

Washington State Convention Center Addition Project

Design Review Board Design Recommendation Meeting 01
05-03-2016

PROPERTY ADDRESS	SITE A 1600 9th Avenue
SDCI PROJECT #	3020176

OWNER Washington State Convention Center 800 Convention Place Seattle, WA 98101	ARCHITECT LMN Architects 801 Second Avenue Suite 501 Seattle, WA 98104	SDCI CONTACT Garry Papers 206-684-0916 garry.papers@seattle.gov
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WSCC EXISTING SITE

WSCC ADDITION PROJECT

The Washington State Convention Center Addition offers a trans-formative opportunity to create an urban convention venue at the forefront of the convention industry, to offer a rich delegate experience which capitalizes on Seattle's unique qualities, and to enrich Seattle's rapidly

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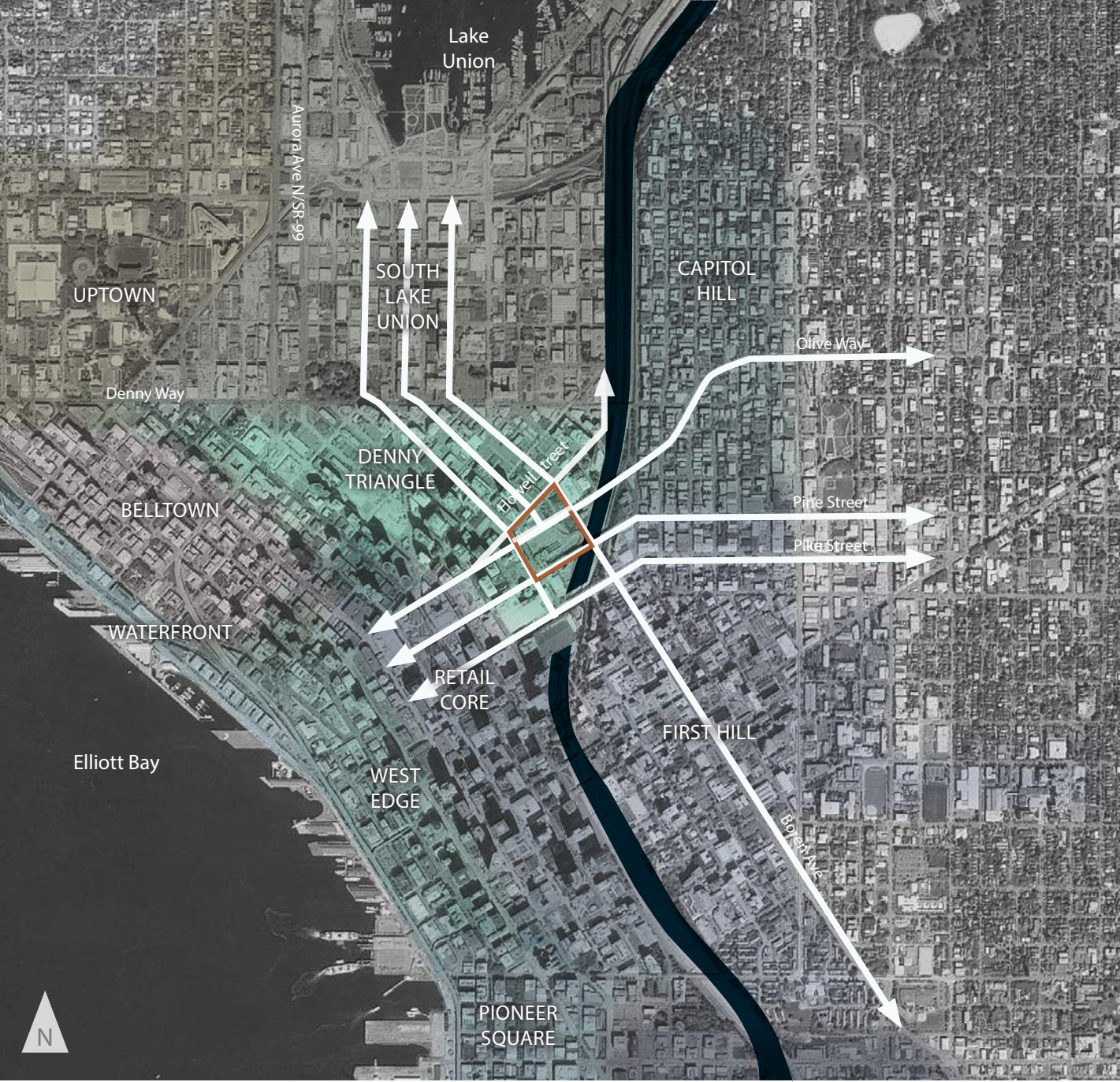
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6 PROPOSED
DEPARTURES

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

VICINITY



STREETS BORDERING PROJECT SITE

9-BLOCK STUDY AREA



- 9-BLOCK STUDY AREA
- WSCC ADDITION PROPERTIES
- STEET/ALLEY VACATION
- AT GRADE SITE AREA INCLUDING FULL VACATIONS

1 DEVELOPMENT OBJECTIVES & PROJECT BACKGROUND

DEVELOPMENT SUMMARY

The proposal is to apply for Master Use Permits for development of a convention center addition on a site consisting of 3 lots: Site A: 1600 9th Avenue, Site B: 920 Olive Way, and Site C 1711 Boren Avenue, that will collectively form the proposed Washington State Convention Center (WSCC) Addition Project. The 3 block site is bounded by Howell Street to the north, Pine Street to the south, 9th Avenue to the west, and Boren Avenue and I-5 to the east. Terry Avenue and Olive Way divide the site on the interior. Below grade street and full alley vacations will be required for this project.

The project will add approximately 1,230,000 sf. of gross floor area to the existing Washington State Convention Center. This will include approximately 250,000 sf. of new exhibition space, 120,000 sf. of meeting rooms, a 60,000 sf. Ballroom space, approximately 20 convention center loading bays, and structured parking for up to 800 additional vehicles. The structure height is approximately 150-200ft over 11 stories with 2 additional stories below grade.

Co-development (to be reviewed at a subsequent Design Recommendation Meeting) on two blocks north of Olive Way (Sites B & C) is proposed as a part of the WSCC Addition project through the use of a potential Planned Community Development (PCD; a City of Seattle Provision: SMC 23.49.036). The co-development sites are planned for a 289ft, 416 unit residential and a 240ft commercial building, expected to be office use.

PLANNED COMMUNITY DEVELOPMENT

A public meeting was held on September 2, 2015 providing an overview of the Planned Community Development process and soliciting public comment on the public’s priorities for the list of potential public benefit priorities. The Director of the Department of Planning and Development in turn issued a list of priorities from the list of PCD items outlined in the Land Use Code.

SITE CONTEXT

The project site is located within the DMC 340/290-400 Downtown Mixed Commercial zone, within the Denny Triangle Urban Center Village. The Downtown Neighborhood Guidelines will apply to this project.

The project site is bordered by the DMC 240/290-400 zone (Denny Triangle Urban Center Village Overlay) to the north, east, and south, and the DOC 2 500/300-500 zone (Commercial Core Urban Center Village Overlay) to the west.

The project occupies the intersection between several distinct and rapidly evolving neighborhoods, including Capitol Hill’s Pike/Pine corridor, the Denny Triangle, South Lake Union, First Hill, and the Downtown commercial core.

Capitol Hill’s traditional low-rise commercial development is being supplemented with new mid-rise mixed-use buildings. The neighborhood continues to promote a strong pedestrian community, interrupted only by the presence of I-5. The Denny Triangle and First Hill, connected via Boren Avenue, bookend the site to the north and south. Though a product of different eras, both neighborhoods contain higher density, taller residential and commercial development, along with notable institutional buildings. The Downtown neighborhood is the densest and tallest adjacent neighborhood, containing both high-rise commercial and residential development, but also a retail and cultural center for the city.

The site’s proximity to Pike and Pine links itself to the waterfront via Pike Place Market and Westlake Center, and to the existing Washington State Convention Center along Ninth Avenue. Other notable landmarks include the historic Paramount Theatre and Worldmark- Camlin Seattle, adjacent to the site across Pine Street and Ninth Avenue. Due to the open space established by the presence of I-5, views to and from the project site to the south and east are both substantial and long-term. Views to the west, particularly from the higher elevations along Pine Street, provide a meaningful glimpse into the

heart of the city.

PROCESS OVERVIEW

This Design Recommendation (DR) #1 meeting before the Downtown Design Review Board, builds on the EDG #1 held on 05/19/2015, which focused on the site context and urban design, EDG #2 held on 07/21/2015 which focused on building massing and street level designs, and EDG #3 held on 10/06/2015, during which the project received Early Design Guidance approval. The Design Proposal booklet and SDCI report from those meetings are available to view at the following link:

<http://www.web6.seattle.gov/dpd/edms/>

Search Past Reviews by typing in the SDCI project number: 3020176.

