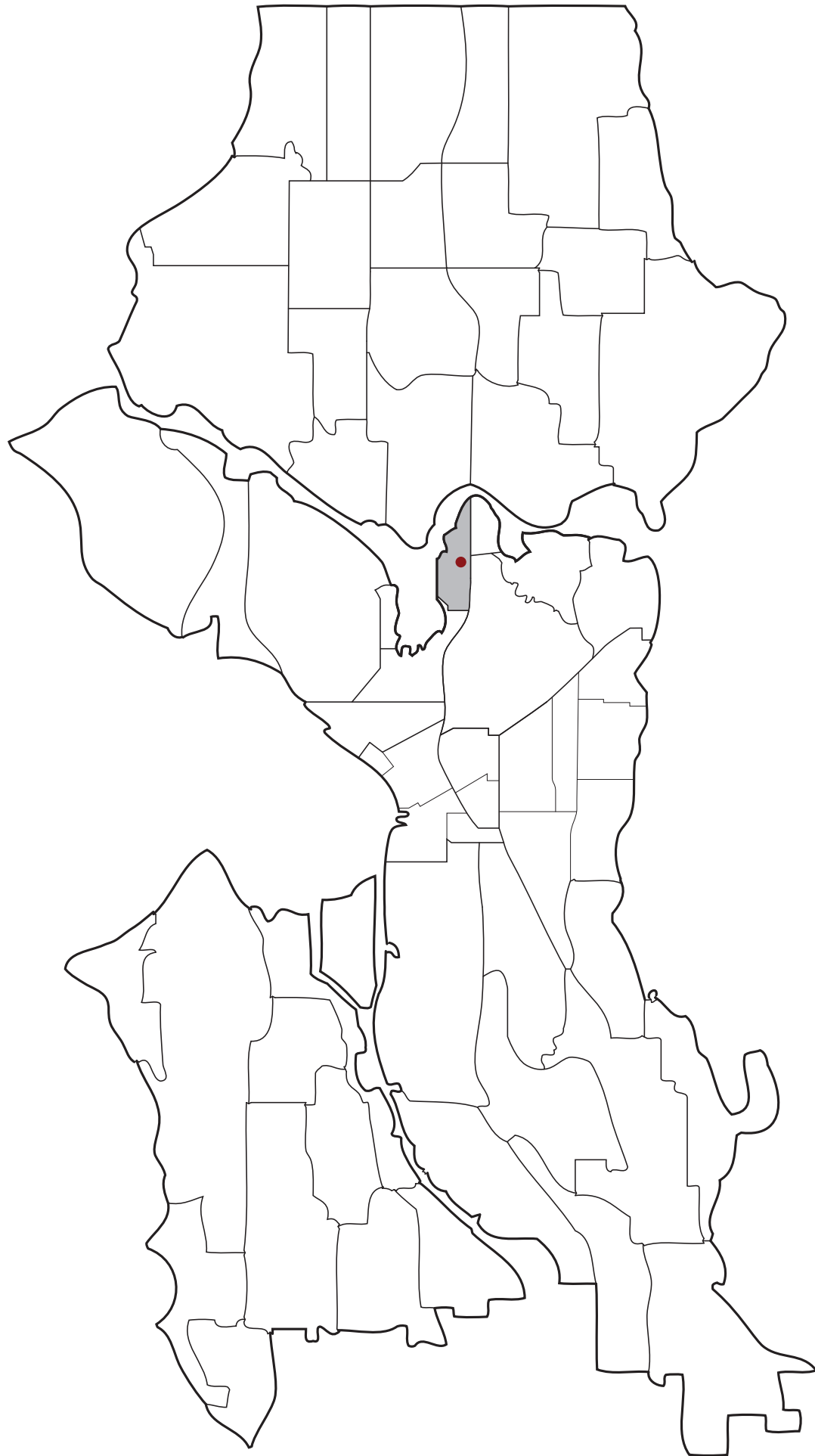


#3020190

2321 Franklin Ave E **STREAMLINED DESIGN REVIEW**

gamut  S+HWorks



PROPOSAL

This project involves the demolition of a vacant existing triplex, and the construction of four townhouse units. The townhouses are grouped into two duplexes, one in the front of the site (east) and one in the rear of the site (west). Four surface parking spaces are located at the rear of the site, adjacent to the alley. The area near the project site is characterized by a mix of uses and housing types. To the west along Eastlake Ave E. are a variety of commercial uses, and to the north and south along Franklin Ave E. are a variety of multifamily uses with a few single family homes. This area of Franklin Ave E. is pedestrian friendly with slow, quiet residential streets, abundant street trees and a pleasant street environment in general. The proposed project is focused on reinforcing the existing desirable conditions, creating an attractive addition to the streetscape and overall character of the neighborhood.

The project goals are as follows:

1. To provide four well designed and well constructed townhome units for the growing Eastlake neighborhood.
2. To provide buildings and uses that positively contribute to the streetscape of Franklin Avenue E.
3. To maximize the development potential of the property while supporting the city's planning objectives and respecting the existing community's scale and character.
4. To maximize the development's connection to its surroundings, including views, amenity areas, and street level engagement.
5. To provide environmentally friendly design and construction by meeting Built Green 4-Star standards.

ADDRESS

2321 FRANKLIN AVE E
DPD# 3020190

PROJECT TEAM

OWNER
ARCHITECT
STRUCTURAL
LANDSCAPE
SURVEYOR

2321 FRANKLIN AVE E, LLC
S+H Works, LLC
Nickerson Engineering
Cramer Design Consultants
GeoDimensions, Inc.

PROJECT INFO

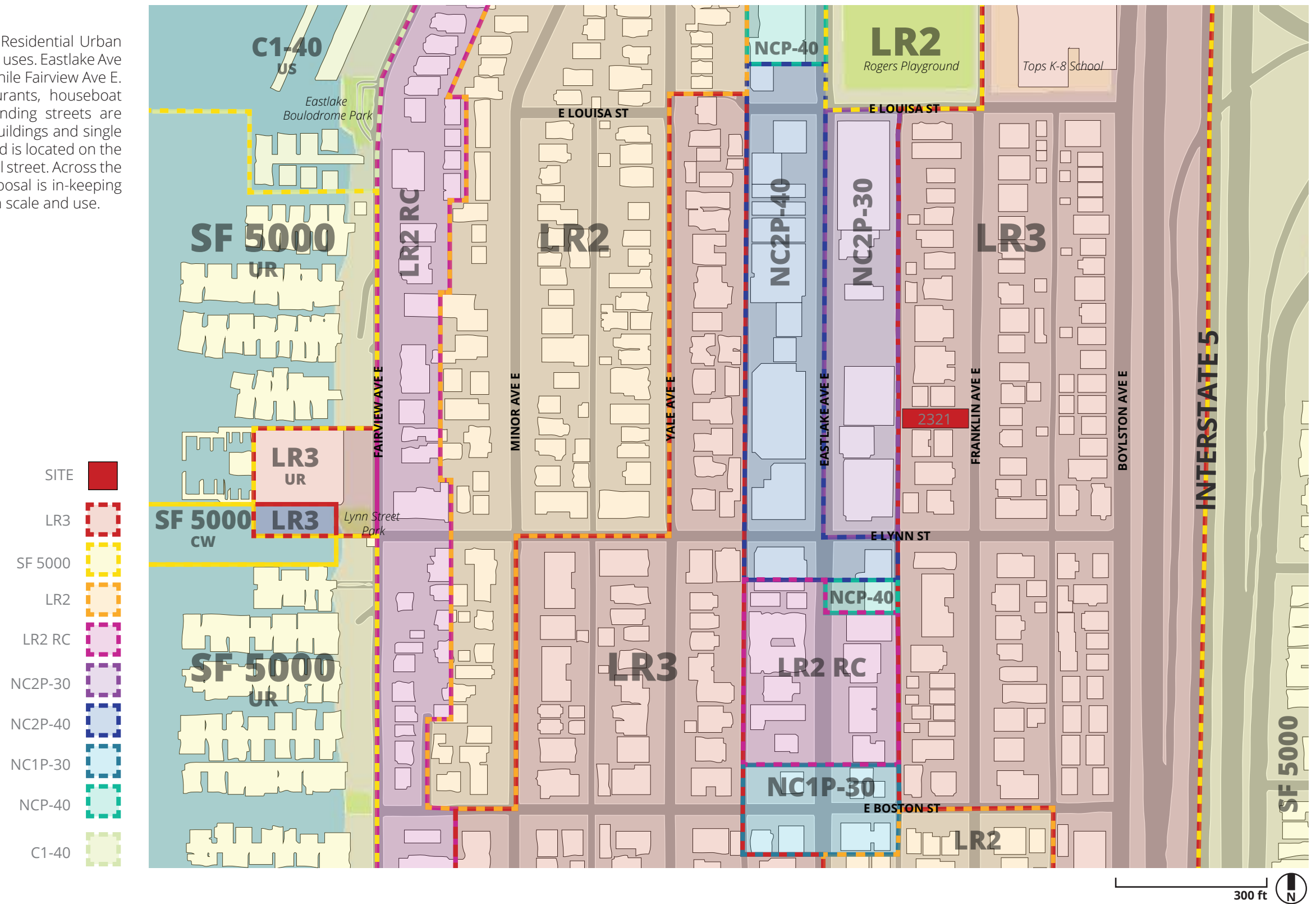
ZONING	LR3
LOT SIZE	4386 SF
FAR	1.4
ALLOWABLE FAR	6140 SF
PROPOSED FAR	6083 SF
PROPOSED UNITS	4
PARKING STALLS	4

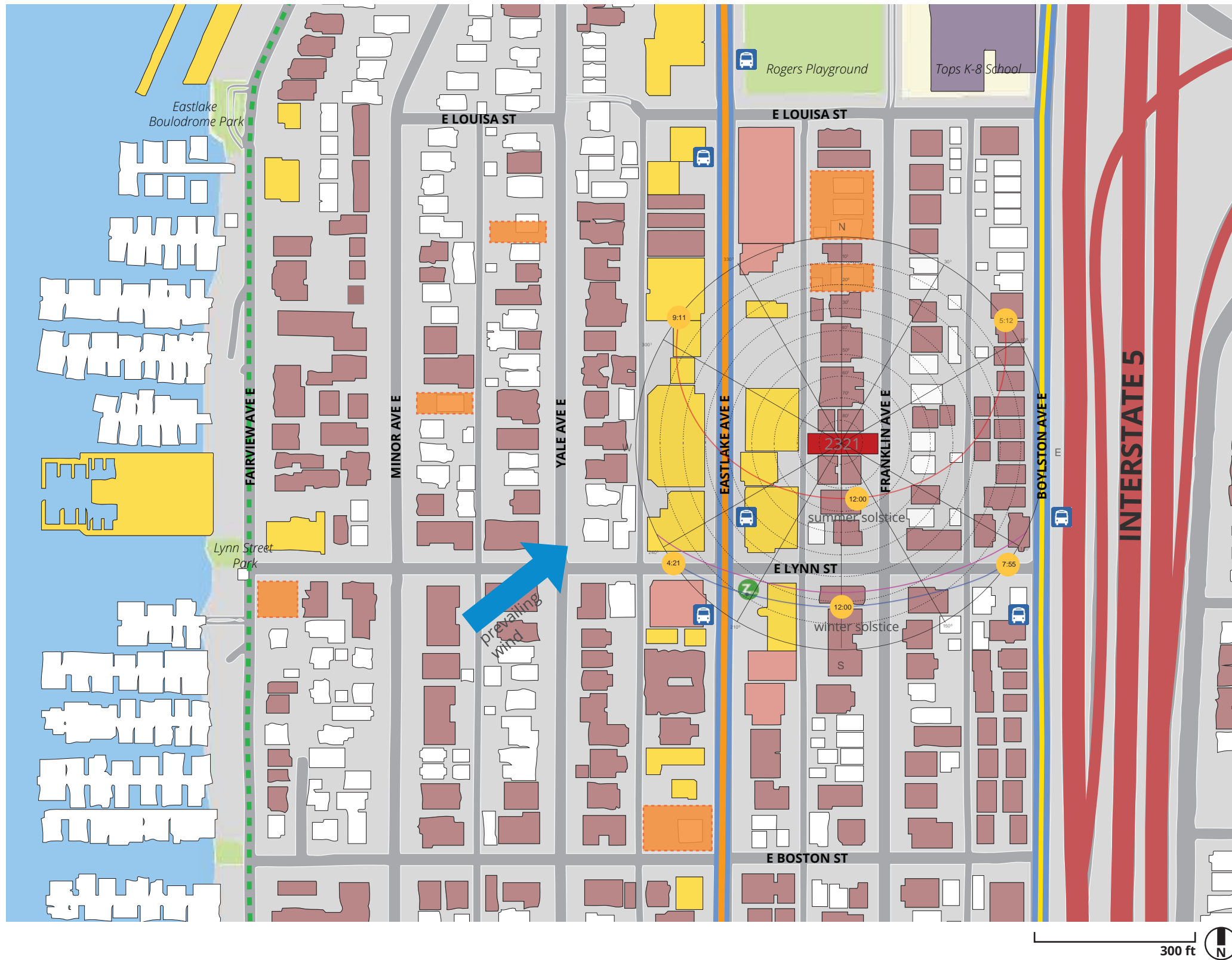
INDEX

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SITE ANALYSIS

This area of Eastlake lies within the Eastlake Residential Urban Village and contains a wide variety of zones and uses. Eastlake Ave E. is home to a vibrant commercial corridor while Fairview Ave E. provides access to mooring, waterfront restaurants, houseboat communities, and public parks. The surrounding streets are largely residential with a mix of multi-family buildings and single family homes. The project site is zoned LR3 and is located on the west side of Franklin Ave E., a narrow residential street. Across the alley to the west is a NC2P-30 zone. The proposal is in-keeping with typical developments for this area in both scale and use.





CIRCULATION

-  DESIGNATED BUS STOP
-  ZIP CAR LOCATION
-  TRANSIT ROUTE
-  BIKE-FRIENDLY ROUTE
-  MAJOR ARTERIAL
-  MINOR ARTERIAL
-  INTERSTATE

The site is served by seven bus lines running north and south on Eastlake Ave E. and Bolyston Ave E. providing quick access to Downtown, Capitol Hill and University District. The proposed project includes one parking spot per unit (four in total) in addition to the street parking on both sides of Franklin Ave E. The slow residential streets in the area promote pedestrian activity and provide easy cycling access to South Lake Union, Capitol Hill, University District, and Downtown.

BUILDING TYPOLOGY

-  SINGLE FAMILY
-  MULTIFAMILY
-  MIXED USE
-  COMMERCIAL
-  EDUCATIONAL
-  PERMITTED + PERMITTING

The 2300 block of Franklin Ave E. is a mix of single family homes and multifamily buildings. Two multifamily developments are currently under construction on the northern end of the block. Eastlake Ave E., one block to the west, is home to commercial and mixed-use buildings. The proposed project is typical for the area's building type and development trends.

1 FRANKLIN AVE E LOOKING WEST



E LYNN ST MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY **2321** MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY E LOUISA ST

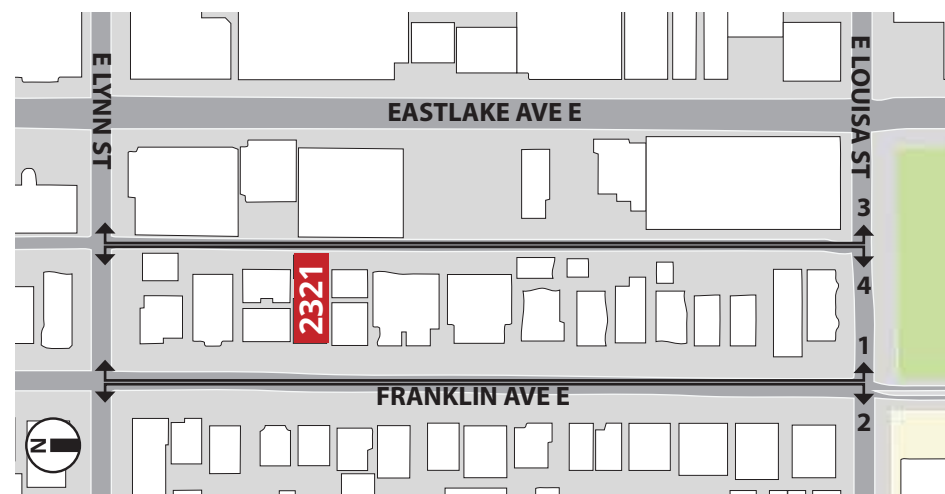
(under construction, not listed) (under construction, DPD#3016711)

2 FRANKLIN AVE E LOOKING EAST



E LOUISA ST MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY SINGLE FAMILY MULTI-FAMILY SINGLE FAMILY SINGLE FAMILY SINGLE FAMILY MULTI-FAMILY SINGLE FAMILY MULTI-FAMILY MULTI-FAMILY E LYNN ST

(across from) **2321**



FRANKLIN AVE E.

