



PUBLIC STORAGE

9701 AURORA AVE N., SEATTLE, WA

DPD PROJECT #: 3020310

DESIGN REVIEW BOARD MEETING: DESIGN REVIEW RECOMMENDATION #2

SEATTLE DESIGN REVIEW BOARD: NORTHWEST

MEETING DATE: OCTOBER 2, 2017

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EXECUTIVE SUMMARY - PROJECT OVERVIEW

DPD #3020310 - 9701 Aurora Ave N.

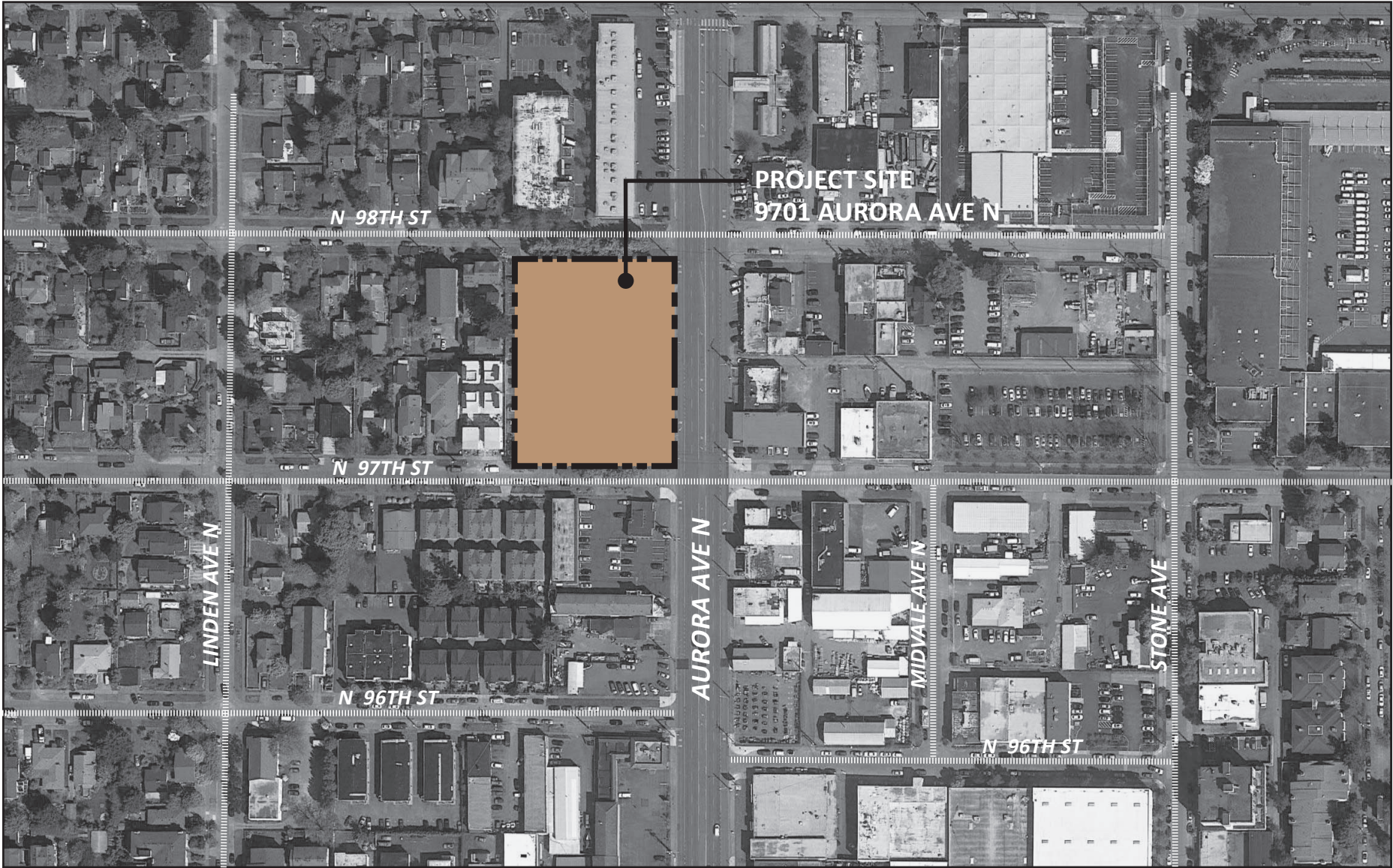
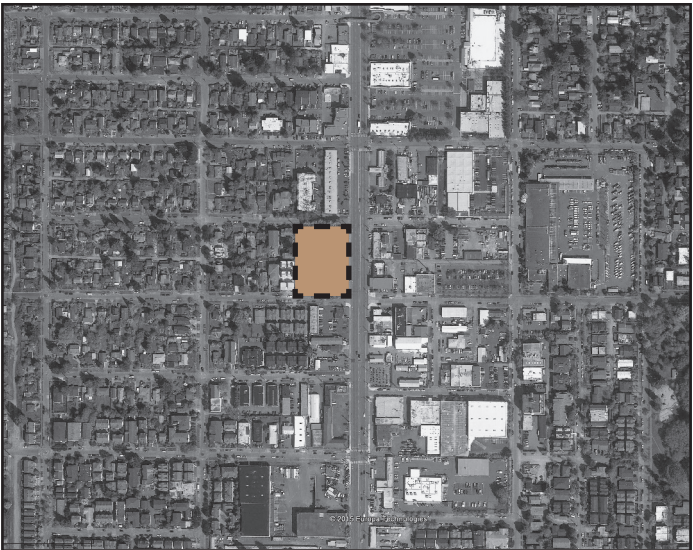
Client	Public Storage 701 Western Ave Glendale, CA 91201
Project Facilitator	Kathryn Jerkovich, kjerkovich@bcradesign.com
Site Description	A rectangular shaped parcel site bounded by parcels 0306000562, 0306000563, 0306000567, 0306000672, 0306000671, 0306000670 to the west, North 98th St. to the north, North 97th St. to the south and Aurora Ave N. to the east. The project site slopes down to the west with a grade difference of approximately nine (9) feet on the north side and three (3) feet on the south side of the parcel. The site has been previously developed and includes a single level building of approximately 19,110 square feet with the remainder of the parcel paved for parking.
Parcel ID	0306000570
Address	9701 Aurora Ave N. Seattle, WA
Site Area	61,542 sq. ft.
Site Zoning	C2-65
Overlay District	Aurora Licton Springs Residential Urban Village
Project Description	Demolition of existing 19,110 square foot building and on-site parking, site grading, and construction of a new multi-story self-storage building.
Uses by Floor	First Floor: Retail, Storage, Residential Second Floor: Storage Third - Sixth Floors: Storage
Construction Types	Construction Type 2A for floors 2 through 6
Project Team	DEVELOPER/OWNER Public Storage 701 Western Ave Glendale, CA 91201 LAND USE PLANNER/ARCHITECT/CIVIL ENGINEER BCRA 2106 Pacific Ave, Suite 300 Tacoma, WA 98402 STRUCTURAL ENGINEER MGA Engineering Consultants, Inc. 111 North Jackson Street, Suite 200 Glendale, CA 91206 SURVEYOR Lanktree Land Surveying, Inc. 421 B Street NE Auburn, WA 98082 LANDSCAPE Shea Carr Jewell 8730 Tallon Lane NE, Suite 200 Olympia, WA 98516

DEVELOPMENT OBJECTIVES

The development will consist of a self storage facility of approximately 219,775 square feet, containing self-storage units of various sizes, a retail/office space, 21 short-term parking stalls, and a residential apartment.

The proposed building design will include a six-story, 65 foot high building consisting of primarily self-storage units with a retail/office space and residential unit on the first floor. Parking for the facility will be located within the building and is anticipated to include approximately 21 parking stalls and three (3) loading berths. Access to the site will be from N. 98th St. and N. 97th St.

The building will be designed to meet the Citywide Design Review Guidelines by providing articulation through the use of colors, forms and materials. The building facades will be broken up and blank walls minimized with the use of windows, building offsets, canopies, and landscaping.



VICINITY MAP

SITE PLAN

DPD #3020310 - 9701 Aurora Ave N.

Concept proposes a six (6) story building of approximately 219,775 square feet, 21 parking stalls and three (3) loading berths. The building is located on the east portion of the site with the most prominent facade located along the commercial core of Aurora Ave North. The building has been setback 30 feet from the property line and residential uses on the west side. This area will be planted with a variety of trees and shrubs and lawn. The caretaker’s unit has been relocated to the west side with access to the area between the building and property line. The purpose of the caretaker unit at this location is to address the safety and security concerns expressed by the neighbors. Vehicle access will be from both N. 97th Street and N. 97th Street and vehicular parking and loading will be contained within the building footprint. Customers will access the building and storage units from the parking area within the building. An office has been included at the southeast corner of the building and will be signified by large storefront windows and doors and metal canopies.

Site:

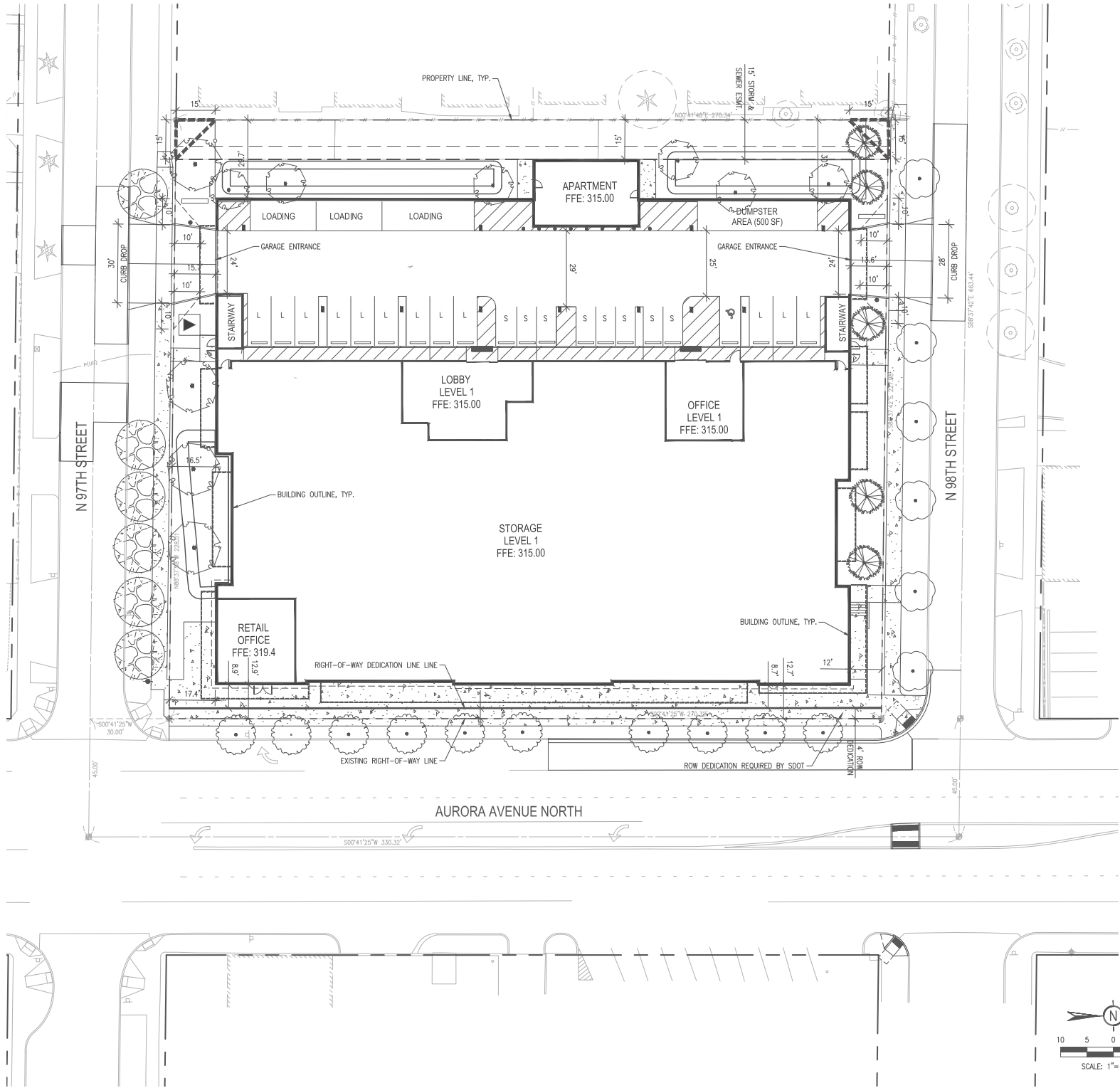
Site Square Footage: 61,542 square feet

FAR Proposed: 3.93

FAR Allowed: 4.25

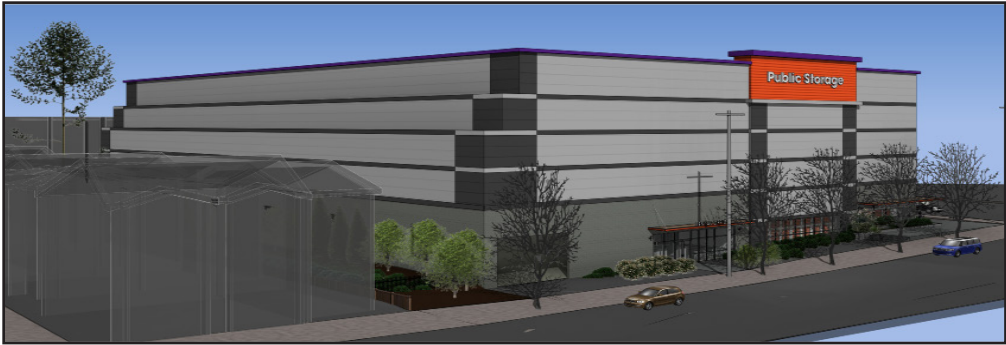
Number of Floors: Six + a basement

Building Height: 65 feet



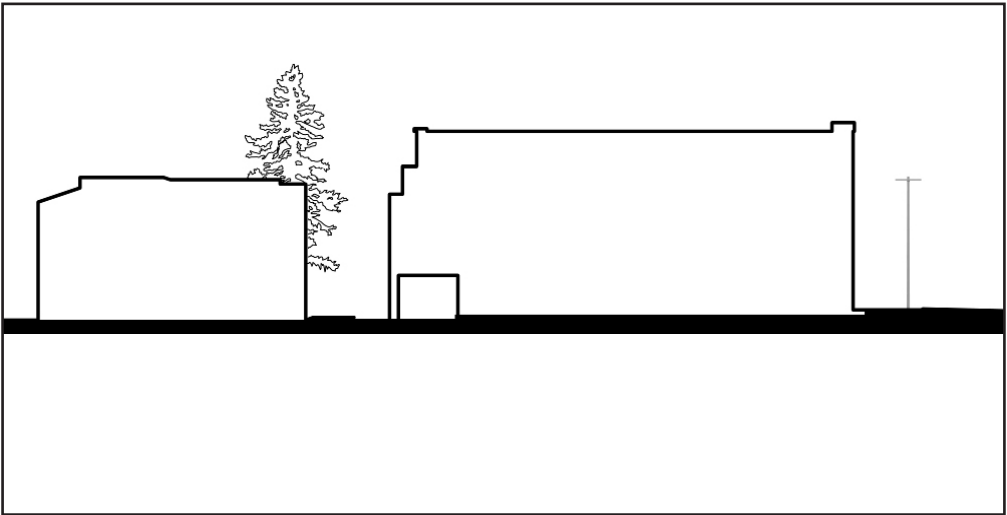


NORTHEAST CORNER



SOUTHWEST CORNER

BUILDING PROXIMITY DIAGRAM



DESIGN OPTION FOCUS POINTS

Transparency and Activation at Street Level CS3-A, CS2-B, PL3-C

Storefront windows along the north, south, and east facades provides views into the building and allows for informal surveillance to the exterior. Pedestrian amenities such as overhead weather protection, benches and landscaping along Aurora Ave N. and the NE and SE corners enhance the pedestrian experience and improve the public realm.

Height, Bulk and Scale CS2 D

Parking is within the building in order to mitigate impacts to the residential to the west.

Facade Composition DC2-B

The building facades have been designed with a base, middle and top. The design provides a change of materials with a masonry base, lighter material on the main body of the building, a top band and parapet cap to accent the top of the building. Colors will be used to further breakup the building mass and provide articulation, interest and highlight features.

Respect Adjacent Properties CS2 D5

Landscaping along N. 97th and N. 98th has been enhanced with trees and shrubs. A 30 foot vegetative buffer, including a variety trees and shrubs, has been included along the entire west property line.

Vehicle Access DC1 B1

Vehicle access will be from both N. 97th St. and N. 98th St. Vehicles will enter the building at these locations; parking and loading are located within the building footprint. Vehicle access at these locations minimize impacts to pedestrians, bicyclists and vehicles.

Building Entry PL3 A1

A pedestrian entrance will be provided on N. 97th St. An additional customer entrance will be provided within the building off of the parking area.

Building Materials DC4 A1

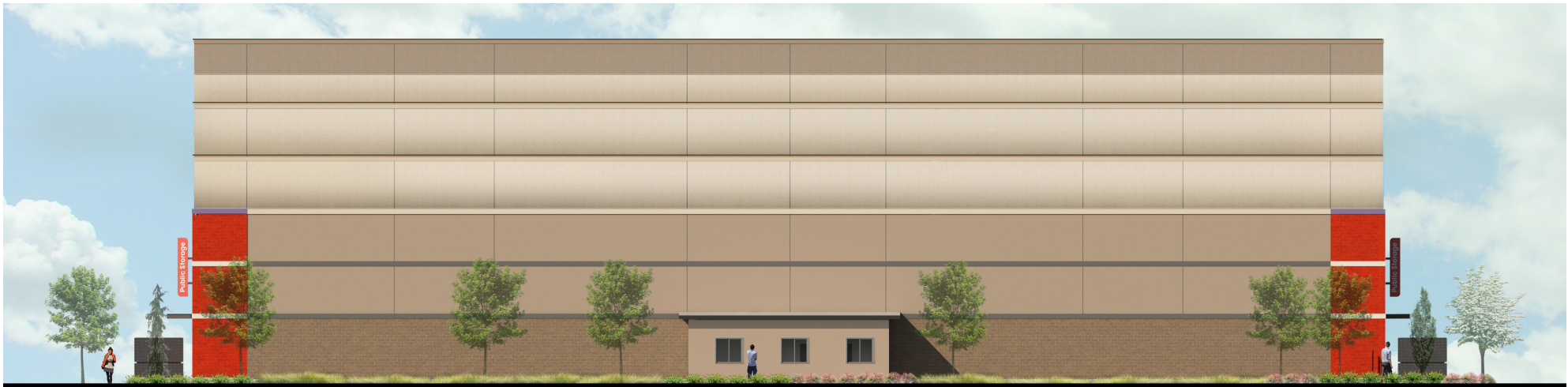
The building will be constructed of durable materials of insulated metal panels and a masonry base. These materials will be maintainable, attractive and similar to those found on buildings in the area.

Services Uses DC1 C2

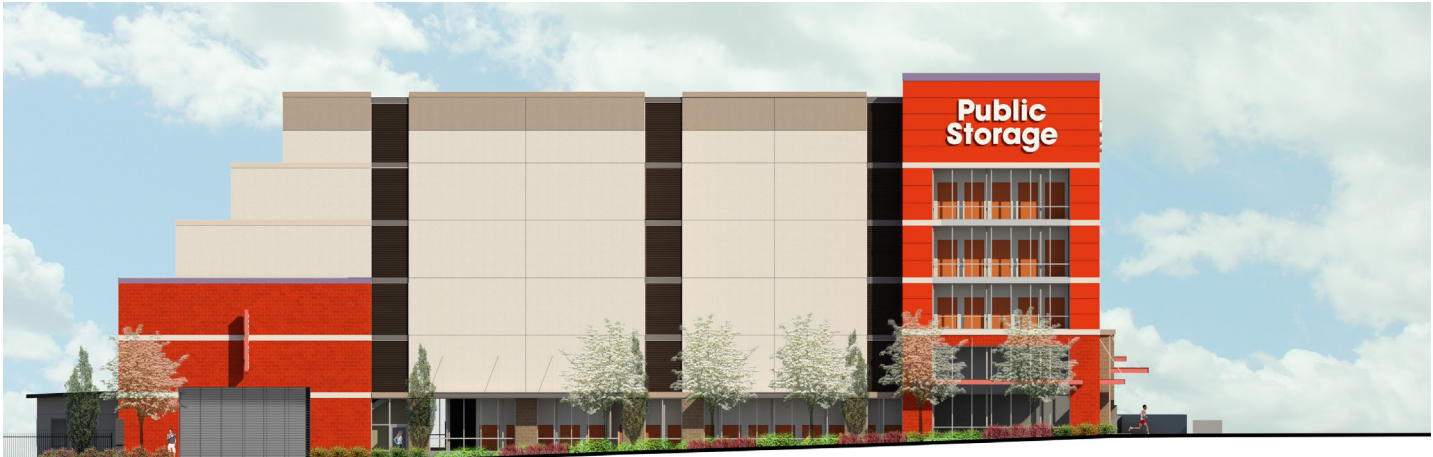
Service uses will be located within the building to minimize impact to the residential .



EAST FACADE (AURORA AVE N.)



WEST FACADE



SOUTH FACADE (N. 97TH ST.)



NORTH FACADE (N. 98TH ST.)

1. Facade Composition. In response to Board guidance provided at the EDG stage, the proposal was modified by extending the corner tower elements to the ground, adding transparency at the ground level, stepping the building down at the west, and adding a secondary massing gesture at the garage entrances to add scale and transition down to the abutting residential development (Recommendation Packet, page 29).

a. The transparency proposed at the corner tower elements at the ground level (at the north- and southeast corners) was of a two-story height intersected by horizontal orange canopies. The Board supported this two-story expression of transparency, and recommended it wrap the corner further along the north and south elevations. The use of orange for the canopies was not supported, and was deemed to further contribute to the out of scale signage proposed at the corners. Therefore, the Board recommended revising the colors of the canopies. (CS3-A, DC4-A, DC4-B)

b. The Board agreed that the upper level setbacks at the west were a positive gesture to public concerns of impacts to the availability of light and perceived height, bulk, and scale, but were not convinced these setbacks adequately relieved perceived height from adjacent residential development to the west. Include in the second recommendation packet, sections illustrating the relationship of the proposal to the existing development to the west, include dimensions, provide graphics demonstrating lines of sight, and provide additional renderings viewing the building from N 97th and 98th Streets. These graphics should clearly demonstrate this scale relationship and how it is respecting the residential neighbors. (CS2-D)

c. Additionally, the upper level setbacks were found to result in a long expanse of blank wall. The Board did not support this condition, and recommended the addition of landscaping at these upper level setbacks and varying of the parapet to mitigate the blank wall condition. (DC2-B)

d. A caretaker’s apartment was proposed at the west portion of the site, attached to the structure at the center of the west elevation. It was not clear from the packet how this portion of the building is to be treated (Recommendation Packet dated June 5, 2017, page 37). While the Board agreed that due to its location this unit will not be readily visible from the street, it will be visible from adjacent single-family development to the west and deserves attention to detail. This unit should be residential in character and integrated into the architectural concept. Include in the second recommendation packet material and color details for this portion of the structure. (DC4-A)

e. A wide dark band (fiber cement panel in color “cobblestone”) was proposed at the top of the structure, capping the facades at the sky. The Board agreed this cap further emphasized the bulk of the structure, and drew attention to the height. The Board recommended removal of this color treatment and further development of the elevations to reduce perceived height, bulk, and scale. (CS2-D)

f. The Board found that the large blank wall conditions and weak base expression resulted in a composition that appeared out of proportion and unresolved. The Board recommended further development of the facades to mitigate (reduce or eliminate) blank wall conditions and strengthen the base expression. The use of brick was suggested by the public and the Board. (DC2-B)

2. Landscape Concept.

a. The architect’s presentation noted that a change was proposed to the landscape plan to include the addition of evergreen trees along the west elevation. The Board supported the addition of evergreen trees in this location, and recommended grouping the trees in numbers of threes or fives.

b. The Board acknowledged public comment by recommending the installation of trees at a caliper larger than the minimum required by code.

c. See guidance 1.c. above related to landscaping at the upper level setbacks at the west elevation.

d. Include in the second recommendation packet an updated landscape plan.

3. Project Uses and Activities.

a. The site is located in the Licton Springs Residential Urban Village, described by public comment as located at the heart of the village. With the principles of the urban village in mind, the Board noted that the ability of the structure to adapt over time to accommodate neighborhood retail in the future is important. To better understand the relationship of the ground floor to the sidewalk, include in the second recommendation packet sections and other graphics necessary to describe this condition. Describe how future retail or other commercial uses could be accommodated by this ground floor. The ground floor should meet all development standards such as floor-to-floor height and transparency (DC1-A)

b. In response to the guidance provided during the EDG phase, the retail office was moved from the garage to the southeast corner of the site. This move was supported by the Board who agreed with public comment that activity and eyes on the street in this location is important. (CS3-A, PL2-B)

c. Solid waste and recycling storage was proposed within the garage, near the northern entrance to N 98th St. The Board agreed with public comment noting that the staging area should be within the structure, not in the public right-of-way. The Board recommended this change be made by the next meeting. Include details in the second recommendation describing conceptually how the solid waste and recycling will be picked up and approximately how often. (DC1-C)

4. Signage. While a conceptual signage plan was not included in the Recommendation packet, signage was depicted on the elevations and renderings. As depicted on page 43 of the Recommendation Packet (June 5, 2017), large signage was proposed at the north- and southeast corners (facing both Aurora and N 97th and 98th Streets), while blade signs were proposed at levels two and three. The Board agreed these signs were oriented to the vehicle and out of scale with the context and residential character of the abutting development to the west. Furthermore, the Board agreed the use of “Public Storage Brand Orange” at the corners acted as a sign and failed to provide a positive or desirable context for others to build upon in the future. The Board recommended signage of a pedestrian scale along Aurora Ave N, reduction of the signage proposed at the upper levels, and elimination of the “Public Storage Brand Orange” at the ground level. Include in the second recommendation packet a conceptual signage plan to include dimensions and details describing material, lighting, attachment, and color. (CS3-A, DC4-B)

5. Exterior Lighting. The exterior lighting plan on page 47 of the Recommendation Packet (June 5, 2017) was found to be incomplete. Include in the second recommendation packet a lighting plan that includes details describing the type of lighting proposed (include lumens and graphics of lighting type proposed). The Board agreed with public comment that lighting for safety and security is important for this site. (DC4-C)

RESPONSE TO BOARD GUIDANCE - FACADE COMPOSITION

DPD #3020310 - 9701 Aurora Ave N.