NOTE: ALL DESIGN SHOWN FOR STREET ROW OUTSIDE OF PROPERTY LINES ARE PRELIMINARY AND PROVIDED FOR DRB CONTEXT. ALL THOSE ELEMENTS WILL BE SUBJECT TO SUBSEQUENT SDOT AND DESIGN COMMISSION REVIEW.

THIS BOOKLET IS FOR SITE A ONLY. SITE B&C WILL HAVE A DRB RECOMENDATION REVIEW ON 5/17/16.

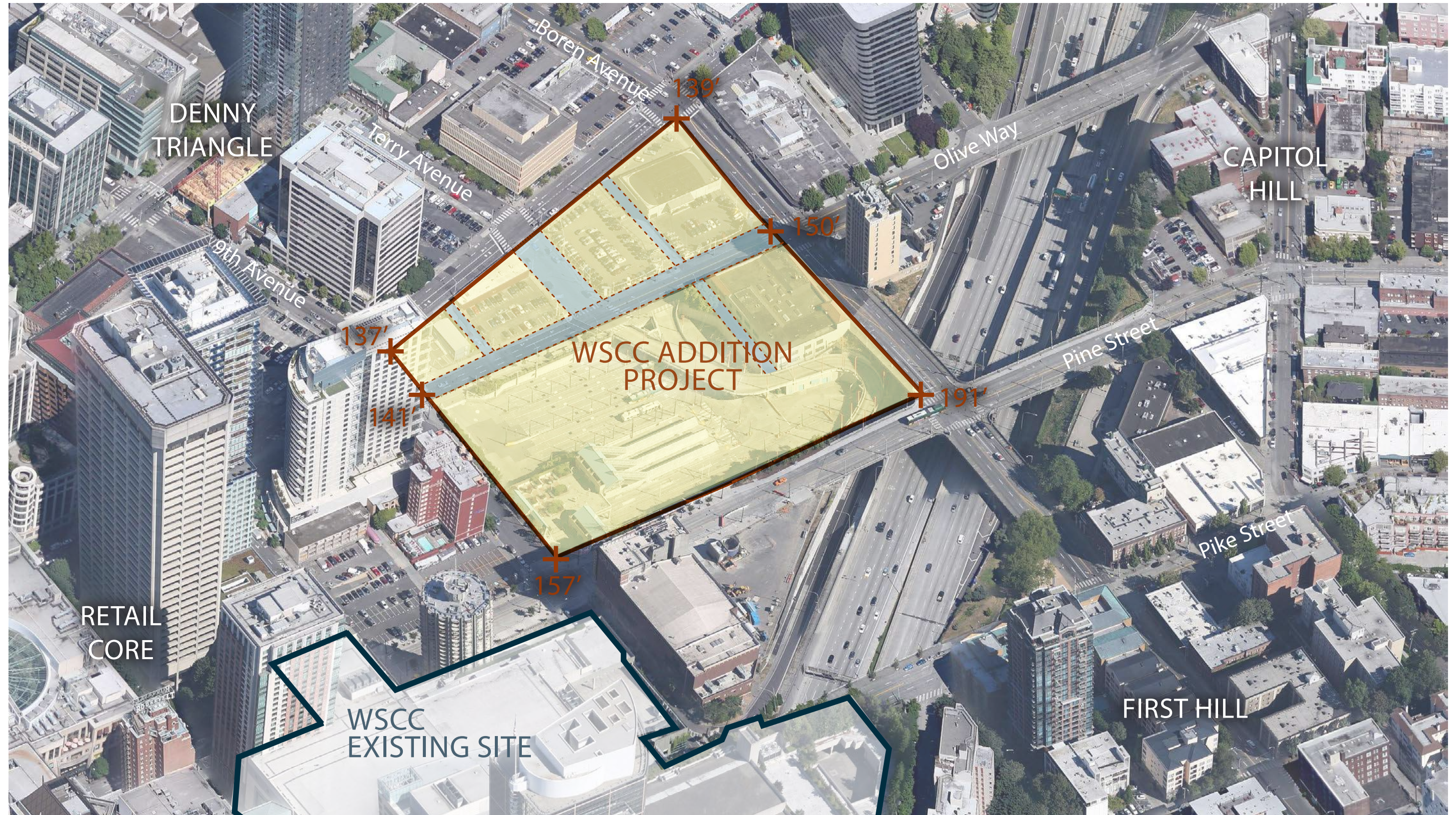
PROJECT GOALS

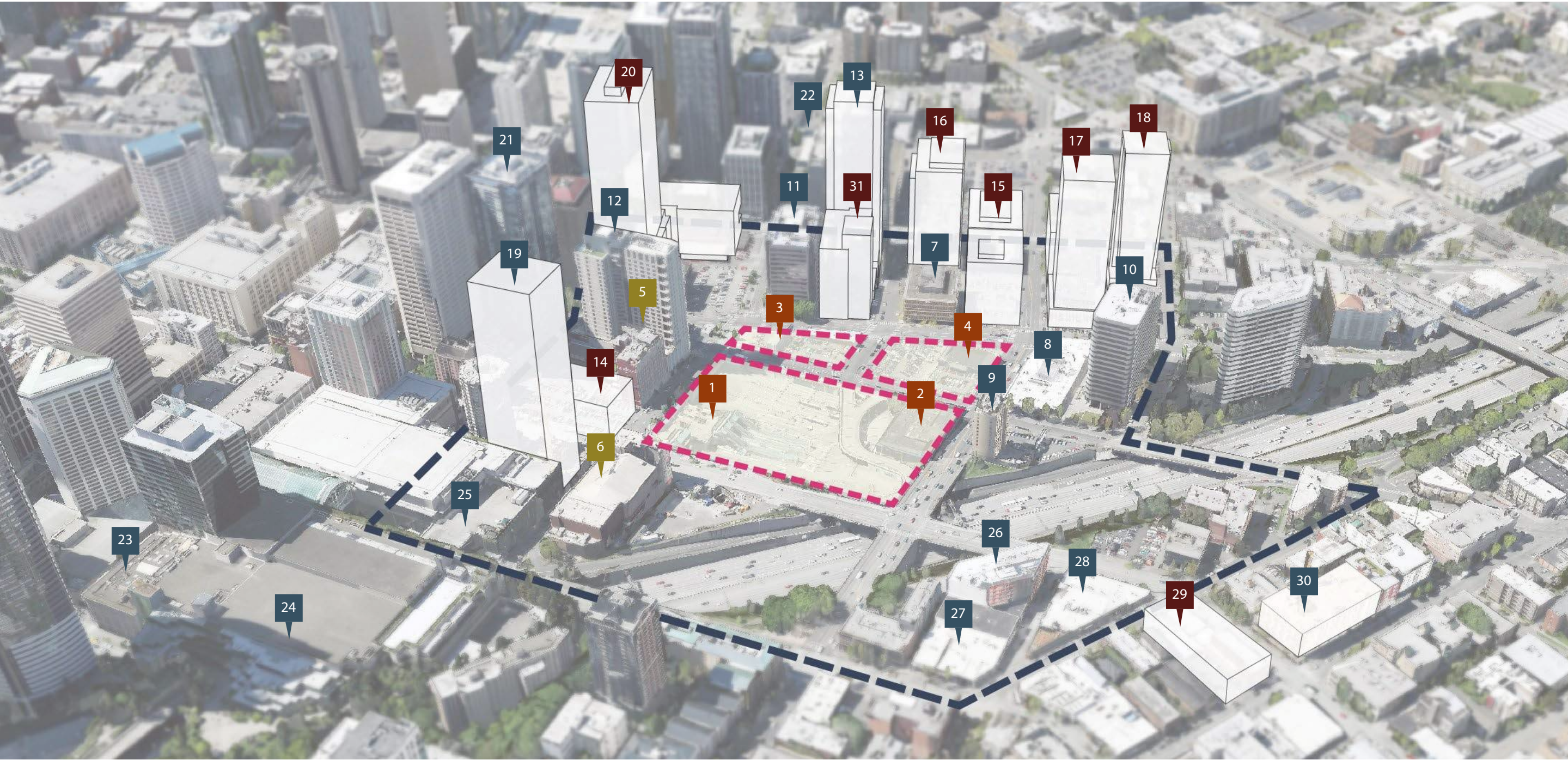
- Create a highly efficient design which effectively supports the functional needs of the convention center clients and is competitive in the marketplace.
- Create a unique experience that embodies the special qualities of Seattle, Washington, and the Pacific Northwest.
- Engage the urban framework of downtown Seattle to capitalize on the location at the intersection of major neighborhoods and corridors of the city.
- Create a welcoming street presence that connects the activities of the Convention Center with the pedestrian experience of the adjacent streets.
- Integrate mixed uses such as retail and other possible co-developments, where appropriate, to enrich the urban diversity of the site.
- Create a sustainable design that embraces Seattle’s commitment to environmental stewardship.

