

1820 BOYLSTON AVENUE



DESIGN RECOMMENDATION

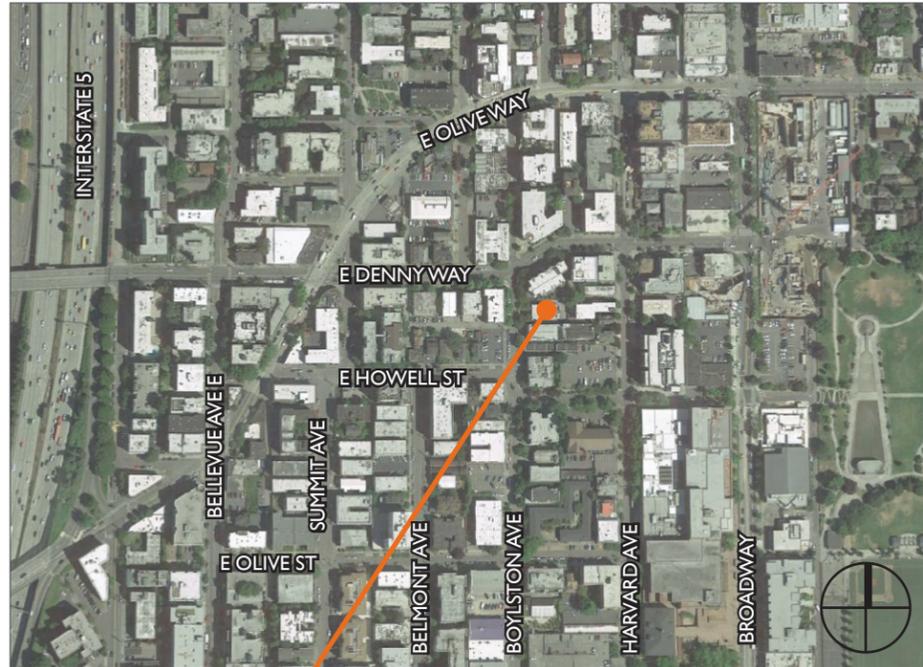
FEBRUARY 24, 2016

DPD #3020247

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Seattle, WA 98104
206.933.1150
www.nkarch.com



PROJECT INTRODUCTION



SITE LOCATION

DEVELOPMENT OBJECTIVES

The project is an eight-story apartment building containing 55 residential units. Parking for 13 vehicles will be located in a below grade parking garage, which is accessed via a ramp from Boylston Ave. The existing two-story residential structure on site will be demolished. The approximate sizes of the proposed building and its individual uses are as follows:

Number of Residential Units:	Approximately 55
Number of Parking Stalls:	Approximately 13, below grade
Area of Residential Levels:	Approximately 36,900 square feet
Area of Parking Levels:	Approximately 6,100 square feet
Total Building Area:	Approximately 43,000 square feet

EXISTING SITE

The site is located at the mid block on east side of Boylston Ave between E Howell St. and E Denny Way. The site consists of a single parcel measuring approximately 60' x 122'. A two-story brick apartment building currently exists on the site. A single curb cut off of Boylston Ave. serves a small surface parking lot behind the existing building. The site slopes up from west to east, with most of the grade change occurring at retaining walls at the front and back of the site. The north and south sides of the property are also bounded by retaining walls and fences on the neighboring properties. The front yard of the site is landscaped with shrubs, ground cover and medium-sized deciduous trees. There is a small planting strip along most of the street frontage that is landscaped with small shrubs and grass.

ZONING AND OVERLAY DESIGNATION

The site is zoned Midrise, and is located in the Capitol Hill Urban Center Village and Capitol Hill Station Area Overlay. The area of the site is 7,350 sf.

NEIGHBORING DEVELOPMENT

The site is located in the South Anchor District of Capitol Hill, between Olive Way to the north, Broadway to the east and Pike/Pine to the south. Most of the neighborhood is zoned Midrise, and consists primarily of mid-rise multifamily buildings. Buildings in the neighborhood are built in a variety of styles from many different time periods. Most are 3-6 stories tall, and occupy 1-3 parcels. Some single-family houses remain in the neighborhood, most of which are likely to be redeveloped in the future.

The neighborhood slopes down to the west, providing views of Downtown and South Lake Union, particularly along east-west streets. Most of the streets in the neighborhood are landscaped with mature street trees and planting strips.

The area is within walking distance of Downtown, and is well served by public transit, including the future Capitol Hill light rail station, located 2 blocks east of the project site. There are numerous amenities within walking distance, including retail areas on Olive Way, Broadway and Pike/Pine, and Cal Anderson Park.

ADDRESS: 1820 Boylston Ave
DPD PROJECT #: 3020247
OWNER: Capitol Hill Lofts, LLC

APPLICANT: Nicholson Kovalchick Architects
CONTACT: Jill Burdeen

ZONING SUMMARY

PARCEL #: 1817800025
ZONING: MR
OVERLAYS: Capitol Hill Urban Center Village Station Area Overlay (Capitol Hill)
LOT AREA: 7,350 SF

may project into required setbacks and separations a maximum of 4' if they are no closer than 3' to any lot line

- Unenclosed decks and balconies may project a maximum of 4' into required setbacks if each one is no closer than 5' to any lot line, no more than 20' wide, and separated from other decks and projections by a distance equal to one-half the width of the projection

23.54.040 SOLID WASTE & RECYCLABLE MATERIALS STORAGE AND ACCESS

- 50-100 units:
- 375 sf + 4 sf per unit in excess of 50
 - Min. horizontal dimension of required storage space is 12'

23.45.504 PERMITTED USES

Permitted outright: Residential

23.45.510 FLOOR AREA RATIO

Base FAR: 3.2
 Maximum FAR: 4.25
 Maximum FAR per sustainable design and affordability incentives (SMC 23.45.516, SMC 23.45.526, SMC 23.58A.014)

23.45.514 STRUCTURE HEIGHT

Allowed Maximum Structure Height:

- Base Height: 60'-0"
- Maximum bonus height w/ incentives: 75'-0"
- 4' additional allowed for parapets: 79'-0"
- 15' additional allowed for stair penthouse: 90'-0"
- 16' additional allowed for elevator penthouse: 91'-0"

Increase from base height limit to maximum requires compliance with incentive provisions for affordable housing and sustainable design.

23.86.006 STRUCTURE HEIGHT MEASUREMENT

The height of a structure is the difference between the elevation of the highest point of the structure not excepted from applicable height limits and the average grade level ('average grade level' means the average of the elevation of existing lot grades at the midpoints, measured horizontally, of each exterior wall of the structure or at the midpoint of each side of the smallest rectangle that can be drawn to enclose the structure).

23.45.518 SETBACK REQUIREMENTS

Front and side setback from street lot lines:

- 7' average, 5' minimum
- No setback required if a courtyard abuts street, and the courtyard is minimum 30% width of abutting street frontage or 20' whichever is greater, and minimum 20' deep measured from street lot line

Rear setback: 15'

Side setback from interior lot line:

- For portions 42' high or less, 7' average setback and 5' minimum setback
- For portions higher than 42', 10' average setback and 7' minimum setback

Additional setbacks:

- Cornices, eaves, gutters, roofs and other forms of weather protection

23.45.522 AMENITY AREA

Required: 5% of gross floor area in residential use

General requirements:

- All units shall have access to private or common amenity area
- No more than 50% of the amenity area may be enclosed, and this enclosed area shall be provided as common amenity area
- No minimum horizontal dimension for private amenity areas, except 10' at non-street side lot lines

Requirements for apartments, rowhouses, and townhouses:

- No common amenity area shall be less than 250 sf in area, and common amenity areas shall have a minimum horizontal dimension of 10'
- Min. 50% of common amenity area at ground level shall be landscaped
- Seating, lighting, outdoor protection, art, etc. shall be provided
- Common amenity area req'd at ground level will be accessible to all units

23.45.524 LANDSCAPING REQUIREMENTS

Green Factor score minimum 0.5 required

23.45.526 LEED, BUILT GREEN, AND EVERGREEN SUSTAINABLE DEVELOPMENT STANDARDS

Projects seeking additional height and FAR must meet LEED Silver or Built Green 4-Star rating.

23.54.015 REQUIRED PARKING

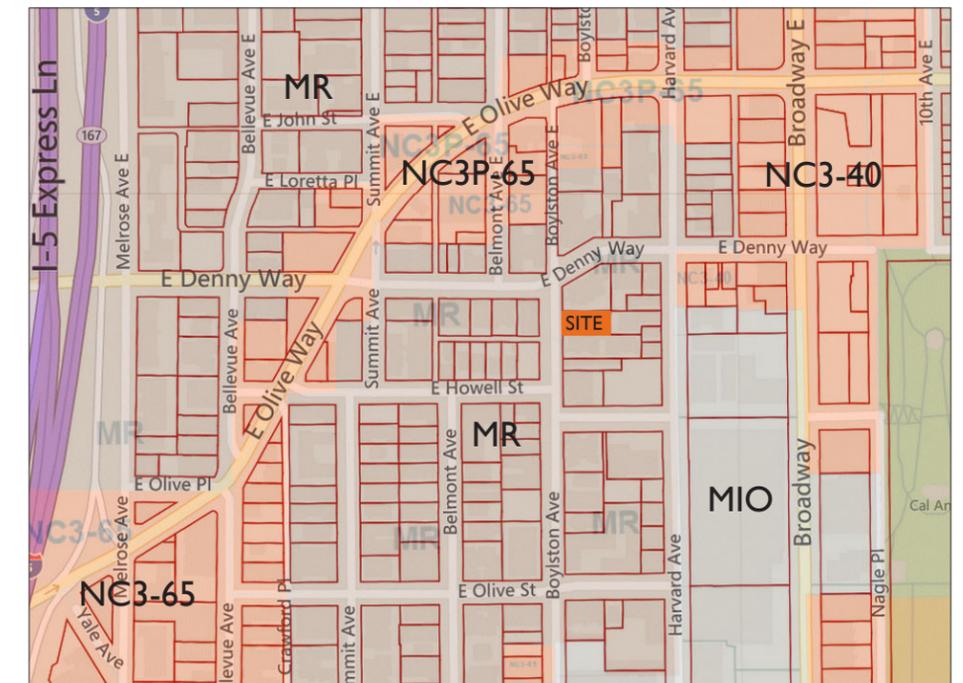
- Required parking in multi-family zones in urban centers: none
- Bicycle long-term parking: 1 per 4 units

23.45.536 PARKING LOCATION, ACCESS, AND SCREENING

- Parking may be located in a structure provided that no portion of a garage that is higher than 4' above grade shall be closer to a street lot line than any part of the first floor of the structure
- Alley access to parking required, except street access is allowed where no alley is adjacent to the site.

23.54.030 PARKING SPACE STANDARDS

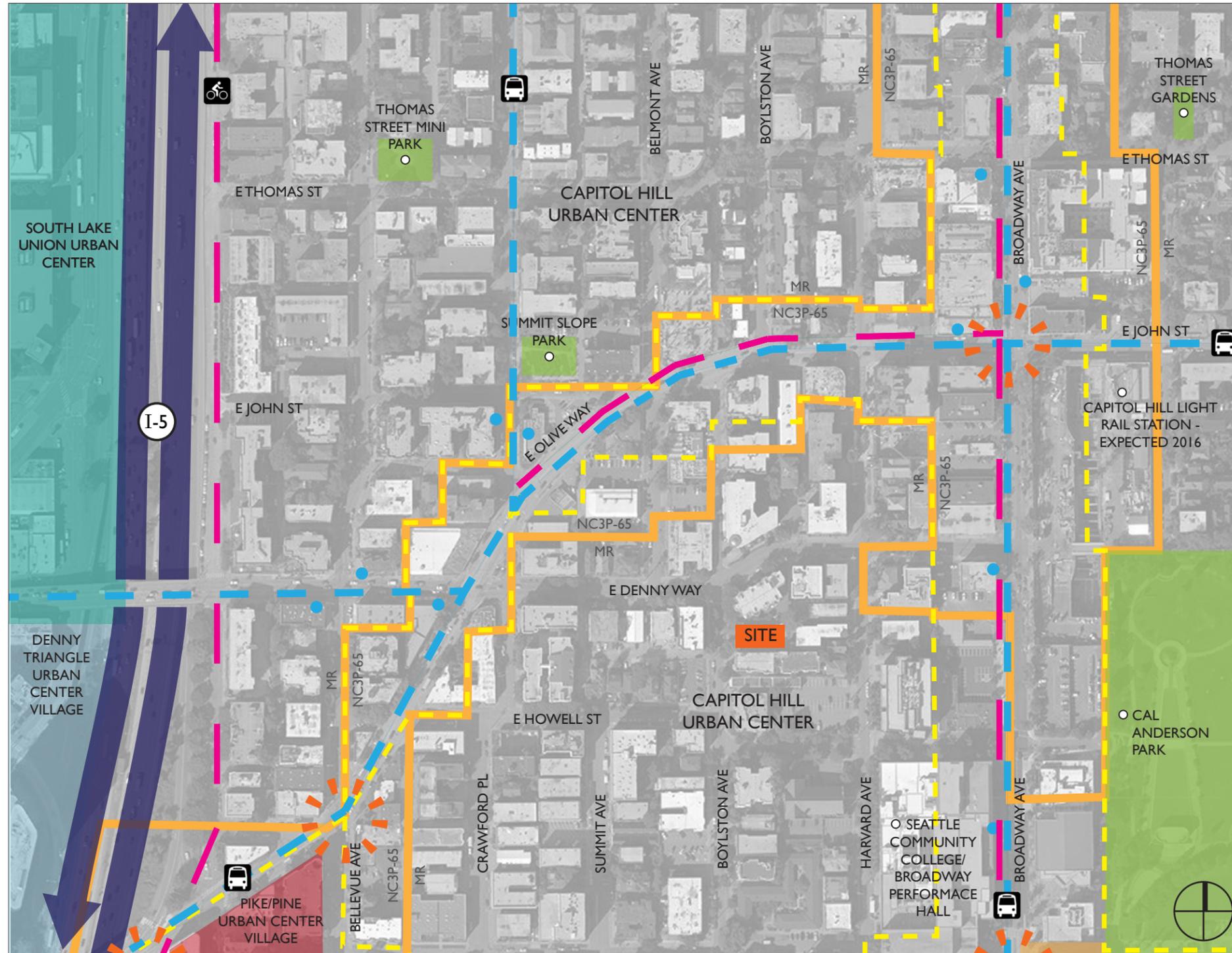
- Driveway width min. 10' for driveways serving 30 spaces or fewer for one or two-way traffic
- Driveway slope maximum 15%



DPD ZONING MAP

URBAN CONTEXT

CONSTRAINTS AND OPPORTUNITIES



OPPORTUNITIES

- Pedestrian-friendly, low-traffic street
- Walking distance to retail, neighborhood amenities and parks
- Close to several bus routes and future light-rail station
- Well-landscaped street with mature street trees
- Opportunity for views of downtown to the south and west

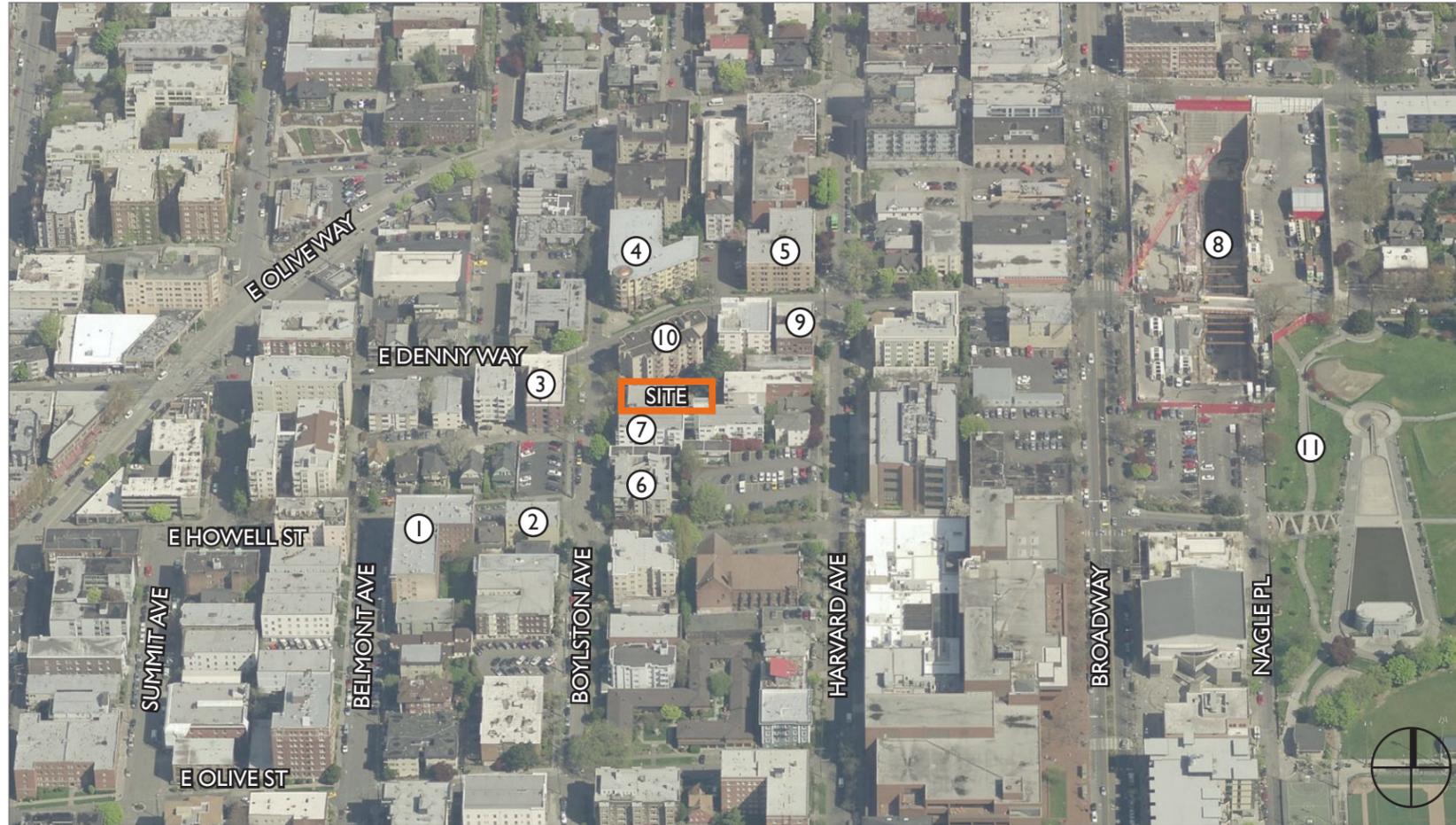
CONSTRAINTS

- Small, narrow lot with required setbacks on all sides limit flexibility of massing
- 4-5 story buildings on all sides of site will limit views and solar access at lower levels
- Lack of alley and narrow street frontage limits options for vehicular and pedestrian access, and limits opportunities for street-fronting units
- Slopes and neighboring retaining walls limit opportunities for use of ground-level outdoor space

KEY

	SITE		BUS ROUTE
	PARK		BUS STOP
	NODE		BIKE PATH
	LANDMARK		INTERSTATE
	ZONING BOUNDARY		PEDESTRIAN AREA BOUNDARY

SITE CONTEXT



① GRANADA APARTMENTS



② MISSION INN APARTMENTS



③ WINCHESTER APARTMENTS



④ MAXWELL CONDOMINIUMS



⑤ LASALLE APARTMENTS



⑥ 1800 BOYLSTON CONDOMINIUMS

The site context consists primarily of low and midrise residential buildings. They are a mix of old and new buildings in a variety of styles and sizes. The character of the neighborhood comes from this eclectic mix of buildings, rather than any particular architectural style or type. Most buildings are simple in form and are designed with a restrained material palette.



