



# SECOND & WALL

210 WALL STREET

EARLY DESIGN GUIDANCE MEETING 2  
DOWNTOWN DESIGN REVIEW BOARD  
FEBRUARY 16, 2016  
DPD #3020932



# PROJECT INFORMATION

**ADDRESS:** 210 WALL STREET

**DPD PROJECT #:** 3020932

<b>ARCHITECT:</b>	<b>LANDSCAPE ARCHITECT:</b>	<b>DEVELOPER:</b>
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# DEVELOPMENT DETAILS

The proposed project is 24-story mixed-use residential building with below-grade parking. The basic program includes:

- APPROXIMATELY 300 APARTMENTS
- 10,000 GSF OF STREET-LEVEL COMMERCIAL AREA
- APPROXIMATELY 250 BELOW-GRADE PARKING STALLS

# PROJECT GOALS

- CREATE A VIBRANT PEDESTRIAN AND RETAIL STREET EXPERIENCE FOR THE NEIGHBORHOOD
- DEVELOP A RESIDENTIAL COMMUNITY APPROPRIATE FOR ITS PLACE, THAT IS “OF BELLTOWN”, AND PROVIDES A PLAYFUL, ACTIVE ENVIRONMENT FOR THE LOCAL COMMUNITY TO ENGAGE WITH
- REINFORCE CONCEPTS FROM THE ‘GROWING VINE STREET’ MOVEMENT, EMPHASIZING VINE STREET AS A PEDESTRIAN-ORIENTED GREEN STREET

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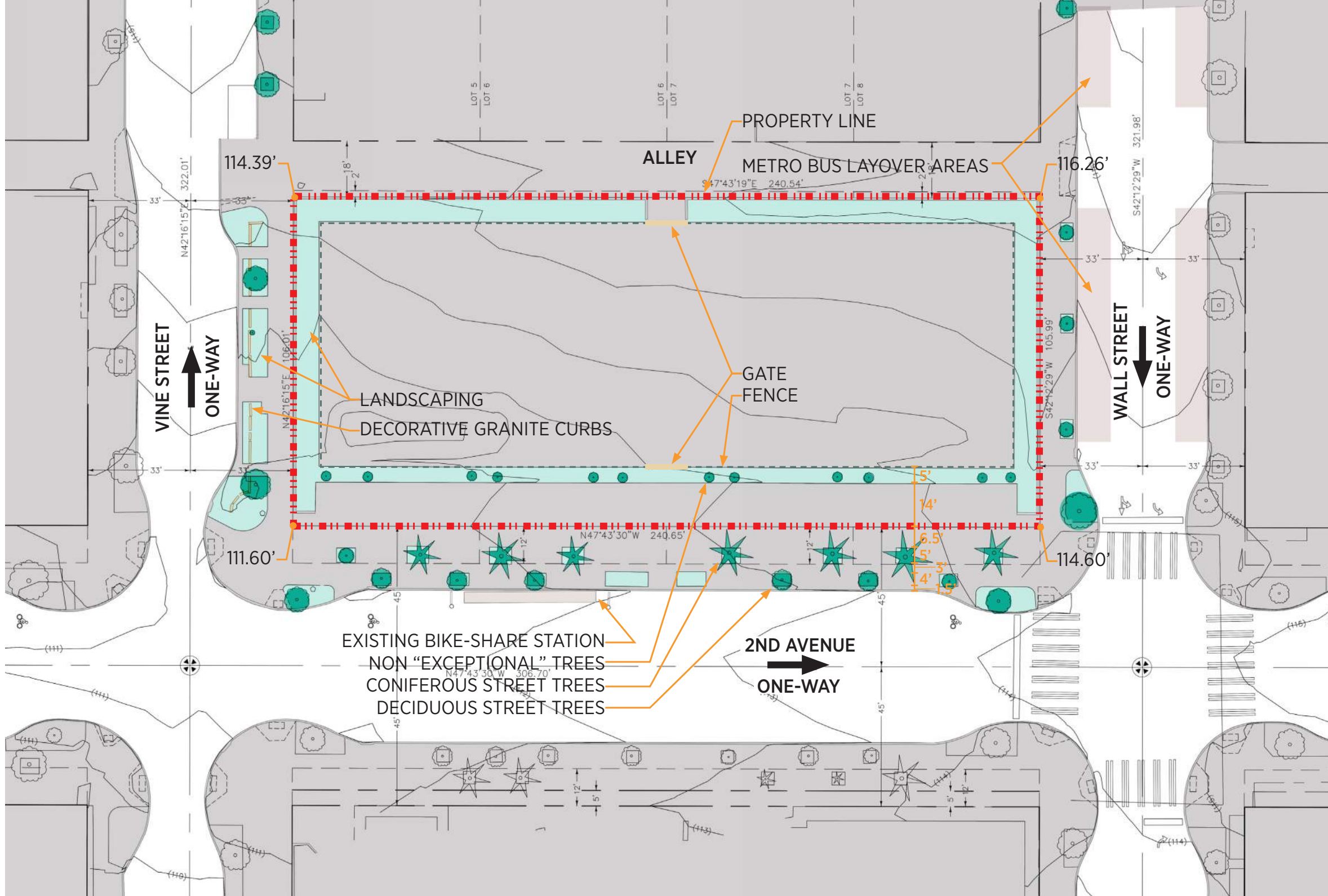
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# TOPOGRAPHY AND PHYSICAL FEATURES



The site is currently vacant.

It is relatively flat, with about 2' upward slope north to south, and west to east.

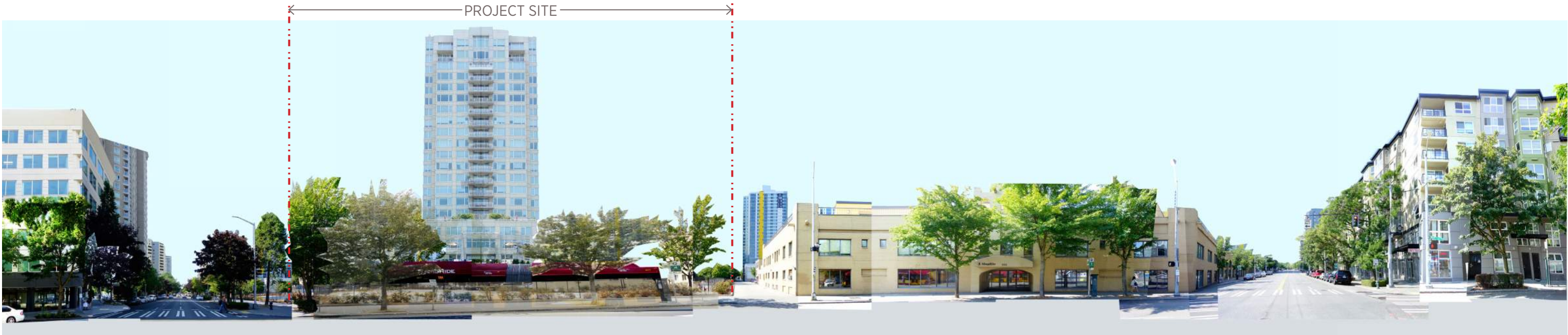
A planting strip containing no significant trees, and fence surround a gravel field. Gate access is provided at the alley and 2nd Avenue.

Metro Transit busses wait curbside along Wall Street for layover, and a bike-share station is located on 2nd Avenue.

There is good site access. Three sides are bordered by one way streets, with a two-way alley in the rear, and no topographic or natural barriers.



EXISTING  
STREETSCAPES  
WALL STREET



WALL STREET FACING NORTH



WALL STREET FACING SOUTH





EXISTING  
STREETSCAPES  
2ND AVENUE

PROJECT SITE



2ND AVENUE FACING EAST

DIRECTLY ACROSS STREET FROM PROJECT SITE



2ND AVENUE FACING WEST



EXISTING  
STREETSCAPES  
VINE STREET

← PROJECT SITE →



VINE STREET FACING SOUTH

← DIRECTLY ACROSS STREET  
FROM PROJECT SITE →



VINE STREET FACING NORTH

# EDG MEETING 1 GUIDANCE THEMES

## 1. MASSING DEVELOPMENT FURTHER STUDIES OF EDG 1 OPTIONS

- Fully explore options with various tower locations compared to the presented south tower location. (Design Guideline B1)
- The 'mid-level' concept #2 can be explored more fully. (B2)
- The Board supported the tower-podium interlock of the preferred scheme. (B4)

## 4. AMENITY AT PODIUM ROOF

- The Board expressed concern that the podium amenity broke up the roof too much. Perhaps it is more integrated with the tower. (D1)
- Provide more detailed plans showing how the amenity space is integrated to the adjacent uses and rooftop spaces. (D1)

## 2. BUILDING BULK AND SCALE

- The preferred tower is too bulky, and should emphasize vertical proportions. (B4)
- Present a less wide and flat tower wall to the south. (B4)
- Break up the long tower elevation along 2nd Avenue with modulation. (B4)

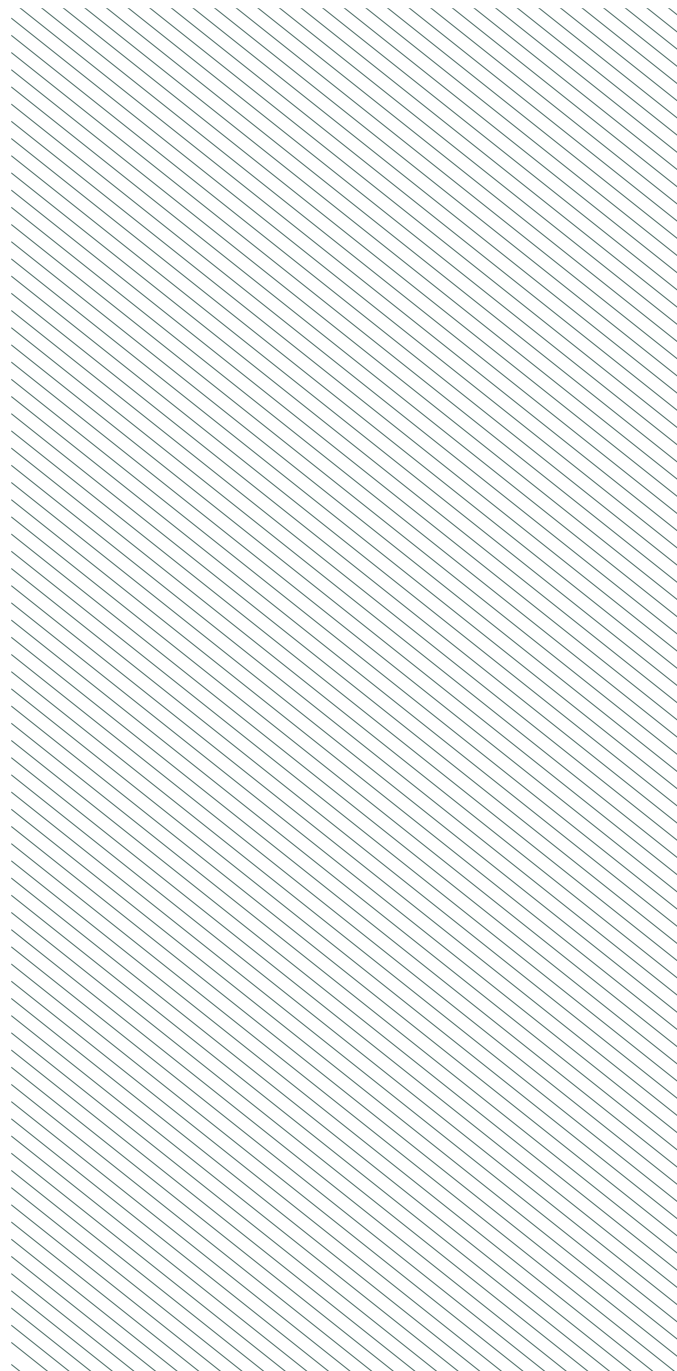
## 5. PEDESTRIAN EXPERIENCE

- More articulation and variation at street-level, similar to the precedents shown in package (pg 29). The Board recommended recesses rather than the proposed projected retail bays.
- Explore modulating the retail storefronts to work with the existing second row of street trees.
- Explore place-making recesses at the street corners.
- Residential lobby should animate the street, be easily identifiable as not retail, and not be subordinate to the commercial character of the "leasing" function.
- The Board supports the existing cedar street tree species, which provides a distinct character to the neighborhood.
- The Board supported the design team's intent to have continuous canopies.

## 3. ROOFTOP FORM AND SCALE

- The rooftop should break down in scale and bulk, integrate with the tower rather than a "pillbox" on top, and "enhance the skyline". (A2)
- Provide more detailed plans showing how the amenity space is integrated to the adjacent uses and rooftop spaces. (D1)
- The Board requested to see a code-compliant rooftop option in addition to the preferred option for the purpose of comparison for departure. (D1) NOTE: Rooftop departure is no longer requested
- Explore utilizing materials at roof to help the top of the tower reduce bulk. Explore perforated and/or transparent materials. (D1)

# THEME 1: MASSING DEVELOPMENT



## EDG MEETING 1 GUIDANCE

- The Board wanted to see options with various tower locations compared to the presented south tower location.
- The ‘mid-level’ concept #2 should be explored more fully as it has valid merits.
- The Board supported the tower-podium interlock of the preferred scheme.

## RESPONSE

The design team studied several tower locations throughout the project site. Analysis and findings are on the following pages.

Through this study, it became evident that a tower located on the south portion of the project site better responds to the existing neighborhood context in the immediate vicinity.

The design team explored a massing option that embodies the concept of a step in the massing as the zoning code intends. Through a clear parti, design concept, and program analysis, we are now proposing a preferred massing that contains this “mid-level step”.