CURRENT DESIGN
NORTH FACADE (N. 98TH ST.)

DESIGN CHANGES

- 1 Masonry base height increased to top of second floor
- 2 Purple color eliminated
- 3 Cobblestone band at top of building eliminated
- 4 Cobblestone band at top of element eliminated. Color of entire element revised to "Sand."
- 5 Masonry at building based change to brick.
- 6 Material and color at tower legs changed to brick, orange limited to top of tower only.
- 7 Monument signs eliminated
- 8 Canopy color changed to "black."

BOARD COMMENT:

1.a. The transparency proposed at the corner tower elements at the ground level (at the north- and southeast corners) was of a two-story height intersected by horizontal orange canopies. The Board supported this two-story expression of transparency, and recommended it wrap the corner further along the north and south elevations. The use of orange for the canopies was not supported, and was deemed to further contribute to the out of scale signage proposed at the corners. Therefore, the Board recommended revising the colors of the canopies.

RESPONSE:

The masonry on the building has been changed from concrete masonry units (CMU) to brick in colors that complement the overall project color palette. The height of the masonry base on the north and south facades has been increased to the top of the second floor.

The extent of the previously proposed orange wall area has been eliminated from the masonry at the tower elements and over the vehicle entrances and the tower legs. The extent of the orange has limited to the top ten (10) feet of the northeast and southeast corner towers.

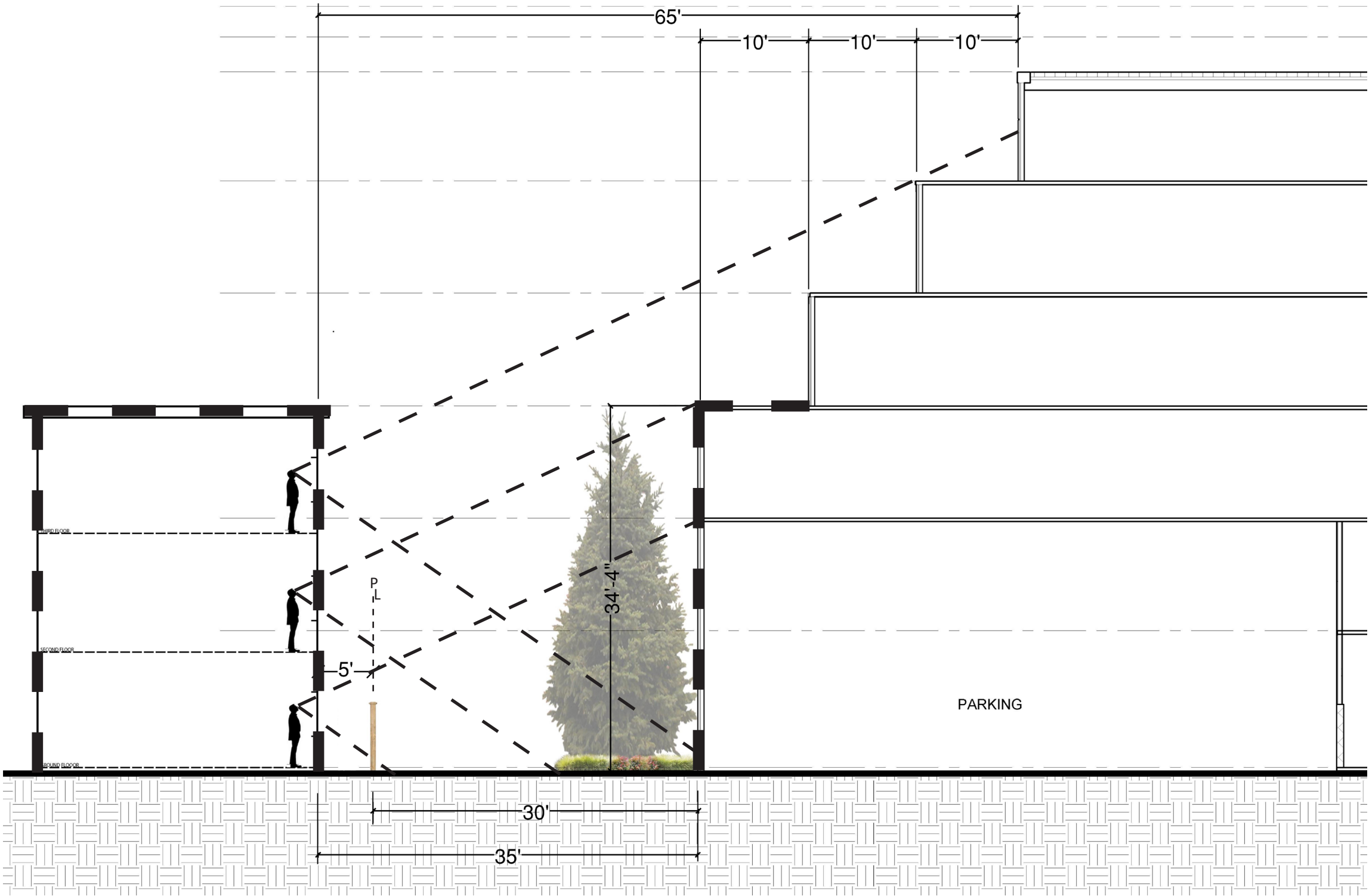
All canopies proposed along the north, south and east facades have been changed from orange to black.



DRB REC #1 (6/5/17) DESIGN
NORTH FACADE (N. 98TH ST.)

RESPONSE TO BOARD GUIDANCE - FACADE COMPOSITION

DPD #3020310 - 9701 Aurora Ave N.



BOARD COMMENT:

1.b. The Board agreed that the upper level setbacks at the west were a positive gesture to public concerns of impacts to the availability of light and perceived height, bulk, and scale, but were not convinced these setbacks adequately relieved perceived height from adjacent residential development to the west. Include in the second recommendation packet, sections illustrating the relationship of the proposal to the existing development to the west, include dimensions, provide graphics demonstrating lines of sight, and provide additional renderings viewing the building from N 97th and 98th Streets. These graphics should clearly demonstrate this scale relationship and how it is respecting the residential neighbors. (CS2-D)

RESPONSE:

The allowed setback per 23.47.014.B of the Seattle Land Use Code is zero for the first 13 feet of building height when abutting a residential zone along the rear or side lot line. A 10 foot setback is required for all portions of the building above 13 feet. The proposed Public Storage building is setback 30 feet from the rear (west) lot line for the first 23 feet of building height. The remainder of the building steps in 10 foot increments away from the rear (west) lot line.

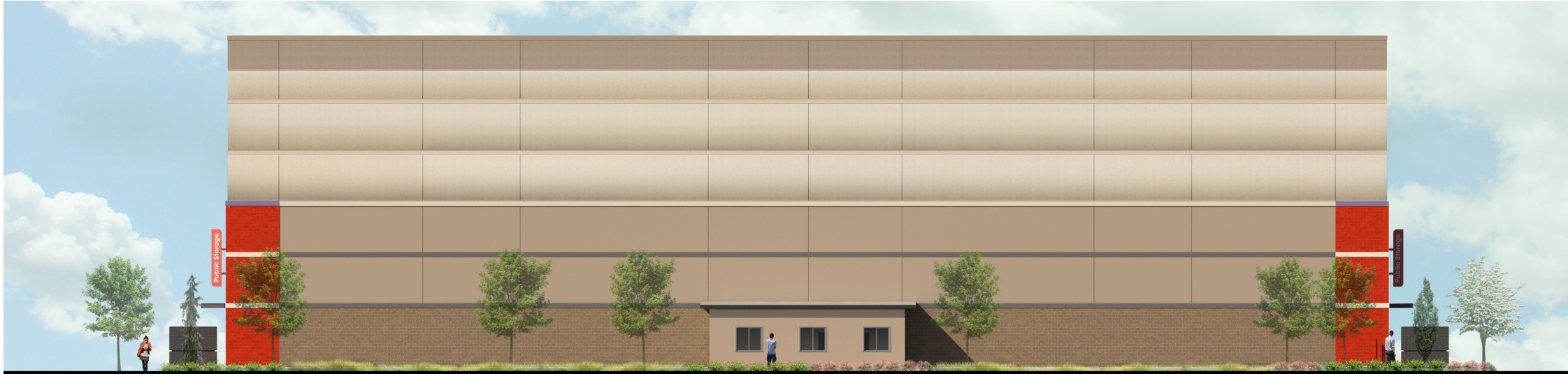
The maximum allowable height for the subject site is 65 feet. To provide a positive transition from the commercial to the residential to the west, the Public Storage building will not take advantage of the maximum allowable height. Beginning at the fourth floor the building steps in ten foot increments along the western facade, resulting in a loss of allowable building height and square footage for the fourth through sixth floors.

The portion of the building closest to the western property line will be approximately 34'-4" in height, similar to that of the three story residential units to the west.

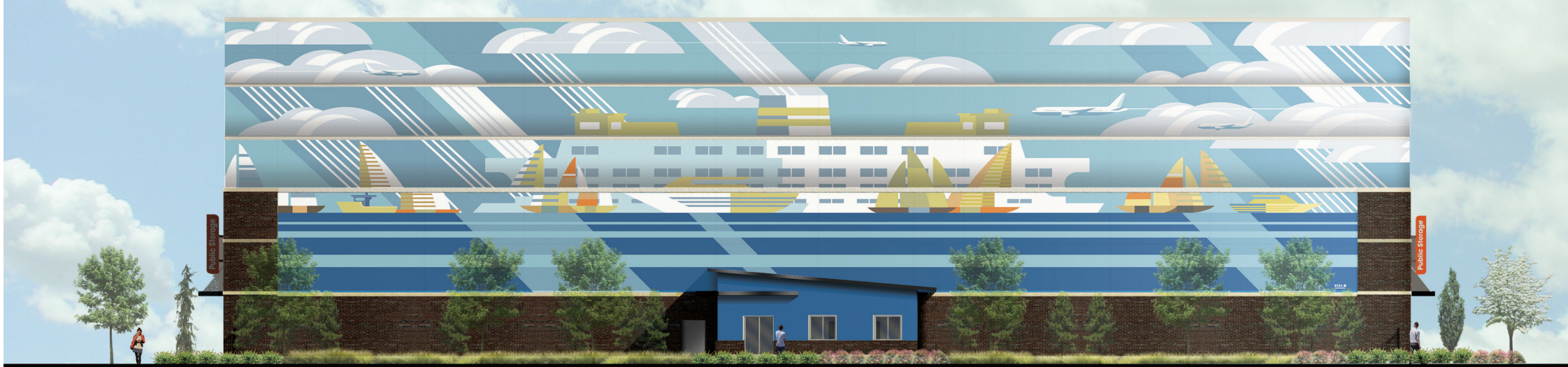
Views from both N. 97th and N. 98th have been included to demonstrate the relationship of the proposed Public Storage building and adjacent buildings to the west.

RESPONSE TO BOARD GUIDANCE - FACADE COMPOSITION

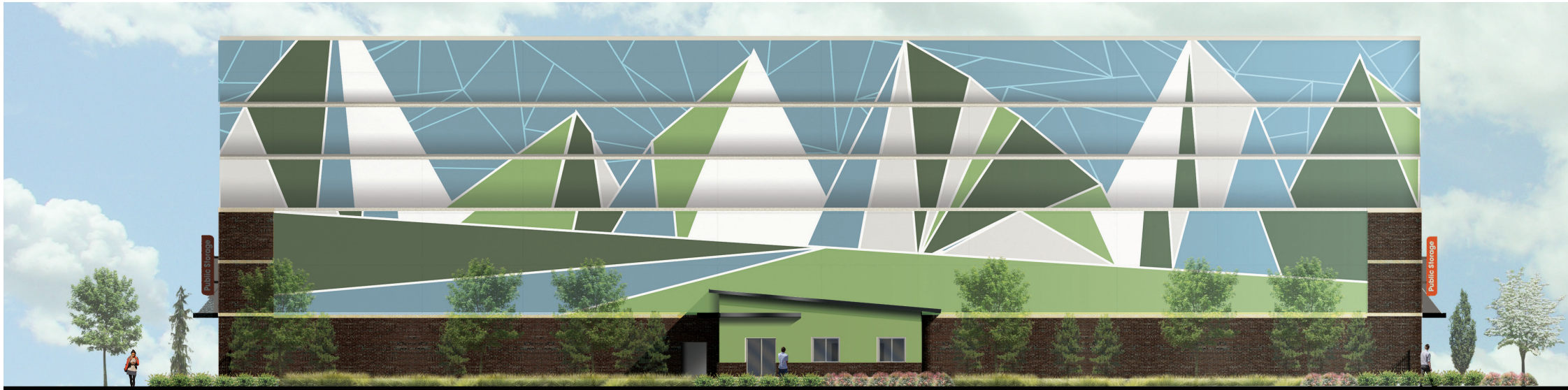
DPD #3020310 - 9701 Aurora Ave N.



DRB REC #1 (6/5/17) - WEST FACADE)



ILLUSTRATIVE OPTION (NAUTICAL THEME) - WEST FACADE)



ILLUSTRATIVE OPTION (ABSTRACT MOUNTAIN) - WEST FACADE)

BOARD COMMENT:

1.c. Additionally, the upper level setbacks were found to result in a long expanse of blank wall. The Board did not support this condition, and recommended the addition of landscaping at these upper level setbacks and varying of the parapet to mitigate the blank wall condition. (DC2-B)

RESPONSE:

The addition of landscaping on the upper level building setback pose a number of issues. Landscaping on these areas of the building would require irrigation, which has the potential to result in water intrusion in the building and within individual storage units, creating a liability for Public Storage. No direct access to these areas will be provided, thereby limiting maintenance. Introducing landscaping will require parapets to be included. The addition of parapets will eliminate views of any low level landscaping and restrict views of vertical landscaping such as trees.

To meet the intent of the Board's recommendation and to mitigate the perceived blank walls along the west facade two different murals are proposed. The murals will be placed on the west facade at the top of the first floor and will extend to the top of the sixth floor. The chosen mural will be painted onto the EIFS with a durable paint product that will adhere to the EIFS and will be resistant to weather and fading, requiring low maintenance. The mural will be completed by an artist with experience in this type of application.

Both murals were designed by artists who are local to the area with both living in the neighborhood either currently or in the past. The inspiration for murals were the landscape of the Pacific Northwest, and the nautical culture of the greater Seattle area.

The placement of the murals would provide the adjacent neighbors to the west with an interesting and artistic view. It also provides the neighborhood with community art, in abstract, that can be seen from both N. 97th and N. 98th. Both proposed options will cover the majority of the western facade, mitigating the concern of large expanses of blank walls.

The use of murals in place of landscaping meets the intent of the Board's guidance by breaking up the expanse of the facade and blank wall.

RESPONSE TO BOARD GUIDANCE - FACADE COMPOSITION

DPD #3020310 - 9701 Aurora Ave N.

DESIGN CHANGES

- 1 Apartment siding material will be EIFS painted “Sand” to match the main building.
- 2 The lower siding material will be brick.
- 3 A single sloping roof will be used. A single sloping roof is similar to some of the residential buildings to the west.
- 4 A canopy will be added over the door on the north facade and will wrap around to the west for added character and interest.

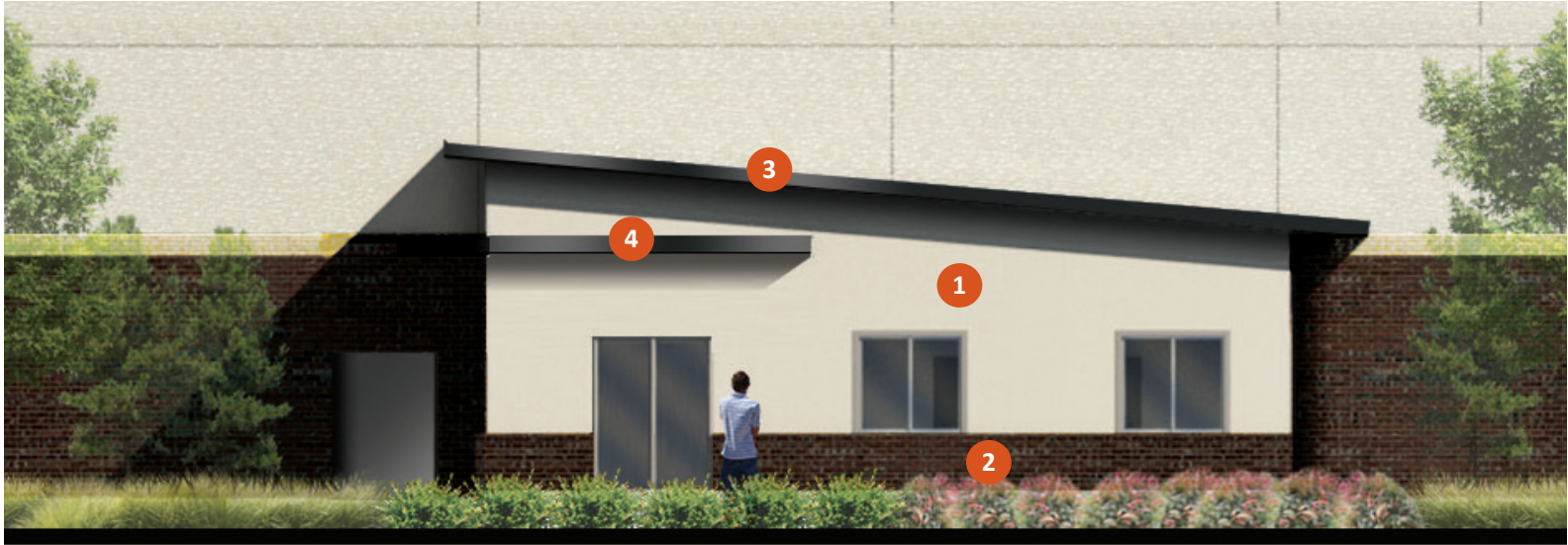
BOARD COMMENT:

1.d. A caretaker’s apartment was proposed at the west portion of the site, attached to the structure at the center of the west elevation. It was not clear from the packet how this portion of the building is to be treated (Recommendation Packet dated June 5, 2017, page 37). While the Board agreed that due to its location this unit will not be readily visible from the street, it will be visible from adjacent single-family development to the west and deserves attention to detail. This unit should be residential in character and integrated into the architectural concept. Include in the second recommendation packet material and color details for this portion of the structure. (DC4-A)

RESPONSE:

The exterior of the caretaker’s apartment has been designed to include a roof that slopes down from north to south with a separate canopy on the north facade wrapping onto the west facade. Exterior materials will be EIFS and brick. The brick will match that of the brick used on the base of the Public Storage building and the EIFS will be painted a color that corresponds with the artwork applied to the walls of the Public Storage building above.

CURRENT DESIGN
APARTMENT



DRB REC #1 (6/5/17) DESIGN
NORTH FACADE (N. 98TH ST.)



*Note: Murals are not shown on current design as final mural selection is to be determined.

RESPONSE TO BOARD GUIDANCE - FACADE COMPOSITION

DPD #3020310 - 9701 Aurora Ave N.



CURRENT DESIGN
EAST FACADE (AURORA AVE N.)

DESIGN CHANGES

- 1 Public Storage signs removed
- 2 Purple color eliminated
- 3 Cobblestone band at top of building eliminated
- 4 Cobblestone band at top of element eliminated. Color of entire element revised to "Sand."
- 5 Masonry at building based change to brick.
- 6 Material and color at tower legs changed to brick, orange limited to top of tower only.
- 7 Downspouts relocated to metal panel elements and will be painted to match adjacent wall color.
- 8 Canopy color changed to "black."

BOARD COMMENTS:

1.e. A wide dark band (fiber cement panel in color "cobblestone") was proposed at the top of the structure, capping the facades at the sky. The Board agreed this cap further emphasized the bulk of the structure, and drew attention to the height. The Board recommended removal of this color treatment and further development of the elevations to reduce perceived height, bulk, and scale. (CS2-D)

RESPONSE:

The Cobblestone color previously proposed at the top of the building has been removed and the Casablanca color extends to the top of the parapet. The color of the middle tower element on the Aurora Ave N. (east) facade and the middle EIFS portions of the north and south facades have been changed to the Sand color. These color changes assist with further break-up of the facades.

1.f. The Board found that the large blank wall conditions and weak base expression resulted in a composition that appeared out of proportion and unresolved. The Board recommended further development of the facades to mitigate (reduce or eliminate) blank wall conditions and strengthen the base expression. The use of brick was suggested by the public and the Board. (DC2-B)

RESPONSE:

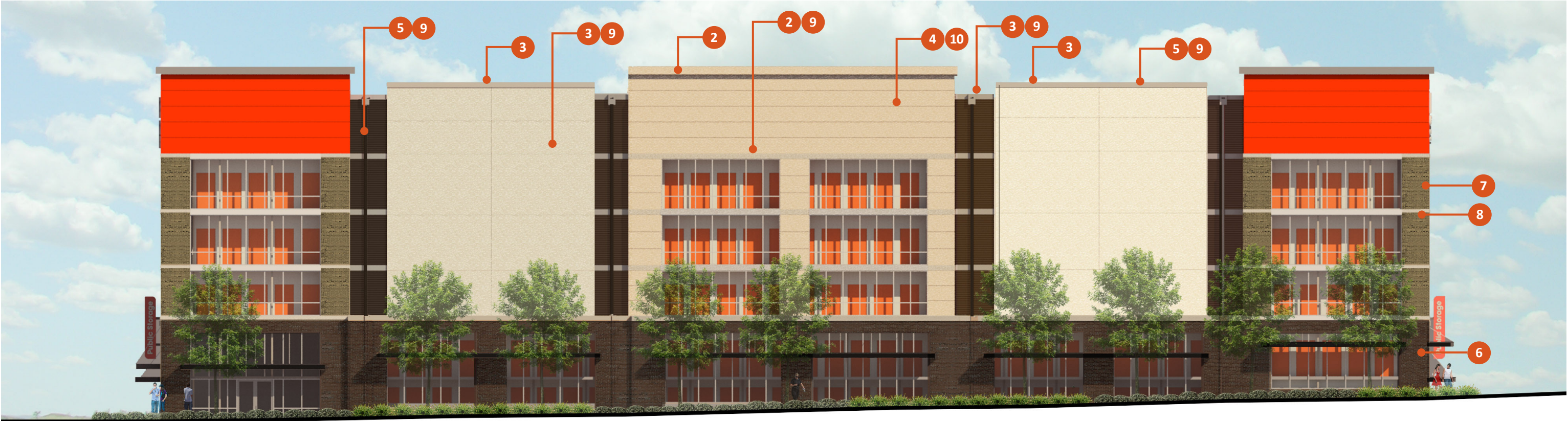
The masonry on the building has been change from concrete masonry units (CMU) to brick in colors that complement the paint colors proposed. The brick at the base of the building on the north and south facades has been extended to the top of the second floor, similar to that of the east facade. This increase in the height of the masonry creates a stronger building base and reduces the perceived mass of the building.



DRB REC #1 (6/5/17) DESIGN
EAST FACADE (AURORA AVE N.)

RESPONSE TO BOARD GUIDANCE - FACADE COMPOSITION

DPD #3020310 - 9701 Aurora Ave N.



EAST FACADE (AURORA AVE N.)

COLOR AND MATERIAL PALETTE



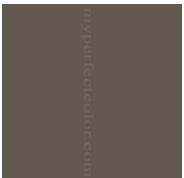
1 Cobblestone



2 Sand



3 Casablanca



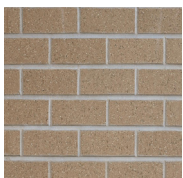
4 Spanish Moss



5 Public Storage Brand Orange



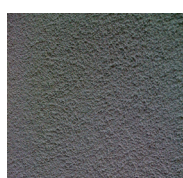
6 Brick Mocha



7 Brick Smokey Mountain



8 Brick Artic White



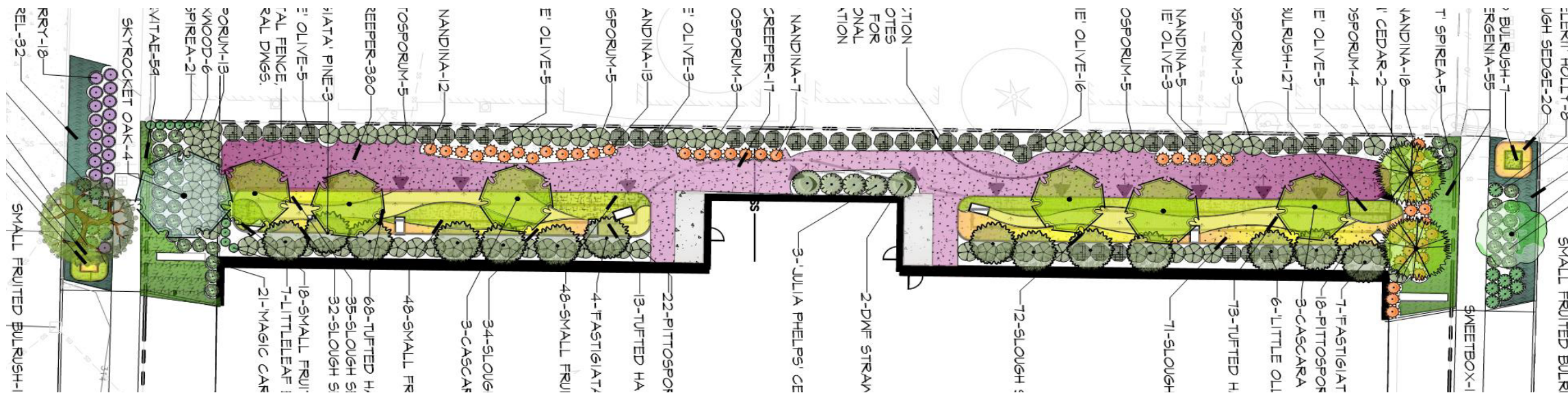
9 EIFS - Light Sand Texture (Refer to Paint Colors)



10 Corrugated Metal Panel (Refer to Paint Colors)

DPD #3020310 - 9701 Aurora Ave N.

