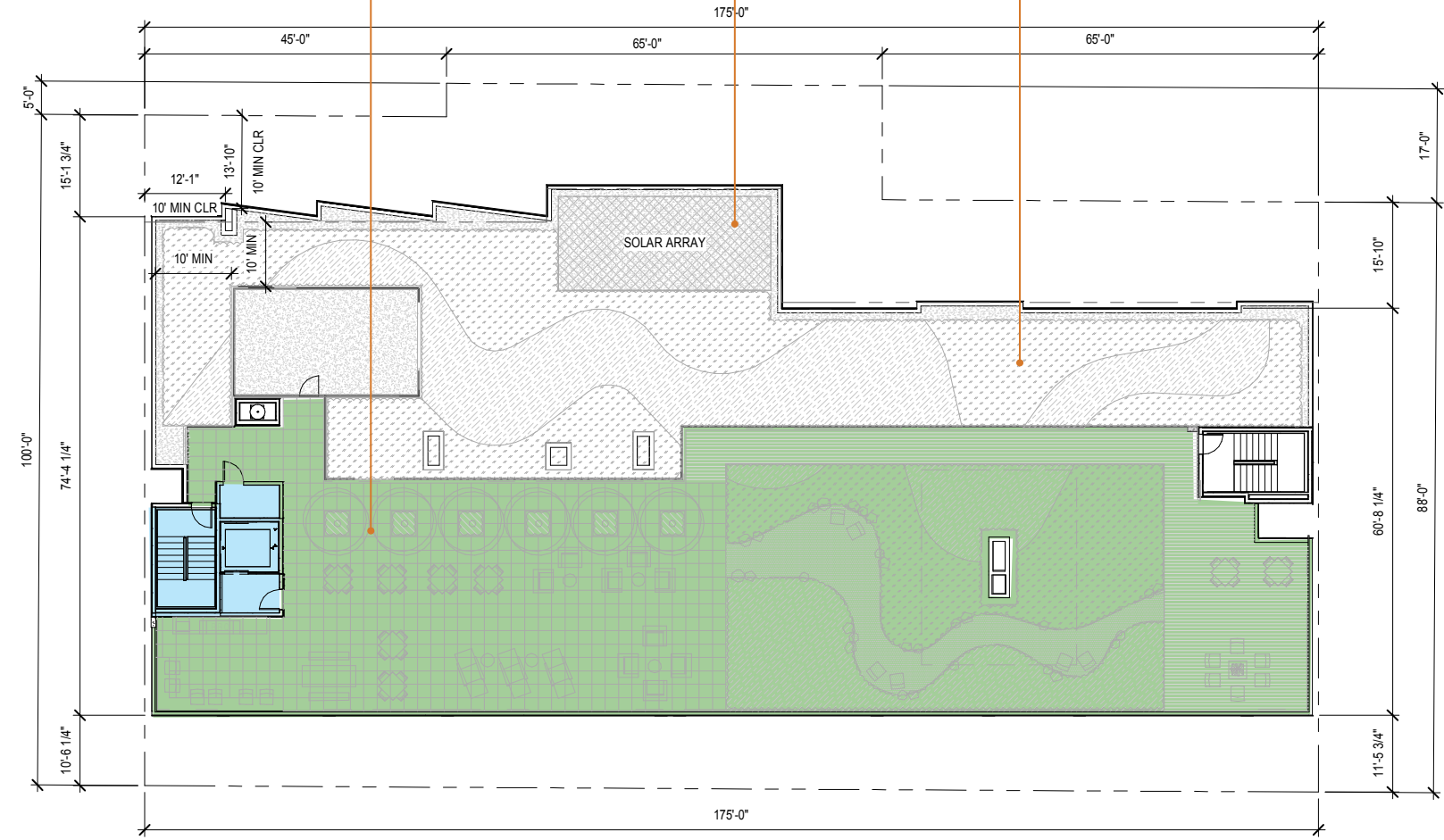
rooftop solar array

green roof (green feature and acts as privacy buffer)



15th Ave NW

4TH FLOOR PLAN



15th Ave NW

ROOF PLAN



MATERIAL KEY:



dark-stained T&G cedar siding with black vinyl windows



textured boardformed concrete



painted cement board panel siding with black vinyl windows



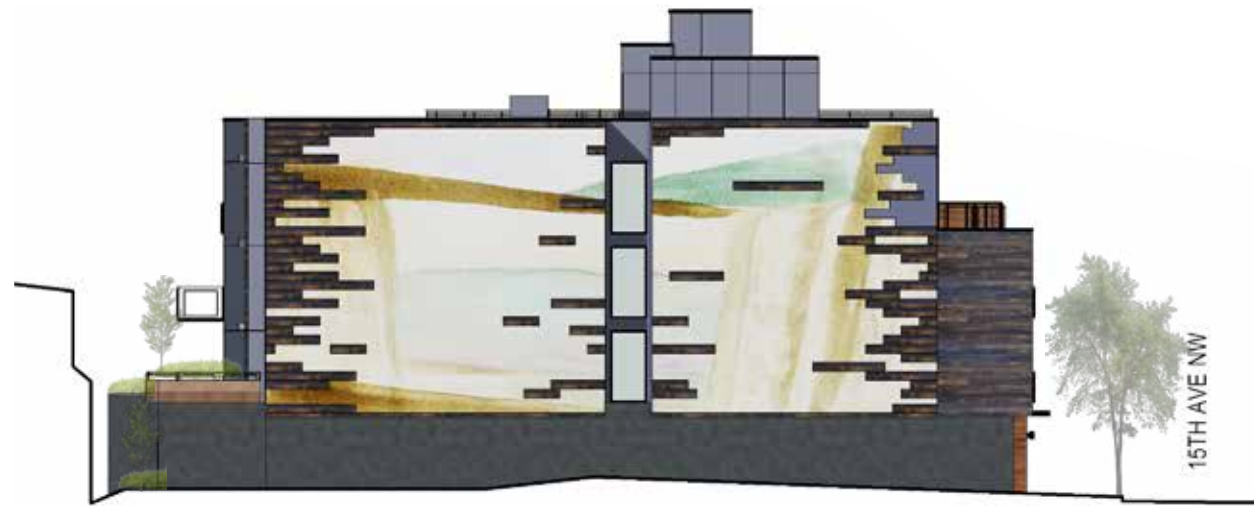
painted wall mural



accent painted cement board panel siding with black vinyl windows



cedar soffits and canopies



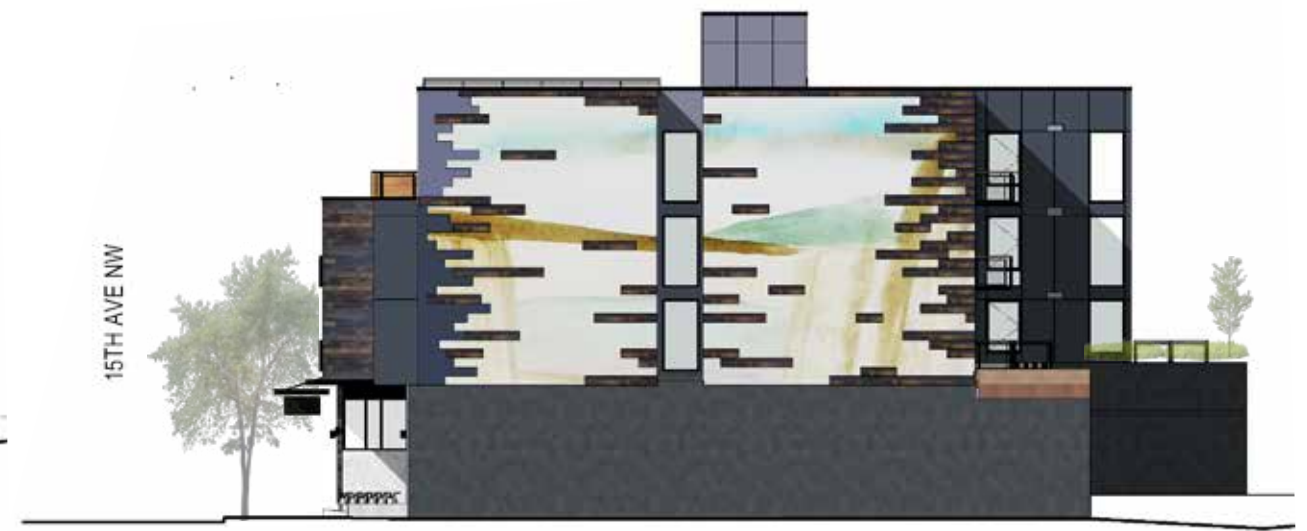
NORTH ELEVATION



WEST (15TH AVE NW) ELEVATION



EAST ELEVATION

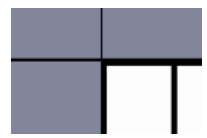


SOUTH ELEVATION

MATERIAL KEY:



dark-stained T&G cedar siding with black vinyl windows



painted cement board panel siding with black vinyl windows



accent painted cement board panel siding with black vinyl windows



textured boardformed concrete



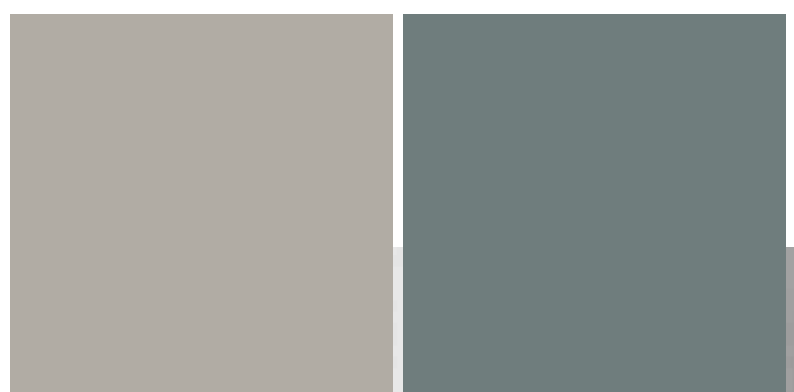
painted wall mural



cedar soffits and canopies



^ cedar T&G siding with dark stain

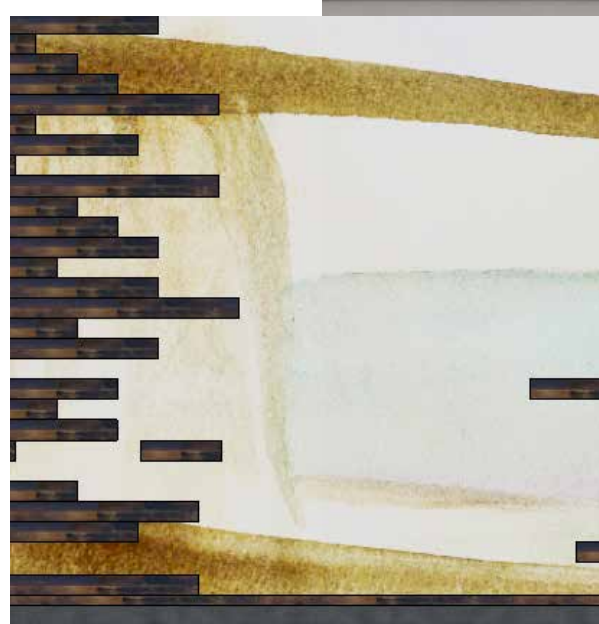


Aluminum and open weave mesh garage door >

^ Siding paint colors



^ preweathered steel planters at podium deck edge



< artistic wall mural @ north-south walls



^ painted cement board siding with black vinyl windows



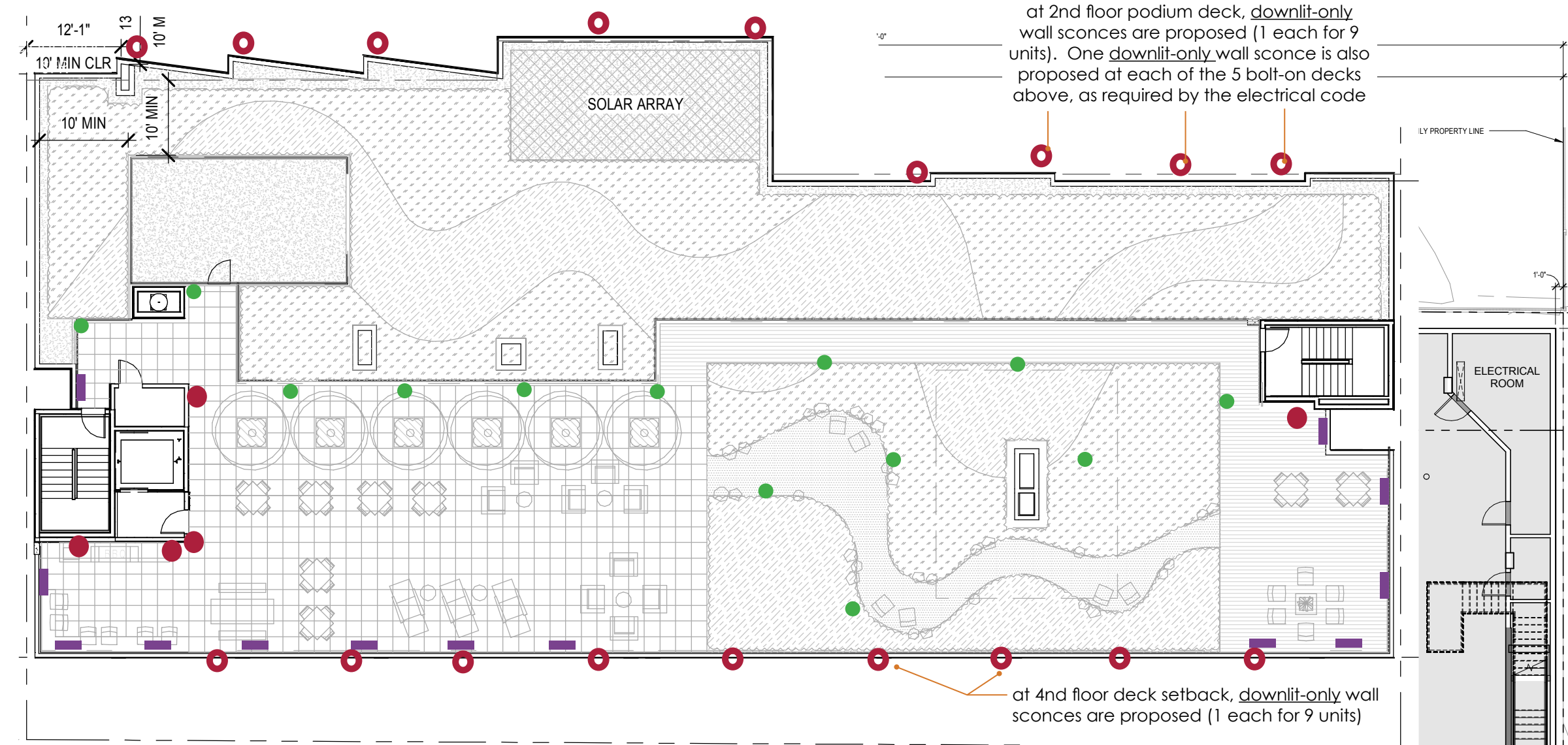
^ black storefront windows, recessed base, cedar soffits



^ entry canopies with steel frame and cedar soffit

cast-in-place concrete with boardformed texture v





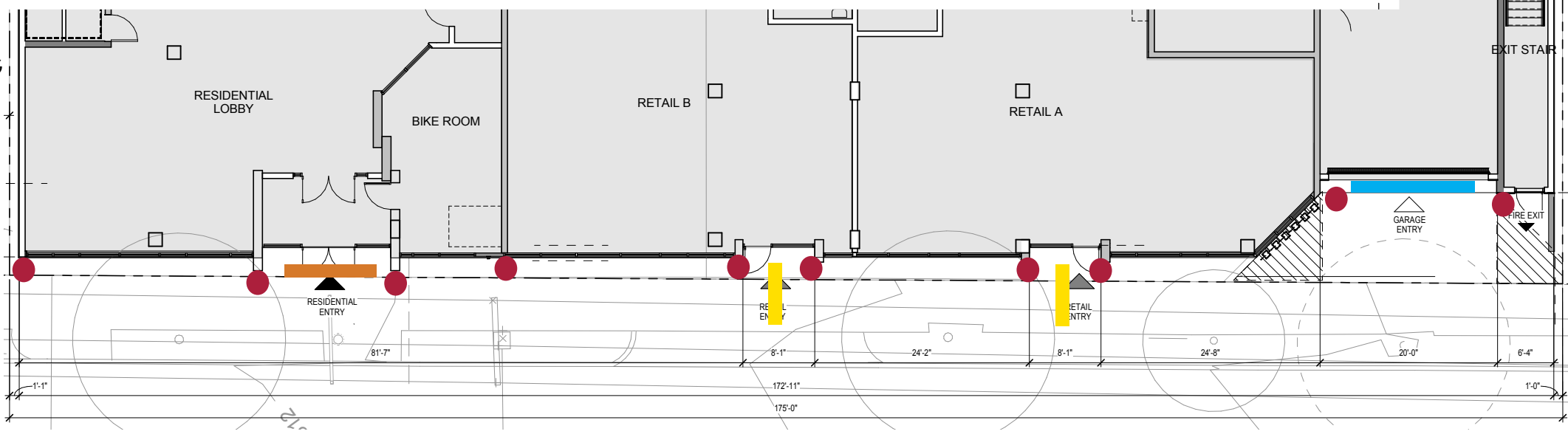
Externally-illuminated under-canopy blade sign