## DESIGN GUIDELINE

B1 Respond to the Neighborhood context

B2 Create a transition in bulk & scale

B4 Design a well-proportioned & unified building

B1 Respond to the Neighborhood context

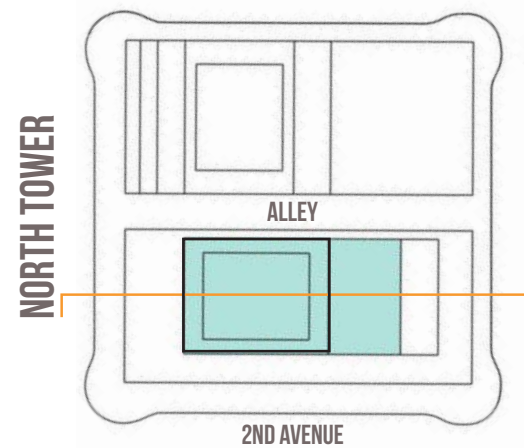
B2 Create a transition in bulk & scale

B4 Design a well-proportioned & unified building

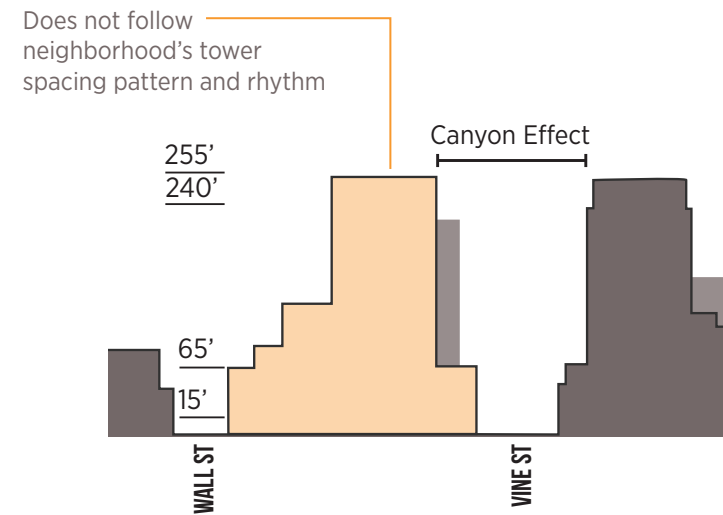


# TOWER LOCATION ANALYSIS

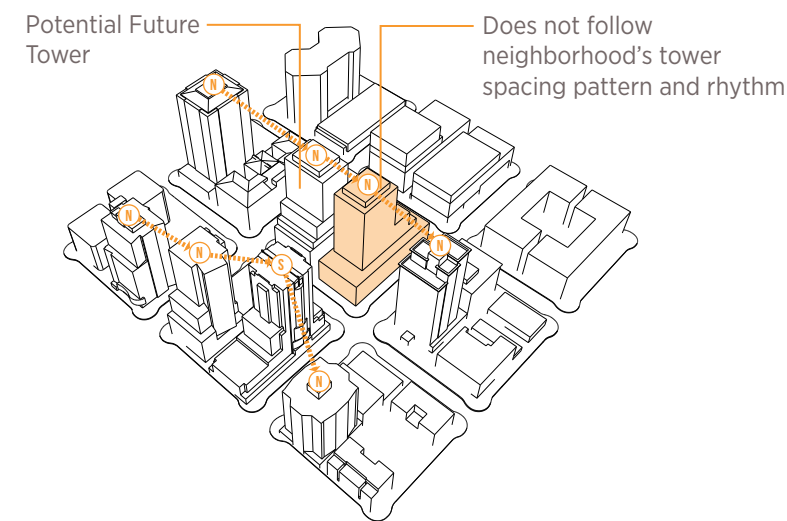
TOWER LOCATION



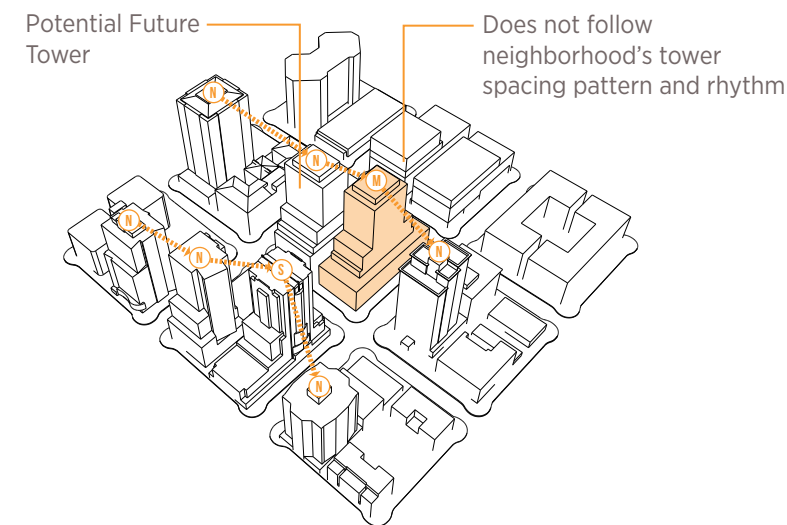
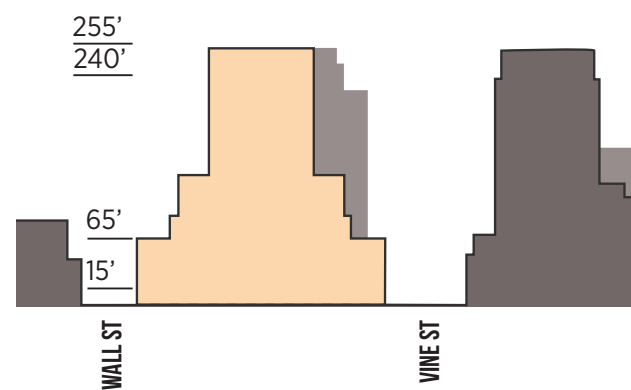
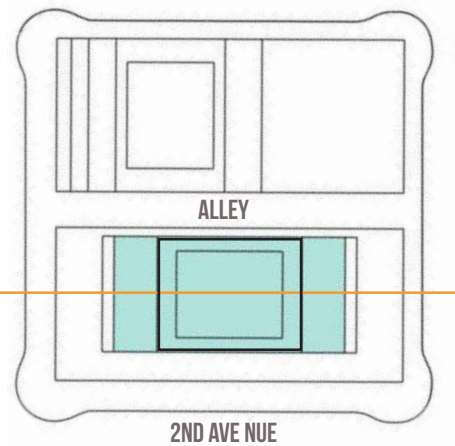
SECTION LOOKING WEST



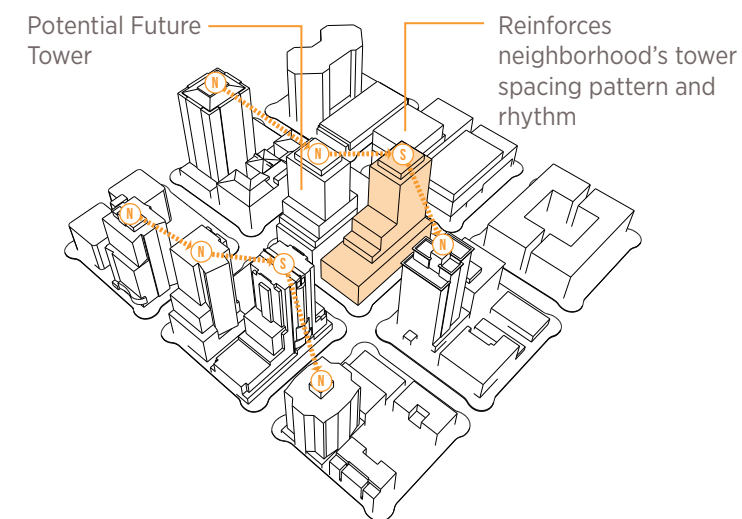
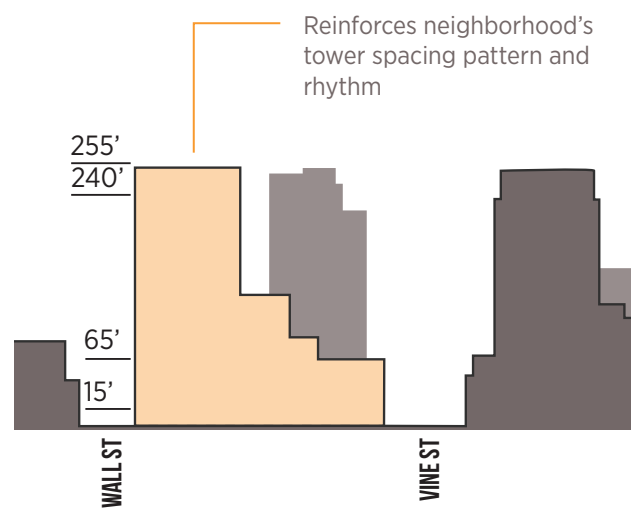
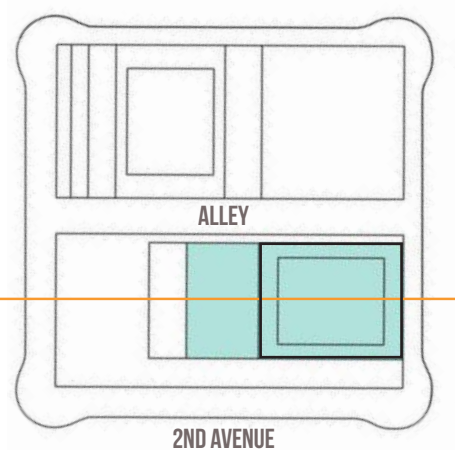
AERIAL FROM NORTHWEST



MIDDLE TOWER



SOUTH TOWER



**EDG MEETING 1 GUIDANCE**

- All three massing options shown in EDG Meeting 1 located the tower on the south end of the site.
- The Board wanted to see more exploration of tower placement.

**RESPONSE**

Tower to north:

- Very close to Seattle Heights, lessening privacy
- Creates canyon effect on Vine Street green street
- Blocks views from neighboring towers
- Is contrary to established tower spacing pattern in neighborhood

Tower in center:

- Blocks views from neighboring towers
- Is contrary to established tower spacing pattern in neighborhood

**PREFERRED TOWER POSITION: SOUTH**

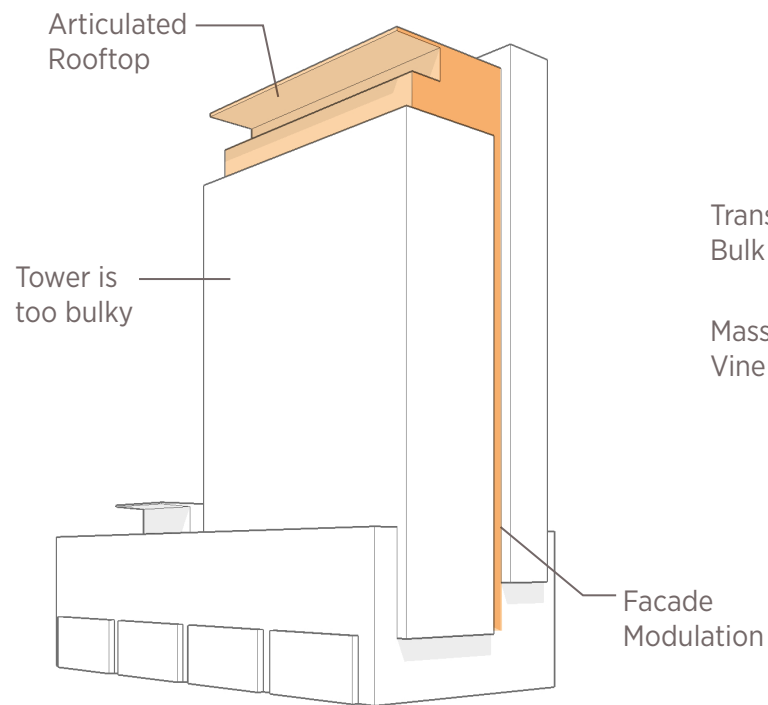
- Allows the most air and light to Vine Street green street
- Least impact to neighboring towers' views
- Neighborhood Support expressed at community meetings and EDG Meeting 1 public comment period
- Continues the existing neighborhood tower spacing rhythm

**DESIGN GUIDELINE**

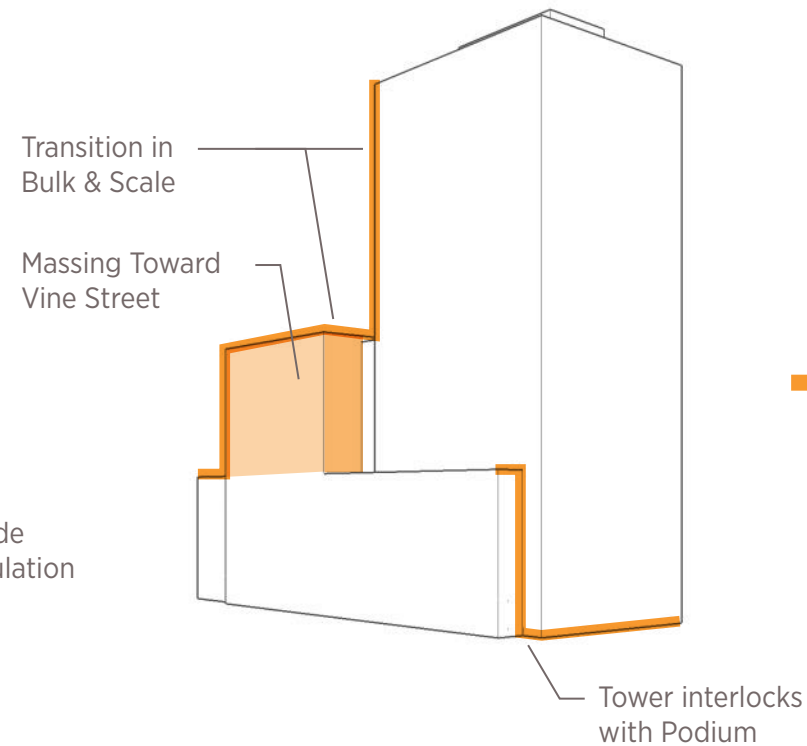
B1 Respond to the Neighborhood context

# MASSING DEVELOPMENT

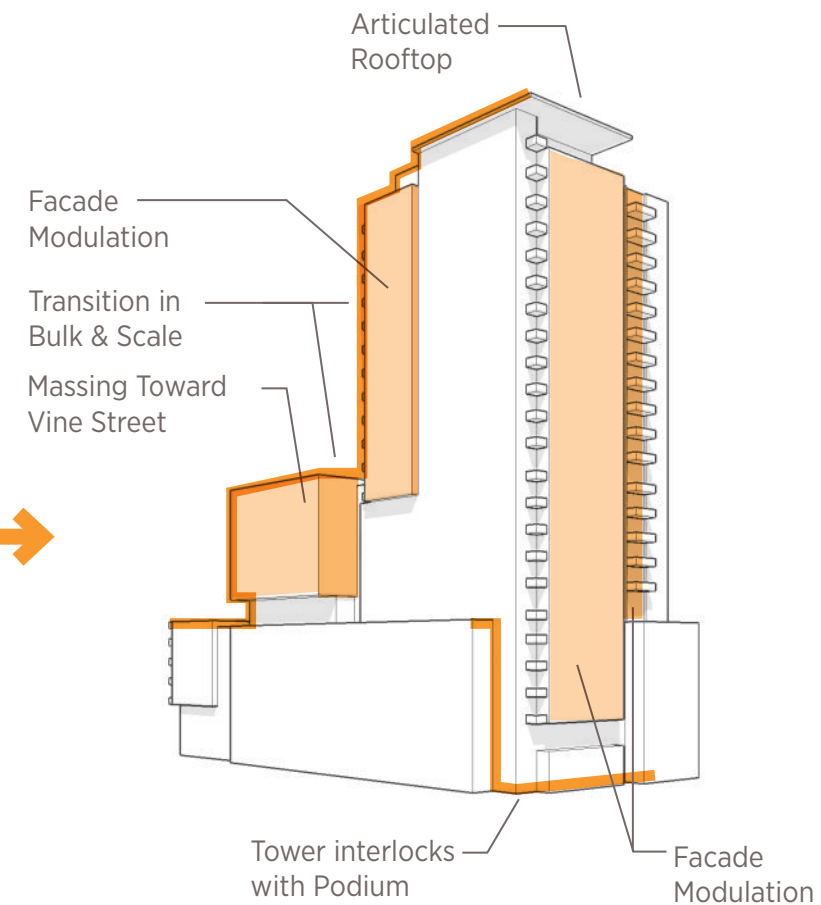
## EDG MEETING #1 PREFERRED MASSING



## EDG MEETING #1 MASSING OPTION 2



## EDG MEETING #2 PREFERRED MASSING

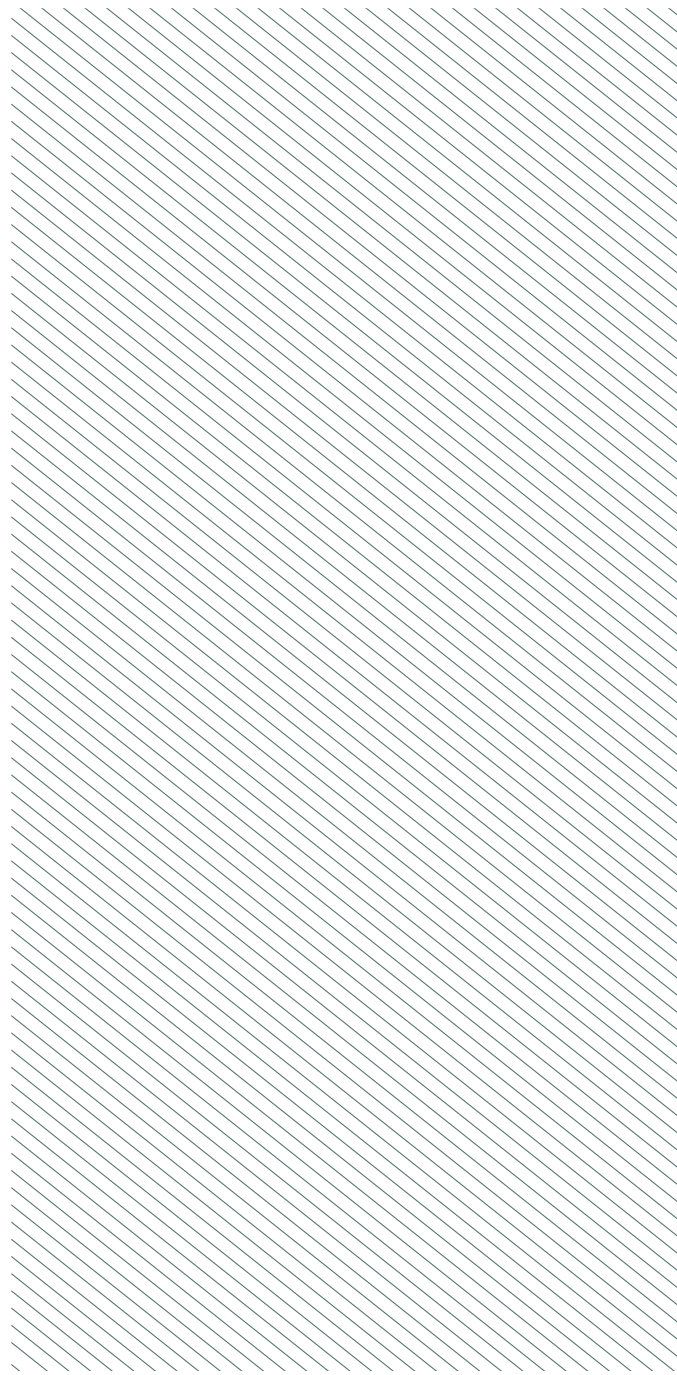


Based on guidance given at the first EDG Meeting, the design team studied additional massing concepts while maintaining the south tower placement.

The preferred massing concept:

- Reduces impact to neighboring buildings by providing adequate separation between residential towers, maintaining privacy
- Provides opportunity for outdoor space on several levels at different heights
- Reduces perceived bulk on Vine Street (a designated Green Street), allowing pedestrian access to light and the sky
- Responds to intent of the zoning code by providing transitions in bulk and scale at various building heights
- Tower has been revised from 120'x85' (9,827 SF) presented at EDG #1 to 91'x87' (8,000 SF) as shown in the new preferred massing concept

# THEME 2: TOWER BULK & SCALE



## EDG 1 GUIDANCE

- The preferred tower is too bulky, boxy and squat. Reduce bulk.
- Present a less wide, flat tower. Tower should be shaped to emphasize verticality. Show modulation.
- The tower elevation along 2nd Avenue is too long, with no modulation.
- The Board supported the tower-podium interlock of the preferred scheme.