The landscape along the extents of the western portion of the project site will provide variety, breakup of the lower portion of the building wall and effectively screen this area of the building from the adjacent properties to the west.



*Note: Murals are not shown on as final mural selection is to be determined.

RESPONSE TO BOARD GUIDANCE - LANDSCAPE CONCEPT

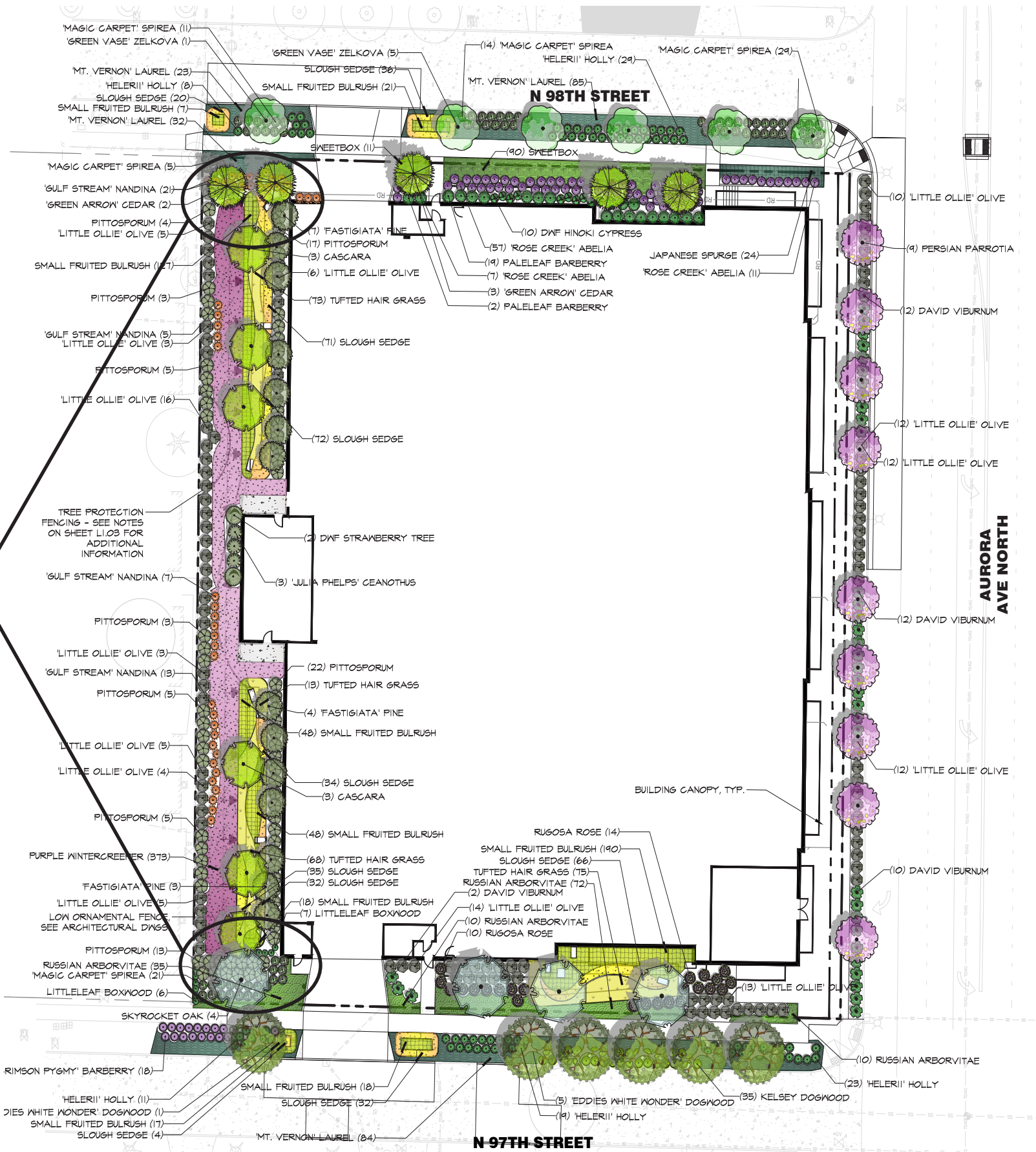
DPD #3020310 - 9701 Aurora Ave N.



14" Low Voltage, LED Landscape Lighting to be placed within the 30 foot landscape area on the west side of the building.



Ornamental fence to be placed at NW and SW edge of property for security.



BOARD COMMENTS:

2.b. The Board acknowledged public comment by recommending the installation of trees at a caliper larger than the minimum required by code.

RESPONSE:

The City of Seattle code requires deciduous trees in the street right-of-way to have a minimum caliper tree of 1.75 inches and a height of 10 feet and coniferous and broadleaf evergreens to be at least five feet in height. In other landscape areas deciduous trees are required to have a minimum caliper of 1.5 inches and a height of 10 feet and coniferous and broadleaf evergreens to be at least five feet in height. The project proposes to provide deciduous trees at a 2 inch caliper with heights that vary from 10 to 14 feet and evergreen trees with heights between 6 and 8 feet.

2.c. See guidance 1.c. above related to landscaping at the upper level setbacks at the west elevation.

RESPONSE:

The project proposes to provide a high quality artwork on the west facade of the building as opposed to landscaping. The artwork is reflective of the Seattle and Pacific Northwest and provides a high level of interest to the residential development to the west and surrounding neighborhood.

2.d. Include in the second recommendation packet an updated landscape plan.

RESPONSE:

The landscape plan has been updated to reflect previous changes.

RESPONSE TO BOARD GUIDANCE - LANDSCAPE CONCEPT

DPD #3020310 - 9701 Aurora Ave N.



'Green Arrow' Cedar



'Eddie's White Wonder' Dogwood



Persian Parrotia



Skyrocket Oak



Cascara



'Green Vase' Zelcova



'Fastigiata' Pine

RESPONSE TO BOARD GUIDANCE - LANDSCAPE CONCEPT

DPD #3020310 - 9701 Aurora Ave N.



Ceanothus



Crimson Pygmy Barberry



David Viburnum



Dwarf Strawberry Tree



Gulf Stream Nandina



Helleri Holly



Paleleaf Barberry



Dwarf Hinoki Cypress



Littleleaf Boxwood



Wheeler's Dwarf Pittosporum



Rugosa Rose



Mexican Orange

RESPONSE TO BOARD GUIDANCE - LANDSCAPE CONCEPT

DPD #3020310 - 9701 Aurora Ave N.



Mount Vernon Laurel



Tufted Hair Grass



David Viburnum



Magic Carpet Spirea



Creeping Sweetbox



Slough Sedge



Purpleleaf Wintercreeper



Russian Arborvitae



Russian Arborvitae



Berginia

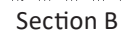
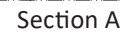


Japanese Spurge



Smallfruited Bullrush

DPD #3020310 - 9701 Aurora Ave N.



RESPONSE TO BOARD GUIDANCE - PROJECT USES AND ACTIVITIES

DPD #3020310 - 9701 Aurora Ave N.



RETAIL OFFICE AT SOUTHEAST BUILDING CORNER; NOT TO SCALE

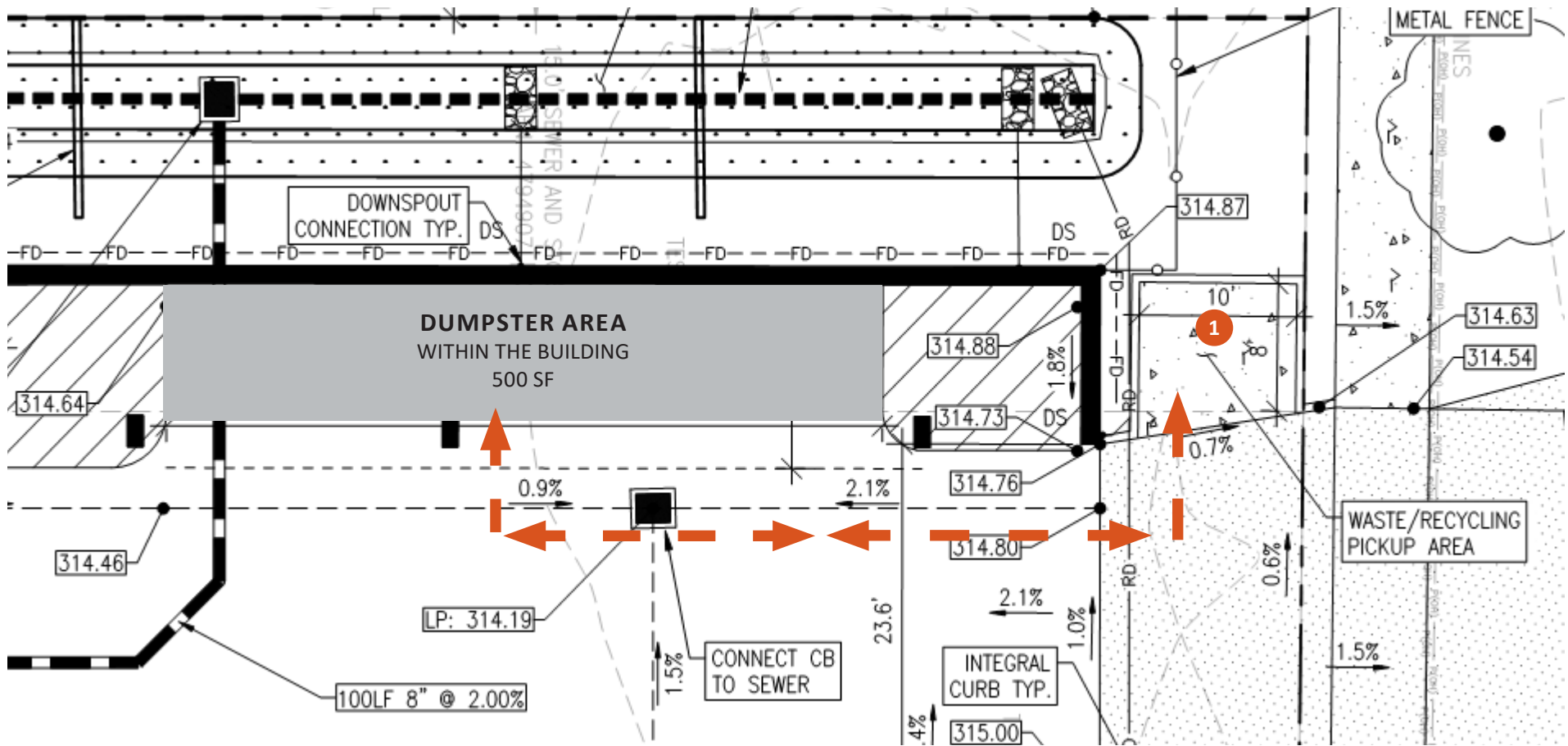
BOARD COMMENT:
3.b. In response to the guidance provided during the EDG phase, the retail office was moved from the garage to the southeast corner of the site. This move was supported by the Board who agreed with public comment that activity and eyes on the street in this location is important. (CS3-A, PL2-B)

RESPONSE:
As demonstrated in the previous packet and at the DRB Recommendation meeting, the retail office will be located on the southeast corner of the building and will include large storefront windows, canopies, and pedestrian scale signage.



RESPONSE TO BOARD GUIDANCE - PROJECT USES AND ACTIVITIES

DPD #3020310 - 9701 Aurora Ave N.



1 Concrete pad for dumpster staging

BOARD COMMENT:
3.c. Solid waste and recycling storage was proposed within the garage, near the northern entrance to N 98th St. The Board agreed with public comment noting that the staging area should be within the structure, not in the public right-of-way. The Board recommended this change be made by the next meeting. Include details in the second recommendation describing conceptually how the solid waste and recycling will be picked up and approximately how often. (DC1-C)

RESPONSE:
The solid waste and recycling area is located within the building and has been sized to meet the provisions of the Seattle Land Use Code. Waste and recycling containers will be stored within the building until collection day.

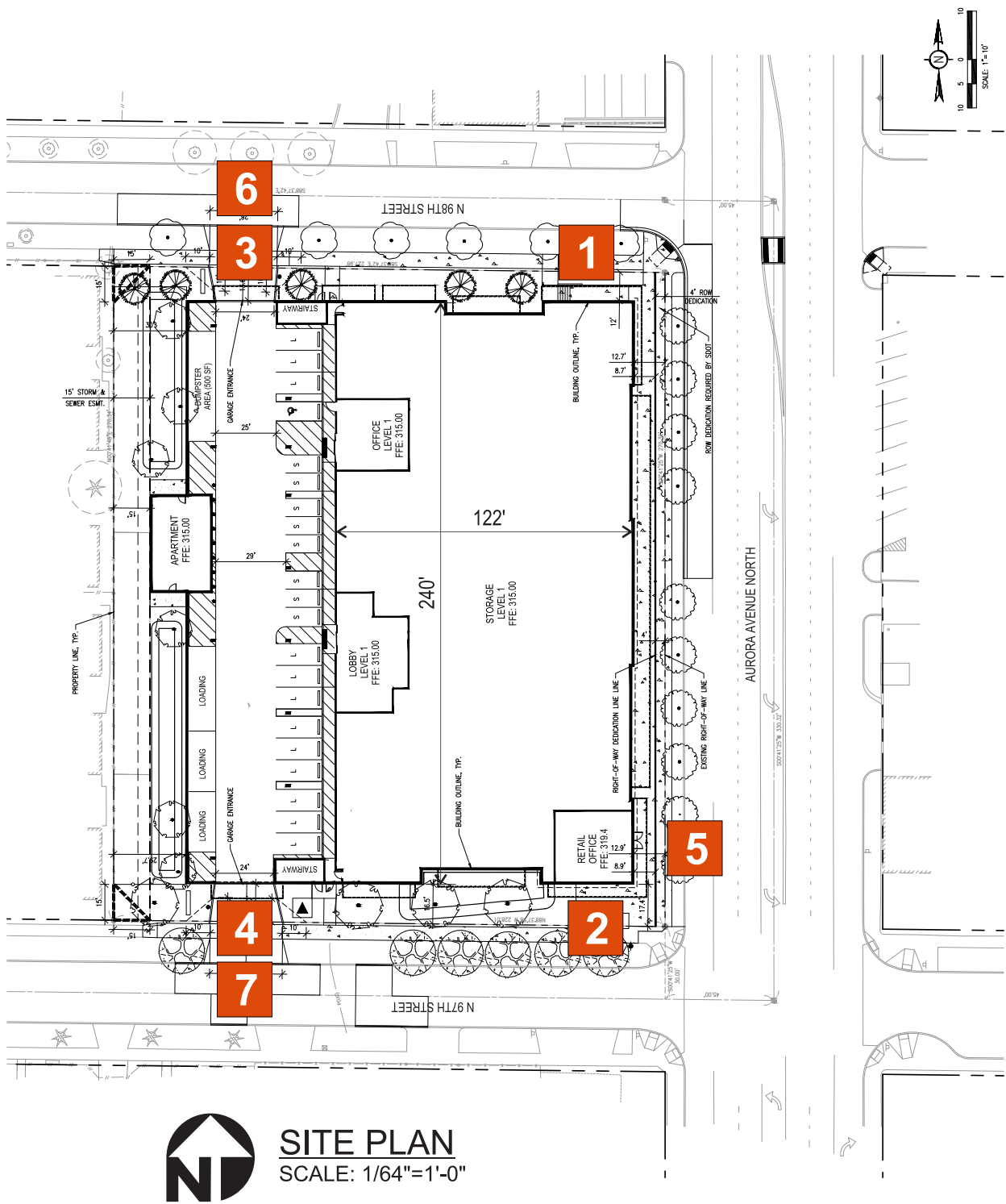
In coordination with Waste Management, the refuse provider for this location, the container(s) will be pushed outside the building to a concrete pad on the north side of the building on collection day. Once emptied, the container(s) will returned to the dumpster area within the building.



ANTICIPATED DUMPSTER SIZE AND TYPE

RESPONSE TO BOARD GUIDANCE - SIGNAGE

DPD #3020310 - 9701 Aurora Ave N.



1	ILLUMINATED CHANNEL LETTERS - REMOTE BOXED AREA: 198.43 SF
2	ILLUMINATED CHANNEL LETTERS - REMOTE BOXED AREA: 198.43 SF
3	ILLUMINATED D/F BLADE SIGN AREA: 30.0 SF
4	ILLUMINATED D/F BLADE SIGN AREA: 30.0 SF
5	FCO WALL LETTERS - NON-ILLUMINATED AREA: 7.8 SF
6	S/F WALL PANEL - NON-ILLUMINATED AREA: 6.8 SF
7	S/F WALL PANEL - NON-ILLUMINATED AREA: 6.8 SF

SIGN #	SIGN TYPE	ALLOWED BY CODE	PROPOSED
1	WALL LETTERS		198.43 SF
2	WALL LETTERS		198.43 SF
3	BLADE SIGN		30.00 SF
4	BLADE SIGN		30.00 SF
5	FCO LETTERS		7.8 SF
6	S/F PANEL		6.8 SF
7	S/F PANEL		6.8 SF
TOTAL SIGNAGE PROPOSED			478.26 SF

BOARD COMMENT:

4. Signage. While a conceptual signage plan was not included in the Recommendation packet, signage was depicted on the elevations and renderings. As depicted on page 43 of the Recommendation Packet (June 5, 2017), large signage was proposed at the north- and southeast corners (facing both Aurora and N 97th and 98th Streets), while blade signs were proposed at levels two and three. The Board agreed these signs were oriented to the vehicle and out of scale with the context and residential character of the abutting development to the west. Furthermore, the Board agreed the use of “Public Storage Brand Orange” at the corners acted as a sign and failed to provide a positive or desirable context for others to build upon in the future. The Board recommended signage of a pedestrian scale along Aurora Ave N, reduction of the signage proposed at the upper levels, and elimination of the “Public Storage Brand Orange” at the ground level. Include in the second recommendation packet a conceptual signage plan to include dimensions and details describing material, lighting, attachment, and color. (CS3-A, DC4-B)

RESPONSE:

The previously proposed building signs have been reduced by approximately 397 square feet and the monument signs on the north and south sides of the building have been eliminated.

The Public Storage signs at the top of the NE and SE tower elements have been reduced in quantity from four signs to two. Pedestrian scale signs have been added at the retail office in the SE corner of the building.

Section 23.55.030.E.2 of the Seattle Land Use Code allows each business to have one ground, roof, projecting or combination sign for each 300 lineal feet, or portion thereof, of frontage on public rights-of-way.

In addition, each business establishment may have one wall, awning, canopy, marquee or under marquee sign for each 30 lineal feet, or portion thereof, of frontage on public rights-of-way.

Section 23.55.303.E.3.b indicates there is no maximum area limit for on-premises signs for business establishments in the C1 and C2 zones, except for a maximum wall area of 672 square feet for each wall sign.

The subject site has approximately 270 feet of frontage on Aurora Ave N., 228 feet of frontage on both N. 97th St. and N. 98th St. Based on the street frontage, the project is allowed nine (9) signs on Aurora Ave N. and seven (7) signs on N. 97th St. and seven (7) on N. 98th St.

The project proposes seven (7) wall signs, each under the maximum sign area allowed.

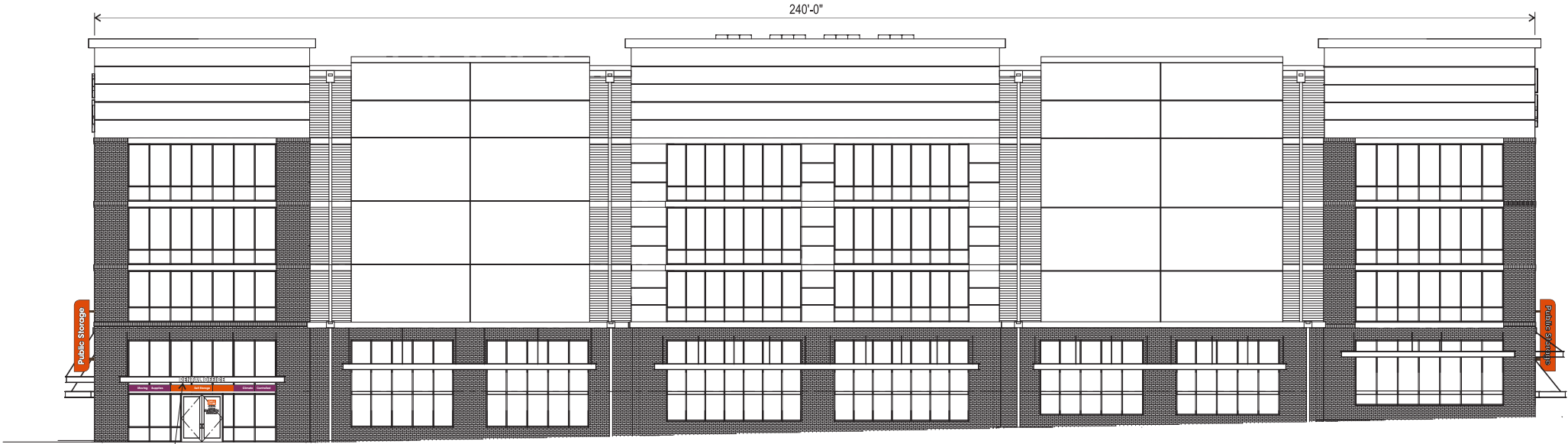
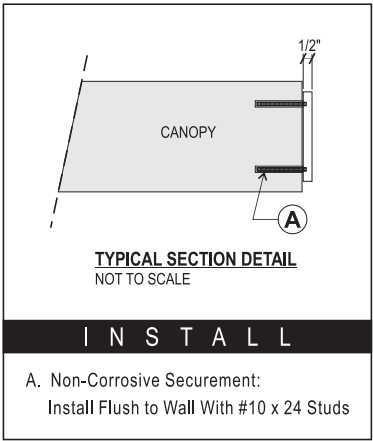
RESPONSE TO BOARD GUIDANCE - SIGNAGE

DPD #3020310 - 9701 Aurora Ave N.

RENTAL OFFICE

5 FCO LETTERS - NON-ILLUMINATED
SCALE: 1/2"=1'-0"
AREA: 5.6 SF

1/2" THICK CUT OUT WHITE ACRYLIC LETTERS
WITH FIRST SURFACE REFLECTIVE WHITE VINYL
& #3632-3126 ORANGE VINYL ON FACE OF LETTERS
INSTALL ON FACE OF CANOPY WITH STUDS



5 CENTER RENTAL OFFICE
OVER DOORS

EAST BUILDING ELEVATION
SCALE: 1/16"=1'-0"

RENTAL OFFICE

5 FCO LETTERS - NON-ILLUMINATED
SCALE: 3/8"=1'-0"
AREA = 7.8 SF



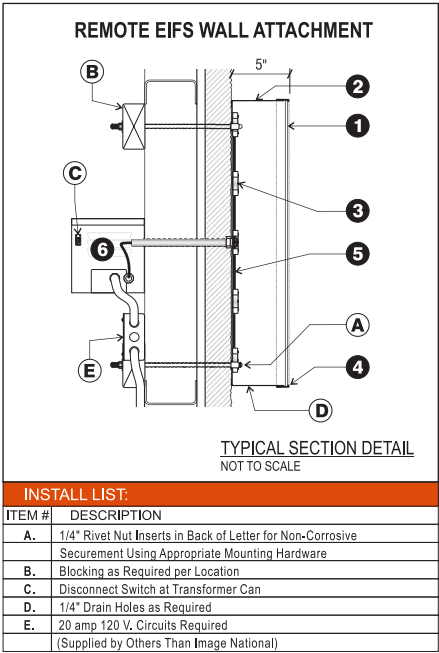
WINDOW VINYL
SCALE: 1/4"=1'-0"

NOTE: VERIFY DIMENSIONS BEFORE MANUFACTURE



OFFICE DOOR VINYL
NOT TO SCALE

ALL EXPOSED WIRING BEHIND PARAPETS TO BE SEALED
USING LIQUID TIGHT CONDUIT.
ALL EXPOSED WIRING TO UTILIZE RACEWAYS IF VISIBLE
TO THE PUBLIC OR INSIDE STORAGE UNITS (INTERIOR).