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

WSCC URBAN CONTEXT





- NOTABLE BUILDINGS
- LANDMARK BUILDINGS
- PLANNED/UNDER CONSTRUCTION
- EXISTING BUILDINGS ON SITE

- WSCC ADDITION SITE
- 9-BLOCK STUDY AREA

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

NOTE Map + building reference images show a sample from EDG #1 book. Refer to EDG #1 book for remaining buildings numbered, but not shown here.



906 NINTH AVENUE
Convention Station Place transit facility



1017 OLIVE WAY
Honda of Seattle (Vacant)



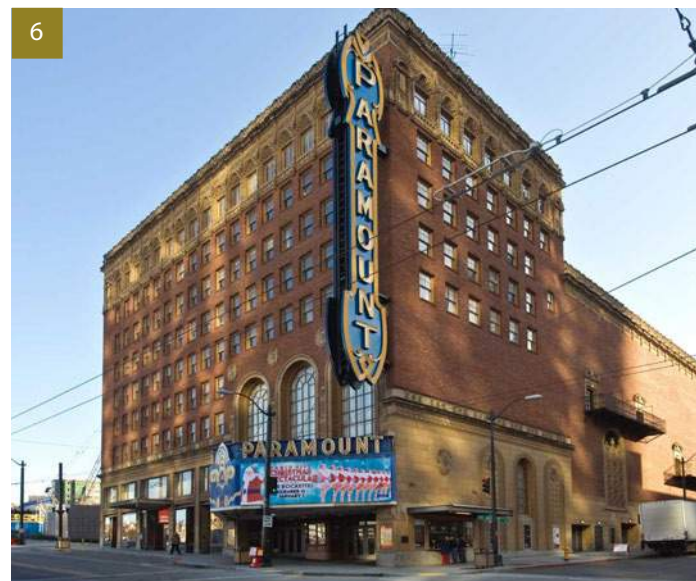
915 HOWELL STREET
Retail/Commercial



1711 BOREN AVENUE
Honda of Seattle auto sales (Vacant)



1619 9TH AVENUE
Worldmark Seattle: The Camlin



911 PINE STREET
Paramount Theatre



737 OLIVE WAY
Seattle Vault Self-Storage



1100 OLIVE WAY
Seattle Children's Cancer Research

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

NOTE Map + building reference images show a sample from EDG #1 book. Refer to EDG #1 book for remaining buildings numbered, but not shown here.



1626 BOREN AVENUE
Olive Tower Apartments



1701 MINOR AVENUE
Metropolitan Parks Office Tower



1800 NINTH AVENUE
Regence BlueShield/Amazon



809 OLIVE WAY
The Olivian Apartment High-Rise



1823 TERRY AVENUE
Aspira Apartments, 37-story apartment building

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND



1601 9TH AVENUE

Nine & Pine Apartments: Mixed-Use Residential



1099 STEWART AVENUE & 1050 HOWELL STREET

Hill 7 Office & Hotel [Under Construction: DPD #3013130](#)



1007 STEWART STREET

Office [Under Construction: DPD 016095](#)



1812 BOREN STREET

Tilt 49: Mixed-Use Building
[Under Construction: DPD #3016574](#)



1823 MINOR AVENUE

Kinects: Office & Hotel [In Development: DPD #3004848](#)

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND



815 PINE STREET

The Premiere: Mixed-Use Retail/Residential
Under Construction: DPD #000000



808 HOWELL STREET

8th & Howell Hotel In Development: DPD # 3016917



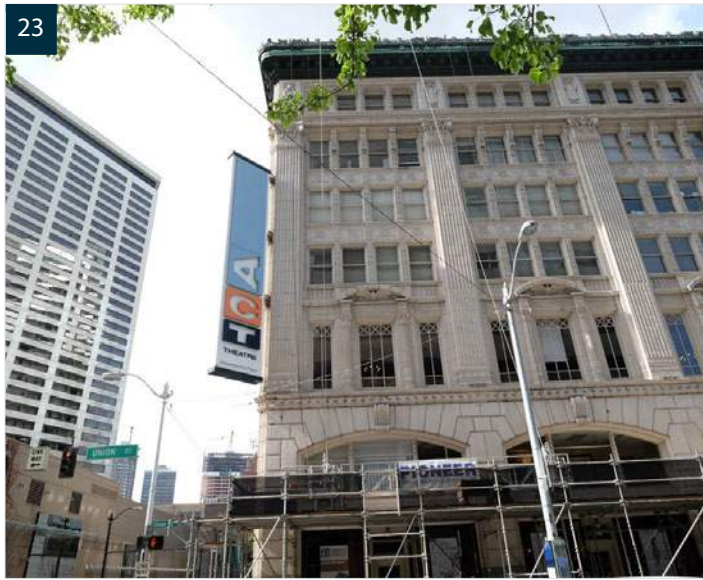
737 OLIVE WAY

Olive 8, 39 story mixed-use with
condominium residential and hotel uses.



1900 9TH AVENUE

Seattle Children's Research Institute



700 UNION STREET

ACT Theatre

1 DEVELOPMENT OBJECTIVES

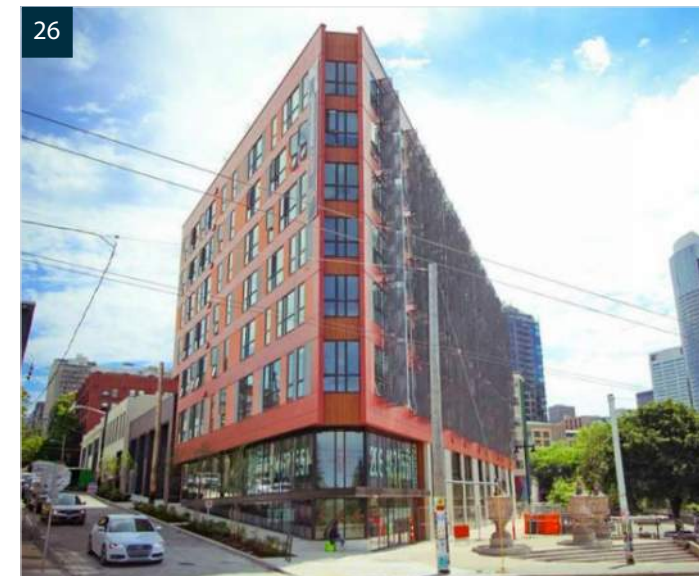
PROJECT BACKGROUND



715 PIKE STREET
Washington State Convention Center



1515 9TH AVENUE
The Washington State Convention Center: Conference Center



1551 MINOR AVENUE
Pike / Minor Apartments



1124 PIKE STREET
Starbuck's Reserve



1531 MELROSE AVENUE
Melrose Market



301 PINE STREET
Melrose Building [Under Construction: DPD #3013342](#)



314 PIKE STREET
Three20 Apartments: Mixed-Use Building



924 HOWELL STREET
Hotel [Under Construction: DPD #3017451](#)

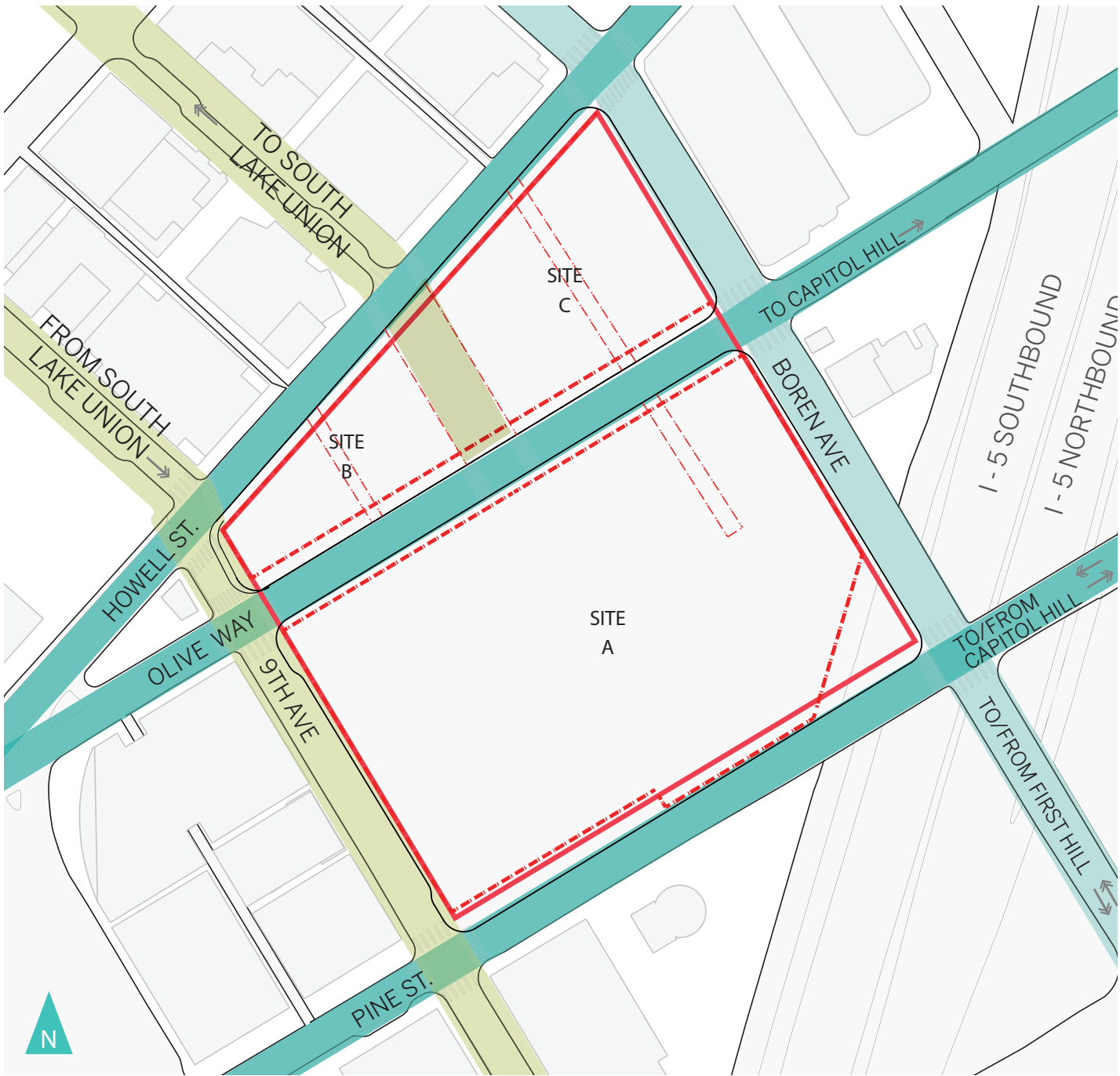
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1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