above-canopy lettering for building name

Parking wayfinding signage

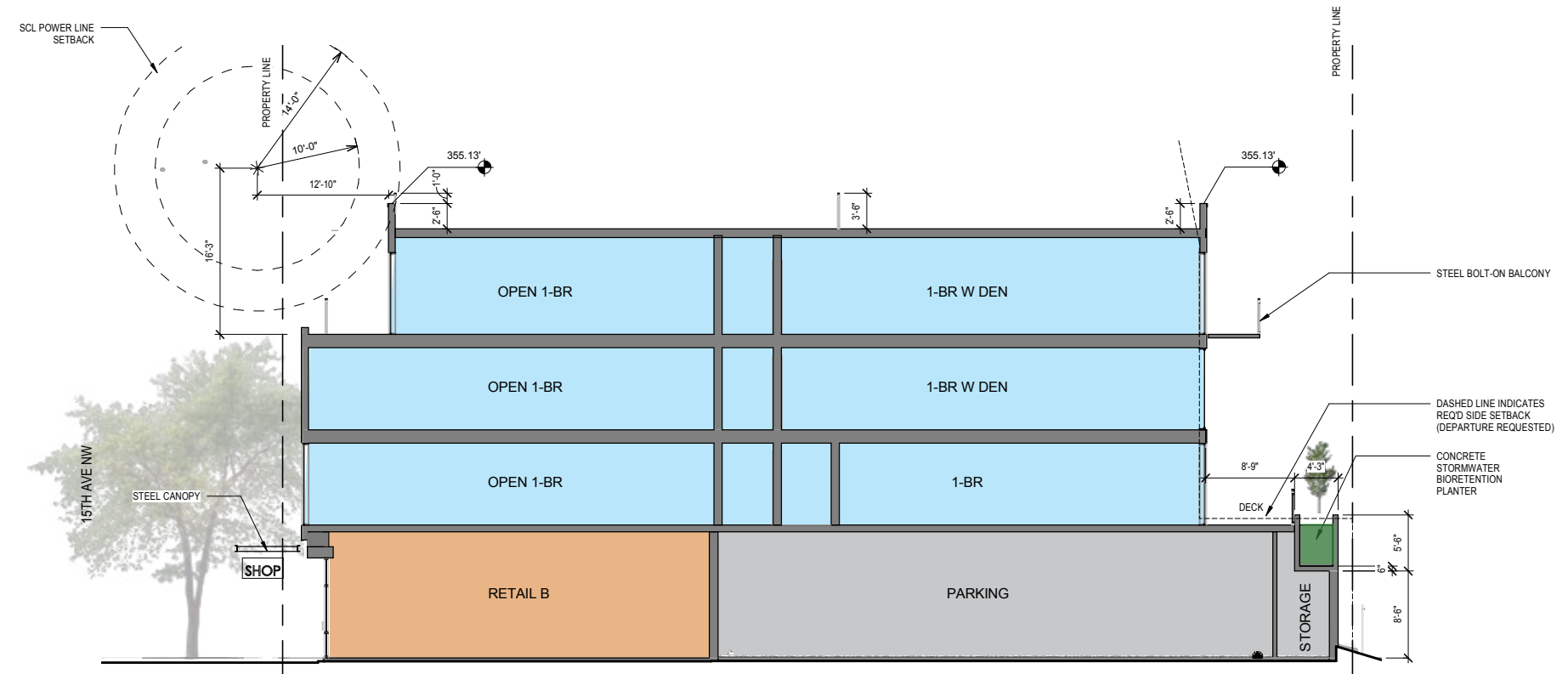
^ ROOF/
PODIUM LIGHTING



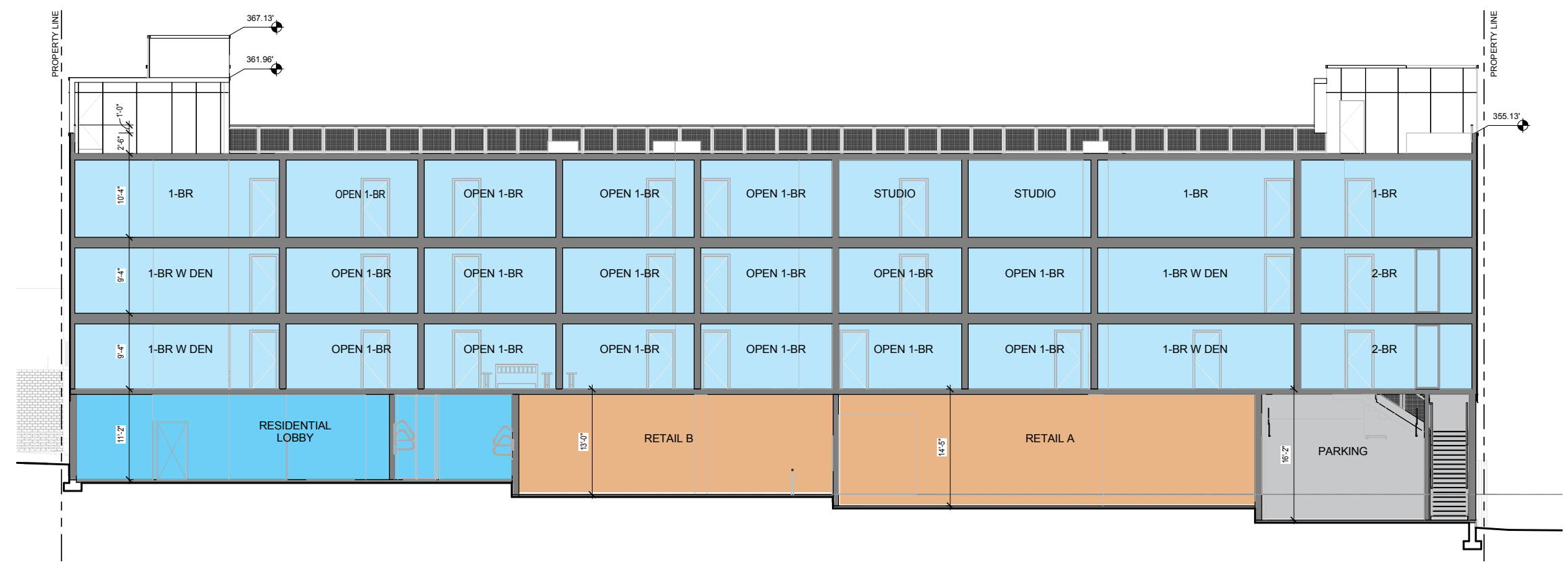
GROUND FLOOR >

15TH AVE NW

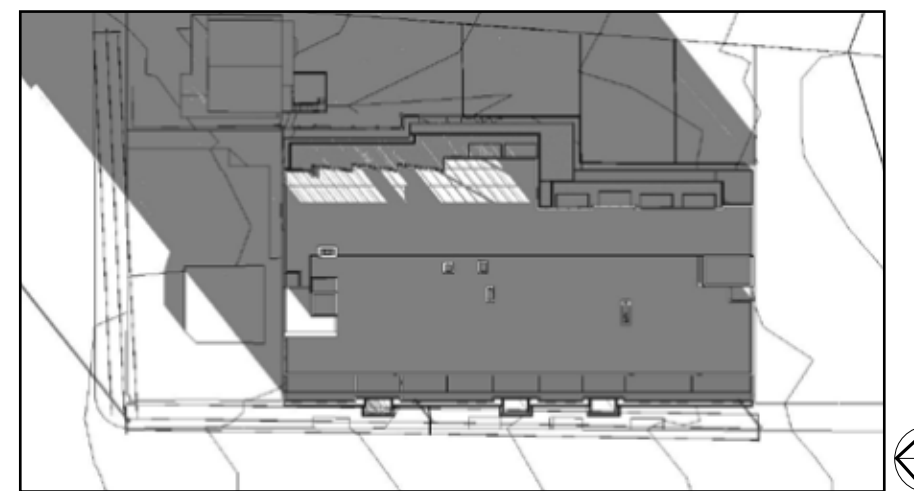
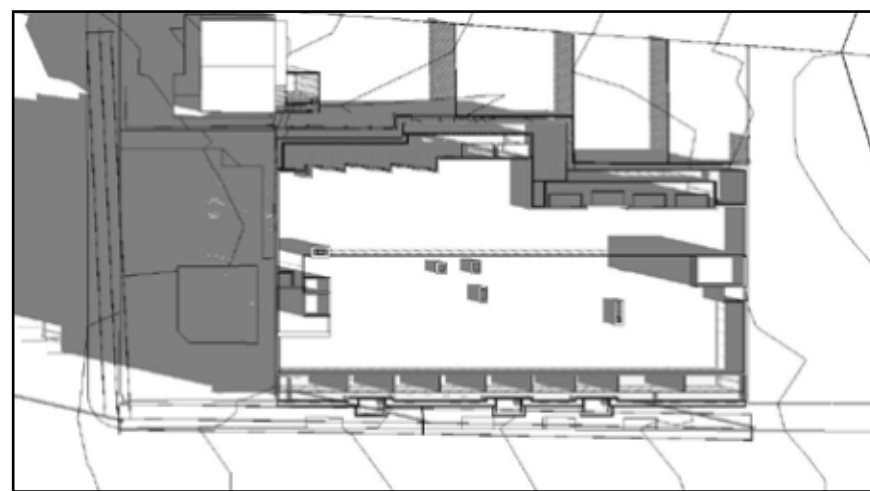
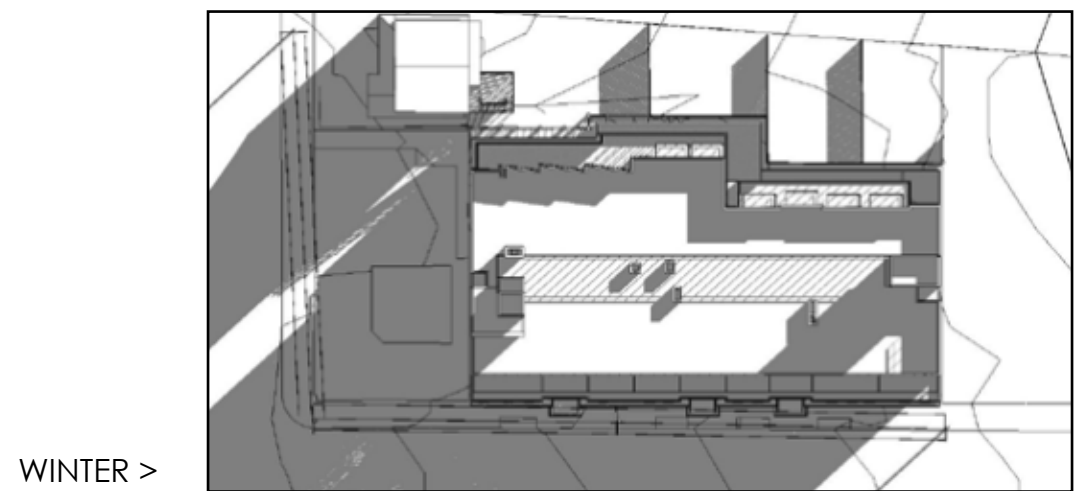
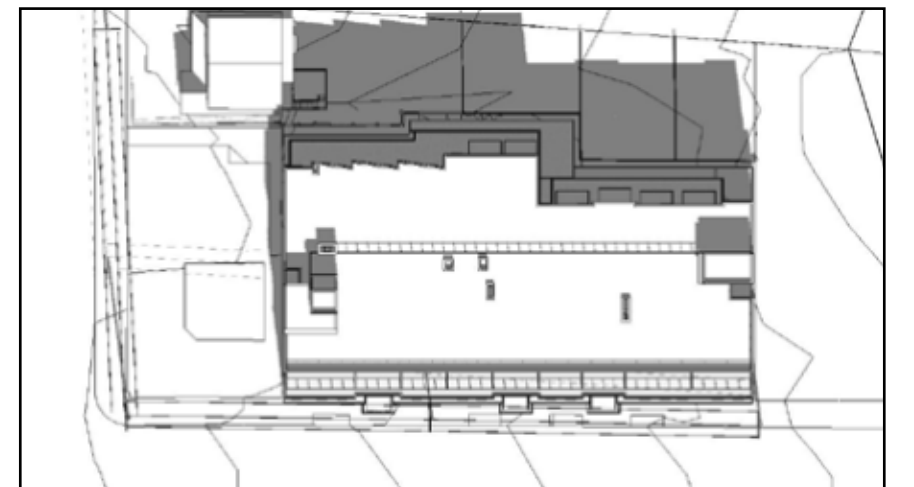
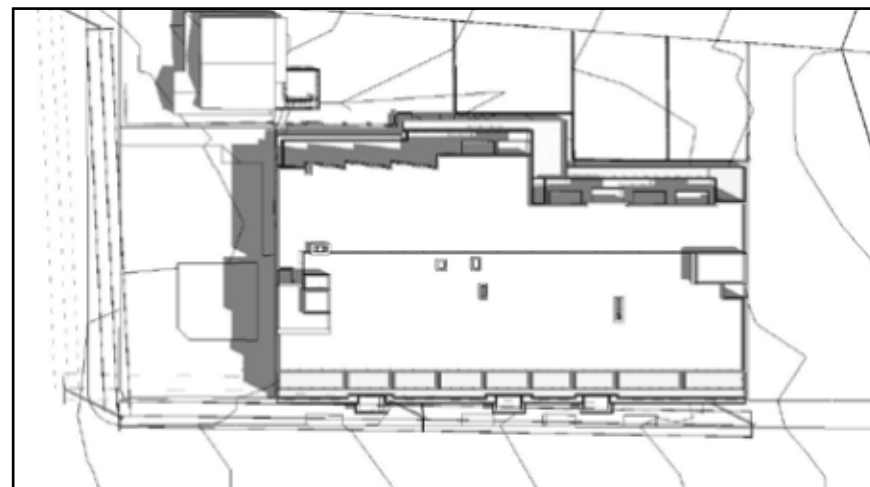