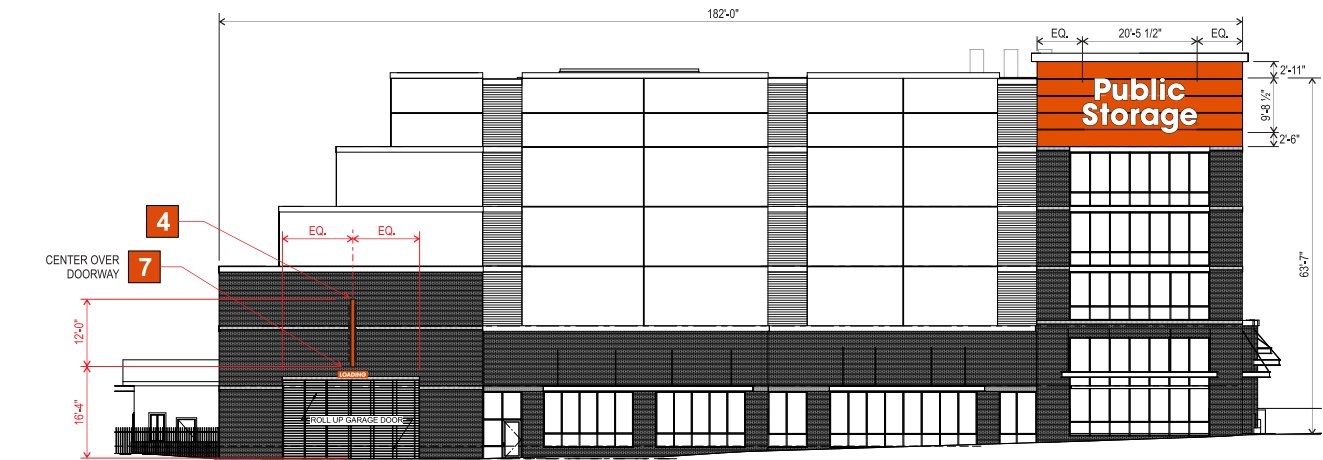
Public Storage

1 2 ILLUMINATED CHANNEL LETTERS - REMOTE
SCALE: 1/4"=1'-0"

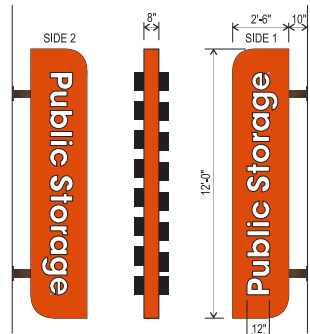
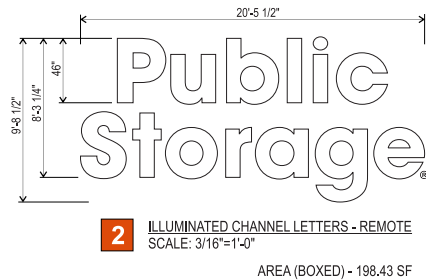
1 LETTER FACE: 3/16" #7328 WHITE ACRYLIC	2 RETURNS: 5" .040 ALUM. COIL PRE-PAINTED BLACK	3 ILLUMINATION: GE WHITE LED
4 TRIM CAP: 1" BLACK JEWELITE	5 BACKS: .063 ALUM. PRE-PAINTED WHITE	6 ELECTRICAL: REMOTE POWER SUPPLIES (1) 20 AMP CIRCUIT REQUIRED PER SIGN @ 120 V.

RESPONSE TO BOARD GUIDANCE - SIGNAGE

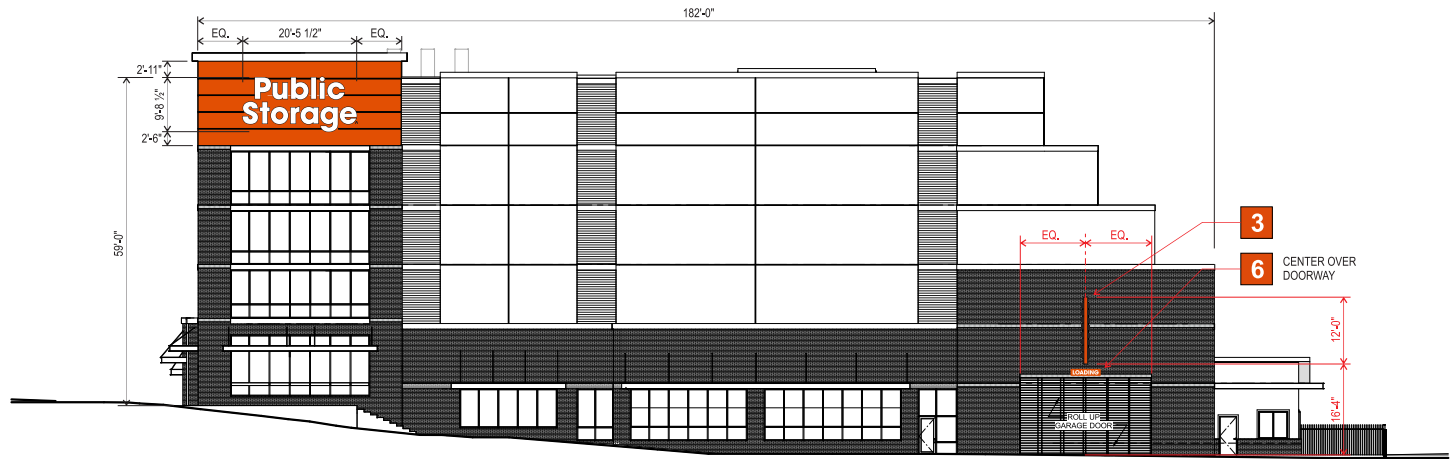
DPD #3020310 - 9701 Aurora Ave N.



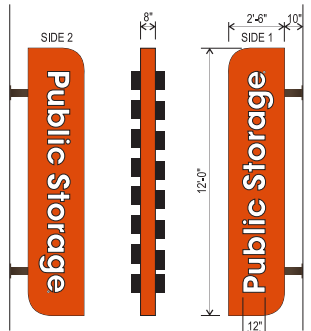
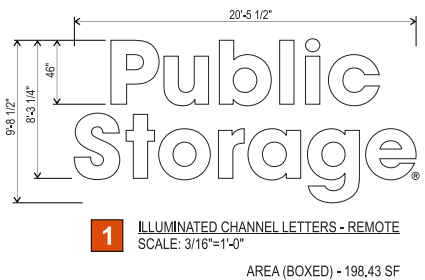
SOUTH BUILDING ELEVATION
SCALE: 1/16"=1'-0"



4
D/F ILLUMINATED BLADE SIGN
W/ FACE LIT CHANNEL LETTERS
SCALE: 1/4"=1'-0"
AREA (BOXED) - 30.0 SF



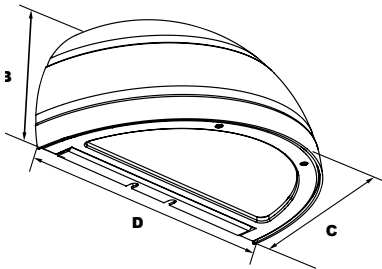
NORTH BUILDING ELEVATION
SCALE: 1/16"=1'-0"



3
D/F ILLUMINATED BLADE SIGN
W/ FACE LIT CHANNEL LETTERS
SCALE: 1/4"=1'-0"
AREA (BOXED) - 30.0 SF

RESPONSE TO BOARD GUIDANCE - LIGHTING

DPD #3020310 - 9701 Aurora Ave N.



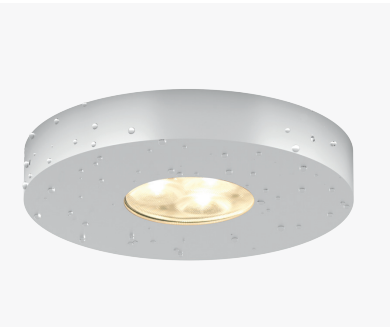
Envirolux L70 LED Pro Series
Watts: 25
Lumens: 3895

1 BUILDING MOUNTED FIXTURE AT EGRESS DOORS



Kichler Seaside 1 Light Outdoor Wall Lantern - Black
Watts: 100
Lumens 465-1150

2 BUILDING MOUNTED FIXTURE AT APARTMENT



MP Lighting L131
Watts: 7.5
Lumens: 240-266

3 UNDER CANOPY FIXTURE



LIGHTING PLAN



North
Scale: NTS

BOARD COMMENT:

5. Exterior Lighting. The exterior lighting plan on page 47 of the Recommendation Packet (June 5, 2017) was found to be incomplete. Include in the second recommendation packet a lighting plan that includes details describing the type of lighting proposed (include lumens and graphics of lighting type proposed). The Board agreed with public comment that lighting for safety and security is important for this site. (DC4-C)

RESPONSE:

The lighting plan has been updated to include fixture information and locations on the building and site. Building lighting will be directed downward to avoid light trespass onto adjacent properties.

Site lighting on the west portion of the site will be low voltage landscape lighting in the form of LED landscape bollards.



F/X Luminaire FM-LED
Watts: 10.1 (6 LED)
Lumens: 186

4 LIT BOLLARD WITHIN 30 FOOT LANDSCAPE AREA @ WEST SIDE OF BUILDING

ARCHITECTURAL RENDERING

DPD #3020310 - 9701 Aurora Ave N.

BCRA 
09/21/2017

26/63



NORTHEAST CORNER LOOKING SOUTHWEST ON AURORA AVE N.; NOT TO SCALE

ARCHITECTURAL RENDERING

DPD #3020310 - 9701 Aurora Ave N.

BCRA 
09/21/2017

27/63



SOUTHEAST CORNER LOOKING NORTHWEST ON AURORA AVE N.; NOT TO SCALE

ARCHITECTURAL RENDERING

DPD #3020310 - 9701 Aurora Ave N.

BCRA 
09/21/2017

28/63



SOUTHWEST CORNER LOOKING EAST ON N. 97TH STREET; NOT TO SCALE

ARCHITECTURAL RENDERING

DPD #3020310 - 9701 Aurora Ave N.

BCRA 
09/21/2017

29/63



NORTHWEST CORNER LOOKING EAST ON N. 98TH STREET; NOT TO SCALE

ARCHITECTURAL RENDERING

DPD #3020310 - 9701 Aurora Ave N.



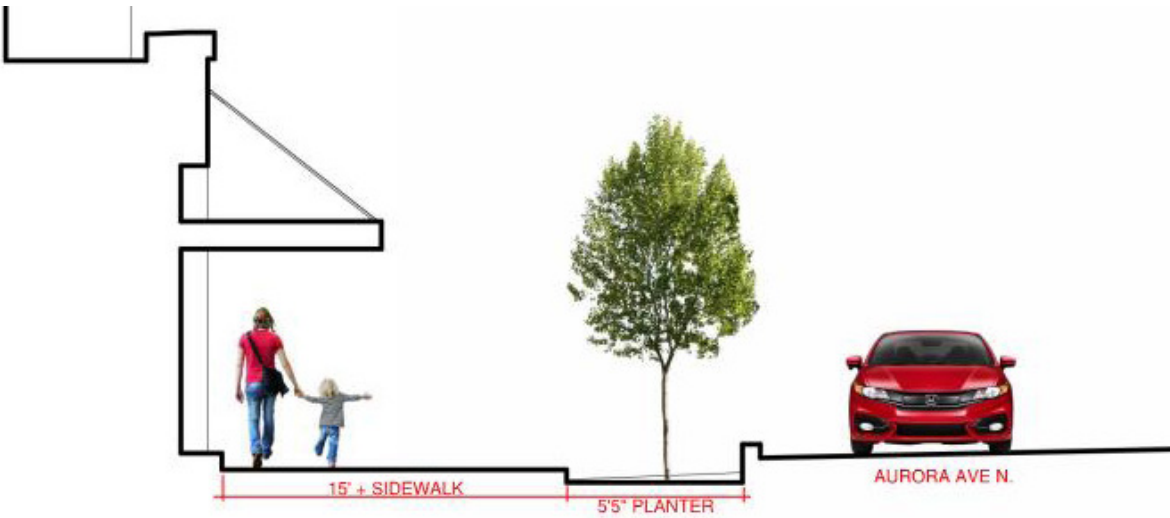
PEDESTRIAN VIEW NEAR NORTHWEST CORNER LOOKING SOUTHEAST; NOT TO SCALE

ARCHITECTURAL RENDERING

DPD #3020310 - 9701 Aurora Ave N.



PEDESTRIAN VIEW NEAR SOUTHWEST CORNER LOOKING NORTHEAST; NOT TO SCALE



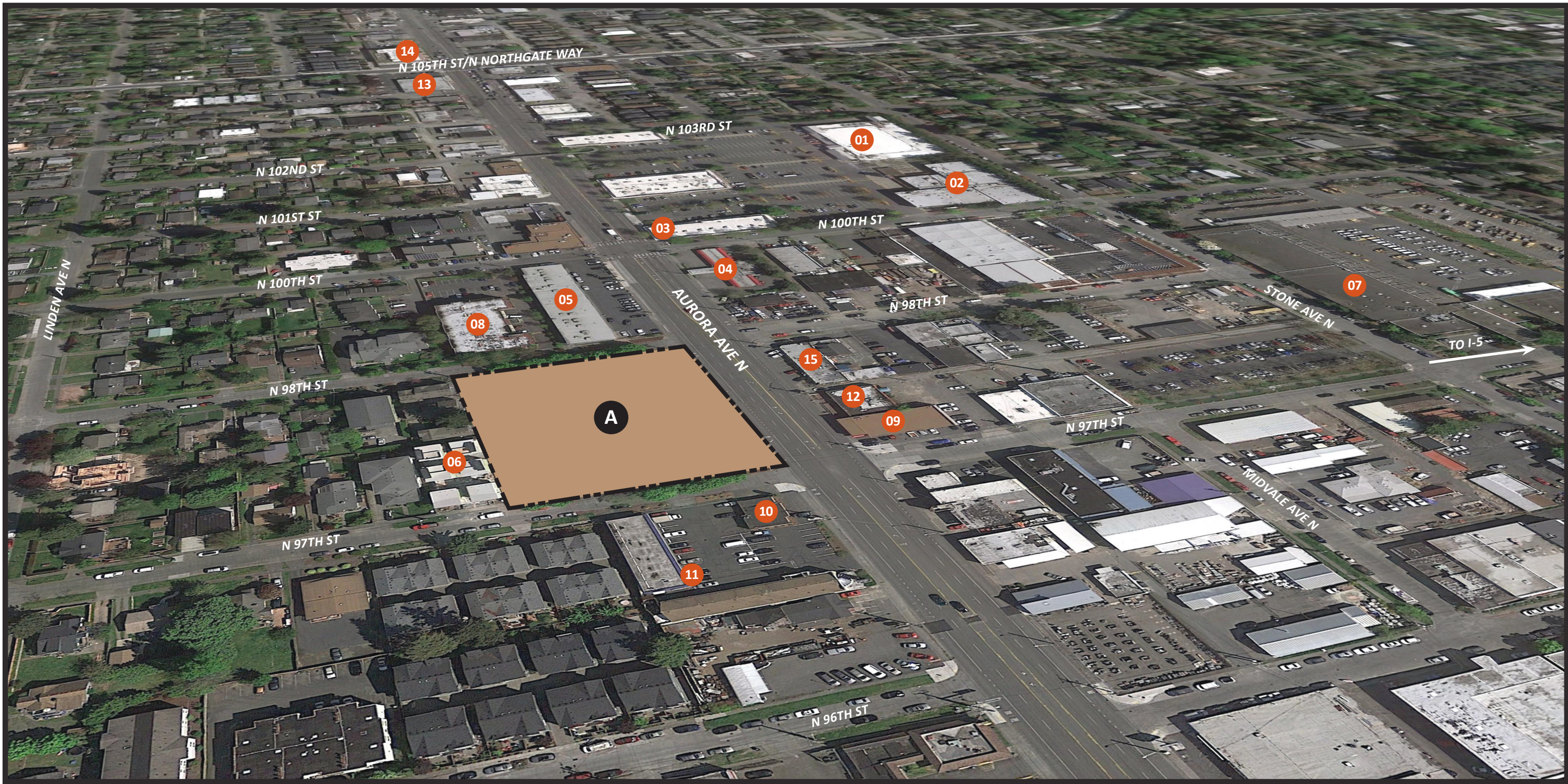
DIAGRAMATIC SIDEWALK SECTION AT AURORA AVE; NOT TO SCALE



AURORA FRONTAGE LOOKING SOUTH; NOT TO SCALE

APPENDIX

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PROJECT SITE

A GOLD'S GYM

NEARBY BUILDINGS

- 01** HT OAKTREE MARKET
- 02** MOVIE THEATER
- 03** IHOP RESTAURANT
- 04** BURGERMASTER

- 05** COMMERCIAL STRIP
- 06** TOWNHOMES
- 07** SEATTLE CITY LIGHT
- 08** MULTI-FAMILY RESIDENTIAL

- 09** CLARY'S TRANSMISSION
- 10** SOUND INSURANCE AGENCY
- 11** COLUMBUS MOTOR INN
- 12** TROPICOS BREEZE

- 13** O'REILLY AUTO PARTS
- 14** AURORA HOUSE
- 15** OCEAN GREENS

CONTEXT ANALYSIS - NINE BLOCK VICINITY

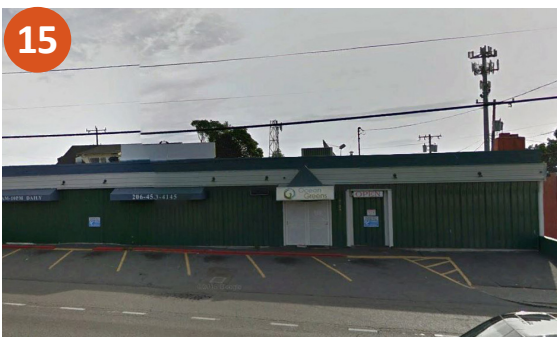
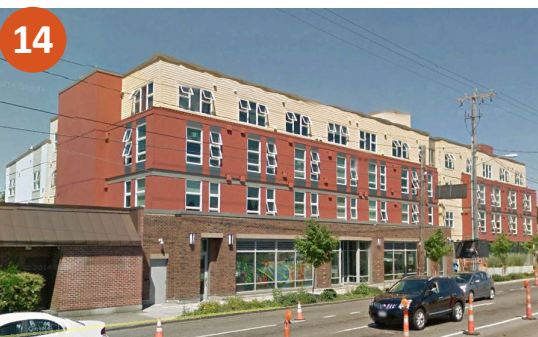
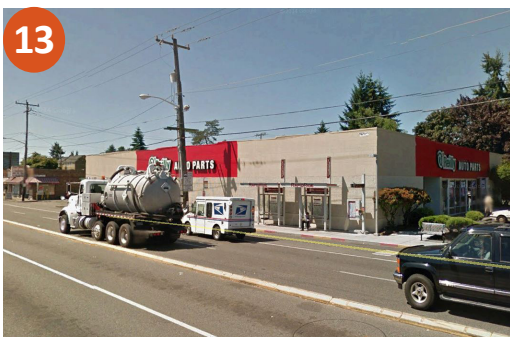
DPD #3020310 - 9701 Aurora Ave N.

EXISTING BUILDINGS ON SITE

One existing building on site of approximately 19,110 square feet will be demolished. According to King County records the existing building was originally constructed in 1976 and is not considered historic.



NEIGHBORHOOD BUILDINGS



The project site faces Aurora Ave North to the east, North 98th Street to the north, North 97th Street to the south and multi-family residential to the west.

The neighborhood includes a mix of uses. Commercial uses dominate the streetscape along Aurora Ave North. A mix of commercial, low-rise multi-family and single family residential can be found to the north, south and west, with predominate commercial uses to the east. Adjacent to the project site along the west property line are multi-story, multi-family residential buildings.

The neighborhood character is eclectic. Across Aurora Ave North the buildings are small scale commercial and retail buildings. Uses vary and include retail, office, commercial, hotel/motel, and fast serve restaurants. (09) Clary's Transmission and (12) Tropicos Breeze are across from the project site on Aurora Ave North. A (05) commercial strip and (08) multi-family are across North 98th Street. A (11) hotel/motel, (10) office and multi-family are across North 97th Street. The commercial development on the north, south and east of the project site are auto-oriented uses and appear to have been established for some time. The residential to the west is a mix of traditional and contemporary structures. The traditional buildings are reflected most through pitched roofs forms and exterior building materials.

OPPORTUNITIES

The (06) multi-family development directly to the west and the (14) Aurora House located near North 105th Street appear to be the newest developments in the vicinity and offer the best guidance for addressing the neighborhood context in a more contemporary way. The buildings provide an urban scale with the use of modern materials, fresh colors, and architectural elements, and provide guidance for the redevelopment vision for the area.

CONTEXT ANALYSIS - ZONING

DPD #3020310 - 9701 Aurora Ave N.

SITE DATA:

Area:
61,542 sf / 1.41 AC

Address
9701 Aurora Ave North.
Seattle, WA

Parcel ID #:0306000570

Zoning

The site is located in the Aurora Licton Springs Urban Village.

Site Zoning: Commercial2-65 (C2-65).

Zoning south: Commercial2-65 (C2-65) and Low Rise 3 (LR3).

Zoning west: Low Rise 3 (LR3).

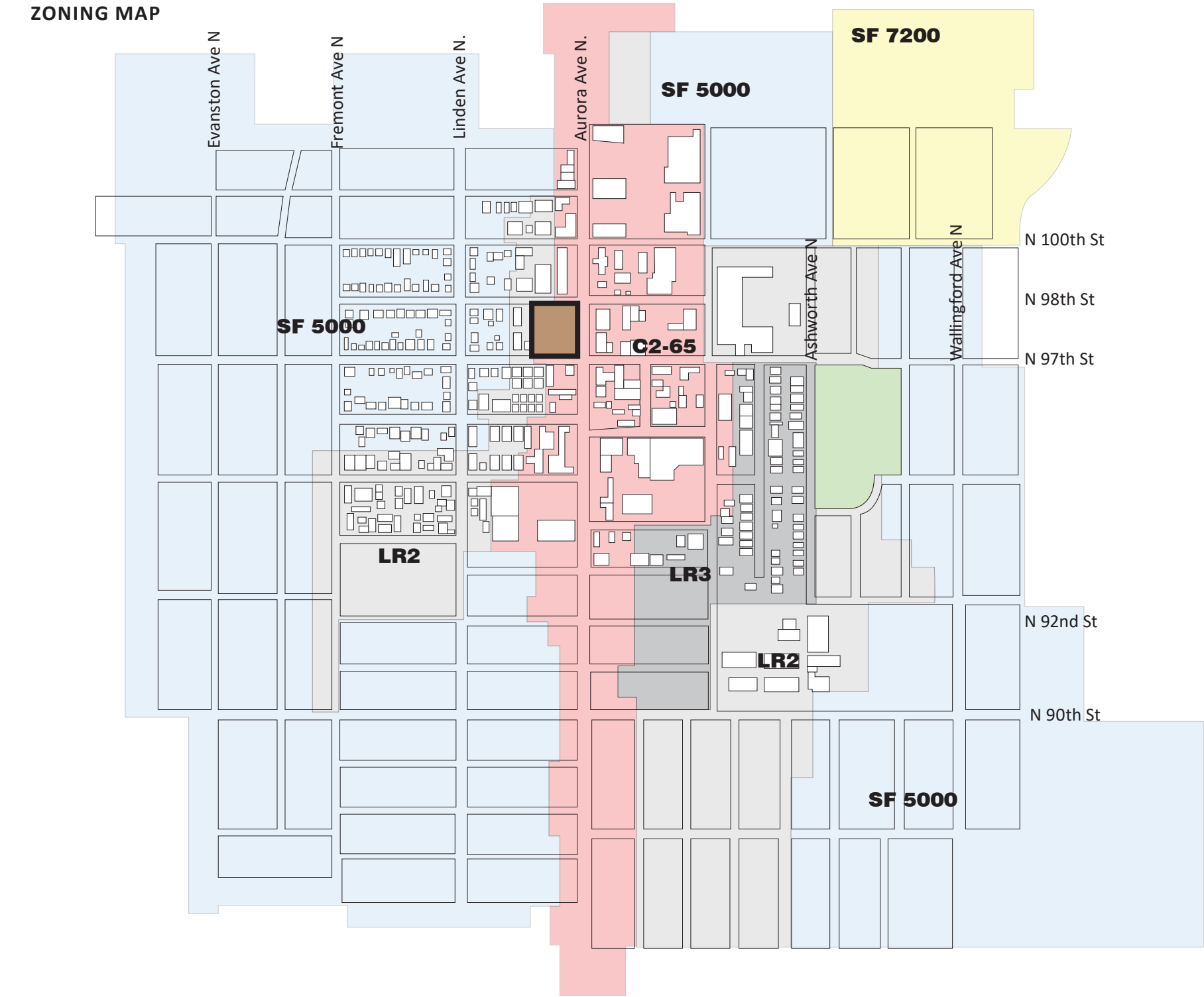
Zoning north: Commercial2-65 (C2-65) and Low Rise 3 (LR3).

Zoning east: Commercial2-65 (C2-65).

Aurora Ave North (Hwy 99) is a major arterial that runs north-south in front of the project site to the east. Aurora Ave North is a five (5) lane road and the main access way in the vicinity. North 98th and North 97th are two-lane streets that lead from Aurora Ave North to the residential areas to the west. Uses along these roads transition from commercial along Aurora Ave North to multi-family residential to detached single family residential.

Zoning in the area is primarily commercial along the core of Aurora Ave North and transitions to residential along the east and west street grids from Aurora Ave North.

ZONING MAP



LEGEND

- NC - Neighborhood Commercial
- LR - Lowrise
- C - Commerical
- SF - Single Family
- Vegetation/parkland

 Project Site



North

Scale: NTS

CONTEXT ANALYSIS - ZONING

DPD #3020310 - 9701 Aurora Ave N.