2321 Franklin Ave E. is flanked by multifamily buildings to the north and south, multi-family buildings and single family homes across Franklin Ave E. to the east and a commercial building across the alley to the west. The street elevation is composed of a variety of multifamily buildings with a few single family homes and with two new developments on the north end of the block. Site parking is accessible from the paved alley connecting E. Louisa St and E. Lynn St.

EASTLAKE



3 FROM ALLEY LOOKING WEST



E LYNN ST COMMERCIAL COMMERCIAL (across from) **2321** COMMERCIAL PARKING PARKING (below) COMMERCIAL E LOUISA ST

4 FROM ALLEY LOOKING EAST



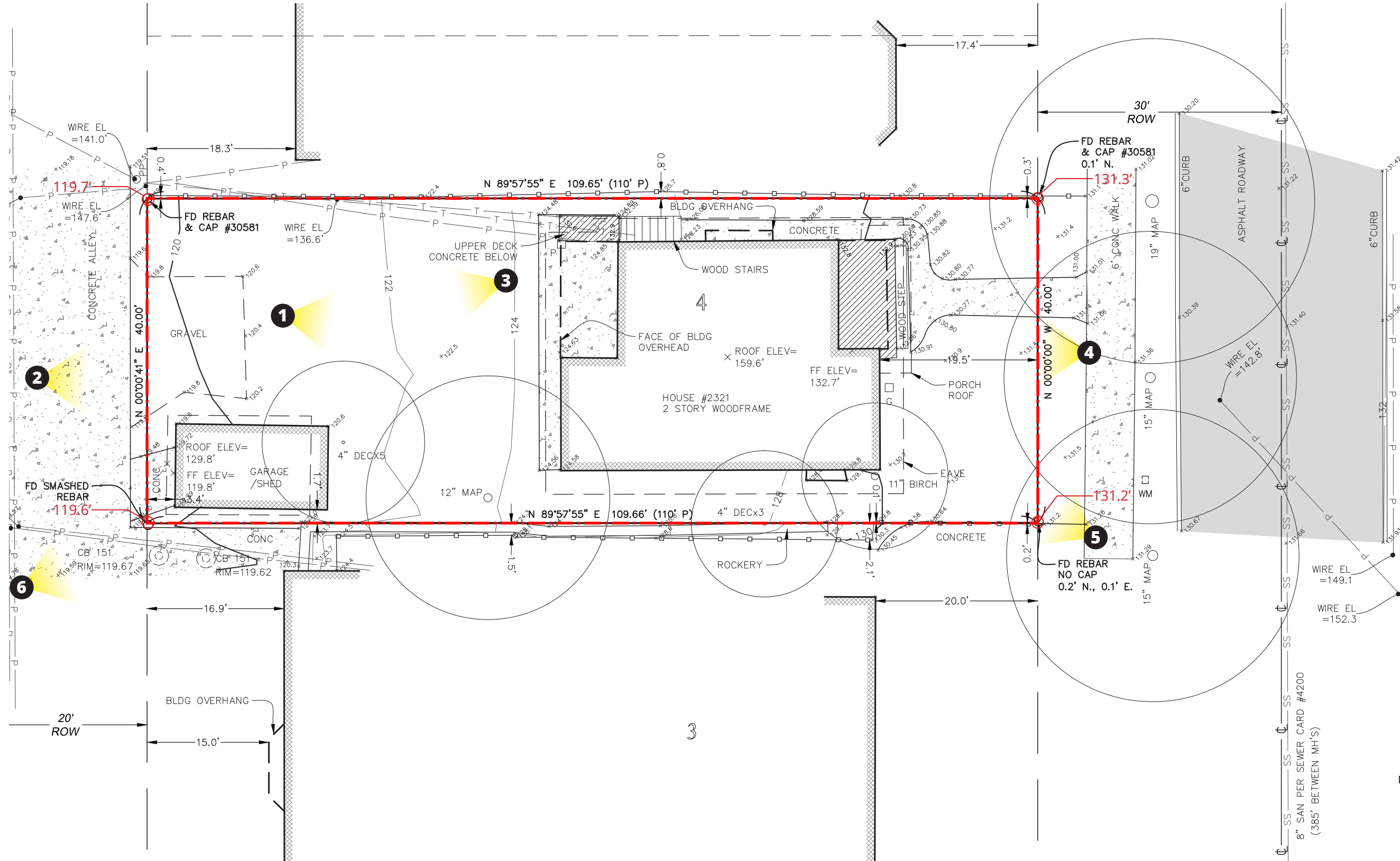
E LOUISA ST MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY (under construction, DPD#3016711) MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY MULTI-FAMILY SINGLE FAMILY E LYNN ST

2321



SURVEY

Surveyor: GeoDimensions Date: 04/20/2015





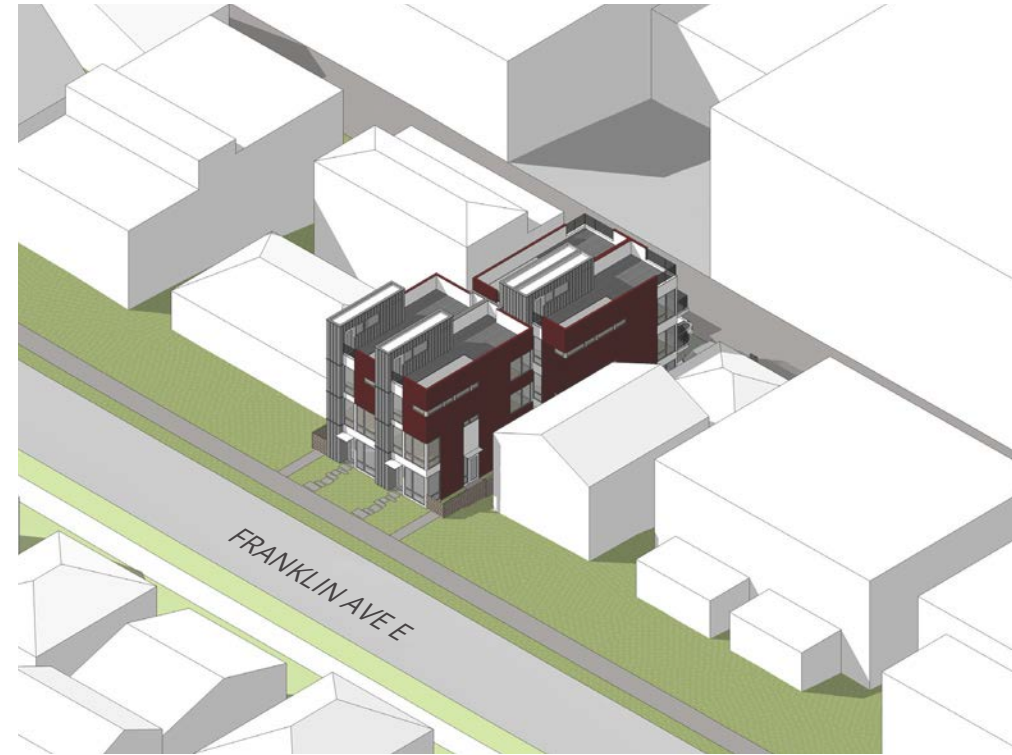
SITE CONDITIONS

The site slopes down to the west from Franklin Ave E. to the alley in the rear. The slope is generally uniform with a drop of ten feet from the east property line to the west property line. An existing triplex (to be demolished) sits 19.5 ft back from the east property line and a garage/shed (also to be demolished) sits 3.4 ft from the west property line facing the alley. The north neighbor sits 17.4 ft away from the east property line and the south neighbor sits 20.0 ft back. 2321 Franklin Ave E. has been vacant for several years and has fallen to a dilapidated state. Both front and rear yards are mostly free of significant landscaping with a small gravel patch next to the garage/ shed in the rear yard and a rockery on the south property line. Three mature maples (to remain) grow in the ROW directly in front of the property. One mature birch and one mature maple grow on the site with clusters of 4 inch deciduous trees in-between, none of which is exceptional.

AERIAL VIEWS



NORTHWEST



NORTHEAST



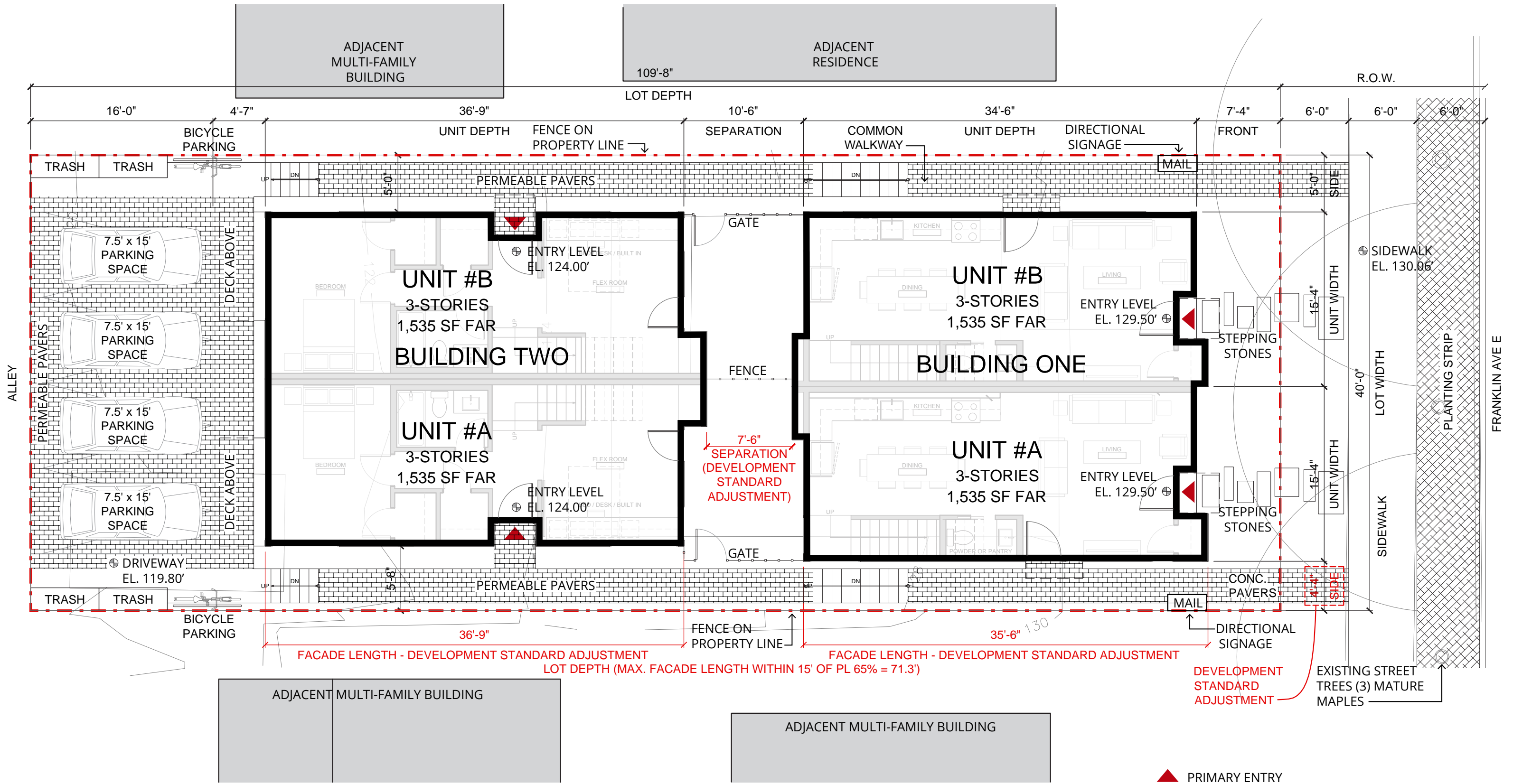
SOUTHWEST



SOUTHEAST

PROPOSAL DETAILS

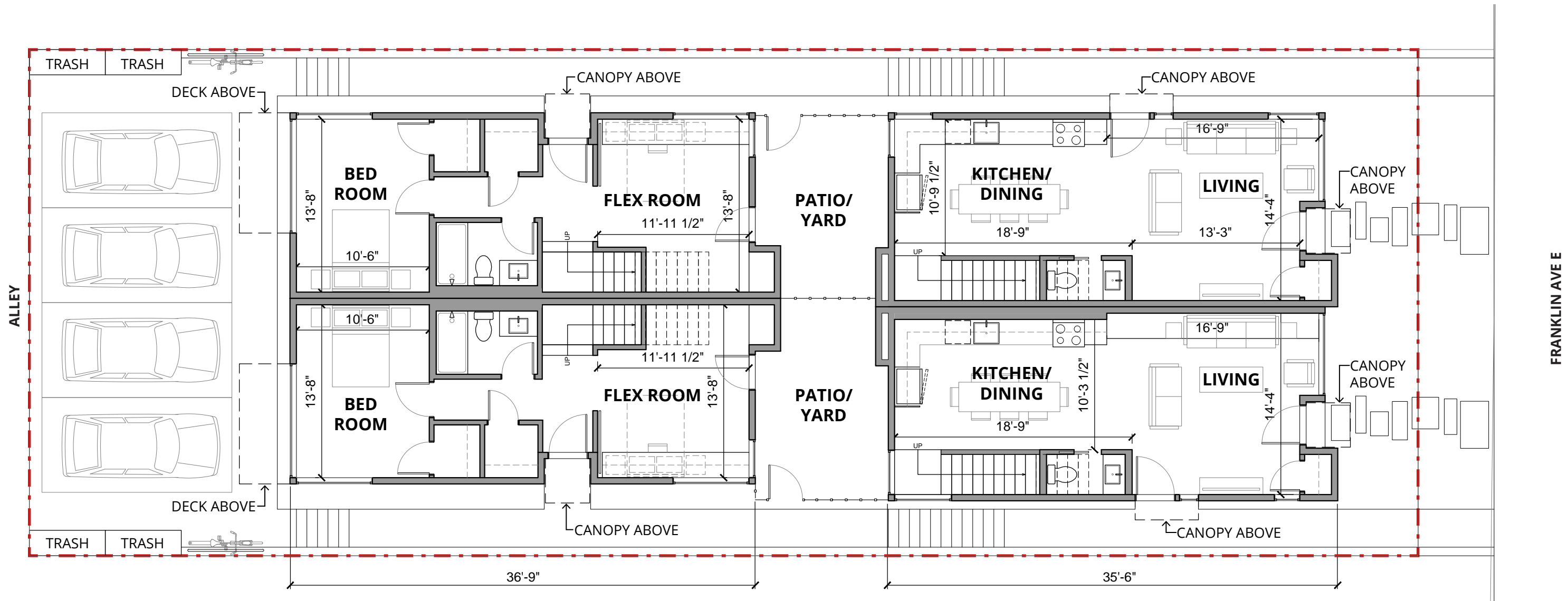
This project involves the construction of four townhouse units which are grouped into two duplexes, one in the front of the site (east) and one in the rear of the site (west). The east duplex (Building 1) sits 7'-4" from the east property line and 13'-4" from the R.O.W. Both buildings comply to all required property line setbacks with the exception Building 1's south facade which is setback 4'-4" from the south property line (adjustment requested). At the minimum separation, Buildings 1 and 2 sit 7'-6" apart (adjustment requested) in order to provide more privacy and to breakdown building mass. Walkways paved with permeable pavers run the length of the site along the north and south property lines providing access to both building from Franklin Ave E and the alley. Mail boxes for both buildings are provided in the front of the site towards Franklin Ave E and trash enclosures are provided in the rear of the site towards the alley. Parking in the rear of the site provides one space per unit (four in total). Building 2 has ground level amenity space with private gates in the area between Building 1 and Building 2. Building 1 has ground level amenity space in the front of the site leading up to the sidewalk and will be landscaped to provide an appropriate level of privacy.

