



609 Fairview Ave N Early Design Guidance Meeting

West DRB - September 16, 2015

DPD# 3020512



GRAPHITE

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Project Info

Property Address	609 Fairview Avenue North Seattle, WA 98109
DPD Project Number	3020512
Owner	Vulcan Real Estate 505 5th Avenue South, Suite 900 Seattle, WA 98104 <i>Contact:</i> Scott Lien 206.324.2000 ScottL@vulcan.com
Architect	Graphite Design Group 1809 7th Avenue, Suite 700 Seattle, WA 98101 <i>Contact:</i> Peter Krech 206.224.3335 peter.krech@graphitedesigngroup.com www.graphitedesigngroup.com
Development Objectives	The applicant proposes to build a 6-story structure with 187,000 square feet of total above-grade construction, including approximately 187,000 SF of Commercial Office use. Below grade parking will be provided for approximately 221 cars. Also provided will be approximately 7,600 SF of Open Space at grade and 3600 SF of Private Open Space. Primary building entries will be from the corner of Mercer Street and Fairview Avenue. Automobile entries will be from the alley bordering the site on the west. Three loading berths and trash and recycling facilities will also be accessible from the alley.

Project Goals

- Create a rich, diverse pedestrian environment with a variety of scales, active uses and characters of open spaces
- Connect to and enhance existing neighborhood pedestrian, vehicular, transit and cycling circulation patterns
- Create a gateway between the South Lake Union neighborhood and the lake front
- Respond and contribute to the established urban density pattern in a thoughtful manner
- Create flexible, active open space and ground floor commercial tenant opportunities that add vitality to the project site as well as surrounding community
- Locate all parking and building services at the alley or below grade
- Maximize development potential



Site Address: 609 Fairview Avenue North, Seattle, WA 98109
Zone: Seattle Mixed-85/65-160
South Lake Union Urban Center Overlay

23.48.004 Uses
<i>Standard</i>
All uses are permitted outright, either as principal or accessory uses, except those specifically prohibited by subsection 23.48.004.B and those permitted only as conditional uses by subsection 23.48.004.C.

23.48.009 Floor Area Ratio
<i>Standard</i>
Base FAR in SM/85/65-160 zones: 4.5 ; Maximum FAR in SM/85/65-160 zones: 7
The following is exempt from FAR: <ul style="list-style-type: none">All floor area below gradePortions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access, to increase privacy for residential units in the first full story above grade.As an allowance for mechanical equipment, in any structure 65 feet in height or more, 3.5 percent of the total chargeable gross floor area in a structure is exempt from FAR calculations.All gross floor area used for accessory parking located above grade.All gross floor area in residential use.Within the SLU Urban Center, GFA occupied by mechanical equipment, up to a maximum of 15% after other deductions.Mechanical equipment located on the roof of a structure.

23.48.010 General Structure Height
<i>Standard</i>
Height Limit (commercial): 85'
A proposal to build a structure greater than 85 feet in height, requires the applicant to show that the proposed structure height will not physically obstruct use of the flight path shown on Map A for 23.48.010.
Rooftop Features allowed above maximum height limit: <ul style="list-style-type: none">Railings, planters, skylights, clerestories, greenhouses and parapets may extend up to 4' above height limit with unlimited rooftop coverage.Solar collectors may extend up to 7 feet above the maximum height limit, with unlimited rooftop coverage.Rooftop features (solar collectors, stair penthouses, mechanical equipment, greenhouses, solariums etc...) may extend up to 15 feet above maximum height limit to a combined coverage limit of 25% if the total includes stair or elevator penthouses or screened mech. equipment.Rooftop features may cover up to a combined coverage limit of 65% provided that all mechanical equipment is screened and no feature is located closer than 10 feet from the roof edge.Rooftop mechanical equipment and elevator penthouses shall be screened with fencing, wall enclosures, or other structures.For structures greater than 85 feet in height, elevator penthouses up to 25 feet above the height limit are permitted. If the elevator provides access to a rooftop designed to provide usable open space, elevator penthouses up to 35 feet above the height limit are permitted.

23.48.012 Upper-Level Setback Requirements
<i>Standard</i>
Portions of a structure above 45 feet in height shall set back a minimum of 15 feet from street lot lines abutting Valley Street and Fairview Avenue North as shown in Exhibit B for 23.48.012
The first four feet of horizontal projections of decks, balconies with open railings, eaves, cornices and gutters shall be permitted in required setbacks

23.48.014 Street Level development standards
<i>Standard</i>
Pedestrian primary entry within 3' of sidewalk grade
Minimum façade heights: <ul style="list-style-type: none">Mercer Street (class II pedestrian street): 25'Fairview Avenue North (class II pedestrian street): 25'Valley Street (class II pedestrian street): 25'
Street façade may be setback up to 12' from street lot line if: <ul style="list-style-type: none">Landscaped per 23.48.024Additional setbacks permitted for up to 30% of façade that are setback from street lot line as long as the additional setback is located further than 20' from any street corner
Required open area: A minimum of 20% of the lot area shall be provided as open and shall include the following: <ul style="list-style-type: none">A minimum of 60 percent of the required open area shall be provided as usable open space that meets the following conditions:<ul style="list-style-type: none">The usable open space is open from the ground to the sky and is visible and accessible to pedestrians from an abutting street, including persons with disabilities;The open space is substantially at street-level, although portions are permitted to be within 4 feet of street levelThe open space has a minimum horizontal dimension of 15 feetThe open space enhances visual and physical pedestrian connections between South Lake Union Park and development on the lot, and is accessible to the public, free of charge, during the hours of operation of South Lake union Park.

23.48.014.D Transparency and Blank Façade Requirements
<i>Standard</i>
<ul style="list-style-type: none">At Valley St, Mercer St, and Fairview Ave N (Class II pedestrian streets) 60% of street façade to be transparent between 2' and 8' above sidewalk level.Only clear or lightly tinted glass in window, doors and display windows shall be considered transparent. Transparent areas shall allow views into the structure or display windows from the outside.For Class II pedestrian Streets, blank facades limited to segments 15' in length except garage doors which may be wider than 15'.

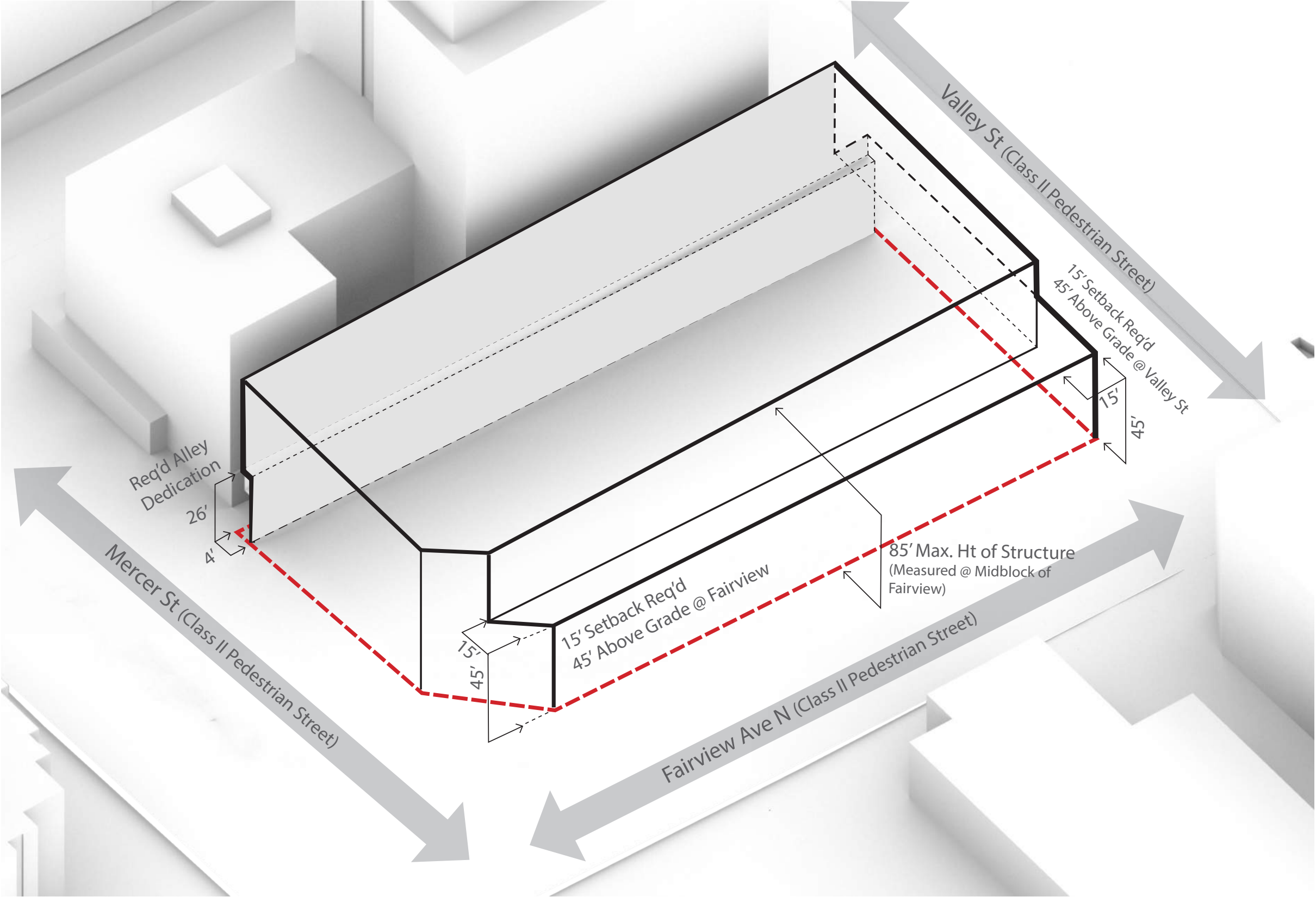
23.48.022 Open Space Requirements for Office Uses
<i>Standard</i>
<ul style="list-style-type: none">Open space in the amount of 20 square feet for each 1,000 square feet of gross office floor area is required.The space has a minimum horizontal dimension of 20 feet and a minimum floor-to-ceiling height of 13 feet.

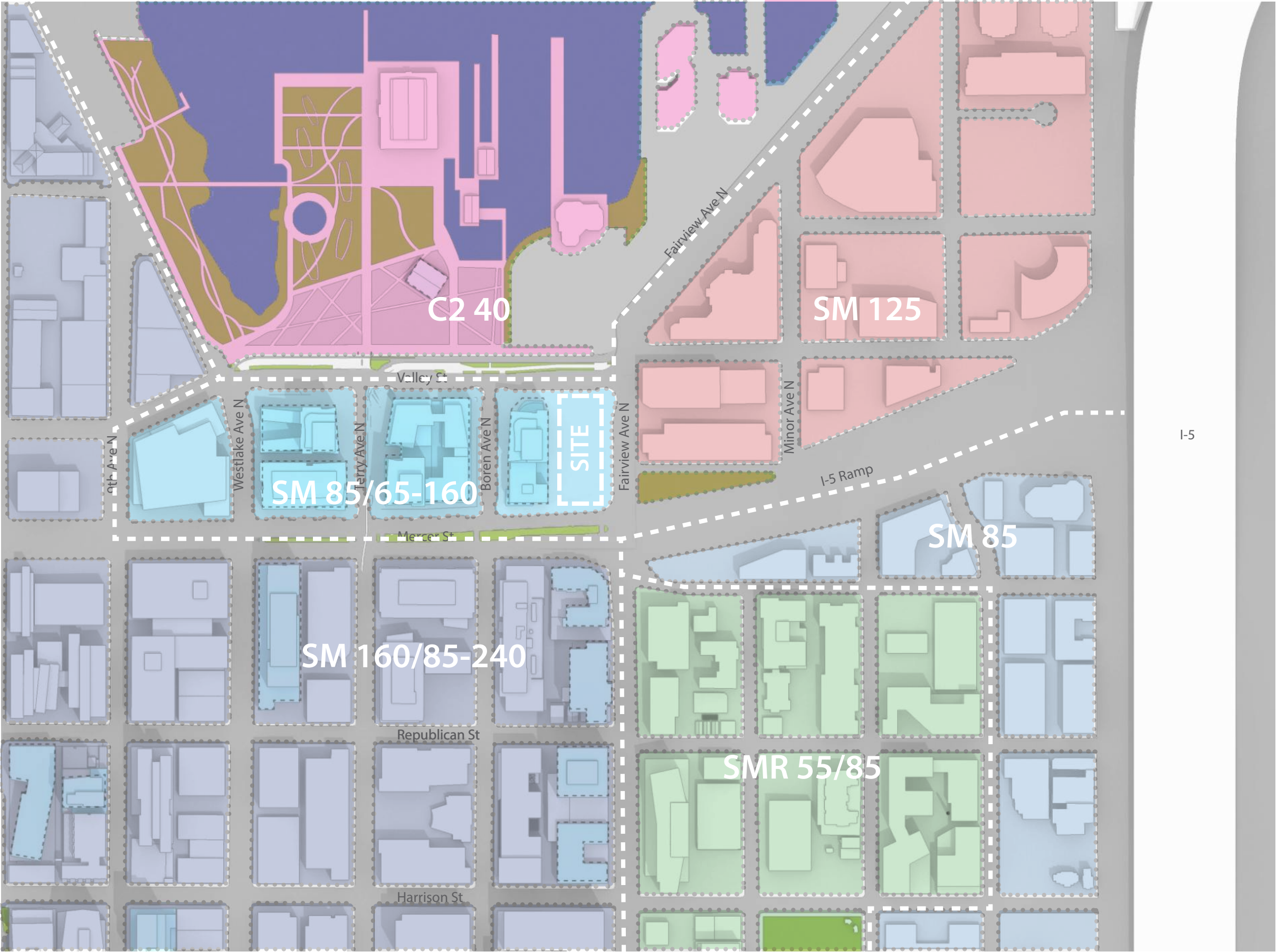
23.48.024 Landscaping
<i>Standard</i>
Landscape screening as defined by 23.48.024(A) is required for the following uses: <ul style="list-style-type: none">Gas stationsSurface parking areasParking in structures at or above street level
Street Trees shall be provided in all planting strips.
Landscaping required to achieve the Green Factor score of .30 or greater.

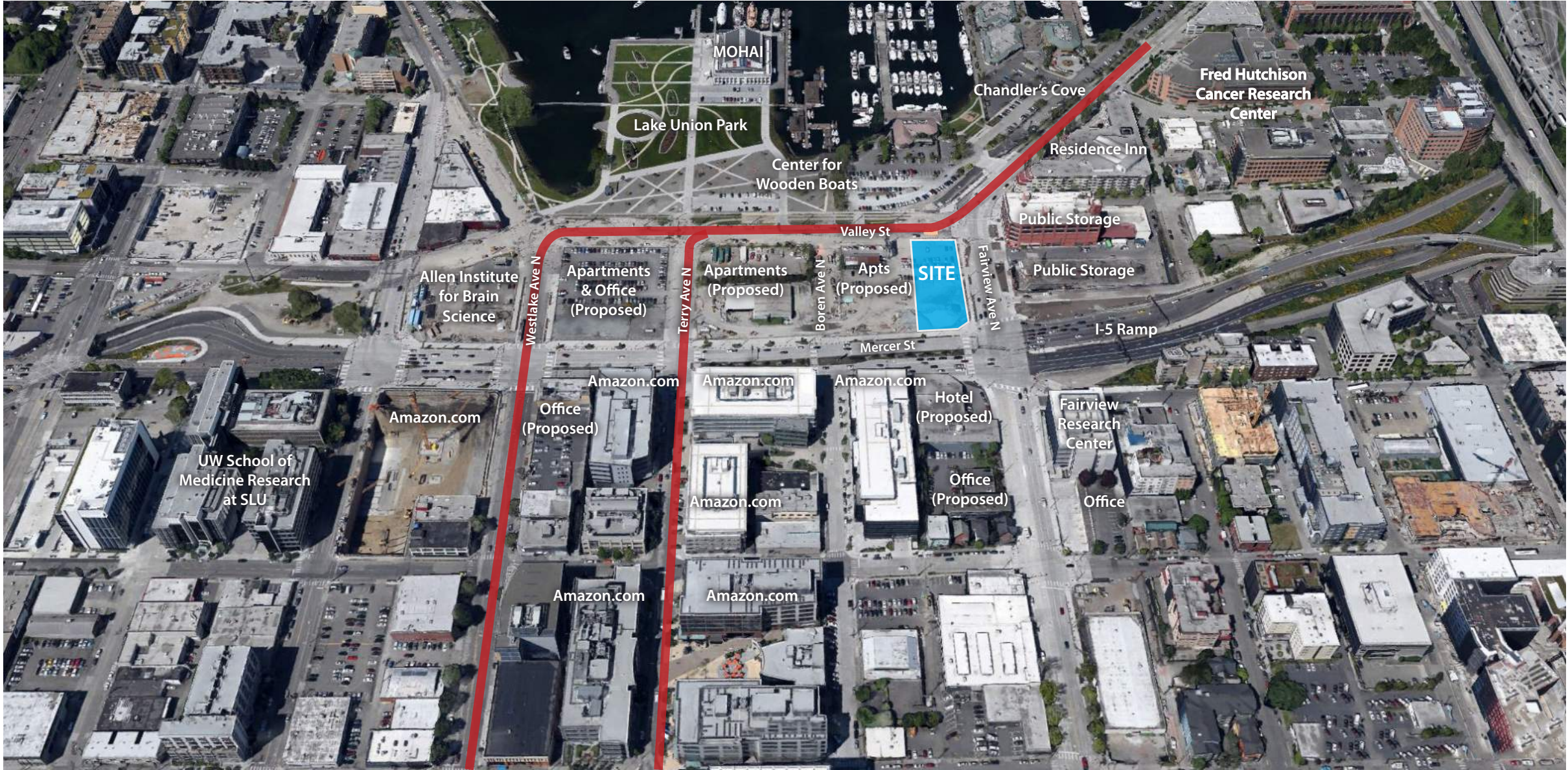
23.48.032 Required Parking and Loading
<i>Standard</i>
<ul style="list-style-type: none">Off-street parking spaces may be required according to the requirements of SMC 23.54.015.Per Table "A" for 24.54.015, no parking is required for non-residential uses located in Urban Centers.Parking for nonresidential uses in excess of the maximum quantity identified in subsection 23.48.032.B.1 may be permitted as a special exception pursuant to Chapter 23.76.Parking is limited to one parking space per every 1,000 square feet of gross floor area in non-residential use.
Where loading access is from an alley, and truck loading is parallel to the alley, a setback of 12' is required for the loading berth, measured from the centerline of the alley, with a 16' vertical clearance maintained.
Loading berths shall be provided pursuant to Section 23.54.035, Loading berth requirements and space standards <ul style="list-style-type: none">23.54.035(C) Loading Berth Standards and Space Requirements<ul style="list-style-type: none">Per "low demand" office use between 160,001 to 264,000 SF, 3 spaces at 10'W x 35'L x 14'h are required

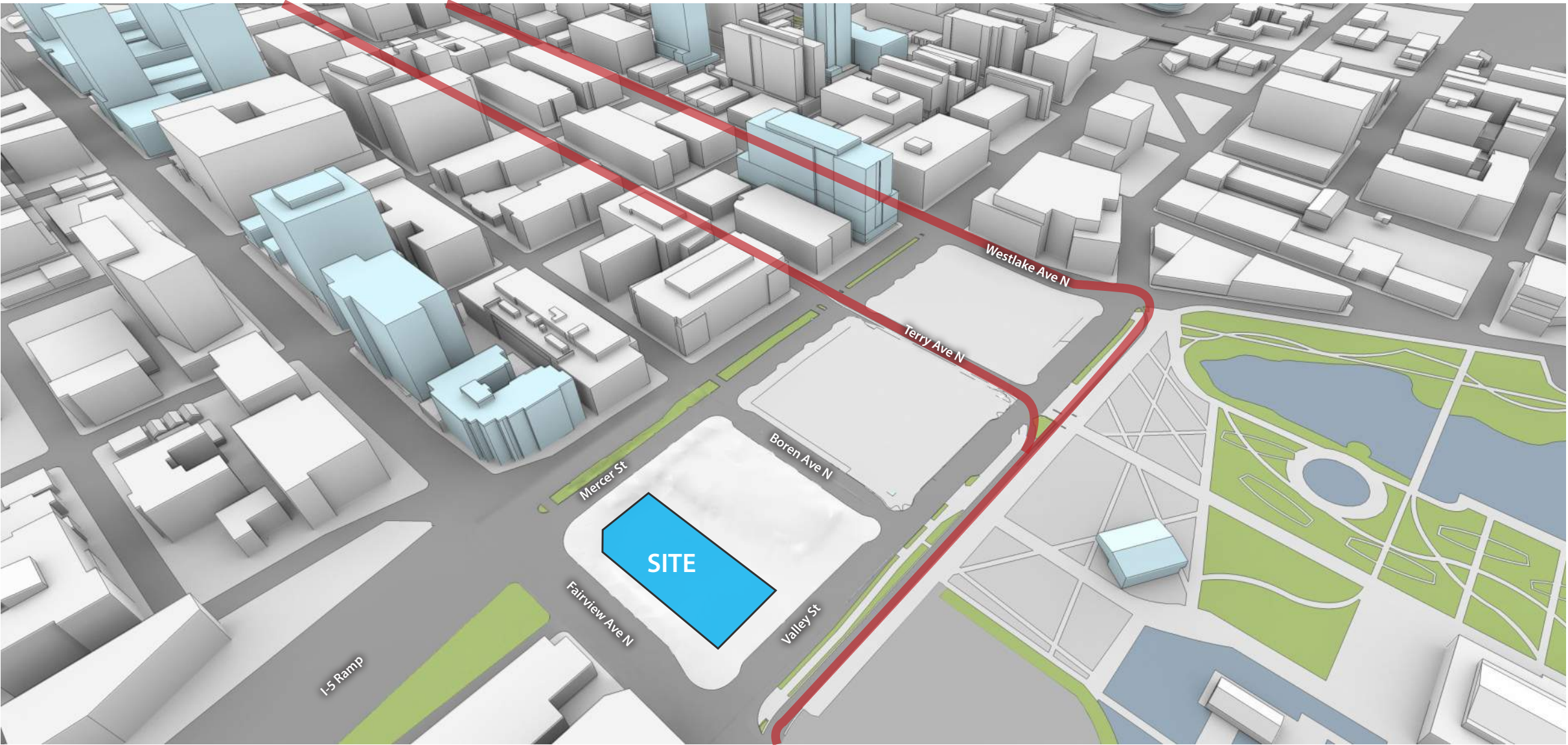
23.48.034 Parking and Loading Location, Access and Curb cuts
<i>Standard</i>
Access to parking and loading shall be from the alley when the lot abuts an improved alley.