Project Site Zoning Zoning Adjacent to Project Site	9701 Aurora Ave North North South East West		C2-65 C2-65/LR3 C2-65/LR3 C2-65 LR3
Permitted Uses	23.47A.004		Storage Uses Retail Sales Caretaker’s quarters
Street-Level Uses	23.47A.005.B 23.47A.005.D.1		Mini-warehouses, warehouses, or utility uses may not abut a street-level, street-facing facade in a structure that contains more than one residential dwelling unit. Along designated principal pedestrian streets, one or more of the following uses are required along 80 percent of the street-level, street facing facade in accordance with the standards in 23.47A.008.C i. Offices, provided that no more than 30 feet of the street-level, street-facing facade of a structure may contain an office use; l. Retail sales and service; m. Sales and services, general.
Street Level Development Standards	23.47A.008.A.1 23.47A.008.2.b 23.47.008.3 23.47.008.B.2 23.47.008/B.3 23.47.008.B.4		Basic street-level requirements apply to structures in C zones and structures in C zones across the street from residential zones. Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width. Street-level, street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas or other landscaping is provided. 60% of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent. Non-residential uses shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level, street-facing facade. Non-residential uses at street level shall have a floor-to-floor height of at least 13 feet.
Structure Height	23.47A.012 DR 4-2012		Allowable structure height = 65 feet Structure height is measured from average grade in all zones. General rule allows two options for calculating building height.
FAR	23.47A.013 Table A 23.47A.013.D		FAR: 4.25 x 61,542 (site area) = 261,554 maximum gross building square footage. Gross floor area below grade is not counted toward FAR.
Setback Requirements	23.47A.014.B/Exhibit A 23.47.A.014.B.a 23.47A.014.F		A 15’ triangular setback is required where a lot abuts the intersection of a side and/or front lot line of a residential zone. A setback is required along any rear or side lot line that abuts a lot in a residential zone - 10’ for portions above 13’ in height to a max. of 65’. Access to a loading berth from the alley, and truck loading parallel to the alley, a setback of 12 feet is required.
Landscaping and Screening Standards	23.47A.016.A 23.47A.016.B 23.47A.016.D.1 23.47A.016.D.1.c 23.47A.016.D.3		Green Factor score of 0.3 or greater is required. Street trees are required. 20 or more parking spaces require parking lot landscaping. Surface parking abutting or across an alley from a residential zone must have 6 foot high screening and a 5 foot deep landscape area. Garbage dumpsters require 6 foot high screening minimum.
Parking Location and Access	23.47A.032.A.3 23.47A.032.A.1 23.47A.032.A.2		Access to off-street parking may be from a street, alley or both when the lot abuts an alley. Structures in C zones across the street from residential shall meet the requirements for parking access for NC zones. If access is not provided from an alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines. If access is not provided from an alley and the lot abuts two or more streets, access to parking shall be from a street that is not a principal pedestrian street.
Required Parking	23.54.015 Table A.J 23.54.015 Table B.D		No minimum parking required for non-residential uses within an urban center and within 1,320 feet of a street with frequent transit service. Caretaker’s quarters - 1 space per dwelling unit.
Parking Space Standards	23.54.030.B.2 23.54.030.D.2 23.54.030.D.3		When 11 to 19 parking spaces are provided a minimum of 25% shall be striped for small vehicles and a minimum of 35% shall be striped for large vehicles. The minimum width of driveways for two way traffic shall be 22 feet to a maximum of 25 feet. Maximum driveway slope is 15%.
Loading Berth Requirements	23.54.035 Table A 23.54.035.C		Mini-warehouse uses are classified as a “medium demand.” Medium demand uses of 160,001 to 264,000 square feet require three (3) loading berths. Each loading berth shall be not less than ten (10) feet in width and shall provide not less than fourteen (14) feet vertical clearance. Each loading berth shall be a minimum of thirty-five (35) feet in length, unless reduced by the Director.
Solid Waste	23.54.040 Table A		Non-residential uses - 200,001 square feet or more - a minimum area of 500 square feet of shared storage space is required.

The project site is located on Aurora Ave North which is designated as a Regional Connector. Regional connectors are principal arterials that link urban villages to each other and connect to regional destinations outside of the city. Regional connectors are designed to provide city-wide and regional access for transit, cars and truck trips. They also move high volumes of traffic through the city and between urban villages.

The majority of customers using the site will visit the Public Storage facility via automobile. However, employees may use public transportation to commute to work.

OPPORTUNITIES

Crossroads of zoning, street grids, and uses.

- The streets and pedestrian ways and access in the area are fully improved and functional. This network allows for multi-modal access to the various mix of commercial/retail uses and residential areas.
- North/South pedestrian crosswalks at both N. 97th St. and N. 98th St.

Frontage on Aurora Ave North

- High traffic volume
- Rapid Ride routes
- Pedestrian access

Transit stop

- Existing Rapid Ride stop at N. 95th St. and N. 100th St.

CONSTRAINTS

- Frontage, heavy traffic on Aurora Ave North
- Limited traffic movement at N. 98th St. allows for a right in, right out only.
- East/West pedestrian crossing for Aurora Ave N. currently limited and only at N. 100th St.



PROJECT SITE

TRANSIT:



RAPID RIDE ROUTE "E"

CURRENT STOPS:
N. 95TH ST.
N. 100TH ST.

PEDESTRIAN CONNECTIONS:



EXISTING CROSSWALKS AT N
100TH AND AURORA AVE N

Not to Scale

North

EXISTING SITE CONDITIONS - 9701 AURORA AVE NORTH

DPD #3020310 - 9701 Aurora Ave N.



FROM NE CORNER INTO SITE



FROM W PARKING LOT INTO SITE



FROM ACROSS AURORA AVE N FACING SITE

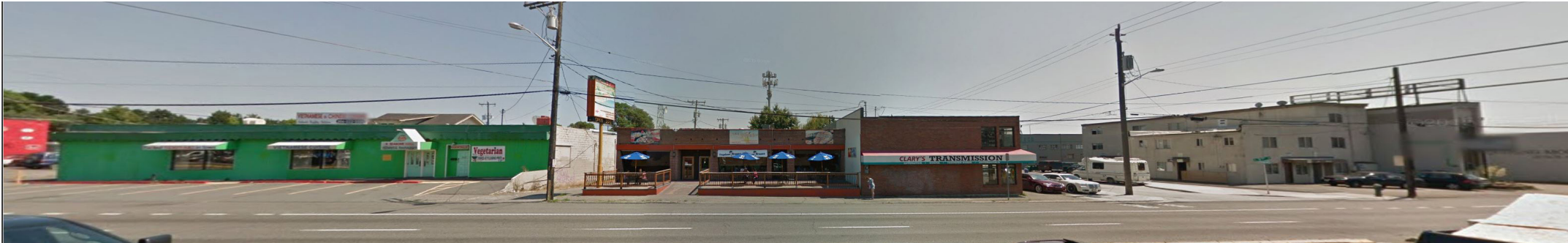


EXISTING SITE CONDITIONS - 9701 AURORA AVE NORTH

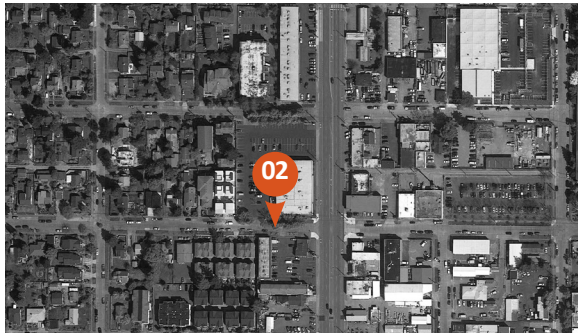
DPD #3020310 - 9701 Aurora Ave N.



FACING EAST



01



FACING SOUTH



02



FACING NORTH



03

EXISTING SITE CONDITIONS - 9701 AURORA AVE NORTH

DPD #3020310 - 9701 Aurora Ave N.

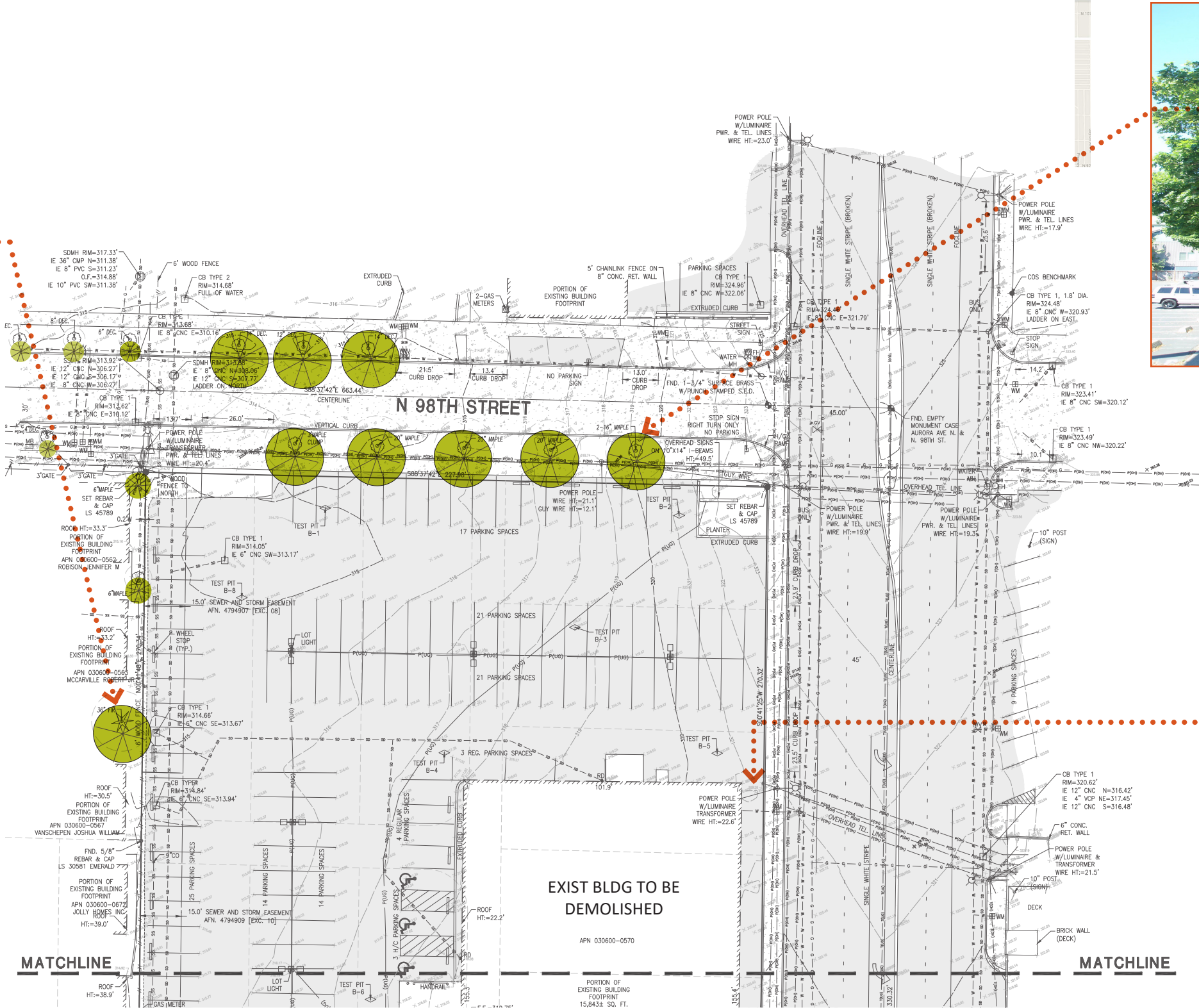


EXISTING SITE CONDITIONS - TREES AND UTILITIES

DPD #3020310 - 9701 Aurora Ave N.



EXCEPTIONAL FIR TREE, TO BE PRESERVED



SITE CONSTRAINTS

Overhead power along all three street frontages.

Mature trees along N. 97th St. and N. 98th St.

Exceptional tree located on the adjacent site to the west.

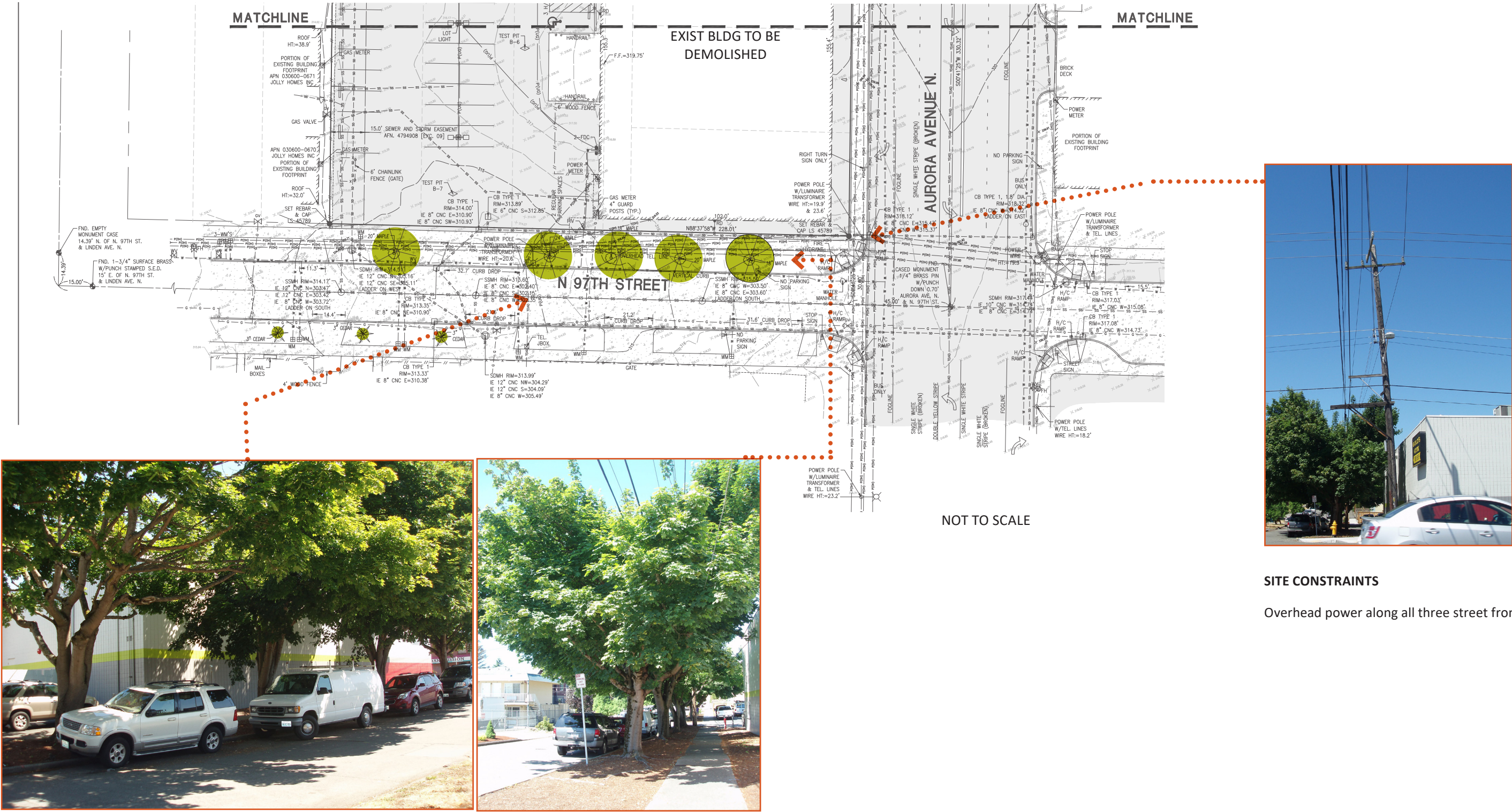
LEGEND

Existing Tree

Not to Scale North

EXISTING SITE CONDITIONS - TREES AND UTILITIES

DPD #3020310 - 9701 Aurora Ave N.



EXISTING MAPLE TREES

EXISTING MAPLE TREES

SITE CONSTRAINTS
Overhead power along all three street frontages.

LEGEND

Existing Tree

Not to Scale North

EXISTING SITE CONDITIONS - SITE SURVEY

DPD #3020310 - 9701 Aurora Ave N.

- A** Highest elevation on the site is at 323'
- B** Lowest elevation on the site is 314'

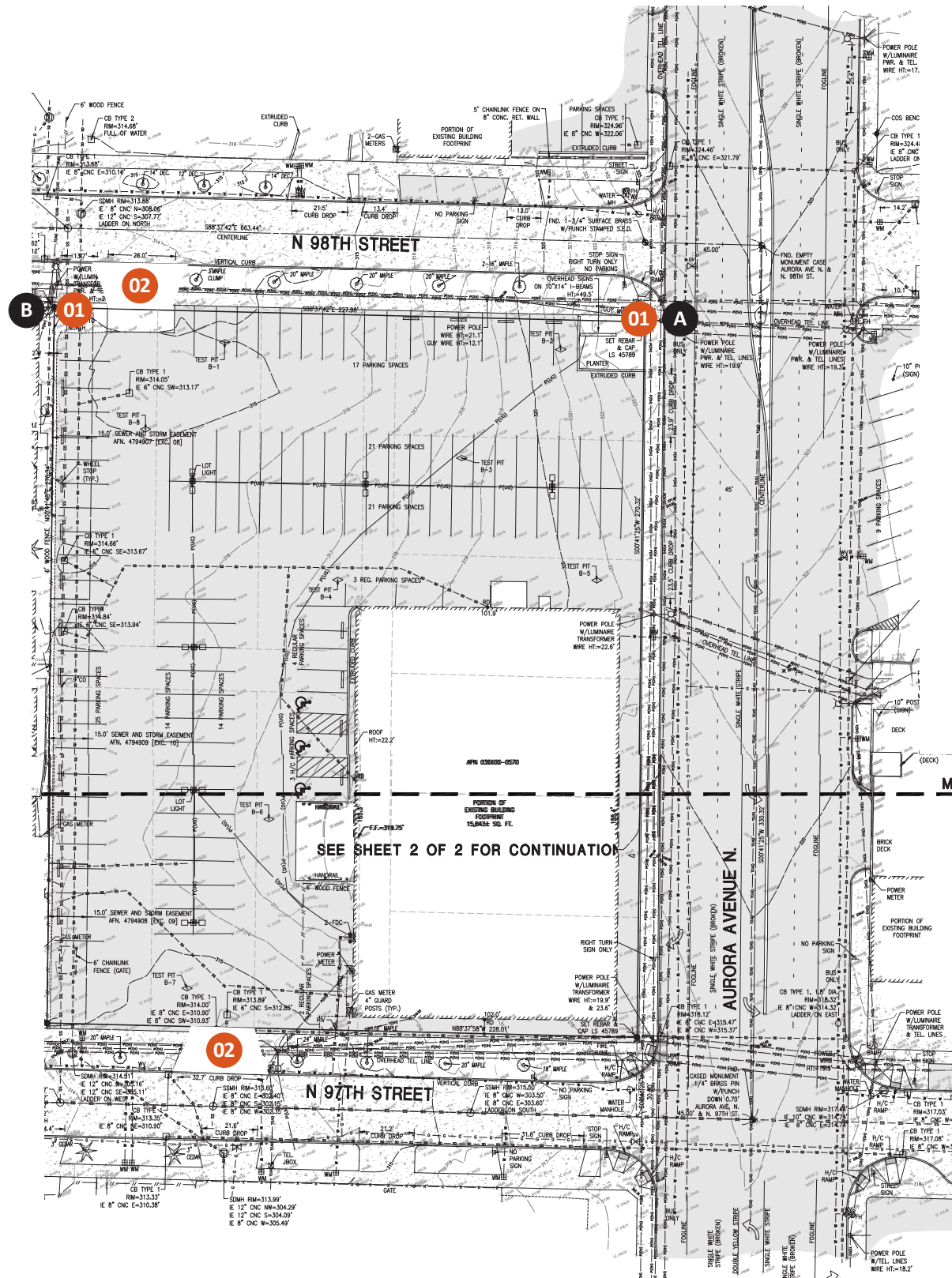
OPPORTUNITIES

Site slopes east to west from Aurora Ave North.

Building designed to take advantage of site topography with a portion of the first floor below the sidewalk grade.

CONSTRAINTS

- 01** Site slopes down approximately 8 feet from east to west along the northern portion of the site and 3 feet along the southern portion of the site.
- 02** The access points on North 97th St. and North 98th St. are not aligned.



EXISTING SITE CONDITIONS - SITE CONSTRAINTS

DPD #3020310 - 9701 Aurora Ave N.

SITE DIMENSIONS / SETBACKS / CLEARANCES

Site Dimensions:

- Length along north edge of parcel: 227.98'
- Length along south edge of parcel: 228.01'
- Length along west edge of parcel: 270.34'
- Length along east edge of parcels: 270.32'

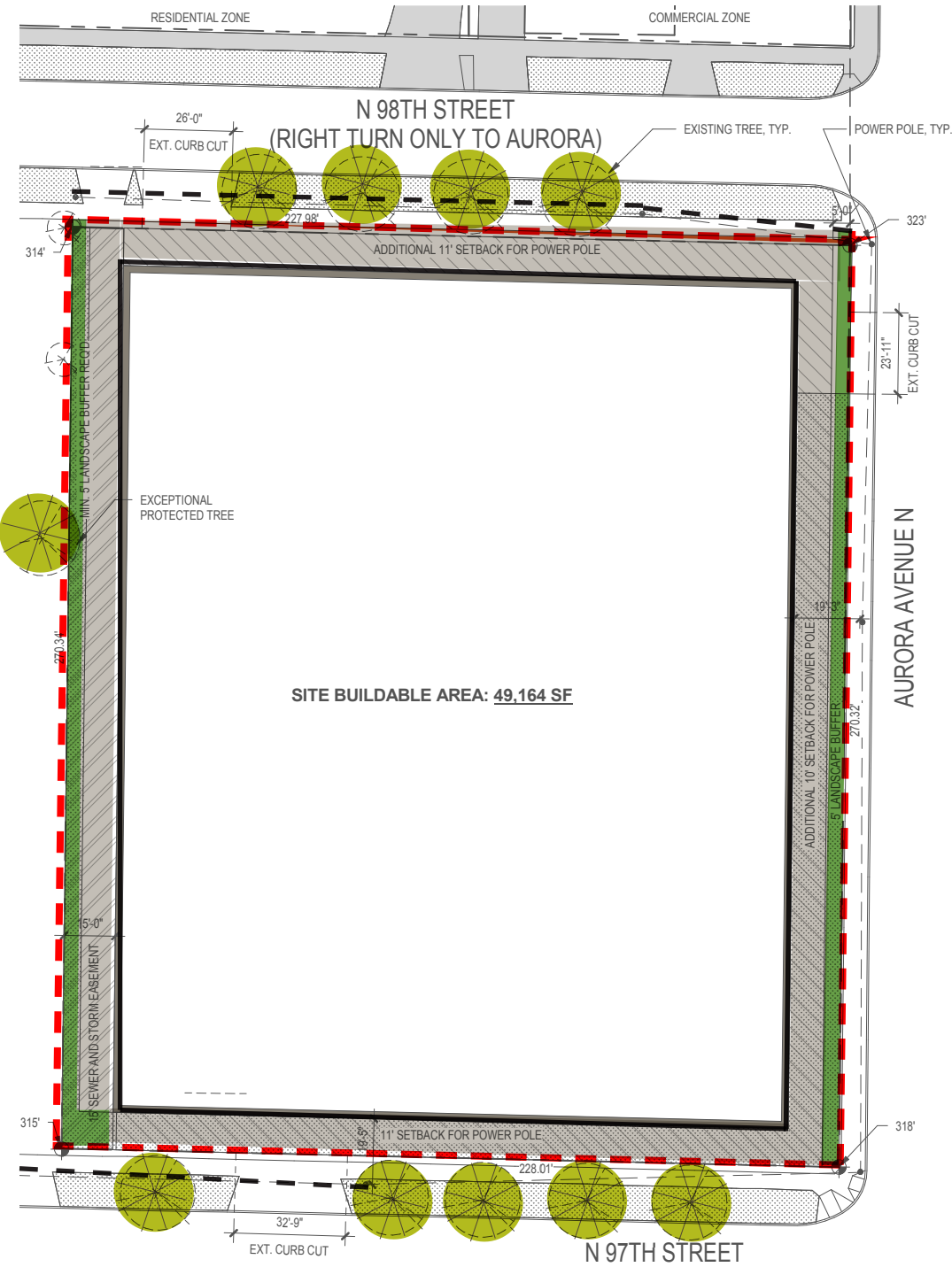
Setbacks:

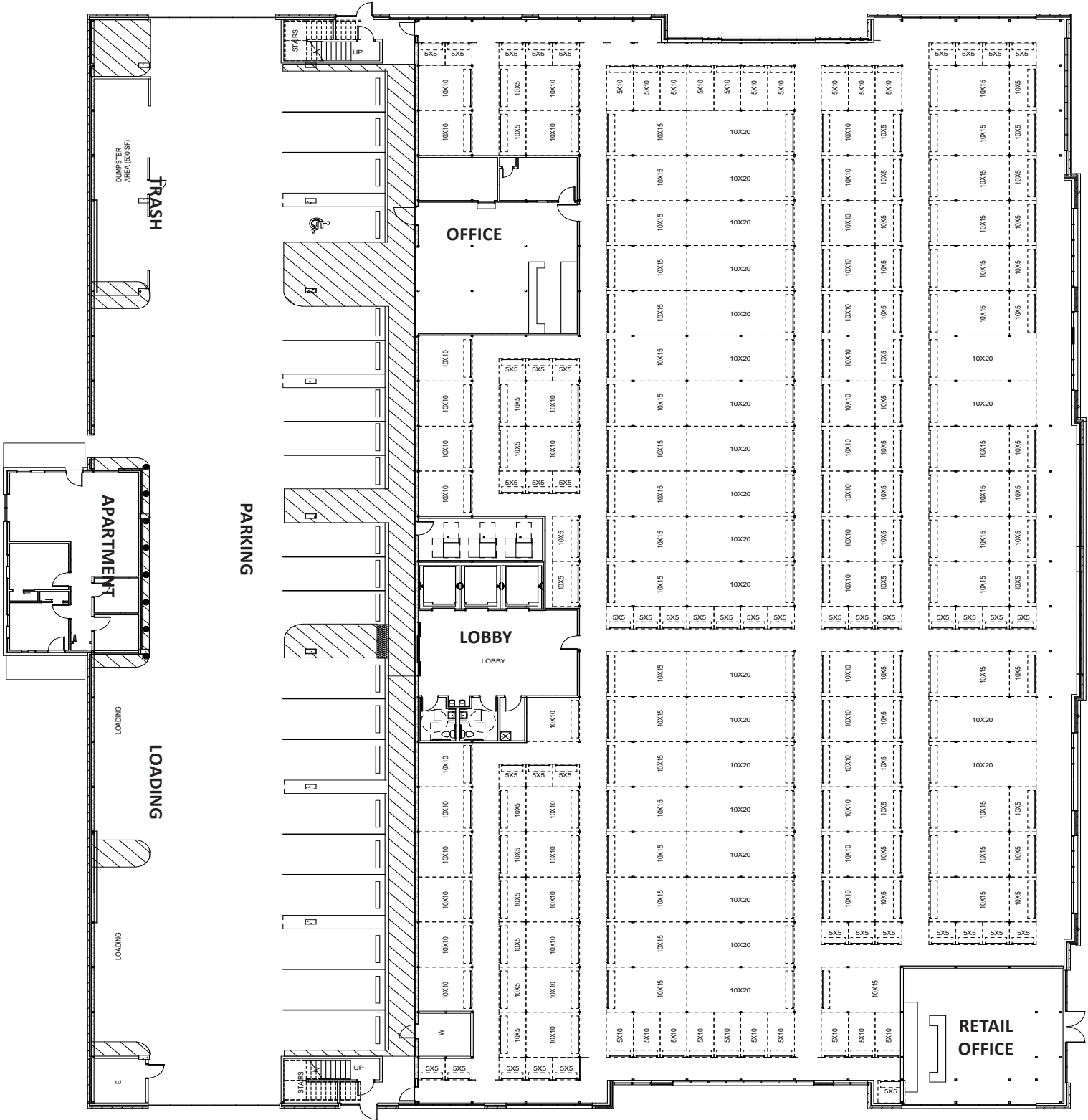
Per SCL, a minimum of fourteen (14) feet from the powerlines on the north, south and east.