STREET CLASSIFICATIONS SUMMARY



- PRINCIPAL TRANSIT STREET
- PRINCIPAL ARTERIAL
- GREEN STREET
- PROJECT AREA
- PROPERTY LINE
- PROPOSED FULL ALLEY VACATION

FRONTAGE CLASSIFICATION SUMMARY



- CLASS I STREET FRONTAGE
- CLASS II STREET FRONTAGE
- GREEN STREET FRONTAGE
- PROJECT AREA
- PROPERTY LINE
- PROPOSED FULL ALLEY VACATION

DOWNTOWN OVERLAY MAPS Map 1B Street Classifications

NOTE Landscape Requirement per Denny Triangle Urban Center Village Code applies to all frontages

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

PROPERTY ADDRESSES

SITE A	SITE B	SITE C
1600 9th Avenue	920 Olive Way	1711 Boren Avenue

KING COUNTY PARCEL NUMBERS

SITE A	SITE B	SITE C
#0660001025	#0660001095	#0660001655
#0660001700	#0660001113	#0660001659
#0660001725	#0660001114	#0660001670
		#0660001675

ZONING SMC 23.49.056 MAP A

SITE A/B/C
Denny Triangle Urban Center Village
Downtown Mixed Commercial – DMC 340/290-400

SITE AREA

SITE A	SITE B	SITE C
202,509 sf*	25,551 sf*	50,979 sf*

* Includes vacated alleys

DESIGN REVIEW SMC 23.41

Required

STRUCTURE HEIGHT 23.49.008

NON-RESIDENTIAL MAXIMUM HEIGHT
340ft

RESIDENTIAL MAXIMUM HEIGHT
290-400ft depending on incentives

ROOFTOP FEATURES

15ft above the applicable height limit.

STREET-LEVEL USE 23.49.009 MAP 1G

PINE STREET – REQUIRED*

HOWELL STREET – Not Required

OLIVE WAY – Not Required

9TH AVENUE – Not Required

TERRY AVENUE – REQUIRED*

* Minimum 75% of each street frontage must be occupied by qualifying uses & located within 10 ft of the street property line or line established by the new sidewalk width

One or more of the uses listed in subsection 23.49.009.A are required at street level on all lots abutting streets designated on Map 1G. Required street-level uses shall meet the standards of this Section 23.49.009.

The following uses qualify as required street-level uses:

- General sales and services;
- Human service uses and child care centers;
- Retail sales, major durables;
- Entertainment uses**;
- Museums, and administrative offices within a museum expansion space meeting the requirement of subsection 23.49.011.B.1.h;
- Libraries;
- Elementary and secondary schools, and colleges, except on lots zoned DRC;
- Public atria;

- Eating and drinking establishments;
- Arts facilities; and
- Religious facilities; and
- Bicycle parking, provided that the use does not exceed 30 percent of the frontage 23.49.009.B or 50 feet, whichever is less.

** 23.84A.010 - “E”

“Entertainment use” means a commercial use in which recreational, entertainment, athletic, and/or cultural opportunities are provided for the general public, either as participants or spectators. Entertainment uses include the following uses:

6.a - “Lecture and meeting hall” means a theater and spectator sports facility intended and expressly designed for public gatherings such as but not limited to commercial spaces available for rent or lease for the purpose of holding meetings or the presentation of public speeches.

FLOOR AREA RATIO 23.49.011 SMC-CHART A1

DMC 340/290-400

FAR Base = 5

FAR Max = 10

TOTAL

SITE A + SITE B + SITE C = 279,039

279,039 x 10 (Max FAR) = 2,790,390 sq ft

OVERHEAD WEATHER PROTECTION & LIGHTING 23.49.018

Required along the entire street frontage facade located within 5ft of property line or widened sidewalk except: where separate by landscaped areas at least two feet in width, or at driveways into structures of loading docks. Lower ledge must be between 10ft and 15ft above the sidewalk.

DENNY TRIANGLE URBAN CENTER VILLAGE 23.49.056F

Provide landscaping in sidewalk area of the right of way as a square footage of 1.5 times the length of the street lot line. Must be 18” wide, along entire length of street lot line, except at building entrances, vehicular access (not to exceed 50% of the length of the lot line.

In addition, a 2ft wide setback from the street lot line is required along Terry & 9th Green Streets within the Denny Triangle Urban Center Village. Averaging may be allowed. 50% of the setback area shall be landscaped.

PARKING 23.49.019

MINIMUM REQUIRED

None

PROPOSED

500 – 800 stalls

NON-RESIDENTIAL MAXIMUM ALLOWED

1 per 1000 sf except with special exception.

PARKING LOCATION WITHIN STRUCTURES

Parking above street level is permitted if separated along all street frontages of the structure by another use. Parking at street level is permitted if separated by other uses on Class 1 Pedestrian Streets, and at least 30% separated by other uses on Class 11 Pedestrian Streets.

ACCESSORY PARKING Permitted outright in areas shown on Map 1I if they contain a total of 20 or fewer parking spaces on the lot. 23.49.045

BICYCLE PARKING

Bicycle parking required 1 space per 5,000sf of gross floor area of office or retail over 10,000 sf. Shower facility required for structures containing 250,000 GFA of office use.

1 space for every 2 dwelling units of residential use.

CURB CUT LOCATION

PER DIRECTOR AS A TYPE 1 DECISION SMC

23.49.019.H.1.C

LOADING BERTHS

Off-street loading berths required per SMC 23.54.035
TABLE A

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

MINIMUM SIDEWALK WIDTH
23.49.022 MAP 1C

PINE STREET – 18FT (When on a one-way street, only the side with transit stops shall be 18ft, the other side shall be 15ft.)

PINE STREET PROPOSED WIDTH- 18-23FT

HOWELL STREET – 18FT (When on a one-way street, only the side with transit stops shall be 18ft, the other side shall be 15ft.)

HOWELL STREET PROPOSED WIDTH- 15FT

OLIVE WAY – 18FT(When on a one-way street, only the side with transit stops shall be 18ft, the other side shall be 15ft.)

9th Ave to Terry Ave / 12FT Terry Avenue to Boren Ave

OLIVE WAY PROPOSED WIDTH- 15FT

BOREN STREET – 12FT

BOREN AVE PROPOSED WIDTH- 14FT

9TH AVENUE – VARIABLE, Green Street has additional requirements per Denny Triangle Urban Center Village Downtown Code**

9TH AVE PROPOSED WIDTH- 19FT-8IN

TERRY AVENUE – VARIABLE, Green Street has additional requirements per Denny Triangle Urban Center Village Downtown Code**

TERRY AVE PROPOSED WIDTH (NOT APPLICABLE IN THIS PACKAGE)

** See DENNY TRIANGLE URBAN CENTER VILLAGE-
23.49.056F (PG. 10)

OPEN SPACE 23.49.016
Provide 20sf for each 1000sf of Office use GFA larger than 85,000sf.

COMMON RECREATION AREA 23.49.010
Provide 5% of Residential GFA larger than 20 dwelling units. A maximum of 50% may be enclosed.