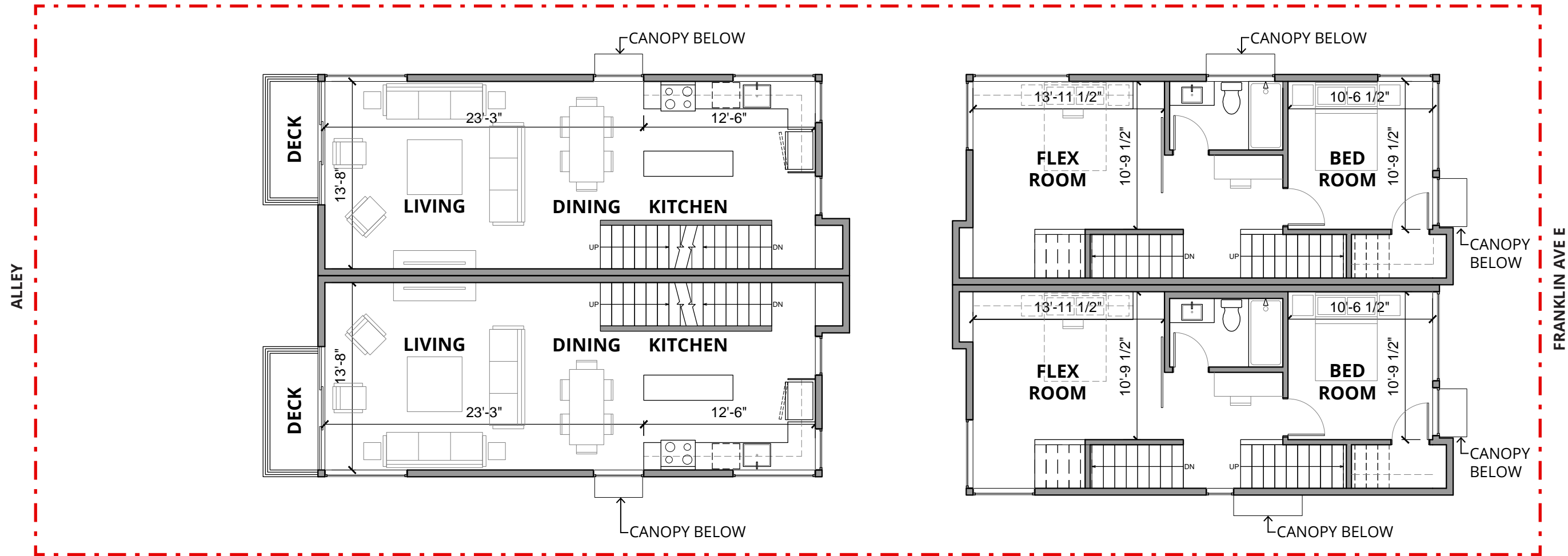


SITE PLAN

SCALE: 1/8" = 1'-0"



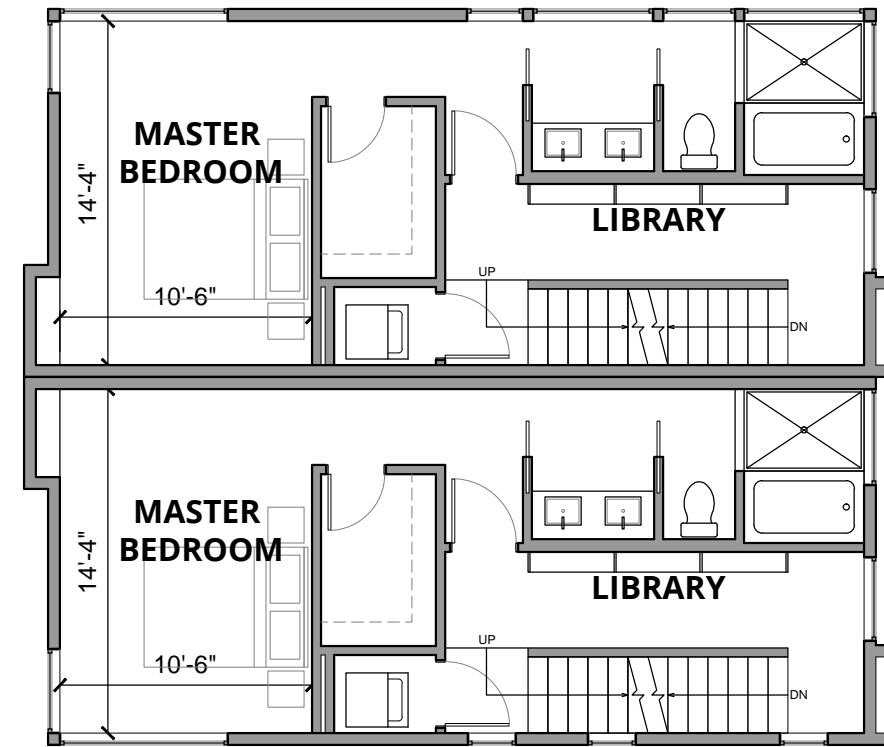
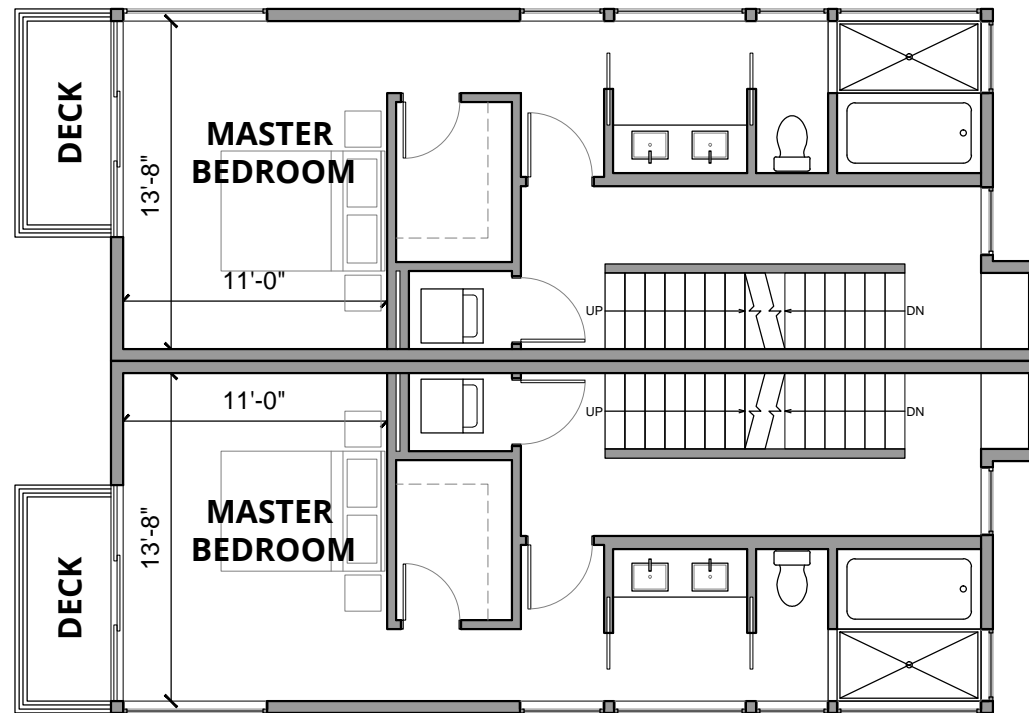




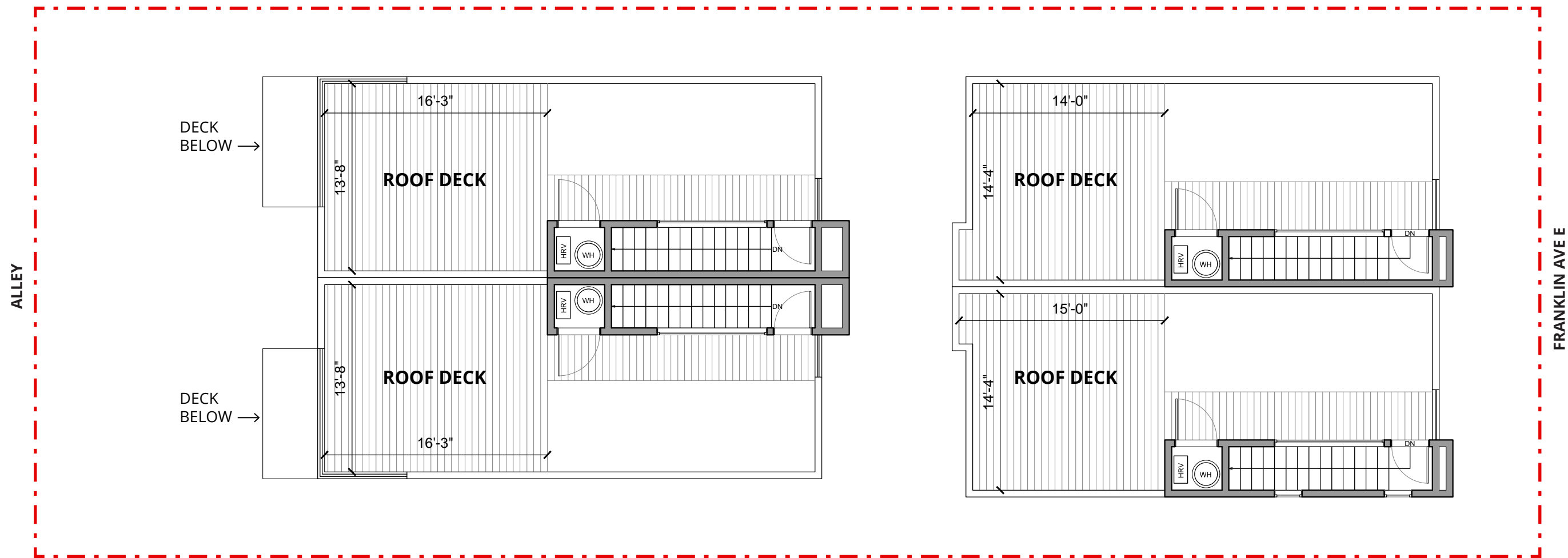
LEVEL 2 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



ALLEY



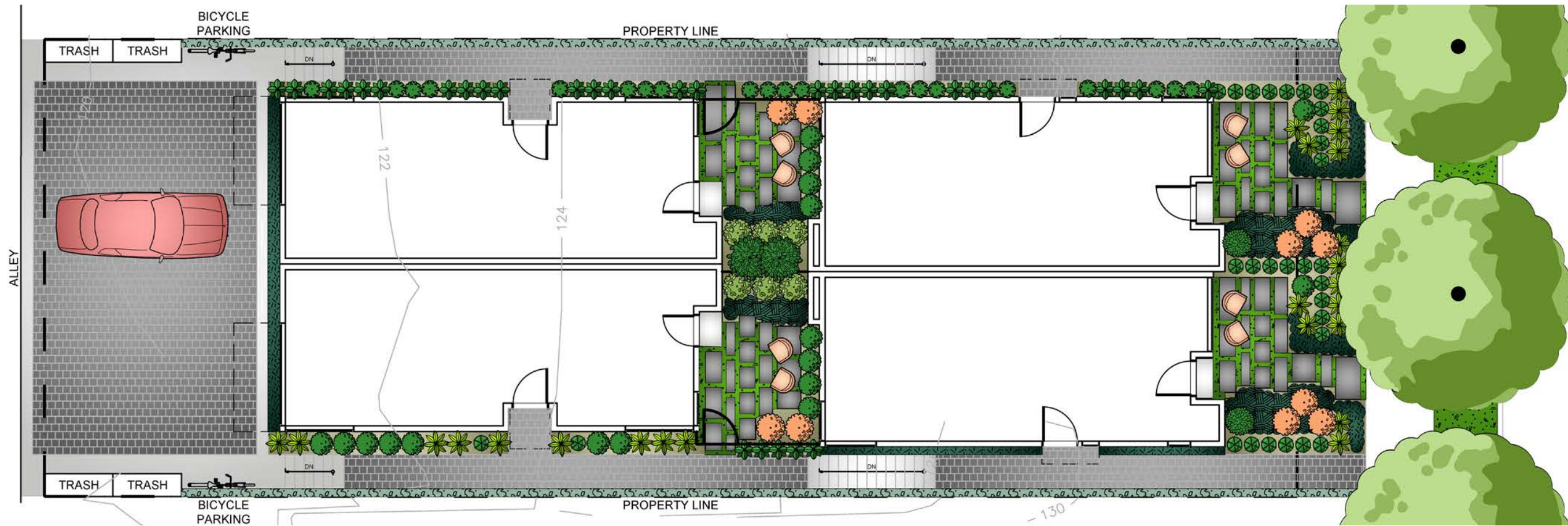
FRANKLIN AVE E



ROOF FLOOR PLAN
 SCALE: 1/8" = 1'-0"



LANDSCAPE PLAN (N.T.S)