⑦ BOYLSTON PL. APARTMENTS



⑧ FUTURE CAPITOL HILL LIGHT RAIL STATION



⑨ TWICE SOLD TALES/ABONITA APTS.



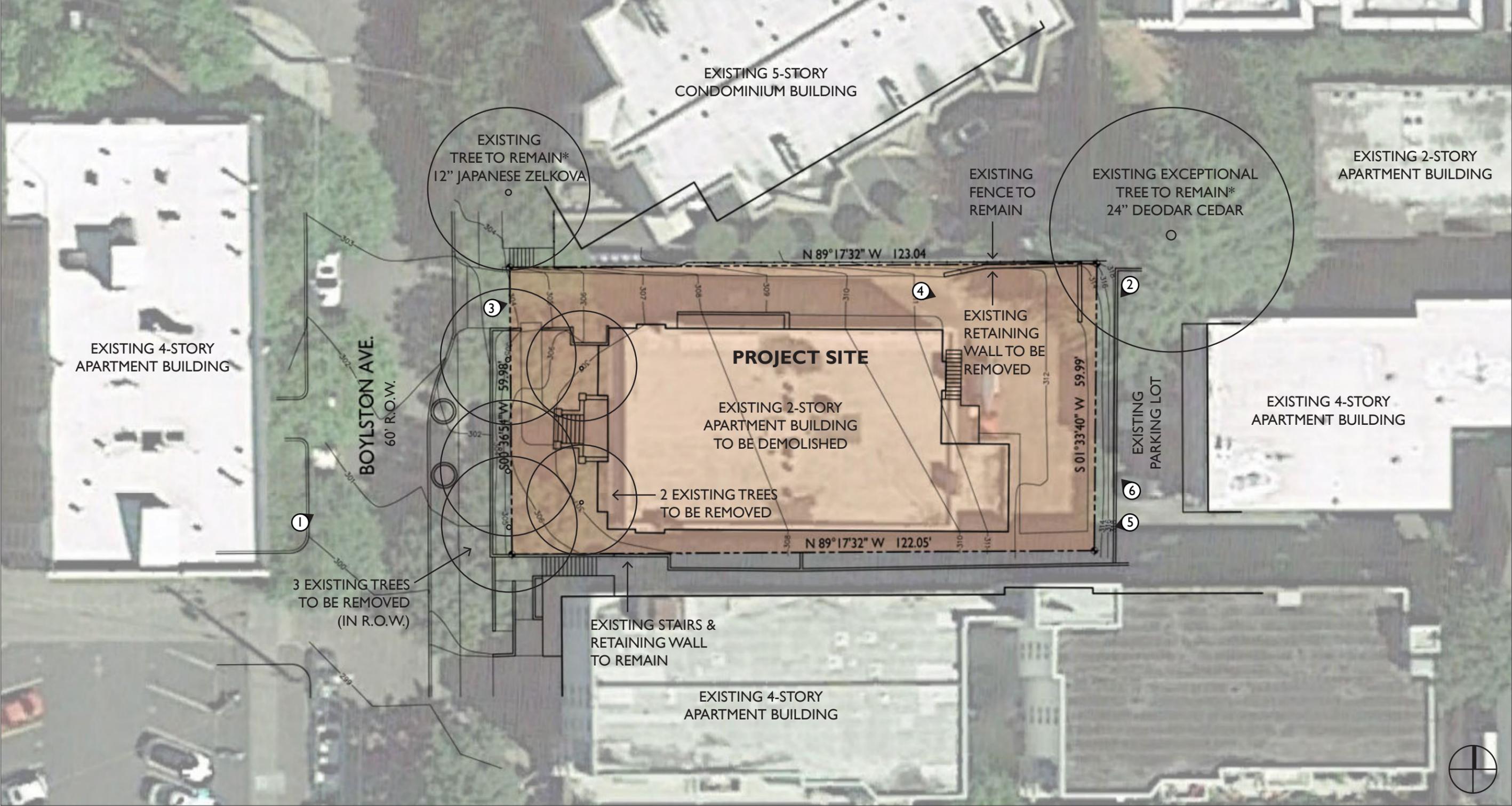
⑩ MEZZO CONDOMINIUMS



⑪ CAL ANDERSON PARK

EXISTING SITE

SITE PLAN



*Per arborist's report, the proposed development will not negatively impact the existing trees on adjacent properties.

EXISTING SITE

PHOTOS



① FRONT OF PROJECT SITE FROM BOYLSTON AVE.



② BACK OF PROJECT SITE, LOOKING SOUTH



③ NORTH PROP. LINE, LOOKING EAST



④ NEIGHBORING BUILDING WEST OF PROJECT SITE



⑤ SOUTH PROP. LINE, LOOKING WEST



⑥ NEIGHBORING BUILDING NORTH OF PROJECT SITE

1820 BOYLSTON AVE - DPD #3020247

DESIGN RECOMMENDATION

DESIGN GUIDELINES

CAPITOL HILL NEIGHBORHOOD - SOUTH ANCHOR DISTRICT

CS2 URBAN PATTERN AND FORM

Citywide Guideline: Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

CS2-B ADJACENT SITES, STREETS, AND OPEN SPACES

CS2-C RELATIONSHIP TO THE BLOCK

CS2-D HEIGHT, BULK, + SCALE

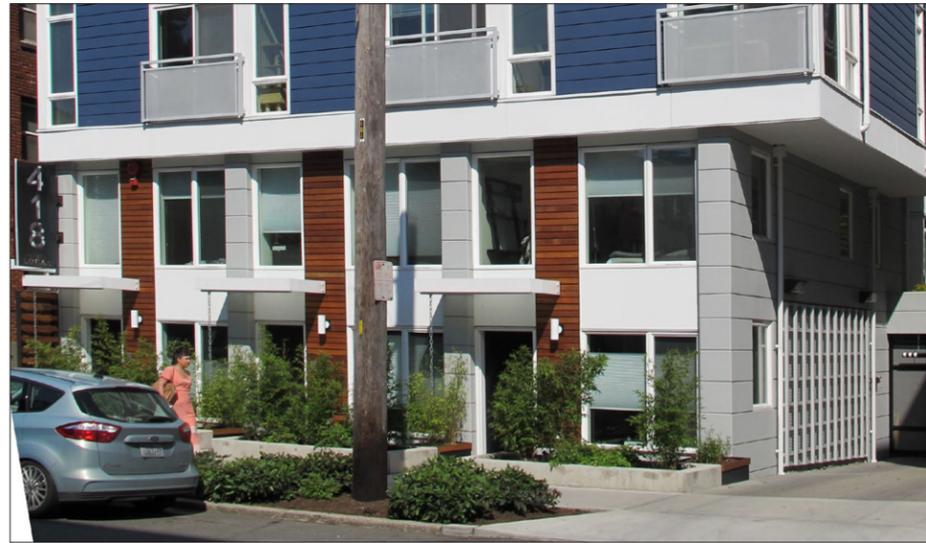
Capitol Hill Supplemental Guidance:

CS2-1 STREETScape COMPATIBILITY

RESPONSE:

(CS2-B + CS2-1) The proposed design will maintain the existing sidewalk width and planting strip, and add landscaping in the right-of-way. Townhouse units with street-facing entries and patios will activate the streetscape and create a residential character on the street, while also adding eyes on the street. The garage entry is located at the edge of the street frontage, minimizing its presence on the street front and minimizing conflicts between vehicular and residential access.

(CS2-B) The proposed design uses massing and design treatments at ground level to create a human-scaled streetscape. The lobby and ground floor units are recessed to distinguish the ground levels from the massing above, and to



STREET LEVEL UNITS

create usable patio space fronting the sidewalk. Canopies, lighting and doors will also help to create human-scaled entries. The double height treatment opens up the space to create an inviting environment while also providing light for safety.

(CS2-C + CS2-D + DC2-A) Given the small size of the project site and the

narrow width of the parcel with street frontage, the project is designed with a simple, singular massing facing the street, similar to other mid-rise residential buildings in the neighborhood. Additionally, the top floor has been pulled back to reduce the apparent height of the building from the street. The overall building massing is slightly situated towards the north, in order to highlight the open space and light + air opportunity provided to the southern facing units.



GROUND LEVEL TERRACES PROMOTE "EYES ON THE STREET"

(CS2-B + CS2-D) The majority of the units in the project are west and south facing, in direct response to the relationship of adjacent buildings. In addition to the lack of units facing north, the condominium to the north is set back significantly from the north property line, eliminating concerns of privacy. The units facing west benefit from separation from neighbors by the right-of-way. The eastern facing units are separated by the building to the east by a 15' on-site rear setback to the property line as well as a large setback between the property line and the neighboring building. Lastly, the majority of the units in the building to the south of the project are south facing and



HISTORIC & MODERN BUILDINGS IN NEIGHBORHOOD



STREET-LEVEL CANOPIES

separated from our building by an exterior access corridor creating a natural barrier easing privacy concerns.

(CS2-D) The preferred option follows the massing strategy of most of the historic residential buildings in the neighborhood. These use a simple, monolithic massing, consistent material palette, and regular patterns of windows and facade treatment. The massing of the proposed option uses minimal articulation at the base to highlight the main entry and ground-level townhouse units.

PLI CONNECTIVITY

Citywide Guideline: Complement and contribute to the network of open spaces around the site and the connections among them

PLI-C OUTDOOR USES + ACTIVITIES

RESPONSE:

(PLI-C + DCI-A + DC2-A) The proposed design uses massing and design treatments at ground level to create a functional and human-scaled streetscape. The lobby and ground floor units are recessed and covered to distinguish the ground levels from the massing above, to create usable patio space fronting the sidewalk and protected from the elements, and help to activate the public realm. Canopies, lighting and doors will also help to create human-scaled entries. These public and private gathering spaces will contain landscaping and seating to create inviting spaces along the sidewalk. Patios at the townhouse units will provide usable open space to activate the

DESIGN GUIDELINES

streetscape, while providing a transition zone between the sidewalk and the unit. The parking entry is located at the edge of the street front to minimize its impact on streetscape.



TALL, RECESSED ENTRY LOBBY

(PLI-C + DC2-A) The proposed design orients the most possible units toward Boylston Ave. to provide the most eyes on the street. Additionally, the west facing units will all contain large operable openings to embrace the connection to the public realm.

(PLI-C) Private ground level patios have been provided on the south and east side of the building. The project's narrow site and location in the densely populated neighborhood of Capitol Hill challenge the ability to create open spaces with full-time sun exposure, however locating the open spaces on the south side of the building will provide the best opportunity for sun, light and air.

(PLI-C + DCI-A) Additionally, a west-facing common roof-deck, accessible to all building occupants, will be provided at Level 8 of the proposed building providing views of the City, Space Needle, Puget Sound and Olympic Mountains.

DC1 PROJECT USES AND ACTIVITIES

Citywide Guideline: Optimize the arrangement of uses and activities on site.

DC1-A ARRANGEMENT OF INTERIOR USES

DC2 ARCHITECTURAL CONCEPT

Citywide Guideline: Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

DC2-A MASSING

DC2-D SCALE + TEXTURE

DC4 EXTERIOR ELEMENTS + FINISHES

Citywide Guideline: Use appropriate and high quality elements and finishes for the building and its open spaces

DC4-A EXTERIOR ELEMENTS + FINISHES

Capitol Hill Supplemental Guidance:

DC4-I HEIGHT, BULK + SCALE

DC4-II EXTERIOR FINISH MATERIALS

RESPONSE:

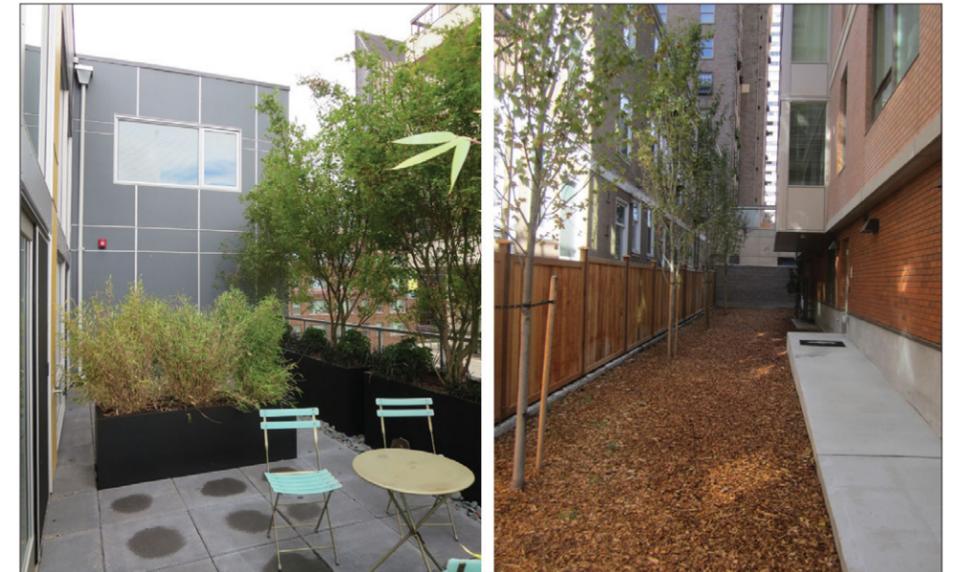
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MIX OF WOOD, METAL & GLASS

The proposed design maximizes ground-level open space on the street front and around the building. Private patios and a semi-public entry court help to activate the streetscape. Additional private patios are provided at the south-facing ground floor units, and the building massing has been shifted north to maximize solar access for these spaces.

The proposal will maintain the highly landscaped character of the streetscape by providing additional landscaping in the right of way and along the street frontage, including an additional street tree. Landscaping along interior property lines and setbacks will balance the need for usable outdoor space while creating harmonious transitions to neighboring properties. Landscaping will also be used to soften the appearance of new and existing retaining walls and fences. See landscape concept page for details.