A minimum of five (5) feet on the west.

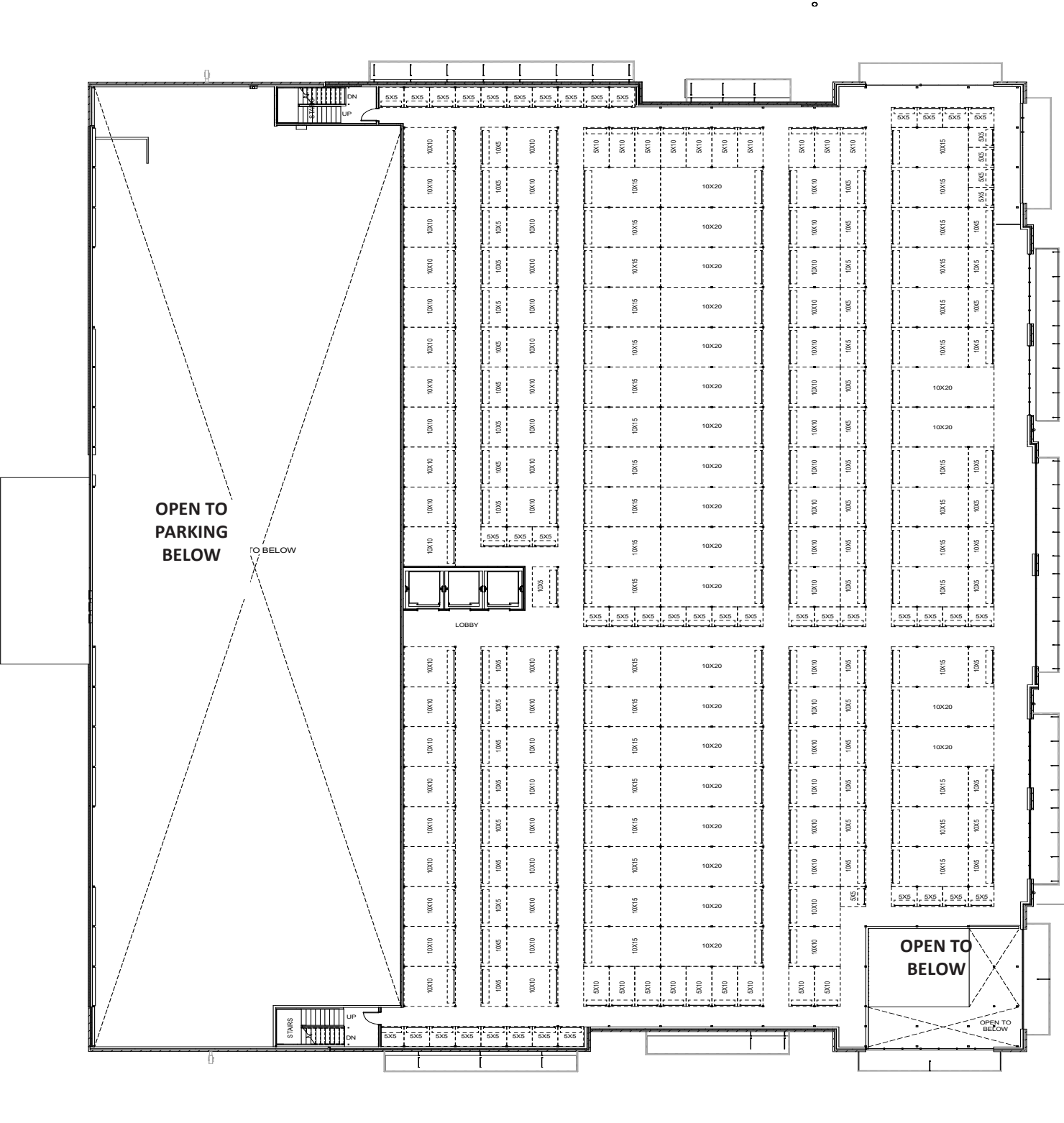
Clearances:

- SCL requires a minimum setback from the overhead powerlines of 14 feet.
- Protection of exceptional tree located on the adjacent parcel to the west.





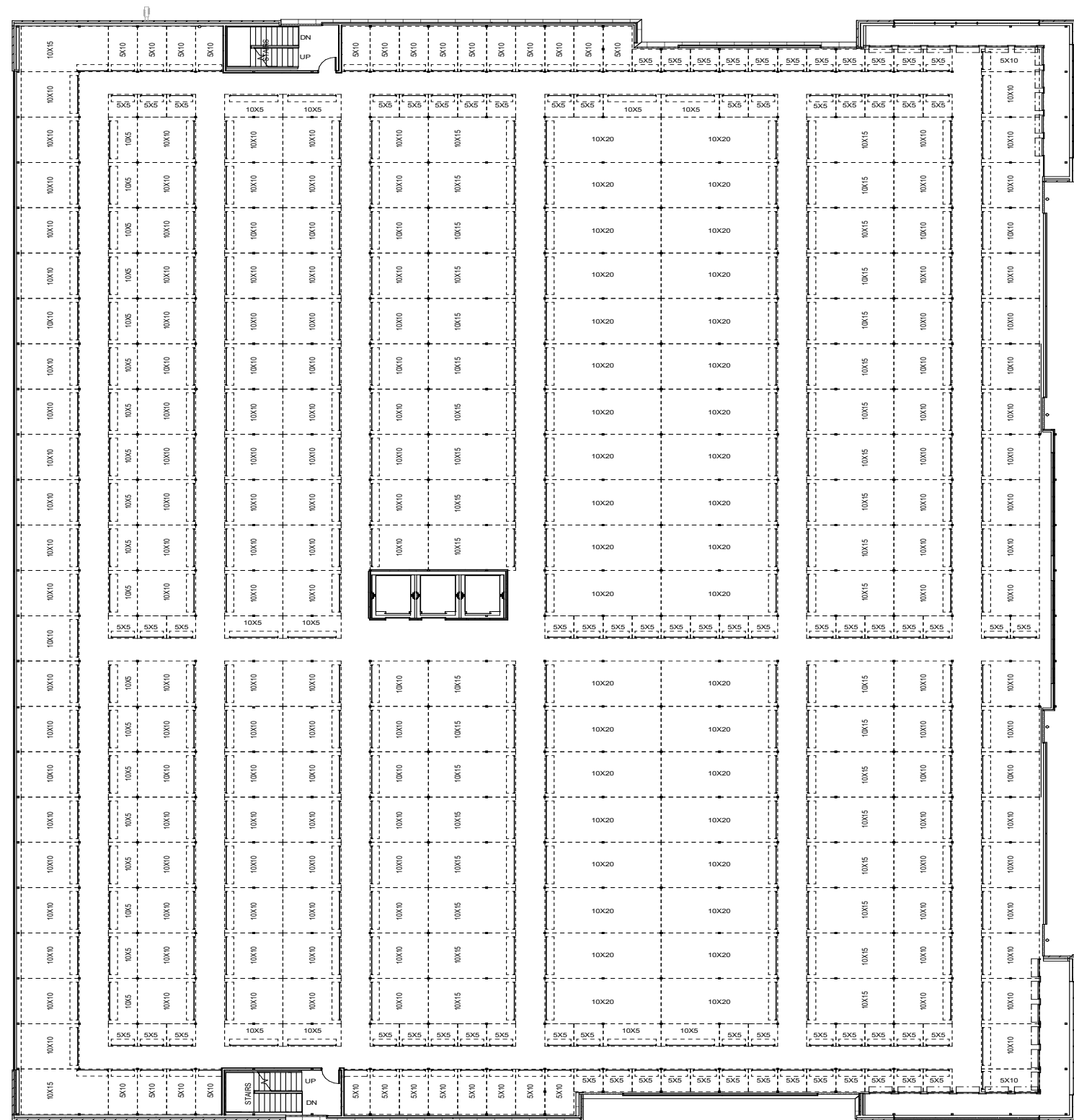
First Floor (Not to Scale)



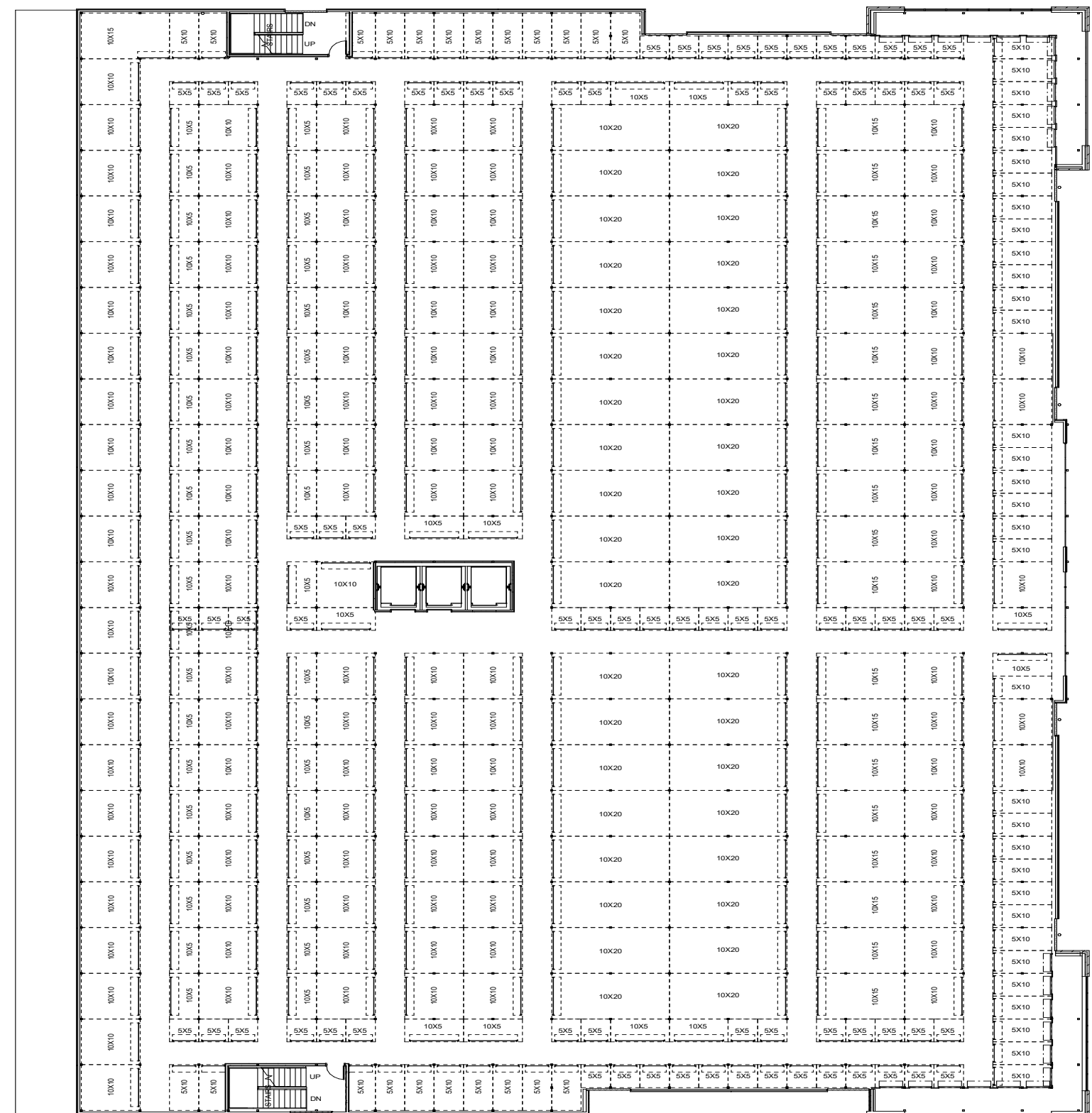
Second Floor (Not to Scale)

FLOOR PLANS

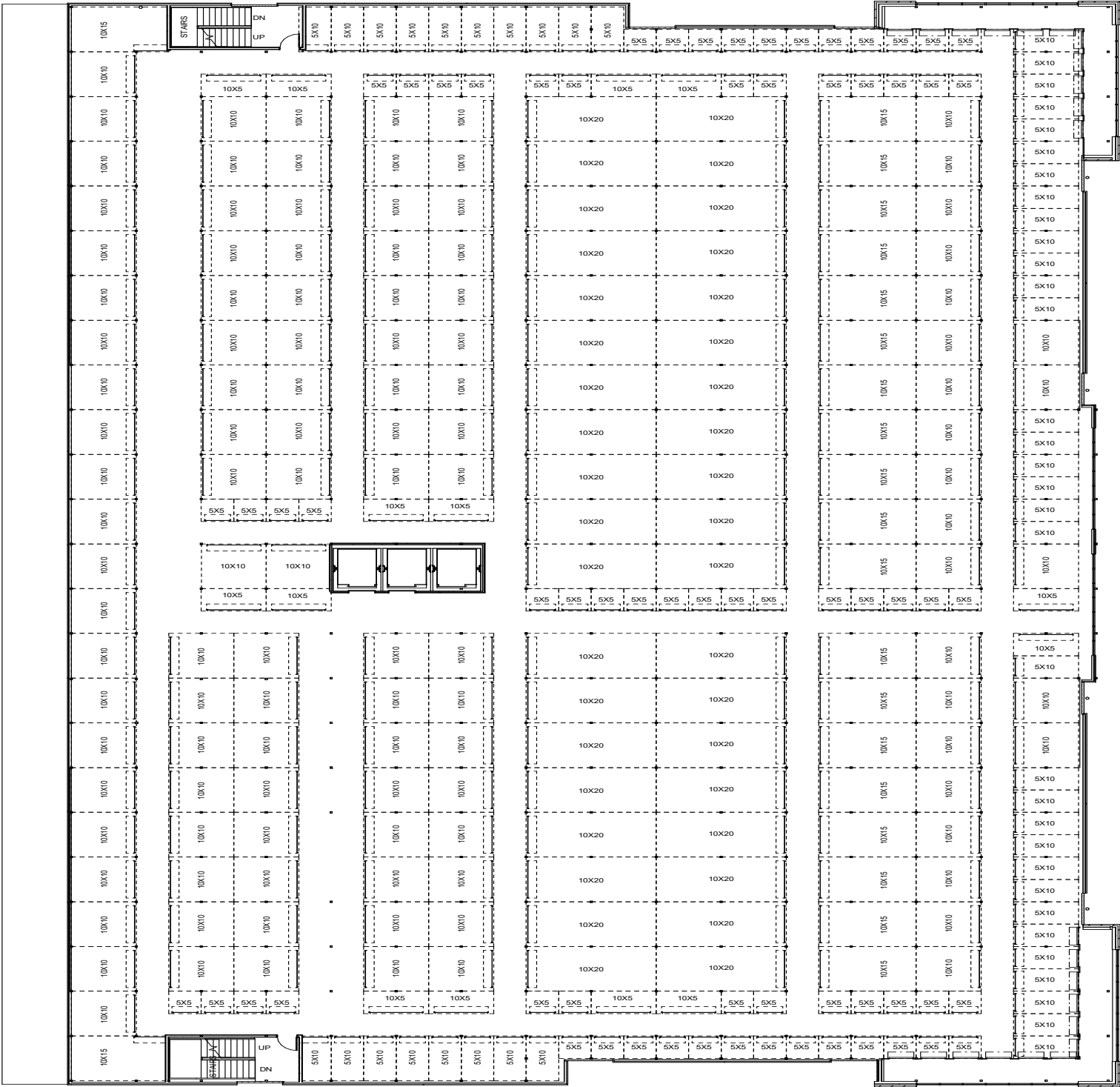
DPD #3020310 - 9701 Aurora Ave N.



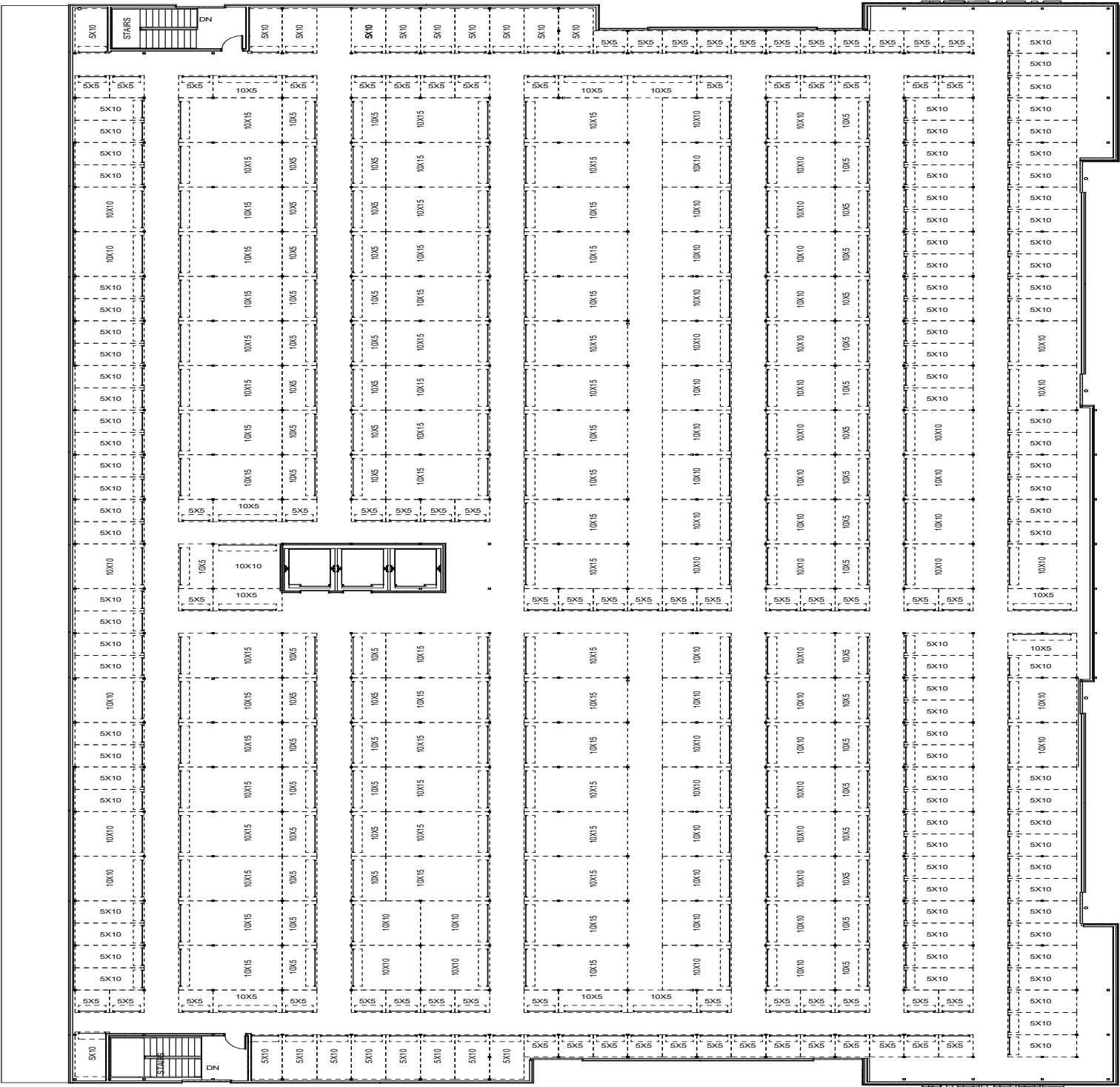
Third Floor (Not to Scale)



Fourth Floor (Not to Scale)



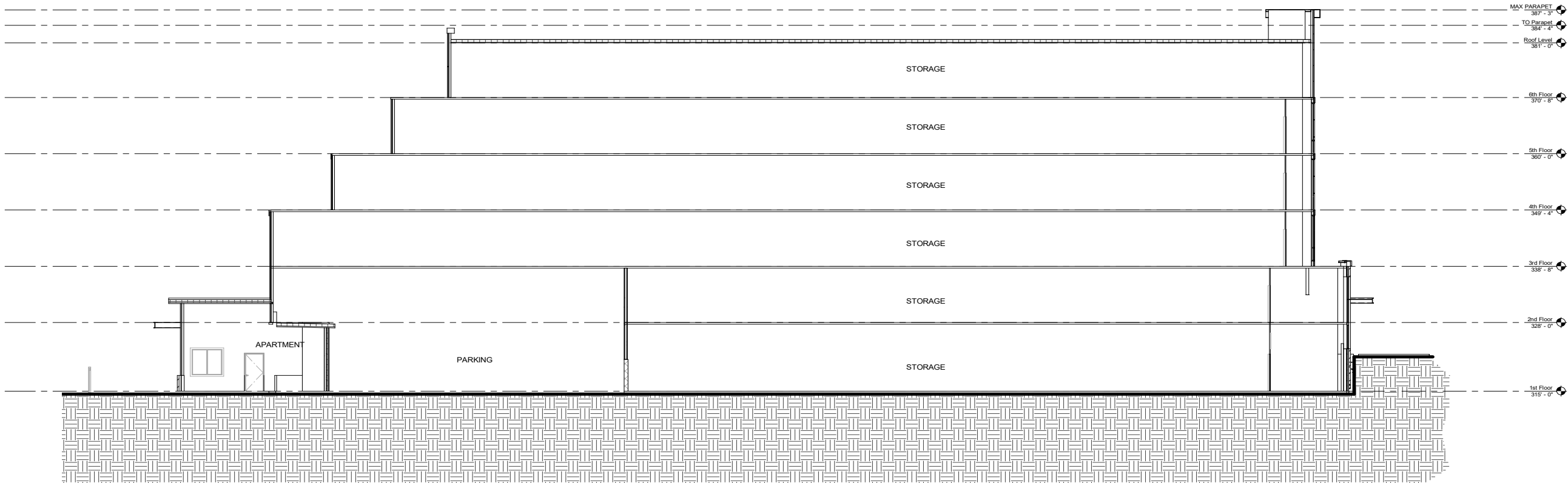
Fifth Floor (Not to Scale)



Sixth Floor (Not to Scale)

BUILDING SECTIONS - DIAGRAMATIC SECTION THROUGH THE BUILDING

DPD #3020310 - 9701 Aurora Ave N.



EAST-WEST SECTION: NOT TO SCALE



NORTH-SOUTH SECTION: NOT TO SCALE

CS2 URBAN PATTERN AND FORM

B. Adjacent Sites, Streets, and Open Spaces

1. Site Characteristics. Allow characteristics of sites to inform the design, especially where the street grid and topography create unusually shaped lots that can add distinct to the building massing.
2. Connect to the Street. Identify opportunities for the project to make a strong connection to the street and consider how the building interacts with the public realm.

Response: The project site is located between N. 97th Street and N. 98th Street along Aurora Ave N. The site slopes east to west with an elevation difference of approximately nine (9) feet from the NE corner to the NW corner and approximately three (3) feet from the SE corner to the SW corner. The building has been designed to take advantage of the sloping site with a portion of the first floor along Aurora Ave N. and N. 98th St. below grade.

The building has been located near the east property line to provide a strong connection to Aurora Ave N. The facades of the building along Aurora Ave N, N. 97th St. and N. 98th St. will include transparent, pedestrian level windows that allow views into and out of the building. The retail office, located at the southeast corner will provide a pedestrian access directly from the sidewalk. Additional pedestrian access will be provided on the north and south sides of the building near the vehicle access.

C. Relationship to the Block

1. Corner Sites. Corner sites can serve as gateways or focal points; both require careful detailing at the first three floors due to their high visibility from two or more streets and long distances.
3. Full Block Sites. Break up long facades of full-block building to avoid a monolithic presence. Provide detail and human scale at street-level, and include repeating elements to add variety and rhythm to the facade and overall building design.

Response: The project site extends the full block width. The mitigate the effects of the building mass, the building has been designed to include elements at the pedestrian level such as large storefront windows, canopies and landscaping and the overall design of the building includes various architectural treatments including modulation of the footprint, upper level stepbacks and color and material changes. These elements work together to break up the overall facade and help reduce the overall scale of the building.

D. Height, Bulk and Scale

1. Existing Development and Zoning. Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.
3. Zone Transitions. For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Projects should create a step in perceived height, bulk, and scale between the anticipated development potential of the adjacent zone and the proposed development.
4. Massing Choices. Strive for a successful transition between zones where a project abuts a less intense zone.
5. Respect for Adjacent Streets. Respect adjacent properties with design and site planning to minimize disrupting the privacy of residents in adjacent buildings.

Response: The site is surrounded by commercial on the north, south and east and residential to the west. There is a four-story multi-family building to the north, a two-story motel to the south and three-story residential buildings adjacent to the site on the west. The majority of the buildings along Aurora Ave N. are single or two-story commercial buildings. However, recent develop in the area includes buildings greater than two stories.

The proposed Public Storage building will be a six (6) stories with a maximum building height of 65 feet. The building has been designed with transparent, pedestrian level storefront windows and canopies along the north, south and east facades, building stepbacks on the west and east facades, material and color changes and upper level transparent windows on the east facade and northeast and southeast portions of the north and south facades. Large storefront windows have been provided at the retail office on the southeast corner. A large environment graphic has been provided on the west facade to further breakup the large expanse of building wall and provide interest to the adjacent residential to the west and the neighborhood. These elements, along with color and material changes breakup the mass of the building and work in concert to mitigate the perceived mass and scale of the building.

PL2 WALKABILITY

B. Safety and Security

3. Street-Level Transparency. Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

Response: Sidewalks exist along the north, south and east property lines of the project site. The project proposes to replace the existing sidewalk along Aurora Ave N. with a wider sidewalk of approximately 15 feet with a 5 foot - 5 inch planter strip between the sidewalk and the street. The sidewalks along the north and south of the project site will be replaced and enhanced landscaping will be provided. Transparent storefront windows at the pedestrian level will be included along each of these facades that will allow pedestrians and passersby views into active spaces within the building and will provide opportunities for informal surveillance of the exterior by the users of the facility.