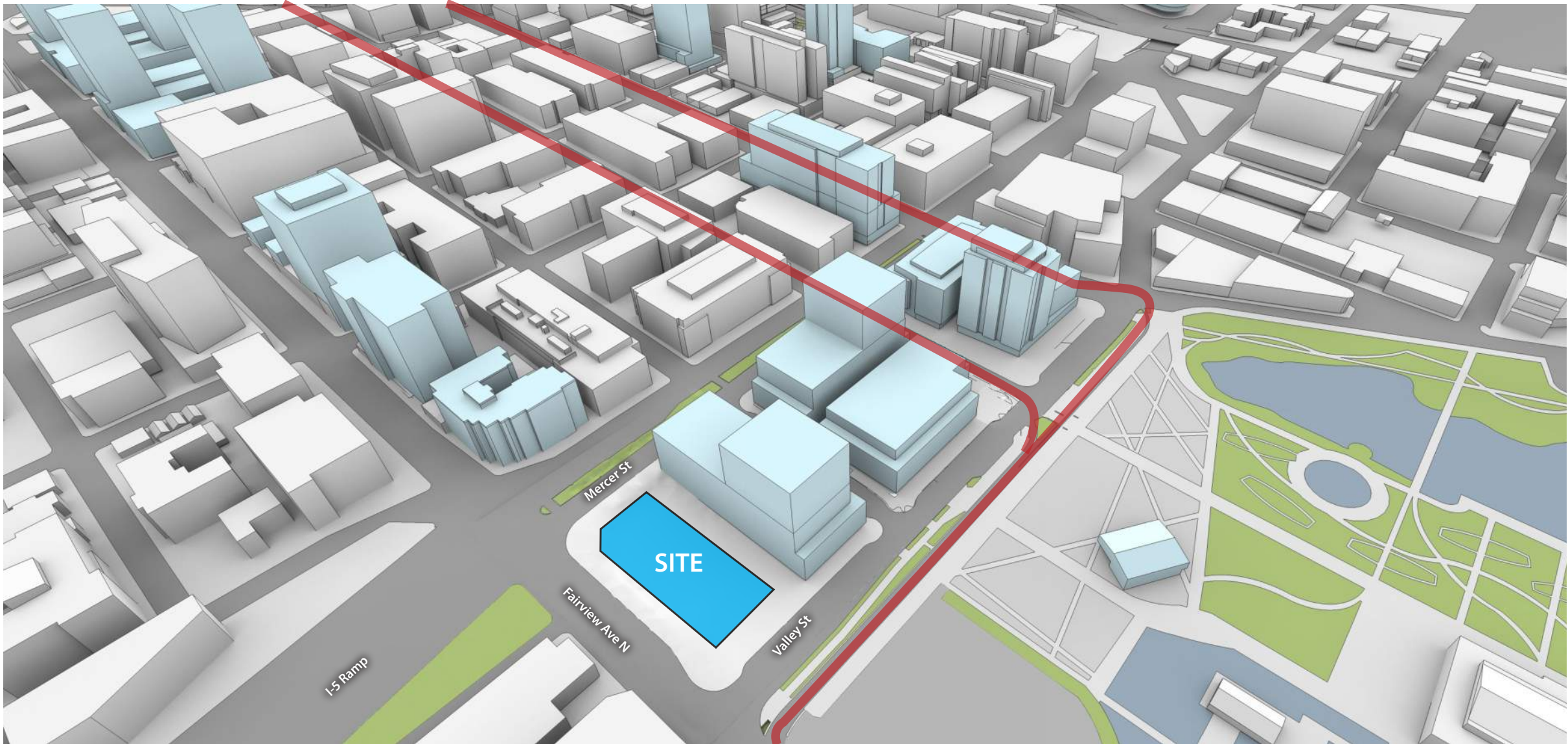
25.54.015 Bicycle Parking	
Standard	
Long Term Bicycle Parking	Short-Term Bicycle Parking
<ul style="list-style-type: none">• Offices:<ul style="list-style-type: none">- 1/2,000 SF for first 50 Bicycles- 1/4,000 SF over 50 bicycles• Eating and Drinking Establishments:<ul style="list-style-type: none">- 1/12,000 SF	<ul style="list-style-type: none">• Offices:<ul style="list-style-type: none">- 1/40,000 SF• Eating and Drinking Establishments<ul style="list-style-type: none">- 1/2,000 SF









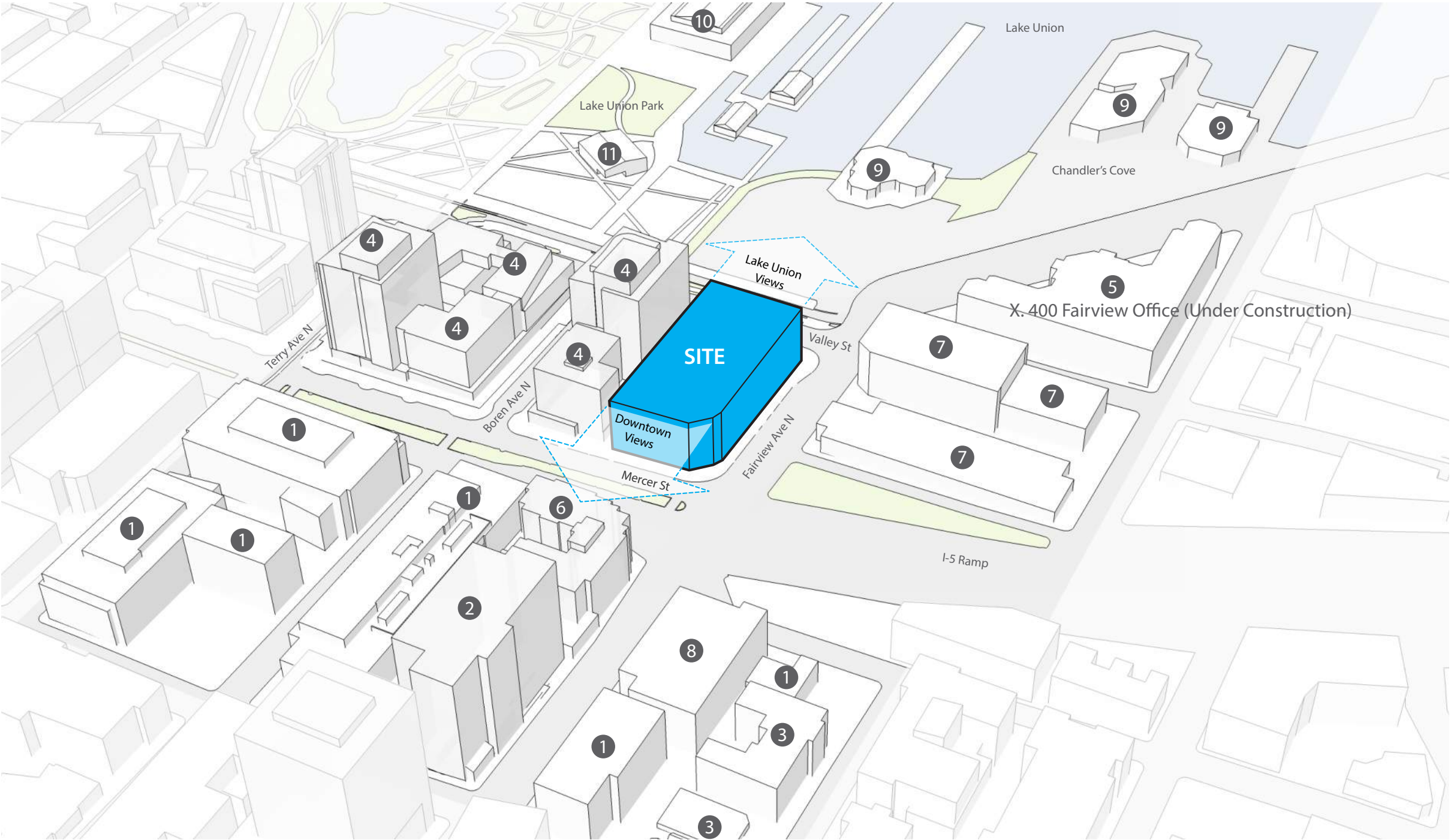


Proposed Development
(EDG or MUP Submitted)



Street Car





- 1 Office
- 2 Office (Proposed)
- 3 Residential
- 4 Residential (Proposed)
- 5 Hotel
- 6 Hotel (Proposed)
- 7 Storage
- 8 Research
- 9 Restaurant
- 10 Museum/Cultural
- 11 Museum/Cultural (Proposed)





A. Mercer Block 25 West: 3017398



B. Mercer Block 31: 3017484



C. Mercer Block 37: 3017401



D. 527 Fairview Hotel (Proposed) 3016993



E. Block 38 Office (Proposed)



L. 700 Fairview Storage (Historic Landmark)



H. 501 Fairview Office (Proposed)



G. Fairview Research Center



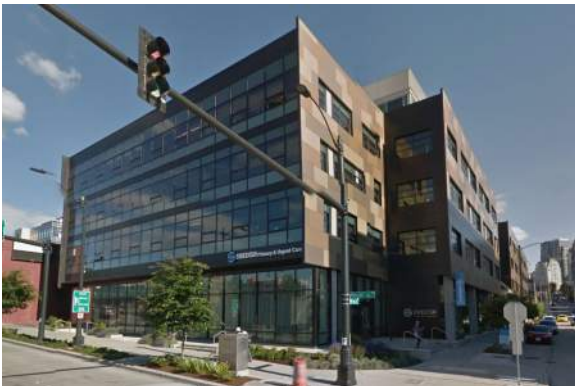
F. Wagner Education Center (Proposed)



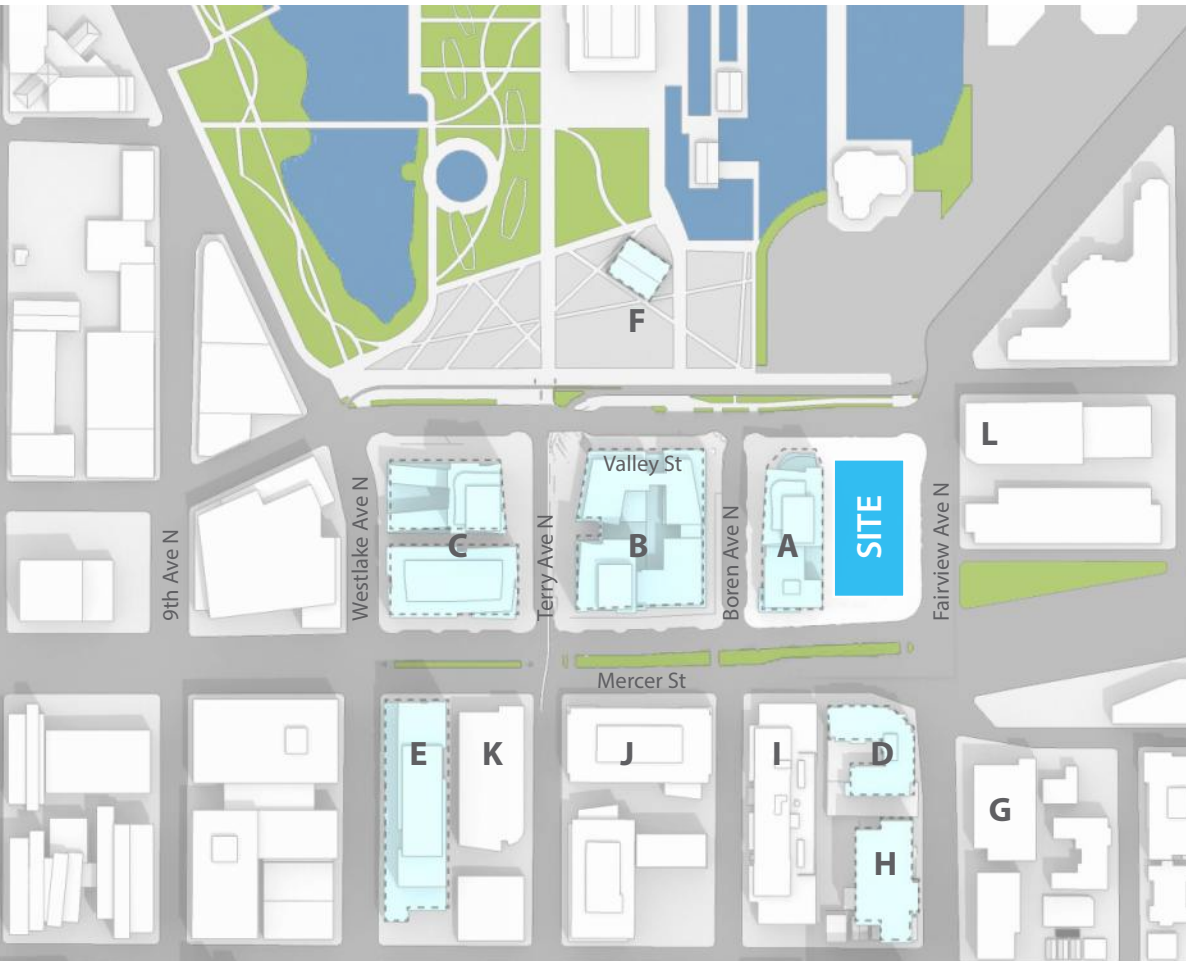
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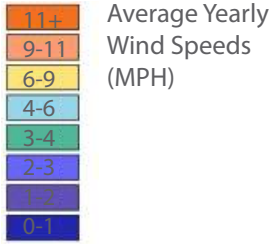
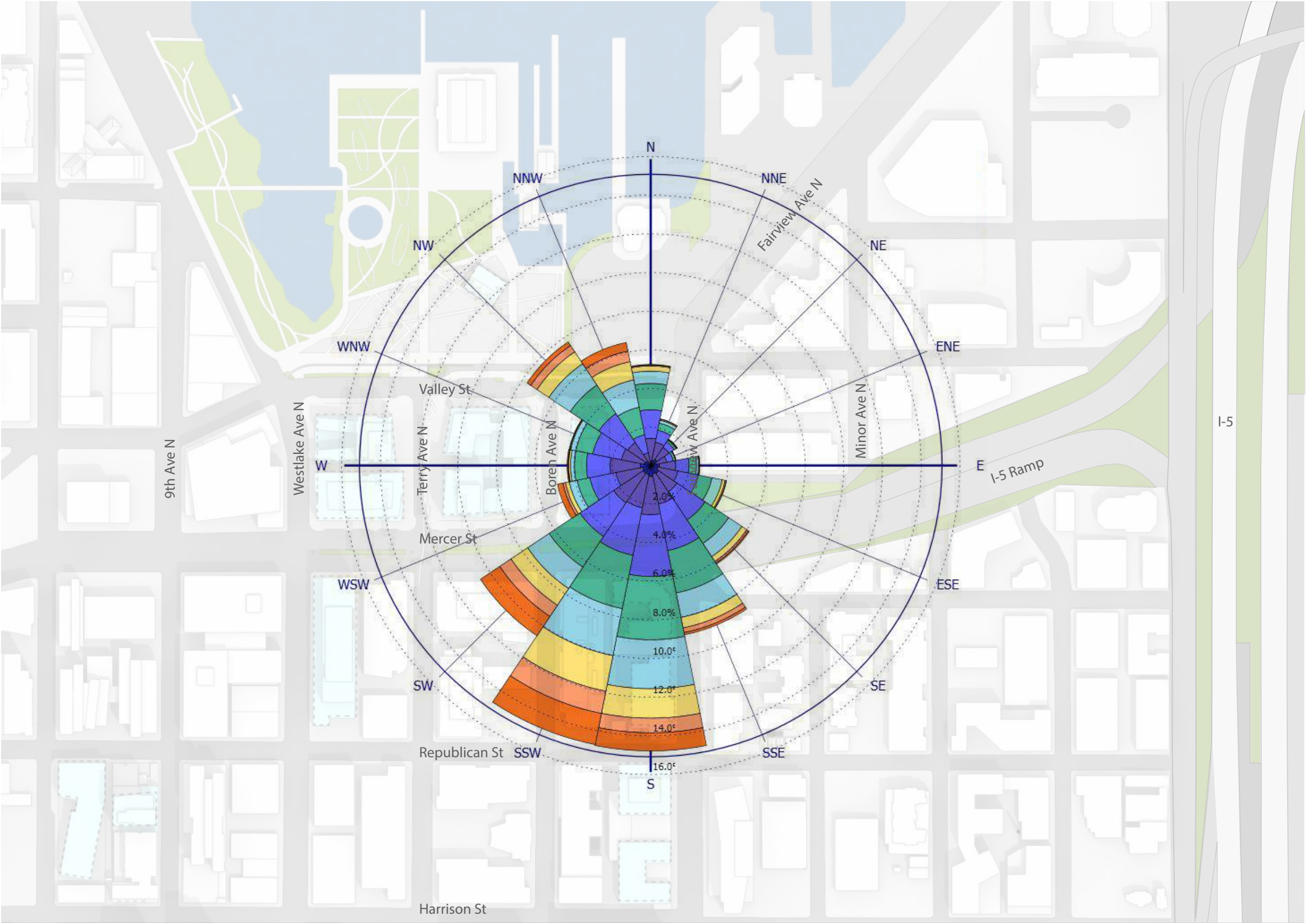


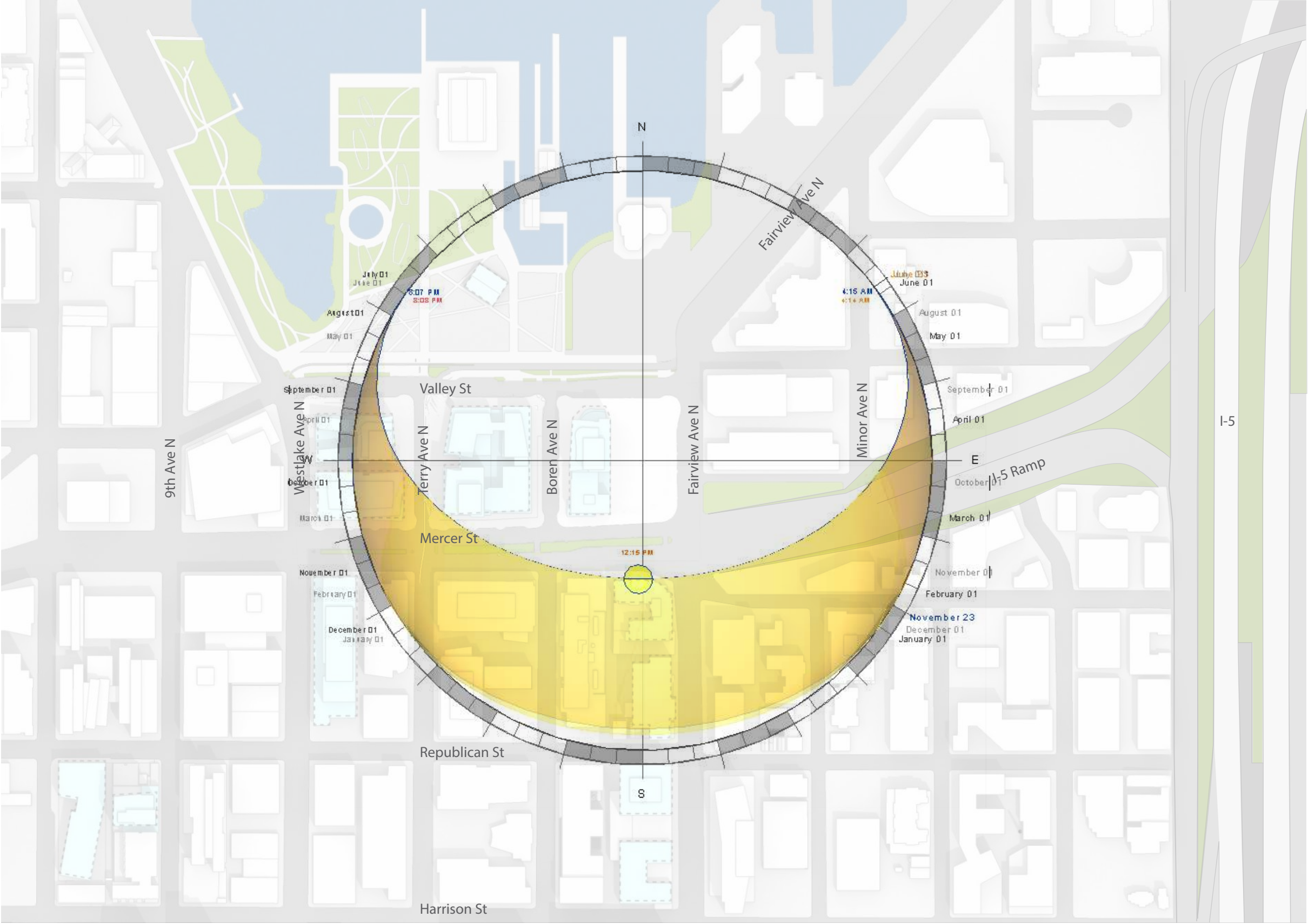
J. Amazon.com "Obidos"