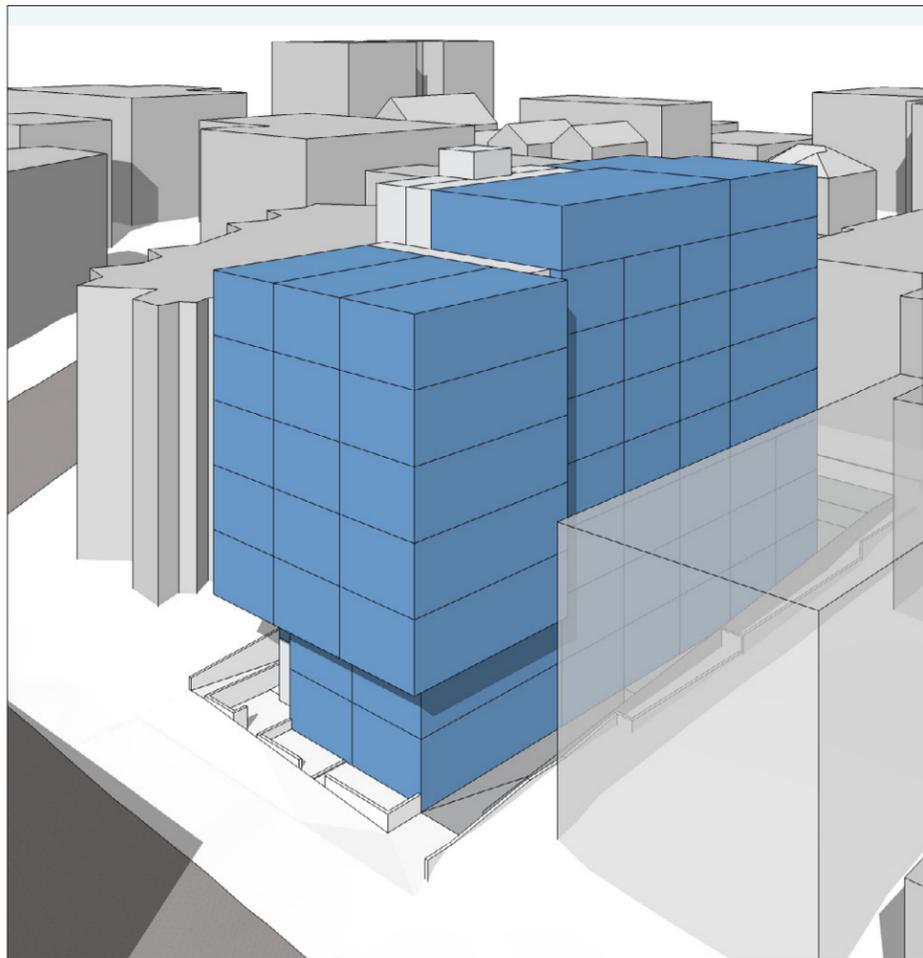
PRIVATE & COMMON OUTDOOR SPACES

(DC2-D + DC4-A + DC4-I/II) The project design includes large operable glass openings, metal and textured high-quality cement panels as the prominent exterior materials. Materials to add warmth, texture, and scale to the project, including wood soffits and corten accents, have been incorporated, particularly at street level. The proposed high-quality cement panels are highly textured and contain varying finishes to add an element of interest. These panels mimic masonry patterning seen around the neighborhood with a modern twist. Each unit will include operable windows for ventilation as well as an access door to provided unit decks and patios. retaining walls and fences. See landscape concept page for details.

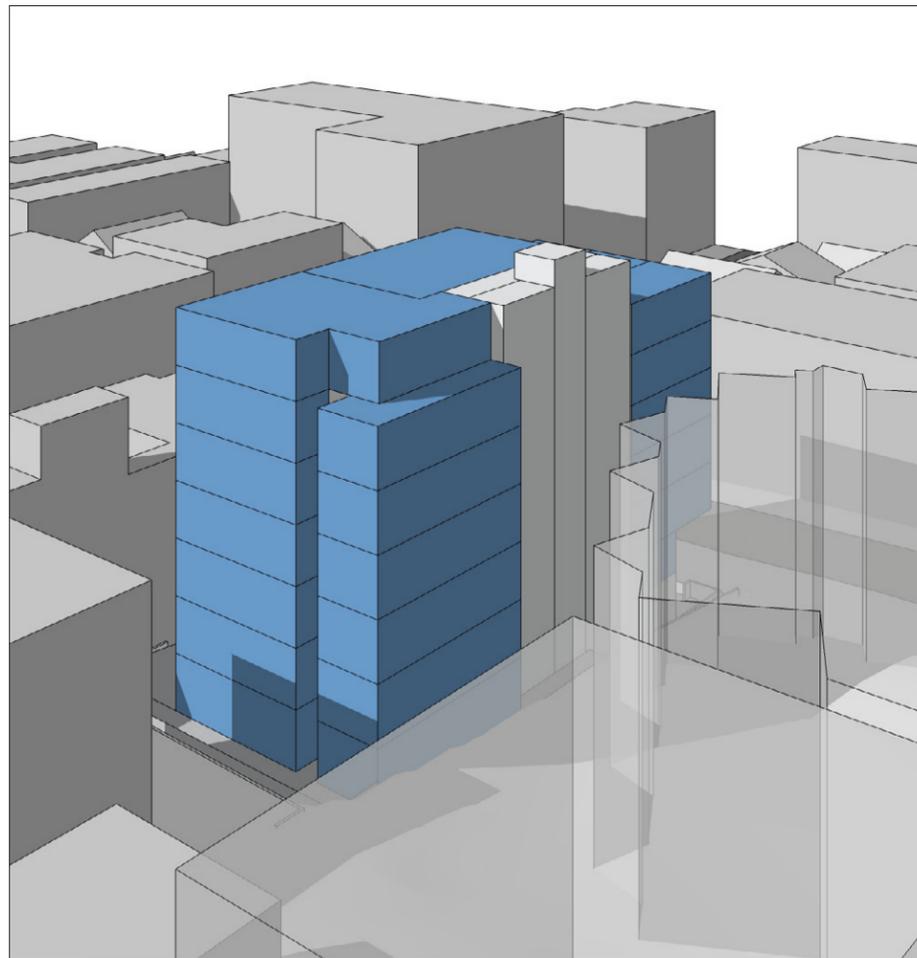
EDG MASSING & BOARD GUIDANCE

PREFERRED MASSING

The preferred massing at EDG consisted of two primary “blocks” of units, the front block facing the street and the larger, rear block facing south. The front block was centered on the street frontage, while the rear block was shifted to the north, creating larger outdoor spaces on the south side of the building for the units to face into. The main circulation core was located along the north side of the building. The parking entry was located off of the street along the south property line, while the main pedestrian entry is located at the northwest corner. Two townhouse units with private patios front the street at ground level. Departures were requested from the front, north side and rear setbacks to achieve this massing.



EDG PREFERRED MASSING - VIEW FROM SOUTHWEST



EDG PREFERRED MASSING - VIEW FROM NORTHEAST

BOARD GUIDANCE

Massing:

The board was supportive of the preferred massing option, though they were concerned about the minimal setback and amount of blank wall on the north side of the building. They recommended that the applicant study increasing the setbacks to provide more glazing and visual interest on the north facade.

Streetscape:

The board was supportive of the proposed streetscape design, and the locations of the lobby and townhouse units.

Materials:

The board supported the proposed material palette of glass, metal and wood, and encouraged the applicant to consider the scale and texture of facade materials in the final design. The board highlighted the importance of the material choices and detailing of the north facade to mitigate the height and bulk.

Exceptional Tree:

The Board recognized that an Exceptional Tree is located along the perimeter and that all options plan for the retention of the tree.

Departures:

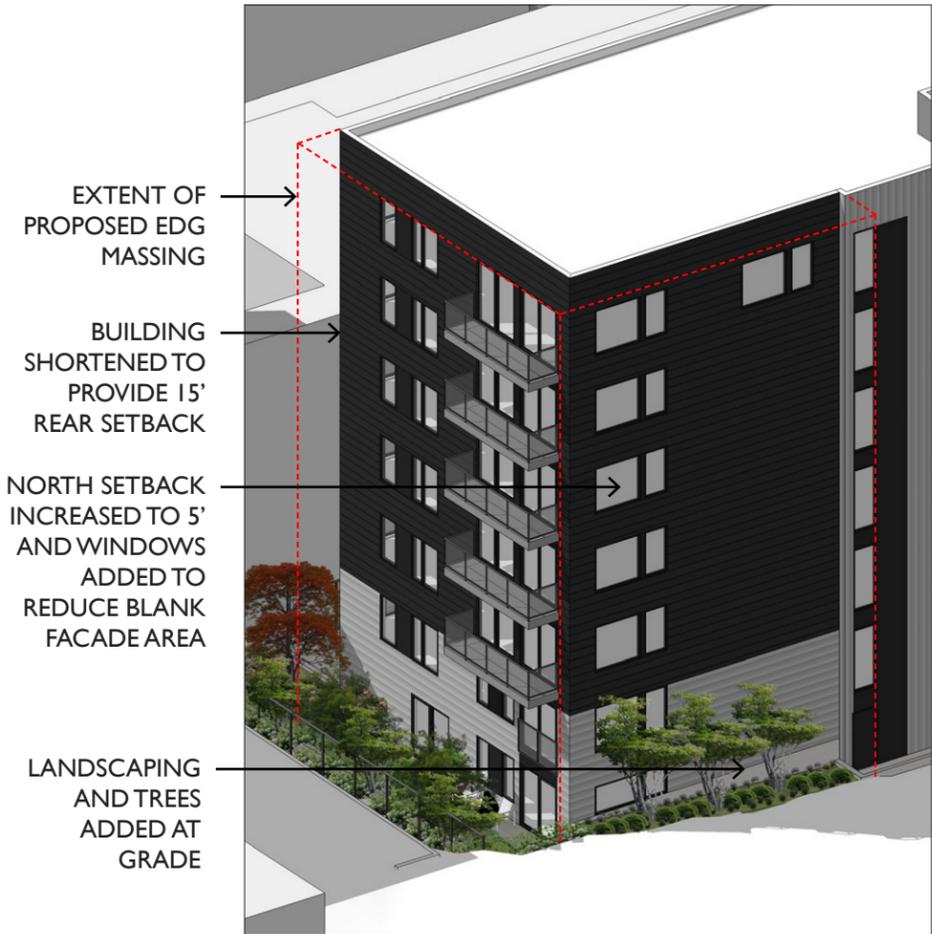
The board indicated that they would support the front setback and north setback departures, provided the facades are appropriately detailed with high quality materials that mitigate the impact of the massing.

The board was not supportive of the rear setback departure.

RESPONSE TO EDG

MASSING

The current proposed massing at the northeast corner has been substantially cut back from the proposed massing at EDG. The rear (east) setback has been increased from 10' to 15', eliminated the requested rear setback departure. The building has also been pulled back 5' from the north property line, allowing for more windows and less blank wall on the north facade. At ground level landscaping and trees have been added as a further buffer between the building and the north property line.



PROPOSED MASSING - VIEW FROM NORTHEAST

NORTH ELEVATION

Several studies of the north elevation were done to explore material options and composition in a way that would mitigate the massing of the building and present a high-quality facade to the neighboring building to the north. Early studies used a variety of materials and colors to create visual interest, though the later and final versions of the elevations used a more limited palette to create a more coherent and refined facade. The current proposed elevation takes the material patterns of the east and west elevations and wraps them around on to the north facade. The elevator and stair core is a unique programmatic and massing element. As such it is given a unique material treatment, using vertically oriented metal panel with black panels accentuating the windows.



NORTH ELEVATION STUDY



NORTH ELEVATION STUDY



NORTH ELEVATION STUDY



NORTH ELEVATION STUDY



PROPOSED NORTH ELEVATION

RESPONSE TO EDG

STREETSCAPE

The proposed design maintains the northeast corner entry and street-facing units proposed at EDG. The bottom two floors are recessed, creating a distinct base for the building and allowing for private patios and landscaping between the units and the sidewalk. The lobby is recessed further, creating a covered entry court. Building signage is integrated into the retaining walls at the main entry stairs. See pages 24 & 25.



MATERIALS

The proposed material palette consists of metal panel, corten steel, “oko skin” cement slat cladding, and concrete. The highest-quality materials, corten and oko skin, are located on the front of the building where they will be most visible to the public. The proposed materials are highly durable with integral color and texture. Window frames will be black to integrate well with the rest of the materials. See pages 18 & 19.



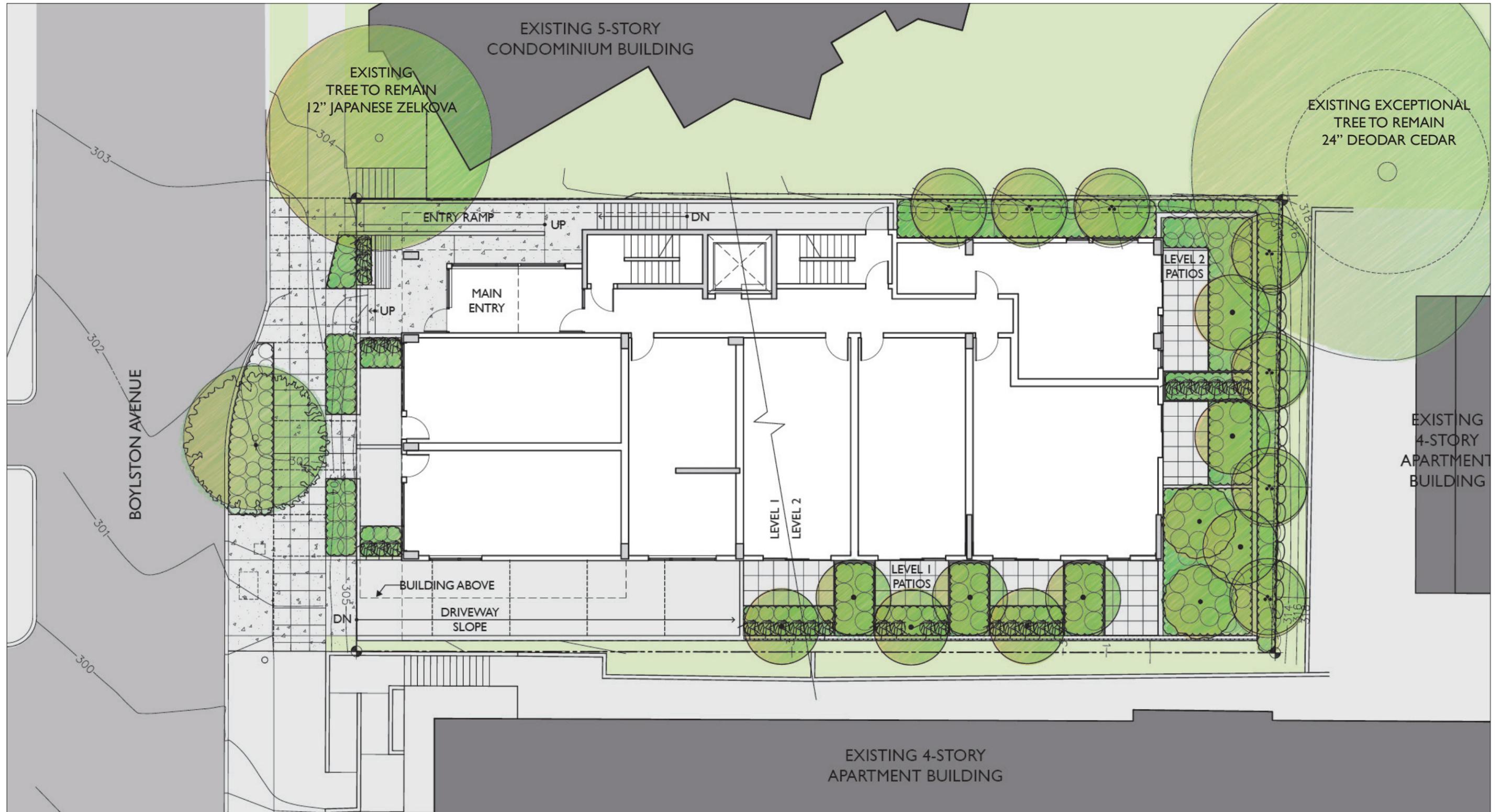
EXCEPTIONAL TREE

The existing exceptional tree (Deodar Cedar) on the adjacent property to the northeast has been evaluated by an arborist in coordination with the proposed building. The arborist has determined that the project will not adversely impact the tree. The superstructure of the proposed building is outside the crown area of the tree, and the below grade structure will not encroach on the inner root zone of the tree. See site plan on facing page.

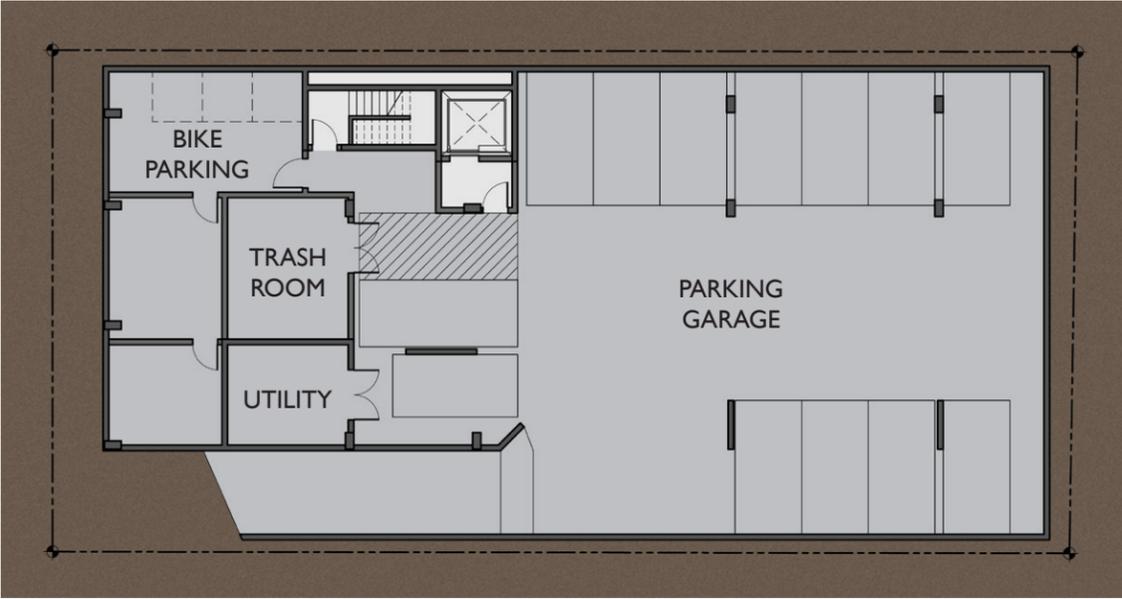
DEPARTURES

The proposed building has been revised to eliminate the rear setback departure request. Three other departures proposed at EDG are still requested: the north side setback, front setback, and driveway sight triangle. See pages 34-36 for departure matrix and diagrams.