STREET FACADE & STREET SETBACKS
23.49.056 MAP 1F

PINE STREET – Class I

HOWELL STREET – Class I

OLIVE WAY – Class I

BOREN STREET – Class II

9TH AVENUE – GREEN STREET

TERRY AVENUE – GREEN STREET

FACADE TRANSPARENCY REQUIREMENTS SMC 23.49.056C
Class I & Green Streets = minimum 60%
Class II Streets = minimum 30%

BLANK FACADE LIMITS SMC 23.49.056D
Class I & Green Streets = 15ft max
Class II Streets = 30ft max

FACADE SETBACK LIMITS SMC 23.49.56 B
If the structure is greater than 15 feet in height, the setback limits apply to the portion facade between an elevation of 15 feet above sidewalk grade and the minimum facade height established in subsection 23.49.056.A.

The maximum area of all setbacks between the street lot line and facade along each street frontage = (averaging factor) x (width of street frontage).

The averaging factor is five (5) on Class I pedestrian streets and ten (10) on Class II pedestrian streets and designated green streets.

The Maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street.

DOWNTOWN AMENITY STANDARDS
SEPTEMBER 2014

L. Urban Plaza
Urban plazas are relatively large, strategically located open spaces that denote important downtown places, create a public focus for surrounding development, increase access to light and air at street level, and provide points of orientation within downtown.
Eligibility Condition: 6,000sf min

UPPER-LEVEL DEVELOPMENT STANDARDS
23.49.058
NON-RESIDENTIAL USE ABOVE 160 FT IN HEIGHT

Green Street Setback
9th Avenue & Terry Avenue Continuous upper-level setback of 15ft on the street frontage abutting the green street at a height of 45ft

Facade Modulation
Required above 85ft from the sidewalk for any portion of a structure located within 15ft of a street property line.

Maximum Facade Width
0-85ft = No Limit
86-160ft = 155ft
161-240ft = 125ft
241-500ft = 100ft

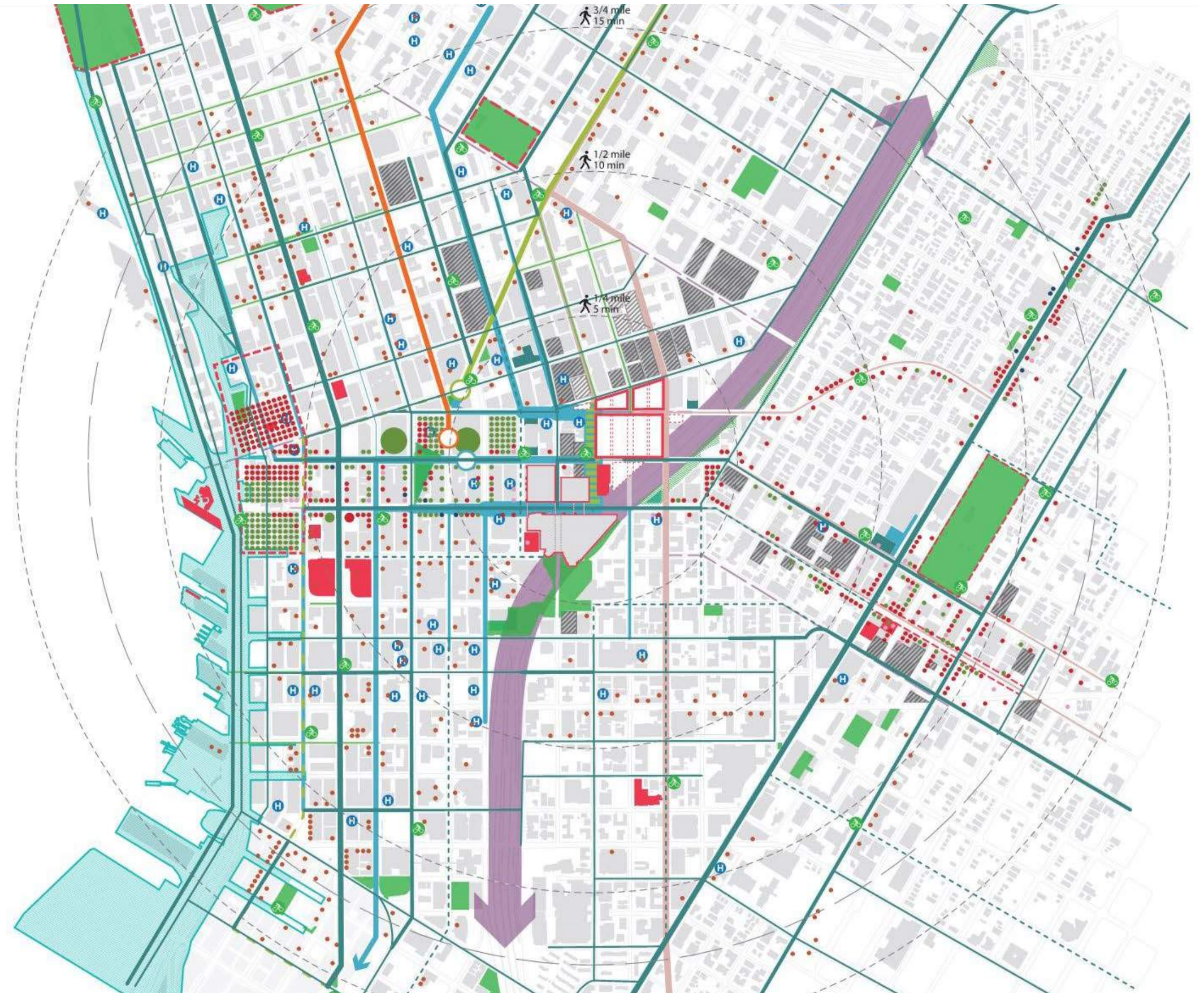
UPPER LEVEL WIDTH LIMIT For portions of structures in non-residential use above 160ft where any story above 85ft exceeds 15,000sf. Upper-level width limit is required on lots that exceed 200ft in width and depth. Any portion of a building above 240ft shall be 145ft along the general n/s axis of a site (parallel to the Avenues). This portion shall be separated horizontally from any other portion by 80ft at all points.

1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

PROJECT OBJECTIVE

The WSCC Addition project sits at the intersection of several unique neighborhoods and surrounded by vibrant local destinations and places for ongoing activities and changing events. It will provide significant additional convention center space for local, regional, and national events. While a few large scale events may occupy both the new and existing facilities simultaneously, most of the additional activity in the area will come from the opportunity to provide a steady stream of programming and visitors at either facility while other spaces set up for the next events. The result is an entirely independent facility, that will work in tandem with the existing one, adding an influx of activity and energy to this part of this city.