## RESPONSE

With the new massing, the tower bulk has been reduced.

**Additional modulation through setbacks, balconies, revised tower proportions and reduced tower floor area, reduces the building bulk and scale.**

The tower floor plate area was reduced from 9,827 SF as shown in EDG Meeting #1 to 8,000 SF per the Board's guidance.

## DESIGN GUIDELINE

B1 Respond to the Neighborhood context

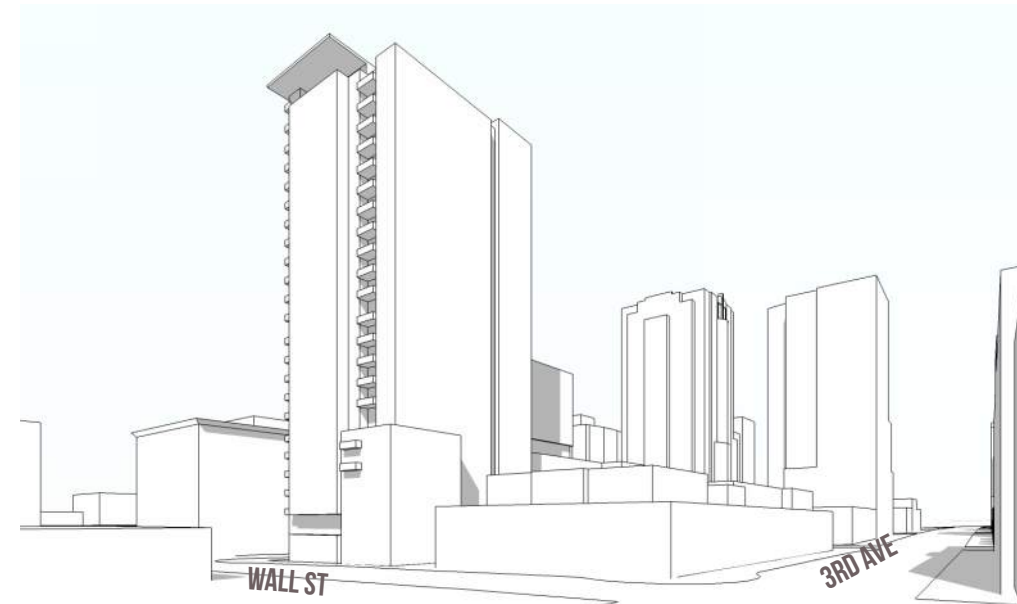
B2 Create a transition in bulk & scale

B4 Design a well-proportioned & unified building

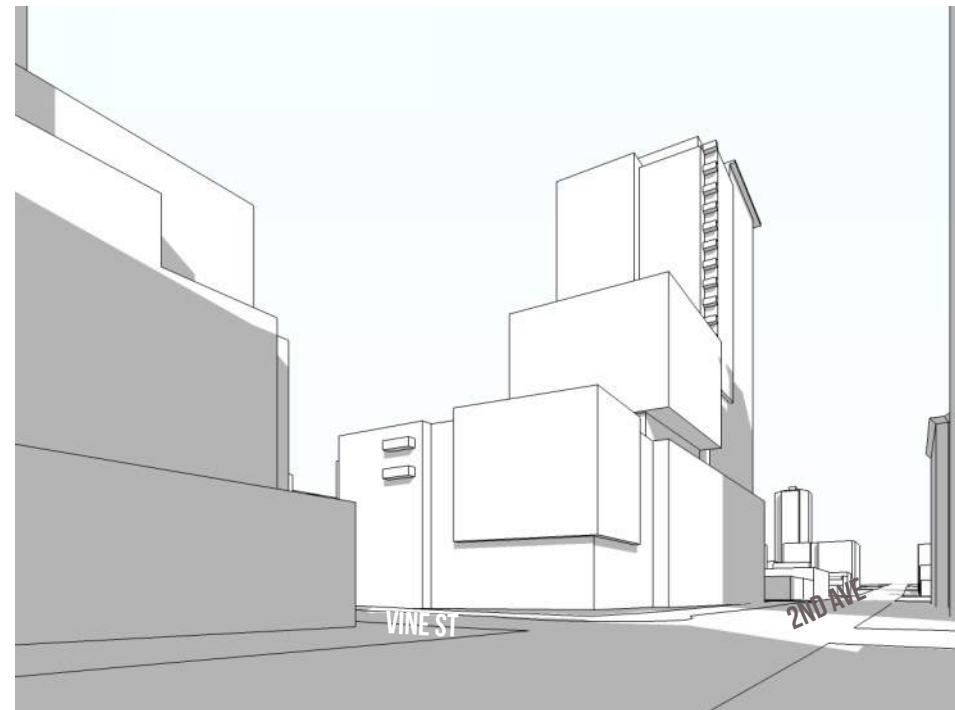
# NEW PREFERRED CONCEPT



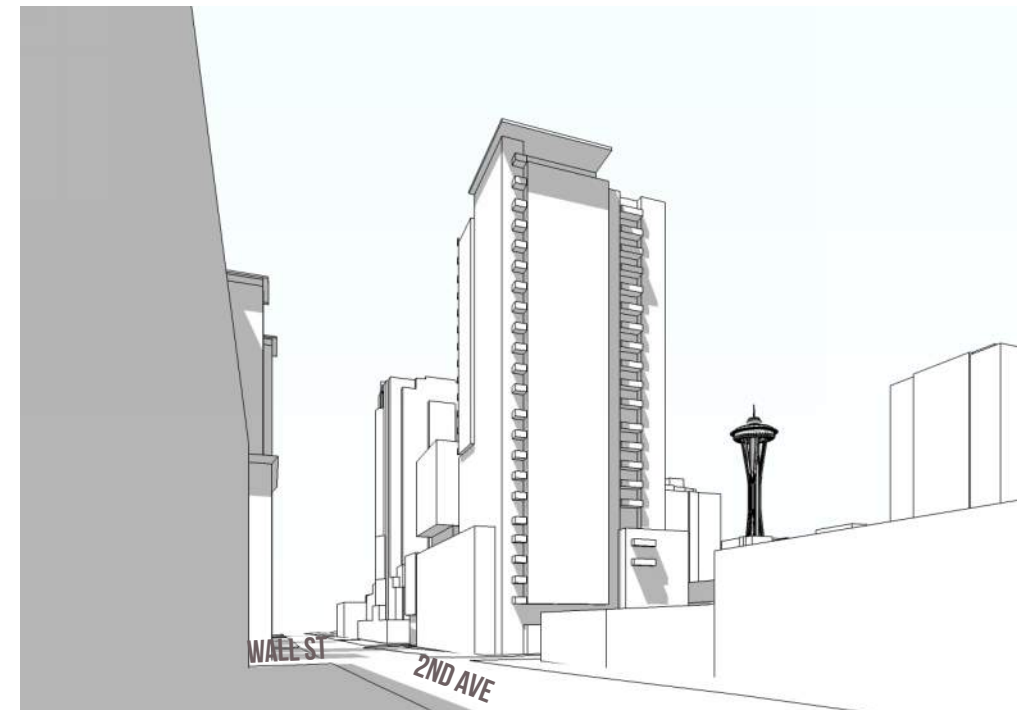
VIEW 1



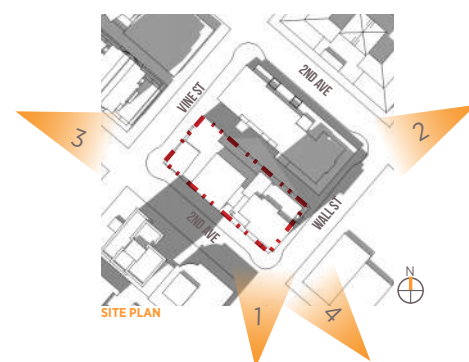
VIEW 2



VIEW 3



VIEW 4



**MEETING 1 GUIDANCE**

The board wanted to see a massing that was less bulky, was well proportioned, had more modulation, and responded to the intention of the zoning; to have the building become more slender as it gets higher.

**RESPONSE**

**The new proposed massing:**

- Tower massing engages Wall Street
- Roof-top amenity area on podium
- Tower set to south for reduced green-street impact providing greater feeling of openness
- Tower positioned to be a good neighbor for adjacent developments
- Requires two departures

**Potential Departures**

- Average allowable floor areas between 65' and 125'
- Depart structure separation of 20' at all points between 65' and 125'

**Development Summary**

Unit Count: Approximately 300

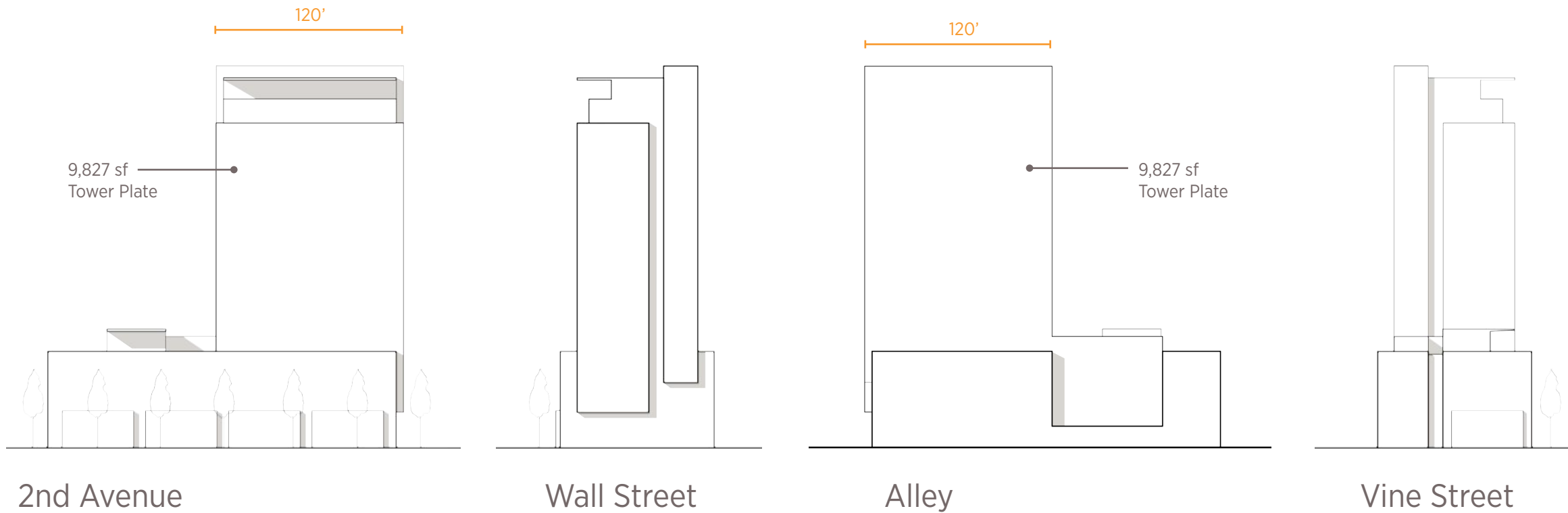
Ground Floor Uses:

- 2nd Avenue: Retail
- Wall Street: Retail, Leasing
- Vine Street: Retail, Residential (lobby)
- Alley: BOH, Parking Access

**DESIGN GUIDELINE**

- B1 Respond to the Neighborhood context
- B2 Create a transition in bulk & scale
- B4 Design a well-proportioned & unified building

EDG MEETING #1 PREFERRED MASSING



DESIGN A WELL-PROPORTIONED BUILDING

DESIGN GUIDELINE

B4 Design a well-proportioned & unified building

MEETING 1 GUIDANCE

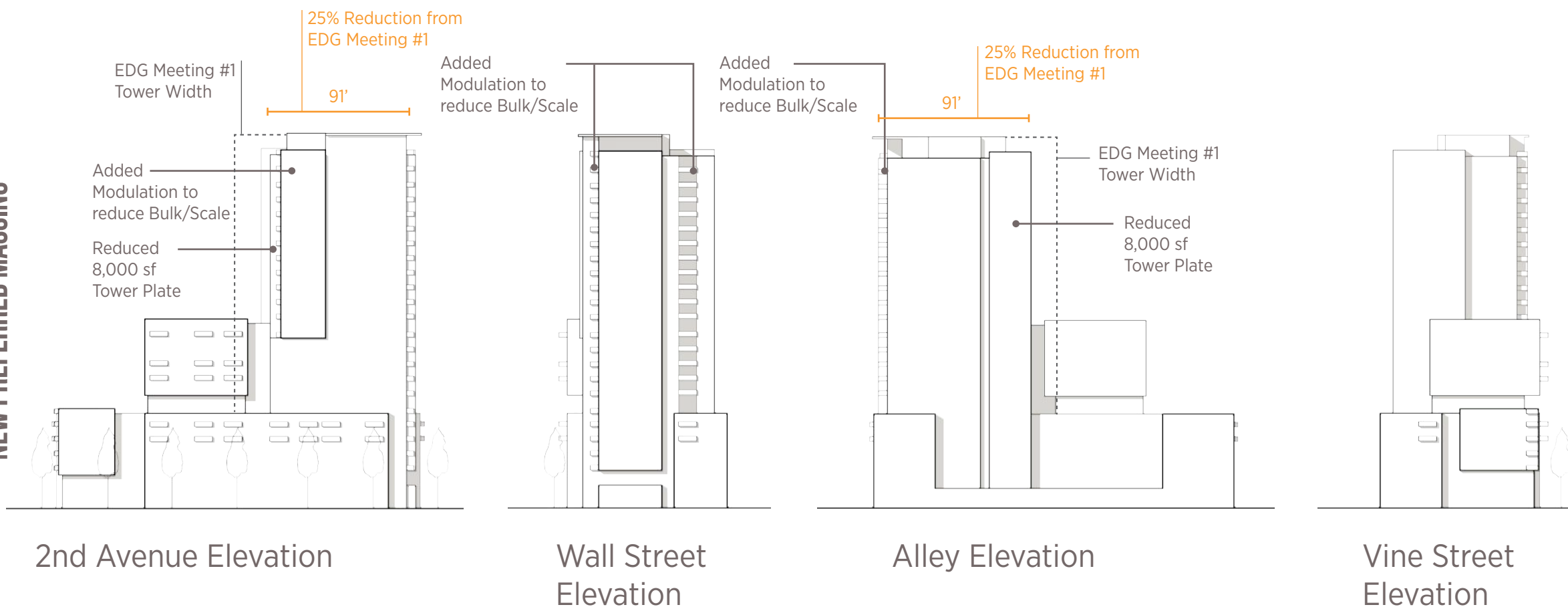
The Board supported the tower-podium interlock of the preferred scheme.

The preferred tower massing is too bulky and squat, and should be shaped to emphasize vertical proportions.

Present a less wide and flat tower wall to the south.

Break up the long tower elevation along 2nd Avenue.

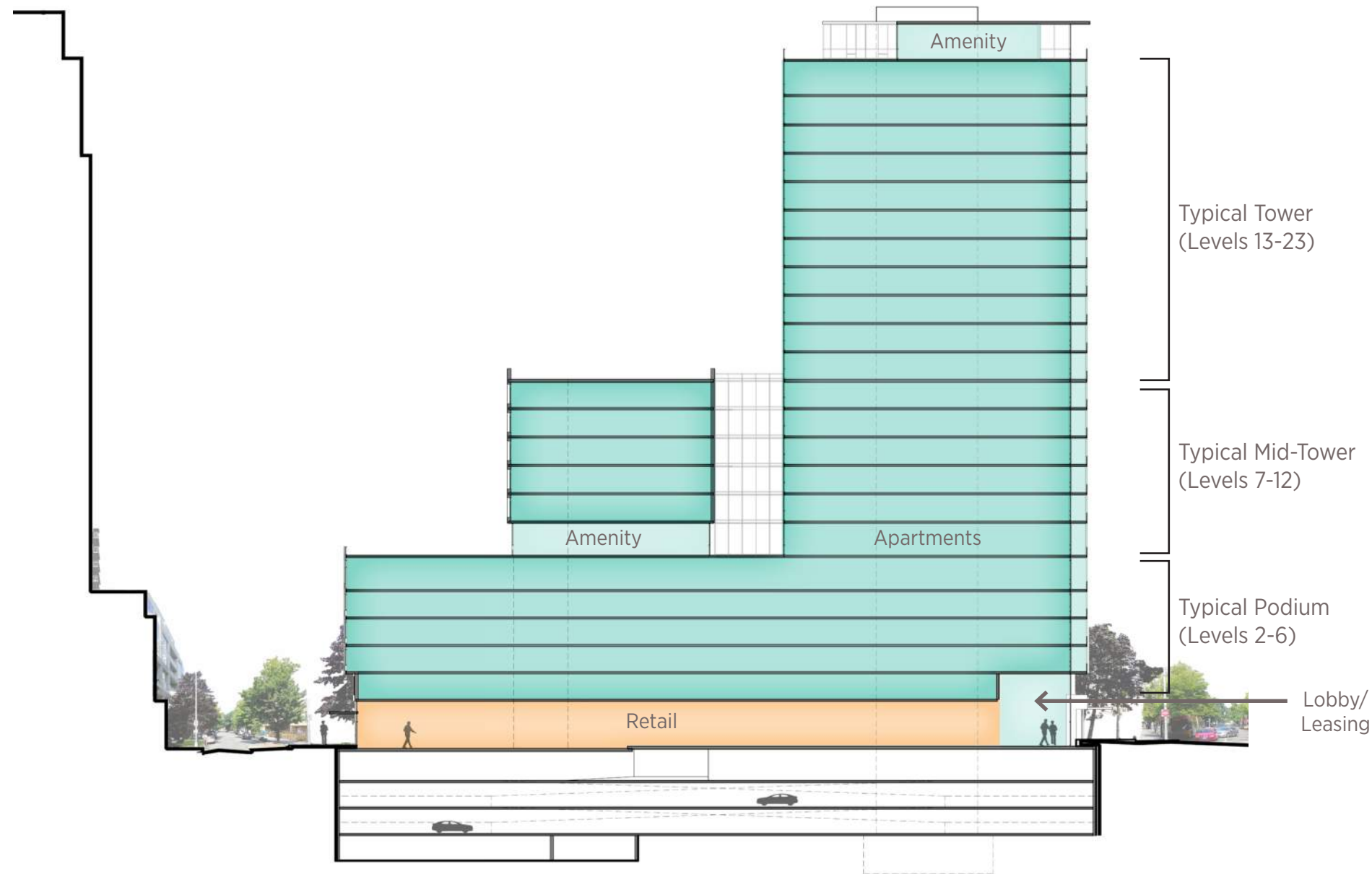
NEW PREFERRED MASSING



RESPONSE

The design team reduced the bulk and scale of the proposed massing by providing additional modulation through setbacks, revised tower proportions and reduced tower floor area.