C. Weather Protection.

1. Locations and Coverage. Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activity such as entries, retail uses, and transit stops.
3. People-Friendly Spaces. Create an artful and people-friendly space beneath building canopies by using human-scale architectural elements and a pattern of forms and/or textures at intervals along the facade.

Response: High voltage power lines exists along the north, south and east property lines of the parcel. To mitigate this condition the sidewalk will be expanded to the building face on the east side of the building to approximately 15 feet. Canopies along east facade will provide pedestians effective weather protection. Canopies along the north and south sides of the building have also been provided.

D. Wayfinding.

1. Design as Wayfinding. Use design features as a means of wayfinding wherever possible, and provide clear directional signage where needed.

Response: The site will use wayfinding methods to direct customers and users of the facility to the site access points on both N. 97th Street and N. 98th Street and to the retail office at the southeast corner of the building.

PL3 STREET-LEVEL INTERACTION

A. Entries

1. Design Objectives. Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street.

Response: The pedestrian entrance to the retail office will be located at sidewalk level on the southeast corner and will be signified by a canopy and signage. A sidewalk will connect pedestrians to the building entrance points on the north and south. An additional customer entrance will be provided within the building from the parking area. To direct vehicular traffic into the site, blade signs will be provided over the vehicle entrances on the north and south facades.

C. Retail Uses.

2. Visibility. Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays.

Response: The north, south and east facades of the building will be the most visible to pedestrians and passersby. These facades have been designed to include transparent windows at the pedestrian level that will provide views into and out of active spaces within the building.

DC1 PROJECT USES AND ACTIVITIES

B. Vehicular Access and Circulation.

1. Access Location and Design. Choose locations for vehicular access, service uses, and delivery areas that minimize conflict between vehicles and non-motorists wherever possible. Emphasize use of the sidewalk for pedestrians, and create safe and attractive conditions for pedestrians, bicyclists, and drivers.

Response: Vehicular access to the site will be from both N. 97th Street and N. 98th Street and parking for the facility will be located within the building. The location of the vehicular access provides the least impact to pedestrians, bicyclists and other motorists.

DC1 PROJECT USES AND ACTIVITIES (cont.)

C. Parking and Service Uses.

2. Visual Impacts. Reduce the visual impacts of parking lots, parking structures, entrances, and related signs and equipment as much as possible.

Response: The project will locate facility parking and loading areas within the building. Locating the parking within the building will minimize views of this area from adjacent streets and residential. The building has been located 30 feet from the west property line and the manager’s apartment has been located to this area for added security. The landscape plan has been updated to reduce the level of vegetation and will include grass along with shrubs and trees.

DC2 ARCHITECTURAL CONCEPT

B. Architectural and Facade Composition.

1. Facade Composition. Design all building facades - including alleys and visible roofs - considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned.

2. Blank Walls. Avoid large blank walls along visible facades wherever possible. Where expanses of blank walls, retaining walls, or garage facades are unavoidable, include uses or design treatments at the street level that have human scale and are designed for pedestrians.

Response: The building has been designed to include architectural treatments that break up the overall mass and scale of the building and minimize long expanses of blank walls. The pedestrian level facades on the north, south and east facades will include transparent windows that will allow views into spaces within the building, canopies for weather protection, pedestrian level lighting, and landscaping. Proposed material changes and changes in plane will add to the design and provide interest. An environmental has been proposed on the west facade to provide interest and mitigate the large expanse of blank wall.

C. Secondary Architectural Features.

1. Visual Depth and Interest. Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the facade design. Add detailing at the street level in order to create interest for the pedestrian and encourage active street life and window shopping (in retail areas).

Response: Canopies, transparent windows, and landscaping will be included in the design of the building on the north, south, and east facades. These treatments along with modulation, articulation and material changes will create a design that is interesting to those passing by the facility.

D. Scale and Texture.

1. Human Scale. Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.

Response: Architectural elements and features will be included in the design to create an overall architectural theme that is consistent on the entire building.

DC4 EXTERIOR ELEMENTS AND FINISHES

A. Building Materials.

1. Exterior Finish Materials. Building exteriors should be constructed of durable and maintainable materials that are attractive

even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Response: Materials used on the building will be durable and will include a variety of textures and profiles.

DC4 EXTERIOR ELEMENTS AND FINISHES (cont.)

B. Signage.

1. Scale and Character. Add interest to the streetscape with exterior signs and attachments that are appropriate in scale and character to the project and its environs.

Response: Signage will be used to add interest to the building and a mechanism for wayfinding. Site signs will be used and the design will be consistent with that of the building. Sign information has been provided and can be found on page 55.

2. Coordination with Project Design. Develop a signage plan within the context of architectural an open space concepts, and coordinate the details with facade design, lighting, and other project features to complement the project as a whole, in addition to the surrounding context.

Response: The overall exterior sign plan has been designed and is consistent with the overall theme of the building and surrounding context of the area and is compliant with the Seattle Land Use Code.

C. Lighting.

1. Functions. Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as entries, signs, canopies, planting, and art.

2. Avoiding Glare. Design project lighting based upon the uses on and off-site, taking care to provide illumination to serve building needs while avoiding off-site night glare and light pollution.

Response: Lighting for the site and building has been designed to be consistent with the overall theme of the buiding and site and will avoid off-site glare and light trespass. Pedestrian level lighting will be provided on the north, south and east sides of the building for facade enhancement and increased site safety for pedestrians, customers and employees.

PUBLIC COMMENT RESPONSE

DPD #3020310 - 9701 Aurora Ave N.

Below are responses to the concerns expressed by the general public at the September 28, 2015 EDG meeting.

Public Comment: Preferred vehicular access from Aurora.

Response: The existing access off of Aurora is less than 150 feet from the intersection of N. 98th Street and Aurora Ave N. For safety reasons and to minimize the impact to pedestrians and other vehicles, the access off Aurora will be elminated.

Public Comment: Noted there is a bus lane on Aurora.

Response: Yes, there is a bus lane on the west side of Aurora Ave N. that currently serves public transportation including Rapid Ride. There is a Rapid Ride stop at N. 100th St.

Public Comment: Concerned about a concrete wall or parking lot adjacent to the west property line.

Response: The preferred concept has been designed to encompass the parking and drive-isle, therefore, mitigating the impacts of surface parking to the residence along the west property line. The building wall along the west property line has been stepped in order to break-up the building and provide relief to the mass. Additionally, a 30-foot setback has been included along the west side of the Public Storage parcel and the setback will be planted with a variety of trees, shrubs, and grass.

Public Comment: Concerned about the noise from a gate at the parking lot entrance.

Reponse: The building has been redesigned to include the parking within the building. Roll-up doors will be used at the north and south vehicle accesses. The roll-up doors will remain open during normal business hours.

Public Comment: Concerned about noise from large trucks entering the site.

Response: Vehicle access will be from both N. 97th Street and N. 98th Street. The building has been redesigned so that vehicles, including trucks, will drive into the building, mitigating their potential impacts to the residents to the west.

Public Comment: Concerned about the hours of operation (approximately 9AM - 6PM) will not facilitate a vibrant, thriving community.

Response: It is anticipated the retail office hours of operation will be 9AM - 6PM daily. However, there will be a manager’s onsite 24 hours a day, 7 days a week and Public Storage customers may have access to the location 24 hours a day, 7 days a week. The proposed hours of operation are not uncommon for other uses, including retail, office or general business.

Public Comment: Concerned about the height of the structure.

Response: City code allows a maximum building height of 65 feet in the C2-65 zone, regardless of use. The proposed height of the Public Storage will not exceed what is allowed by City code. The building has been redesigned to include step backs on the west side to provide relief and breakup the building.

Public Comment: Preferred a different use at this location.

Response: City code outright permits self-storage in the C2-65 zone.

Public Comment: Noted the neighborhood experiences crime, traffic, etc.

Response: Public Storage is sympathetic to the concerns of the neighborhood residents. The proposed Public Storage facility is a redevelopment of an outdated site and looks to enhance the neighborhood by providing a building that includes an urban design with updated materials, colors and pedestrian friendly amenities.

Public Comment: Advocated for a better community.

Response: Public Storage is proposing a building that will include an urban design along with durable materials, updated colors and pedestrian friendly materials. The project also proposes to enhance the streetscape along Aurora Ave N. with landscaping, pedestrian level lighting and weather protection. These enhancements will contribute to redevelopment of the area and improvements to the surrounding community.

Public Comment: Concerned about losing the existing gym on site.

Response: The owner(s) of Gold’s Gym made a business decision to sell the property. The decision to sell the property is beyond the control of the applicant and the community.

Public Comment: Suggested commercial uses at ground level with units above. Encouraged uses such as cafes.

Response: The proposed self-storage use is allowed outright by City code. The building has been designed to provide transparency along Aurora Ave N. that will allow pedestrians and passersby views into active spaces within the building.

Public Comment: Noted that N. 97th and 98th streets are parked at capacity.

Response: Parking for the proposed Public Storage building will be onsite and within the building.

Public Comment: Noted difficulty in turning left onto N. 98th from Aurora.

Response: Traffic movement at Aurora Ave N. and N. 98th Street is limited to a right-in, right-out only, left turn movements are not permitted at this location.

Comment: Suggested a design that increases safety for pedestrians.

Response: The building has been redesigned to include views into active spaces along Aurora Ave N., this will also allow for informal surveillance of exterior spaces. In addition, the project proposes pedestrian enhancements of a widened sidewalk, pedestrian level lighting, weather protection and landscaping along the street frontages. These enhancements will improve the pedestrian experience in this area.

Comment: Noted that a bus stop at this location will be dangerous with no pedestrian traffic from this site.

Response: There currently is no transit stop in front of the subject property. The closest transit stop is located at N. 100th Street and Aurora Ave N.

FIRST EARLY DESIGN GUIDANCE - BOARD RECOMMENDATIONS AND PRIORITIES

DPD #3020310 - 9701 Aurora Ave N.

Below are responses to the guidance provided by the Design Review Board at the September 28, 2015 EDG meeting.

1. Site Planning and Public Realm. This full block site is located within the Aurora-Licton Springs Residential Urban Village and has street frontage on three sides.

a. The Board agreed this is an important corner in the neighborhood, and should be designed to be outward looking. Transparency at the ground level is important, particularly along Aurora. The Board recommended maximizing visibility into the building interior along Aurora. (CS3-A, PL3-C)

Response: The building facade along Aurora Ave North has been designed to include transparent, storefront windows along the entire length of the building and the internal layout of the building has been designed in a manner that locates the corridor along the exterior wall. This will provide pedestrians with views into the first and second floor and will provide customers and employees views to the exterior. The north and south facades of the building also include transparent windows, allowing pedestrians, customers and employees views into and out of the building.

CS3-A Emphasizing Positive Neighborhood Attrigutes

CS3-A-1. Fitting Old and New Together: Create compatibility between new projects, and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing, fenestration, and/or the use of complementary materials.

Response: The buildings within the area of the subject site consists of a mix of building types and styles including single-story, single family residences, multi-story, multi-family buildings and commercial buildings. The style of these buildings are eclectic and consist of typical sloping roofs and traditional design to flat and single sloping roofs and more modern design. The variety of building materials include lap siding, metal panel siding, concrete, brick veneer, and stucco/EIFS. The mix of materials, styles and types indicates an area built over time and one that is currently in transition.

The Public Storage building has been designed similar to other commercial buildings and multi-story buildings found in this area but includes materials found on multi-family buildings such as metal panels, EIFS and brick. The building will be six (6) stories and has been designed to include shapes and forms similar to the buildings found in the area.

The east facade fronts Aurora Ave N. (Hwy 99). Due to the predominately commercial uses along this frontage the building appearance is primarily commercial in design. Because the neighborhood transitions from commercial to residential along both N. 97th Street and N. 98th Street, the Public Storage building has been designed with no windows on the upper floors and the west elevation has been stepped to further enforce the transition from a six (6) story building to three (3) stories. In addition, the manager’s apartment has been located on the west side of the building to assist with the transition from commercial to residential.

PL3-C Retail Edges

PL3-C-2 Visibility: Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays.

Response: The north, south and east facades include transparent doors and windows that will allow views into the building interior. The retail office has been located on the southeast corner of the building and provides a pedestrian entrance into the space. This space will be a two-story space that will allow ample natural light in and provide clear views to the outside. The lighting in the interior corridors will highlight the internal spaces at night.

b. Active uses at ground level along Aurora were strongly encouraged. The Board recommended exploration of including uses (other than storage units) at the ground level. (CS2-B, PL3-C)

Response: The retail office has been located in the southeast corner of the building and provide activity at this location. The transparency at the pedestrian level will provide views into and out of the internal spaces which includes the corridors and storage units. These areas will be activated by customers and employees who use these spaces.

CS2-B Adjacent Sites, Streets, and Open Space

CS2-B-2. Connection to the Street: Identify opportunities for the project to make a strong connection to the street and public

realm.

Response: The sidewalk along Aurora Ave N. will be widened and the building stepped to bring the building as close to the street as feasible. The location of the building along with the enhanced pedestrian area will provide a stronger connection than currently exists. A wide pedestrian area will be created at the southeast corner and retail office location. This area will be enhanced with canopies, landscaping and large storefront windows and doors. The sidewalk along both N. 97th Street and N. 98th Street will be replaced with new sidewalks and landscaping will be added on both side of the sidewalk that will tie this area together and improve the pedestrian experience.

PL3-C Retail Edges

PL3-C-2 Visibility: Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays.

Response: At the guidance of the Board, Public Storage has located the retail office on the southeast corner of the building. Customers will be able to easily access this space directly from the sidewalk on Aurora Ave N. or N. 97th Street. The large storefront windows and doors will provide clear views into and out of the space.

c. The preferred option pulls the structure away from the residential development to the west. This site planning concept was supported by the Board; however, the surface parking adjacent the west property line was not preferable due to concerns about impacts to residents. The Board recommended exploration of placing parking within the structure. A drive-through circulation method was suggested. (CS2-D)

Response: The Public Storage has been designed with all the on-site parking within the building. Access to the parking will be from either N. 97th Street or N. 98th Street. Internalizing the parking will minimize the noise and lights from cars and trucks using the facility.

CS2-D Height, Bulk and Scale

CS2-D-1. Existing Development and Zoning: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.

Response: The scale of the neighboring buildings was considered during the design process. The residential units directly to the west are three (3) story and the buildings to the north and south range from two (2) to four (4) stories in height. The residential units directly to the west were constructed approximately five (5) feet from the property line with a six (6) foot solid wood fence separating the existing commercial property from the residential properties. The height of the proposed Public Storage building is set at 3-stories (approximately 35 feet) on the west side, closely matching the massing of the adjacent residential properties. Beginning at the top of the third floor, the building steps at 10 foot increments vertically and horizontally toward the east to create an effective transition from the residential to commercial scale. In addition, the manager’s apartment has been located on the western edge of the building to further strengthen this transition and provide security in this area.

CS2-D-2. Existing Site Features: Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.

Response: Given the commercial core is along Aurora Ave N., the Public Storage building has been placed along the eastern property line and away from the residential zone to the west. A thirty (30) foot building setback on the west side allows for the manager’s apartment to be located on this side of the building. This area has also been carefully landscaped with select trees, shrubs and grass, as well as a protection zone for the significant tree located in this area. The placement of the Public Storage building, manager’s apartment and landscaping will minimize the effects of the development on neighboring properties and allow a better transition from commercial to residential.

CS2-D-3. Zone Transitions: For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Project should create a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development.

Response: The Public Storage site and building has been designed in a manner that allows the commercial zone of C2-65 to transition to LR3. Newer residential development to the north, south and west include multi-story, higher density residential of three (3) and four (4) stories. These developments appear to maximize their sites by providing little or no setbacks from property lines. To minimize the impact of the Public Storage development on the residential developments, the building has located along Aurora Ave N. with a 30-foot setback to the west property line. In addition, the building is stepped, beginning at the third floor, away from the west. The 30-foot setback will be landscaped with selected plantings that allow views into this area, along with acting as the backyard for the manager’s apartment.

CS2-D-4. Massing Choices: Strive for a successful transition between zones where a project abuts a less intense zone.

Response: The Public Storage building has been designed to minimize the impact to the residential zone to the west. Steps in the building, colors, materials, environmental graphics and landscaping mitigate the potential impacts.

CS2-D-5. Respect for Adjacent Sites: Respect adjacent properties with design and site planning to minimize disrupting the privacy of residents in adjacent buildings.

Response: The residential units to the west are located approximately five (5) feet from the property line. The Public Storage building has been placed 30 feet from the west property line and this area will include the manager’s apartment and landscaping. Along with the 30 foot setback, the Public Storage building steps away from the west property line beginning at the third floor. With the exception of the manager’s apartment, windows have been omitted from the west facade. The proposed site layout and landscaping minimize the impact on the privacy of the residents to the west. Windows have been limited to the pedestrian level on the north and south sides of the building and significant landscaping is planned for these areas. The design and layout of the north and south sides of the development will minimize the disruption to residents across both N. 97th Street and N. 98th Street.

d. The main pedestrian entry to the structure is proposed on the west elevation, accessed via the surface parking lot. The Board agreed the main pedestrian entry should instead be on Aurora with the intent of activating the street. (PL3-A)

Response: The retail office will be located in the southeast corner of the building and access to this space will be from the sidewalk on both Aurora Ave N. and N. 97th Street.

PL3-A Entries; PL3-A-1. Design Objectives: Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street.

Response: The retail office, located at the southeast corner of the building, will include large storefront windows and doors, a widened sidewalk, and canopies. These features will highlight this area of the building and will designate it a prominent corner on the block.

e. The Board noted the topography of the site and recommended the building respond by stepping down with the topography. (CS1-C)

Response: The building has been stepped along the entire west side and the building has been located on the site in a manner that allows for maximum transparency into the building and the retail office to be located on the southeast corner to be flush with the sidewalk.

CS1-C Topography; CS1-C-2 Elevation Changes: Use the existing site topography when locating structures and open spaces on the site.

Response: To maximize the setback from the residential uses to the west, the Public Storage building has been placed along the east property line. This placement allows for a large open space between the two uses and opportunities to mitigate potential impacts of the commercial use. Additionally, the location of the building is the most practical given the site shape, access points, the existing easement on the west and the slope of the sidewalk along Aurora Ave N.

f. The Board requested the presentation of different schemes that are sensitive to the residential development to the west, activate the streetscape and include parking in the structure. (CS2-D, PL3-C, DC1-B, DC4-A)

Response: The Public Storage site and building design carefully considered the residential development to the west, activates the street frontage by providing pedestrian level transparency allowing views into the out of the spaces, locates the retail office on the southeast corner of the building with access directly from the sidewalk, and locates the on-site parking and loading areas with the building envelope. The west facade has been revised to include an environmental graphic that will mitigate the large expanse of blank wall and provide an interesting view to the adjacent residential units and neighborhood.

CS2-D Height, Bulk and Scale

CS2-D-1. Existing Development and Zoning: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.

Response: The Aurora Ave core is zoned C2-65 and anticipates continued commercial development. Approximately a half a block off Aurora the zoning transitions to low-rise residential and recent development includes high density residential in three (3) story buildings. The Public Storage site has been designed to pull the building away from the residential to the west with a 30 foot setback and steps in the building. The manager’s apartment and landscaping on the west side provides additional mitigation and protection of the residential.

CS2-D-2. Existing Site Features: Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.

Response: Placing the Public Storage building on the eastern property line provides a 30 foot setback from the residential to the west. The placement of the manager’s apartment on the west side, the use of landscaping in this area, steps in the building, the use of like materials and colors allow the commercial development to fit in the area and a successful transition from commercial to residential.

CS2-D-3. Zone Transitions: For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Project should create a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development.

Response: The Public Storage project, as currently designed, provides an adequate transition to the low-rise zone to the west. The building is six (6) stories along the Aurora Ave N. frontage and steps down to three (3) stories on the west side, closely matching the massing of the adjacent residential properties. The building steps reduces the perceived height, bulk and scale of the building. Additionally, the building is setback 30 feet from the west property line. The manager’s apartment is located at the ground floor on the west side of the building and the landscaping in this area has been carefully designed to allow for maximum surveillance.

CS2-D-4. Massing Choices: Strive for a successful transition between zones where a project abuts a less intense zone.

Response: The Public Storage site is zoned C2-65 and properties directly west are zoned LR3. Every effort has been made in the design of the site and building to allow for a positive transition from the commercial zone to the residential zone. The building is setback 30 feet from the residential properties to the west. The building height on the west matches the height and massing of the adjacent residential units, three (3) stories, 35 feet, before transitioning vertically and horizontally in 10 foot increments until it reaches the maximum building height of 65 feet, approximately 60 feet from the western property line. Windows have been limited to the pedestrian level along both N. 97th Street and N. 98th Street and with the exception of the manager’s apartment, no windows have been included in the west facade.

CS2-D-5. Respect for Adjacent Sites: Respect adjacent properties with design and site planning to minimize disrupting the privacy of residents in adjacent buildings.

Response: Adjacent properties were carefully considered during the site and building design process. Efforts were made to minimize the impact on adjacent residential units including steps in the building, windows were not included in the west facade and a 30 foot setback from the west property line has been provided.

FIRST EARLY DESIGN GUIDANCE - BOARD RECOMMENDATIONS AND PRIORITIES

DPD #3020310 - 9701 Aurora Ave N.

2. Architectual Concept.

a. With street activation as the goal, the Board recommended overhead weather protection along the length of the Aurora frontage. (PL2-C)

Response: With the exception of short breaks, canopies have been included at the pedestrian level along the Aurora Ave N. facade. Except at the vehicle entrance, canopies have also been provided along the N. 97th Street and N. 98th Street facades.

PL2-C Weather Protection

PL2-C-1. Locations and Coverage: Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activity such as entries, retail uses, and transit stops.

Response: Overhead weather protection in the form of canopies has been provided at the pedestrian level along Aurora Ave N. A canopy has been included at the entrance to the retail office at the southeast corner of the building

PL2-C-2. Design Integration: Integrate weather protection, gutters and downspouts into the design of the structure as a whole, and ensure that it also relates well to neighboring buildings in design, coverage, or other features.

Response: Weather protection has been included on the north, south and east facades of the building. The building will include collectors and downspouts that will collect rain water run-off and transport it to an underground storm drain system. Downspouts on the exterior of the building will be painted to match the adjacent wall.

b. Powerlines exist along Aurora, and the proposed massing is setback in response. The Board recommended a strong street edge at the ground level with upper level stepbacks to accommodate the power lines, rather than setting the entire building back from the sidewalk.

Response: The east facade along Aurora Ave N steps back at the top of second floor as much as seven (7) feet. This allows the building to be located at the back of the sidewalk and still maintain the City required setback from the overhead power lines.

c. The design should express its form and use. The Board agreed it is not necessary for the structure to be designed to appear as a residential structure. (DC4-A)

Response: The Public Storage building has not been designed to appear as a residential building. However it does include features and materials found in some multi-family residential developments such as the EIFS, concrete masonry units, and a flat roof with parapets.

DC4-A Exterior Elements and Finishes

DC4-A-1. Exterior Finish Materials: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Response: The base of the building will be brick, a material commonly found in commercial and multi-family developments. This material is durable and provides texture when viewed up close.

d. The Board requested additional context be added to the packet to carefully illustrate the relationship to adjacent residential uses to the west. A window study was also requested. (CS2-D, CS3-A)

Response: During the site and building design phase the residential units to the west were carefully considered. The building has been setback 30 feet from the west property line and the building stepsback beginning at the third floor resulting in the highest point of the building to the east and along Aurora Ave N. With the exception of the manager's apartment, no windows were included in the design of the west facade. Additionally, windows were limited to the pedestrian level along N. 97th Street and N. 98th Street. An environmental graphic has been designed and will be included on the west facade. The artwork will provide an interesting view and will eliminate the large blank wall.

CS2-D Height, Bulk and Scale

CS2-D-1. Existing Development and Zoning: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.

Response: The site and building design takes into consideration the close proximity of the residential units to the west as well as the transition from commercial to residential. The type and scale of the building is in line with the City's zoning for the site but presents a challenge for transitioning to a less dense zone. To mitigate the impact of the commercial development on the residential the proposed development will include a 30 foot setback from the west property line, steps in the west facade, the manager's apartment has been located on the west side of the building with the 30 foot setback acting as the backyard for the apartment. The windows on the north and south facades have been limited to the pedestrian level and the landscaping has been designed to connect the site to the with the public realm. To further mitigate the transition, an environmental graphic has been design by artists from the neighborhood. The artwork will enhance the west facade by providing an interesting view and breakup of the overall facade.

CS2-D-2. Existing Site Features: Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.

Response: The project site is rectangular in shape and slopes north to south and northeast to northwest with the highest point in the northeast corner. The site fronts Aurora Ave N with N. 97th Street and N. 98th Street on the south and north. Low rise residential is located along the west property line. In order to minimize the impact to the residential units on the west, the building has been located along the east property line and 30 feet from the west property line. The 30 foot area has been designed as a landscaped area and the backyard for the manager's apartment located on the west side of the building. Landscaping on the north and south side of the building extends from the building to the sidewalk and from the sidewalk to the street curb. The Public Storage building include stepbacks on the west side of the building in an effort to reduce the bulk and scale of the building and further mitigate potential impacts on the residential.

CS2-D-3. Zone Transitions: For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Project should create a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development.

Response: The site and building has been designed to transition from commercial to residential. The residential units adjacent to the project site are three (3) and four (4) stories with the residential units along the west property line at three (3) stories. The effectively transition to the adjacent zone the building includes stepbacks which begin on the third floor, matching the adjacent buildings. The building continues to step away from the west resulting in the highest point along Aurora Ave N. and approximately sixty (60) feet from the west property line.

CS2-D-4. Massing Choices: Strive for a successful transition between zones where a project abuts a less intense zone.