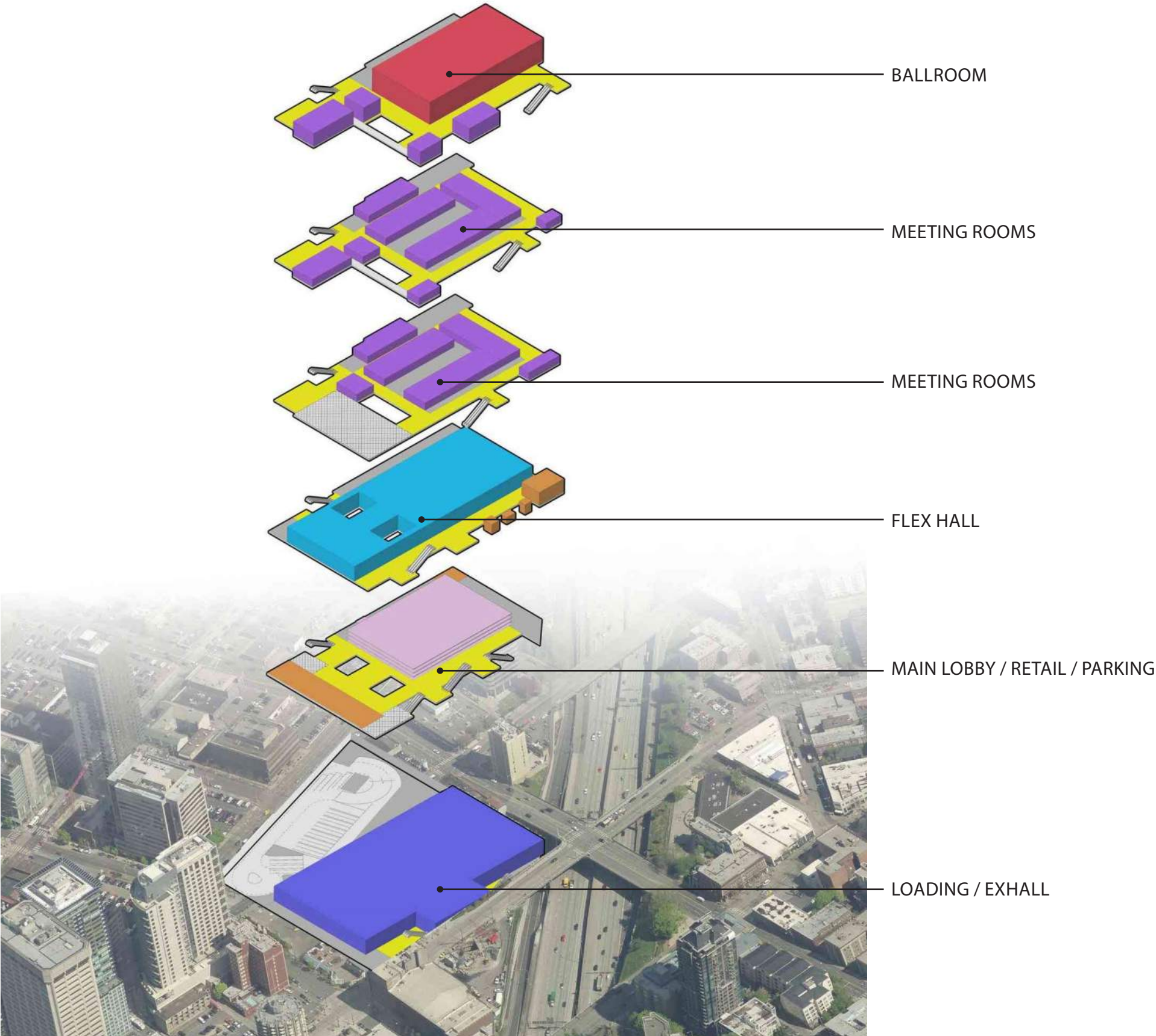
1 DEVELOPMENT OBJECTIVES

PROJECT BACKGROUND

PROGRAM SUMMARY

- 11 stories above grade
- 2 stories below grade
- 250,000 SF of Exhibition Space*
- 120,000 SF of Meeting Space*
- 60,000 SF of Ballroom Space*
- 310,000 SF of Lobby & Circulation*
- 415,000 SF of Support Spaces*
- 800 Parking Stalls*
- 75,000 SF of Loading Area*
- Street-Level Retail & Restaurants

*Approximate



2 EDG 03 COMMENT SUMMARY

GENERAL COMMENTS — PAGE 26

MUP 6C - PEDESTRIAN EXPERIENCE

At the wide, deep planter on Pine between grids J.5 and L.5, recess the planter flush with the adjacent retail face (so pedestrians are not forced out to curb), delete some trees, add seating and create a pedestrian activated patio/room space at the prefunction glazing, as specifically directed by DRB guidance 10-b/last paragraph.

9A - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board discussed design elements at the pedestrian scale in great detail, and the recommendation to manifest pedestrian activation and interest at all locations on all perimeters of all three blocks, using varied materials, added activities or nodes for users near passive spaces, visual interest and texture at all loading doors (when closed), vehicle portals and non-retail frontages.

9D - PLAZA/SETBACKS

At the EDG#3, the Board re-affirmed support for the various voluntary edge setbacks shown on pg 1 6/right, and for the southwest plaza and its east edge creating a welcoming seating terrace/steps as shown on pg 43. The project's public realm and street edges beyond the property line, within SDOT purview, should be generous and respond to pedestrian street activity.

10D - PLAZA

At the EDG#3, the Board agreed the revised southwest plaza edges were more welcoming, but the 9th Avenue stair should be expanded. The Board supported the expanded retail at the northwest corner and the revised, gradual Olive stairs, as shown on pg 45, that provide a more welcoming entrance and Olive address for the Mixing Zone. See additional comments about the Olive steps under 11d.

10F - PUBLIC SPACES AT GRADE

At the EDG#3, the Board acknowledged that the only public open spaces are at several at-grade locations, and the upper roof terraces are exclusively for users of the CC events, or for rental by public organizations/events. Therefore, the Board stressed that each and every public space 'at grade' must be as permeable and welcoming as possible for the majority of event and non-event occasions (see 10d Clarification above). The Board will review the specific landscape design elements and other features for all roof decks (as diagrammatically shown

o ls and restated the Pine Street elevation is highly visible, but agreed that the projecting stair form is effective at breaking up the previous flatness, and becoming a memorable, 'signature' for the CCX. It should be treated as a distinct sculptural move, possibly by adding a unique texture to the stairs south glazing layer, and/or emphasizing a dramatic soffit color/material. The Board was not convinced that soffit should be mirrored, but agreed this southeast facing elevation should remain bright and well-lit on all evenings (not only during events).

11A - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board re-affirmed that the project's street level programming and design elements require the most on-going attention and follow through. The building ground floor along 9th as shown in plan and elevation on pg 40, was improved and supported. The portion of Pine shown on pg 36 was supported, especially the number, amount and vertical scale of the five retail 'pavilions'.

12A - PUBLIC SPACES AT GRADE

At the EDG#3, the Board appreciated the further clarification of the meaning of 5th generation, emphasizing an "open, welcoming facility". While the Board reluctantly acknowledged there are no places open to the general public (without paying rental) above the ground floor, the Board supported the following stated attributes which improve public welcome and porosity: the revised 'mixing zone' is genuinely public with generous openings on three sides; the street edges have consistent and variable voluntary setbacks that expand the sidewalk and layer the building edge; there are at least four sizable, usable corner plazas (9th/Pine; 9th/Howell; Boren/Howell; Olive/Terry), and others may emerge.

RECOMMENDATION 2 - PLAZA

Landscape Revisions and Roof Plans: Consistent with comments under 10f, provide complete landscape designs of all occupied terraces, and consistent with 11 i, revise the 9th avenue edge of the southwest plaza.

PINE STREET COMMENTS — PAGE 28

9E - MATERIALITY

At the EDG#3, the Board agreed the plaza, tall overhang, roof terrace, and setback box-form above the CCX entrance, as

shown on pg 38, create a respectful massing relationship with the Paramount, however at the next meeting the Board will scrutinize the materials and Flex Hall level functions that define this key public open space, at all vertical levels. In particular the Board will evaluate the dark cladding, large entry soffit, and portions that are transparent; whether the south facade is a balcony and/or interior lobby; and what functions will be visible behind this prominent window (the plans on pg 50/left indicate a stair and service wall). See 11 i for comments on the plaza.

10A - MATERIALITY

At the EDG#3, the Board again applauded the large models and restated the Pine Street elevation is highly visible, but agreed that the projecting stair form is effective at breaking up the previous flatness, and becoming a memorable, 'signature' for the CCX. It should be treated as a distinct sculptural move, possibly by adding a unique texture to the stairs south glazing layer, and/or emphasizing a dramatic soffit color/material. The Board was not convinced that soffit should be mirrored, but agreed this southeast facing elevation should remain bright and well-lit on all evenings (not only during events).

11B - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board strongly reiterated that it is critical to provide a strong and consistent pedestrian link between Capitol Hill and 9th by activating the street with a continuous edge of retail or other elements that provide pedestrian interest. The Board supported the building jogs and setbacks shown on pg 34 & 36, but was concerned about the approximately 130 ft long 'vacant space' between the west retail box and plaza on pg 36. The Board recommended the two-bay green recess remain, but incorporate seating that allows pedestrians to look down into the prefunction spaces, while retaining some green relief. The Board also recommended all four bays of glass adjacent to the escalators incorporate elements of scale and visual interest, possibly integrated with a kinetic interior artwork or other feature to stimulate pedestrians; the Board did not consider escalators to qualify for that, but the floating stair shown next to the windows is preferred to escalators.

RECOMMENDATION 1 - MATERIALITY

Enlarged Lower Elevations/Plans: For all three blocks and all frontages, the MUP should include overall elevations (booklet pg 54–61) PLUS enlarged partial elevations of the lower 3-5 floors, registered to corresponding partial floor plans below of the perimeter uses, similar to booklet pages 30, 36, 42, 47. Include revised studies of the Pine Street portion per 11b, the stair materiality per 10a, the materiality of all the enclosure walls of the plaza per 9e, and the Boren walls per 10b.

9TH AVENUE COMMENTS — PAGE 32

MUP 4A - MARKET

The DRB supported a very porous and active ground floor along all of 9th, and throughout the EDG#3 booklet, the façade on 9th had multiple recesses at doorways, 2 café decks, and a recessed central stair/elevator directly into the 'mixing zone'; The DRB supported the façade articulation and usable recesses, possibly with minor green relief elements to express the Green Street 9th Avenue is. The DRB did not endorse flushing out the entire 250 ft length of this street wall to the property line. Please re-instate the basic plan and articulation at grade on 9th shown on pg 42 of EDG#3, which the DRB saw, and endorsed.

MUP 4B - MARKET

Retain the long and tall door groups that provide DRB recommended porosity on 9th, but consider integrating small portions of plantings at the re-instated recesses, to achieve the code intent of a Green Street landscaped setback (relates to Departure request #3, which shows no planting along the inboard sidewalk).