The tower floor plate area was reduced from 9,827 SF as shown in EDG Meeting #1 to 8,000 SF per the Board's guidance.



Typical Tower  
(Levels 13-23)

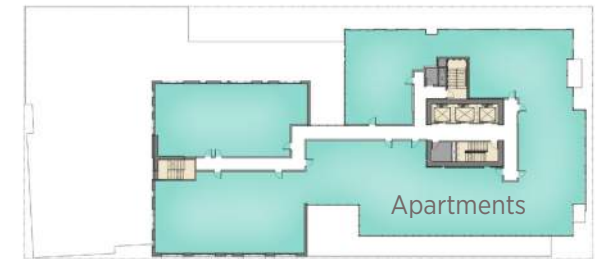
Typical Mid-Tower  
(Levels 7-12)

Typical Podium  
(Levels 2-6)

Lobby/  
Leasing



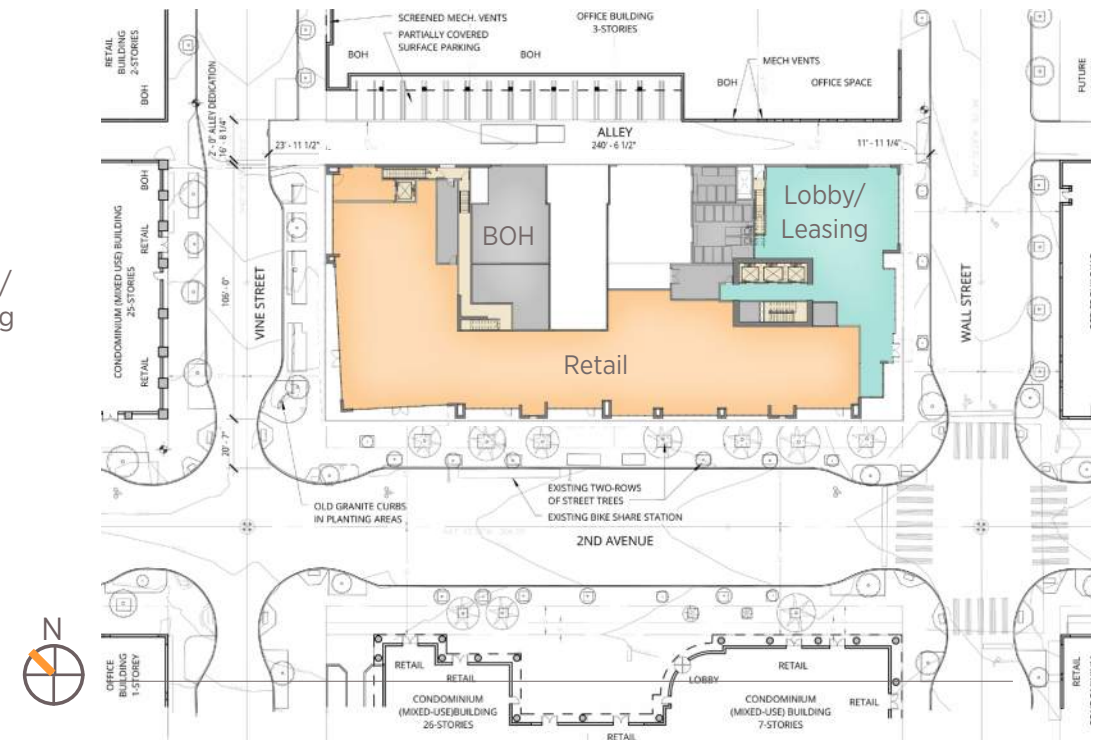
Typical Tower (Levels 13-23)



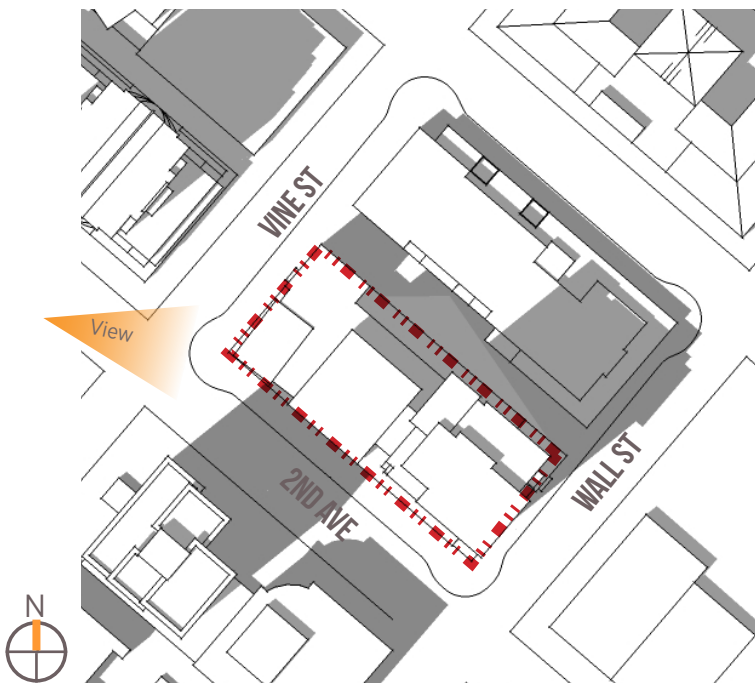
Typical Mid-Level (Levels 7-12)



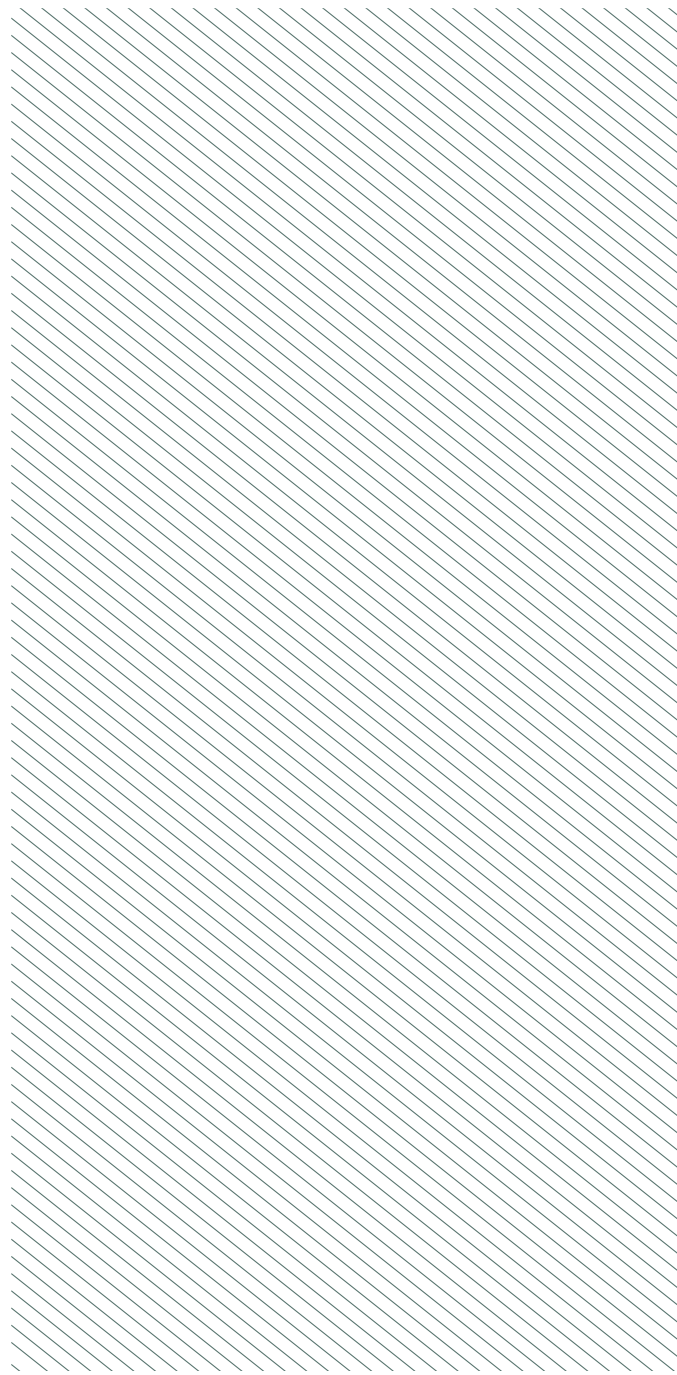
Typical Podium (Levels 2-6)



Groundfloor Plan



# THEME 3: ROOFTOP



## EDG 1 GUIDANCE

- The Board supported a rooftop that breaks down in scale and “enhances the skyline”.
- The Board supported a rooftop that integrates with the tower form rather than a “pillbox” atop the tower.
- Break down bulk of rooftop form. Potentially with perforated and/or transparent materials

## RESPONSE

The proposed massing reduces the scale of the upper floor amenity space by stepping in from the tower. This upper floor features an overhang, integrating the area with the overall tower form.

Occupiable roof deck, perforated overhangs, and transparent wind screens provide comfortable usable space, while not adding visual weight to the rooftop form.

## DESIGN GUIDELINE

- A2 Enhance the skyline
- B1 Respond to the neighborhood context

## GUIDANCE RELATING TO ROOFTOP COVERAGE DEPARTURE WHICH WE ARE NO LONGER SEEKING

- The Board needs to see more details and drawings in order to better make a decision about the rooftop coverage departure.
- The Board requested to see a code-compliant option in addition to the preferred (departure required) option for the purpose of comparison.

The new proposed rooftop is code compliant. Drawings and renderings are in the following pages. We are no longer requesting the rooftop coverage departure.

- D1 Provide inviting & usable open space



# ENHANCE THE SKYLINE

**NOTE: THIS PROPOSAL NO LONGER REQUESTS DEPARTURE OF THE ROOFTOP COVERAGE ALLOWANCE**

### MEETING 1 GUIDANCE

- The Board supported a rooftop that breaks down in scale and “enhances the skyline”.
- The Board supported a rooftop that integrates with the tower form rather than a “pillbox” atop the tower.
- Explore breaking down bulk of rooftop form. Potentially with perforated and/or transparent materials.

### RESPONSE

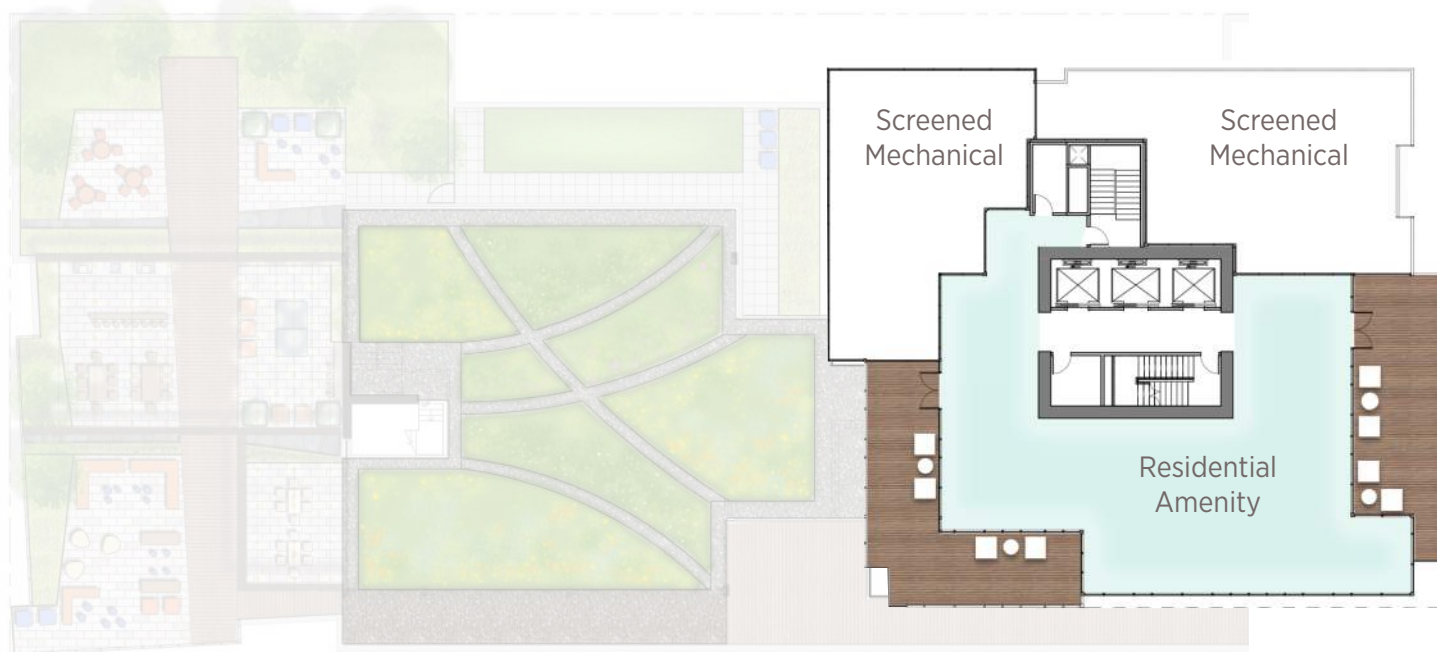
The step backs provide two distinct outdoor spaces. There are several opportunities for different types of gathering spaces to enjoy light and air, and views: indoor, covered outdoor, and non-covered outdoor.

The integrated roof extends over an outdoor area to the south, allowing for active uses year round. This roof expression, integrates with the overall tower form, not a “cap” on top.

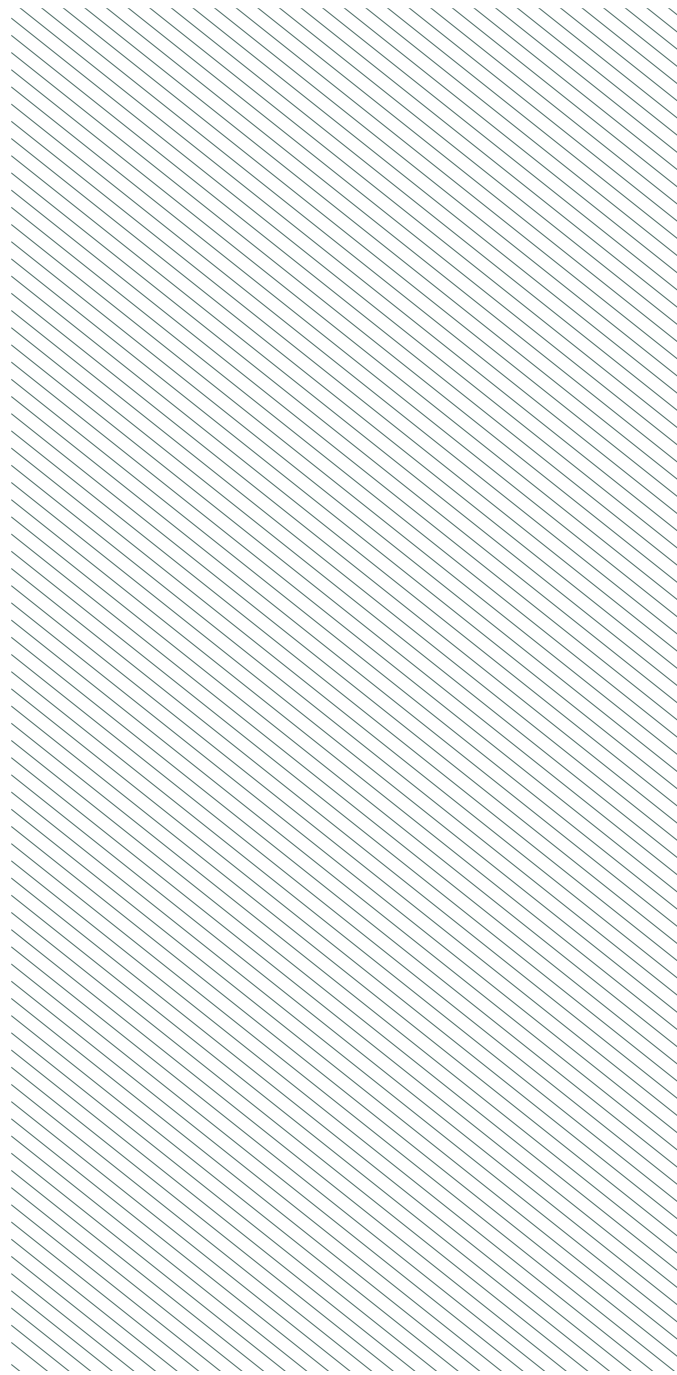
- A** Residential amenity space integrated into tower form
- B** Tower mass forms outdoor amenity deck
- C** Soffit material creates an identifiable feature visible from the ground level
- D** Tower envelope material continue vertically to screen rooftop mechanical equipment

### DESIGN GUIDELINE

- A2 Enhance the skyline
- B1 Respond to the neighborhood context



# THEME 4: AMENITY AT PODIUM



## EDG 1 GUIDANCE

- The Board expressed concern that the podium amenity broke up the roof too much. Perhaps it is more integrated with the tower.
- Provide more detailed plans showing how the amenity space is integrated to the adjacent uses and rooftop spaces.