Response: The adjacent zoning is LR3 and recent development include higher density residential units of three (3) stories. The building is setback 30 feet from the residential properties to the west. The building height on the west matches the height and massing of the adjacent residential units, three (3) stories, 35 feet, before transitioning vertically and horizontally in 10 foot increments until it reaches the maximum building height of 65 feet, approximately 60 feet from the western property line. In addition, the managers apartment, a single story unit, is located on the west side of the building along with a 30-foot landscaped setback.

CS2-D-5. Respect for Adjacent Sites: Respect adjacent properties with design and site planning to minimize distruping the privacy of residents in adjacent buildings.

Response: The building is setback 30 feet and steps ways from the adjacent properties to the west. The 30-foot setback will be landscaped with select plantings and with the exception of the manager's apartment, windows were not included in the building design of the west facade. To minimize distrupction to residents located across N. 97th St. on the south and N. 98th St. on the north, windows have been limited to the pedestrian level, parking will be within the building and significant landscaping has been designed between the street and the building.

FIRST EARLY DESIGN GUIDANCE - BOARD RECOMMENDATIONS AND PRIORITIES

DPD #3020310 - 9701 Aurora Ave N.

CS3-A. Emphasizing Positive Neighborhood Attributes

CS3-A-1. Fitting Old and New Together: Create compatibility between new projects, and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing fenestrations, and/or use of complementary materials.

Response: The area around the project site is in transition with new higher density residential directly to the west and recent multi-family to the north and south. The higher density residential is in buildings of three (3) and four (4) stories. Further west, the neighborhood eventually transitions to single family. Along Aurora Ave N. development is largely commercial of varying style and size with little new commercial development. The Public Storage development is located within the commercial core of Aurora Ave N. but on the edge of residential zoning. To fit within these zones the project utilized design elements including storefront windows and doors, canopies for weather protection, forms, proportion, and materials commonly found is similar commercial developments. To be compatible with the residential to the north, south and west, the building was setback from the streets to the north and south, limited the transparent windows to the pedestrian level and included significant landscaping between the building and sidewalk. The west side of the building incorporated stepbacks that allow the building to step away from west side. Additionally, the lower portion of the building is setback 30 feet from the west property line and the ground level of this area will include landscaping and the manager’s apartment. Parking will be within the building, minimizing light, glare and noise from cars and trucks using the site.

CS3-A-4 Evolving Neighborhoods: In neighborhoods where architectural character is evolving or otherwise in transition, explore way for new development to establish a positive and desirable context for others to build upon in the future.

Response: The area around the subject site has experienced some redevelopment, mainly in the residential areas. As one of the first commercial properties to redevelop in the area, the building has been designed to address Aurora Ave N., provide transparent views into and out of the building, overhead weather protection, improved pedestrian pathways with new sidewalks along N. 97th Street and N. 98th Street and a new, wider sidewalk along Aurora Ave N., and enhanced landscaping along all four (4) property lines. The currently underdeveloped site will include a six (6) story building that will be constructed with durable materials, internal parking, and a retail office on the southeast corner. To aid in the transition to the residential on the west side the building has been located 30 feet from the property line and steps away from the west and toward the east with the highest point of the building along Aurora Ave N. The 30 foot setback will be landscaped with select plantings and the manager’s apartment will be located on the west side of the building and will provide surveillance of the setback area. The site and building have been designed to further redevelopment of the area and transition commercial development for the residential.

SECOND EARLY DESIGN GUIDANCE - BOARD RECOMMENDATIONS AND PRIORITIES

DPD #3020310 - 9701 Aurora Ave N.

Below are responses to the guidance provided by the Design Review Board at the January 4, 2016 EDG meeting.

1. Site Planning and Public Realm. In response to the Board’s guidance at the first EDG meeting, the applicant returned with a fourth option that proposed parking inside the structure, a wide sidewalk along Aurora, and a 30-foot landscape buffer along the west property line.

a. The Board supported locating the parking within the structure (DC1-B).

Response: Parking and loading areas will be located entirely on-site and within the building. Access to the parking will be from N. 97th Street on the south and N. 98th Street on the north.

DC1-B Vehicular Access and Circulation

DC1-B-1. Access Location and Design: Choose locations for vehicular access, service uses, and delivery areas that minimize conflict between vehicles and non-motorists wherever possible. Emphasize use of the sidewalk for pedestrians, and create safe and attractive conditions for pedestrians, bicyclists, and drivers.

Response: The existing site currently includes three (3) access points, one off of Aurora Ave N., one from N. 97th Street, and the other from N. 98th Street. The site layout for the Public Storage facility reduces the number of access points by eliminating the one from Aurora Ave N. As the main pedestrian pathway, removing the Aurora Ave N. access will reduce the potential impacts to pedestrians and bicyclists and provide an uninterrupted path of travel. The site as designed will maintain access from both N. 97th Street and N. 98th Street.

b. The Board supported a wide sidewalk along Aurora rather than a landscape buffer and buiding setback. This area should provide opportunity for human interaction and activity at the street level. (CS2-B, PL1-B, PL2-B, PL3)

Response: The landscaping along the east side of the building has been revised and landscaping against the base of the building has been eliminated. A landscape strip with street trees has been added between the street and sidewalk, this will allow the widened sidewalk to be uninterrupted and provide a buffer for pedestrians from the street.

CS2-B Adjacent Sites, Streets, and Open Spaces

CS2-B-2. Connection to the Street: Identify opportunities for the project to make a strong connection to the street and public realm.

Response: The building has been designed with the first two floors at the back of the sidewalk, creating a strong street connection and presence. The first two floors will include large expanses of storefront windows that will allow views into and out of the space. The retail office has been located at the southeast corner of the building and direct access to this space will be from the sidewalk.

PL1-B Walkways and Connections

PL1-B-3. Pedestrian Amenities: Opportunites for creating lively, pedestrian oriented open spaces to enliven the area and attract interest and interaction with the site and building should be considered.

Response: The east facade of the building will be along Aurora Ave N. and will include large areas of storefront windows with canopies that will provide overhead weather protection. A landscape strip with select plantings and trees will be placed at the back of curb and will provide a separation for pedestrians from the Aurora Ave N. The north and south facades also include storefront windows at the pedestrian level and landscaping has been designed between the building and the sidewalk. Pedestrian level elements and landscaping work together to create spaces that are interesting to those passing by or interacting with the site.

PL2-B Safety and Security

PL2-B-1. Eyes on the Street: Create a safe environment by providing lines of sight and encouraging natural surveillance.

Response: Transparent windows and doors will be provided along the street frontages and will allow views out of the space. The retail office will be located on the southeast corner and will include large storefront windows and doors looking out onto the sidewalk. Additionally, the facility will have an on-site manager with an apartment located on the west side of the building that

will overlook the 30-foot setback area on the west side. All of these elements provide opportunities for natural surveillance of the surrounding area.

PL2-B-2. Lighting for Safety: Providing lighting at sufficient lumen intensities and scales, including pathway illumination, pedestrian and entry lighting, and/or security lights.

Response: Lighting has been included on the building, at the pedestrian level along Aurora Ave N, N. 97th Street and N. 98th Street. The lighting will provide sufficient illumination for pedestrian ways and entries. Lighting located on the north and south sides of the building will be designed with cut-offs to prevent light trespass to adjacent properties. Lighting on the west side will be limited to the single story apartment.

PL2-B-3. Street-Level Transparency: Ensuring transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

Response: Street-level transparency has been provided along the north, south and east facades of the building. These transparent areas will provide views into the Public Storage facility, as well as views out of the space.

PL3 Street-Level Interaction: Encourage human interaction and activity at the street-level with clear connections to building entries and edges

Response: The retail office will be located at the southeast corner of the building with access directly from the sidewalk.

PL3-A Entries; PL3-A-1. Design Objectives: Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street.

Response: The retail office at the southeast corner will be identified by the tall storefront windows, canopies and signage. This element on the building will be easily visible from the sidewalk and street.

PL3-C Retail Edges

PL3-C-2 Visibility: Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays.

Response: The retail office on the southeast corner of the building will be a two-story space and will include tall storefront windows. The transparent windows will provide clear visibility into and out of the space. The transparent windows along the street frontages will provide views into interior spaces.

c. The internal programming should offer opportunity for the project to make a strong connection to Aurora, provide eyes on the street, and activate the sidewalk. The Board recommended the office be moved to provide direct access to Aurora.(CS2-B, PL1-B, DC1-A, PL3-A)

Response: The internal layout of the building has been revised and the retail office has been located on the Southeast corner of the building. This space has been designed as a two story space with ample windows allowing views into and out of the space, along with natural surveillance of the sidewalk area.

CS2-B Adjacent Sites, Streets, and Open Spaces

CS2-B-2. Connection to the Street: Identify opportunities for the project to make a strong connection to the street and public realm.

Response: The east side of the building has been design with the first two floors at the back of the sidewalk along Aurora Ave N., creating a connection with the public realm and the street. The north and south sides of the building have been designed to incorporate landscape plantings for low growing shrubs and trees between the building and the sidewalk. The landscape design

continues to the opposite side of the sidewalk to unify the design from the building facade to the street edge.

PL1-B Walkways and Connections

PL1-B-3. Pedestrian Amenities: Opportunites for creating lively, pedestrian oriented open spaces to enliven the area and attract interest and interaction with the site and building should be considered.

Response: A widened sidewalk along Aurora Ave N. with a landscape strip at the street edge will be included in the proposed development, as well as new sidewalks and landscaping along both N. 97th Street and N. 98th Street. Weather protection in the form of metal canopies will be provided along the building on the east facade. Transparent windows and doors at the pedestrian level on the north, south and east facades will provide views into and out of the Public Storage building. These provided elements and features will create a pleasant experience for pedestrians passing by or interacting with the building.

DC1-A Arrangement of Interior Uses

DC1-A-1 Visibility: Locate uses and services frequently uses by the public in visible or prominent areas, such as at entries or along the street front.

Response: The retail office will be located on the southeast corner with access to the space from the sidewalk. The retail office will be easily identifiable by the tall storefront windows, canopies and signage. Vehicle access will be provided from both N. 97th Street and N. 98th Street and identified by signage on the building. Due to the proximity of the building to the residential, parking and loading will be interior to the building but easily accessible at designated access points.

PL3-A Entries; PL3-A-1. Design Objectives: Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street.

Response: The retail office, located on the southeast corner of the building, has been designed as a two-story space with large storefront doors, canopies and signage for easy identification from the sidewalk and street. The vehicle entrances, located on N. 97th Street and N. 98th Street will include features such as a material and building signage, signifying access to the site for approaching vehicles.

d. The Board expressed concern regarding safety and security and the 30-foot landscape buffer along the west property line. The Board agreed that measures such as lighting and fencing are integral to the of that space. The Board recommended this area be well secured and requested that lighting and fencing details be presented at the Recommendation meeting. (DC4-C)

Response: Revisions have been made to the 30-foot wide buffer on the west side of the building. The landscaping has been revised to include fewer trees and shrubbery. The revised landscape plan includes large areas of lawn along with the trees and shrubs, this will allow the area to be more open. In addition, two bioswales have been located in this area for stormwater treatment. The landscaping for the bioswales has been designed to integrate and complement the overall landscape plan for this area.

To address the safety and security concerns, the manger’s apartment has been relocated and now occupies a portion of the 30 foot area on the west side of the building. The unit has been situated in this area to allow for visual surveillance and as a source of ongoing security.

DC4-C Lighting; DC4-C-1 Functions: Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as entries, signs, canopies, plantings, and art.

Response: Lighting will be provided under the canopies, over doorways, at the apartment and within the landscaping on the west side of the building for security and safety. Building signage will be internally illuminated.

e. Reducing the width of the buffer was also discussed. The Board agreed that a smaller ground level setback and increased upper level setbacks could be an appropriate solution to concerns regarding safety and security. Furthermore, increased upper level setbacks could lessen the impact to light and air for the abutting development to the west. The Board recommended further development of the west property line response. (CS2-D, PL2-B)

Response: In response to the Board’s guidance, the building has been revised and the west side of the building steps back 10 feet at each floor level beginning at the top of the third floor and the manager’s apartment has been located on the west side of the building. An environmental graphic has been designed for the west facade that will provide an interesting view of the facade for the adjacent neighbors and neighborhood. The environmental graphic will also mitigate the large expanse of blank wall.

CS2-D Height, Bulk and Scale

CS2-D-1. Existing Development and Zoning: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.

Response: The buildings adjacent to the subject site are mainly three-story. The proposed Public Storage building will include six-stories. Due to the proximity of the proposed building to the western property line, stepbacks have been included along the entire west building facade. Each stepback is 10 feet deep and begins at the top of the third floor and continues to the sixth floor. With the building stepping away from the western side of the property towards the east resulting in the highest point approximately 60 feet from the west property line, reducing the perceived height and bulk of the building and assisting in the transition from the commercial development to residential.

CS2-D-2. Existing Site Features: Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.

Response: The site generally slopes north to south and northeast to northwest with the highest point of the site at the northeast corner. The proposed Public Storage building has been place toward the east side of the property and at the back of the sidewalk along Aurora Ave N. This building placement will allow for direct access from the sidewalk to the retail office on the southeast corner and existing vehicular access to be maintain on the north and south sides of the property. It also allows for a 30 foot setback from the west property line and the residential units along this side of the site.

CS2-D-3. Zone Transitions: For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Project should create a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development.

Response: To provide an appropriate transition from the subject sites commercial zone to the residential zones to the west the Public Storage building has been designed to include building stepbacks along the west facade. The stepbacks begin at the top of the third floor and progress back 10 feet at each subsequent floor. The site has been designed to include a 30-foot setback from the building to the west property and the single-story manager’s apartment has been located on the west side of the building to further assist with the transition.

CS2-D-4. Massing Choices: Strive for a successful transition between zones where a project abuts a less intense zone.

Response: The adjacent zoning is LR3 and recent developments include higher density residential units of three (3) stories. The building is setback 30 feet from the residential properties to the west. The building height on the west matches the height and massing of the adjacent residential units, three (3) stories, 35 feet, before transitioning vertically and horizontally in 10 foot increments until it reaches the maximum building height of 65 feet, approximately 60 feet from the western property line. In addition, the managers apartment, a single story unit, is located on the west side of the building along with a 30-foot landscaped setback.

CS2-D-5. Respect for Adjacent Sites: Respect adjacent properties with design and site planning to minimize distruping the privacy of residents in adjacent buildings.

Response: To respect the privacy of the adjacent residential buildings to the west, the west facade of the Public Storage building will not include storefront windows, with the exception of the manager’s apartment. The manager’s apartment is a single-story unit located on the ground floor of the building, windows in this unit will overlook the 30 foot setback area.

PL1-B Walkways and Connections

PL1-B-3. Pedestrian Amenities: Opportunites for creating lively, pedestrian oriented open spaces to enliven the area and attract interest and interaction with the site and building should be considered.

Response: A sidewalk of approximately 15 feet in width will be provided along Aurora Ave N. and will include an additional landscape strip at the street edge. The sidewalks along both N. 97th Street and N. 98th Street will be replaced and landscaping will be added on the street side, as well as between the building and sidewalk. Weather protection in the form of metal canopies will be provided at the pedestrian level along the building on the east facade. Transparent windows and doors at the pedestrian level on the north, south and east facades will allow for views into and out of the Public Storage building. These elements will enhance the public spaces and the pedestrian experience.

PL2-B Safety and Security

PL2-B-1. Eyes on the Street: Create a safe environment by providing lines of sight and encouraging natural surveillance.

Response: The retail office has been located on the southeast corner of the building and will include large transparent windows and doors, this will allow for natural surveillance of the area outside. Transparent windows at the pedetrian level along the north, south and east facades will allow views out of the space. The on-site manager’s apartment has been located on the west side of the building and will overlook the 30-foot setback area on the west side of the site. All of these elements provide opportunities for natural surveillance of the surrounding area.

PL2-B-2. Lighting for Safety: Providing lighting at sufficient lumen intensities and scales, including pathway illumination, pedestrian and entry lighting, and/or security lights.

Response: Pedestrian level lighting will be included on the north, south and east sides of the building. The lighting will provide sufficient illumination for pedestrian ways and entries. Lighting located on the north and south sides of the building will be designed with cut-offs to prevent light trespass to adjacent properties. Lighting on the west side will be limited to the single story apartment.

PL2-B-3. Street-Level Transparency: Ensuring transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

Response: Transparent windows and doors at the pedestrian level will be provided along the north, south and east building facades. These transparent areas will provide views into the Public Storage facility for passersby, as well as views out of the space.

2. Architectural Compositon. The corner/full block site provides opportunity for the building to serve as a gateway or focal point. The Board agreed the architectural character of the neighborhood is evolving, and the project should establish a positive and desirable context for others to build upon in the future. (CS3-A)

Response: The current development includes a small building and large parking lot with minimal landscaping. The proposed Public Storage development will include a building that has been designed to address the entire block from N. 97th Street to N. 98th Street and the Aurora Ave N. frontage. The architecture of the building employs techniques that provides pedestrian level elements such as a strong, durable base that grounds the building, canopies, transparent windows, landscaping and lighting. Above the pedestrian level the building includes transparent windows, vertical and horizontal elements, and changes in plane, materials and colors. The project takes into consideration the residential developments by stepping the building away and maintaining a 30 foot setback from the west property line to assist with this transistion and places the manager’s office on the west side of the building for added security and transition. Additionally, the base building material has been changed to brick, a material commonly found in residential development and Seattle architecture. The project, as designed, revitalizes the existing site and provides a development that enhances both the public realm and pedestrian experience.

CS3-A. Emphasizing Positive Neighborhood Attributes

CS3-A-1. Fitting Old and New Together: Create compatibility between new projects, and existing architectural context, including historic and modern designs, through building articulation, scale and proportion, roof forms, detailing fenestrations, and/or use of complementary materials.

Response: The area around the subject site has begun to transition with new higher density residential directly to the west and recent multi-family to the north and south. The higher density residential is in buildings of three (3) and four (4) stories. Further

west, the neighborhood eventually transitions to single family. Along Aurora Ave N. development is largely commercial of varying style and size with little new commercial development. The project site is located within the well established commercial core of Aurora Ave N. but sits on the edge of Low Rise residential zoning. To fit within these zones the project utilized design elements including storefront windows and doors, canopies for weather protection, forms, proportion, and materials commonly found on similar commercial developments. To be compatible with the residential to the north, south and west, the base building material has been changed to brick, a material common in residential development and the Seattle area, the building has been setback from the streets to the north and south, transparent windows limited to the pedestrian level , and enhanced landscaping between the building and sidewalk. The west side of the building incorporates stepbacks that allow the building to step away from west side and includes environmental graphics that eliminate blank walls and enhance the view for the adjacent residential units and residents of the neighborhood. Additionally, the lower portion of the building is setback 30 feet from the west property line and the ground level of this area will include landscaping and the manager’s apartment. Parking will be within the building, minimizing light, glare and noise from cars and trucks using the site.

CS3-A-4 Evolving Neighborhoods: In neighborhoods where architectural character is evolving or therwise in transition, explore way for new development to establish a positive and desirable context for others to build upon in the future.

Response: The area around the subject site has experienced some redevelopment, mainly in the residential areas. As one of the first commercial properties to redevelop in the area, the building has been designed to address the street, provides transparent views into and out of the building, overhead weather protection, improved pedestrian pathways with new sidewalks along N. 97th St. and N. 98th St. and a new, wider sidewalk along Aurora Ave N., and enhanced landscaping along all four (4) property lines. The currently underdeveloped site will include a six (6) story building that will be constructed with durable materials, internal parking, and a retail office on the southeast corner. To aid in the transition to the residential on the west side the building has been located 30 feet from the property line and steps away from the west and toward the east with the highest point of the building along Aurora Ave N. The 30 foot setback will be landscaped with select plantings and the manager’s apartment will be located on the west side of the building and will provide surveillance of the setback area. The site and building have been designed to further redevelopment of the area and transition commercial development for the residential.

a. Upper level setbacks are proposed on the west side in response to the abutting lower intensity residential zone. The Board supported upper level setbacks and requested further development, suggesting an increase in the upper level setbacks to further break up the perceived height, bulk, and scale while allowing for maximum sun exposure to adjacent development to the west. (CS2-D)

Response: The west side of the building has been further developed to include upper level stepbacks beginning at the top of the third floor. Each stepback is 10 feet deep and runs the length of the facade. The stepbacks breakup the mass and scale of the building and will allow for maximum sun exposure to the adjacent development to the west. A single-story manager’s apartment has been located on the west side of the building that will add to the modulation, articulation, and security of this area and an environmental graphic has been proposed as a means to provide interest, eliminate blank walls, and contribute artwork to the local surrounding neighborhood.

CS2-D Height, Bulk and Scale

CS2-D-1. Existing Development and Zoning: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.

Response: The subject site is currently developed with a single-story commercial building. Many of the buildings adjacent to the subject site are two, three and four story. The maximum allowable height for the subject site is 65 feet. The proposed Public Storage building will be six stories. Due to the proximity of the proposed building to the western property line, stepbacks have been included along the entire west building facade. Each stepback is 10 feet deep and begins at the top of the third floor and continues to the sixth floor. The building steps away from the western side of the property towards the east resulting in the highest point of the building 60 feet from the west property line. The steps in the building, along with the proposed environmental graphics, reduce the perceived height and bulk of the building and assist in the transition from the commercial development to residential.

CS2-D-2. Existing Site Features: Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.

Response: As mentioned previously, the site generally slopes north to south and northeast to northwest with the highest point of the site at the northeast corner. The proposed Public Storage building has been place toward the east side of the property and at the back of the sidewalk along Aurora Ave N. This building placement will allow for direct access from the sidewalk to the retail office on the southeast corner and existing vehicular access to be maintain on the north and south sides of the property. It also allows for a 30 foot setback from the west property line and the residential units along this side of the site.

CS2-D-3. Zone Transitions: For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Project should crate a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development.

Response: In order to successfully transition from the commercial zone to the residential zones to the west the Public Storage building has been designed to include building stepbacks on the upper levels along the west facade. The stepbacks begin at the top of the third floor and progress back 10 feet at each subsequent floor resulting in the highest point of the building approximately 60 feet from the west property line and up against Aurora Ave N. The building has been design to include brick at the building base, color and material changes and the manager’s apartment and environmental graphics on the west facade to further assist with the transition.

CS2-D-4. Massing Choices: Strive for a successful transition between zones where a project abuts a less intense zone.

Response: The less intense zone is LR3 to the west and recent developments include higher density residential units of three (3) stories. To mitigate the potential impacts of the Public Storage building, design techniques to reduce the perceived bulk and scale have been used. In addition the west facade incorporates building steps, the managers apartment, a single story unit, enhanced landscaping and environmental graphics.

CS2-D-5. Respect for Adjacent Sites: Respect adjacent properties with design and site planning to minimize distruping the privacy of residents in adjacent buildings.

Response: In order to provide the highest level of privacy of the adjacent residential buildings to the west, the west facade of the Public Storage building does not include windows, with the exception of the apartment. The manager’s apartment is a single-story unit located on the ground floor of the building, windows in this unit will overlook the 30 foot setback area.

b. Materials will be crucial to achieving the intended design language. The Board recommended articulation to avoid blank walls. Bring a physical materials board to the Recommendation meeting. (DC2, DC4-A)

Response: The proposed Public Storage building will include a variety of materials including, brick at the base of the building, EIFS on the floors above the second floor, corrugated metal panels for vertical elements on the north, south and east facades and an environmental graphic on the west facade. These techniques and applications along with the metal canopies and storefront windows will provide articulation and interest.

DC2 Architectural Concept: Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

Response: The architectural concept for the building includes a mix of materials and colors found on other commercial and residential buildings in the area. The building has been located on the site with the largest and most active facade along the commercial core of Aurora Ave N. while transitioning the design of the building to the residential to the west. The design of the building is carried through to the north, south and east facades, as they are on street frontages. The west side of the building, while including many of the same materials and colors, has been designed to transition away from the residential developments, includes a limits windows to the manager’s apartment. The Public Storage project redevelops a commercial property while taking into consideration the close proximity of the less intense zone.

DC2-C-3 Fit With Neighboring Buidings: Use design elements to achieve a successful fit between a building and its neighbors.

Response: The Public Storage building will be a six story building that has been designed to successfully transition to the residential zone to the west. Design elements such as building setbacks, upper level building stepbacks, windows limited to the pedestrian level on the north and south facades, and the use of materials, colors and landscaping found on building and sites in the area results in a project that can effectively fit within the neighborhood.

DC4-A Exterior Elements and Finishes

DC4-A-1. Exterior Finish Materials: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Response: As previously mentioned, the base of the building has been revised to brick, a material commonly found in commercial and residential developments in the neighborhood and greater Seattle area. This material is durable and provides texture when viewed up close

c. The Board commented on the treatment of the northeast and southeast corners, recommending a design that creates development of a corner statement using translucent materials such as glass. (PL3-C, DC4)

Response: Tower elements have been included at the southeast and northeast corners of the building. Located at the street intersections, these tower elements anchor the building to the block while creating a distinct feature on the building. The tower elements have been designed to include storefront windows from the first floor to the sixth floor. The windows at the pedestrian level will allow views into active spaces within the building.

PL3-C Retail Edges

PL3-C-2 Visibility: Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays.

Response: The Public Storage building has been designed with the retail office on the southeast corner of the building. This will be a two-story space and will include tall storefront windows providing clear visibility into and out of the space.

DC4-A Exterior Elements and Finishes

DC4-A-1. Exterior Finish Materials: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Response: Building materials will include brick at the base of the building, EIFS on the facades above the second floor and metal panels for vertical elements on upper floors. These materials are durable, provide texture and create an overall design that is attractive both up close and at a distance.

DC4-C Lighting

DC4-C-1 Functions: Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as entries, signs, canopies, plantings, and art.

Response: Pedestrian level lighting will be provided on the north, south, and east facades for safety and security, as well as accenting features on the building and highlighting entries. Lighting on the west side of the building will be limited to the manager’s apartment and low voltage landscape lighting.

DC4-C-2 Avoiding Glare: Design project lighting based upon the uses on and off-site, taking care to provide illumination to serve building needs while avoiding off-site night glare and light pollution.

Response: Lighting for the exterior of the building will be designed to adequate illuminate the area but avoid glare and light trespass onto adjacent properties.



LAND USE CODE SECTION			DEPARTURE REQUEST
			No departures are requested at this time.

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