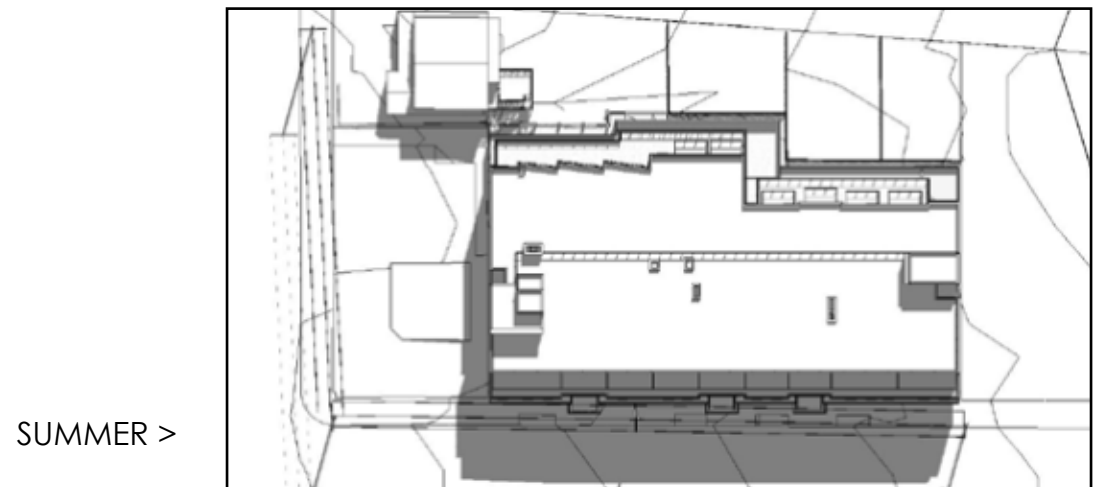
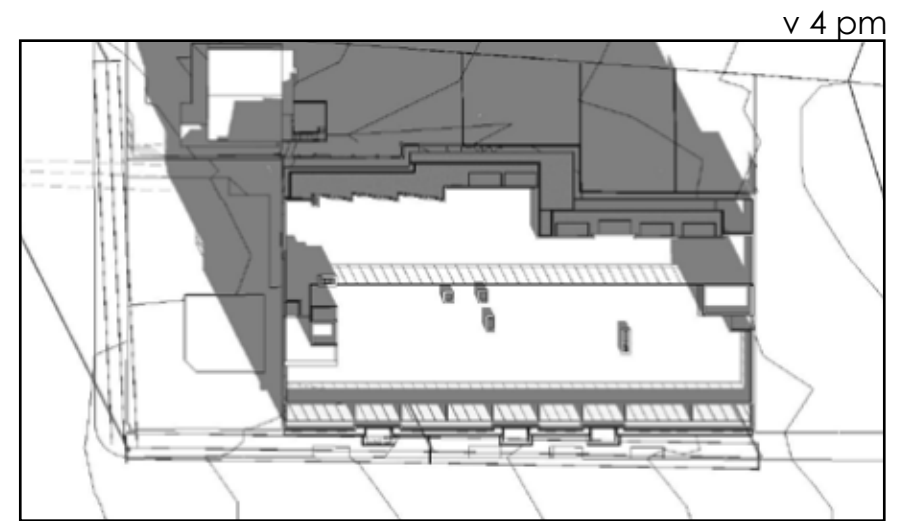
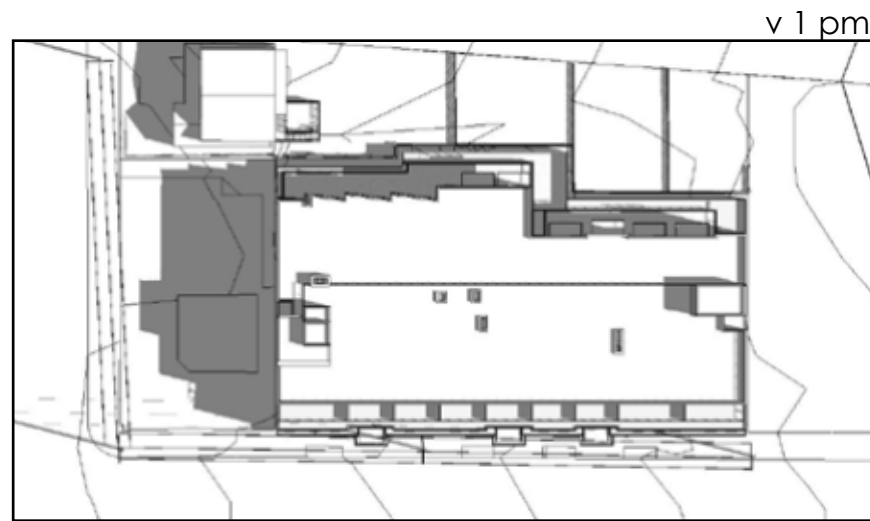
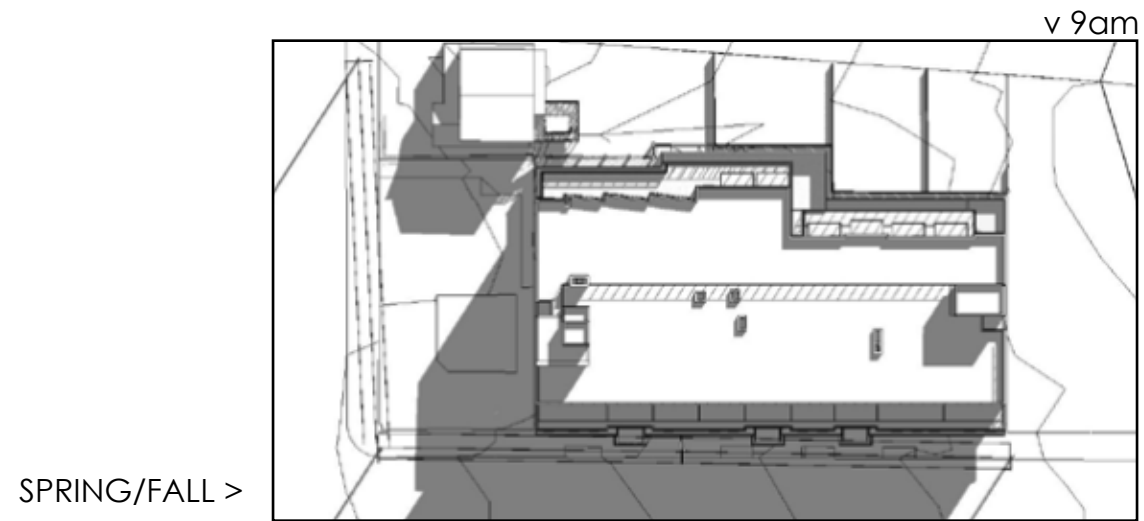
- Building-mounted up-down sconce (Red circle)
- Building-mounted downlit wall sconce (White circle)
- landscape/pathlight bollard (at rooftop deck) (Green circle)
- recessed wall light (at inside of roof parapet, facing inward) (Purple rectangle)