I. Amazon.com "Fiona"

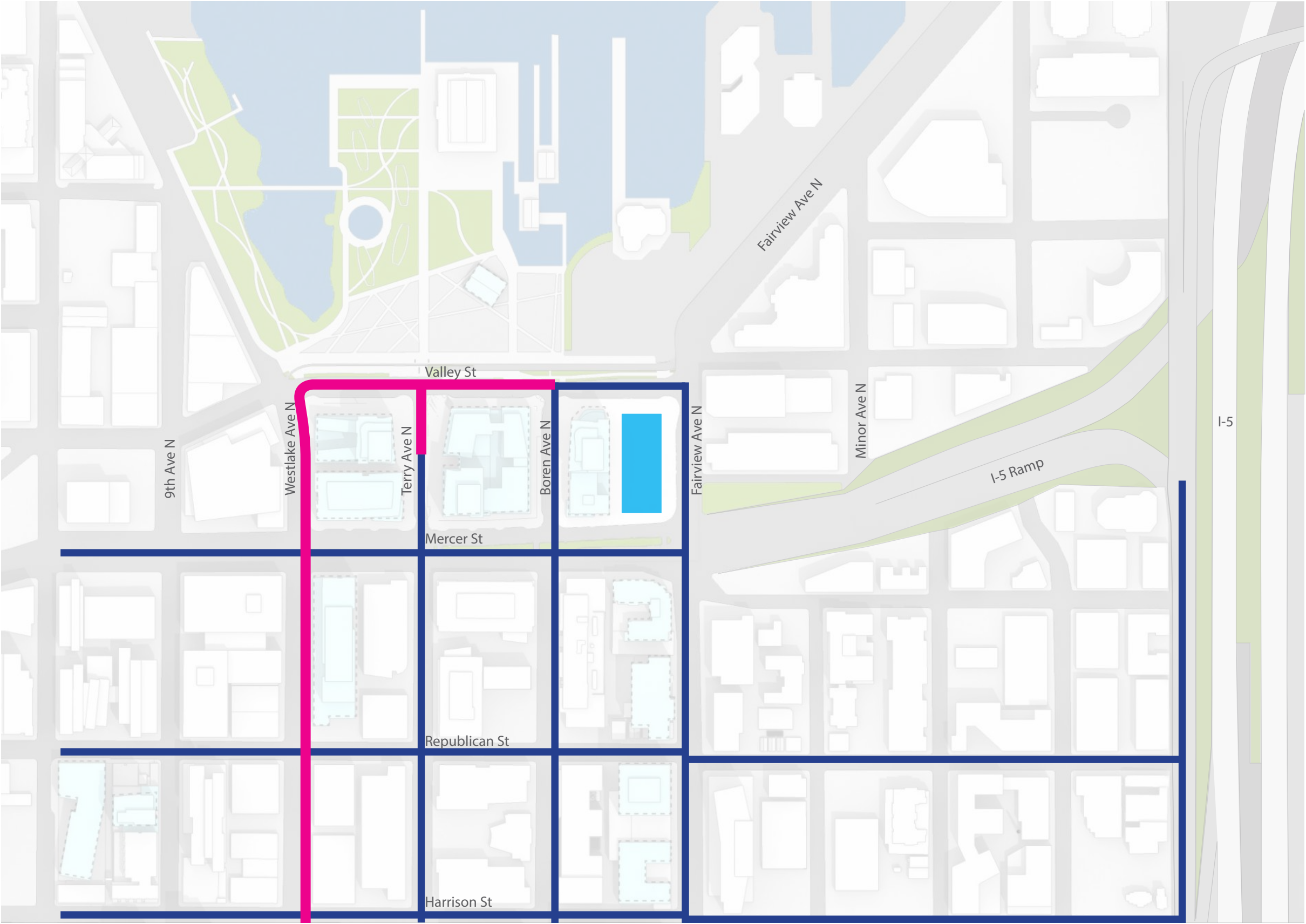






Street Classification

- Class I
Pedestrian Street
- Class II
Pedestrian Street



GRAPHITE

Block 25 East - 609 Fairview Ave N | EDG West DRB | 09.16.2015 | DPD # 3020512

Gateways & Heart Locations

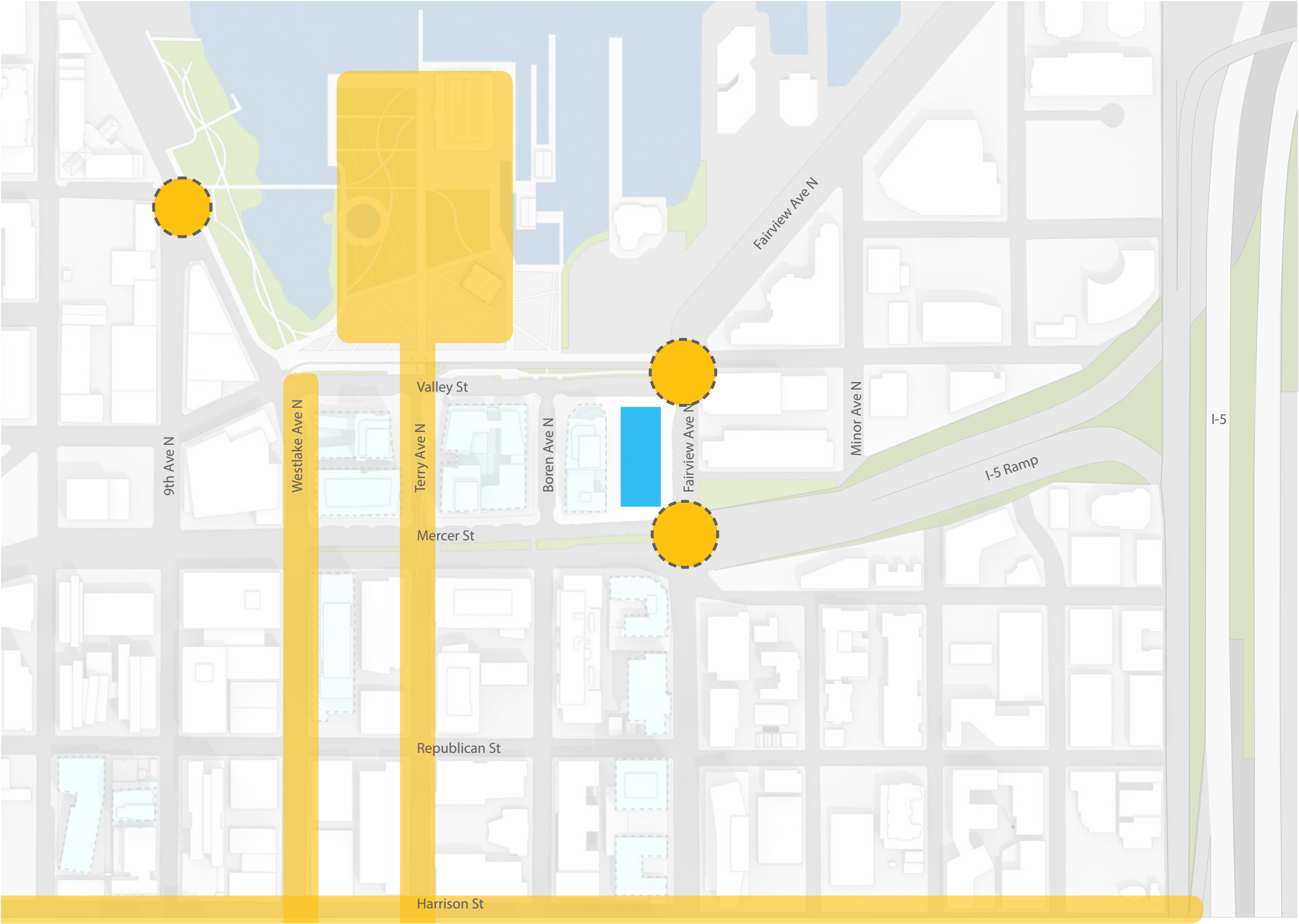


Gateway*



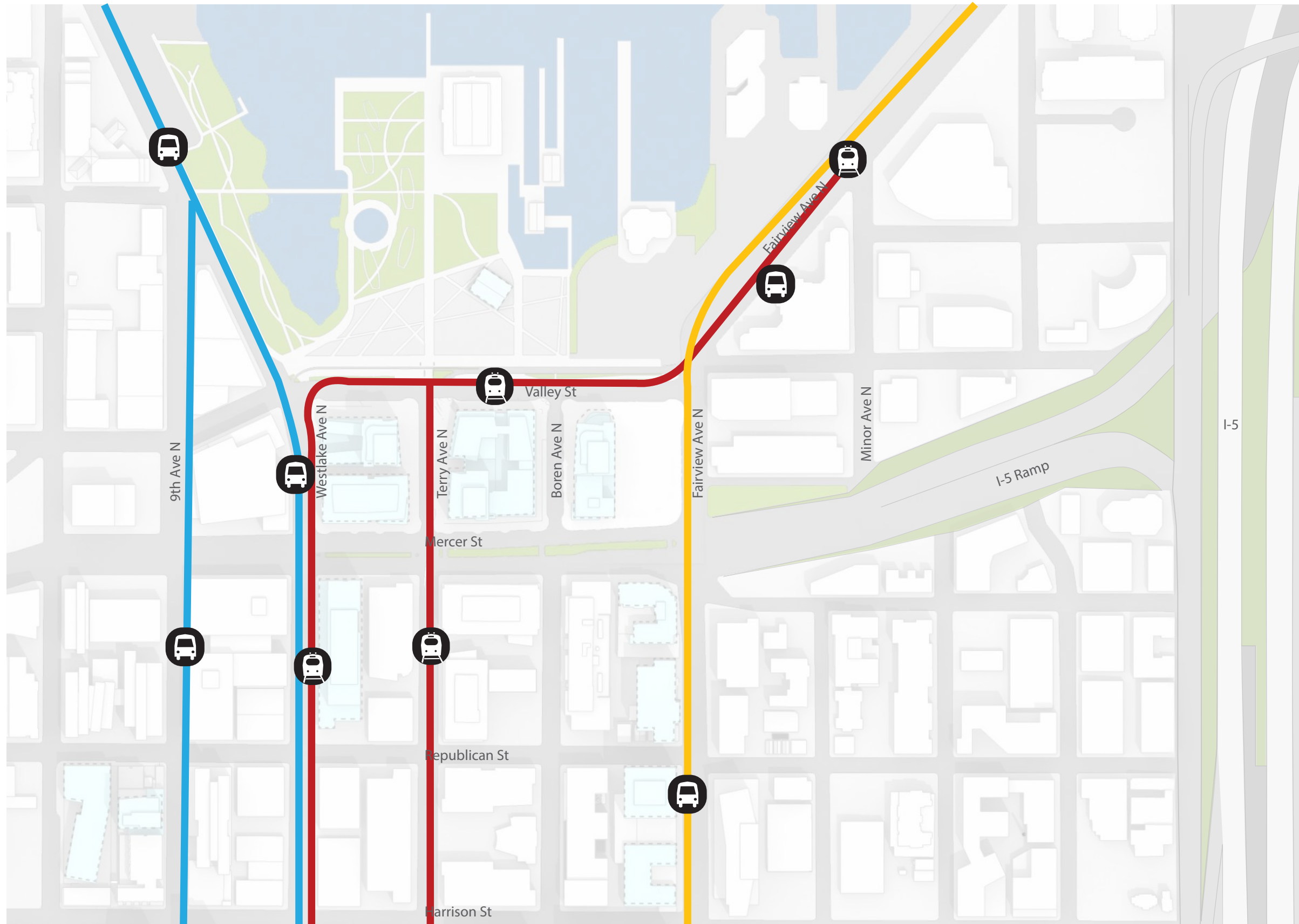
Heart Location*




**Per SLU Design Guidelines:
CS2 Urban Pattern & Form
I. Responding to
Site Characteristics
iii. Gateways
iv. Heart Locations*



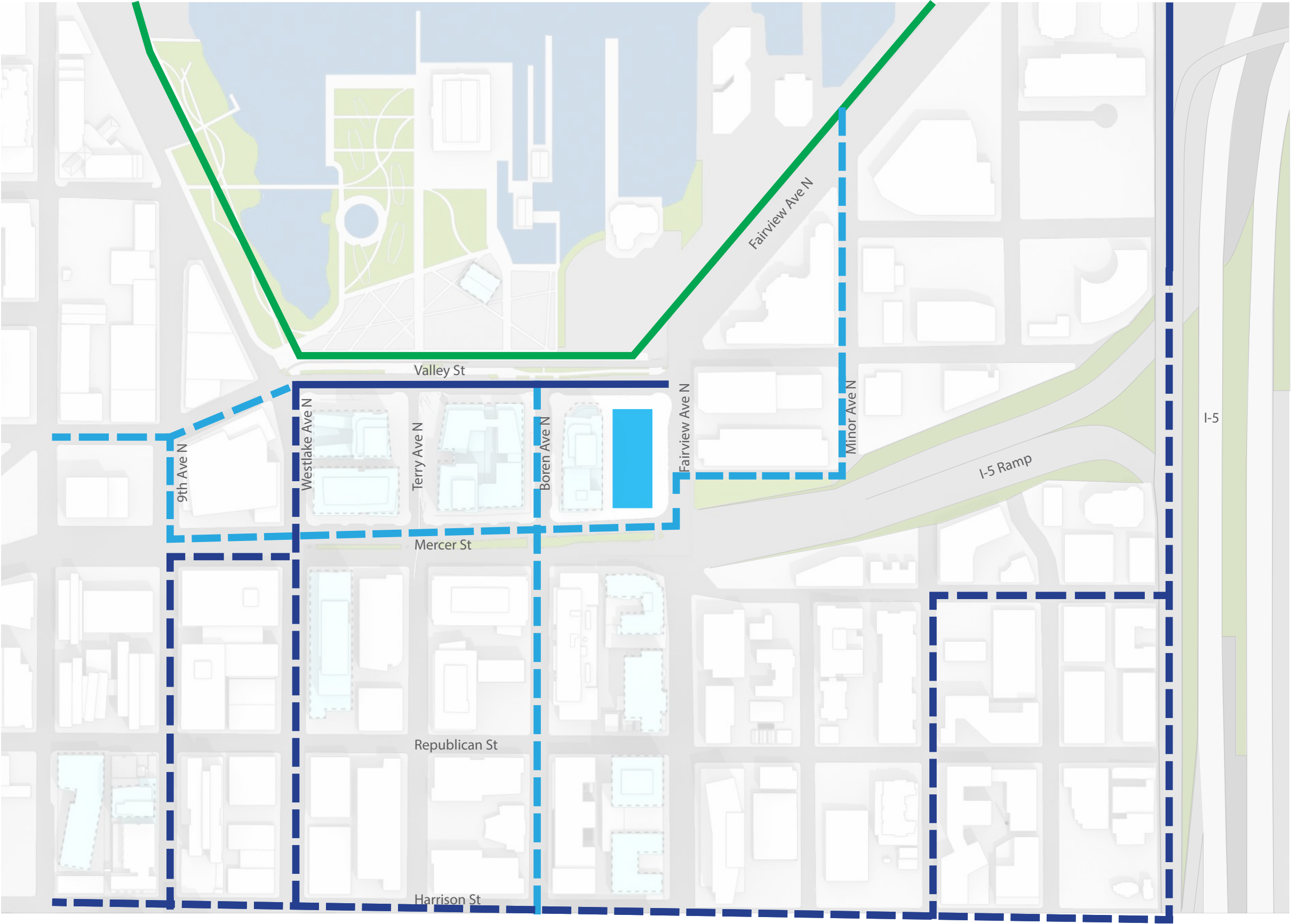
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Block 25 East - 609 Fairview Ave N | EDG West DRB | 09.16.2015 | DPD # 3020512



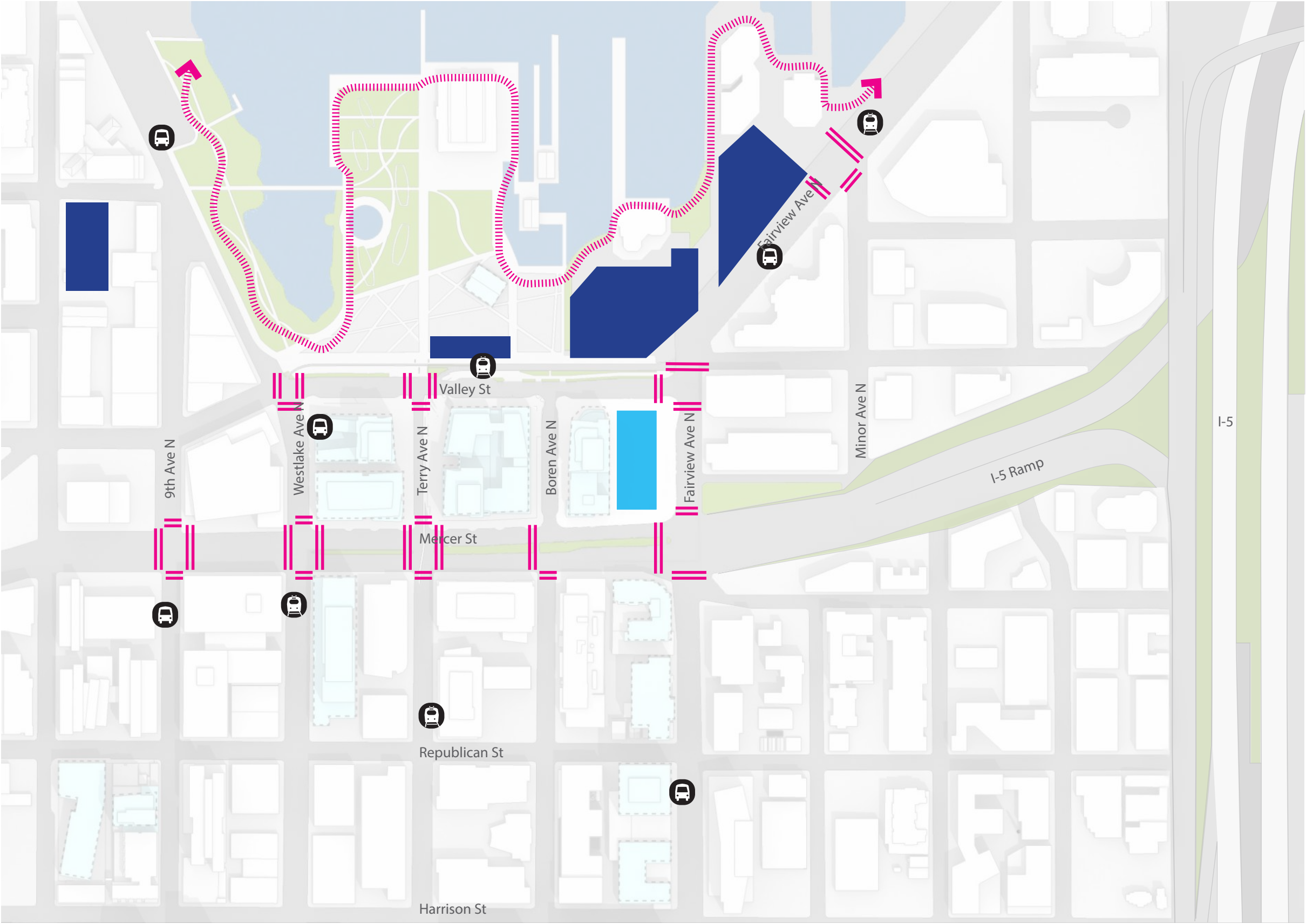
-  — Street Car
-  — Bus Route
-  — Bus Route





- Paved Bike Path
- On-Street Bike Lane
- Shared Roadway
- Unmarked Connector





Cheshiahud
Lake Union
Loop



Crosswalk
Location



Transit Stop



Public Parking





Proposed
Development

- Office/ Commercial
- Residential
- Hotel
- Research/Medical
- Museum/ Cultural
- Restaurant
- Storage

- 1 Historic Ship Warf
- 2 Public Dock
- 3 Canoe Carving Area
- 4 Children's Play Area
- 5 Model Boat Pond
- 6 Children's Water Park
- 7 Center for Wooden Boats
- 8 Food Truck/ Farmers Market Area



CS2. Urban Pattern and Form

I. Responding to Site Characteristics

Encourage provision of “outlooks and overlooks” for the public to view the lake and cityscapes. Examples include provision of public plazas and/or other public open spaces and changing the form or facade setbacks of the building to enhance opportunities for views.

iii. Gateways

Reinforce community gateways through the use of architectural elements, streetscape features, landscaping and/or signage.

B. Height, Bulk, and Scale

i. Address both the pedestrian and auto experience through building placement, scale and details with specific attention to regional transportation corridors such as Mercer and Fairview.

iii. Relate proportions of buildings to the width and scale of the street.

The proposed design responds to the allowable zoning envelope and resultant presence on the lakefront by employing distinctive massing solutions that respond to the surrounding context while creating vistas within the site both for the public and building occupants. Vistas include public lobby exits with views to the lake and slightly elevated platforms that could accommodate outdoor seating.

The proposed massing at the two gateway corners of the site has been set back from the property line at grade level to allow adequate opportunities for feature landscape elements, signage, and artwork.

The proposed design varies the scale and proportion of the three primary facades in response each corresponding street. Mercer and Fairview being more automobile focused have been scaled appropriately while Valley is more pedestrian focused and articulated.