PLANTING PALETTE



LIRIOPE



CHRISTMAS ROSE



DEER FERN



OAKLEAF HYDRANGEA



SIENNA SUNRISE



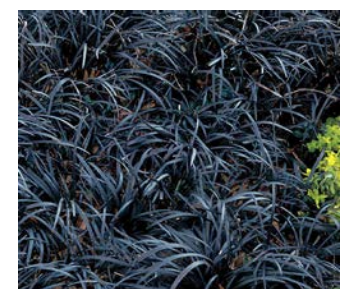
GOLDEN BAMBOO



SKY PENCIL JAPANESE HOLLY



BRASS BUTTON



MONDO GRASS



FRAGRANT SARCOCOCCA

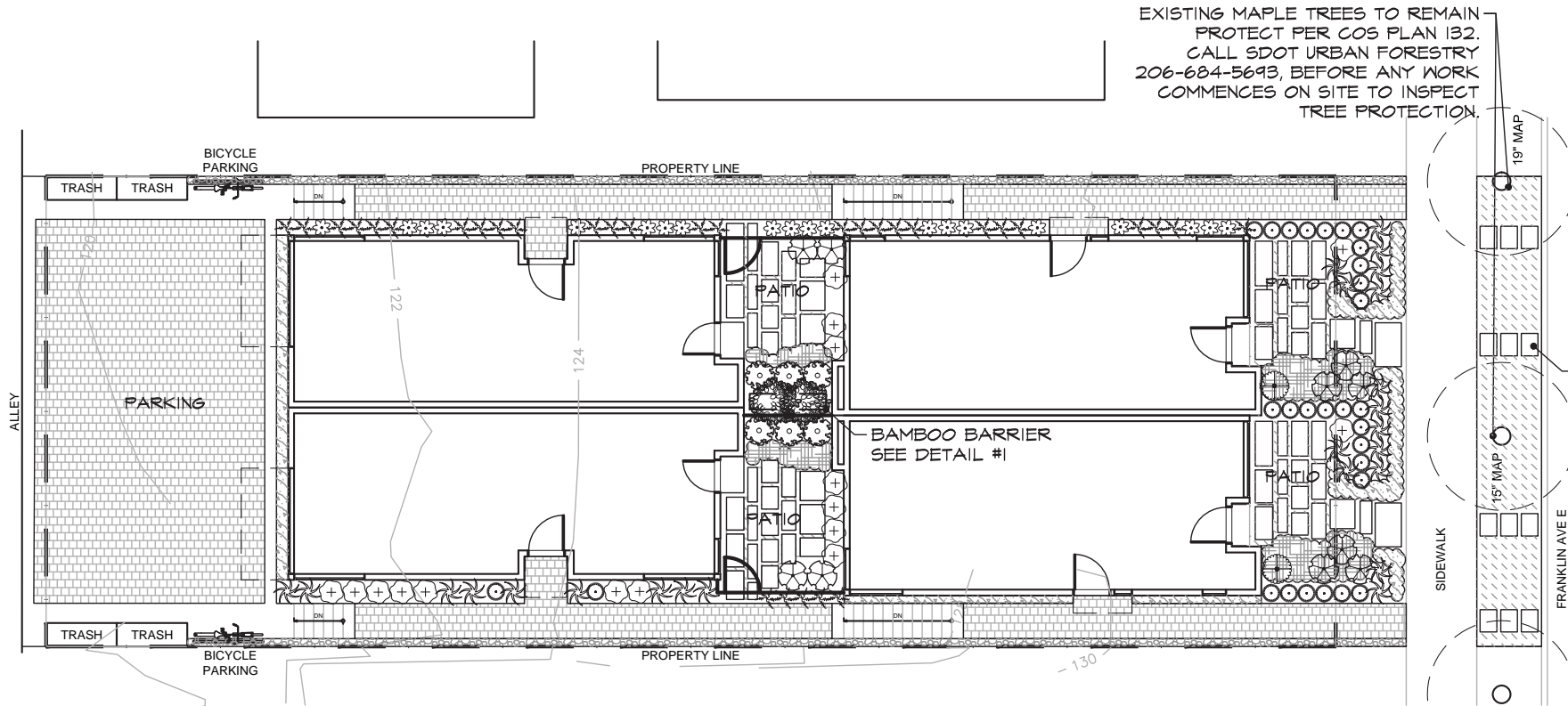


JAPANESE FOREST GRASS



GULF STREAM NANDINA

PLANTING SCHEDULE & GREEN FACTOR



PLANT SCHEDULE *

SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	QTY	
	Blechnum spicant / Deer Fern	1 gal	Yes	Yes	32	
	Hakonechloa macra 'All Gold' / Japanese Forest Grass	1 gal	Yes	No	24	
	Helleborus x ballardiae 'HSC Cinnamon Snow' / Cinnamon Snow Christmas Rose	1 gal	Yes	No	20	
	Hydrangea quercifolia 'Pee Wee' / Oakleaf Hydrangea	5 gal	Yes	No	6	
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	5 gal	Yes	No	24	
	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo	2 gal	Yes	No	17	
	Nandina domestica 'Sienna Sunrise' / Heavenly Bamboo	5 gal	Yes	No	10	
	* Phyllostachys aurea / Golden Bamboo	5 gal	Yes	No	2	
	Sarcococca ruscifolia / Fragrant Sarcococca	2 gal	Yes	No	2	
GROUND COVERS	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	SPACING	QTY
	Leptinella squallida / New Zealand Brass Buttons	4" pot	Yes	No	12" o.c.	241
	Liriope muscari 'Royal Purple' / Royal Purple Liriope	4" pot	Yes	No	15" o.c.	63
	Ophiopogon planiscapus 'Ebony Knight' / Ebony Knight Mondo Grass	4" pot	Yes	No	15" o.c.	64
SITE WORK	BOTANICAL NAME / COMMON NAME	SIZE	DROUGHT TOLERANT	NATIVE	SPACING	QTY
	Rock Accent River Rock 3" depth	None				138 sf

* OPTION: Substitute Golden Bamboo with Emerald Green Arborvitae (Thuja occidentalis 'Emerald Green')

Green Factor Score Sheet		SEATTLE <i>green factor</i>	
Project title:		enter sq ft of parcel	SCORE
Parcel size (enter this value first) *		4,386	0.622
Landscape Elements**	Totals from GF worksheet	Factor	Total
A Landscaped areas (select one of the following for each area)			
1 Landscaped areas with a soil depth of less than 24"	enter sq ft 0	0.1	-
2 Landscaped areas with a soil depth of 24" or greater	enter sq ft 1116	0.6	669.6
3 Bioretention facilities	enter sq ft 0	1.0	-
B Plantings (credit for plants in landscaped areas from Section A)			
1 Mulch, ground covers, or other plants less than 2' tall at maturity	enter number of plants 978	0.1	98
2 Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants 142	1704	0.3
3 Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree	enter number of plants 0	0	0.3
4 Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	enter number of plants 0	0	0.3
5 Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	enter number of plants 0	0	0.4
6 Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree	enter number of plants 0	0	0.4
7 Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter	enter inches DBH 34	680	0.8
C Green roofs			
1 Over at least 2" and less than 4" of growth medium	enter sq ft 0	0.4	-
2 Over at least 4" of growth medium	enter sq ft 0	0.7	-
D Vegetated walls			
	enter sq ft 0	0.7	-
E Approved water features			
	enter sq ft 0	0.7	-
F Permeable paving			
1 Permeable paving over at least 6" and less than 24" of soil or gravel	enter sq ft 0	0.2	-
2 Permeable paving over at least 24" of soil or gravel	enter sq ft 1343	0.5	671.5
G Structural soil systems			
	enter sq ft 0	0.2	-
		sub-total of sq ft =	5,821
H Bonuses			
1 Drought-tolerant or native plant species	enter sq ft 1704	0.1	170.4
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft 0	0.2	-
3 Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft 624	0.1	62
4 Landscaping in food cultivation	enter sq ft 0	0.1	-
		Green Factor numerator =	2,727

* Do not count public rights-of-way in parcel size calculation.

** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)



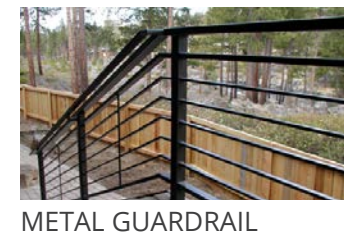
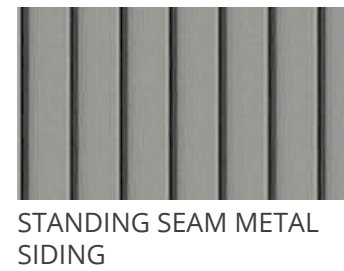
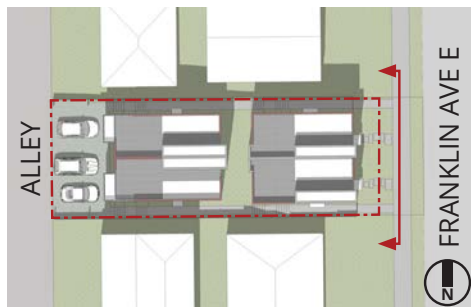
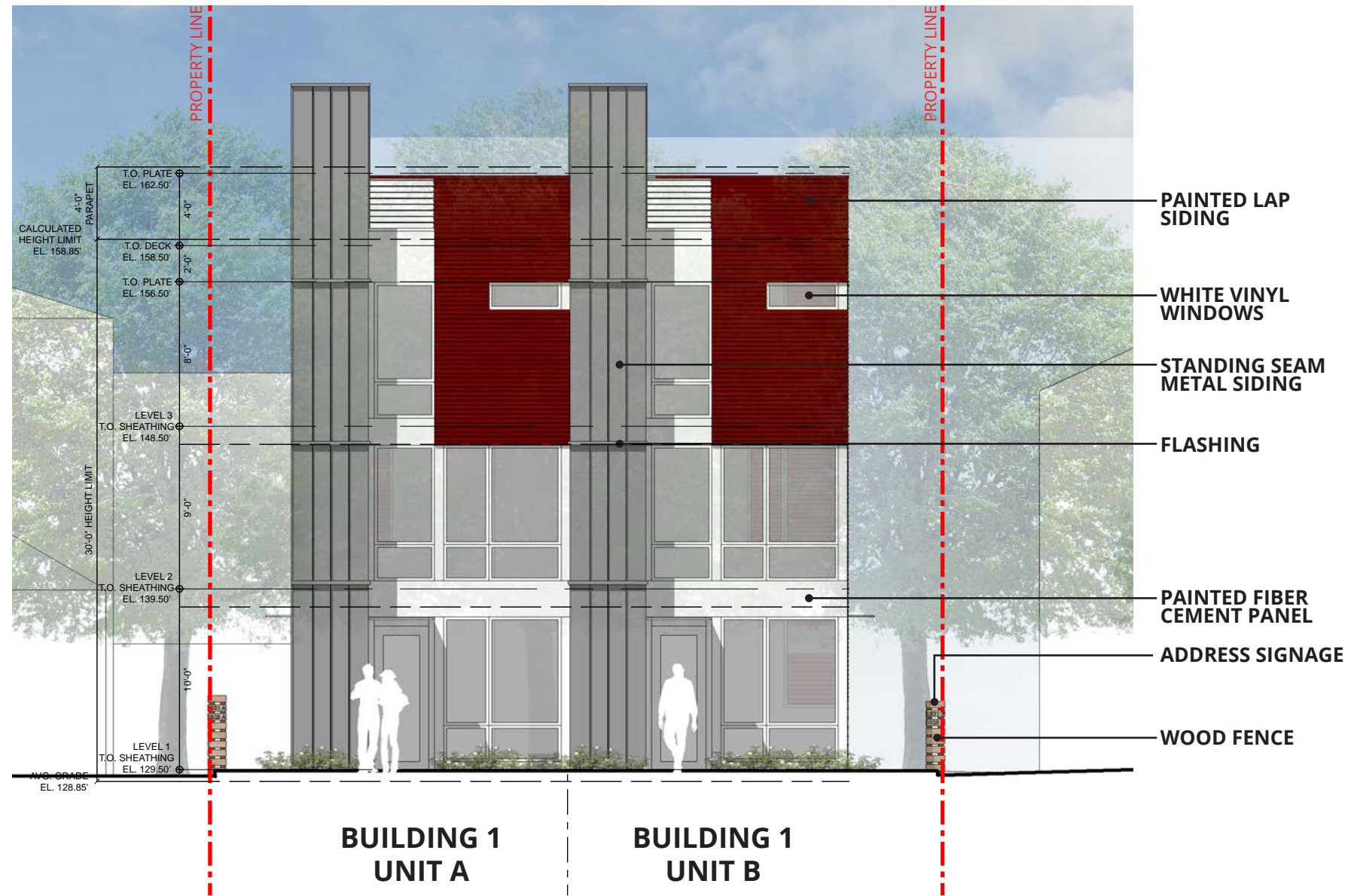
VIEW FROM NORTHEAST



VIEW FROM SOUTHWEST

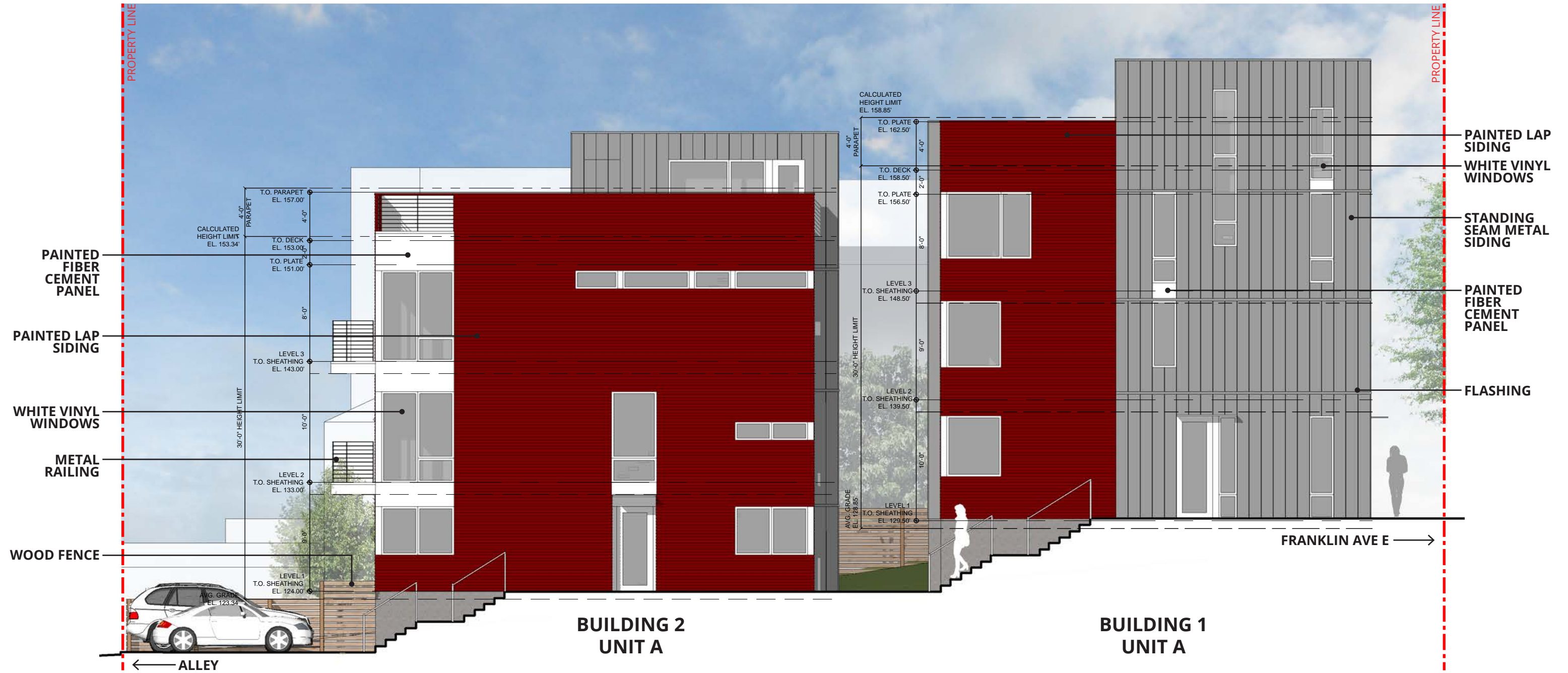
EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