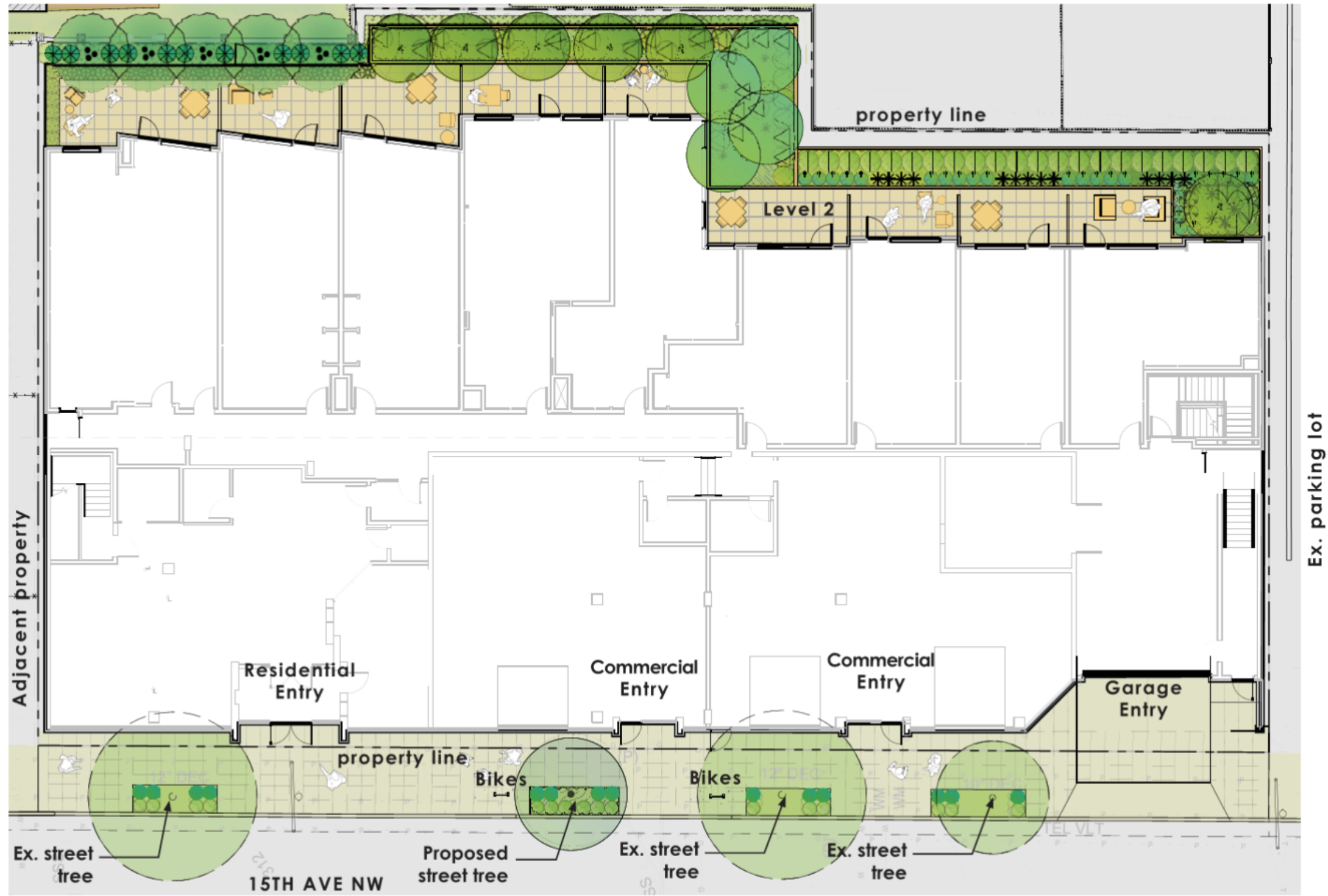


EAST-WEST SECTION (LOOKING NORTH)



NORTH-SOUTH SECTION (LOOKING EAST FROM 15TH AVE NW)





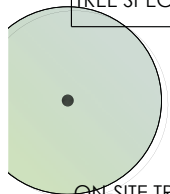
1 0 i 16 i 32 ^ N

PLANT LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE/COND./SPACING
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PROPOSED STREET TREES:

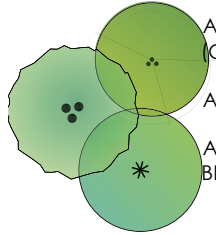
TREE SPECIES APPROVED BY BILL AMES, SDOT URBAN FORESTER VIA EMAIL ON 1/15/16.