CS3. Architectural Context and Character

II. Architectural Context

i. Support the existing fine grained character of the neighborhood with a mix of building styles.

iv. Respond to the history and character in the adjacent vicinity in terms of patterns, style, and scale.

The proposal enhances the existing diversity of building styles by adding a contemporary jewel serving not only as an entry to the lakefront area but to the city of Seattle from the I-5 offramp. Symbolic references to the areas maritime and industrial will influence the design at many scales from overall massing to minute details.

PL1. Connectivity

III. Pedestrian Open Spaces and Entrances

New developments are encouraged to work with the Design Review

Board and interested citizens to provide features that enhance the public realm, i.e. the transition zone between private property and the public right of way.

Pedestrian open spaces have been strategically placed and scaled to support adequate transitions, connections, support, or buffering between the public and private realm as needed.



PL3. Street-Level Interaction

- I. Streetscape Compatibility
Where appropriate, consider a reduction in the required amount of commercial and retail space at the ground level. Place retail in areas that are conducive to the use and will be successful.
- II. Human Activity
ii. Design facades to encourage activity to spill out from business onto the sidewalk, and vice-versa.

The proposal seeks to place ground level volumetrically flexible spaces in locations that best serve the public while preserving less desirable frontages and more volume restricted spaces for private commercial use. No bonus FAR is being pursued to allow for more sculpting and public space formation through massing moves.

The proposed grade level encourages spill out from the interior to the exterior and vice versa through midblock access, small commercial spaces at plazas and lobbies adjacent to plazas.

DC2. Architectural Concept

- I. Architectural Concept and Consistency
Design the “fifth elevation” — the roofscape — in addition to the streetscape.

An occupied terrace is being considered for a portion of the roof, providing expansive views of the lake and providing a pleasant “fifth elevation” for the surrounding taller building occupants.

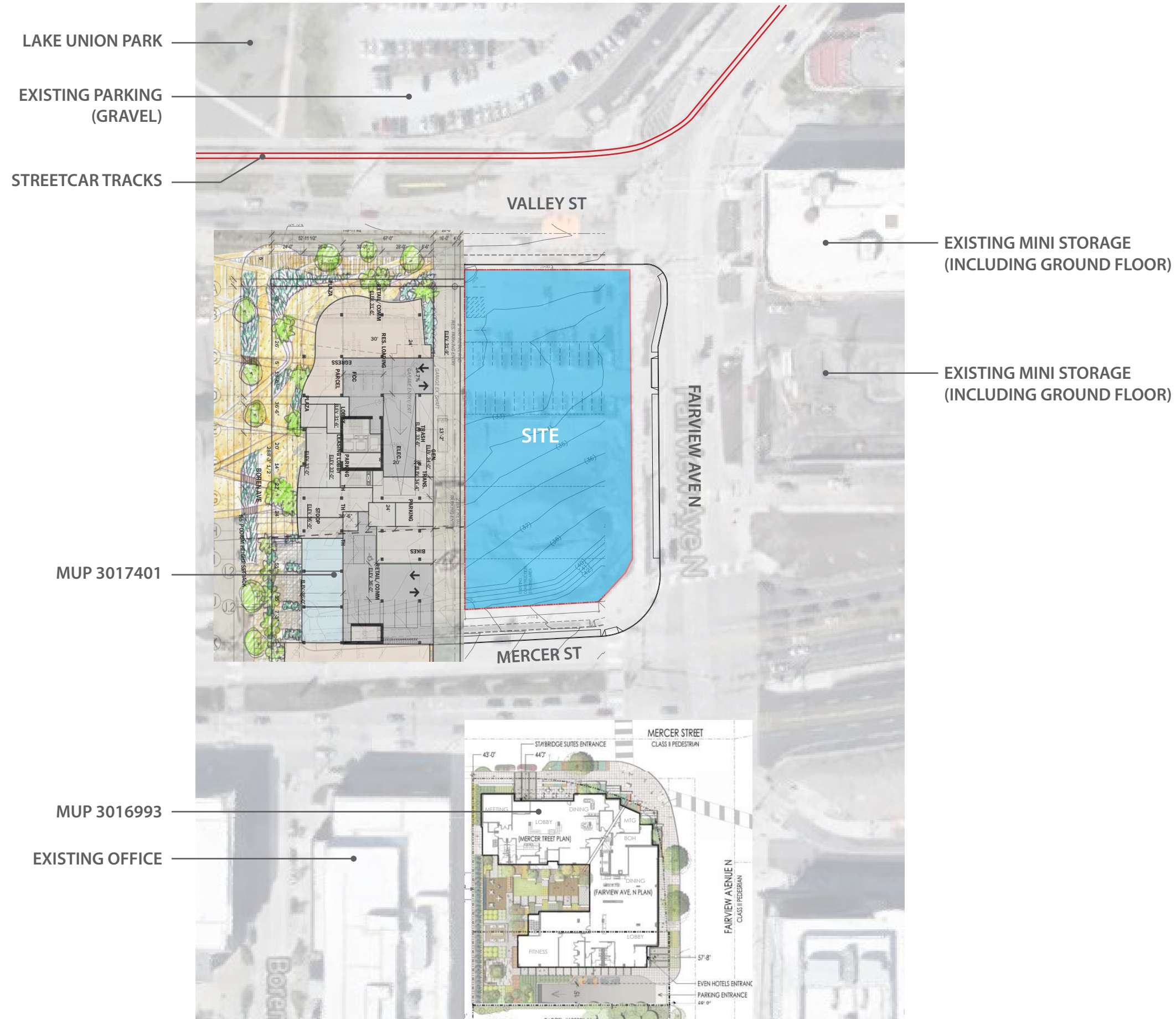
DC3. Open Space Concept

- II. Landscaping To Enhance The Building And/Or Site
Consider integrating artwork into publicly accessible areas of a building and landscape that evokes a sense of place related to the previous uses of the area.
- III. Landscape Design To Address Special Site Conditions
Landscaping should be designed to take advantage of views to waterfront and downtown Seattle.

Distinct landscape elements and possibly artwork is proposed to be integrated into one if not both of the gateway corner plazas. The historic context of the area will have influence over landscape and potential artwork design decisions.

The site’s topography and proximity to the lake allows for slightly elevated landscaped vistas where the public may experience views of Lake Union Park as well as Chandlers Cove and lake beyond.





Existing Site Plan

Site Area:

37,947 square feet with approximately 257 FT of frontage on Fairview Avenue N, 125 FT of frontage on Mercer Street, and 136 FT of frontage on Valley Street.

Topography:

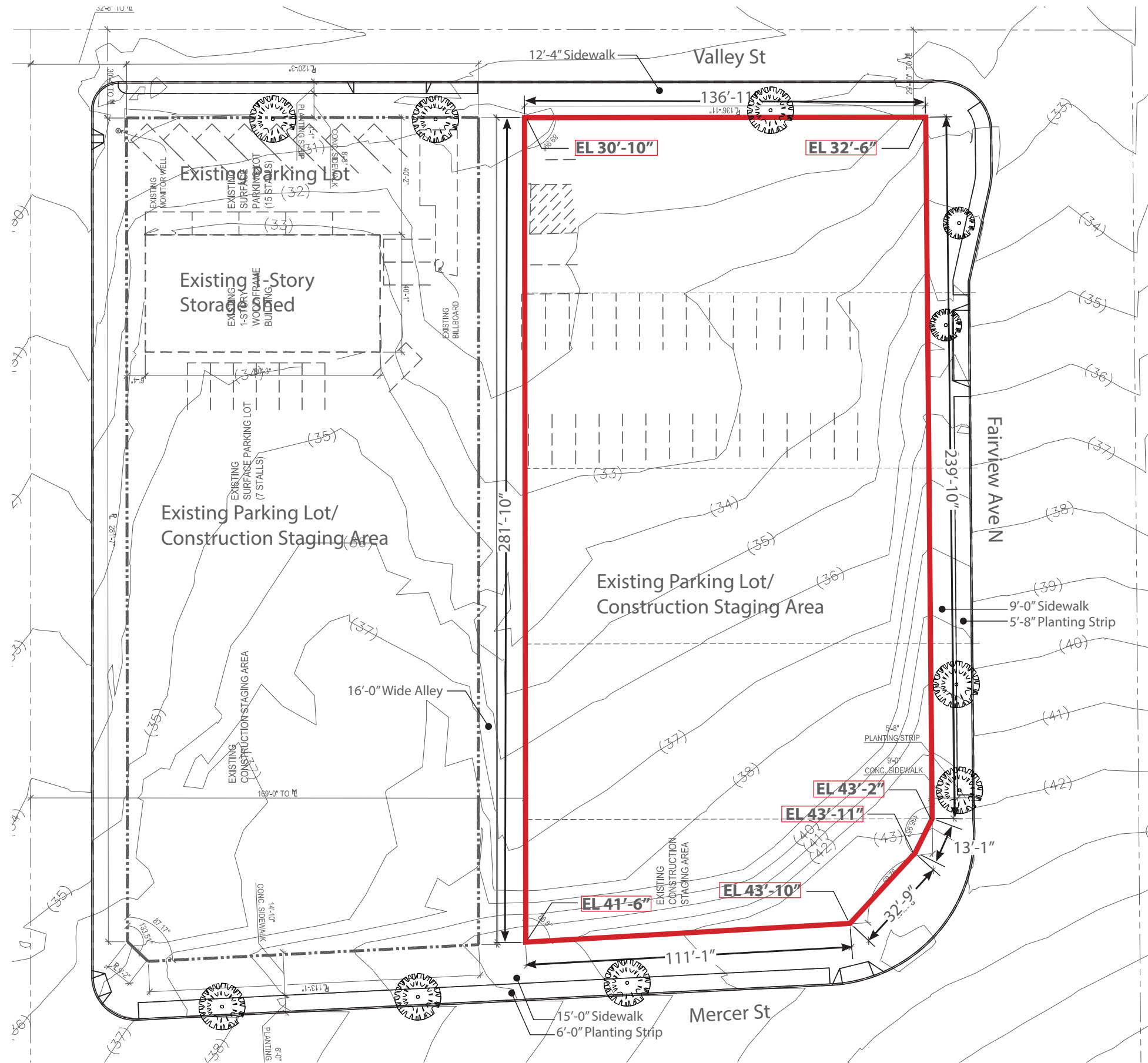
The site slopes from elevation ~ 44'-0" in the southeast corner down to ~ 31'-0" in the northwest corner.

Tree Survey:

There are no significant trees on the site. Trees are located within the sidewalk Right-of-way.

Existing Buildings:

There are no existing buildings on site, a construction staging area and existing parking occupy the site.





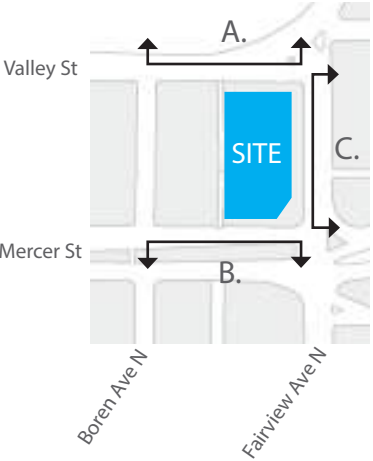
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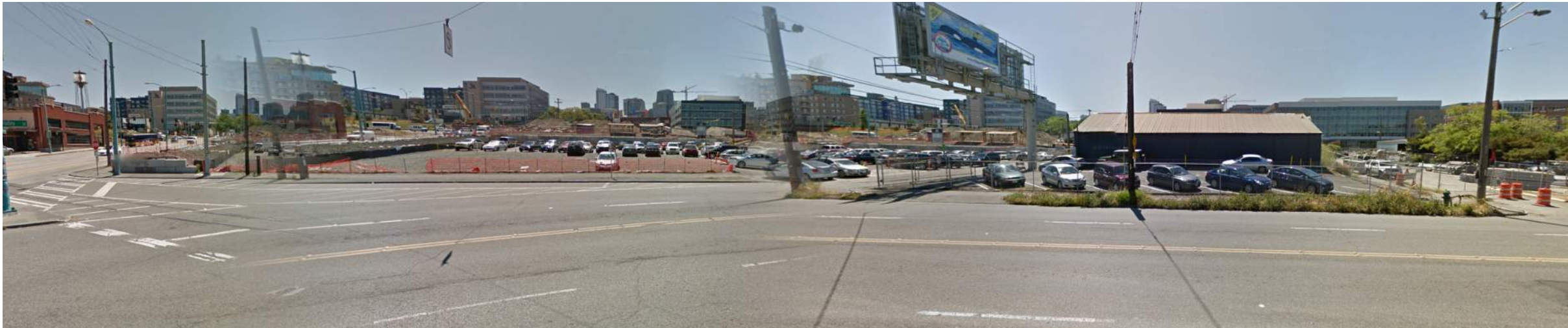


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C.





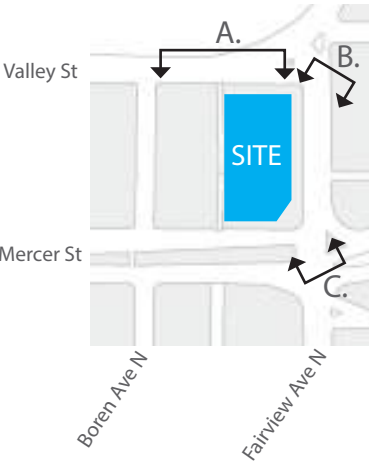
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Massing Option- *Piers*



Pros:

- Multiple volumes create smaller masses within the overall building.
- Lobby entry is highlighted through lifting of corner volume.
- The *Pier* concept relates to nautical themes.
- Does not require a design departure.

Cons:

- Mundane massing for a Gateway/Landmark site.
- Absence of stepping at upper levels creates monolithic appearance.

Massing Option- *Stack*



Pros:

- Massing is articulated in a simple but bold arrangement of volumes suitable to a gateway/landmark site.
- Grade level is pulled back from the upper volumes to allow a definition of the pedestrian zone.
- The *Stack* concept relates to the lumber industry/sawmill historically occupying the area.

Cons:

- The massing treatment and the north and south are similar.
- The massing encroaches on the required setbacks at Fairview and Valley.

Preferred Massing Option- *Wake*

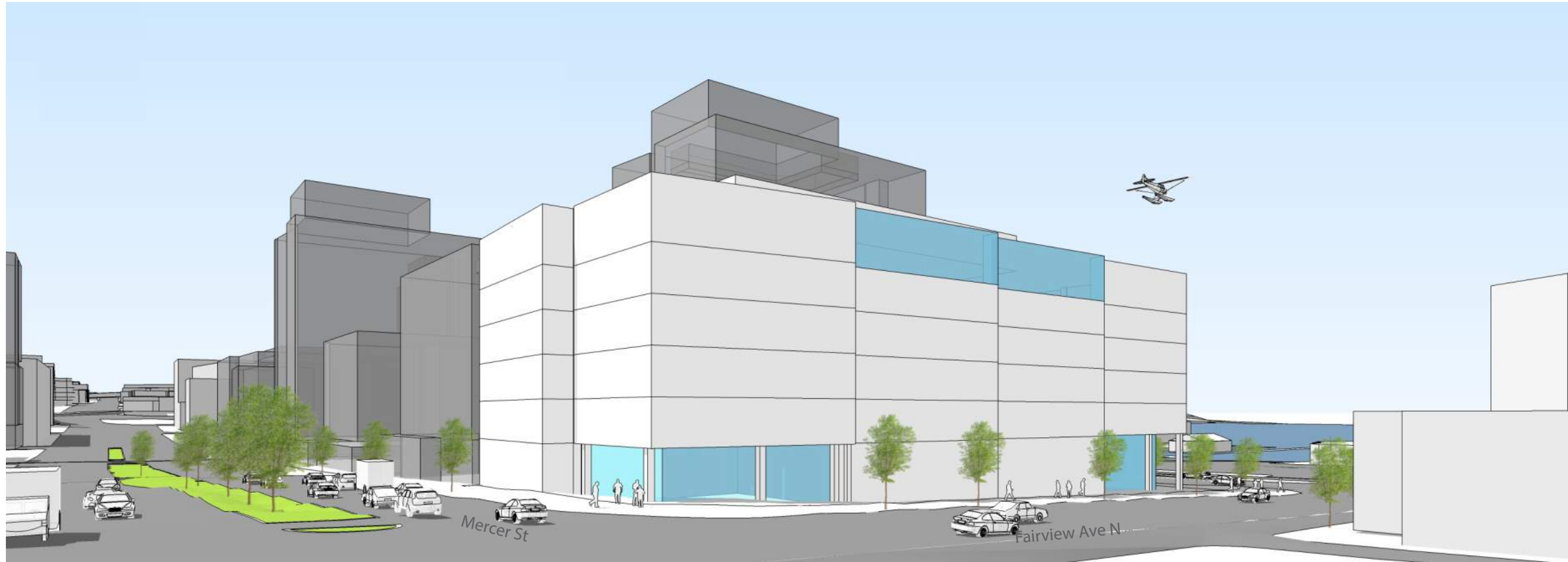


Pros:

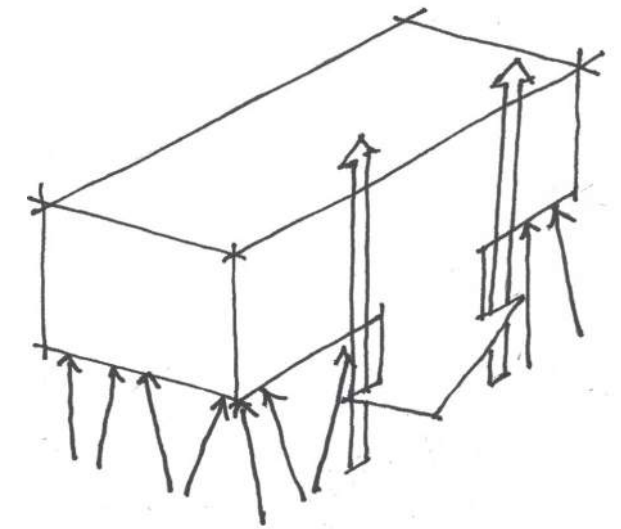
- The massing folds back at the north and south, allowing more access to view corridors.
- The south volume is less articulated, responding to Mercer St and the urban context, while the north volume is more articulated responding to the lake views and pedestrian focused environment.
- The *Wake* concept ties into nautical and natural themes.

Cons:

- The massing is one interconnected articulated volume.
- The massing encroaches on the required setbacks at Fairview and Valley.



View looking west on Mercer St



Pros:

- Multiple volumes create smaller masses within the overall building.
- Lobby entry is highlighted through lifting of corner volume.
- The *Pier* concept relates to nautical themes.
- Does not require a design departure.