11i - PLAZA/MARKET

At the EDG#3, the Board agreed the stairs leading up to the plaza from 9th were too narrow, and the wide, long berm actually creates a barrier (see pg 43/left). The Board recommended widening the stairs, similar to those along Pine, incorporating smaller planters to maintain some Green Street character, and easing back the planter and bench at the corner to accommodate diagonal pedestrian desire lines from the busy crosswalks to the primary CCX entrance doors. The Board supported the new gradual, mid-block stairs on 9th up to the mixing zone, and encouraged them to be less abrupt at the sidewalk transition; the adjacent public elevator would be less obstructive if a glass enclosure.

DEPARTURE - SETBACKS

The Board indicated receptivity to these two signature elements not setback the full 15 ft, as long as they not exceed the proposed elevation area and retain the relative transparency shown on pg 46. The adjacent extra-deep setbacks are also critical to making these two exceptions appear less intrusive to the Green Street. (A1, B2, B4)

2 EDG 03 COMMENT SUMMARY

OLIVE WAY COMMENTS — PAGE 34

MUP 7A - MODULATION

The MUP design has not addressed the DRB non-support for this departure, as it was not a matter of reducing the parapet length by one of 12 bay lengths; The DRB explicitly directed a vertical reveal in the middle of the east olive wall, extending to the parapet. Please implement this, possibly between P.5 and R, even if not the required full 15 ft deep, as the plans indicate no critical spaces would be compromised.

MUP 7B - FACADE

After the vertical reveal is included, recompose the east half of the Olive elevation; the proposed upper portions has louvers and square windows that appear random and unrelated to any ordering system found elsewhere on the façade or building.

9B - FACADE/TERRY AVE. TERMINUS

At the EDG#3, the Board appreciated the multiple perspective views provided, but recommended additional views along Terry Avenue looking toward the Olive facade that is the Terry Green Street terminus, developing an intentional and scaled elevation response to that terminus condition, and showing the pedestrian edges of Terry Avenue and the adjacent building ground floors in detail. Fully conveying all three facades holistically may require 2-3 perspectives.

11D - FACADE

At the EDG#3, the Board strongly supported the added mid-block retail along Olive Way, and the highly transparent treatment of the nearby employee entrance and parking lobby (see pg 44). The Board did not support exposing the parking floors to the Olive facade, but was enthusiastic about translucent glass at the exit stair towers, and especially at the northwest and larger northeast elevators, showing the movement behind. The Board agreed the Olive stair/ramp into the ‘mixing zone’ is a crucial activator, and widening/deflecting the east edge of the opening toward the Terry axis should be studied (see diagram pg 48, lower left).

11B - FACADE/TERRY AVE. TERMINUS

The Board agreed the parking portal on Olive, shown at the Terry axis on pg 16, appears overly prominent because the

rest of that terminus elevation is not a deliberate composition, responding to the visual axis of the Green Street. If this portal is not shifted off axis, the Board recommended further elevation studies and an intentional composition, confirmed by perspectives noted under 9b.

DEPARTURE - MODULATION

The Board indicated receptivity for the reduced modulation depth of 6 feet, especially since it pertains to about one third of the facade above 85 ft, but was concerned the east parapet was three times longer than code allows. The Board recommended a complete and legible break in parapet and the massing at about the 150 ft point from Boren, which appears to correspond with a stack of exterior balconies on levels 3–6 (pg 44) and which the Board encouraged continuing up to the parapet. (A2; B2; B4)

RECOMMENDATION 3 - FACADE

Olive Avenue CCX Elevation Revisions: Conceal parking ramps and develop translucent glass portions at elevators. Consistent with the Departure #1 comments, revise the parapet and wall modulation of the large, flat eastern half of the Olive elevation. Study widening the stair/ramp at the north end of the ‘mixing zone’.

RECOMMENDATION 4 - FACADE/TERRY AVE. TERMINUS

Terry Avenue Perspectives: Additional views along Terry Avenue looking toward the Olive facade that is the Terry Green Street terminus, developing an intentional and scaled elevation response to that terminus condition, and showing the pedestrian edges of Terry Avenue and the adjacent building ground floors in detail. Diminish the loading doors on block B and wrap the presence of the Olive lobby around the southeast corner.

BOREN AVENUE COMMENTS — PAGE 40

MUP 5A - PEDESTRIAN EXPERIENCE

The Boren lower/middle elevation has received minimal revision, and does not yet meet explicit DRB guidance 10-b and 11-c. The ground level setbacks and exit steps appear sufficient but the wall treatments there have no pedestrian interest; on sheets A313/314, please delete the obstructing horizontal

zone-check stripe, and provide large scale details of the “display windows mounted on exit doors”; add planters if they are raised curbs/walls. Consider more visual interest at eye level, such as integrated public art screens, etc, and will the surface behind the green wall be sound attenuating/textured per DRB guidance 10-b?

MUP 5B - FACADE

The width of the levels 6-9 facade has increased since EDG#3, creating more blank wall and proportions that compromise the legibility of the flanking vertical reveals (bays 1.6-2.5, and 9-10). reduce the amount of walls in those bays that are in the plane near grid V, and recess them back to grid U.5... It appears to be flexible BOH corridor on plan A206

MUP 5C - FACADE

The plane of OWM between grids 3 and 5 appears to squash the recessed ground level and canopy; lift that recessed portion and canopy so the ground level has a consistent and tall proportion stepping down Boren.

MUP 5D - FACADE

The entire surface below floor line 9 is bland, has random louvers, and is not an intentional and “visually compelling composition” for this important gateway facade to Capital Hill (Guidance 10-b). Please redesign and test new or unique materials/colors (beyond the ubiquitous gray OWM shown on all 4 elevations) for this exceptionally visible facade.

9F - FACADE

At the EDG#3, the Board agreed the east retail corners are larger, have adequate transparency and porosity, and show taller, glass proportions to the overall mass; further increases of these attributes are welcome, as the pg 32 perspective demonstrates. Setbacks or notches at the two busy Boren sidewalk corners may still be warranted (pg 30), and the ‘bakery’ entry doors should shift a bit west off the busy corner. The Board strongly supported the large floor area, and taller, transparent northwest corner retail as shown on pg 42 and 46.

9A - FACADE

The Board agreed the building facade along Boren needs to be

more visually compelling, at both the pedestrian levels and the middle zones which are seen from multiple vantage points. The full width green wall shown was not supported, and a greater use of vertical and horizontal compositional elements was recommended at both scales on this highly visible elevation.

10B - FACADE

At the EDG#3, the Board supported the Boren corner configurations, ground level modulations, layering and voluntary setbacks as shown on plan pg 30. However, the middle green wall facade garnered much Board concern: smaller extents of green wall may be successful, but the entire wall needs to be visually compelling with distinct horizontal and vertical composition and material variation (possibly mixing the three options shown on pg 29 rather than all one), especially at lower levels. Shaped, textured forms or truly sound attenuating materials should be integrated into most of this facade to mitigate the freeway noise.

2 EDG 03 COMMENT SUMMARY

11C - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board re-affirmed that Boren Avenue is an important pedestrian link, however the current design shown on pg 30 - especially below the meeting level balcony - is not supporting pedestrians or the mid-range visibility across the freeway (pg 32/33). Some elements are promising: the retail corners, adjacent deep reveals, the stepped low planting walls.

11C - PEDESTRIAN EXPERIENCE

The singular treatment of the central “large” scale green wall was not supported. The Board recommended the multiple exit doors be ‘hidden’ but other material, visual and compositional interest –rather than continuous greenery - occupy all the wall surface below the canopy levels. See 10 b for more comments on this wall above ground level.

12B - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board summarized that the project’s site plan and massing have improved, the corners along Olive and Boren are stronger, and that some areas of transparency are adequate. However, the Board recommended that other areas need additional refinement. Several key edges of the ground floor perimeter need more attention. The lower and middle facade along Boren should be much more visually compelling

DEPARTURE - FACADE

The Board indicated receptivity for this composition, the 207 long parapet (vs 125ft code maximum), and the three discreet volumes, as long as the area of 15 ft depth is not reduced, and the two 15 ft deep reveals are no less than 46 ft wide total, and more is preferred. (A2; B2; B4).