SITE PLAN



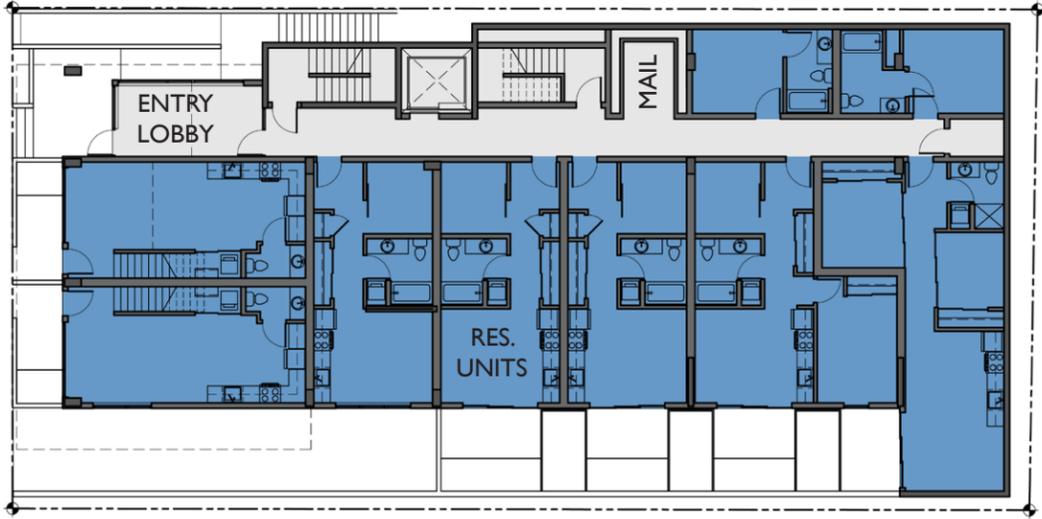
FLOOR PLANS



LEVEL P1



LEVEL 2

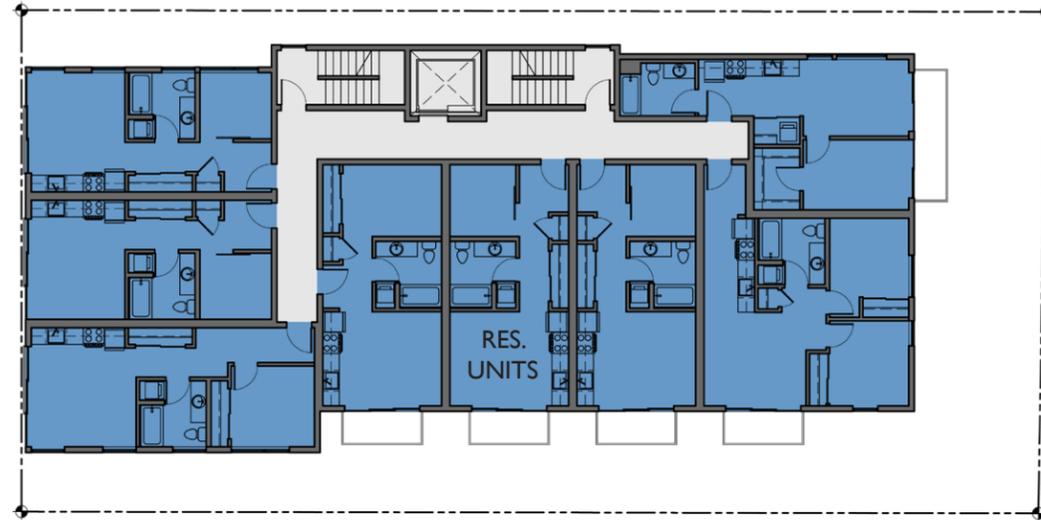


LEVEL 1

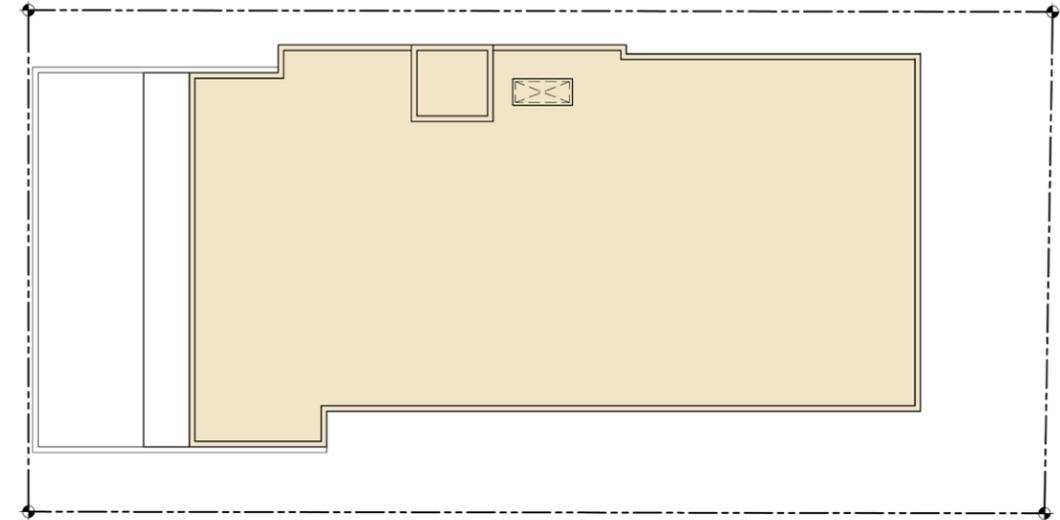


LEVEL 3

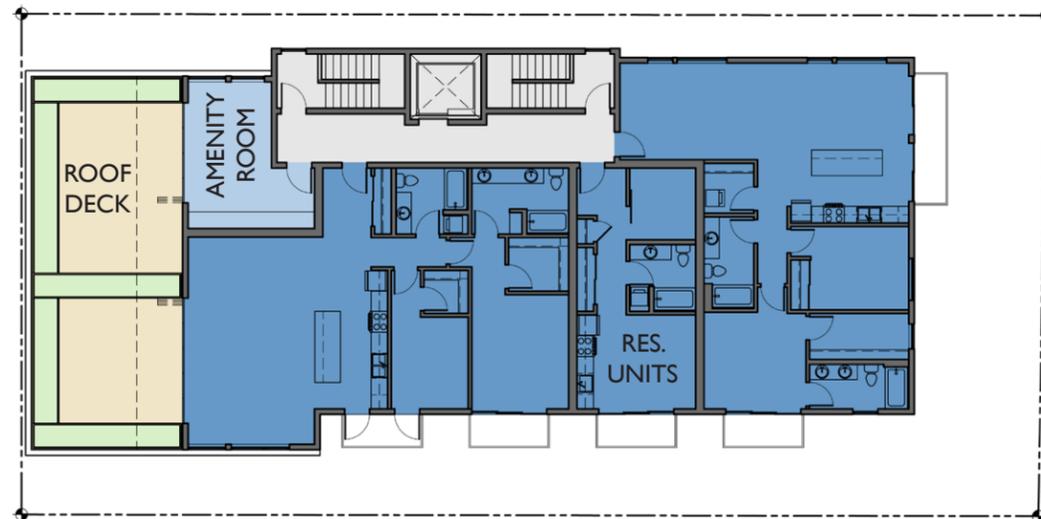
FLOOR PLANS



LEVELS 4-7



ROOF



LEVEL 8

-  RESIDENTIAL
-  AMENITY
-  CIRCULATION
-  PARKING/UTILITY

ELEVATIONS



WEST ELEVATION

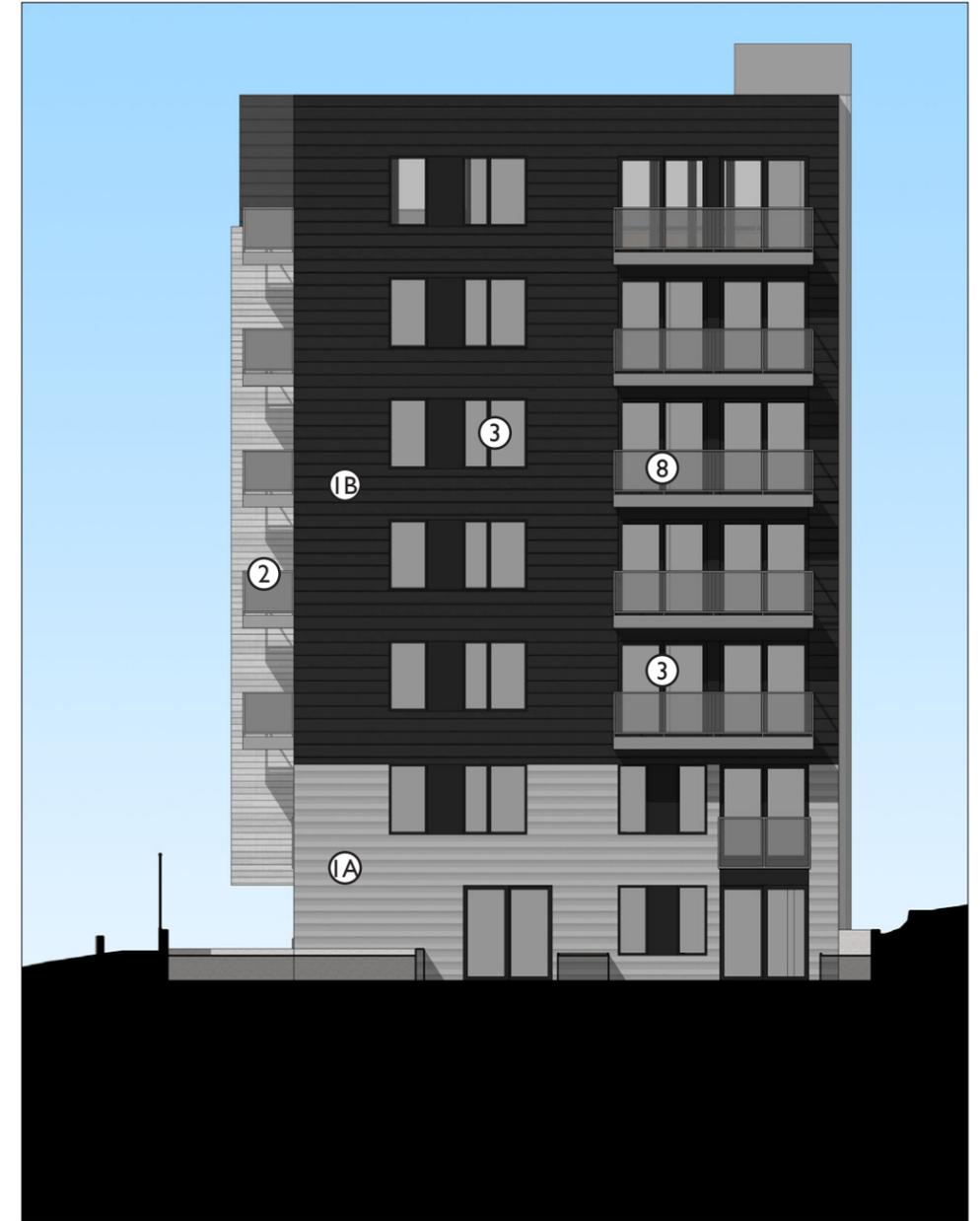


SOUTH ELEVATION

ELEVATIONS

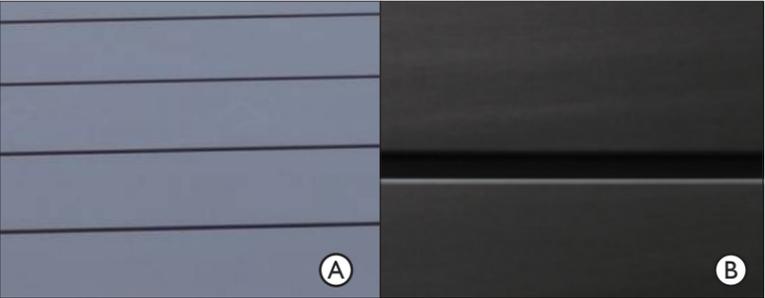


NORTH ELEVATION



EAST ELEVATION

MATERIAL & COLOR PALETTE



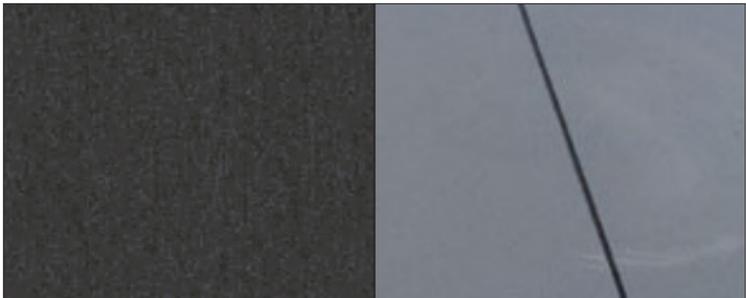
① METAL PANELS - COOL METALLIC SILVER+ COOL MATTE BLACK



⑤ CONCRETE



② OKO SKIN - IVORY (GLASS FIBER REINFORCED CONCRETE)