RED FIBER CEMENT LAP SIDING



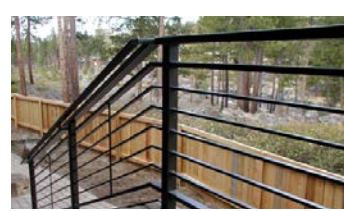
PAINTED FIBER CEMENT PANEL



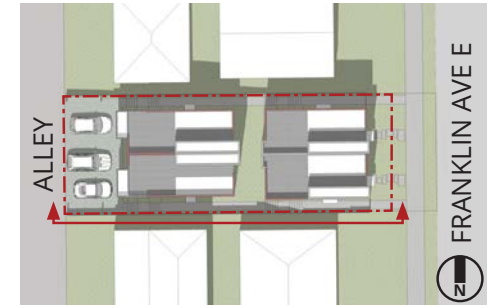
EXPOSED CONCRETE



STANDING SEAM METAL SIDING

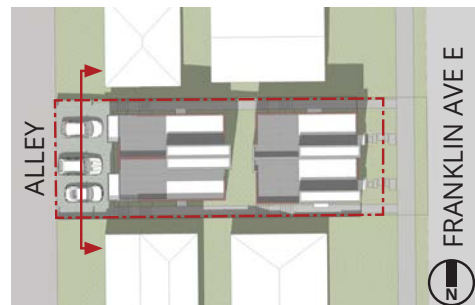
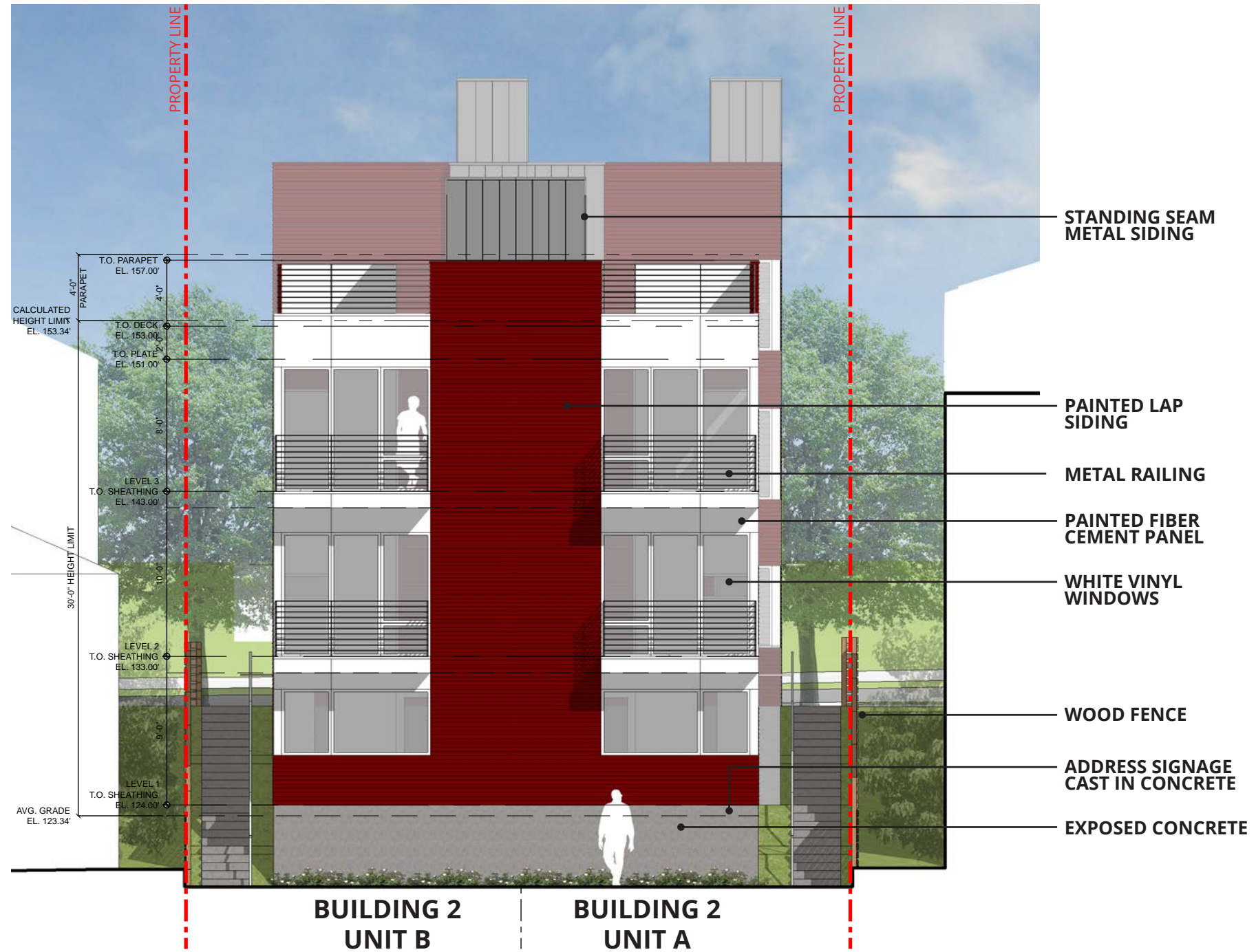


METAL GUARDRAIL



WEST ELEVATION

SCALE: 1/8" = 1'-0"



RED FIBER CEMENT LAP SIDING



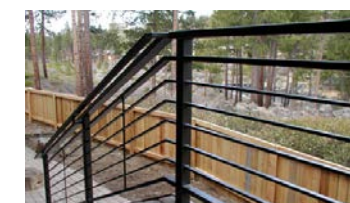
PAINTED FIBER CEMENT PANEL



EXPOSED CONCRETE



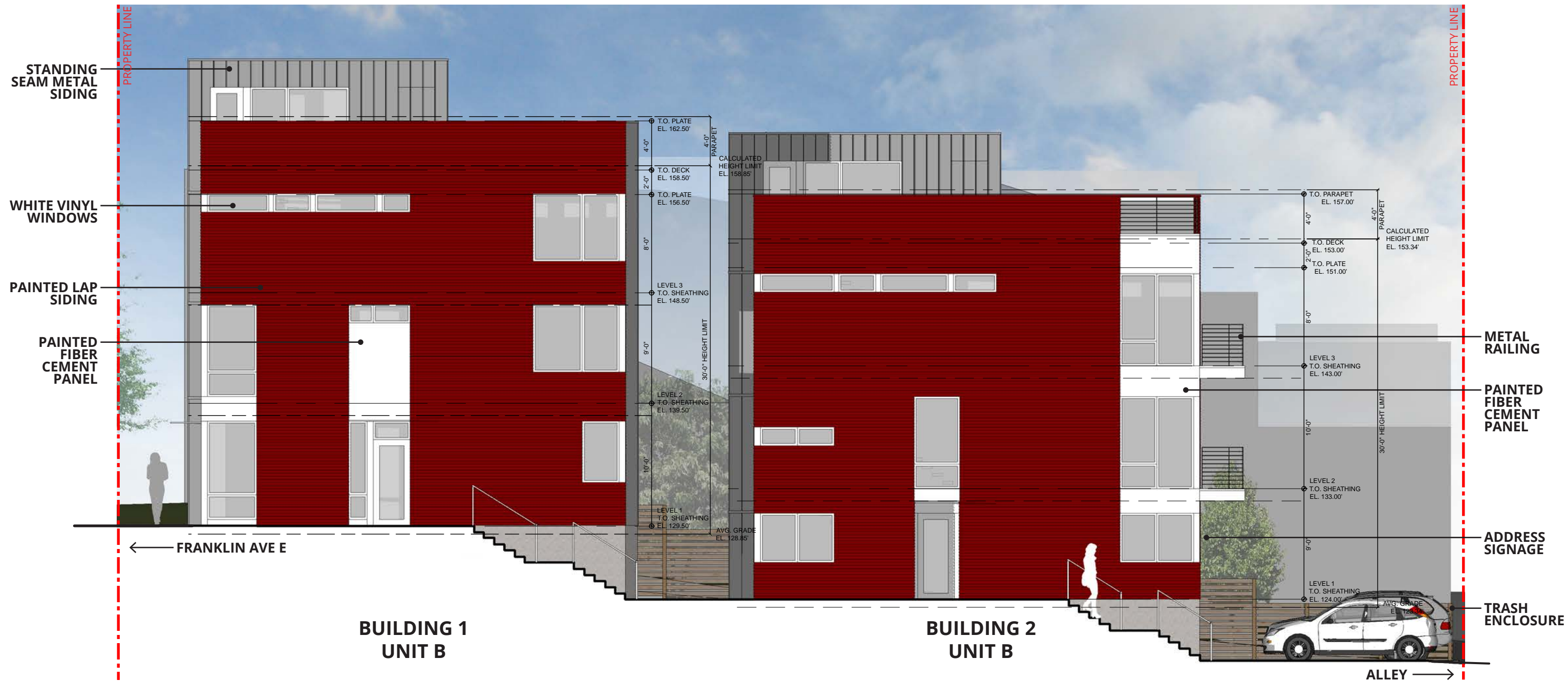
STANDING SEAM METAL SIDING



METAL GUARDRAIL

NORTH ELEVATION

SCALE: 1/8" = 1'-0"



RED FIBER CEMENT LAP SIDING



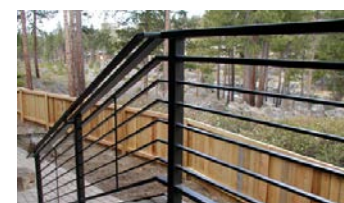
PAINTED FIBER CEMENT PANEL



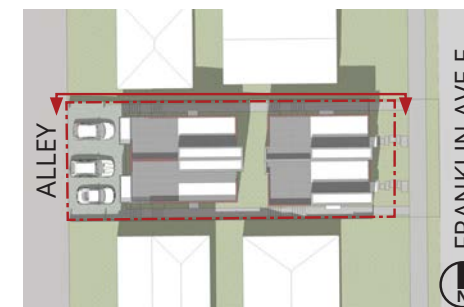
EXPOSED CONCRETE



STANDING SEAM METAL SIDING

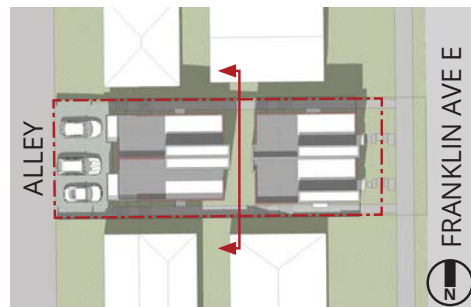
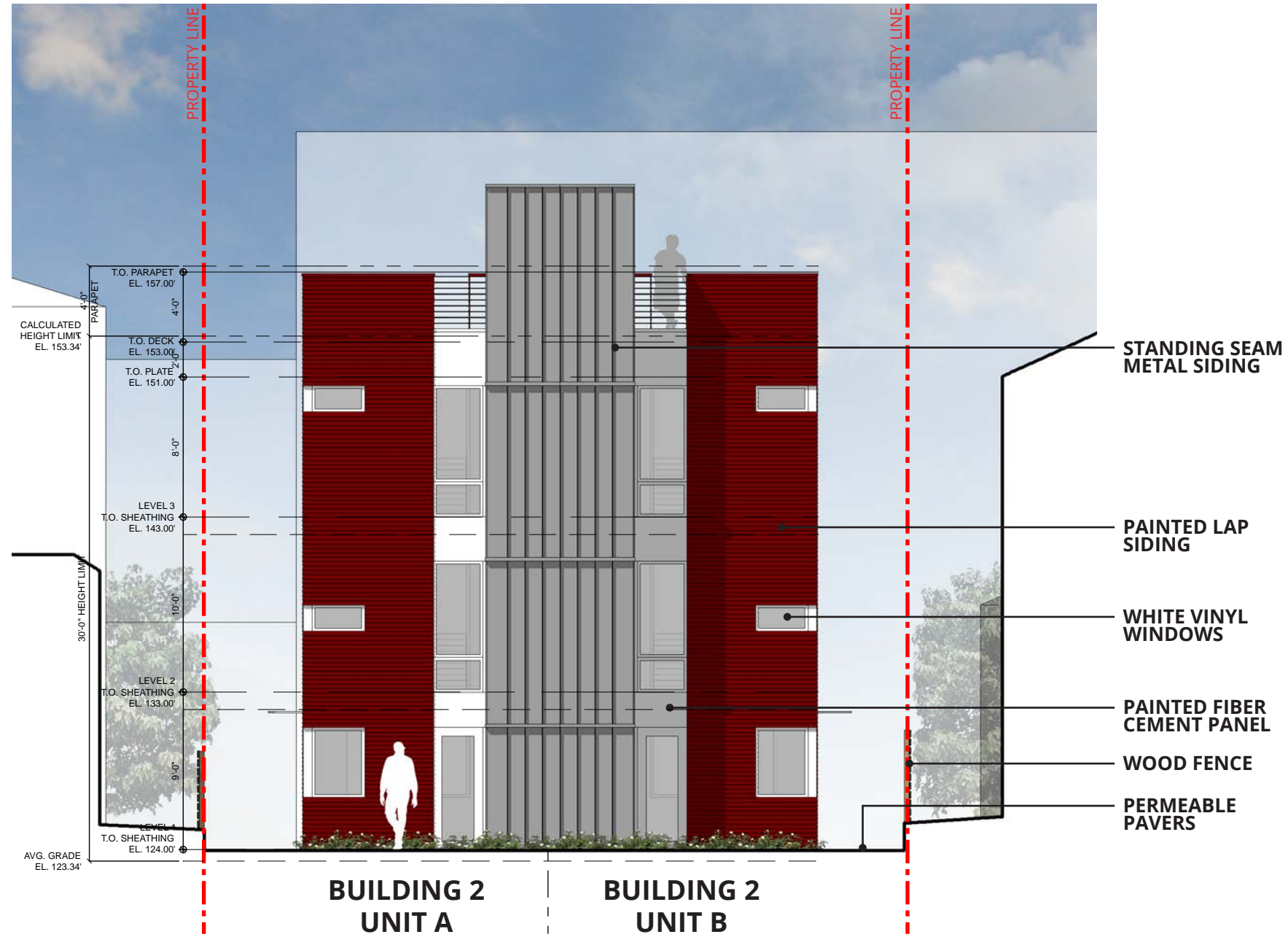


METAL GUARDRAIL



INTERIOR EAST ELEVATION

SCALE: 1/8" = 1'-0"



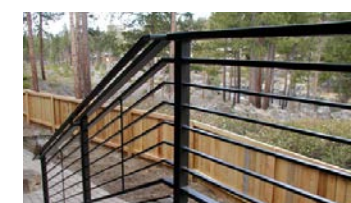
RED FIBER CEMENT LAP SIDING



STANDING SEAM METAL SIDING



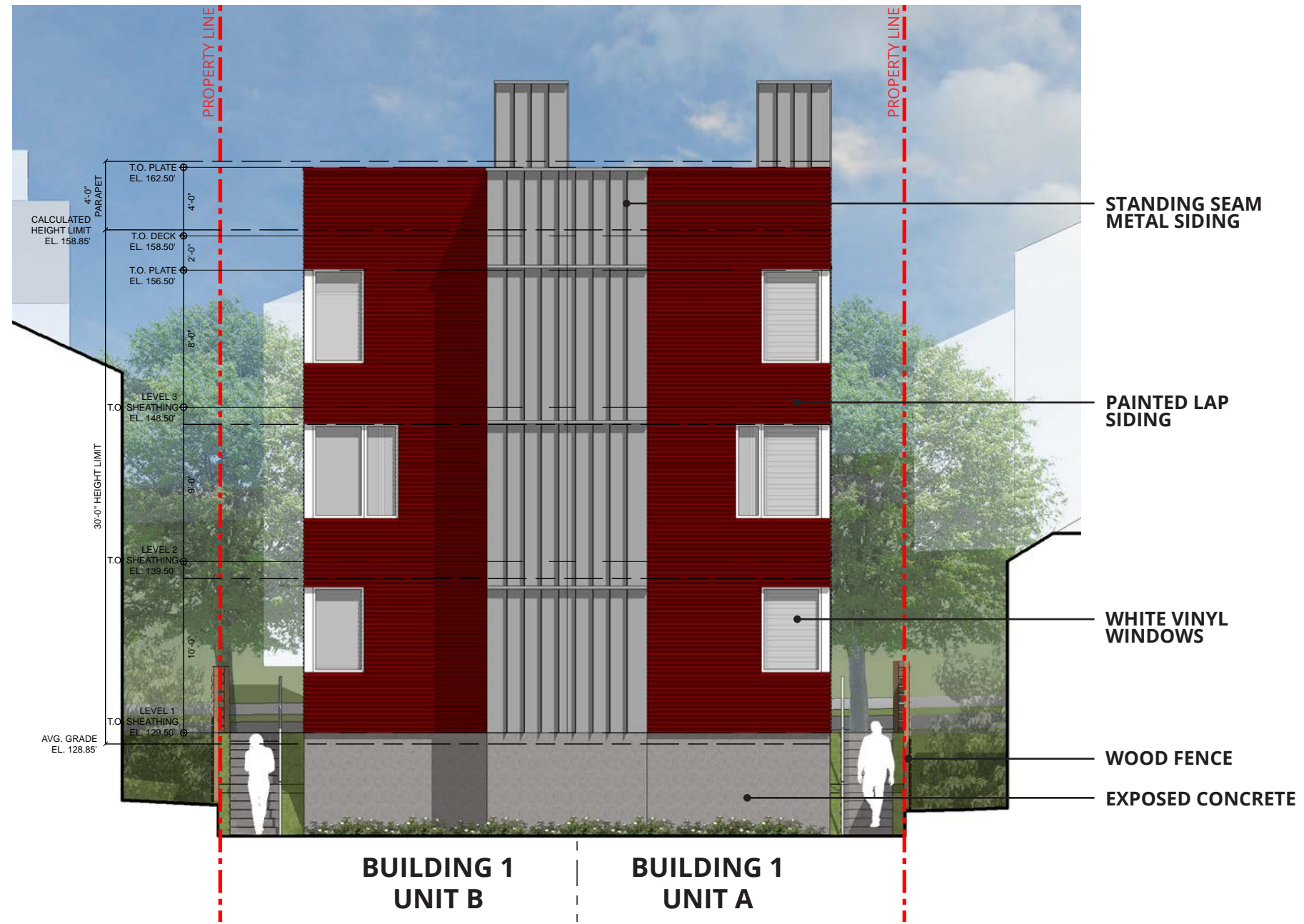
WHITE VINYL WINDOW



METAL GUARDRAIL

INTERIOR WEST ELEVATION

SCALE: 1/8" = 1'-0"