15TH AVE NW

ACER TRUNCATUM X A. PLATANOIDES 2-1/2" CAL./ B&B/PER PLAN
'WARRENRED' / PACIFIC SUNSET MAPLE

ON-SITE TREES:



ACER PALMATUM / JAPANESE MAPLE (GREEN)

ACER CIRCINATUM/ VINE MAPLE MULTI-STEM., MIN 3 STEMS, 8' HT./ B&B/ PER PLAN

AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'/ HYBRID SERVICEBERRY

SHRUBS & GROUNDCOVER - ALL PLANTS SHALL BE CONTAINERS IN R.O.W.

- SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIREA
- BUXUS MICROPHYLLA 'WINTER GEM' / WINTER GEM JAPANESE BOXWOOD
- ARCTOSTAPHLOS UVA-URSI/ COASTAL STRAWBERRY

LEVEL 2 PODIUM

MIX A

- HELLEBORUS ORIENTALIS / HELLEBORE (WHITE AND PINK)
- SARCOCOCCA RUSCIFOLIA/ FRAGRANT SWEETBOX
- VIBURNUM DAVIDII / DAVID'S VIBURNUM
- DEUTZIA GRACILIS 'NIKKO' / DWARF NIKKO DEUTZIA
- SPIRAEA BETUFOLIA 'TOR' / BIRCH-LEAF SPIREA
- LIRIOPE MUSCARI / LILYTURF
- PACHYSANDRA TERMINALIS / SPURGE

MIX B - BIORETENTION PLANTER

- JUNCUS EFFUSUS/ COMMON RUSH
- CAREX OBNUPTA/ SLOUGH SEDGE
- IRIS SIBERICA/SIBERIAN IRIS
- CORNUS STOLONIFERA 'KELSEYII' / KELSEY'S DOGWOOD

MIX C

- PHYLLOSTACHYS AUREA / GOLDEN BAMBOO
- OPHIOPOGON PLANISCAPUS 'NIGRESCENS' / BLACK MONDO GRASS

EAST EDGE

- ARCTOSTAPHLOS UVA-URSI/ COASTAL STRAWBERRY
- POLYSTICHUM MUNITUM / SWORDFERN
- MAHONIA NERVOSA / LOW OREGON GRAPE

TREES



Acer truncatum x A. Platanoides
'Warrenred' / Pacific Sunset Maple



Acer circinatum
Vine Maple



Acer palmatum
Japanese Maple



Amelanchier grandiflora 'Autumn Brilliance' / Hybrid Serviceberry

SHRUBS



Buxus microphylla 'Winter Gem'
Winter Gem Japanese Boxwood



Spiraea densiflora
Subalpine Spirea



Sarcococca ruscifolia
Fragrant Sweetbox



Viburnum davidii
David's Viburnum



Polystichum munitum
Western Sword Fern



Deutzia gracilis 'Nikko'
Dwarf Nikko Deutzia



Cornus 'kelseyii'
Kelsey's Redtwig Dogwood



Phyllostachys aurea
Golden Bamboo

GROUNDCOVERS



Pachysandra terminalis
Japanese Spurge



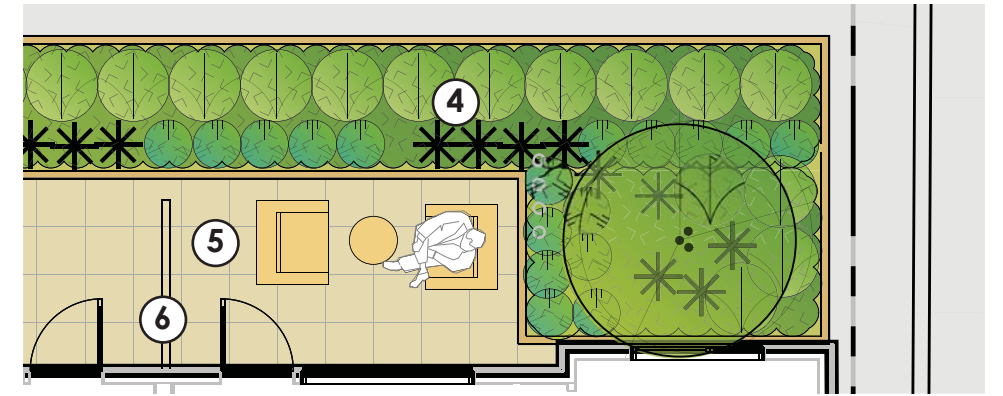
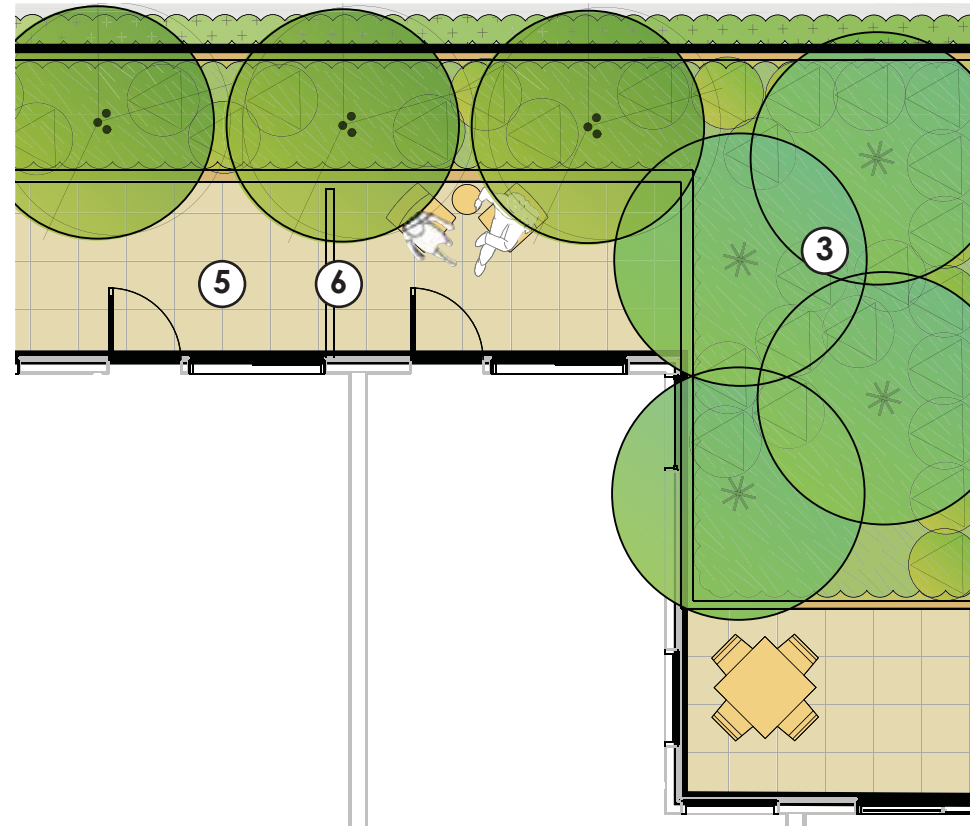
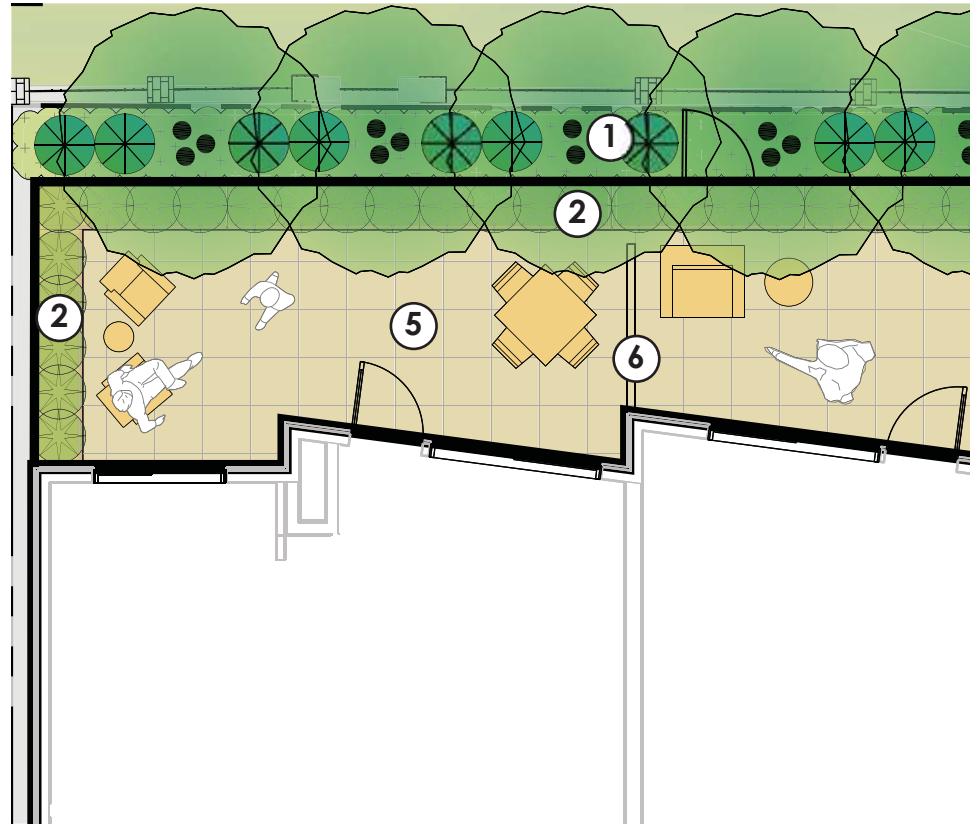
Liriope spicata
Creeping Lilyturf