⑥ PAINTED FIBER CEMENT INFILL PANELS



③ BLACK VINYL OR FIBERGLASS WINDOW SYSTEM



⑦ BLACK STOREFRONT

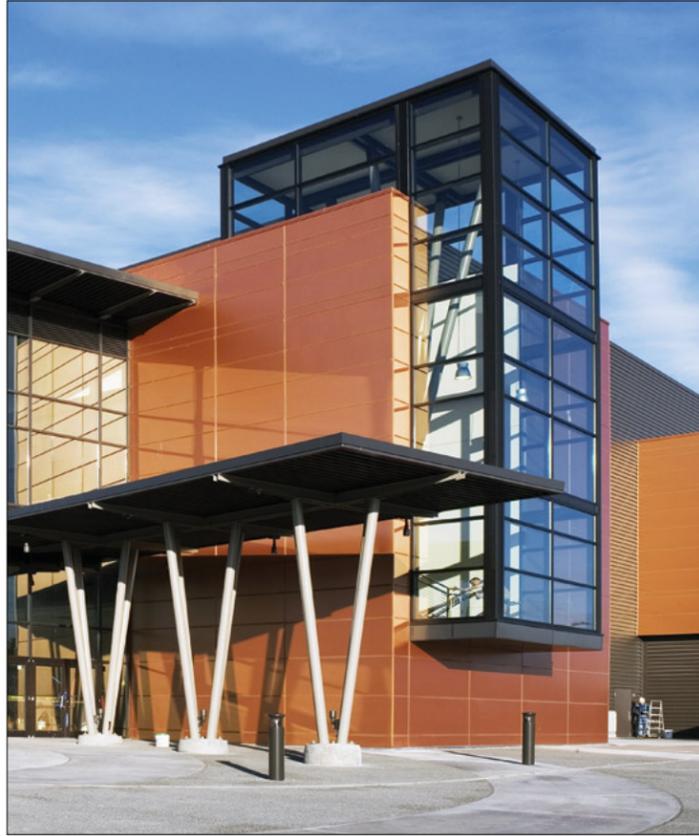


④ CORTEN STEEL WALL PANELS

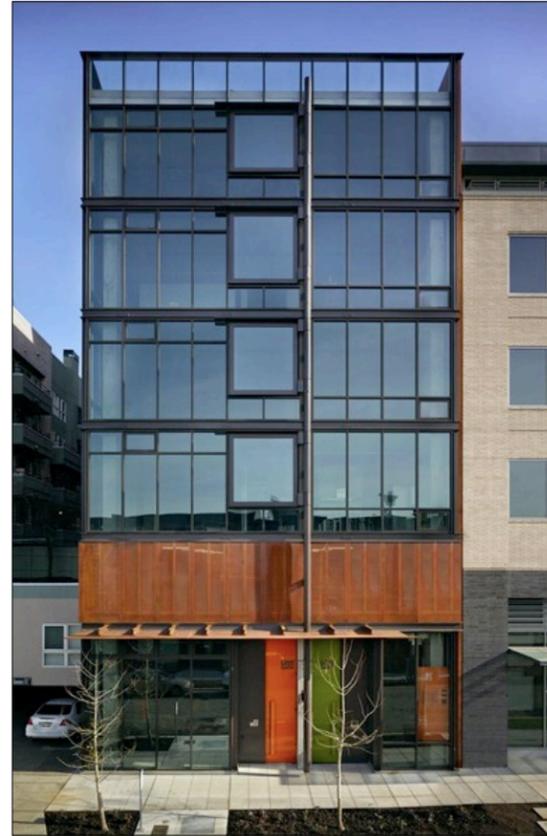


⑧ GLASS DECK RAILS @ DECKS + JULIET BALCONIES

MATERIAL PHOTOS



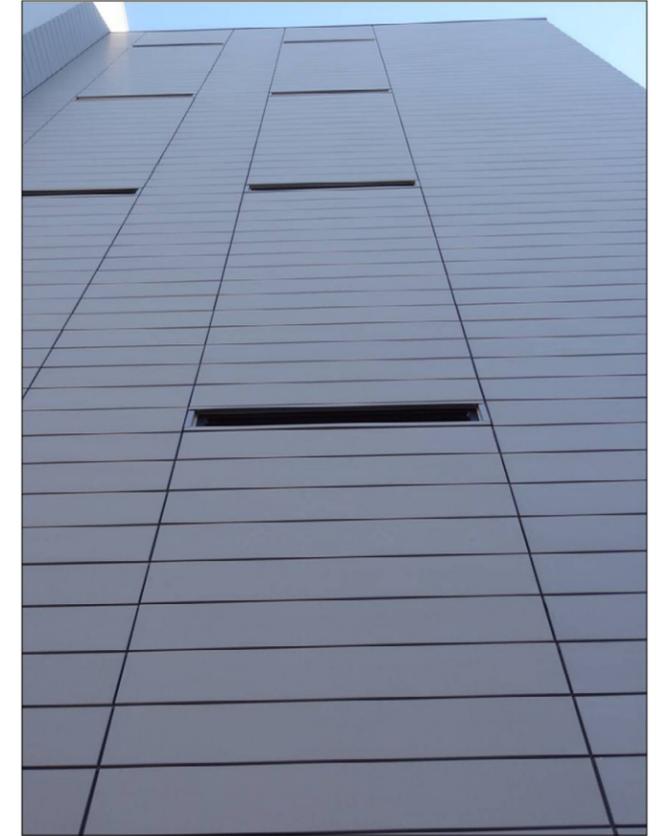
CORTEN EXTERIOR WALL PANELS



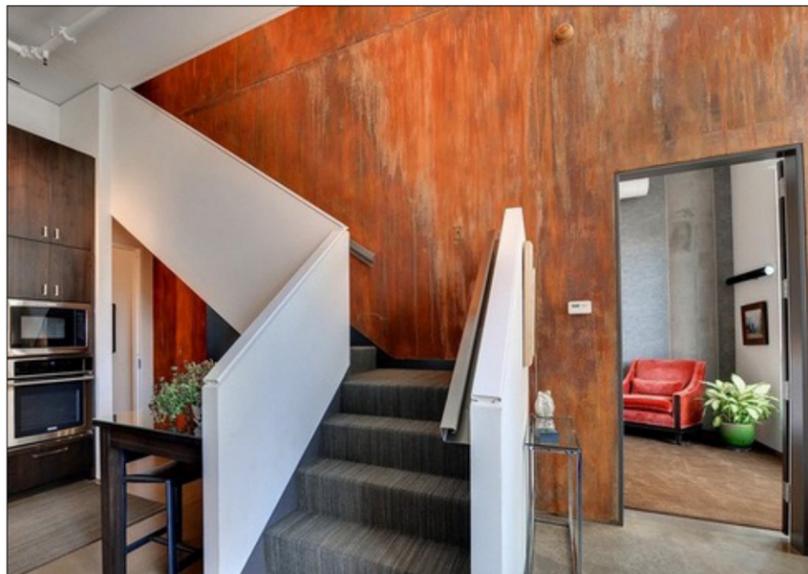
CORTEN EXTERIOR ACCENT PANEL



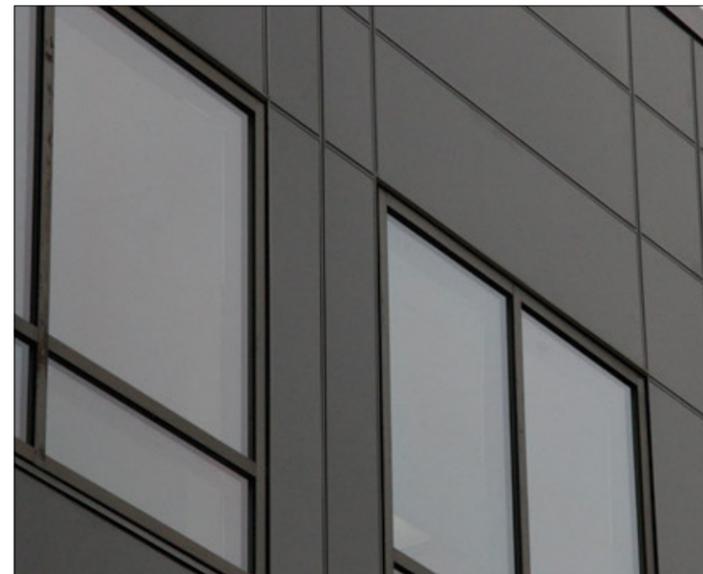
OKO SKIN WALL PANELS



EXTERIOR METAL PANELS



CORTEN INTERIOR WALL PANELS



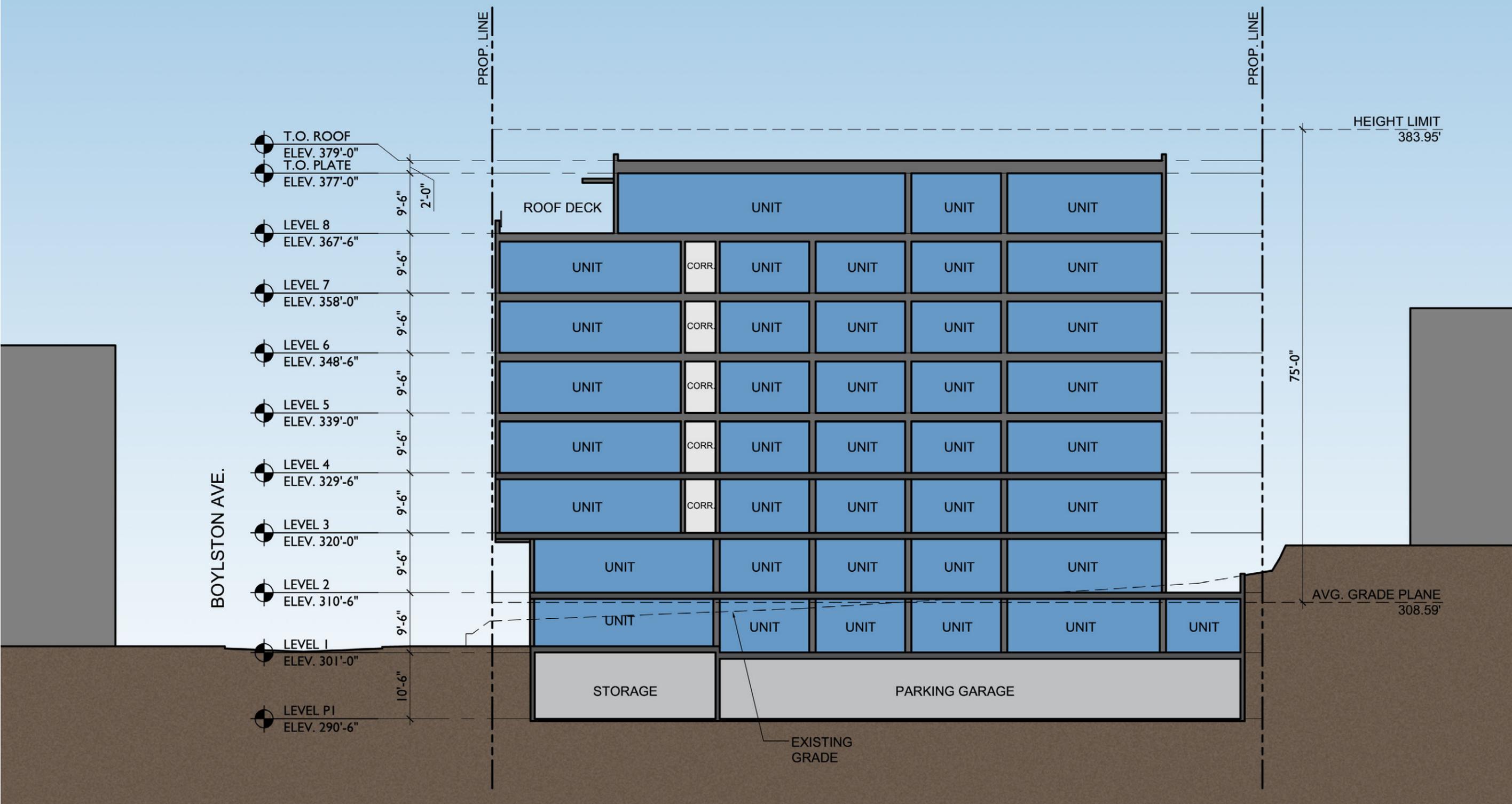
EXTERIOR FIBER CEMENT PANELS



OKO SKIN WALL PANELS

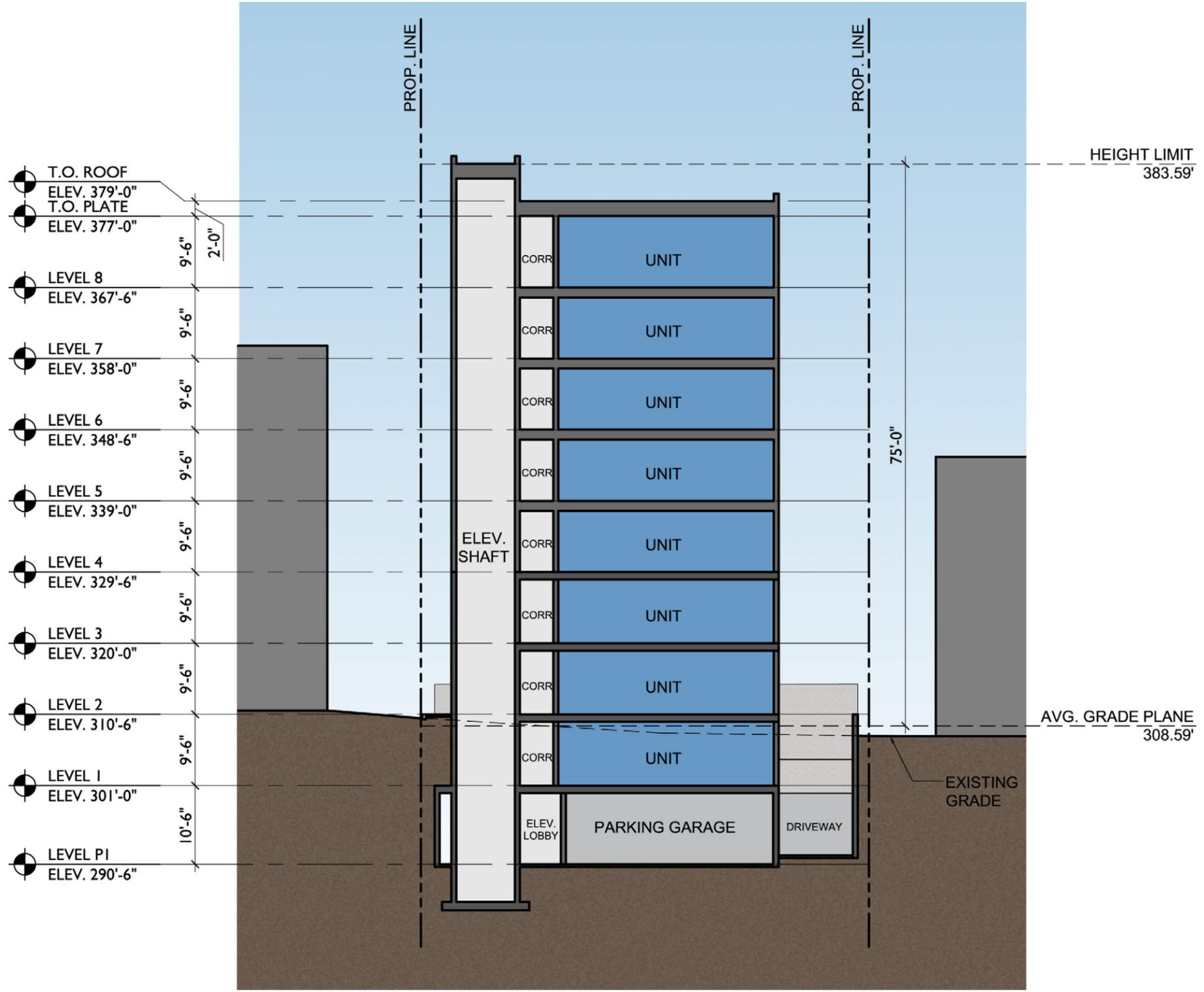
BUILDING SECTIONS

EAST-WEST SECTION



BUILDING SECTIONS

NORTH-SOUTH SECTION



RENDERINGS

STREET VIEW FROM SOUTHWEST



RENDERINGS

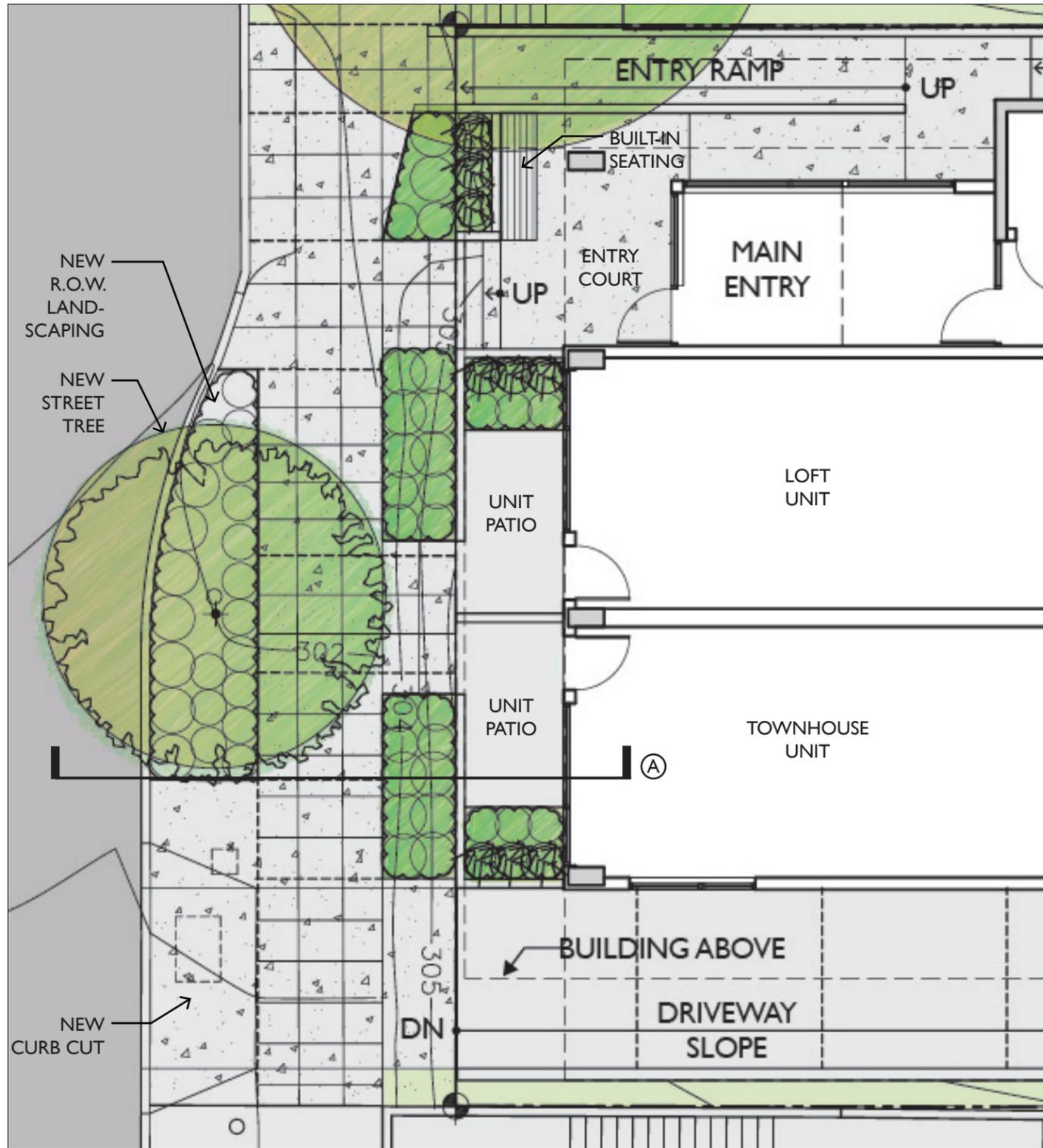
VIEW FROM NORTHEAST



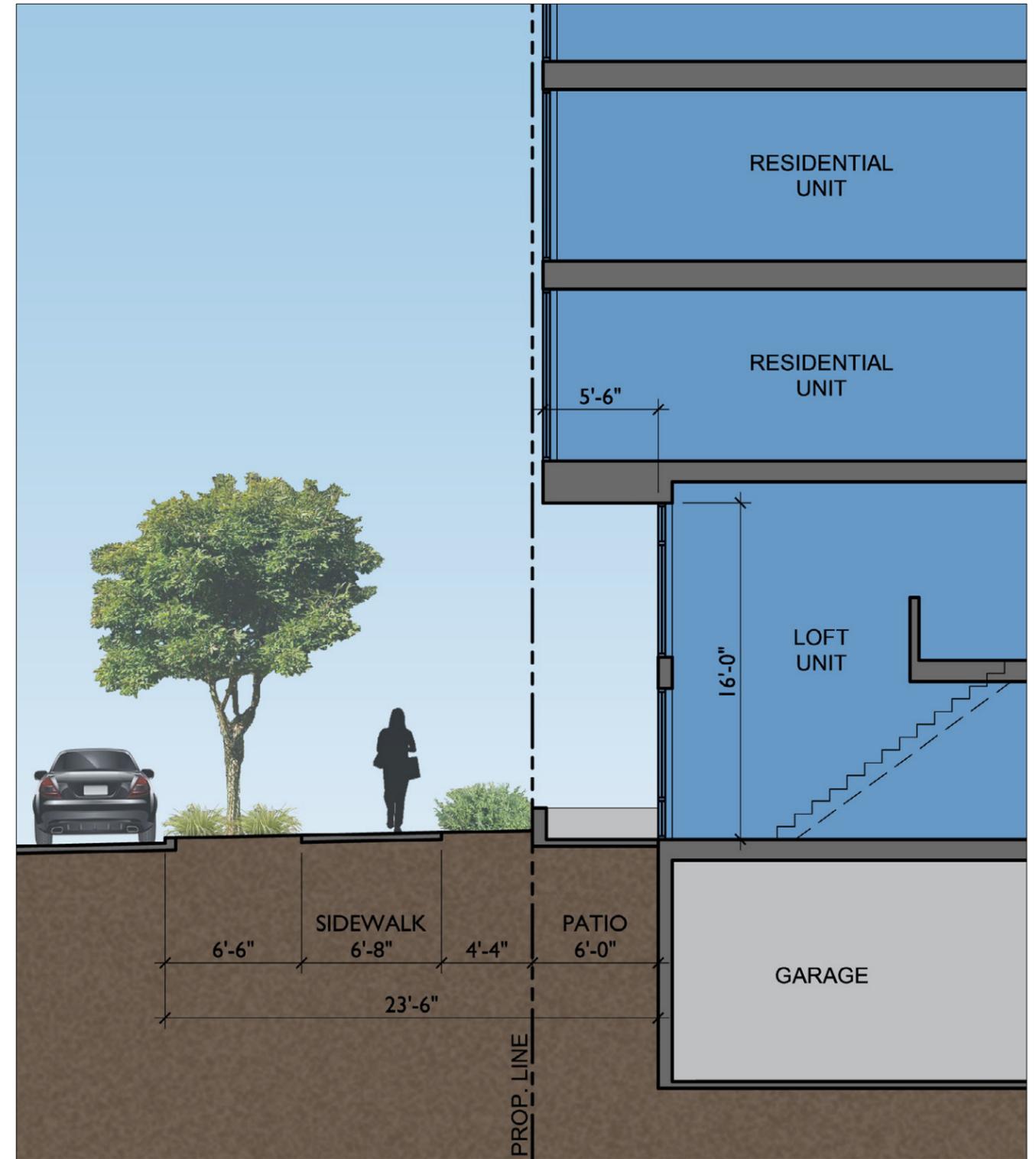
ENTRY & STREETScape



ENTRY & STREETScape



PLAN VIEW: STREETScape



SECTION A: STREETScape

1820 BOYLSTON AVE - DPD #3020247

DESIGN RECOMMENDATION

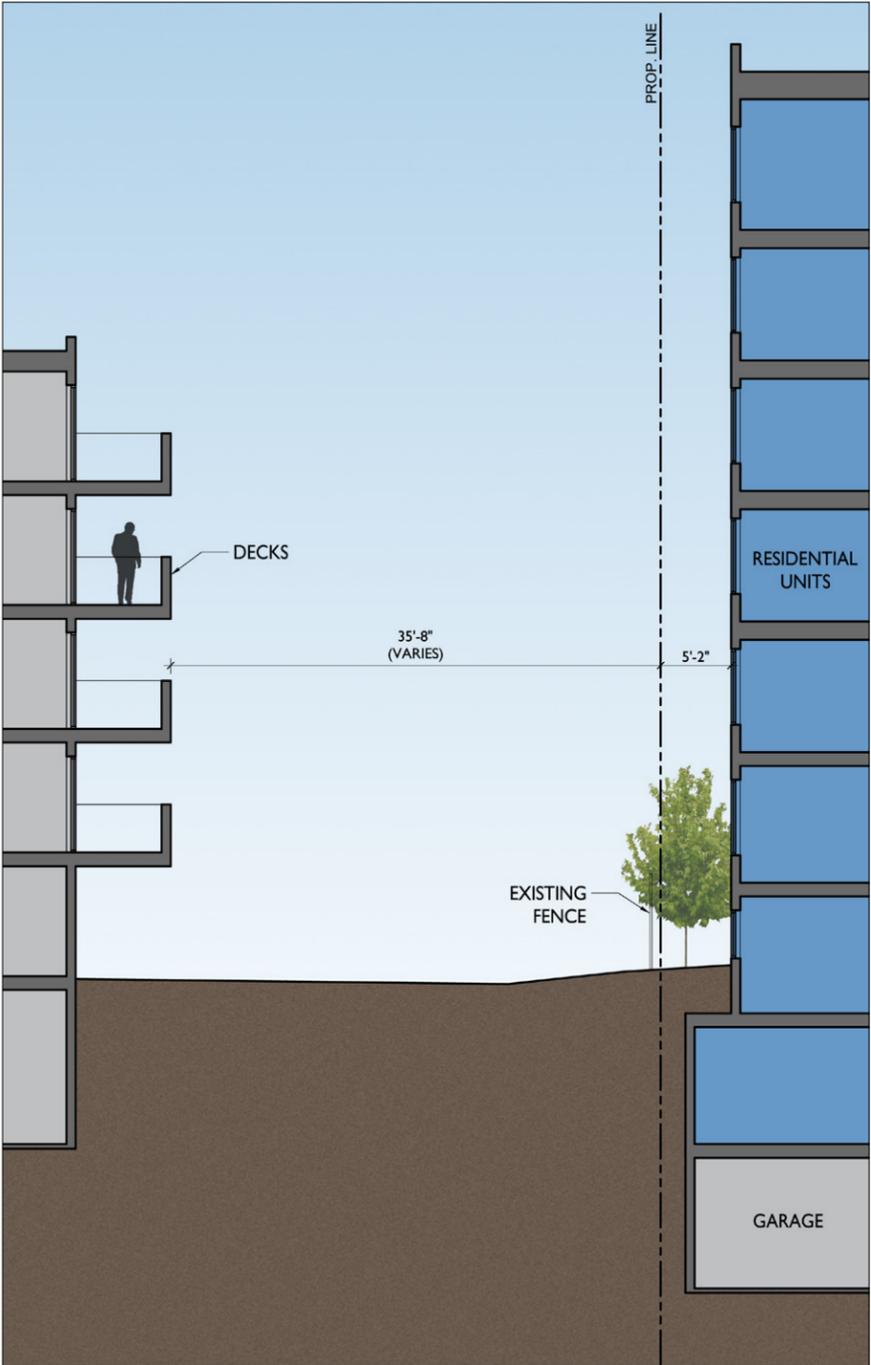
NORTHEAST CORNER