## RESPONSE

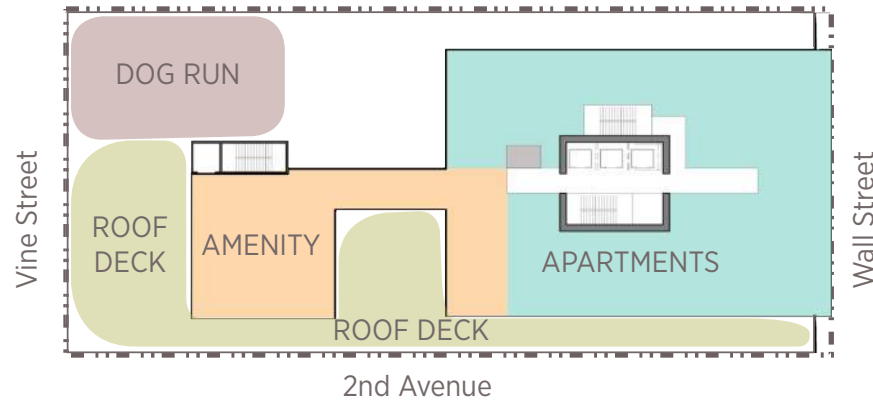
The amenity program is now incorporated into the revised mid-level mass. By concentrating the mass into a more unified form, the remaining roof area is more naturally divided.

The amenity and roof access is connected to, but visually separate from, the dwelling units on level 7. Residents cross a perceived threshold as they move from private apartments to the common spaces.

More detailed plans are on the following pages.

## DESIGN GUIDELINE

D1 Provide inviting and usable open space



EDG Meeting #1 Podium Roof



Level 7 - Podium Rooftop Amenity Plan



**MEETING 1 GUIDANCE**

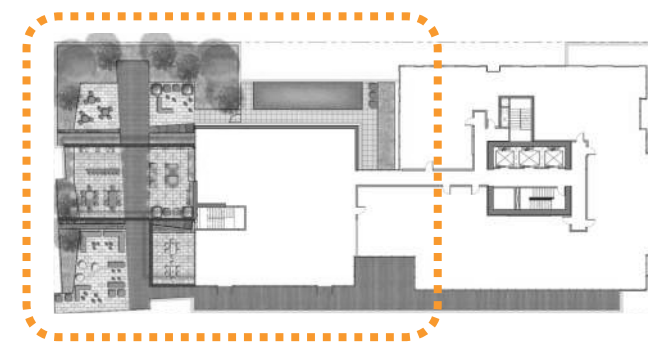
The Board expressed concern that the podium amenity broke up the roof too much. Perhaps it is more integrated with the tower.

Provide more detailed plans showing how the amenity space is integrated to the adjacent uses and rooftop spaces.

**RESPONSE**

The amenity program is now incorporated into the new mid-level mass. By concentrating the mass into a more unified form, the remaining roof area is naturally divided into open space for larger groups to the north, and areas for smaller group activities to the west.

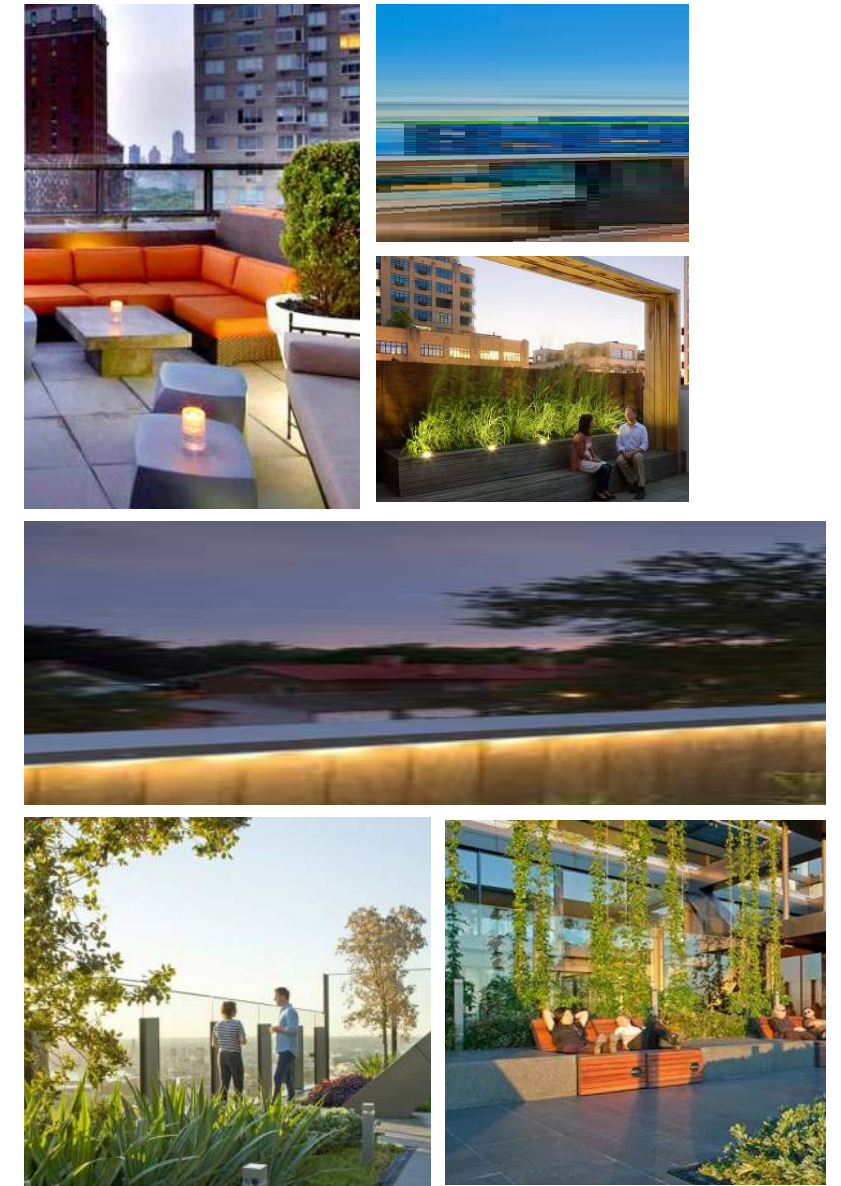
The amenity and roof access is connected to, but visually separate from, the dwelling units on level 7. Residents cross a perceived threshold as they move from private apartments to the common spaces.



Level 7 Key Plan

**DESIGN GUIDELINE**

D1 Provide inviting and usable open space

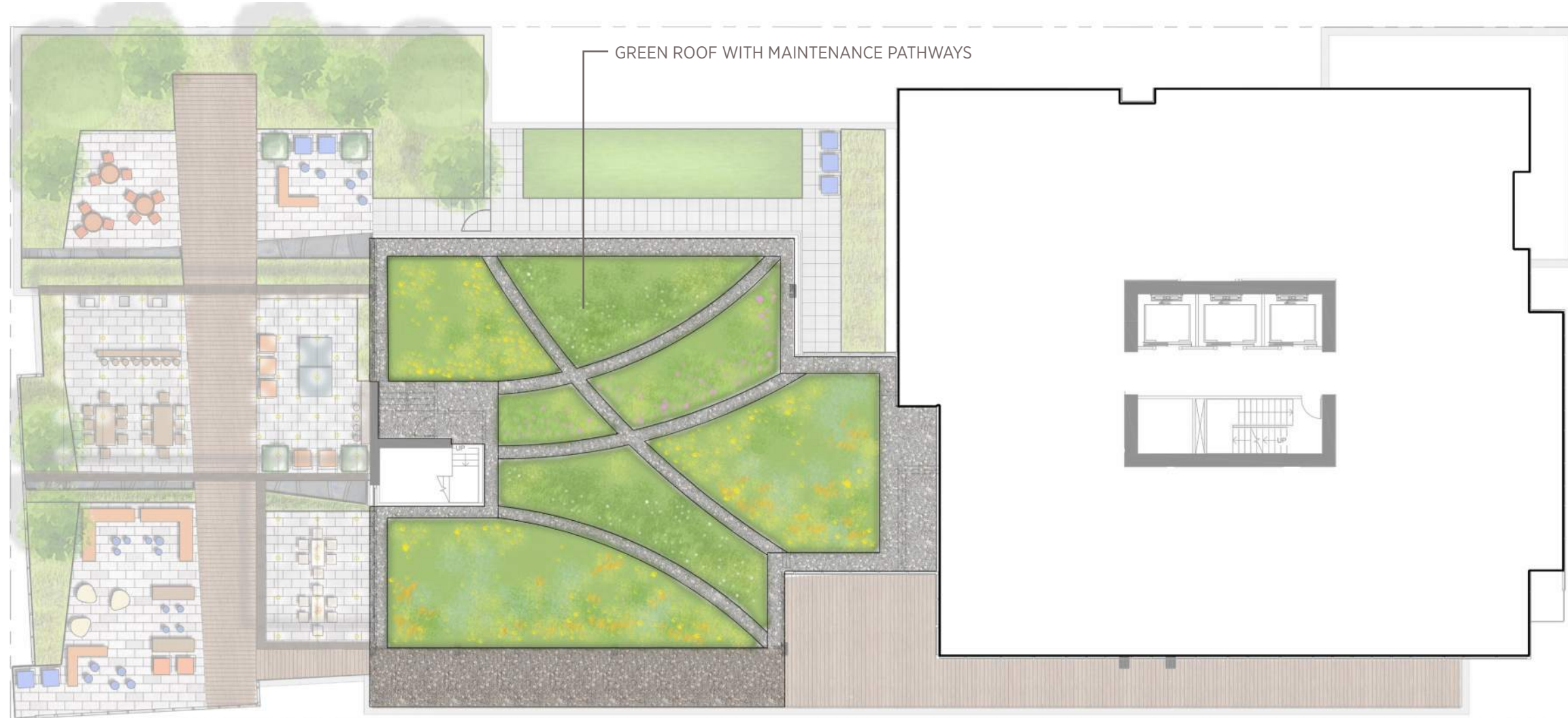


- A** Residential amenity space integrated into midrise massing element
- B** Outdoor deck spaced divided into multiple “rooms”
- C** Landscaped rooftop amenity space responds to Vine Street (designated Green Street) below



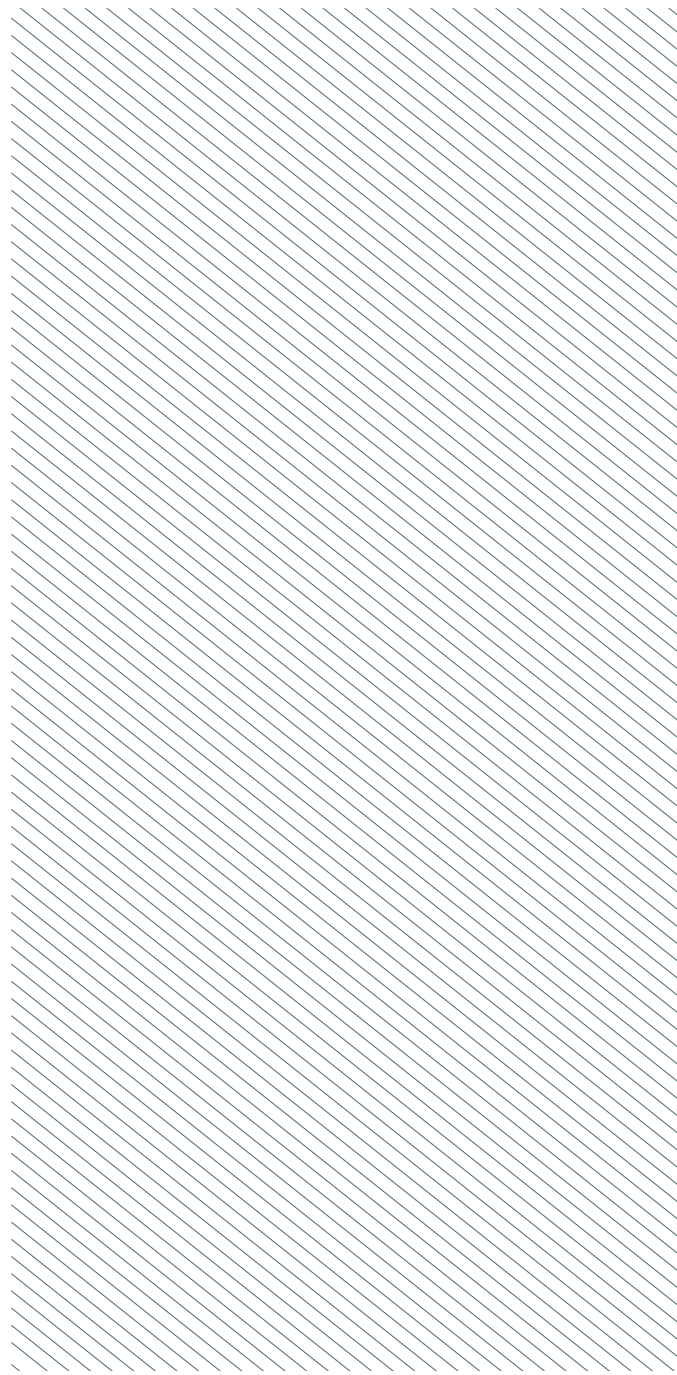
# LANDSCAPE DESIGN MIDLEVEL ROOF

- Highly visible from proposed project and neighboring towers
- Low-maintenance plantings proposed
- Maintenance-access only



Level 13 Midlevel Roof Plan

# THEME 5: PEDESTRIAN EXPERIENCE



## EDG 1 GUIDANCE

- The Board wants to see more articulation and variation at street-level, similar to the precedents shown in EDG #1 (pg 29).
- The Board recommended recesses rather than the proposed projected retail bays.
- Explore place-making recesses at the street corners.
- The Board requested that the residential lobby animate the street, be identifiable with legible contrast from retail storefronts, and not be subordinate to the commercial character of the “leasing” function.
- The Board supports the existing cedar street tree species, which provides a distinct character to the neighborhood.
- Explore modulating the retail storefronts to work with the existing second row of street trees.
- The Board supported the design team’s intent to have continuous canopies.

## RESPONSE

The updated podium design incorporates more defined modulation than was presented at the first EDG Meeting. Retail bays are expressed in a regular rhythm, and deeper recesses break up the long street frontage. The intent for the street level facade is to have high transparency, encouraging pedestrian interaction with the interior spaces

The storefront pattern changes at the corner of Vine Street, to respond to the different scale and activity of 2nd Avenue.

The building is now carved away from the lot line at the SW corner for a large place-making opportunity. The building angles at the NW corner for relief at the sidewalk.

Canopies, street furniture, and other elements define usable spaces.

The building entry has moved to the corner of 2nd Avenue and Wall Street. An open space in front of the lobby and an anchoring entry structure defines the entry as a different experience than a retail entry. The open corner provides a stopping place, and allows the pedestrian to pause before continuing on, or entering the building.