RED FIBER CEMENT LAP SIDING



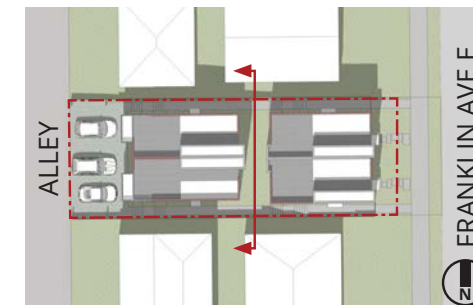
STANDING SEAM METAL SIDING

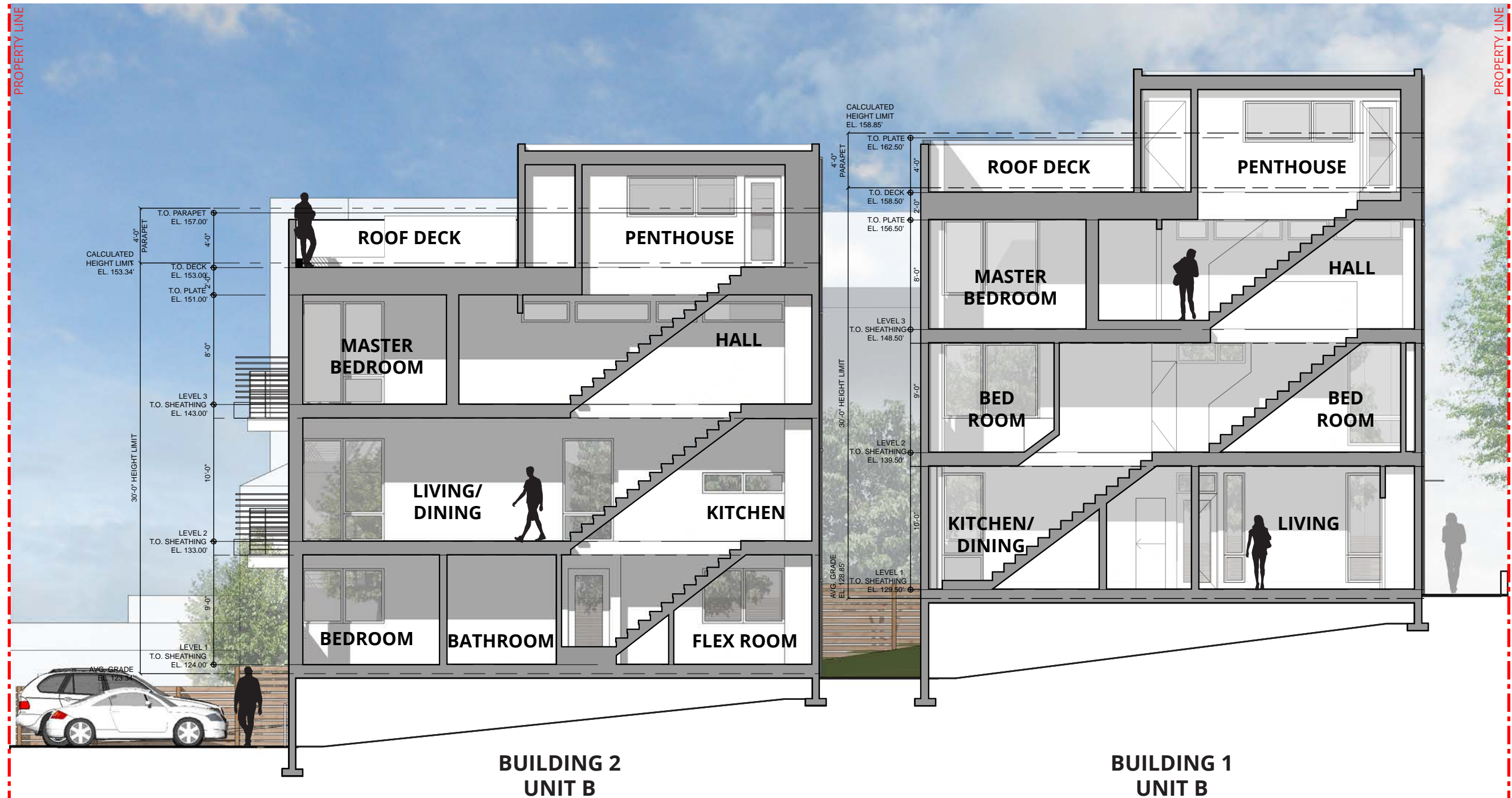


EXPOSED CONCRETE



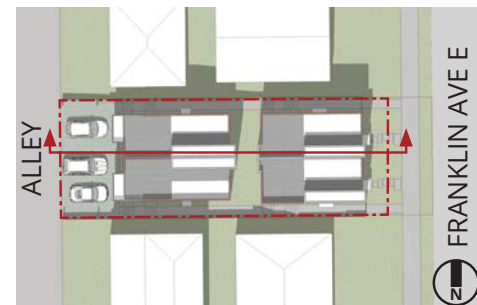
WHITE VINYL WINDOW

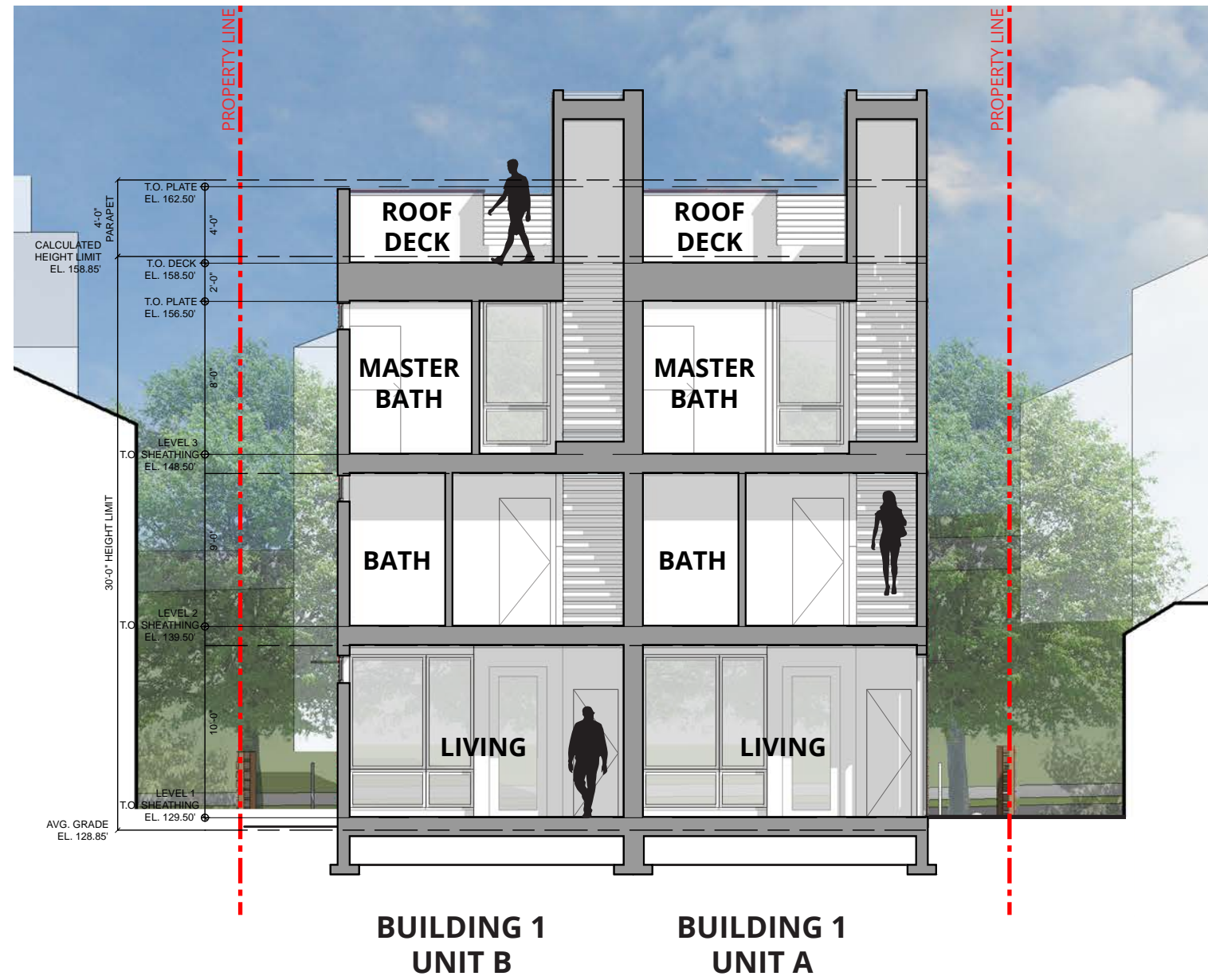




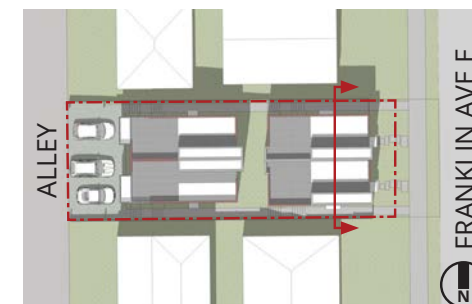
SECTION A

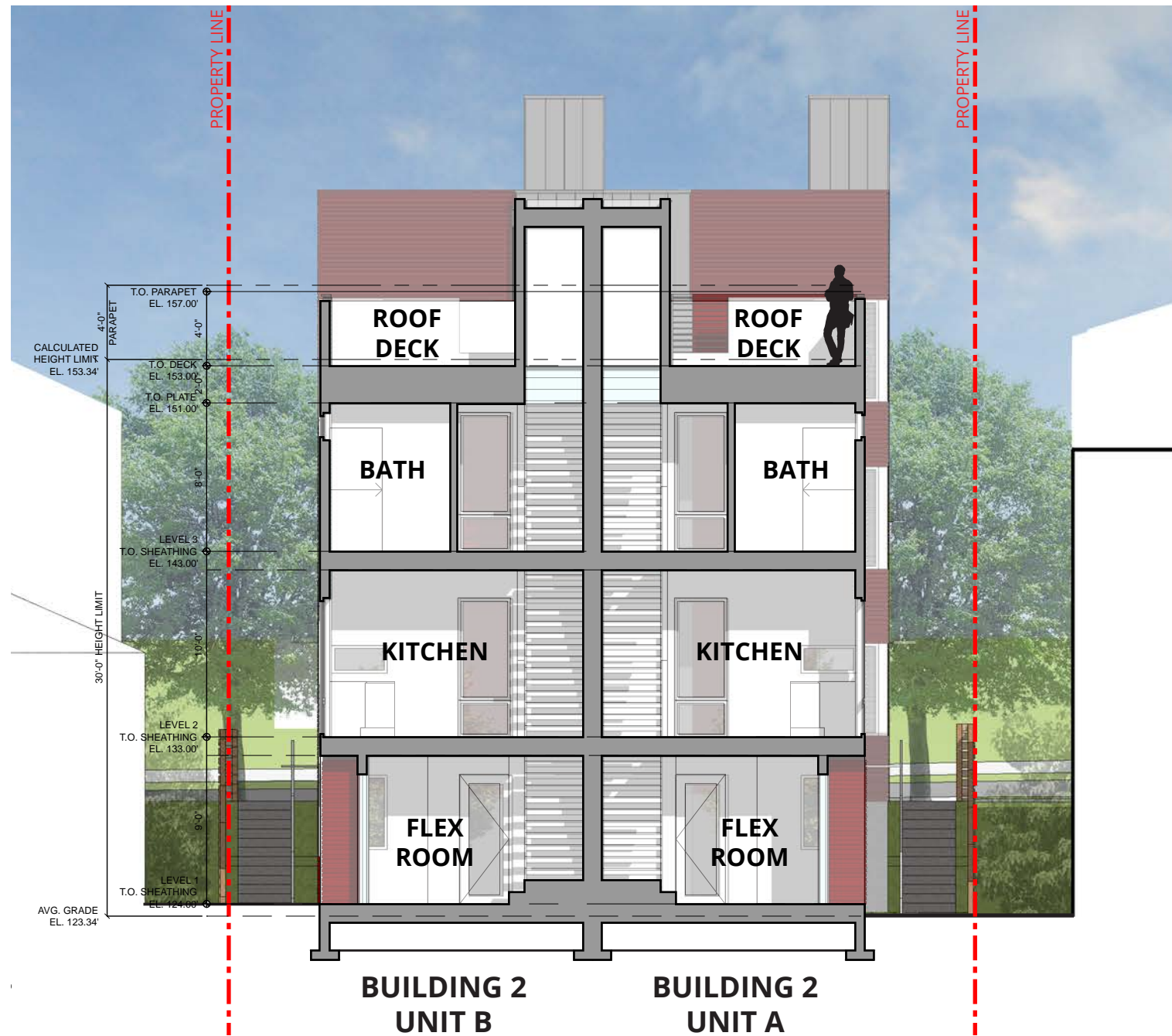
SCALE: 1/8" = 1'-0"



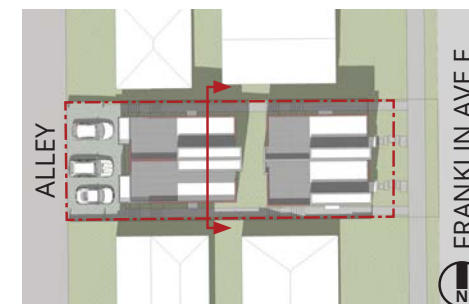


SECTION B
SCALE: 1/8" = 1'-0"





SECTION C
SCALE: 1/8" = 1'-0"






NORTH ELEVATION



SOUTH ELEVATION

PRIVACY DIAGRAM

Minimal overlapping fenestration with adjacent buildings was considered to maintain privacy.

 Neighboring Fenestration

AMENITIES / CIRCULATION

SCALE: 1/8" = 1'-0"

Access to the units from Franklin Ave East and the alley will be through paved paths running East-West. The west townhomes will be accessed from this path, while those located along Franklin Ave E. will be accessed directly from the street. The paths and the parking area are paved with permeable pavers.