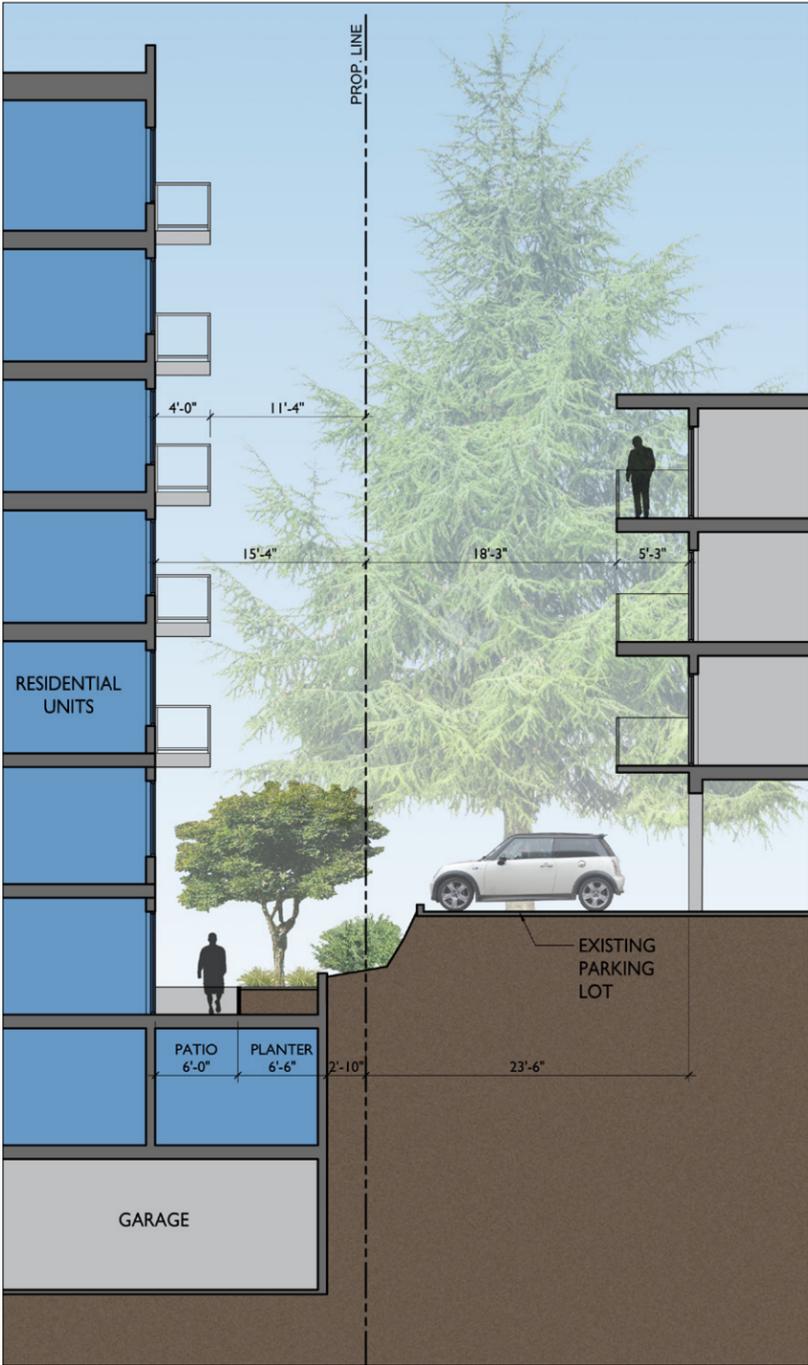
NORTHEAST CORNER



PLAN VIEW: EAST PATIOS

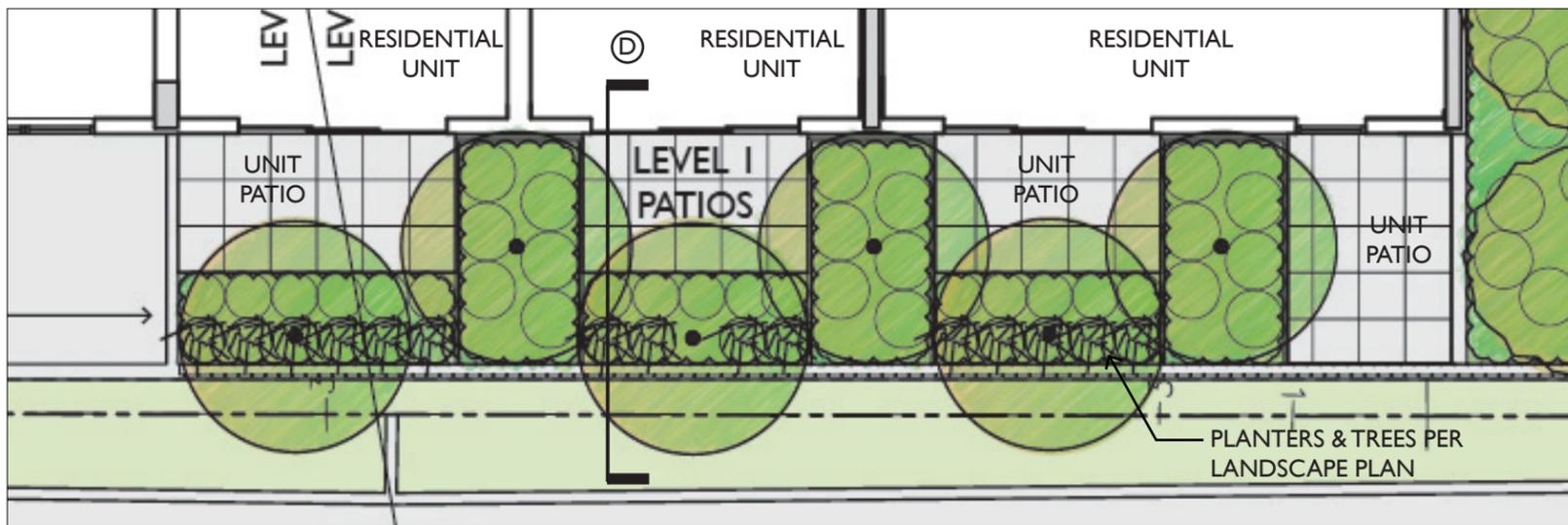


SECTION B: NORTH PROPERTY LINE

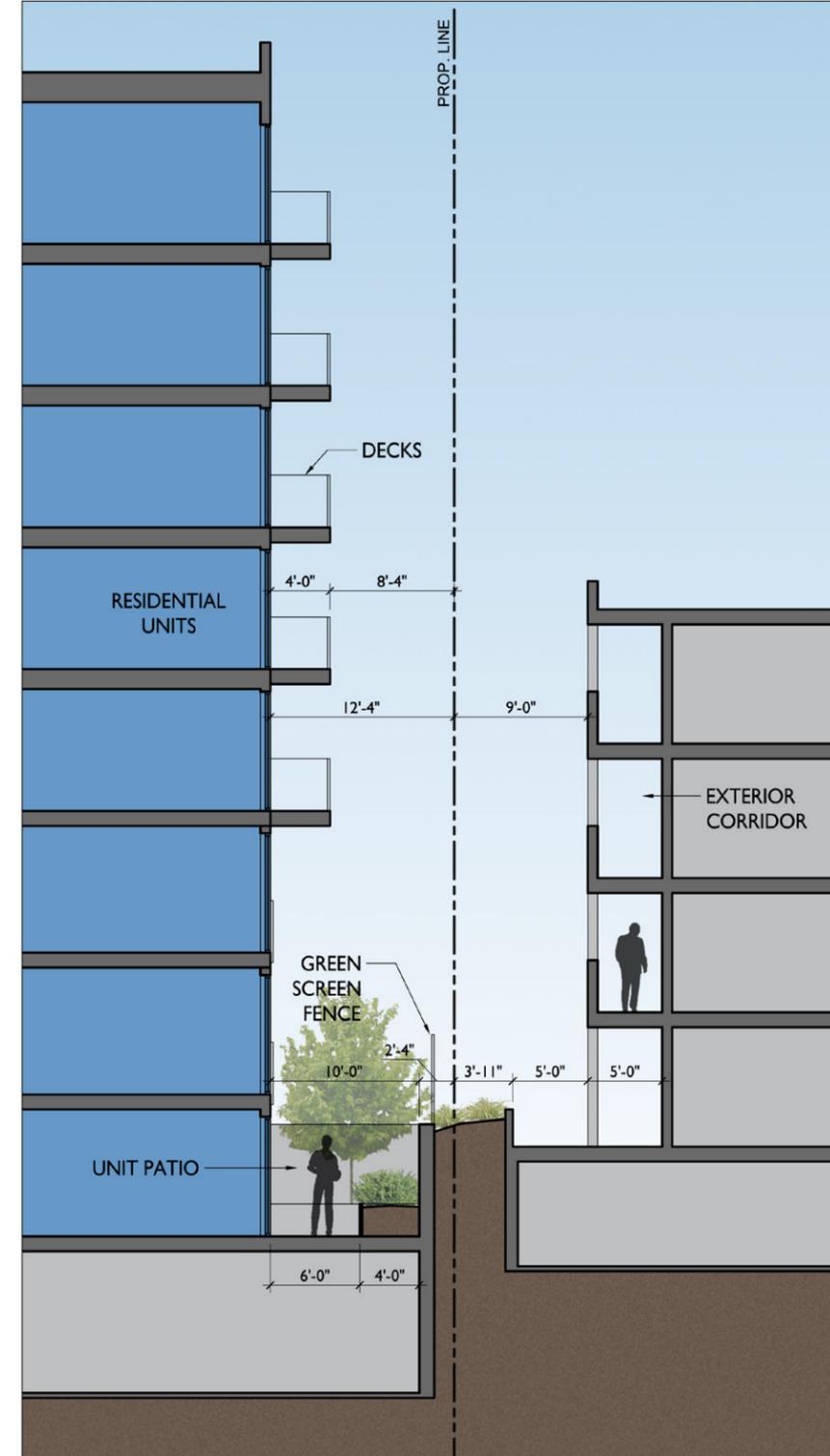


SECTION C: EAST PROPERTY LINE

SOUTH PATIOS

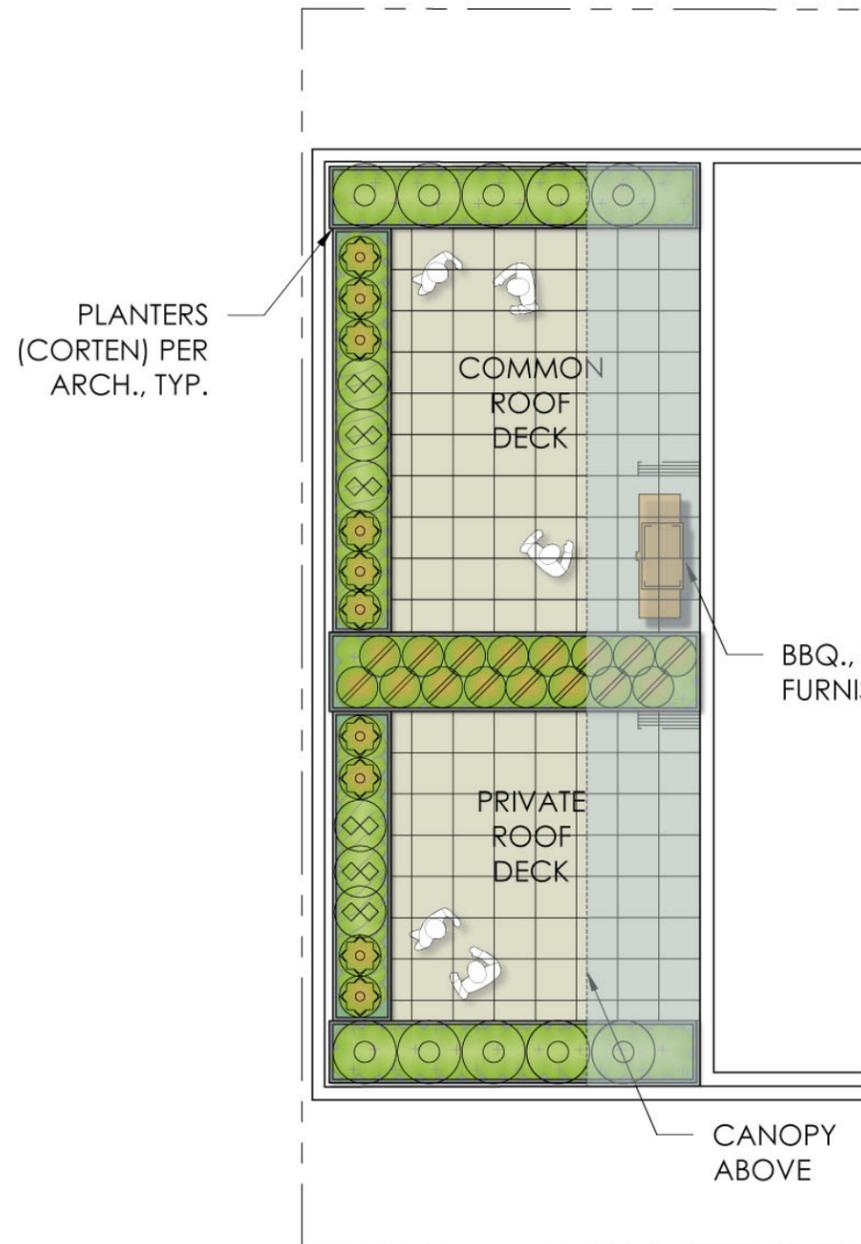


PLAN VIEW: SOUTH PATIOS



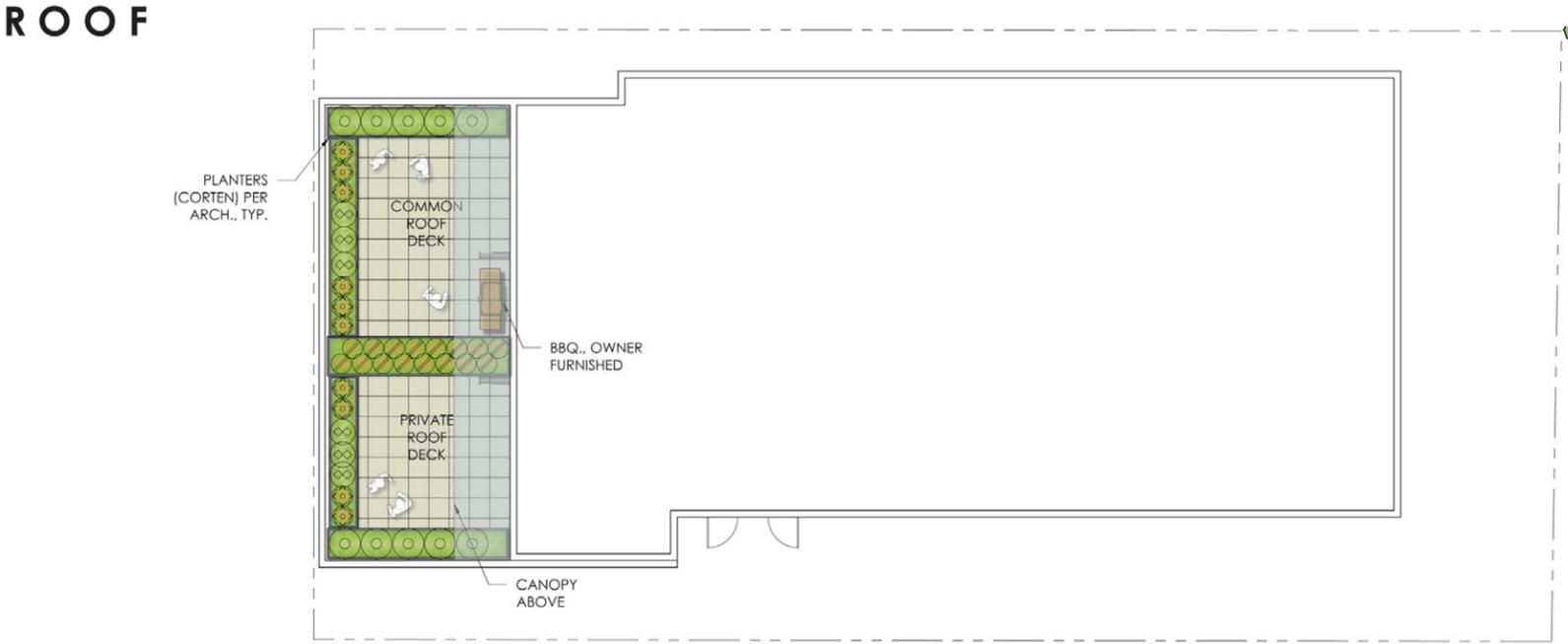
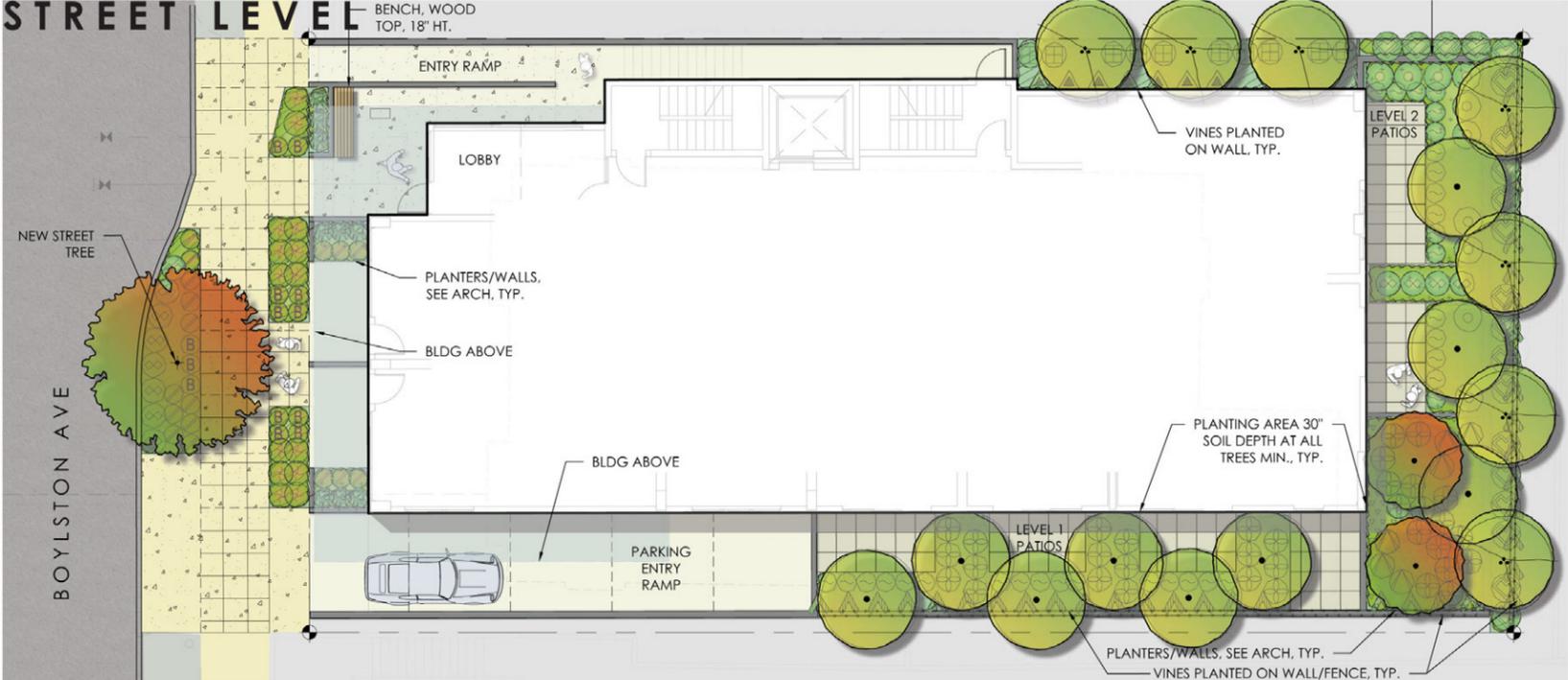
SECTION D: SOUTH PROPERTY LINE

ROOF DECK



PLAN VIEW: ROOF DECK

LANDSCAPE PLANS



1 0 8 16 N



nice entry ramp



landscape terraces



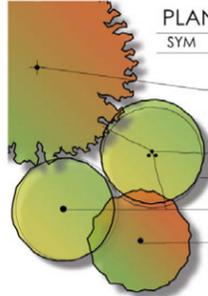
Corten Planters



Lush Roof Landscape

LANDSCAPE IMAGES

PLANTS



PLANT LIST

SYM	BOTANICAL NAME	COMMON NAME
STREET TREES		
	ACER SACCHARUM 'GREEN MOUNTAIN'	'GREEN MOUNTAIN' SUGAR MAPLE
- APPROVED BY CITY OF SEATTLE SENIOR LANDSCAPE ARCHITECT, SHANE DEWALD, 9.14.2015		
ON-SITE TREES		
	ACER CIRCINATUM **	VINE MAPLE
	ACER PALMATUM (GREEN)	JAPANESE MAPLE (GREEN)
	AMELANCHIER X GRANDIFLORA**,*	'AUTUMN BRILLIANCE' SERVICEBERRY
	'AUTUMN BRILLIANCE'	
BAMBOO		
	PHYLLOSTACHYS AUREA	GOLDEN BAMBOO
SHRUBS / GRASSES		
	AZALEA 'HINO CRIMSON'	'HINO CRIMSON' AZALEA
	CORNUS STOLONIFERA 'KELSEY' *	'KELSEY' RED TWIG DOGWOOD