Fragaria chiloensis
Beach Strawberry



Juncus effusus Common Rush
Iris Siberica Siberian Iris



Podium level private patios

- 1 Vine maples/cammelia hedge/ native groundcover approved by neighbor
- 2 Bamboo in planters
- 3 Bioretention planter
- 4 Mounded Planting Area
- 5 Pedestal pavers
- 6 Architectural screens



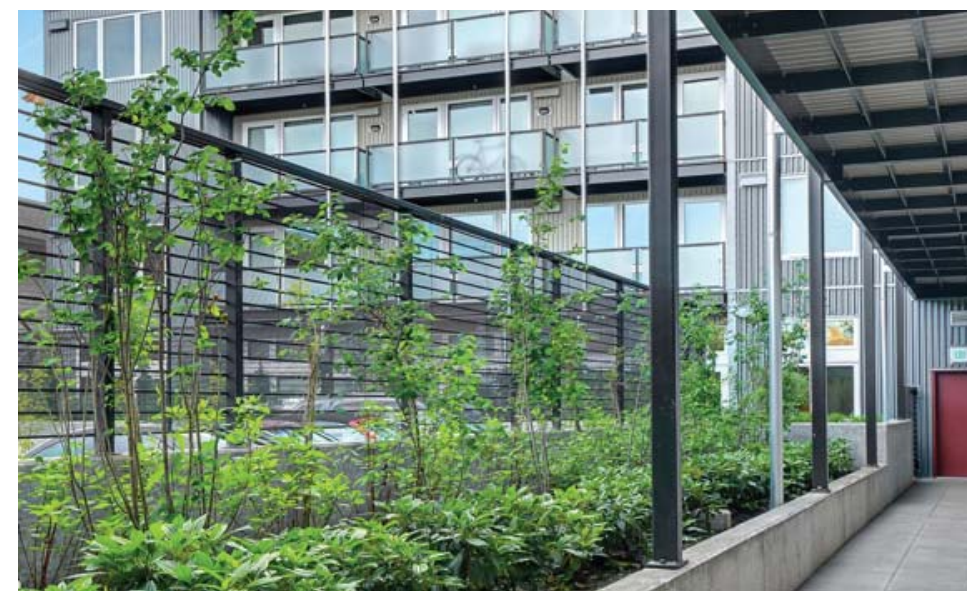
1 Vine maples



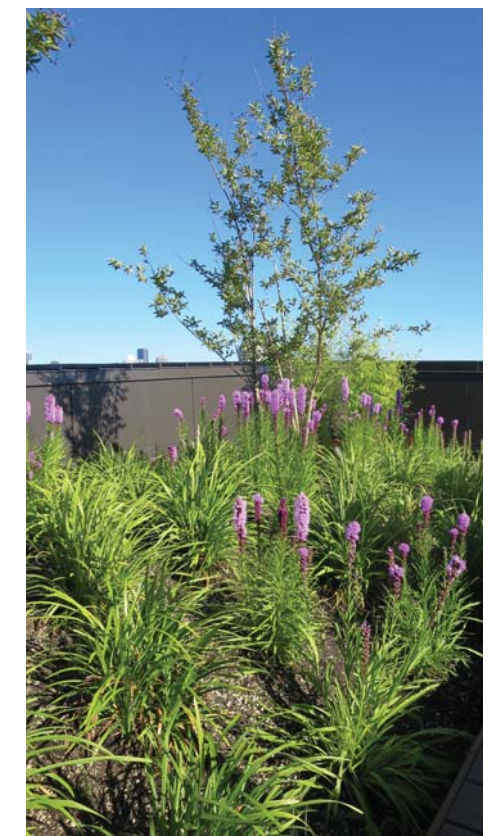
1 Cammellia hedge



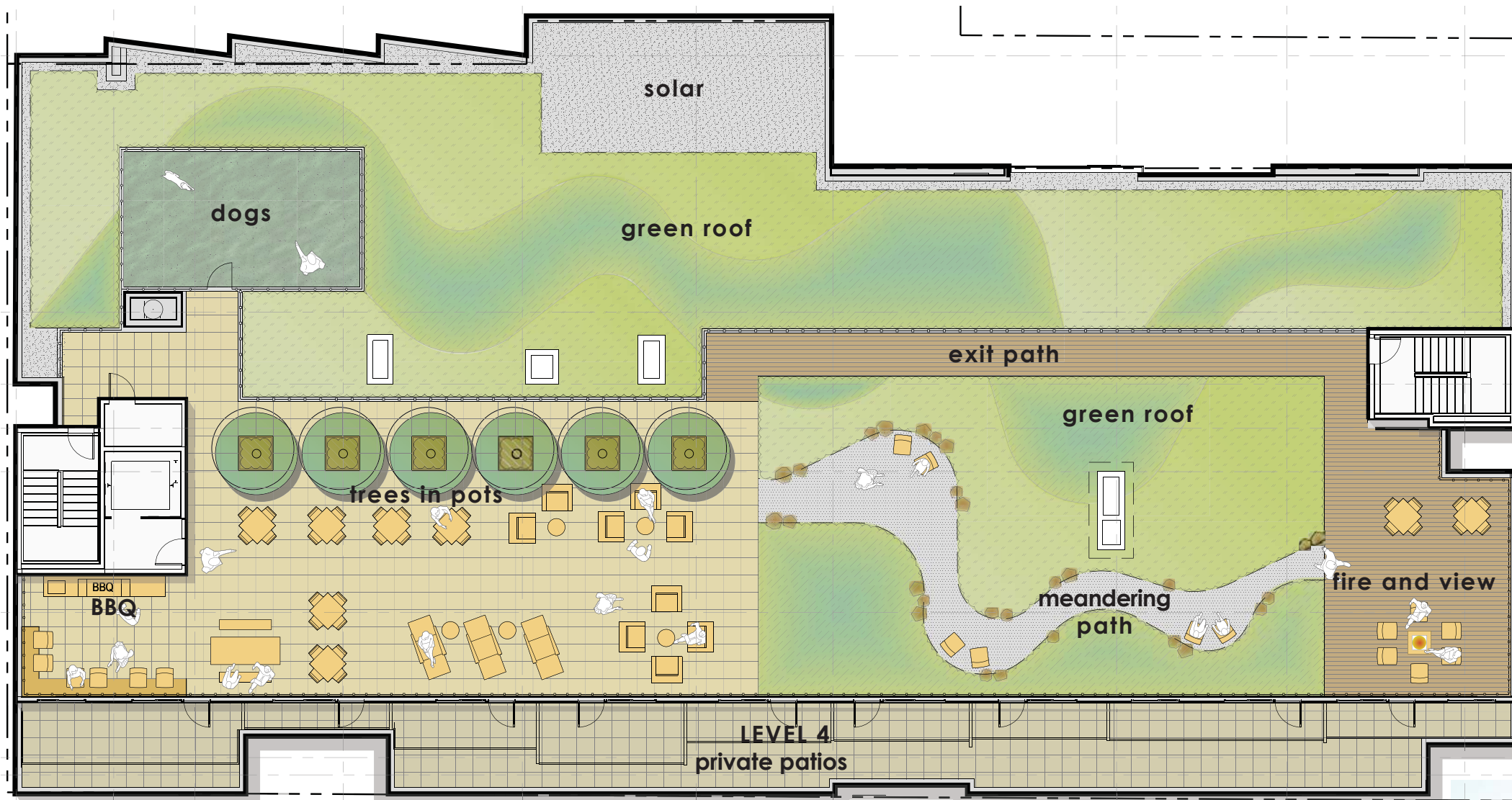
2 Bamboo in planters



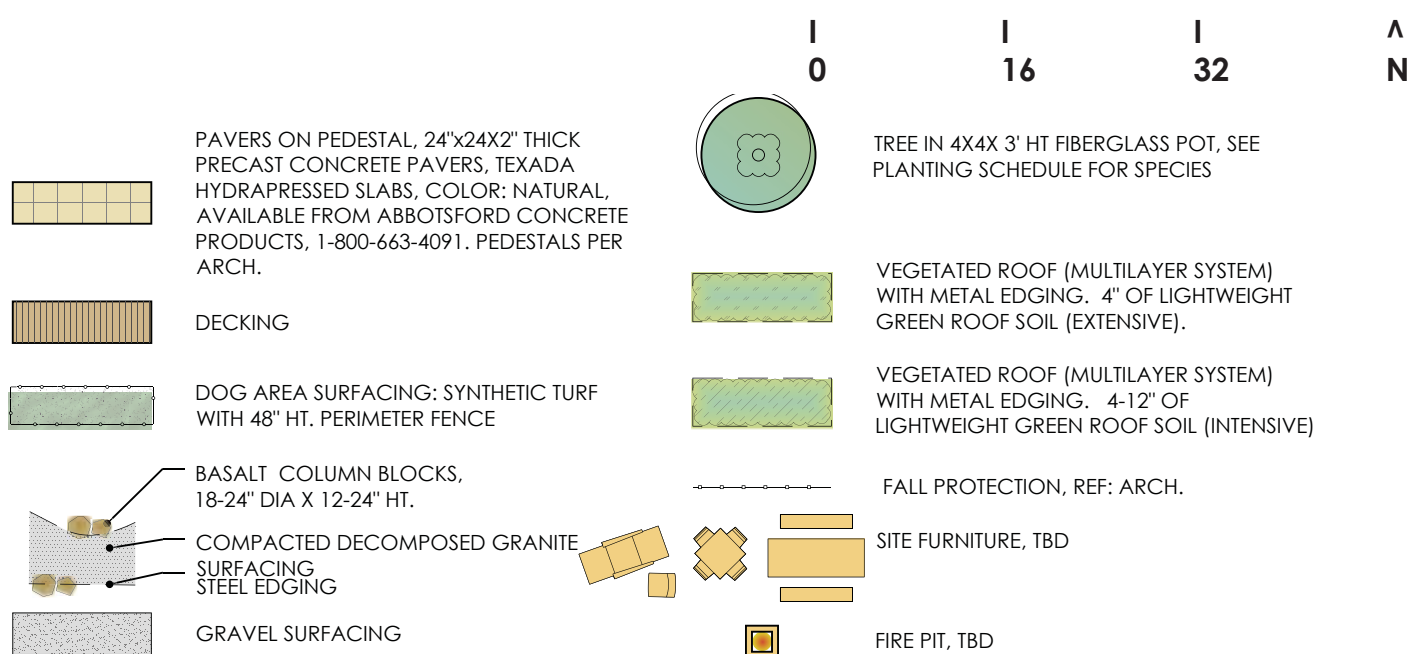
3 Bioretention planter



4 Mounded planting area



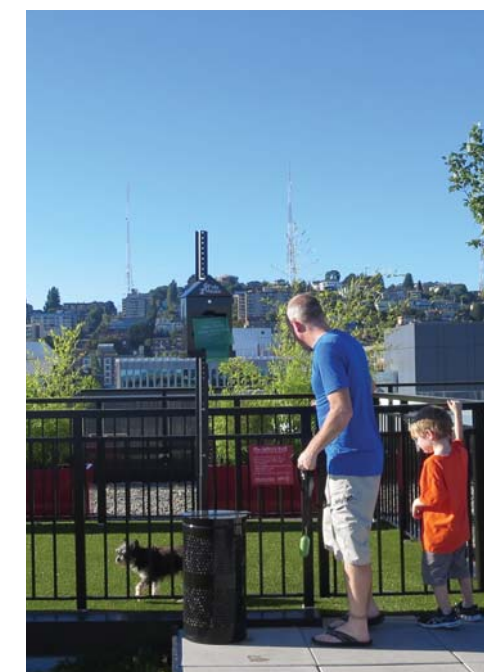
fire and view



pots with trees



meandering path



dogs



19TH AND MERCER

COMMUNITY-ORIENTED GROUND LEVEL RETAIL