AMENITY AREA REQUIRED:
amenity area equal to 25% of lot area

LOT AREA	4,386
25%	1,097

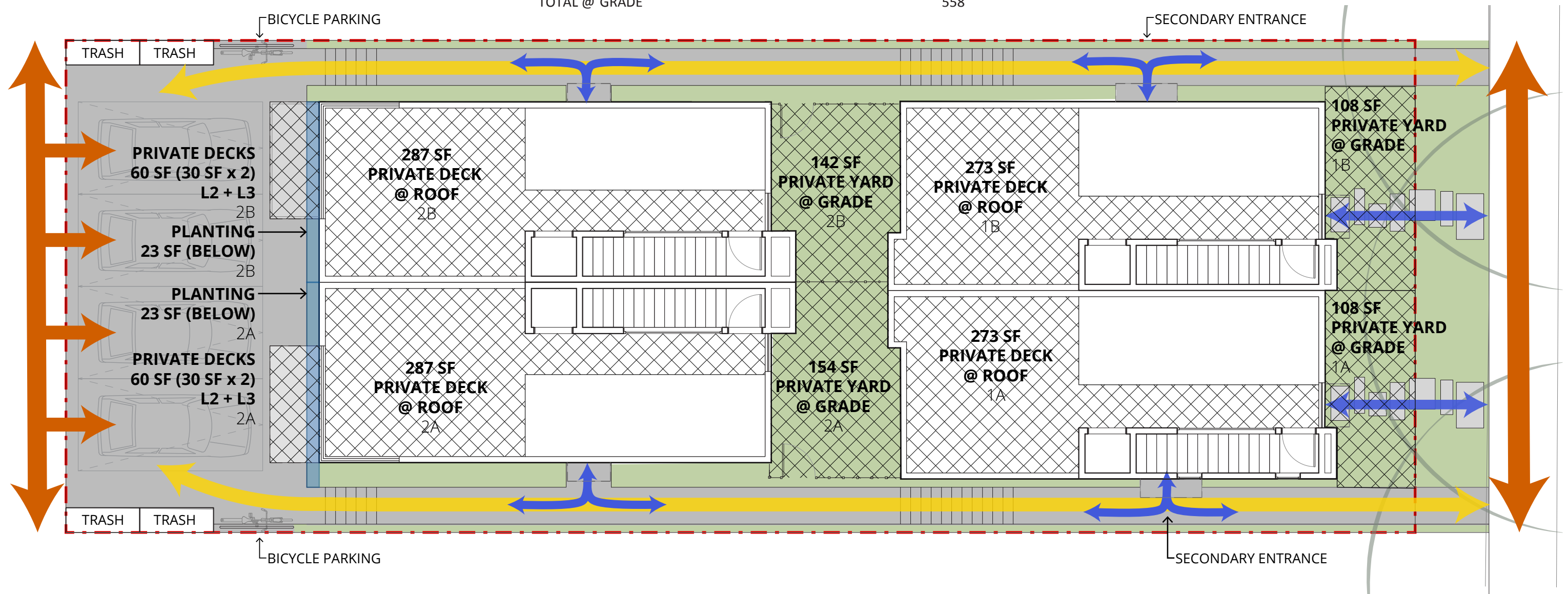
50% of amenity area to be provided at grade

AMENITY AREA	1,097
50%	548.25

PRIVATE AMENITY PROVIDED:

UNIT	AT GRADE	ROOF DECK	DECKS	TOTAL
1A	108	273		381
1B	108	273		381
2A	154	287	(2)38	517
2B	142	287	(2)38	505
TOTAL				1830
TOTAL @ GRADE				558

- PUBLIC STREET/ALLEY CONNECTION
- PRIMARY PEDESTRIAN CIRCULATION
- PRIVATE ENTRY
- PLANTING
- AMENITY AREA



ADJUSTMENTS

REQUESTED ADJUSTMENTS

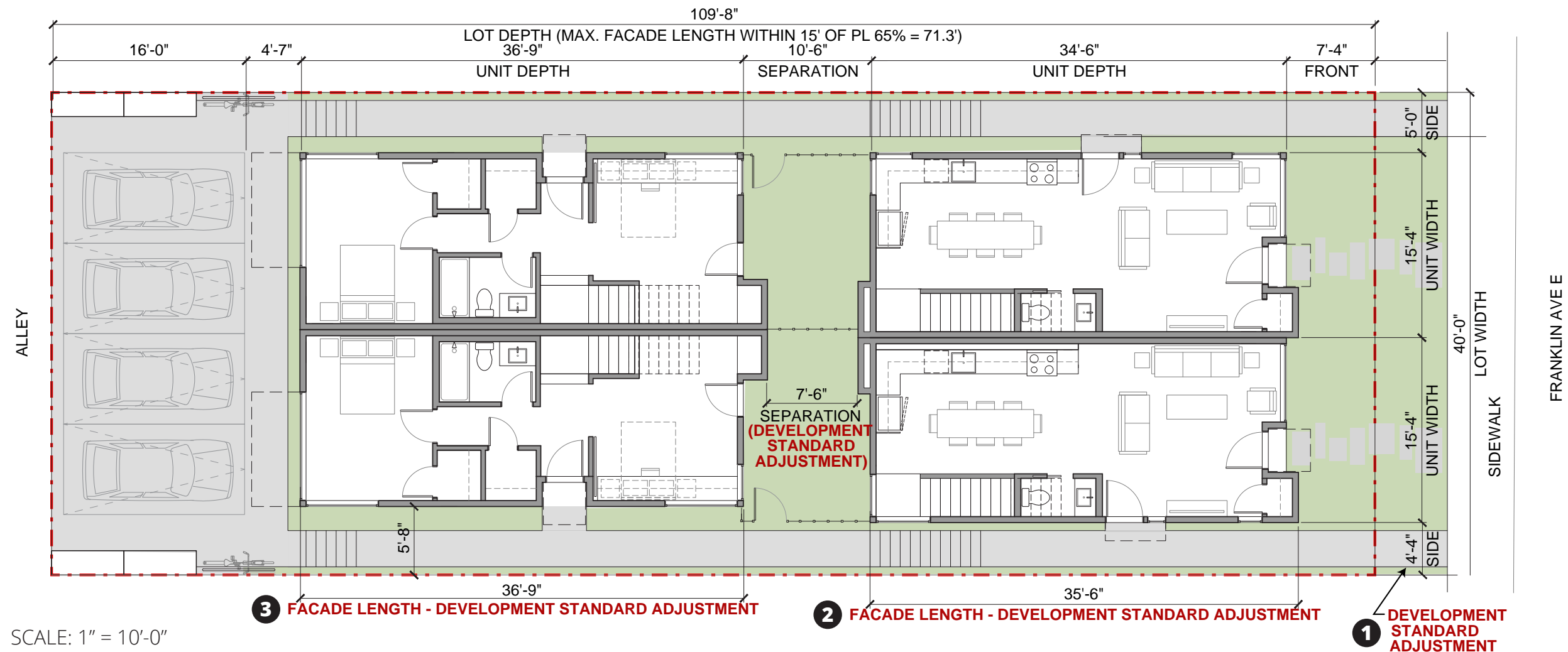
- 1** Reduced side setback at Building One, south side only. Per SMC 23.45.518, Table A, Townhouse Side Setbacks for facades 40 feet or less in length are required to be a minimum of 5 feet. We are requesting a reduction from 5'-0" to 4'-4", or a 13.33% reduction. SDR allows a maximum of a 50% reduction for setbacks and separations.
- 2** Reduced separation between structures, between Building One and Building Two. Per SMC 23.45.518.F.1, the minimum separation between structures is 10 feet. We are requesting a reduction from 10'-0" to 7'-6" minimum, a 25% reduction. SDR allows a maximum of a 50% reduction for setbacks and separations.
- 3** Facade Length increase along southern property line. Per SMC 23.45.527.B, the maximum facade length for portions within 15 feet of the side property line is 65% of the length of that lot line. The lot line in this case is 109'-8" long, 65% of which is 71'-3". We are requesting a 1 foot increase from 71'-3" to 72'-3", or a 1.4% increase in facade length. SDR allows a maximum of a 10% increase in facade length.

COMMENTS

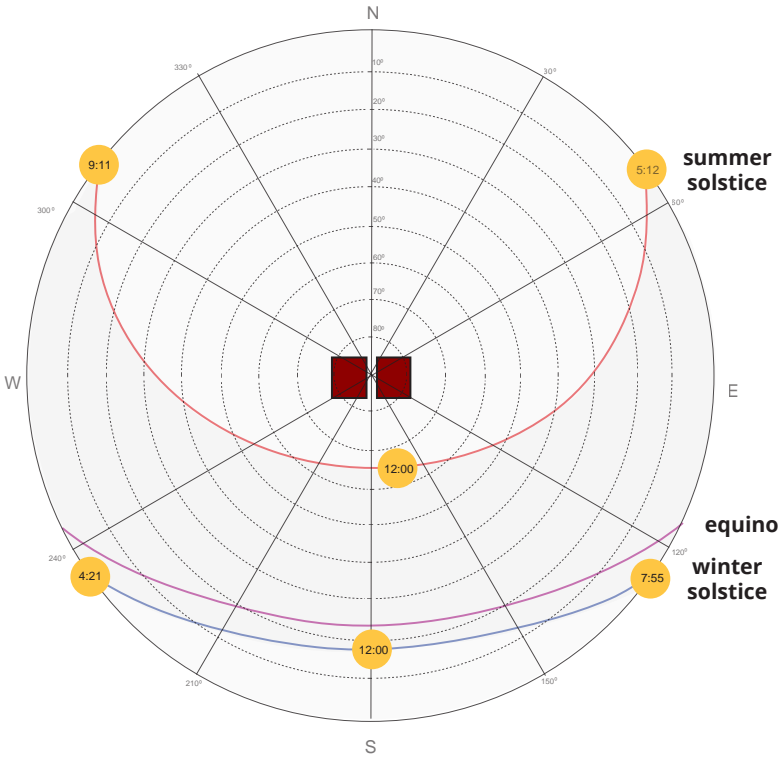
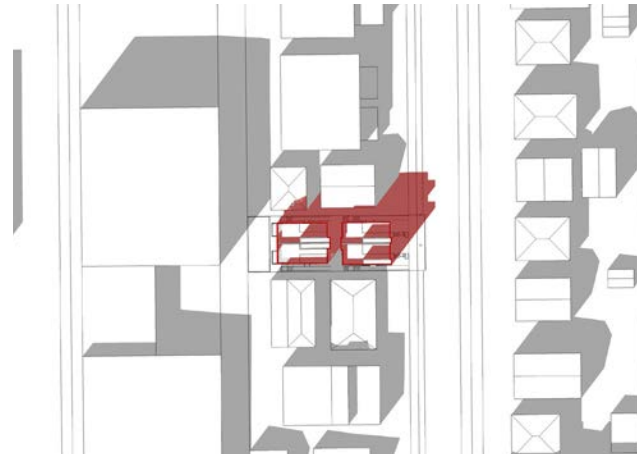
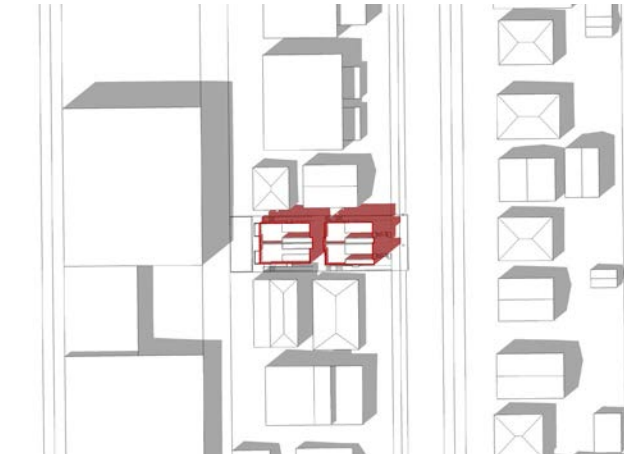
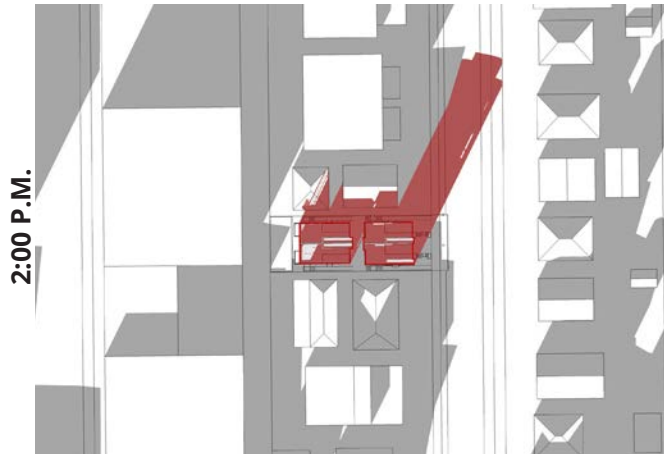
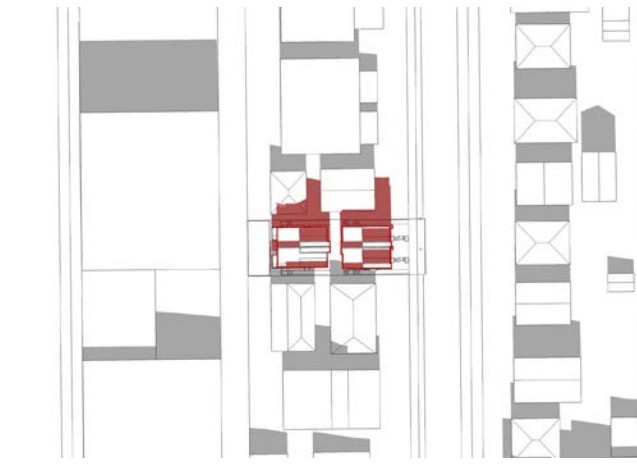
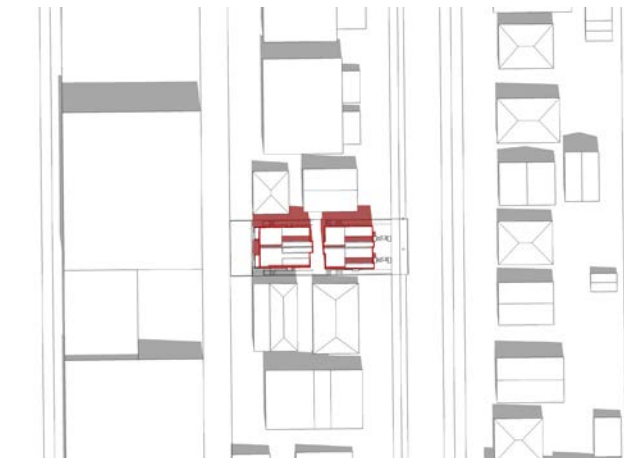
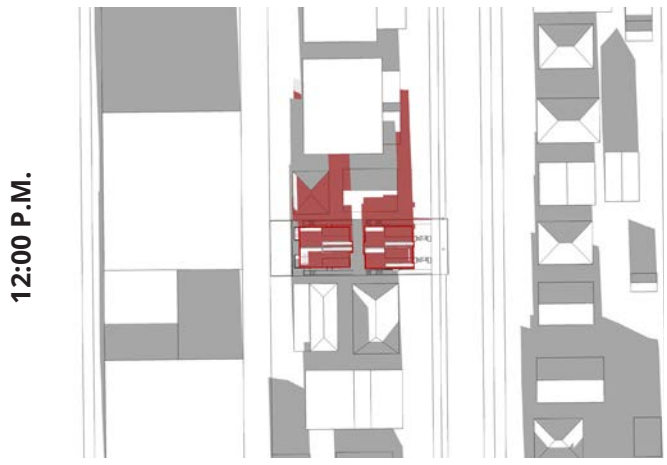
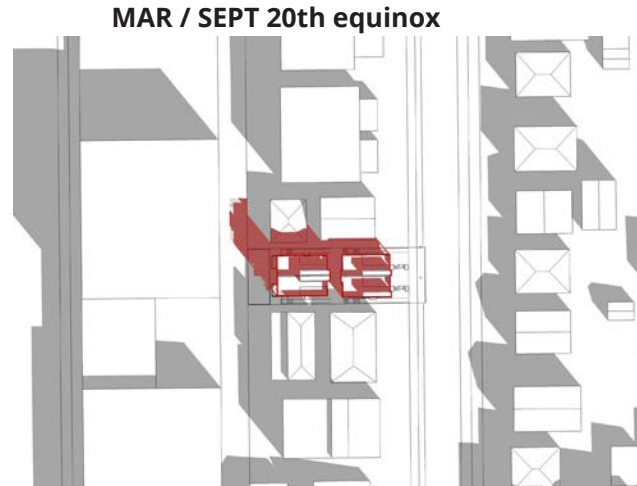
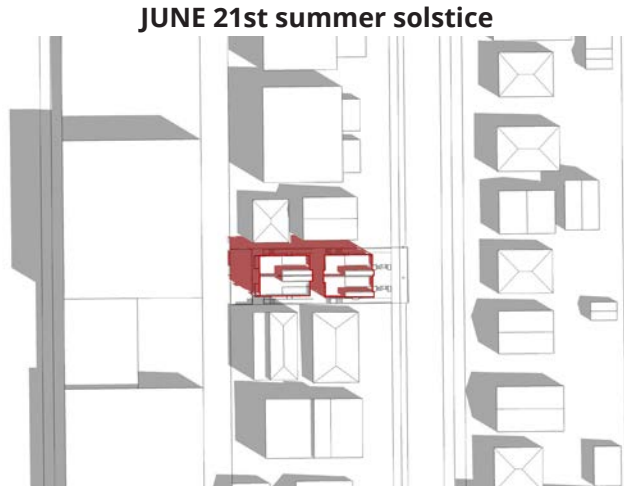
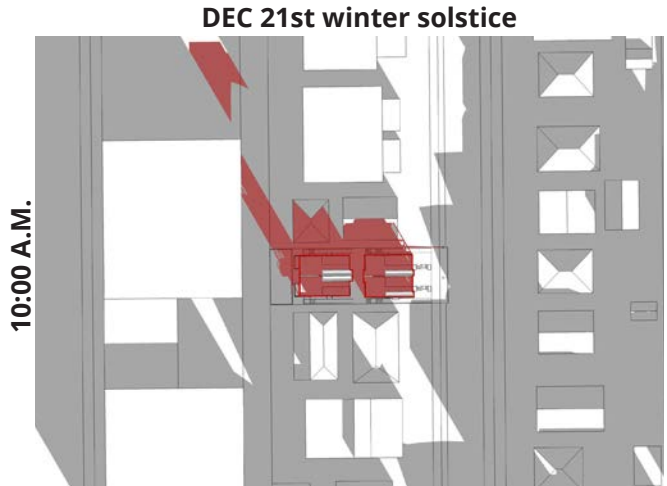
This reduced side setback is offset by an increased side setback along the south side of Building Two, which has been increased to 5'-8". Taken together, the two side setbacks are an average of 5'-0", the minimum required setback. This allows a more spatially dynamic side yard along this side of the property, while opening up the site and buildings for better light, air, and views. The reduced side setback is only requested along the southern property line, so it does not increase solar shading on any adjacent properties.