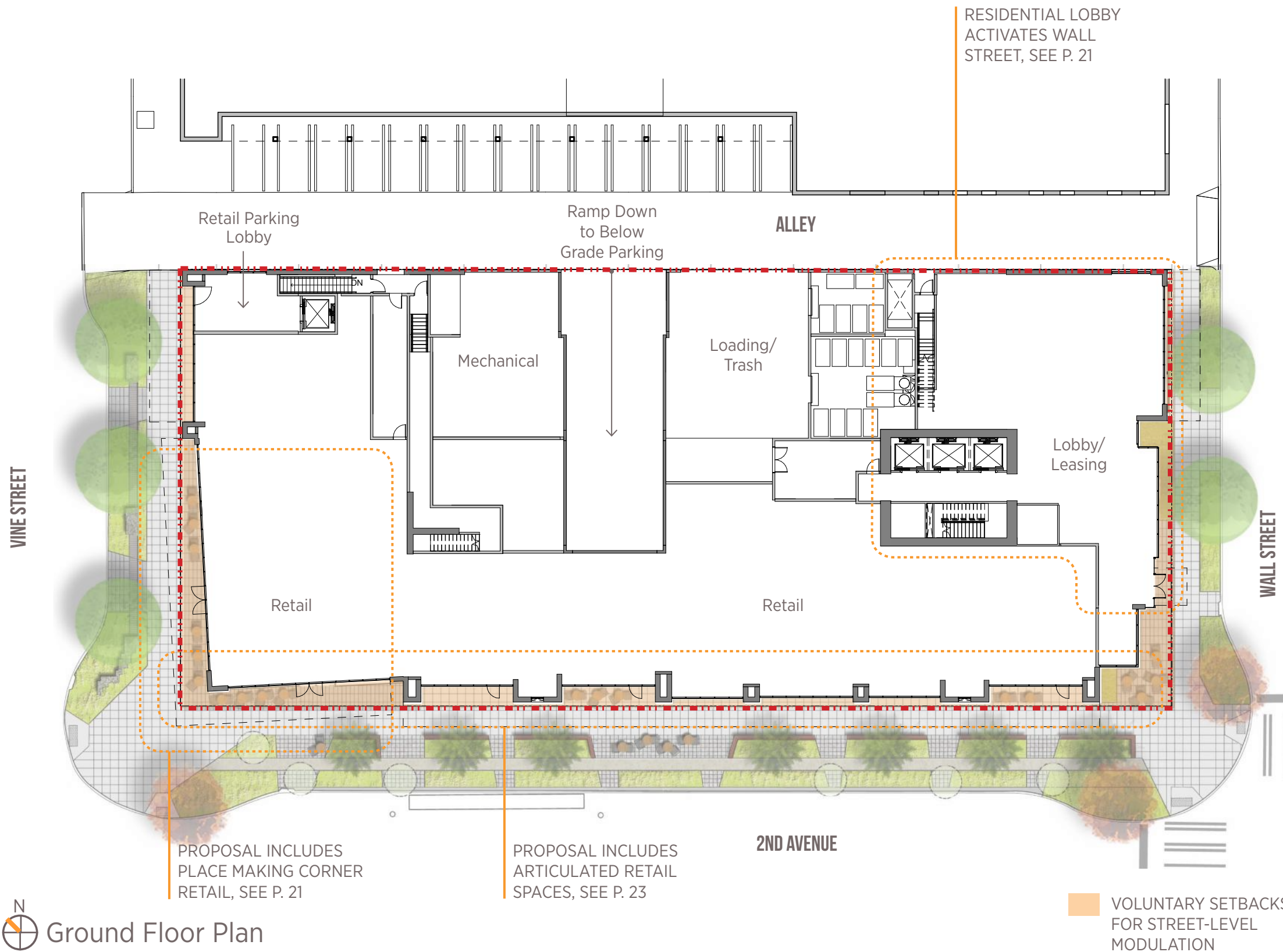
The street level facade responds to the existing trees by incorporating bays and recesses in appropriate locations to ensure safety and accessibility for pedestrians.

The design accommodates continuous canopy coverage on 2nd Avenue.

## DESIGN GUIDELINE

- B3 Reinforce the positive urban form & architectural attributes of the immediate area
- C1 Promote pedestrian interaction
- C2 Design facades with many scales
- D1 Provide inviting & usable open space
- D3 Provide elements that define the place
- C4 Reinforce Building Entries
- D2 Enhance the building with landscaping
- D3 Provide elements that define the place
- C5 Encourage overhead weather protection

# GROUND FLOOR DESIGN DEVELOPMENT



## MEETING 1 GUIDANCE

- The Board wants to see more articulation and variation at street-level, similar to the precedents shown on pg 29.
- The Board recommended recesses rather than the proposed projected retail bays.
- Explore place-making recesses at the street corners.

## RESPONSE

The updated podium design incorporates more defined modulation than was presented at the first EDG Meeting. Retail bays are expressed in a regular rhythm, and deeper recesses break up the long street frontage. The intent for the street level facade is to have high transparency, encouraging pedestrian interaction with the interior spaces

The storefront pattern changes at the corner of Vine Street, to respond to the different scale and activity of 2nd Avenue.

The building is now carved away from the lot line at the SW corner for a large place-making opportunity. The building angles at the NW corner for relief at the sidewalk.

Canopies, street furniture, and other elements define usable spaces.

## DESIGN GUIDELINE

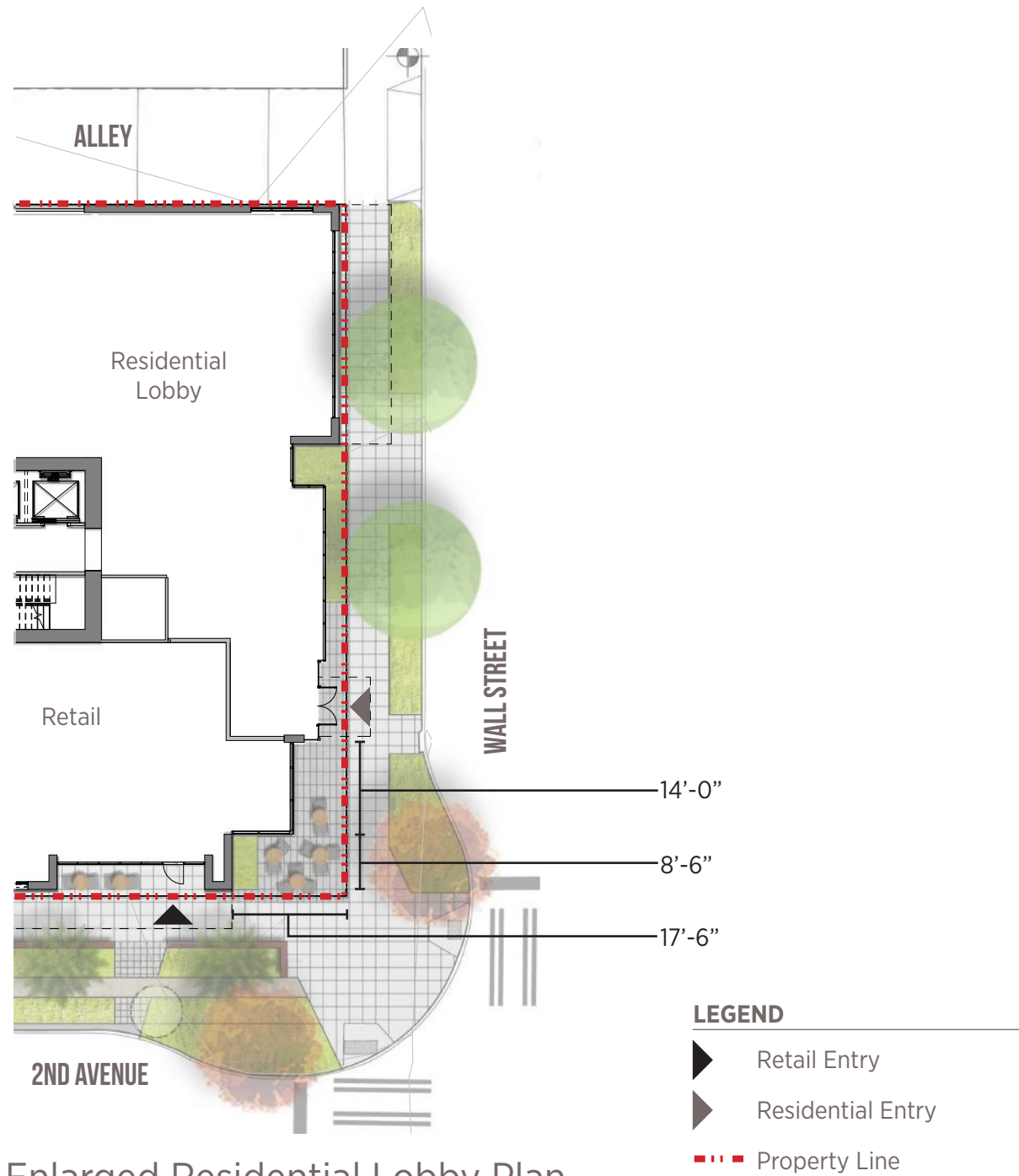
- B3 Reinforce the positive urban form & architectural attributes of the immediate area
- C1 Promote pedestrian interaction
- C2 Design facades with many scales
- D1 Provide inviting & usable open space
- D3 Provide elements that define the place

Ground Floor Plan

# WALL STREET CHARACTER



Wall Street Context & Character



Enlarged Residential Lobby Plan



- A** Wall Street has an urban feel and serves as a connector between 3rd and 2nd Avenue with heavy bus and car traffic
- B** Buildings set on property lines for a street wall on both sides of the street

**MEETING 1 GUIDANCE**

The Board requested that the residential lobby animate the street, be identifiable with legible contrast from retail storefronts, and not be subordinate to the commercial character of the “leasing” function.

**RESPONSE**

The building entry has moved to the corner of 2nd Avenue and Wall Street. An open space in front of the lobby and an anchoring entry structure defines the entry as a different experience than a retail entry.

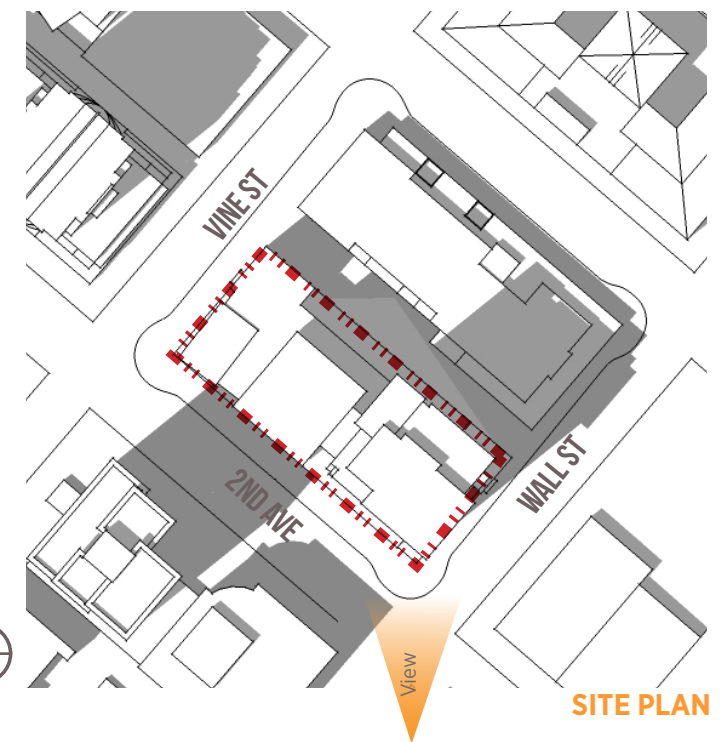
The open corner provides a stopping place, and allows the pedestrian to pause before continuing on, or entering the building.



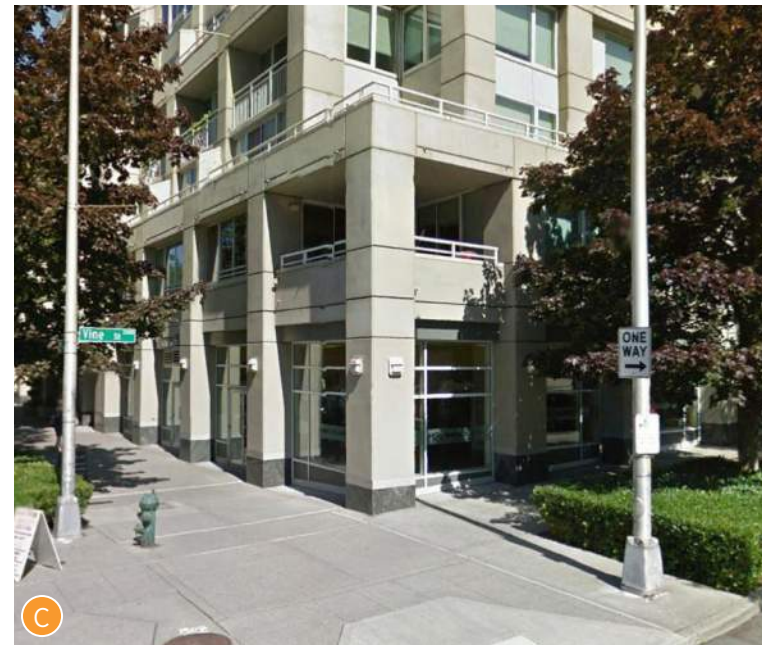
# WALL STREET CHARACTER



- A** Tall retail along 2nd Avenue
- B** Highly visible double height lobby and leasing center
- C** Reflective feature soffit
- D** Feature entry vestibule



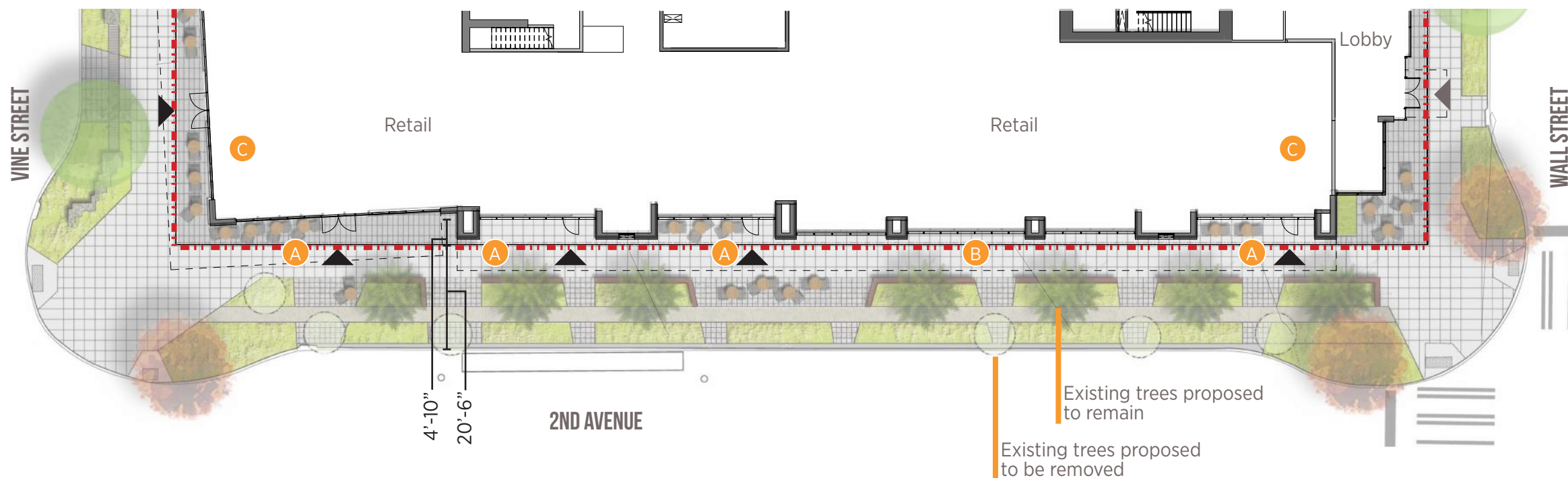
2nd Avenue Pedestrian Vignette



# 2ND AVENUE CHARACTER

- A** Retail spaces are identified by recessed entries and a bay rhythm with large windows
- B** Ground level uses extend to property line, emphasizing the street wall
- C** Ground level retail uses turn corners and extends along secondary streets

## 2nd Avenue Context



### MEETING 1 GUIDANCE

- The Board wants to see more articulation and variation at street-level
- The Board recommended recesses rather than the proposed projected retail bays.
- Explore place-making recesses at the street corners.

### RESPONSE

The podium design incorporates better defined modulation than was presented at the first EDG Meeting. Retail bays are expressed in a regular rhythm, and recesses break up the long street frontage.

Retail bays reduce scale at the corner of Vine Street, to respond to the condition of Vine, as it is different from the scale and activity of 2nd Avenue.