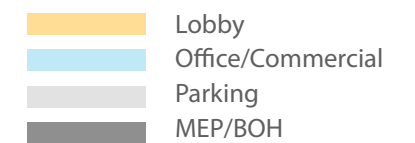
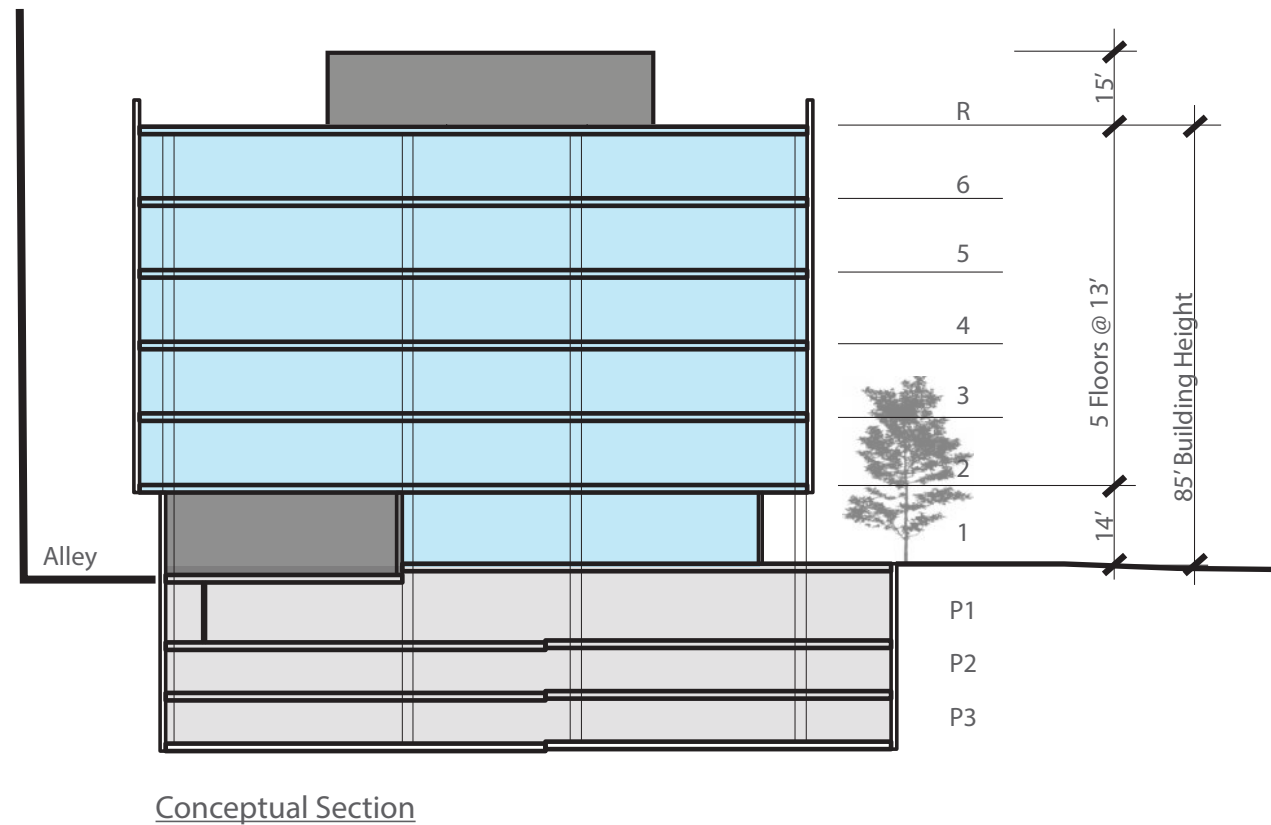
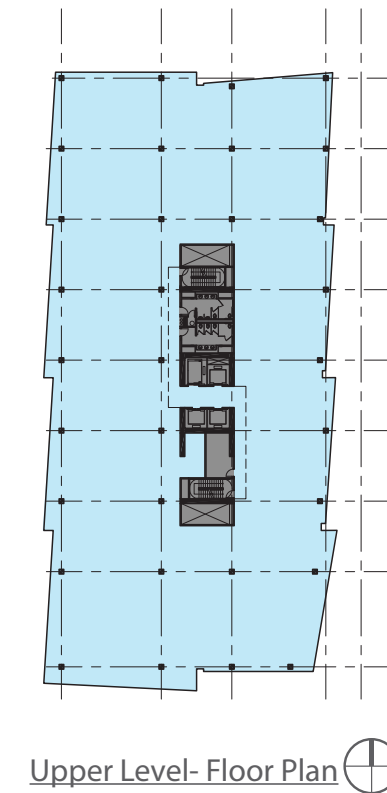
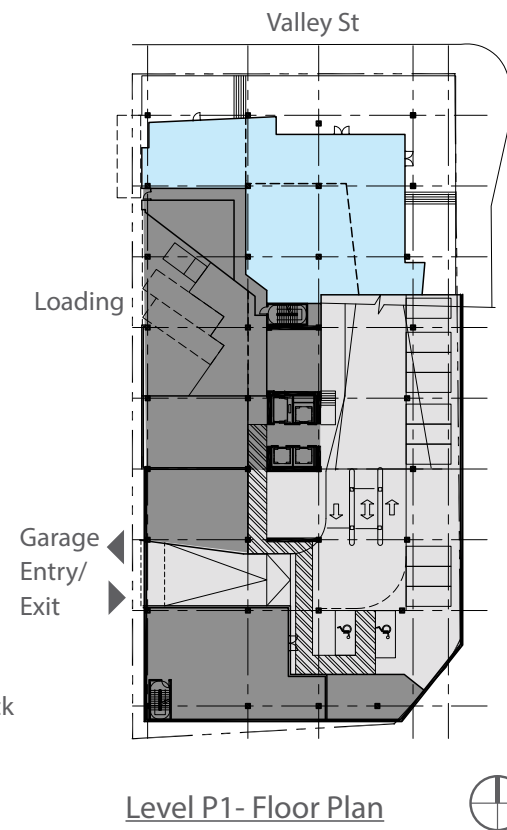
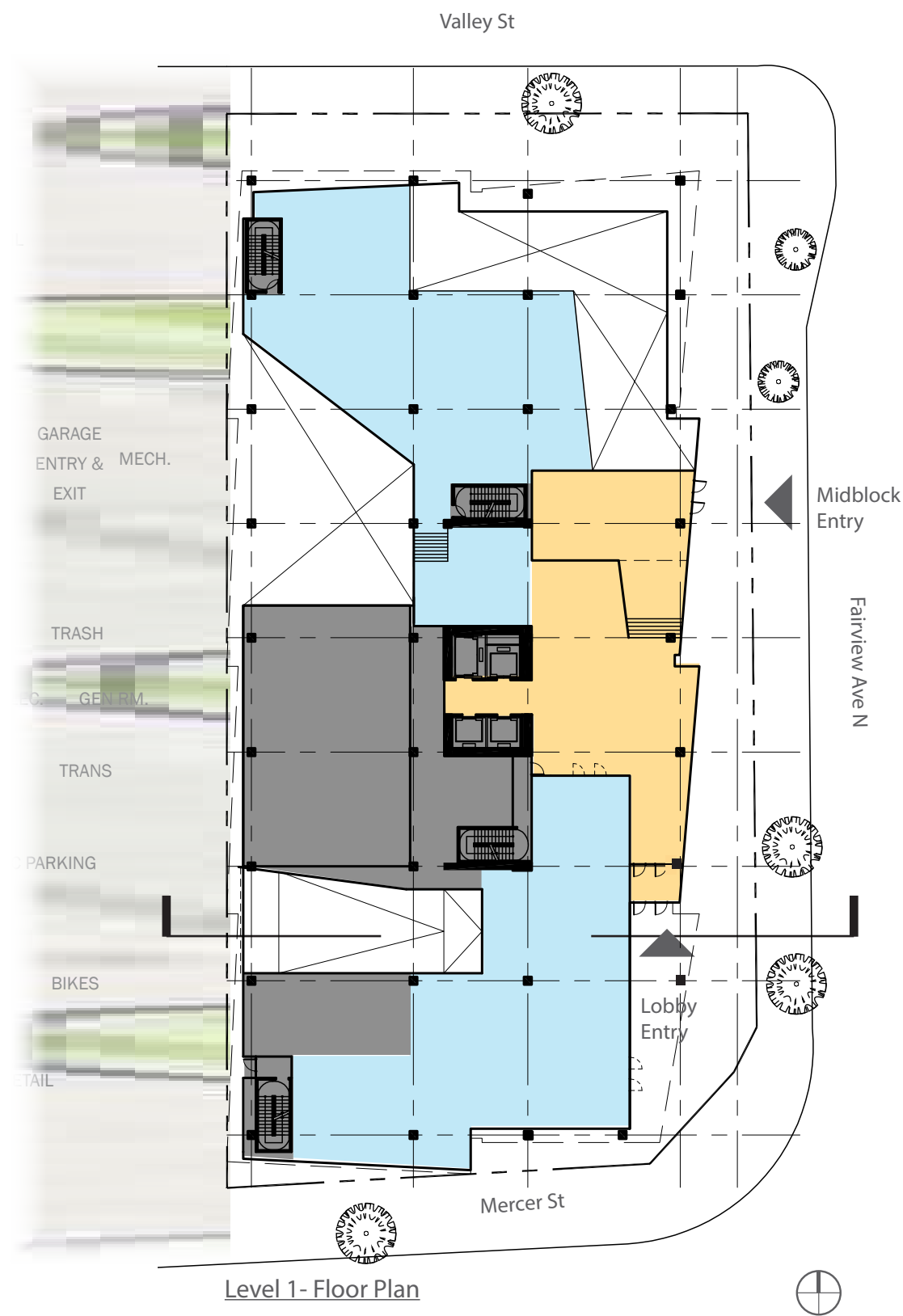
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- Absence of stepping at upper levels creates monolithic appearance.



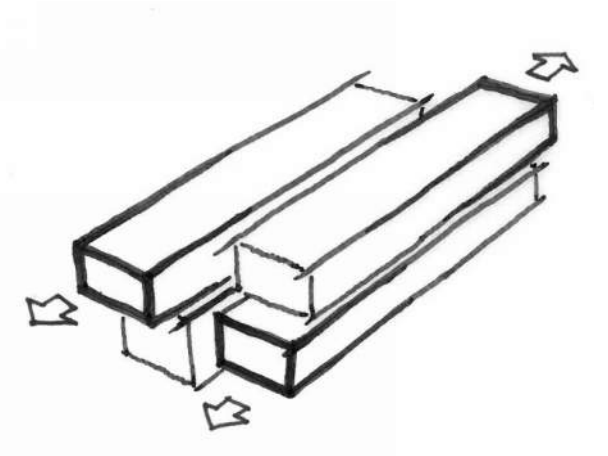
View looking south on Fairview Ave N







View looking west on Mercer St

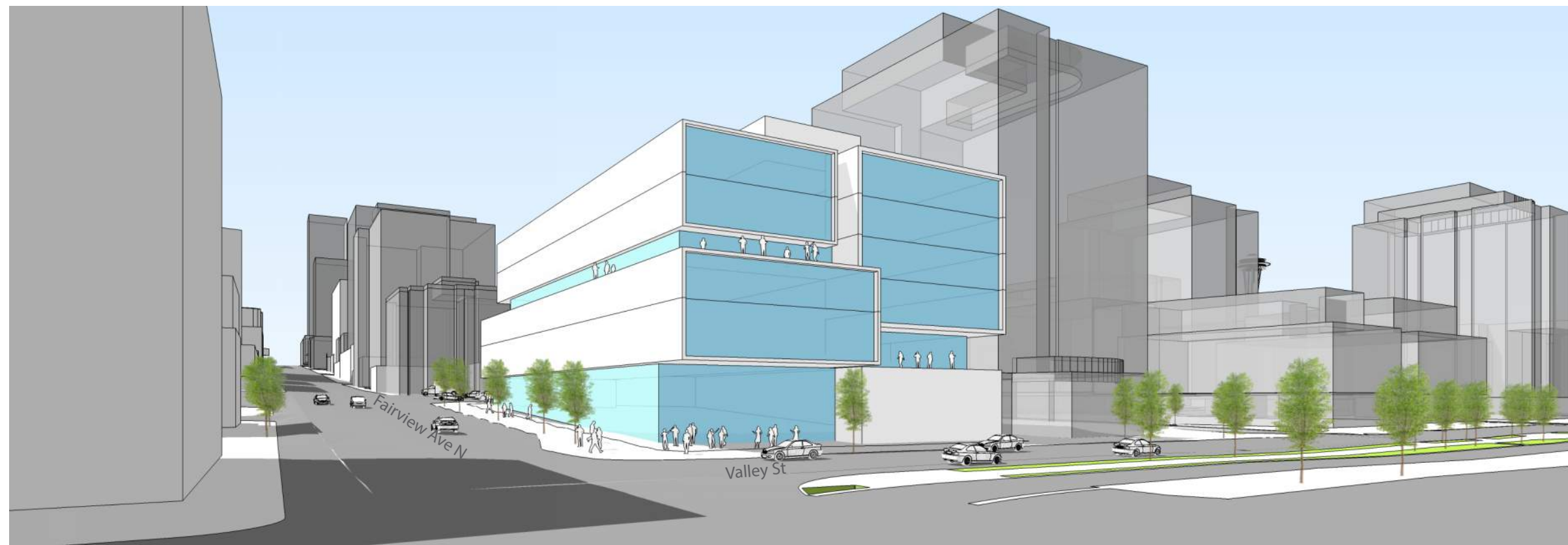


Pros:

- Massing is articulated in a simple but bold arrangement of volumes suitable to a gateway/ landmark site.
- Grade level is pulled back from the upper volumes to allow a definition of the pedestrian zone.
- The *Stack* concept relates to the lumber industry/ sawmill historically occupying the area.

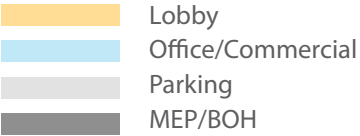
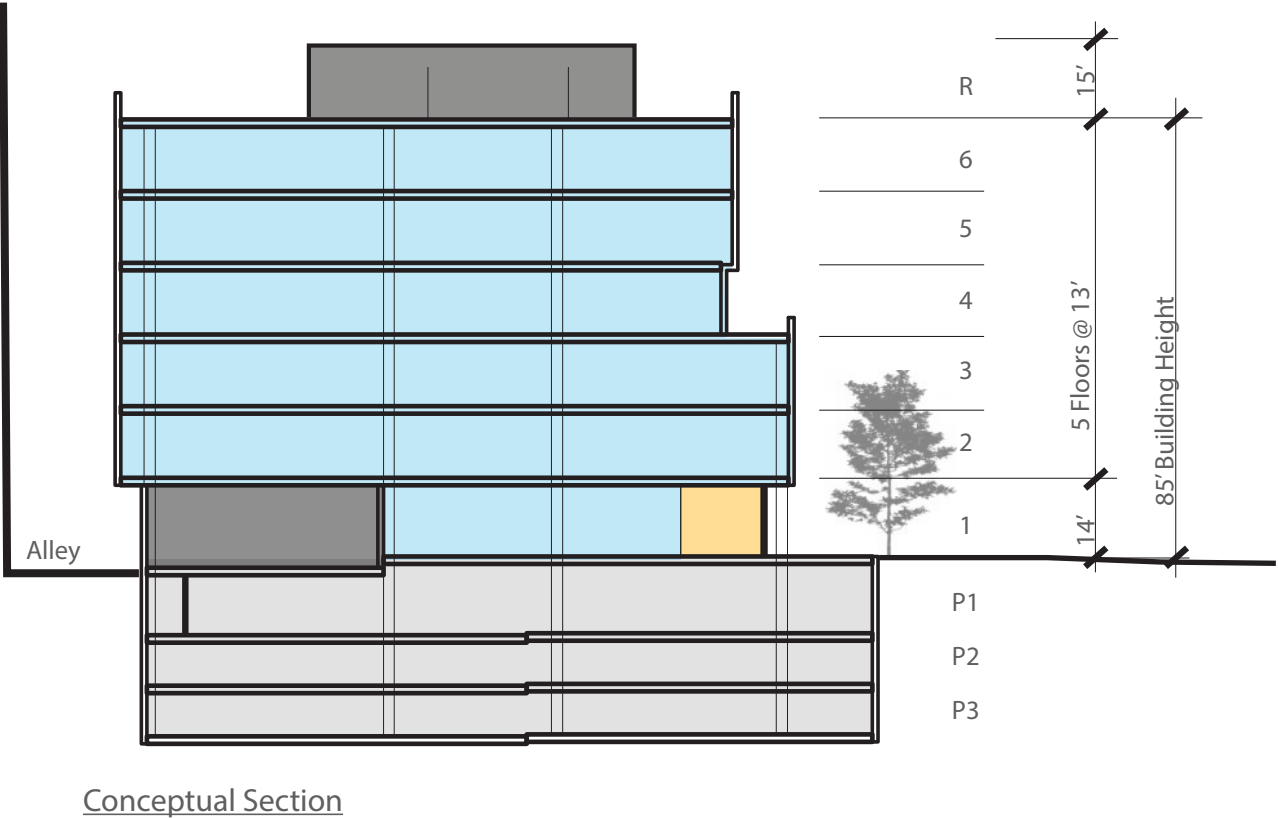
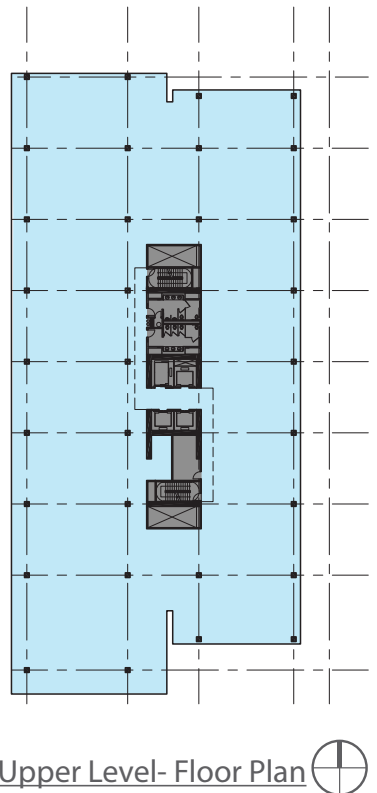
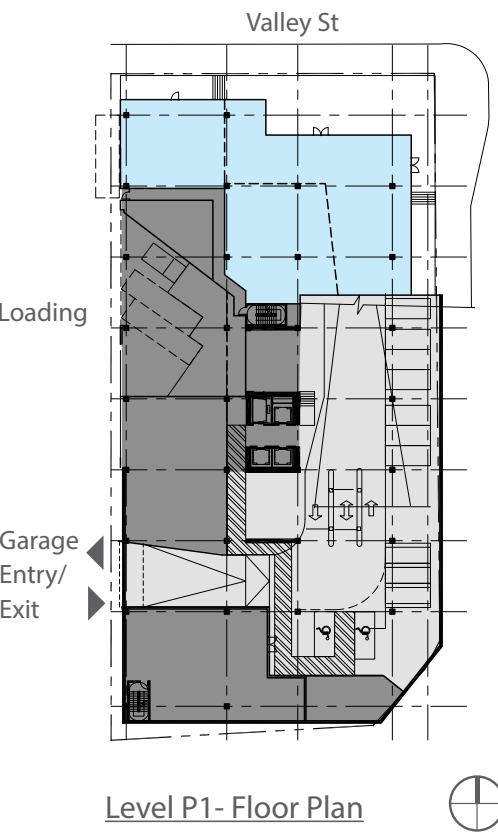
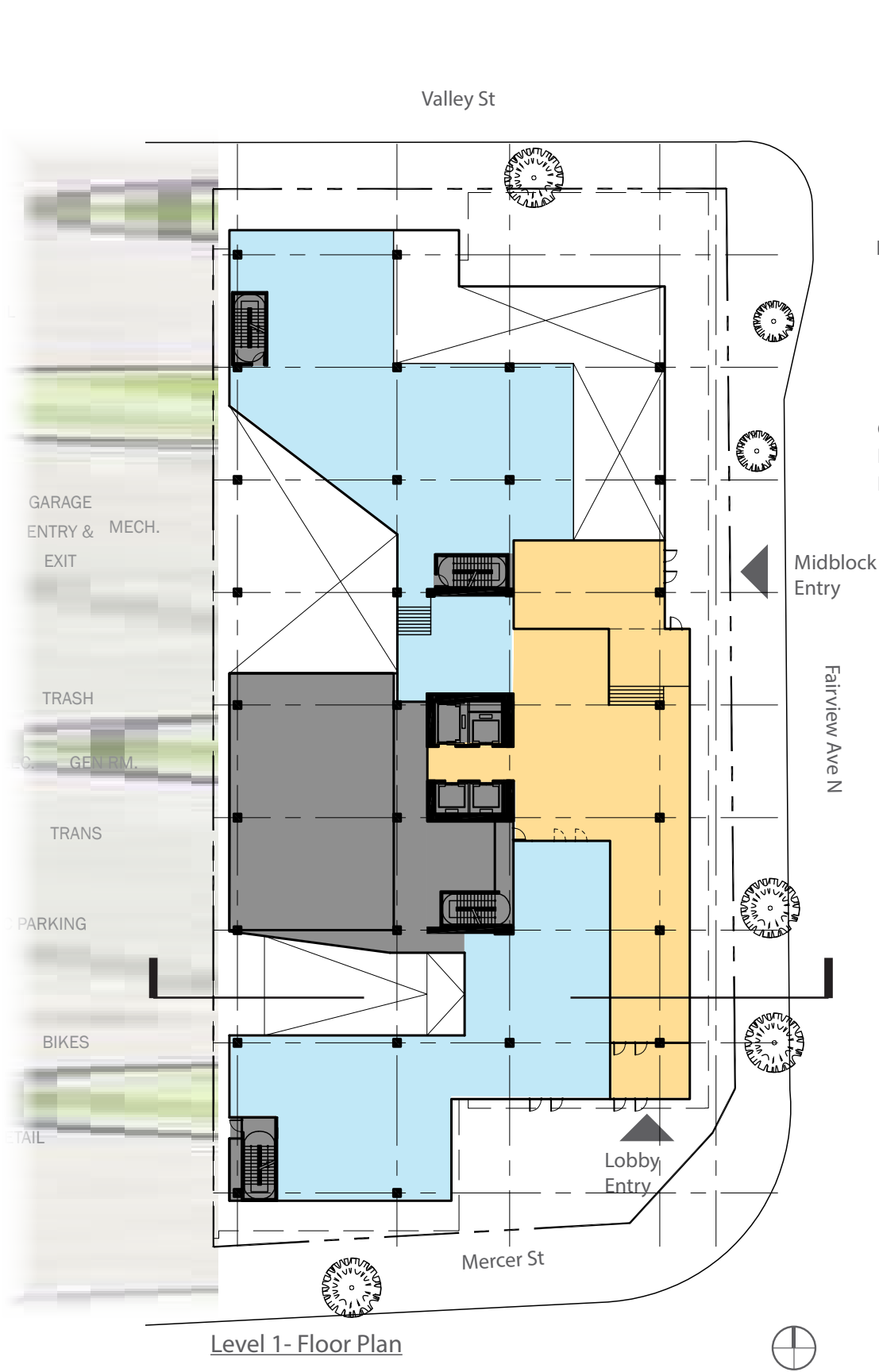
Cons:

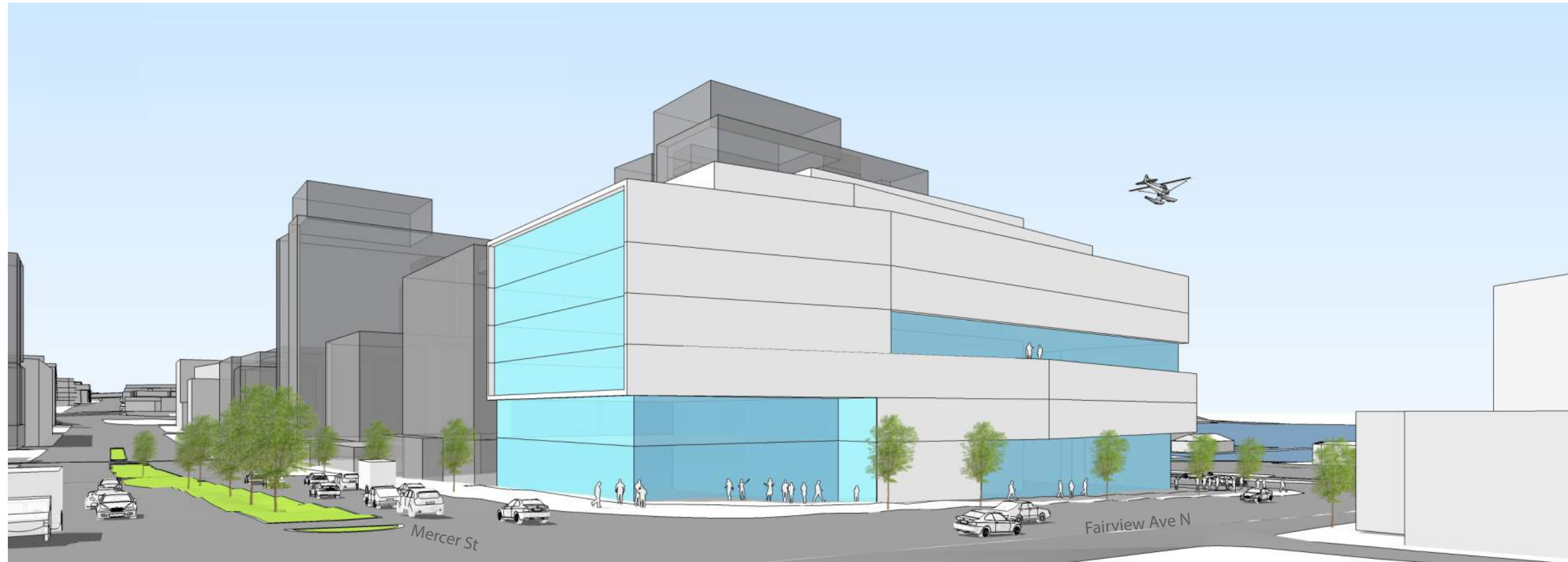
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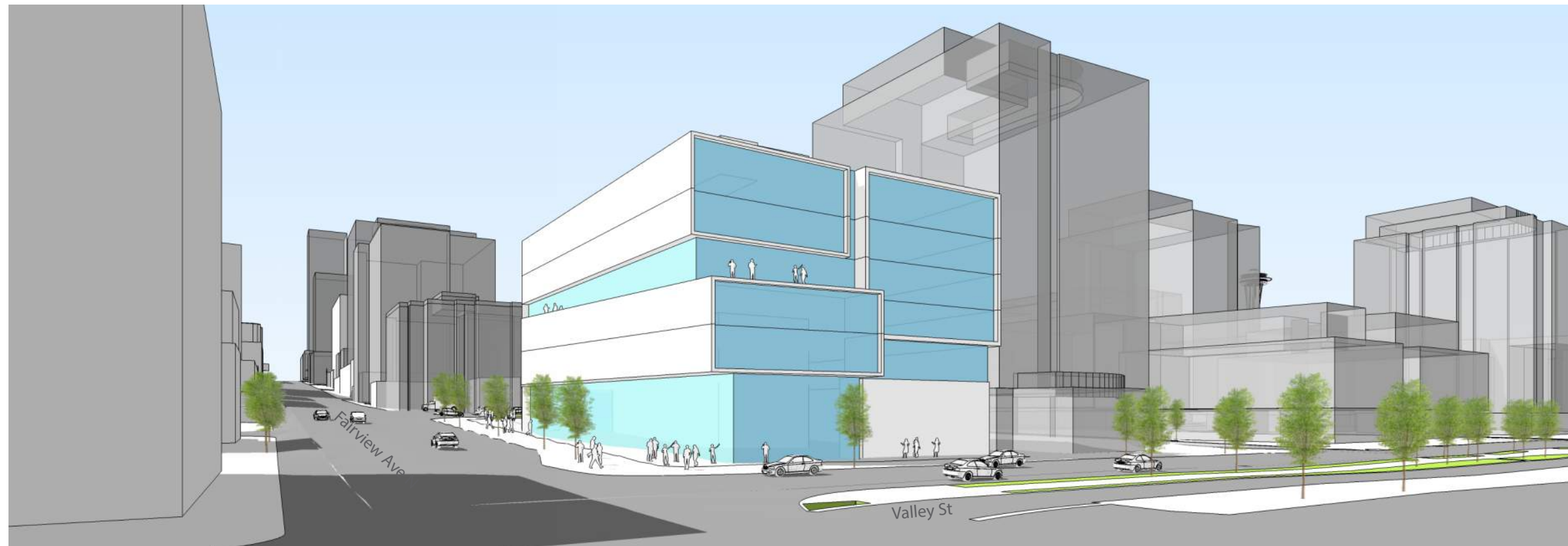
View looking south on Fairview Ave N



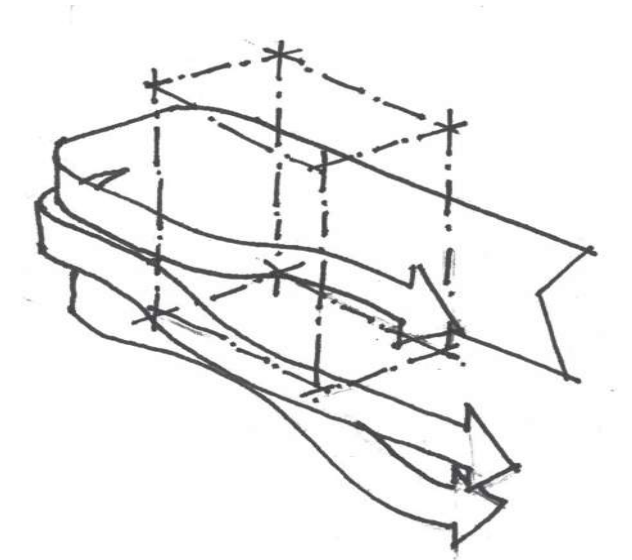




View looking west on Mercer St



View looking south on Fairview Ave N



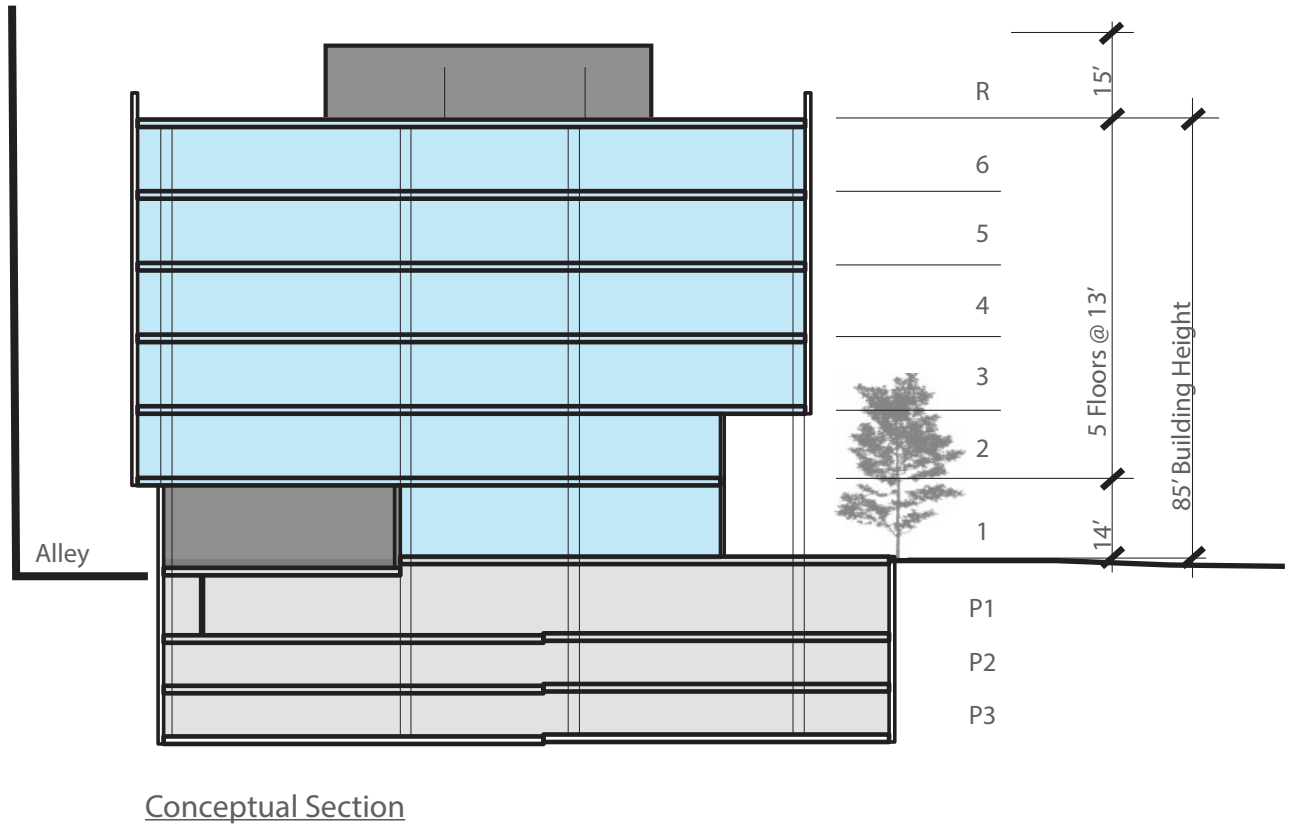
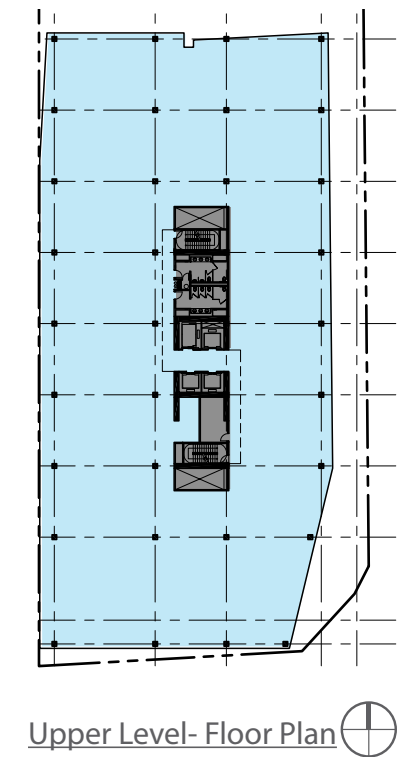
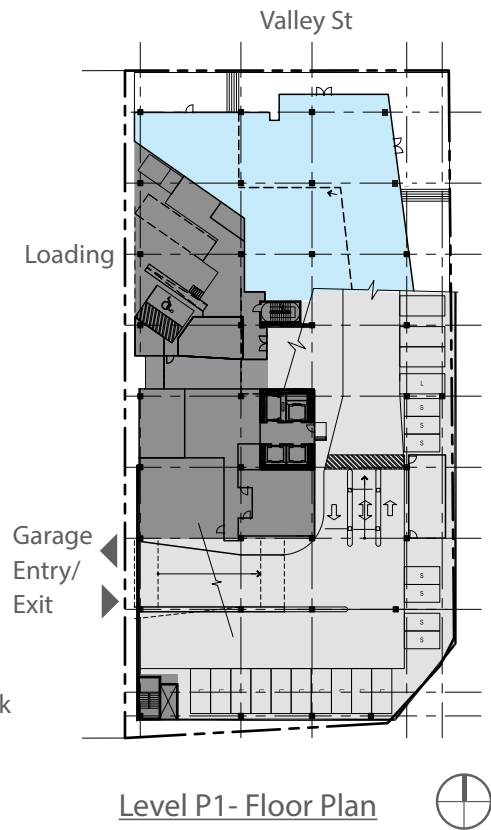
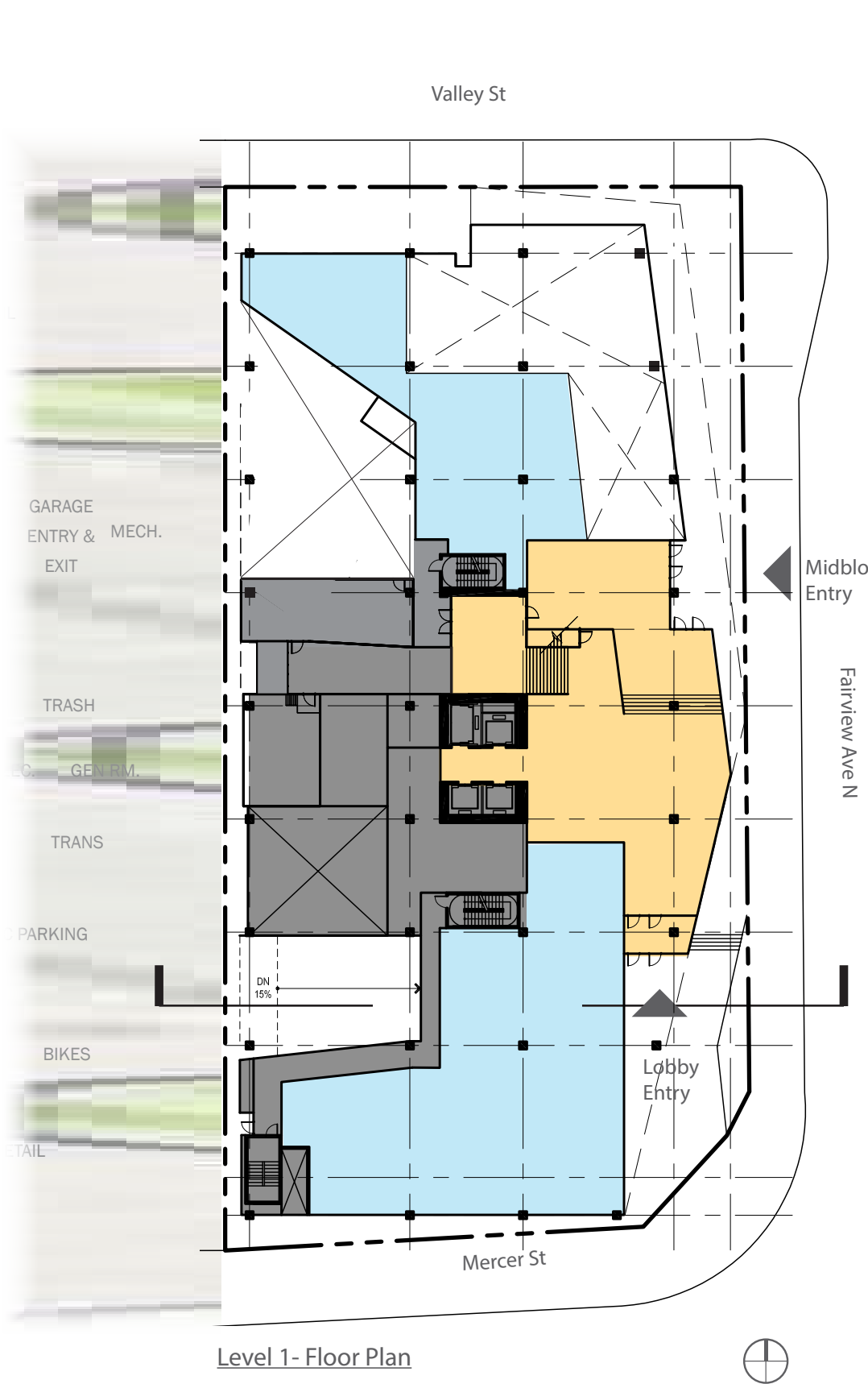
Pros:

- The massing folds back at the north and south, allowing more access to view corridors.
- The south volume is less articulated, responding to Mercer St and the urban context, while the north volume is more articulated responding to the lake views and pedestrian focused environment.
- The *Wake* concept ties into nautical and natural themes.

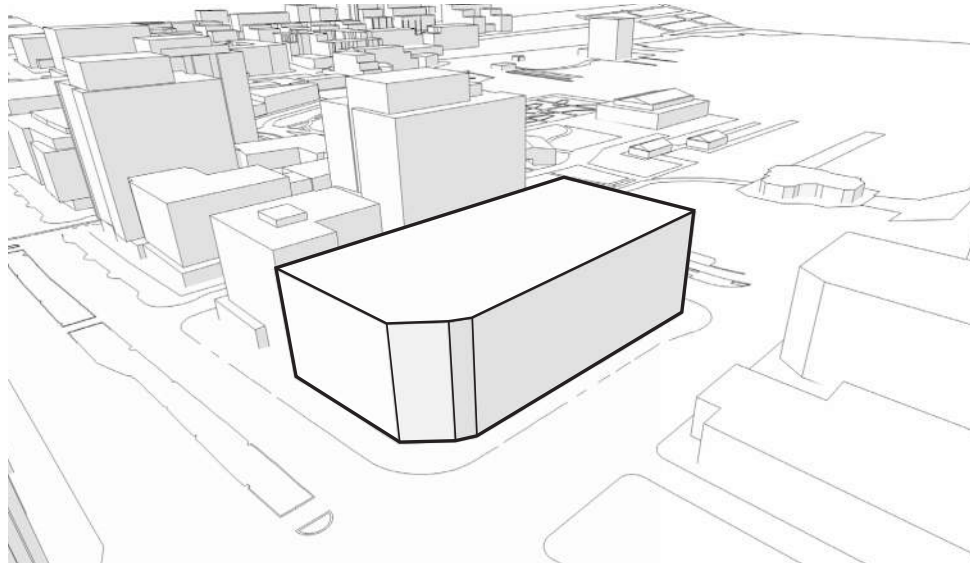
Cons:

- The massing is one interconnected articulated volume.
- The massing encroaches on the required setbacks at Fairview and Valley.

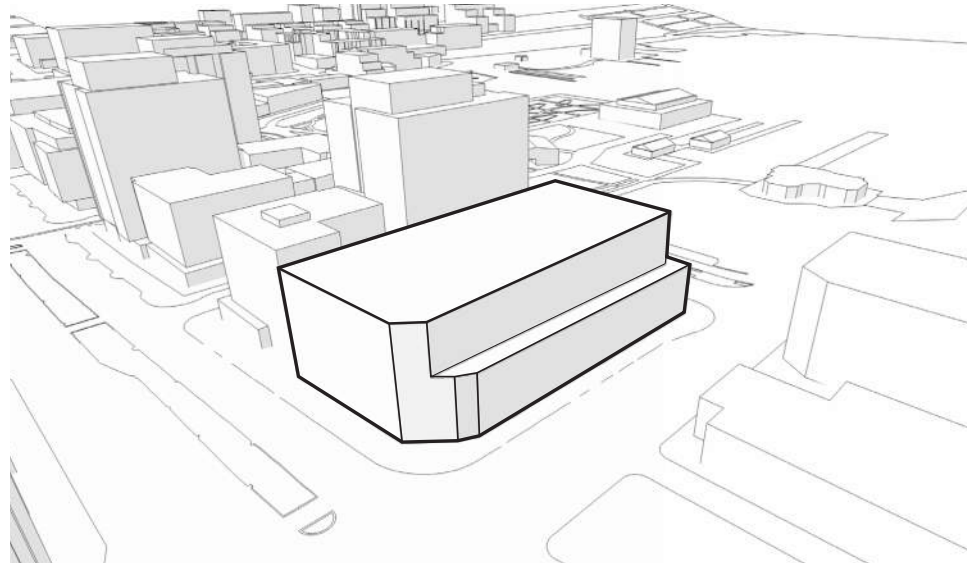




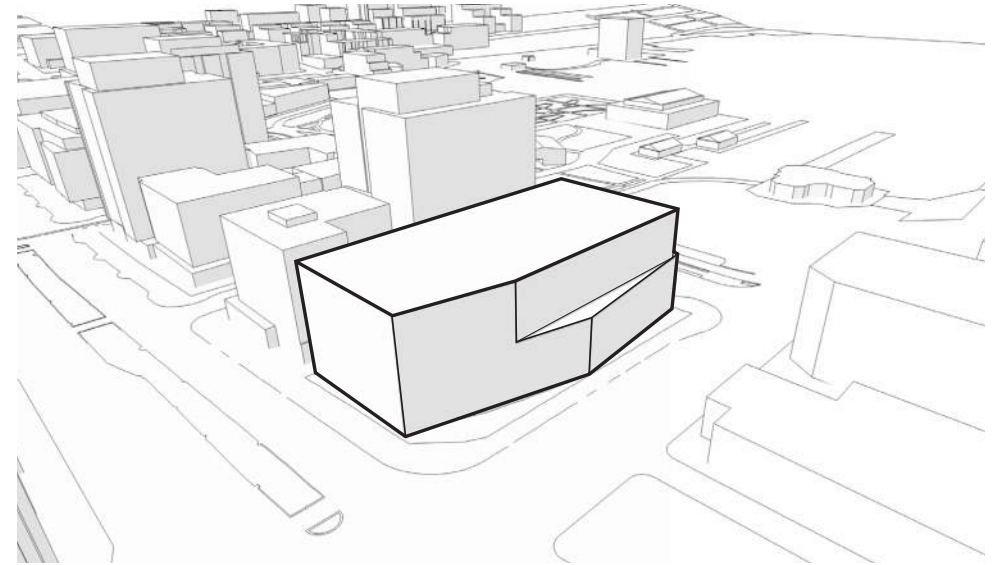
- Lobby
- Office/Commercial
- Parking
- MEP/BOH