COMMUNITY-ORIENTED GROUND LEVEL RETAIL



COMMUNITY-ORIENTED GROUND LEVEL RETAIL



THE WALLY

USE OF MATERIALS TO ARTICULATE MASSING



USE OF MATERIALS TO ARTICULATE MASSING



PEDESTRIAN DETAIL AT GROUND LEVEL



THE ADDY

USE OF MATERIALS TO ARTICULATE MASSING



PEDESTRIAN DETAIL AT GROUND LEVEL



HIGH-QUALITY MATERIALS



ARTICULATED COLORS / MATERIALS



COMMUNAL COURTYARD



TACTILE MATERIALS



CREATIVE SITE DESIGN



VISIBLE SUSTAINABLE PRACTICES



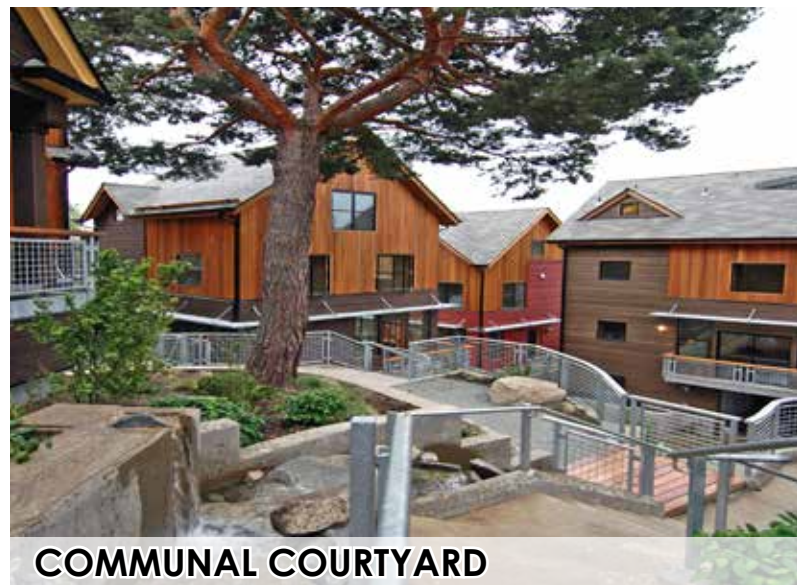
FENESTRATION / MATERIAL PATTERNING



LIVABLE COMMUNAL SPACE



FENESTRATION / MATERIAL PATTERNING



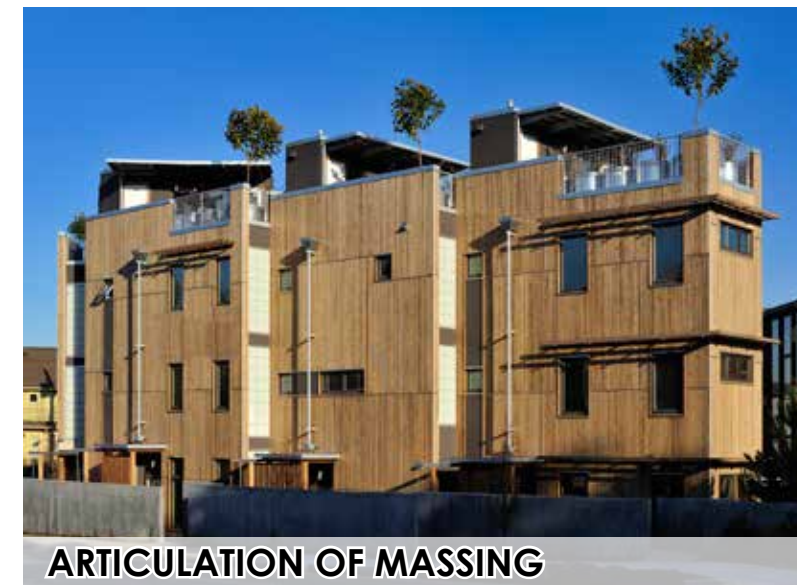
COMMUNAL COURTYARD



STREET-LEVEL ENGAGEMENT



FINE-GRAIN ARCHITECTURAL DETAIL



ARTICULATION OF MASSING