	ILEX CRENATA 'CONVEXA' **	CONVEX LEAF JAPANESE HOLLY
	IMPERTATA CYLINDRICA 'RED BARON'	'RED BARON' BLOOD GRASS
	LONICERA PILEATA**	BOXLEAF HONEYSUCKLE
	NANDINA DOMESTICA 'GULF STREAM' **	'GULF STREAM' HEAVENLY BAMBOO
	PIERIS JAPONICA 'CAVATINE' **	'CAVATINE' JAPANESE PIERIS
	ROSA 'AMBER' FLOWER CARPET	'AMBER' FLOWER CARPET ROSE
	SARCOCOCCA RUSCIFOLIA **	SWEET BOX
	VIBURNUM DAVIDII **	DAVID'S VIBURNUM
VINES		
	AKEBIA QUINATA	FIVE-LEAF AKEBIA
	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER
GROUNDCOVERS		
	OPHIPOGON P. 'NIGRESCENS**	BLACK MONDO GRASS
	LIRIOPE MUSCARI	LILYTURF
	50% EPIMEDIUM ALPINUM **	50% EPIMEDIUM
	25% ASTILBE X ARENSII 'PEACH BLOSSOM'	25% 'PEACH BLOSSOM' ASTILBE
	25% POLYSTICHUM MUNITUM **	25% SWORD FERN



Acer circinatum
Vine Maple



Amelanchier 'Autumn Brilliance'
'Autumn Brilliance' Amelanchier



Acer saccharum 'Green Mt.'
'Green Mountain' Sugar Maple



Phyllostachys aurea
Golden Bamboo



Hydrangea quercifolia 'Munchkin'
'Munchkin' Oakleaf Hydrangea



Ilex crenata 'Convexa'
Compact Japanese Holly



Imperata cylindrica 'Rubra'
Japanese Blood Grass



Nandina domestica 'Gulf Stream'