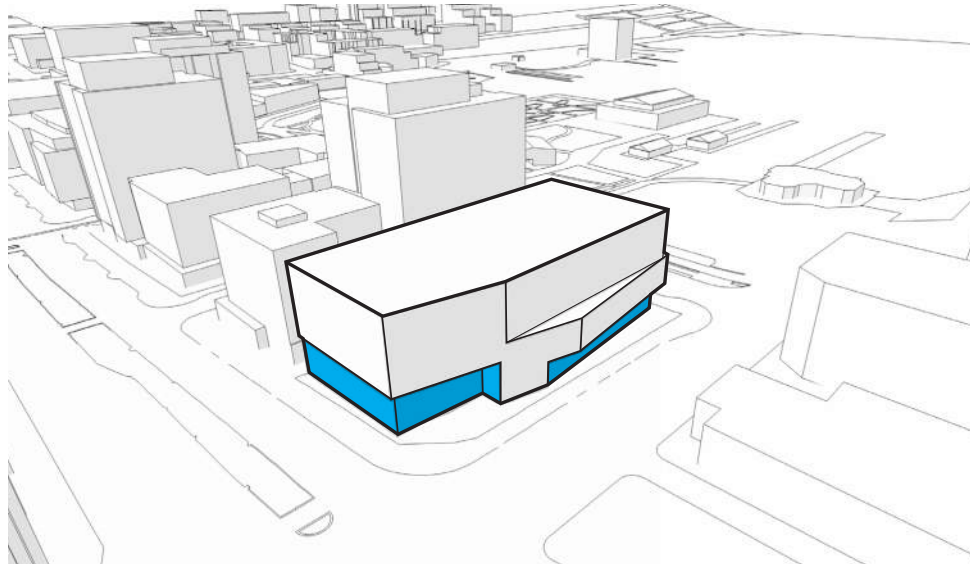
1. Height Limit



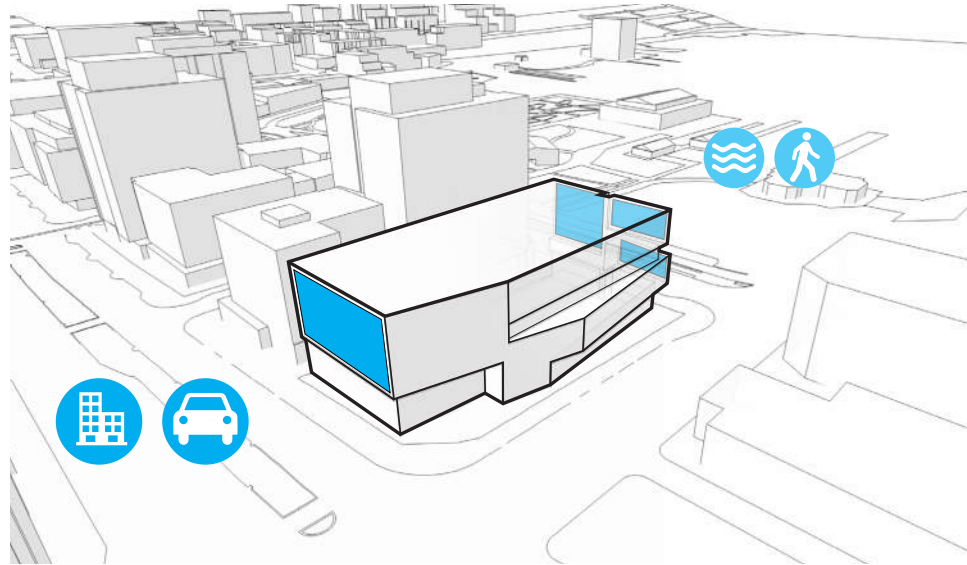
2. Required Setbacks



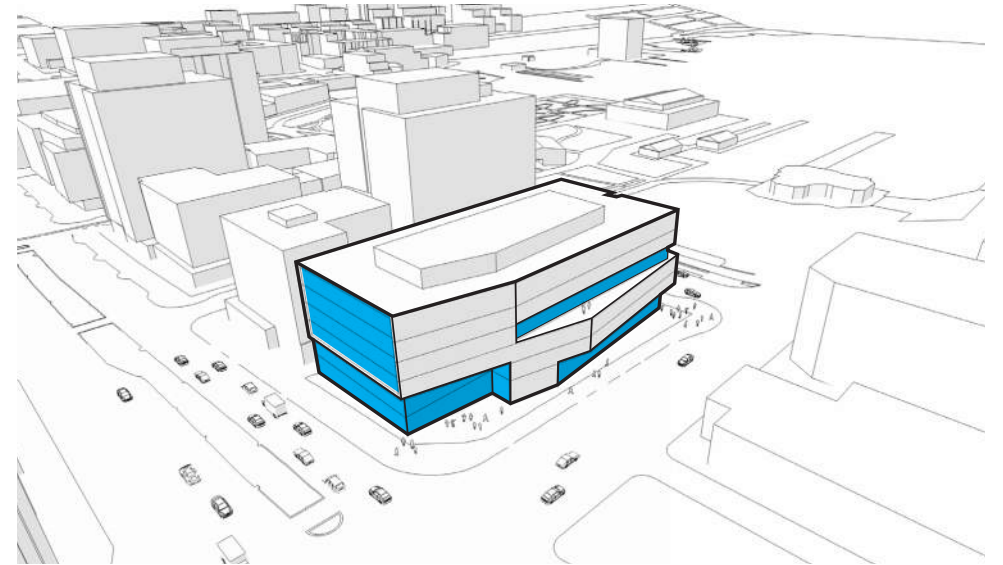
3. Response to View Corridors & Gateways