### DESIGN GUIDELINE

- C1 Promote pedestrian interaction
- C2 Design facades with many scales
- D1 Provide inviting & usable open space
- D3 Provide elements that define the place

## Enlarged Retail Plan



### LEGEND

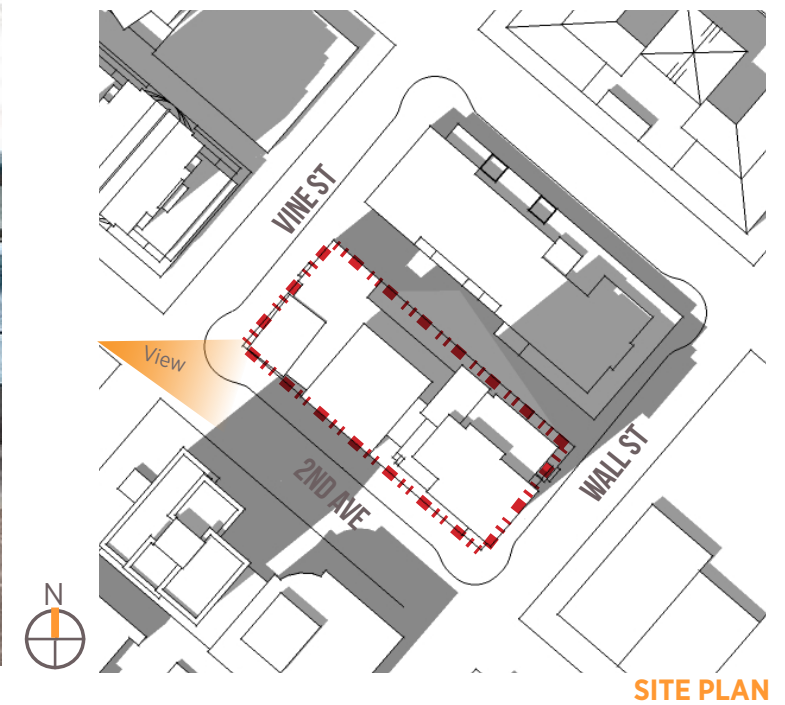
- Retail Entry
- Residential Entry
- Property Line



# 2ND AVENUE CHARACTER



- A** Retail spaces are identified by recessed entries and a bay rhythm with large windows
- B** The retail bays have a strong street presence with recessed entry bays that allow adequate space for sidewalk use.
- C** Ground level retail uses turn corners and extends along secondary streets



2nd Avenue Pedestrian Vignette

# VINE STREET CHARACTER

Being a designated “green street”, Vine Street is characterized by heavy landscaping and art pieces paying homage to water.

- A** Vine Street’s streetscape is heavily landscaped.
- B** The ground level is mostly comprised of low-activity uses such as residential entries.
- C** Vine Street retail is small-scale



A



B



C



**LEGEND**

	Retail Entry
	Residential Entry
	Property Line

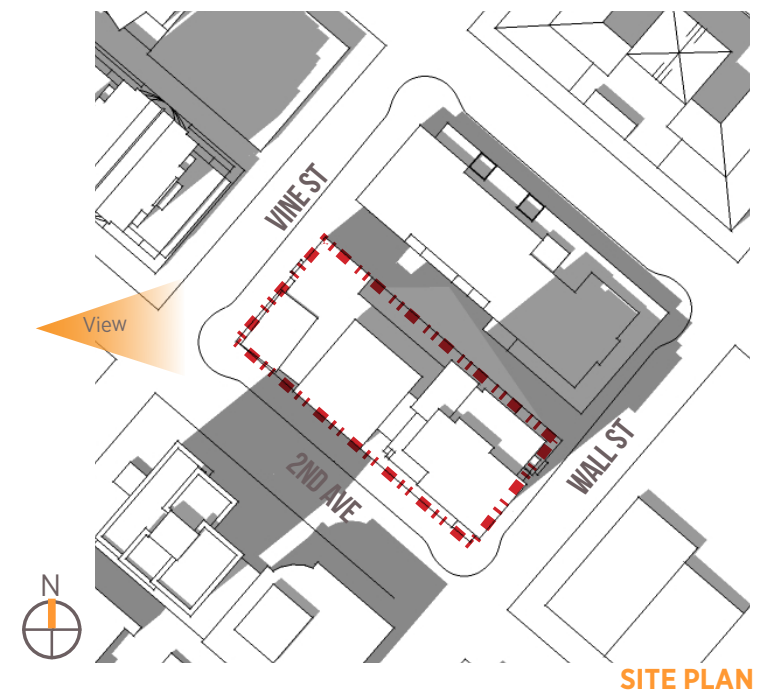
Vine Street Context

Partial Ground Floor Plan

VINE STREET CHARACTER



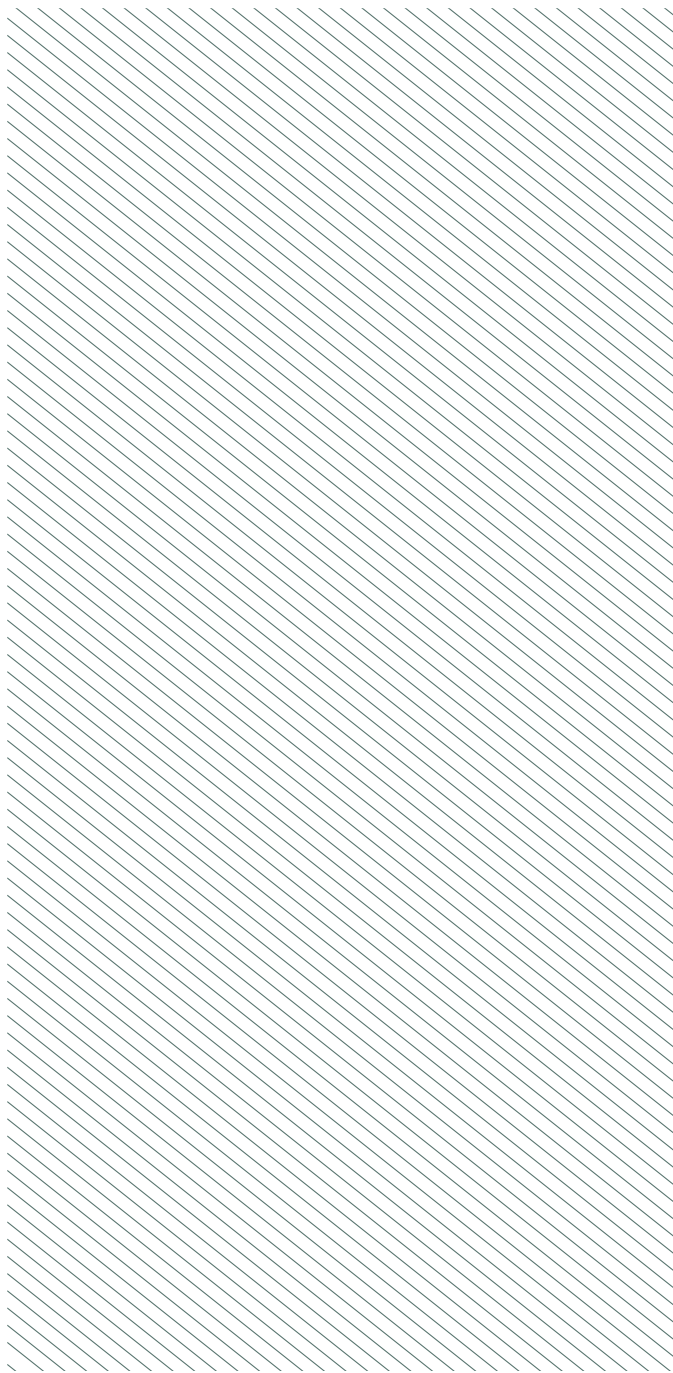
- A** Vine Street's streetscape is heavily landscaped.
- B** The ground level is mostly comprised of low-activity uses such as residential entries.
- C** Vine Street retail is small-scale



2nd Avenue Pedestrian Vignette



# POTENTIAL DEPARTURES



## DEPARTURE REQUEST #1

### SMC 23.49.158: Downtown Mixed Residential, coverage and floor size limits

#### The Standard

For lot sizes between 25,001 – 38,000 SF, portions of structures above 65-feet shall not exceed the coverage limits in Table A for 23.49.158. Floor area limited to 55% of the site area for portions of the structure between 65-feet and 85-feet; and 50% for portions between 85-feet and 125-feet. Portions of the structure above 125' are limited to 8,000 SF.

#### The Request

The proposal requests to depart the tiered coverage percentages of floor plate between building heights of 65'- 125'. The proposal averages allowable floor coverage to all floors between 65'-125'.

#### The Rationale

The proposal does not gain additional floor area in this departure request, but redistributes the allowable area, providing a unified massing and additional rooftop open space to the north, toward Vine Street.

#### Enhances Design Guidelines:

- B-3 Reinforce the positive urban form & architectural attributes of the immediate area
- B-4 Design a well proportioned and unified building

## DEPARTURE REQUEST #2

### SMC 23.49.164.A: Downtown Mixed Residential, maximum width, depth, and separation requirements

#### The Standard

The maximum width and depth for portions of a structure between 65-feet and 125-feet in height is 120-feet and this portion of the structure shall be separated horizontally from any other portion of a structure on the same lot above 65-feet in height by 20-feet at all points.

#### The Request

The proposal requests to depart the 20' horizontal separation at all points between portions of a structure along the 2nd Avenue street lot line between 65'-125'.

#### The Rationale

The proposed design embraces the intent of this code section by including a deep inset notch between massing elements that allows the building to read as two separate structures from street level. Additionally, the proposal includes a voluntary setback of the tower to increase the perception of two distinct volumes.

#### Enhances Design Guidelines:

- B-2 Create a transition in bulk & scale
- B-4 Design a well proportioned and unified building

# DEPARTURE REQUEST 1

**SMC 23.49.158: Downtown Mixed Residential, coverage and floor size limits**

Table A: For lot sizes between 25,001 – 38,000 SF, portions of structures below 65-feet may have 100% coverage. For the lot size of this site, coverage is limited to 55% of the site area for portions of the structure between 65-feet and 85-feet; and 50% for portions between 85-feet and 125-feet. Portions of the structure above 125' are limited to 8,000 SF.

**REQUEST:**

The proposal requests to depart the tiered coverage percentages from 65'-125'. The proposal distributes an average of the total allowed floor area to all floors between 65'-125'.

**RATIONALE:**

The proposal does not gain additional floor area in this departure request, but redistributes the allowable area within 65'-125', providing a unified massing and additional podium rooftop open space along Vine Street.

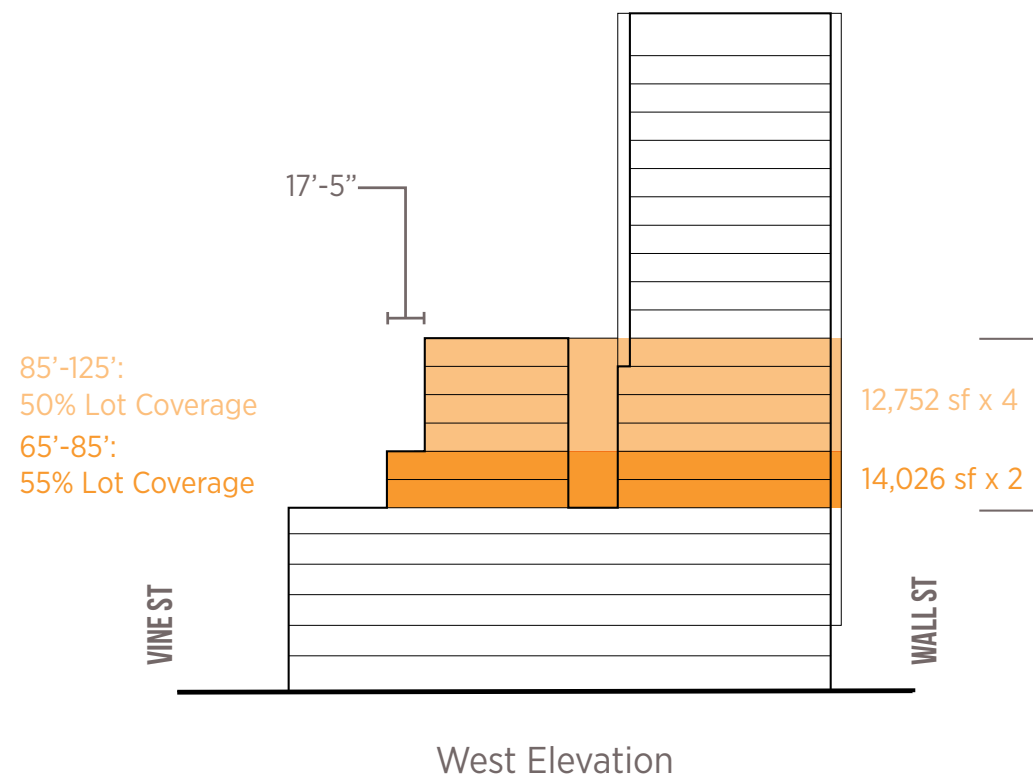
**B-3 Reinforce the positive urban form & architectural attributes of the immediate area**

By unifying the mid-level “step” in the building form to a singular move, the massing reads as clean and intentional, reinforcing the common massing form found in this area.

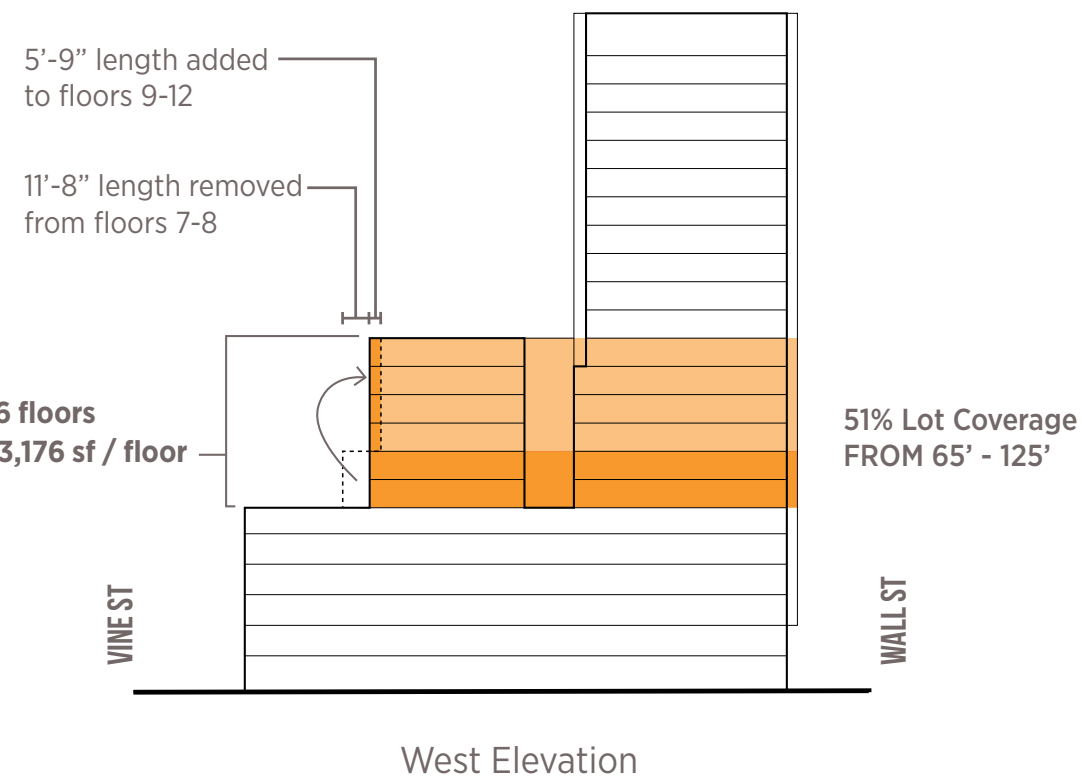
**B-4 Design a well-proportioned & unified building**

Averaging the floor area allows the mid-levels of the building to have the same floor plate shape. This simplifies the design into a more unified and intentional massing.