The reduced separation between structures only occurs at the articulation in the walls at the center of the buildings. The intent is to create some building articulation in these areas to better break down the massing of the buildings. The reduced separation also helps to give more definition and privacy to the two adjacent private amenity areas in the separation. To the north and south of this articulation, the separation is increased to 10'-6", and taken as a whole, the separation between buildings is 9'-7" average, or a 3.9% reduction from the 10 foot requirement. We feel this is clearly justifiable given the articulation and privacy improvements provided by the adjustment.

The need for the facade length increase is for the overall massing, articulation, and composition of the buildings. The facade length along the northern side lot line meets the prescriptive facade length requirement of 65%, but due to the massing, articulation, and composition of the buildings, the facade length at the south has to be longer than the north side. We chose the south side for the increased facade length as it does not increase solar shading on any properties like the north side would. For this reason we feel that this is the appropriate place for the facade length increase, especially given its effect on overall building massing, articulation, and composition.



SUN PATH / SHADOW STUDY



ZONING STANDARDS

ZONE: LR3

MULTIFAMILY CODE SECTION	COMMENTS
23.45.504 Permitted and Prohibited Uses	Proposed residential use permitted outright.
23.45.510 Floor Area Ratio (FAR) Limits Per Table A 23.45.510, FAR for Townhouses in an LR3 zone and inside an Urban Center/Village is 1.4 if the project meets the standards of subsection 23.45.510.C.	Project is eligible for the higher FAR per 23.45.510.C.
23.45.510.C Standards for Higher FAR C.1. The structure shall meet green building performance standards by earning LEED Silver rating or a Built Green 4-Star rating. C.2. Alley shall be paved. C.3-4. Parking location and access.	<p>Lot Area: 4,386 SF Max Building Area Allowed: 6,140 SF (4386 x 1.4) Proposed Floor Area: 6,083 SF</p> <p>Proposed higher FAR: - Built Green 4-Star - Existing alley is paved - Parking area provided at the rear of the lot and behind all structures, next to alley.</p>
23.45.512 Density Limits - Low-rise Zones In Low-rise Zones, Townhouses in LR3 zones are limited to 1 unit/1,600 sf of lot area or have no limit if they meet 23.45.510.C.	Proposed: 4 dwelling units. Project will meet the standards of subsection 23.45.510.C, which allows for unlimited density.
23.45.514 Structure Height In Low-rise Zones, Townhouses in LR3 zone are limited to a building height of 30'.	Compliant: the structure is conforming for height. See section for building base averages. Calculations are based on existing grade for each duplex structure per DR 4-2012 Formula 1: Exterior Walls.
23.45.518 Setbacks and Separations In LR Zones, Townhouse Setbacks: Front: 5' min., 7' average Rear: 5' min., 7' average Separation between buildings: 10' Side: 5' for facades less than 40' in length	Adjustments Requested: Separation between structures reduced to 7'-6". Side Setback reduced (south side only) to 4'-4" (see page 29 for diagram).
23.45.522 Amenity Area A.1 The required amount of amenity area for row house and townhouse developments in LR zones is equal to 25 percent of the lot area. A.2 A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level.	<p>All other setbacks are compliant.</p> <p>Required:</p> <p>4,386 x 0.25 = 1,096.5 SF 1,096.5 x 0.50 (ground level) = 548.25 SF</p> <p>Total Proposed: = 1,830 SF Total @ Ground: = 558 SF</p> <p>AMENITY AREA DIAGRAM AND CALCULATIONS – See page 28. All Amenity Area calculated is private.</p>

MULTIFAMILY CODE SECTION	COMMENTS
23.45.524 Landscaping Standards A.1 Provide for the long-term health, viability, and coverage of plantings. A.2.a Landscaping that achieves a Green Factor score of 0.6 or greater is required for any lot with development containing more than one dwelling unit in Low-rise zones. B.1 Street trees are required if any type of development is proposed	Compliant: project to conform to landscaping standards. Project meets Green Factor requirements with a score of .622 Street trees required in ROW per Bill Ames, existing street trees to remain, no change.
23.45.526 LEED, Built Green, and Evergreen Sustainable Development Standards A. Applicants for all new development gaining extra residential floor area, or seeking to qualify for the higher FAR shall make a commitment that the structure will meet green building performance standards.	Proposed: Project to meet Built Green 4-Star requirements. Seeking to qualify for the higher FAR limit in Table A for 23.45.510.
23.45.527 Structure Width and Facade Length Limits in LR Zones The maximum structure width in LR3 zone, Townhouses are limited to 120'. Facade Length: 65% of lot line length within 15' of lot line.	Width Allowed: 120 Feet Proposed 30'-8" Max. Facade Length Allowed: 109'-8" x 65% = 71.3' Proposed North facade: 71.25' Adjustment Requested: South Facade Length - 72'-3"
23.54.015 Required Parking Per Table B for 23.54.015.M, there is no minimum requirement for parking quantity for residential uses in multifamily zones within Urban Villages when located within 1320 feet of a street with Frequent Transit service. Per Table E for 23.54.015.D.2, 1 long term bicycle parking space per 4 units required, no short-term required.	Proposed: No vehicular parking is required, but four small parking spaces are proposed. The project exceeds the minimum bicycle parking requirements, two spaces are proposed.
23.54.040 Solid Waste and Recyclable Materials Storage and Access A.1 Residential uses proposed to be located on separate platted lots, for which each dwelling unit will be billed separately for utilities, shall provide one storage area per dwelling unit that has minimum dimensions of 2 feet by 6 feet.	Proposed: The project provides the minimum waste storage area per unit requirement of 2 feet by 6 feet for all 4 units.

PRIORITY GUIDELINES

GUIDELINE	RESPONSE
<p>CONTEXT AND SITE</p> <p>CS1.B Maximize daylight for interior and exterior spaces and minimize shading on adjacent sites through the placement and/or design of structures on the site.</p> <p>CS2.B, C, D Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm.</p> <p>Mid-block sites: Where adjacent properties are undeveloped or underdeveloped, design the party walls to provide visual interest through materials, color, texture, or other means.</p> <p>Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.</p>	<p>The project is configured into two separate volumes which create ample exterior space and room for sunlight to penetrate the site. The two masses also create a courtyard area between them for amenity use. Generous windows allow for plentiful natural light in the interior spaces, several are operable for abundant natural ventilation. The stair penthouses are located away from the north property line to minimize shading on the site to the north.</p> <p>This project is located in a dense urban neighborhood characterized by developments of varied height, bulk and scale. To the east are large scale buildings along Eastlake Avenue E, while Franklin Avenue is a mix of mid-sized older homes, many of which have been internally subdivided, and small to medium apartment buildings. The buildings step down the site to the west, following the slope, integrating terraced outdoor spaces with the site. Building entries face the street, and plentiful glazing strengthens the connection to the public realm. Carefully landscaped front yards and patios enrich the connection with the public realm, adding to the streetscape while establishing an effective buffer between the residential entries and the sidewalk. The buildings have a positive presence on the street through balanced and rhythmic articulation, openings, and materials. Windows are located to minimize privacy conflicts with the adjacent residences to the north and south.</p>

GUIDELINE	RESPONSE
<p>PUBLIC LIFE</p> <p>PL1.B, C / PL2.B, D / PL3.A Connect on-site pedestrian walkways with existing public and private pedestrian infrastructure, thereby supporting pedestrian connections within and outside the project.</p> <p>Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life.</p> <p>Provide lighting and eyes on the street for security, and provide weather protection at entries.</p> <p>Design primary entries to be obvious, identifiable, distinctive, and visually connected to the street. Individual entries to ground related housing should be intimately scaled and detailed, create a sense of identity, and emphasize safety and security.</p> <p>PL4.A, B, C Carefully plan the site circulation and entries to logically connect with all forms of transportation. Bike racks should be located to maximize convenience, security, and safety. Plan ahead for transit.</p>	<p>The proposed design has pedestrian access through the site, from Franklin Avenue to the alley, with clear sightlines and signage throughout. The townhouses fronting Franklin Avenue East have generous windows along that facade, allowing more eyes on the street and increased public safety. Well scaled front yards and patios create a place for interaction between the public and private realms. Roof decks create more private outdoor living spaces. Landscape, pathway, and entry lighting enhance security and reinforce the circulation patterns and entry sequences.</p> <p>Entries to the front units on Franklin Avenue are recessed, with canopies, and buffered from the sidewalk with landscaping and patios, creating an intimate entry sequence. Entries to the rear units are also recessed, with canopies, and connect to the pedestrian pathways at the north and south edges of the site, located in the best possible location to establish a connection with the sidewalk, street, and parking area. The entries are well protected from the weather by the combination of recesses and canopies.</p> <p>Bike parking is located at the west side of the site, convenient to the parking area. Site circulation clearly connects with sidewalks, bicycle parking, car parking and routes to transit service. There are four bus stops within a couple blocks, including Metro routes 25, 66, 70, 71, 72, 73, and 83 so this site is well served by transit, a great benefit for this urban site.</p>

GUIDELINE

RESPONSE

DESIGN CONCEPT

DC1.A, B, C

Locate interior uses and activities to take advantage of views and physical connections to exterior spaces and uses, particularly activities along sidewalks, parks or other public spaces.

Reduce the visual impacts of parking lots, parking structures, entrances, and related signs and equipment as much as possible.

DC2.A, B, C, D, E

Use secondary architectural elements to reduce the perceived mass of larger projects.

Design all building facades—including alleys and visible roofs—considering the composition and architectural expression of the building as a whole. Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the façade design.

Incorporate architectural features, elements, and details that are of human scale into the building facades.

On the street side of the building, living areas and entries are located on the ground floor and oriented to the street. Third floor bedrooms and roof decks are oriented to take advantage of territorial and distant views. On the alley side, living areas are elevated to the second floor to separate them from the parking area. Parking is located at the rear of the site, and is accessed from the alley, minimizing impacts to the sidewalk, streetscape, pedestrians, and adjacent properties. The parking area is screened on the sides to minimize visual impacts to the neighbors.

The buildings are massed to create usable private open spaces in front of and in between the buildings. Entries are recessed to both provide weather protection and reinforce their presence. The stair penthouse has been integrated into the massing of the building, creating a strong vertical element that is used as a non-arbitrary basis for articulating the facade. The facades of the buildings have been carefully arranged and articulated to create a balanced, pleasing composition. The facade patterns repeat to reinforce the rhythm and scale of the street wall. Recessed planes create relief and shadow that will change at different times of day and year. Large windows are included where possible, windows are placed so as to create a visually pleasing arrangement, and no facades are blank. Canopies add depth as secondary architectural features while highlighting the building entrances. Decks at the alley side articulate that facade, and brings a more active human presence to the alley. The relief, articulation, and windows break down the mass of the buildings to create a more human scale. High quality materials are used at the street fronts, adding a pleasing texture where the buildings are most visible and public. The landscape design is closely integrated with the architecture to complete the composition. The articulated, repeating facades visually identify the buildings as what they are: attached, side by side, residential townhouses. Each individual unit is clearly articulated and identifiable.

DC3.A, B, C

Plan the size, uses, activities, and features of each open space to meet the needs of expected users, ensuring each space has a purpose and function.

DC4.A, B, C, D

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged. Select durable and attractive materials that will age well in Seattle's climate, taking special care to detail corners, edges, and transitions.

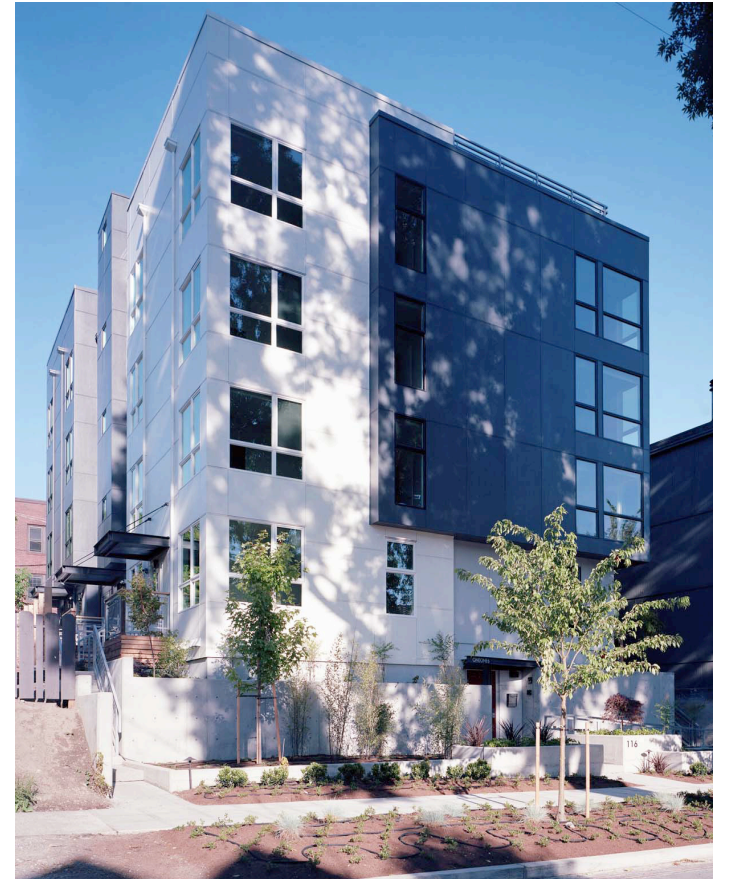
Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as entries, signs, canopies, plantings, and art.

Reinforce the overall architectural and open space design concepts through the selection of landscape materials.

The buildings are arranged to create an attractive, usable open spaces that connect the building entries and private open spaces to the sidewalk and parking areas. Roof decks and decks off the second and third floors of the alley side units are also provided for additional private amenity space and access to light, air, and views. The landscape design reinforces the relationship between open spaces and buildings. Private open spaces are provided for each unit at ground level, decks, and roof. Open spaces at ground level relate well to the sidewalk, alley, parking, and entries. Quantity of amenity space provided exceeds Land Use Code requirements. Grouped mailboxes encourage interaction among the residents. The ground level open spaces are carefully landscaped with both plants and paving to create a pleasant experience when using or passing through the site.

Exterior building materials include standing seam metal and fiber cement lap siding and panels, all are highly durable. All three materials are present at the street facades, creating an arrangement that is both dynamic and welcoming. The composition and details of the materials are modern and simple, with carefully placed joint lines and clean transitions. Exterior material transitions reflect the articulation of the building, reinforcing the architectural concept. Addressing signage is incorporated into the design to provide clear direction to the rear units. Lighting is provided at entries and along pathways, providing safety and security. All lighting is directed down and/or shielded from the neighbors. Pathway lighting is integrated into the landscape, highlighting the plantings and landscape design.

A variety of plant species have been selected to create a varied yet harmonious landscape. Some species are drought tolerant, some are native; all are aesthetically complimentary with each other and the context. Three large street trees are preserved. Hardscape materials include pavers through the site and to building entries, creating an interesting texture and pattern along pathways. The parking area is paved with permeable pavement to aid in stormwater management.



S+HWorks
ARCHITECTURE & DESIGN