4. Pedestrian Zone & Entry

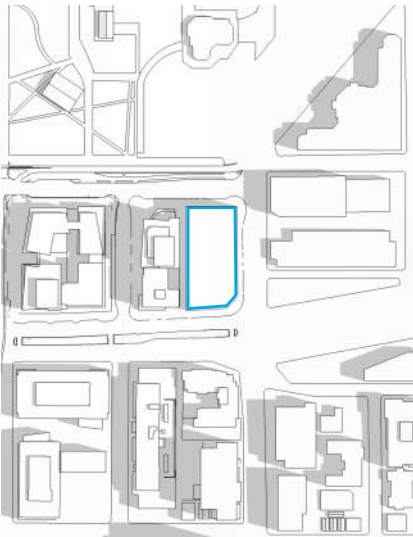


5. Scale Response

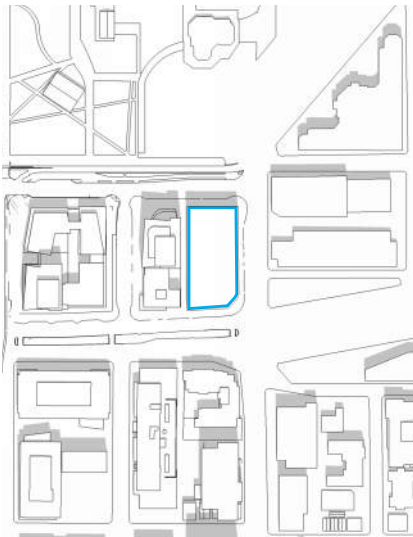


6. Proposed Massing

Summer- June 21st



9:00 am

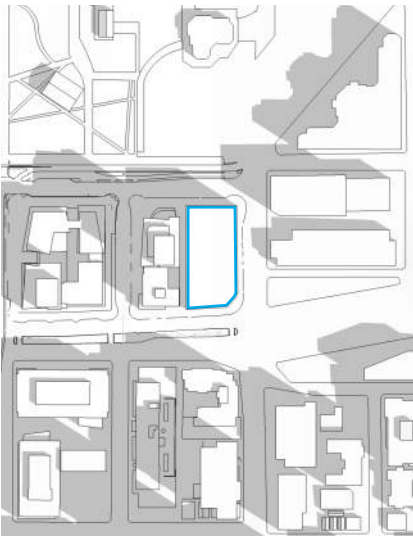


12:00 pm

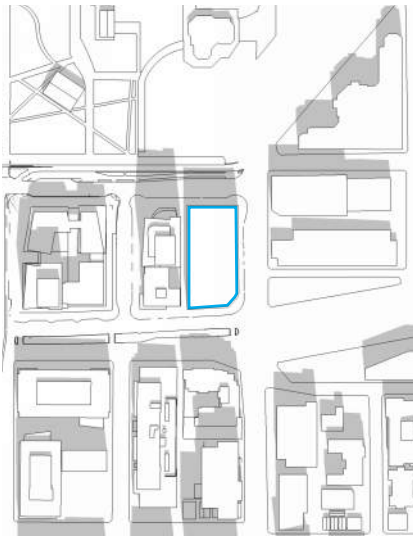


3:00 pm

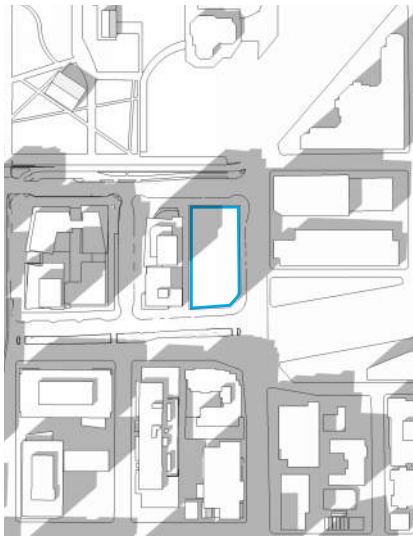
Spring & Fall- March & Sept. 20th



9:00 am

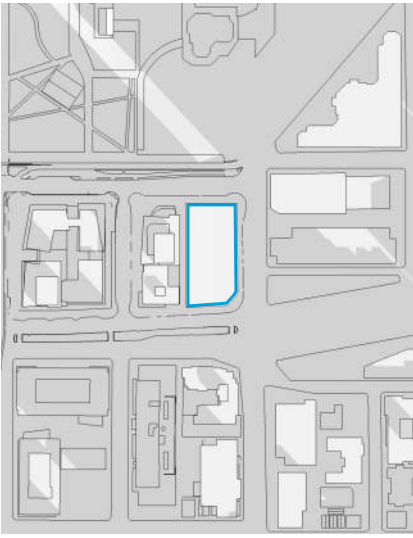


12:00 pm

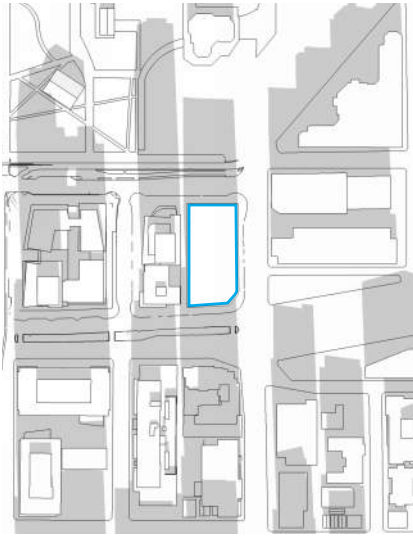


3:00 pm

Winter- December 21st



9:00 am



12:00 pm



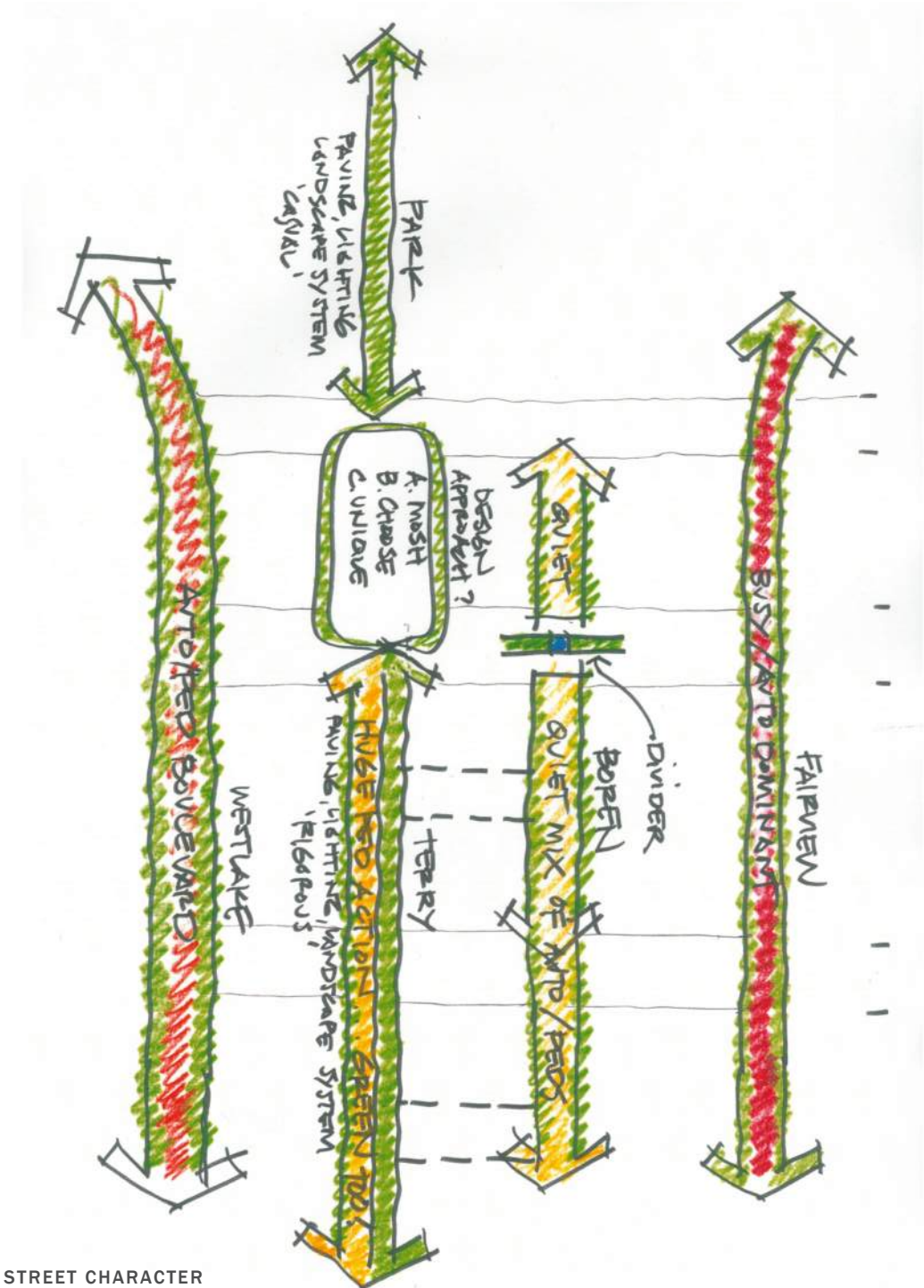
3:00 pm



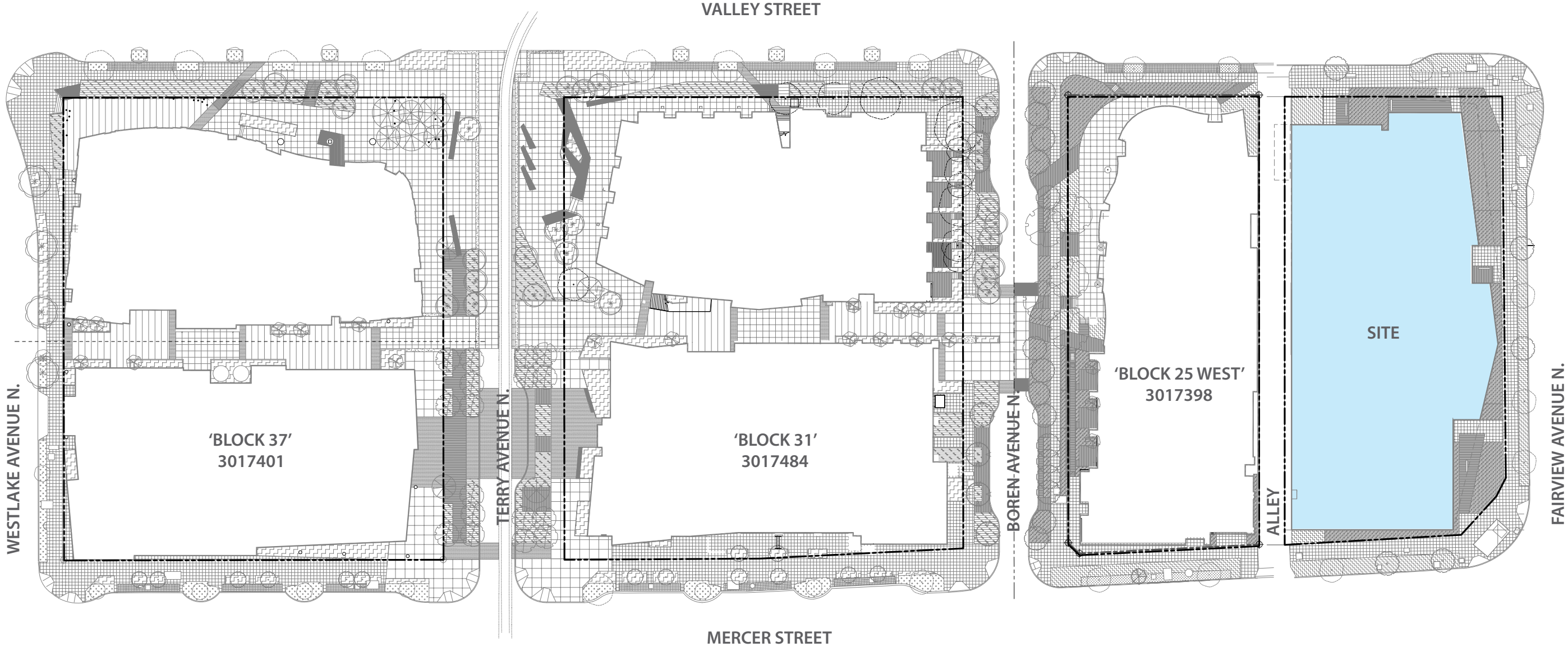
STREET CONTEXT



SURROUNDING BLOCKS

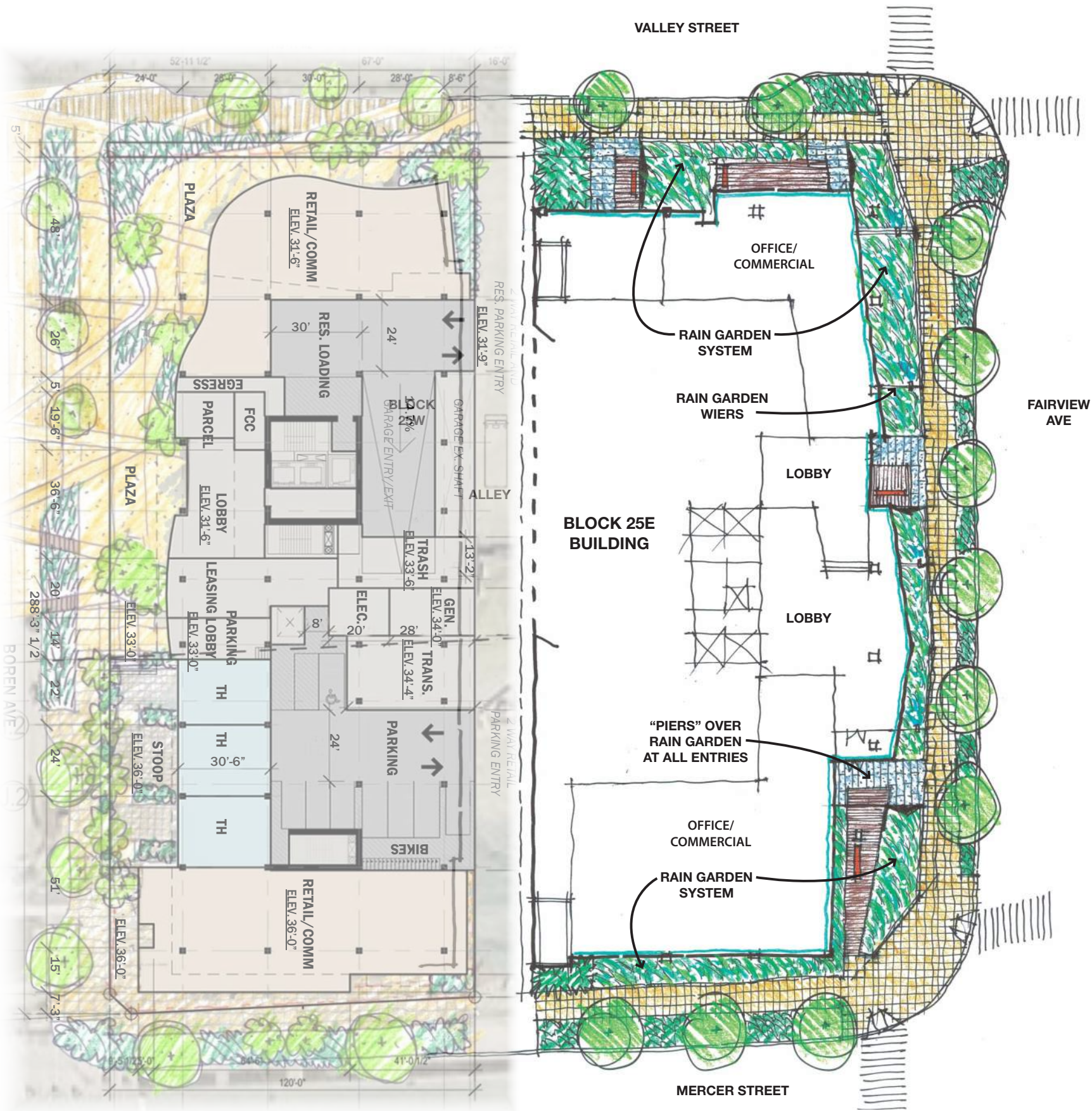


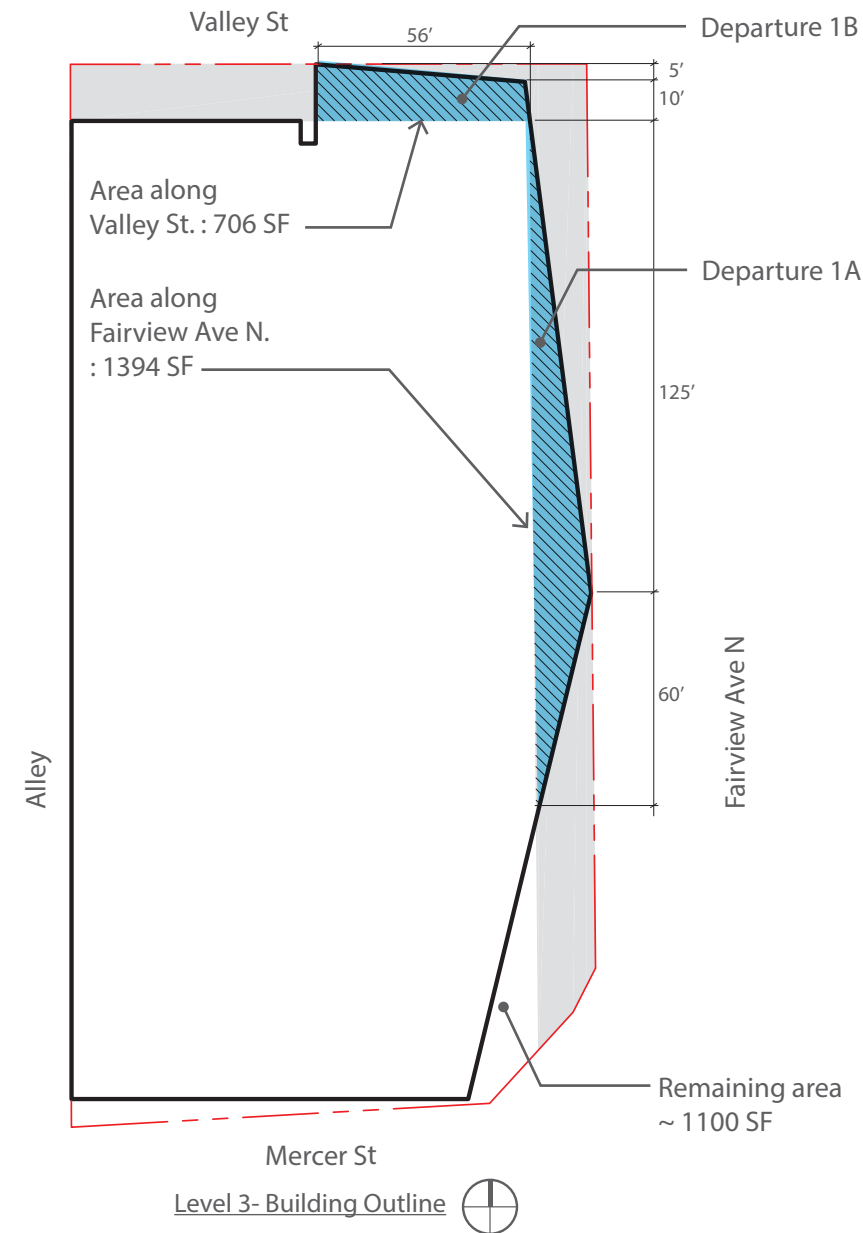
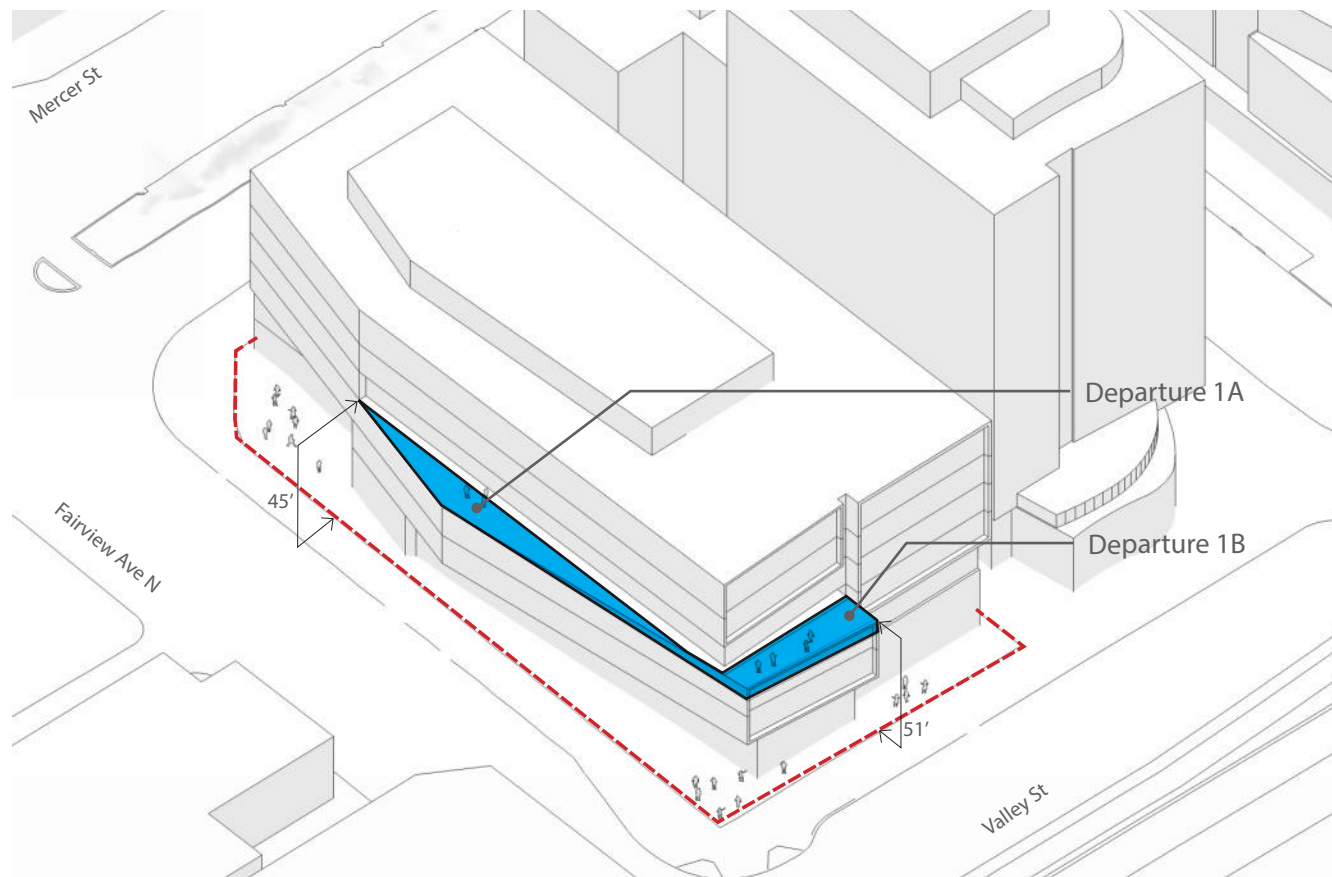
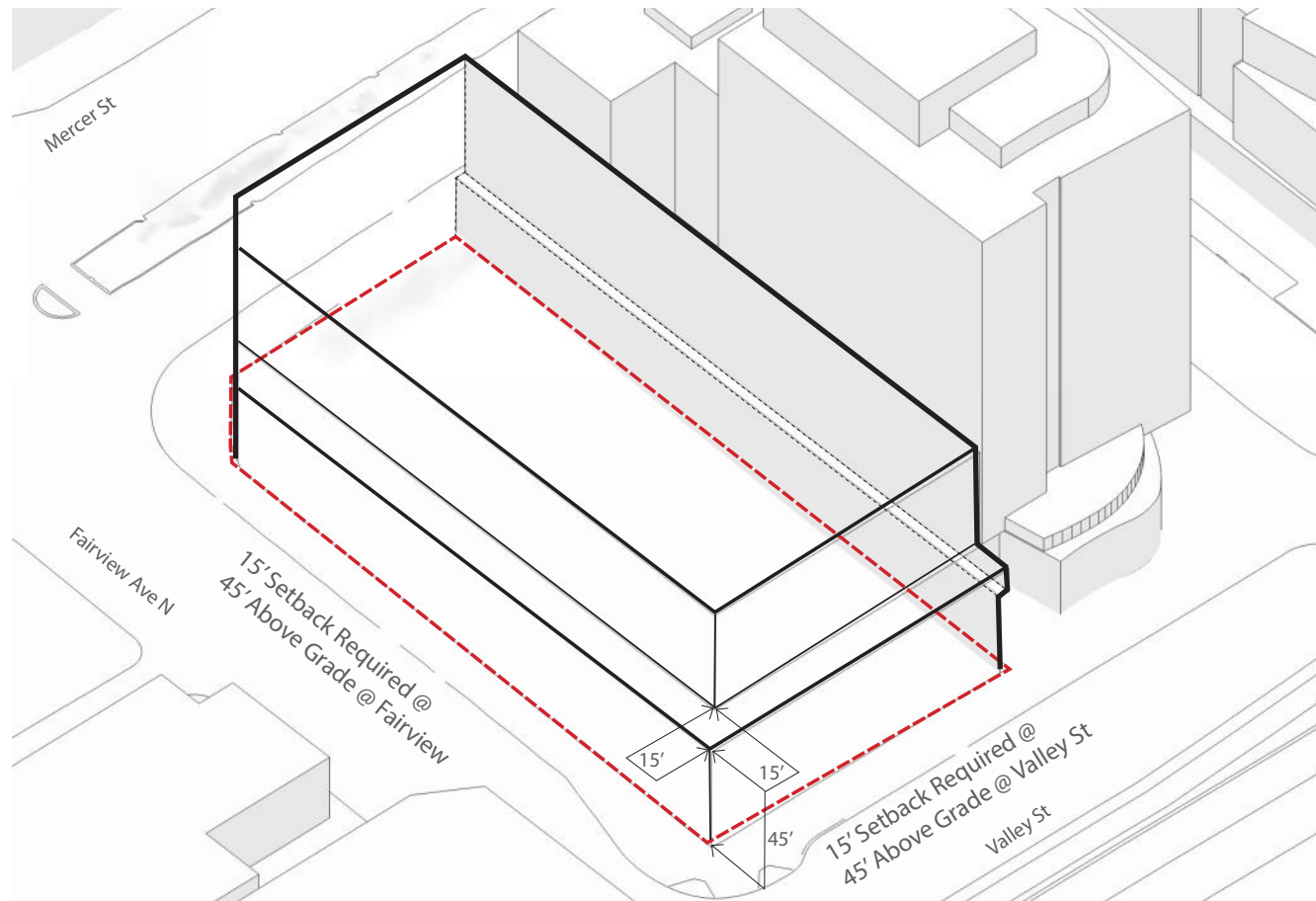
STREET CHARACTER



Landscape & Conceptual Site Plan

The landscape design draws on the architecture's nautical theme, "floating" the building in a base of green. Rain garden systems surrounding the building provide a buffer between the pedestrian sidewalk zones and are bridged by dock-like elements at building entries. This layering provides a gracious transition between the more vehicular-oriented ROW zones and ground-level uses.





Departure 1 (SMC 23.48.012.B.1):

Upper Level Setbacks in the SM 85/65-160 Zone

Required:

1. Portions of a structure above 45 feet in height shall set back a minimum of 15 feet from street lot lines abutting Valley Street, Westlake Avenue North, Terry Avenue North, Boren Avenue North, and Fairview Avenue North

Departure 1A:

Request:

Allow for an encroachment into the required setback area above 45' as measured vertically from the curb line parallel to Fairview Avenue N.

Proposed:

Level 3 encroaches from 0 to 6 feet into the 45 foot setback along Fairview Ave N. for 185'. The approximate area requested for departure is 1394 SF in plan.

Departure 1B:

Request:

Allow for an encroachment into the required setback area above 45' as measured vertically from the curb line parallel to Valley St.

Proposed:

Level 3 encroaches from 0 to 6 feet into the 45 foot setback along Valley St. for 56'. The approximate area requested for departure is 706 SF in plan.

Rational:

The building massing and facade is improved by maintaining two levels of office that together have a volume higher than 45' at the Fairview and Valley intersection. The scale of this massing is consistent with the proportions of the lower level facade at that intersection, creating a balanced massing that "steps" at approximately mid-building height and emphasizing a pair of "framed" overlook masses that gesture towards the lake. This massing also emphasizes the South Lake Union neighborhood plan of gateways by bringing architectural interest to Valley and Fairview while maintaining a broader open space on Mercer and Fairview.

- Required setback
- Proposed setback encroachment area at Level 3 (~2100 SF)
- Level 3 building outline
- Property line

Departure 2 (SMC 23.48.014.F.1):

Street Level Development Standards

- Required:
- F. Required open area in the SM 85/65-160 zone
1. A minimum of 60 percent of the required open area shall be provided as usable open space that meets the following conditions:
- a.) The usable open space is open from the ground to the sky and is visible and accessible to pedestrians from an abutting street, including persons with disabilities;
 - b.) The open space is substantially at street-level, although portions are permitted to be within 4 feet of street level, provided that grade changes are gradual and do not significantly disrupt the continuity of the space, and no part of the open space is significantly above or below the grade of the nearest abutting street;
 - c.) The open space has a minimum horizontal dimension of 15 feet; and
 - d.) The open space enhances visual and physical pedestrian connections between South Lake Union Park and development on the lot, and is accessible to the public, free of charge, during the hours of operation of South Lake union Park.

Request:

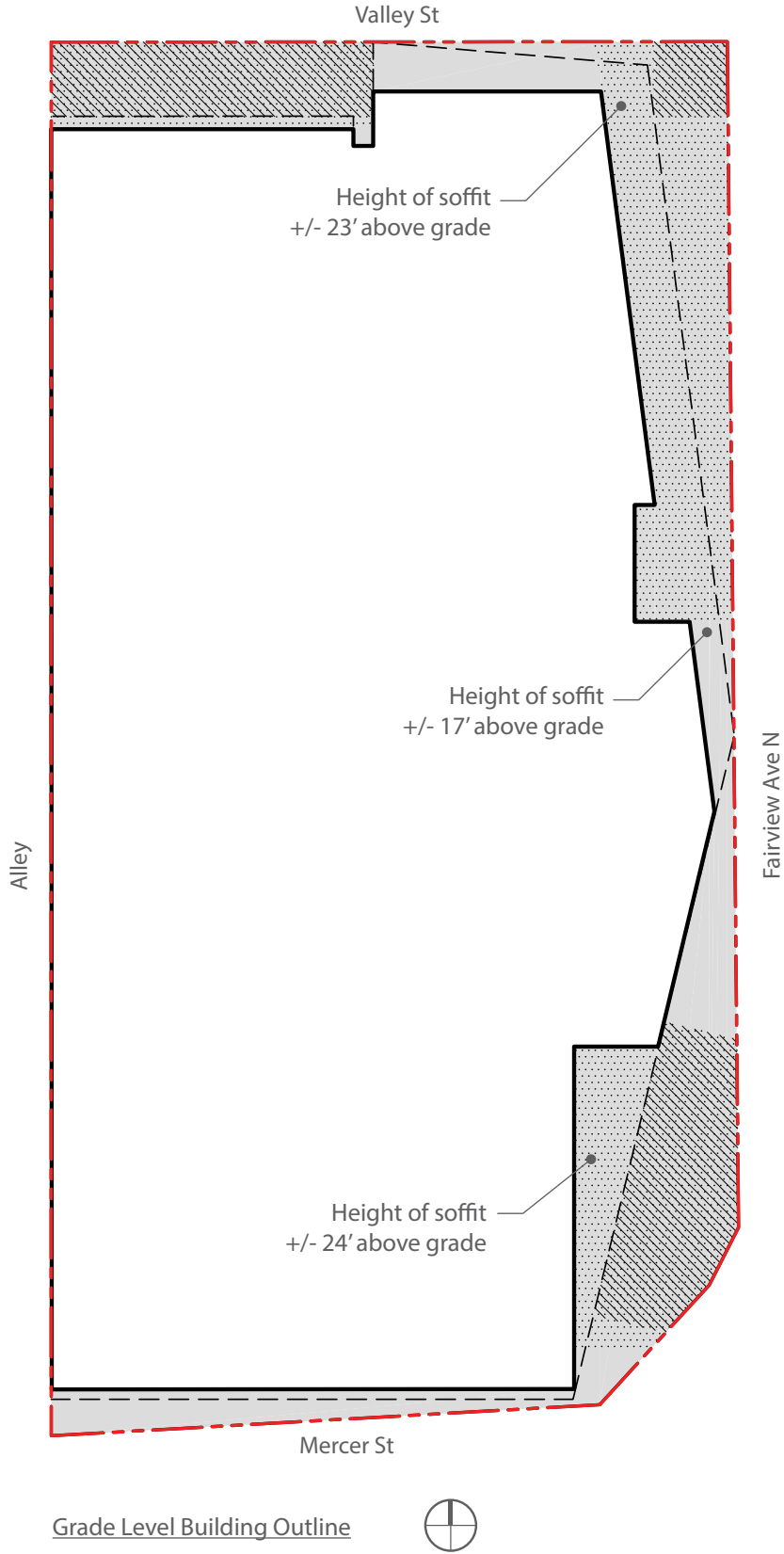
To allow for a minimum of 32% of the required open area to have a minimal horizontal distance of 15'.

Proposed:

To provide 2,432 SF of the required 4,554 SF that meets items a,b,c, and d.
(Leaving a deficit of 2,122 SF of open space that does not have a minimum horizontal dimension of 15').

Rational:

Enhancing the pedestrian connection from Mercer to Valley street is achieved more successfully by flaring the ground floor at the North and South ends of the block. This results in tapered open spaces, the dimensions of which vary, at times to a dimension less than 15'. Adjusting he massing to meet a consistent 15'-0" minimum dimension along Fairview would create a visual break in the massing and place more emphasis on the mid block facade, reducing the effect of the Gateway locations at Valley and Mercer.



SITE AREA: 37,947 SF			
		Required	Provided
20% of Site Area		7,590 SF	7,624 SF
Proposed open space meeting standards A, B, & D		4,554 SF	4,616 SF
Proposed open space meeting standards A, B, C, & D		4,554 SF	2,432 SF (2,122 SF deficit)

— — — Building line above

— — — Property line

Departure Request 1A:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
23.48.012.B.1 Upper Level Setback Requirements B. Upper Level setbacks in the SM 85/65-160 Zone 1. Portions of a structure above 45 feet in height shall set back a minimum of 15 feet from street lot lines abutting Valley Street, Westlake Avenue North, Terry Avenue North, Boren Avenue North, and Fairview Avenue North	Allow for an encroachment into the required setback area above 45' as measured vertically from the curb line parallel to Fairview Avenue N.	Level 3 encroaches from 0 to 6 feet into the 45 foot setback along Fairview Ave N. for 185'. The approximate area requested for departure is 1394 SF in plan.	The building massing and facade is improved by maintaining two levels of office that together have a volume higher than 45' at the Fairview and Valley intersection. The scale of this massing is consistent with the proportions of the lower level facade at that intersection, creating a balanced massing that "steps" at approximately mid-building height and emphasizing a pair of "framed" overlook masses that gesture towards the lake. This massing also emphasizes the South Lake Union neighborhood plan of gateways by bringing architectural interest to Valley and Fairview while maintaining a broader open space on Mercer and Fairview.	CS2 A.1. Sense Of Place, creates gate way to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. CS2 C.1. Corner Sites, Reponding directly to Gateways DC2 A Massing, Response to site and Reduce Percieved Mass. DC2 B.1. Facade Composition.

Departure Request 1B:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
23.48.012.B.1 Upper Level Setback Requirements B. Upper Level setbacks in the SM 85/65-160 Zone 1. Portions of a structure above 45 feet in height shall set back a minimum of 15 feet from street lot lines abutting Valley Street, Westlake Avenue North, Terry Avenue North, Boren Avenue North, and Fairview Avenue North	Allow for an encroachment into the required setback area above 45' as measured vertically from the curb line parallel to Valley St.	Level 3 encroaches from 0 to 6 feet into the 45 foot setback along Valley St. for 56'. The approximate area requested for departure is 706 SF in plan.	See 1A above.	CS2 A.1. Sense Of Place, creates gate way to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. CS2 C.1. Corner Sites, Reponding directly to Gateways DC2 A Massing, Response to site and Reduce Percieved Mass. DC2 B.1. Facade Composition.

Departure Request 2:

Standard	Request	Proposed	Rationale	Applicable Design Guidelines
23.48.014.F.1 Street Level Development Standards F. Required open area in the SM 85/65-160 zone 1. A minimum of 60 percent of the required open area shall be provided as usable open space that meets the following conditions: a.) The usable open space is open from the ground to the sky and is visible and accessible to pedestrians from an abutting street, including persons with disabilities; b.) The open space is substantially at street-level, although portions are permitted to be within 4 feet of street level, provided that grade changes are gradual and do not significantly disrupt the continuity of the space, and no part of the open space is significantly above or below the grade of the nearest abutting street; c.) The open space has a minimum horizontal dimension of 15 feet; and d.) The open space enhances visual and physical pedestrian connections between South Lake Union Park and development on the lot, and is accessible to the public, free of charge, during the hours of operation of South Lake union Park.	To allow for a minimum of 32% of the required open area to have a minimal horizontal distance of 15'.	To provide 7,624 sf of the required 7,590 sf open space. To provide 4,616 sf of the required 4,554 sf that meets items a,b and d. To provide 2,432 sf of the required 4,554 sf that meets items a,b,c, and d. Leaving a deficit of 2,122 sf.	Enhancing the pedestrian connection from Mercer to Valley street is achieved more successfully by flaring the ground floor at the North and South ends of the block. This results in tapered open spaces, the dimensions of which vary, at times to a dimension less than 15'. Adjusting he massing to meet a consistent 15'-0" minimum dimension along Fairview would create a visual break in the massing and place more emphasis on the mid block facade, reducing the effect of the Gateway locations at Valley and Mercer.	DC3 C.1 Reinforce Existing Open Space CS2 A.1. Sense Of Place, creates gate way to community. CS2 A.2. Architectural Presence, the first three floors contribute to the street edge. CS2 C.1. Corner Sites, Reponding directly to Gateways DC2 A Massing, Response to site and Reduce Percieved Mass. DC2 B.1. Facade Composition.