**CODE COMPLIANT COVERAGE**

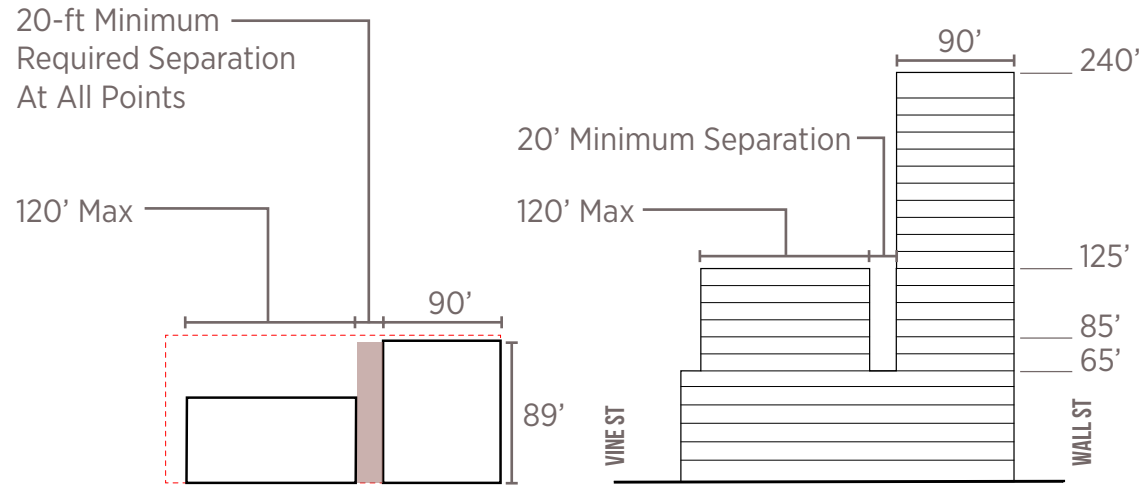


**PREFERRED OPTION COVERAGE**





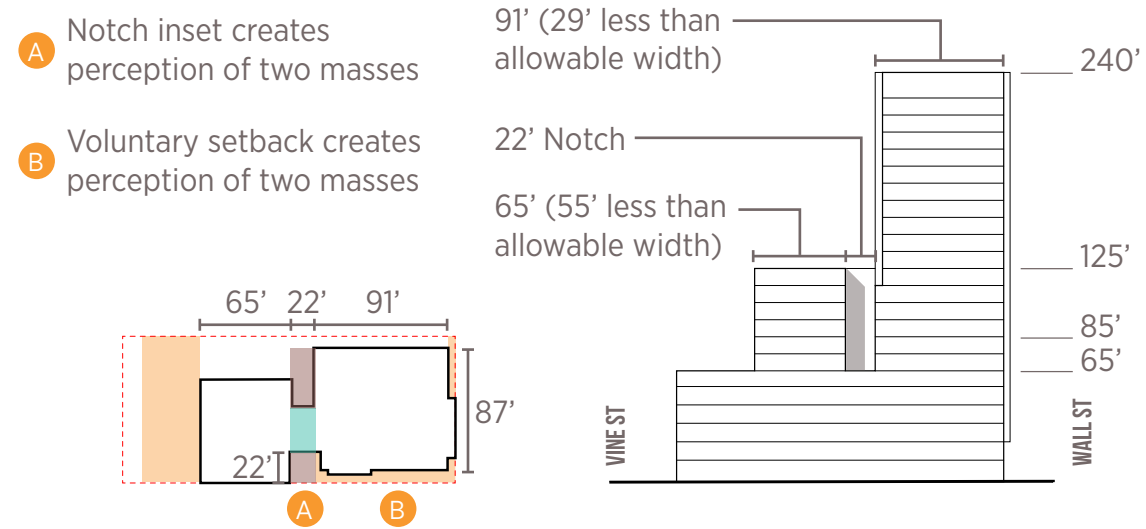
CODE COMPLIANT FACADE WIDTH



Plan @ Midlevels

West Elevation

PROPOSED FACADE WIDTH



Plan @ Midlevels

West Elevation

DEPARTURE REQUEST 2

**SMC 23.49.164.C.2**  
**Downtown Mixed Residential, maximum width, depth and separation requirements**

*The maximum width and depth for portions of a structure between 65-feet and 125-feet in height is 120-feet and this portion of the structure shall be separated horizontally from any other portion of a structure on the same lot above 65-feet in height by 20-feet at all points.*

**REQUEST:**

The proposal requests to depart the 20' horizontal separation at all points between portions of a structural along the 2nd Avenue street lot line between 65'-125'.

**RATIONALE:**

The proposed design embraces the intent of this code section by including a deep inset notch between massing elements, and stepping back the tower, which allows the building to read as two separate structures from street level.

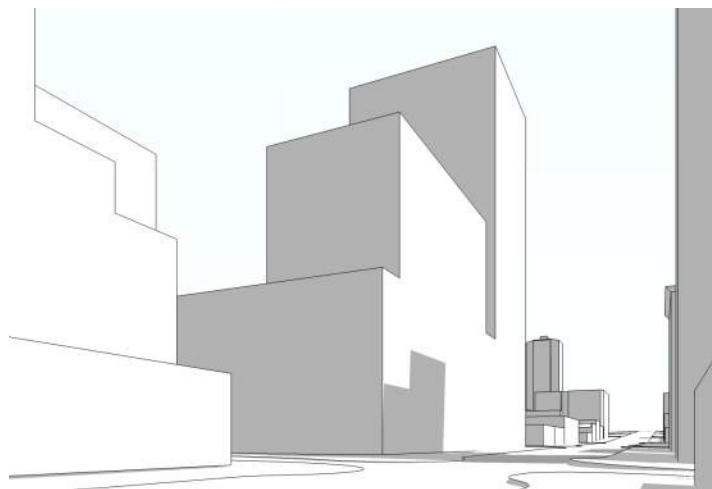
**B-2 Create a transition in bulk & scale**

The proposed design reduces bulk and scale by providing two massing elements - the tower and the mid-rise. These elements are perceived as separate structure portions and create a stepping transition in scale from the Vine Street toward downtown.

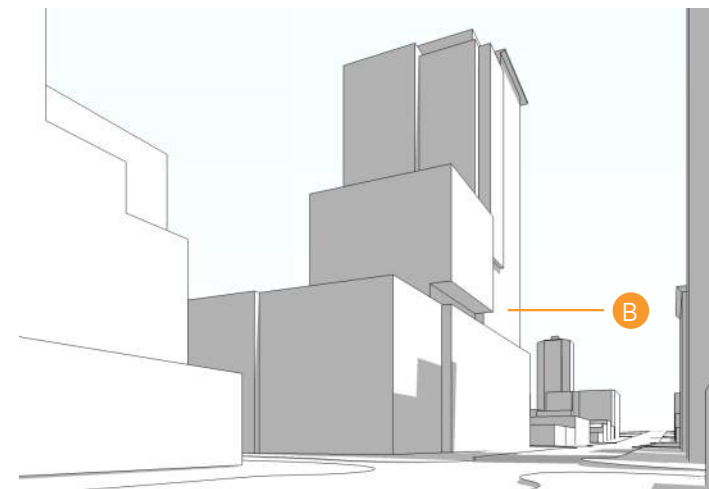
**B-4 Design a well-proportioned & unified building**

The scale of the two masses are complimentary and work together in scale. While the building reads as two volumes, the floor plates being unified benefits the wayfinding and efficiency of the building.

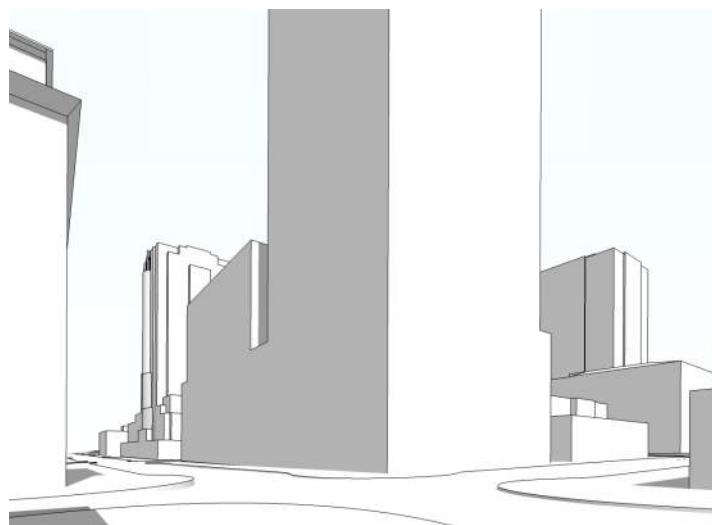
NW Corner



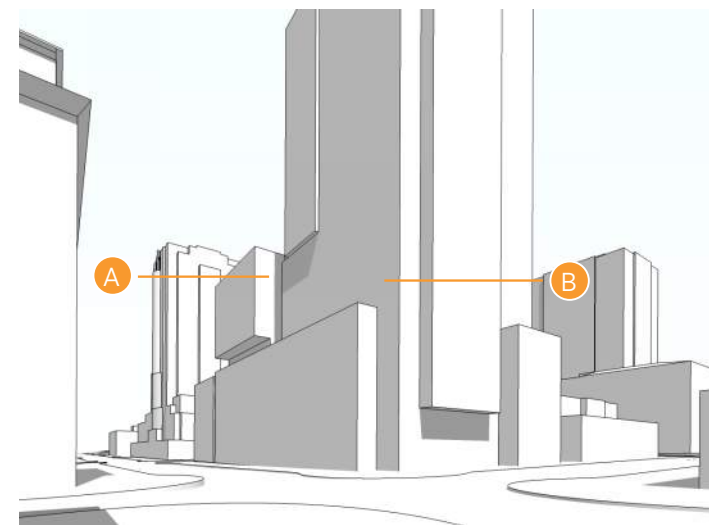
NW Corner



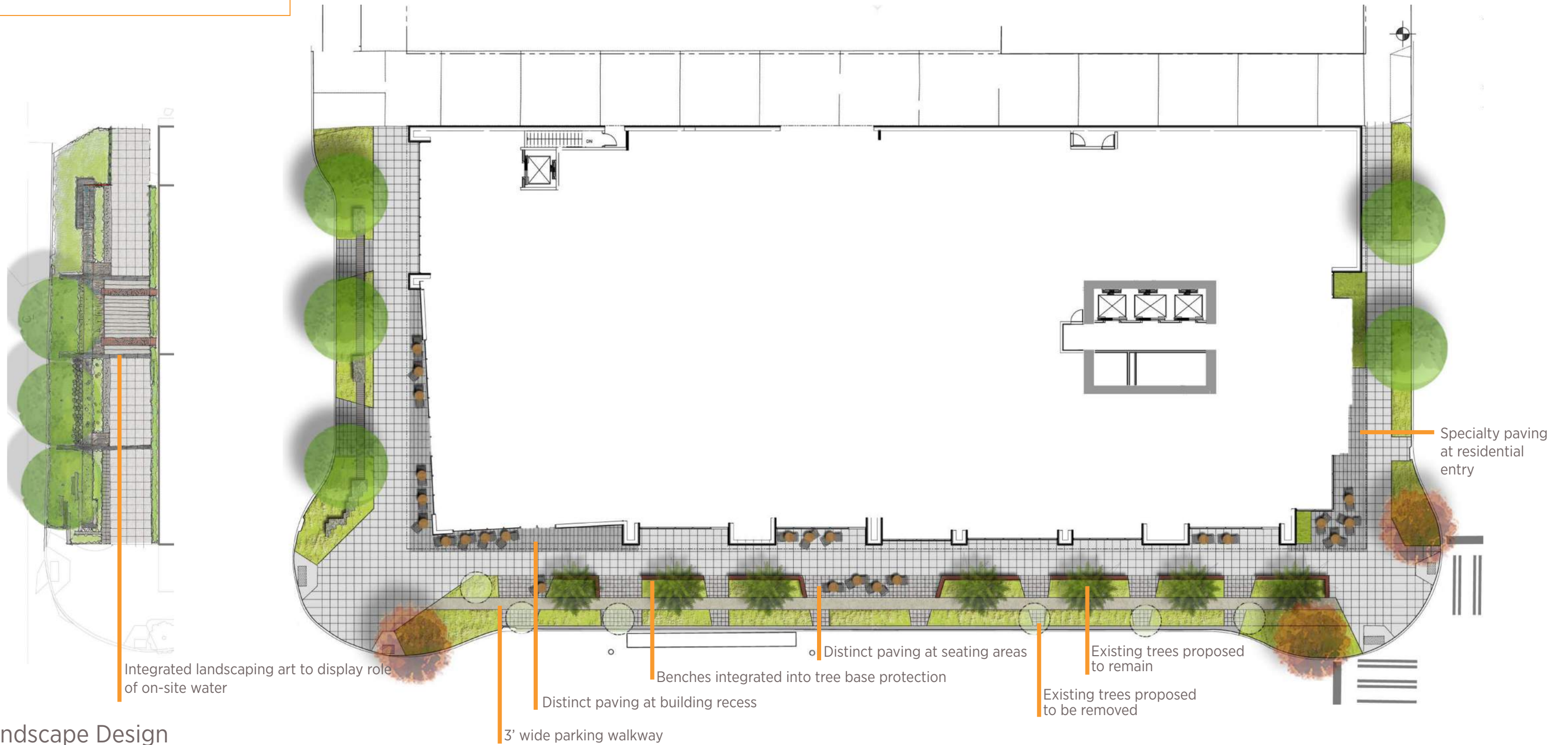
SW Corner



SW Corner



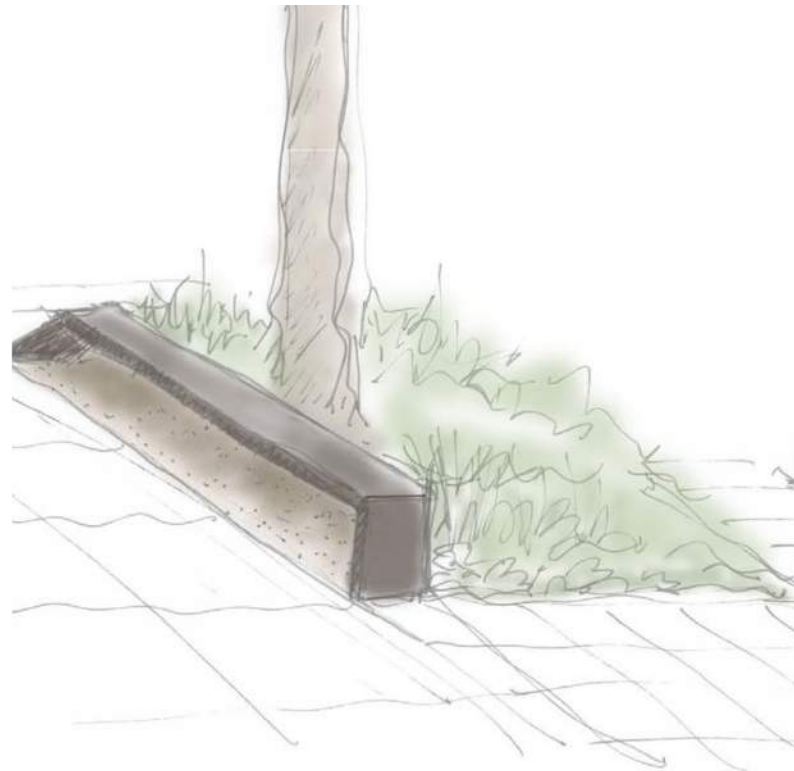
# LANDSCAPE DESIGN GROUND LEVEL



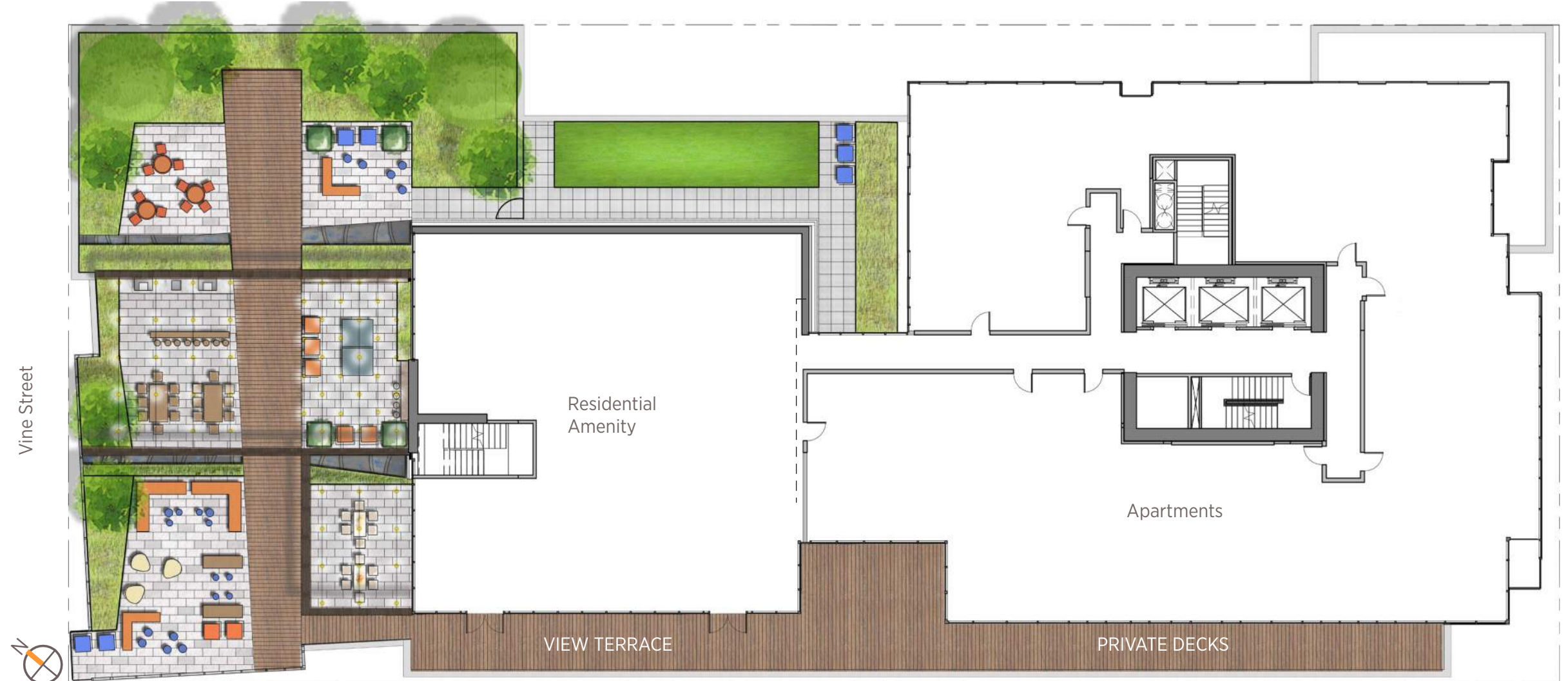
## Landscape Design



LANDSCAPE  
GROUND LEVEL  
DESIGN CONCEPT



LANDSCAPE DESIGN  
PODIUM ROOF  
AMENITY



Level 7 - Podium Rooftop Amenity Plan



THANK YOU