Pieris japonica 'Cavatine'
'Cavatine' Japanese Pieris



Rosa x 'Amber'
Amber Flower Carpet Rose



Sarcococca ruscifolia
Sweet Box



Liriope muscari
Lilyturf



Ophiopogon p. 'nigrescens'
Black Mondo Grass

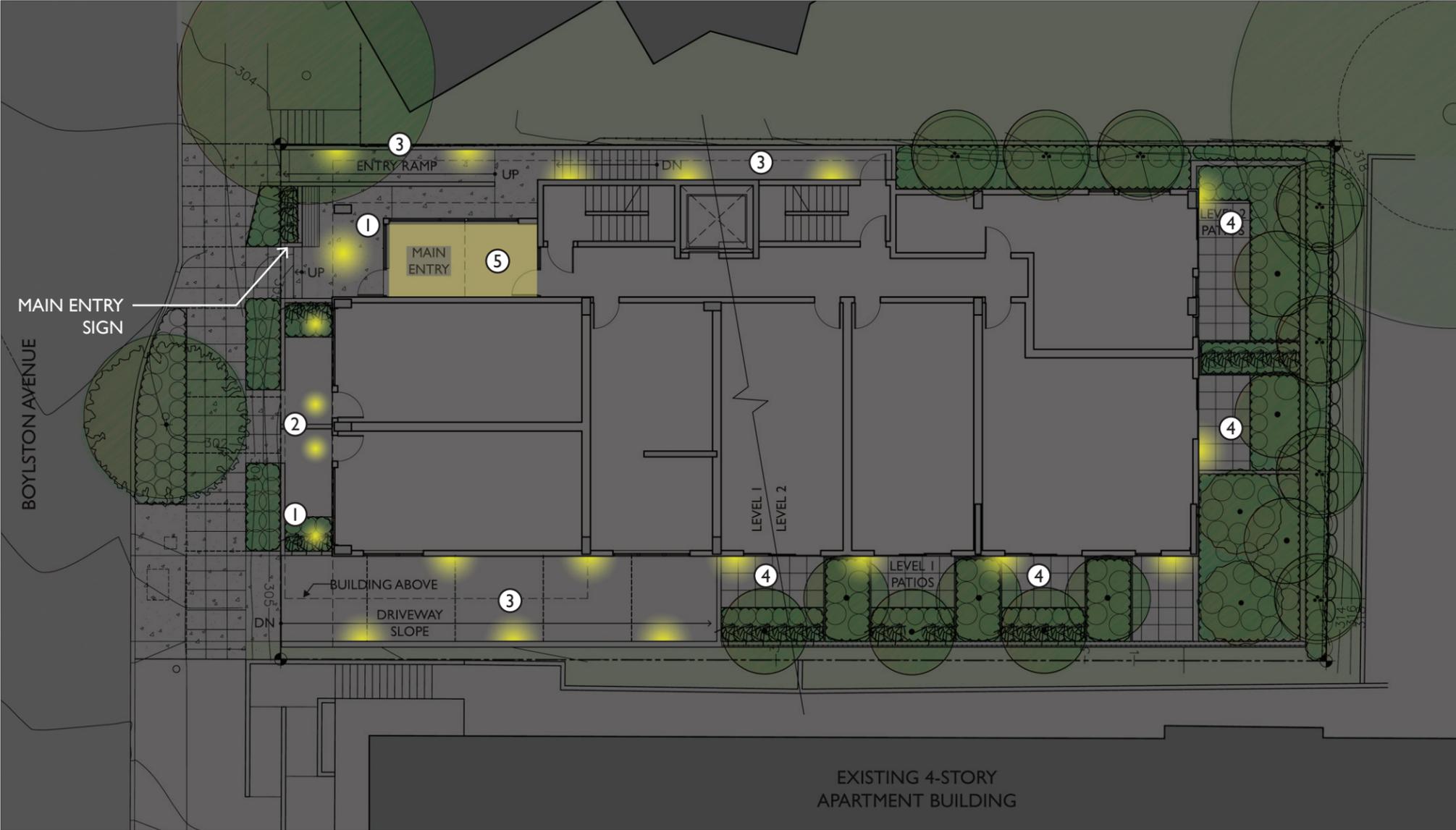


Epimedium alpinum
Epimedium



Astilbe x arendsii 'Peach Blossom'
'Peach Blossom' Astilbe

LIGHTING & SIGNAGE PLAN



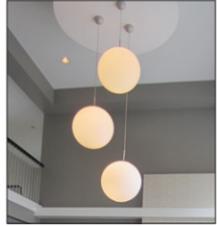
CONCEPTUAL LIGHTING PLAN

- 

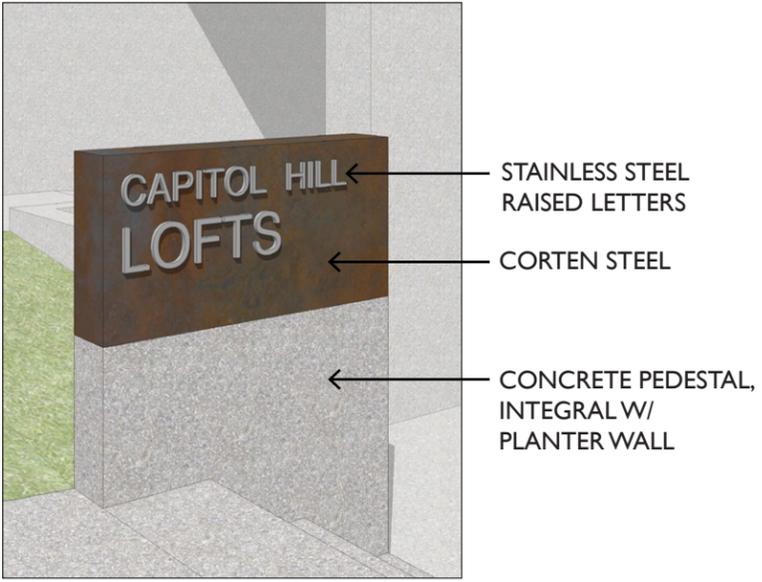
① SOFFIT RECESSED DOWNLIGHT
- 

② CANOPY RECESSED DOWNLIGHT
- 

③ LED WALL LIGHT
- 

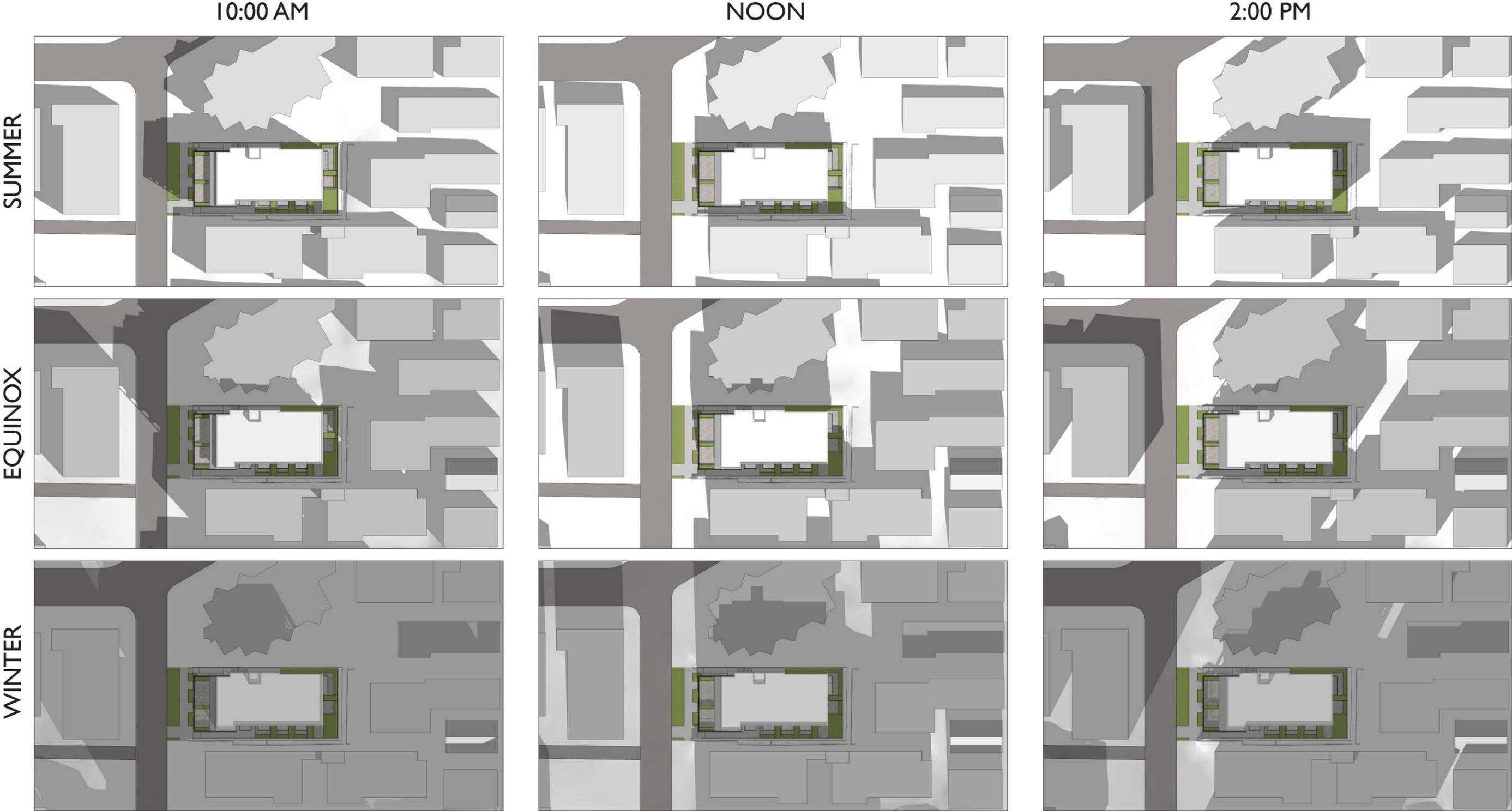
④ WALL SCONCE
- 

⑤ INTERIOR LOBBY LIGHTING



MAIN ENTRY PEDESTAL SIGN

SHADING STUDY

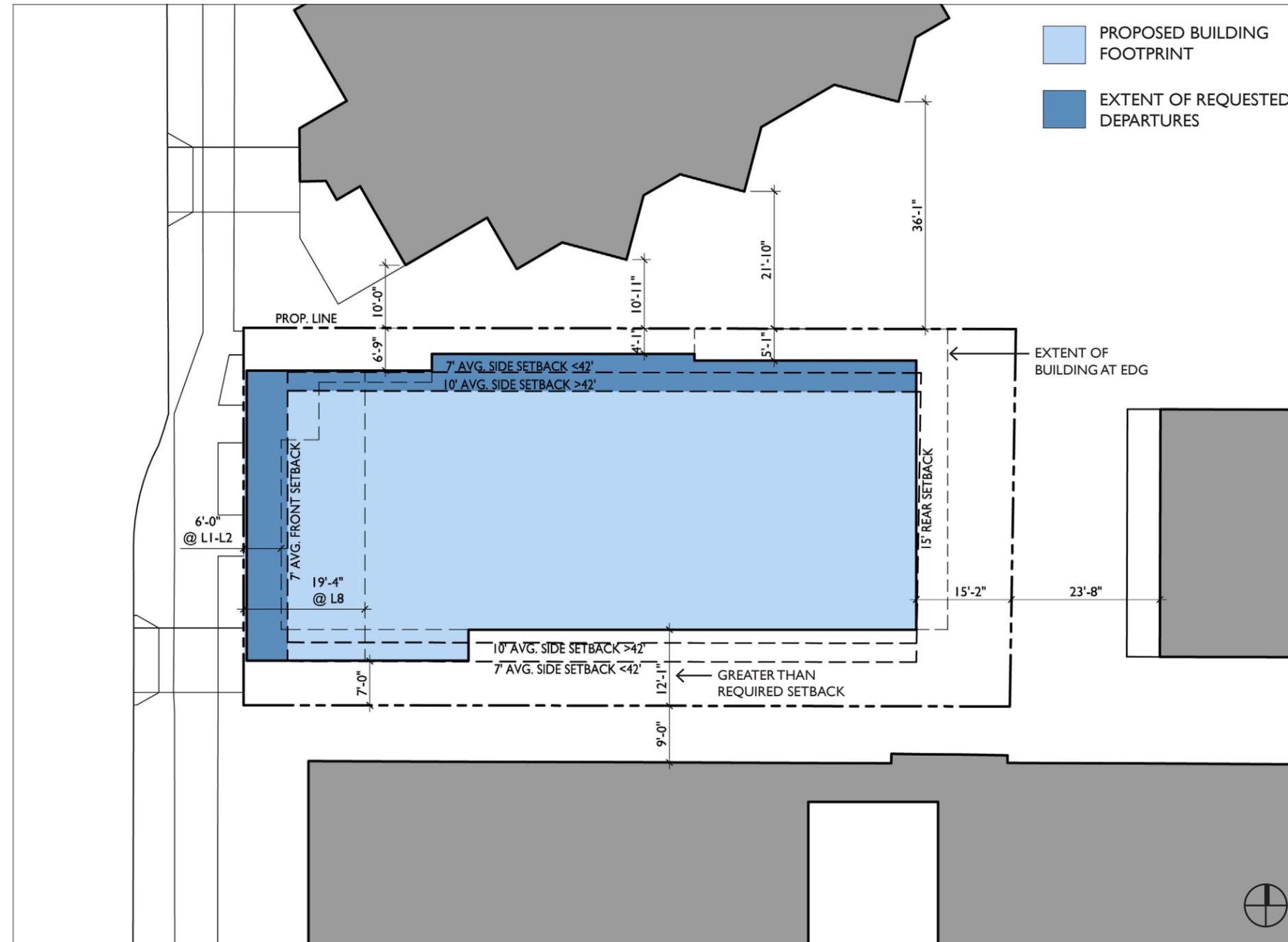


DEPARTURE MATRIX

MR ZONING CODE	REQUIREMENT	PROPOSED DESIGN	DEPARTURE RATIONALE	DESIGN REVIEW GUIDELINES
1) FRONT SETBACK: SMC 23.45.518.B.	5'-0" Minimum, 7'-0" Average	PROPOSED: 6'-0" Min, 9'-8" Avg. Setback at levels 1-2, 0'-0" Min. & Avg. Setback at levels 3-7, 19'-4" Min. & Avg. Setback at level 8 EXTENT OF DEPARTURE: Compliant at levels 1-2, 5'-0" Min, 7'-0" Avg. Setback at levels 3-7, Compliant at level 8	The reduced front setback gives the project more flexibility to provide increased setbacks and step-backs at other locations where it will better respond to the existing site characteristics and the overall neighborhood context. This includes the top floor setback, which reduces the apparent height of the building by a full story. The projecting upper level massing helps to define the base of the building and provide a sense of enclosure for the street level outdoor spaces, reinforcing the human scale. The projecting mass also provides weather protection for the main entrance and entry court, and creating a more welcoming transition from the sidewalk to the building.	CS2 - Urban Pattern and Form PL2 - Walkability DC1 - Project Uses and Activities DC3 - Open Space Concept
2) NORTH SIDE SETBACK: SMC 23.45.518.B.	Below 42' above grade: 5'-0" Minimum, 7'-0" Average Above 42' above grade: 7'-0" Minimum, 10'-0" Average	PROPOSED: 6'-9" Setback @ West End (all levels) 4'-1" Setback @ Stair/Elevator Towers (all levels) 5'-1" Setback @ East End (all levels) 5'-2" Average Setback at all levels EXTENT OF DEPARTURE: Below 42': 11" Minimum + 1'-10" Average Above 42': 2'-11" Minimum + 4'-10" Average	Reducing the north side setback allows for the building to be shifted to the north, creating a > 10'-0" setback on the south side. This gesture also creates a larger separation from the adjacent building to the south, which allows for more solar access, screening, landscaping and usable outdoor space for the south facing units. Additionally, natural privacy towards the south neighbor is provided in that the usable decks and patios face the north side of a building where the majority of the units are south facing. The requested north setback responds to the existing configuration of the building to the north, which sits at an angle relative to the project site. The largest setback is provided where the neighboring building is closest to the property, and reduces in dimension as the neighboring angles away from the property line. Furthermore, the upper-level side setbacks have little precedent among existing buildings in the neighborhood, and the continuous side setbacks for the full height of the building are more consistent with the neighborhood context. Adding an upper level setback will reduce the clean lines and simplistic massing that the project is aiming to achieve, resulting in an awkward massing that is difficult to resolve with material & glazing treatment. See diagrams on page 36.	CS2 - Urban Pattern and Form CS3 - Architectural Context & Character DC3 - Open Space Concept
3) DRIVEWAY SIGHT TRIANGLE: 23.54.030.G.4.	For a driveway adjacent to a side lot line, the driveway shall start 5'-0" from the lot line. A 10'-0" wide sight triangle shall be provided on the opposite side.	EXTENT OF DEPARTURE: Reduce separation from property line to 2'-0". Maintain 10' x 10' triangle at north side of driveway. See Diagram	The design intent is to create an active and pedestrian-friendly street frontage by maximizing landscaping and outdoor space and minimizing the presence of the driveway. The proposed departure will allow for minimum disruption of the streetscape for the driveway. The code-required sight triangles would result in a much wider driveway, reducing landscaping area and negatively impacting the patios and entries to the ground floor residential units. A mirror is proposed at the sidewalk to provide greater visibility of the sidewalk to the south.	PL2 - Walkability DC1 - Project Uses and Activities DC3 - Open Space Concept

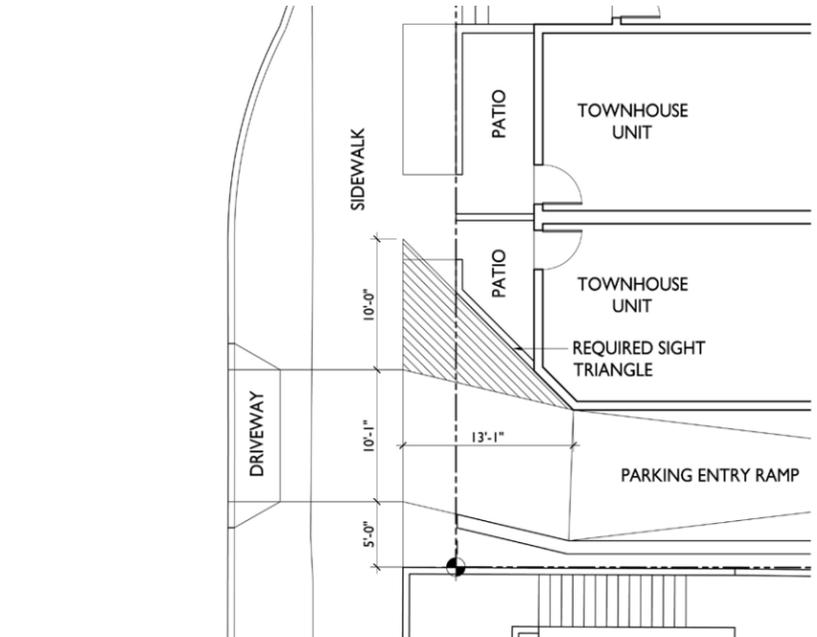
DEPARTURE DIAGRAMS

DEPARTURES 1 & 2 - SETBACKS

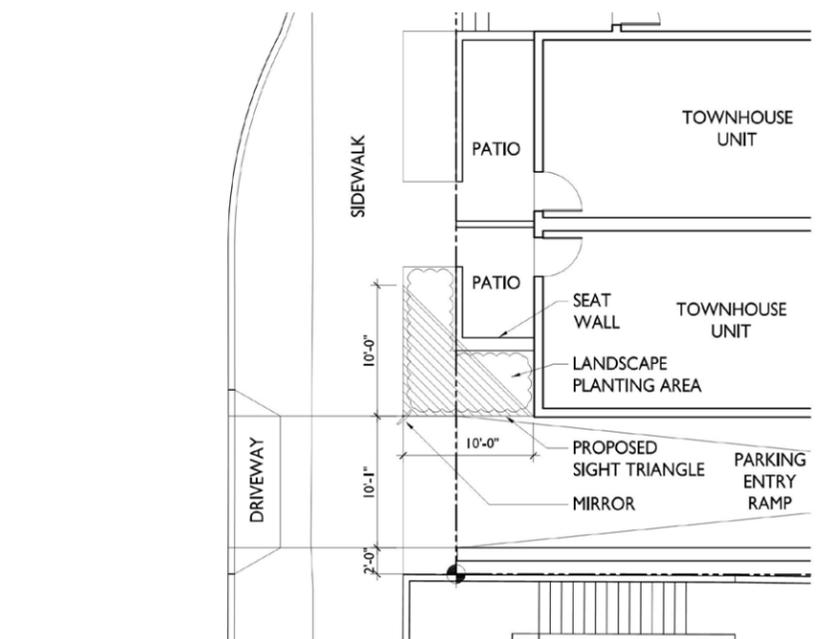


PLAN VIEW: PROPOSED SETBACKS

DEPARTURE 3 - DRIVEWAY SIGHT TRIANGLE



PLAN VIEW: REQUIRED DRIVEWAY SIGHT TRIANGLES



PLAN VIEW: PROPOSED DRIVEWAY SIGHT TRIANGLES

DEPARTURE DIAGRAMS

DEPARTURES 1 & 2 - SETBACKS



VIEW FROM NORTHWEST - PROPOSED MASSING



VIEW FROM NORTHWEST - MASSING WITHOUT SETBACK DEPARTURES