2 EDG 03 COMMENT SUMMARY

EDG 3 MODEL, SEE PAGE 25 FOR CURRENT DESIGN



2 EDG 03 COMMENT SUMMARY - BOARD RECOMMENDATIONS

The comments and recommendations from the Board during Early Design Guidance Meeting (EDG) #3 included both elements of the proposal that were supported and encouraged to further develop along with issues raised that were encouraged to be further studied for review for the Master Use Permit Submittal and Design Recommendation Meeting #1. Below is a brief summary of those items:

Supported as presented:

- Preferred scheme massing
- 9th Avenue Elevation
- Pine Street Elevation
- Mixing zone and Plaza
- Sectional character, visual connections horizontally and vertically into and through the building
- Retail density and character
- Green pause along Pine Street
- Pine Street sculptural stairs
- Exposed structure
- Street level retail and lobbies on Olive
- Prioritizing retail on corners

Supported for further development:

- Edges of Plaza
- Olive Way Elevation
- Boren Avenue Elevation
- Boren Avenue street-scape at egress stairs
- Materiality

DESIGN RESPONSE

This design of the recommended scheme has evolved since the EDG#3 meeting in response to comments and guidance received by the public, the Board, and through two subsequent Master Use Permit submittals. The design combines an active integration with the urban context through the organization of function, landscape, public spaces, streetscapes, and building form, along with exterior enclosure systems composed to frame relationships between the interior Convention Center activities and the specific contextual conditions. The approach is described as “urban collage” with a set of distinct building parts. Each of the parts is a frame which is configured to enhance a particular inside/outside relationship. These parts are comprehensively described in section 50. Following is a description of the primary adjustments since EDG#3:

FLEX HALL

The Flex Hall expression has developed as an important thread that stitches all the elements together while being sculpted with significant variations along its perimeter to punctuate the diverse relationships at the building edges. The cladding is a light interactive metal whose appearance varies significantly as it assumes color and light qualities from the surrounding daylight, night lights, buildings, streetscape, and Convention Center events.

BALLROOM

The ballroom element has evolved to include the atria on the west edge of the site. Both ends of the volume now have large windows to the city that extend softly to the sky.

RETAIL

The overall area of retail has increased throughout, and the individual elements have been refined to provide more retail frontage at the sidewalk and increased level of service for potential tenants.

BOREN AVENUE

The Boren Avenue facade has significantly increased its visual

porosity and articulation through the addition of a large window into the Flex Hall, as well as windows into the Flex Hall lobby, board rooms, and several Convention Center shop areas. The quantity of exit doors on this facade has reduced and the lower portions of the building set back to allow significantly more landscape areas at grade.

OLIVE WAY

The Olive Way facade has been developed to provide greater articulation, texture, and modulation — along with changes in the building form to engage the terminations of Terry Ave. The upper mechanical levels have been reconfigured to end the penthouse at the edge of the Terry Ave Row and the building form sets back 10’ at this same alignment. The building-integrated landscape planters have developed a delicate architectural expression that provides a greater visual impact and a fitting terminus to Terry Avenue, transitioning to 9th Avenue.

PLAZA

The plaza has been revised to provide a more welcoming edge to 9th Avenue, and a larger accessible opening to Pine Street, while mitigating the change in grade along the perimeter. More opportunities for public gathering, seating, signage and display have been provided throughout, along with better visual access to the building entry and interior volumes.

MATERIALS

The overall material palette and conceptual approach is presented in more detail within this package.

2 EDG 03 RESPONSE TO COMMENTS - BOARD RECOMMENDATIONS

PRIMARY DESIGN CHANGES SINCE EDG#3

building-integrated landscape planters develop a delicate architectural expression, providing greater visual impact and a fitting terminus to Terry Ave.

Flex Hall expression stitches elements together, sculpted with significant variations along building edges

area of retail increased throughout, with more retail frontage at the sidewalk



OLIVE WAY & 9TH AVENUE

ballroom element includes atria on the west edge of the site with large windows to the city that extend softly to the sky

Boren Avenue facade increased its visual porosity and articulation through the addition of a large window into the Flex Hall, with additional windows into adjacent rooms

area of retail increased throughout, with more retail frontage at the sidewalk

number of exit doors reduced on this facade setbacks allowing for significantly more landscaping at grade



PINE STREET & BOREN AVENUE

Olive Way facade and building form have been articulated to engage Terry Ave. terminations

upper mechanical levels have been reconfigured to end the penthouse at the edge of the Terry Ave Row; building form sets back 10' at this alignment

Flex Hall expression stitches elements together, sculpted with significant variations along building edges

Boren Avenue facade increased its visual porosity and articulation through the addition of a large window into the Flex Hall, with additional windows into adjacent rooms

number of exit doors reduced on this facade setbacks allowing for significantly more landscaping at grade



OLIVE WAY & BOREN AVENUE

ballroom element includes atria on the west edge of the site with large windows to the city that extend softly to the sky

more opportunities for public gathering, seating, signage and display provided throughout

revised plaza provides a more welcoming edge to 9th Avenue, and a larger accessible opening to Pine Street



PINE STREET & 9TH AVENUE

2 SUMMARY OF EDG 03 OVERALL COMMENTS

COMMENT 9A - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board discussed design elements at the pedestrian scale in great detail, and the recommendation to manifest pedestrian activation and interest at all locations on all perimeters of all three blocks, using varied materials, added activities or nodes for users near passive spaces, visual interest and texture at all loading doors (when closed), vehicle portals and non-retail frontages.

RESPONSE - The proposed building and site design has been further refined to address the board’s comments and express the texture and character of the pedestrian experience. In addition, further detail on materials, landscape, lighting, and environmental graphics has been included in this package for review.

COMMENT 9D - PLAZA/SETBACKS

At the EDG#3, the Board re-affirmed support for the various voluntary edge setbacks shown on pg 16/right, and for the southwest plaza and its east edge creating a welcoming seating terrace/steps as shown on pg 43. The project’s public realm and street edges beyond the property line, within SDOT purview, should be generous and respond to pedestrian street activity.

RESPONSE - In addition to the setbacks previously presented, additional opportunities for increased setbacks are proposed most significantly along Boren Avenue, and additionally on the west half of Olive Way, along 9th Avenue, and pockets along the Pine Street retail and landscape nodes. The project areas that are within the right of way are currently under review by SDOT.

COMMENT 10D - PLAZA

At the EDG#3, the Board agreed the revised southwest plaza edges were more welcoming, but the 9th Avenue stair should be expanded. The Board supported the expanded retail at the northwest corner and the revised, gradual Olive stairs, as shown on pg 45, that provide a more welcoming entrance and Olive address for the Mixing Zone. See additional comments about the Olive steps under 11d.

STAFF clarification: the Mixing Zone was stated to be fully open to the public when there are no CCX events, and during CCX events the ticketed demising line is at the yellow “registration” zone east of the Mixing Zone shown on pg 49; Board support for the entire CCX ground level strategy is contingent on this mixing zone being fully public and open for generous time frames, to activate the 9th Avenue corners and Green Street frontage with two-sided retail, and to create a viable ‘public atrium’ and pass-through, in lieu of any public terraces at upper levels.

RESPONSE - The edges of the plaza have been revised to provide a more generous opening focused towards 9th Avenue. The northwest corner entry has been revised to create a greater retail presence wrapping the corner on Olive Way. The addition of vertical openings at the building face provide dramatic views into the facility from the sidewalk.

COMMENT 10F - PUBLIC SPACES AT GRADE

At the EDG#3, the Board acknowledged that the only public open spaces are at several at-grade locations, and the upper roof terraces are exclusively for users of the CC events, or for rental by public organizations/events. Therefore, the Board stressed that each and every public space ‘at grade’ must be as permeable and welcoming as possible for the majority of event and non-event occasions (see 10d Clarification above). The Board will review the specific landscape design elements and other features for all roof decks (as diagrammatically shown on pg 19) at subsequent meetings.

RESPONSE - The site design has continued to refine with a focus on the pedestrian experiences that enrich the connection of the public from the exterior to the interior of the facility. Aside from the range of scaled exterior and interior public spaces, the presence of retail at the building edge along with vertical openings and large windows provide glimpses into the activity of the facility at multiple levels along the perimeter.

COMMENT 11A - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board re-affirmed that the project’s street level programming and design elements require the most on-going attention and follow through. The building ground floor along 9th as shown in plan and elevation on pg 40, was improved and supported. The portion of Pine shown on pg 36 was supported, especially the number, amount and vertical scale of the five retail ‘pavilions’.

RESPONSE - The project has been successful in finding opportunities to increase the overall footprint and scale of the individual retail and maker spaces along all frontages, with added emphasis on Boren Avenue and Olive Way.

COMMENT 12A - PUBLIC SPACES AT GRADE

At the EDG#3, the Board appreciated the further clarification of the meaning of 5th generation, emphasizing an “open, welcoming facility”. While the Board reluctantly acknowledged there are no places open to the general public (without paying rental) above the ground floor, the Board supported the following stated attributes which improve public welcome and porosity: the revised ‘mixing zone’ is genuinely public with generous openings on three sides; the street edges have consistent and variable voluntary setbacks that expand the sidewalk and layer the building edge; there are at least four sizable, usable corner plazas (9th/Pine; 9th/Howell; Boren/Howell; Olive/Terry), and others may emerge.

RESPONSE - The mixing zone has been refined to allow the public greater visual access into the depth of activity by aligning the vertical openings with interior and exterior public edges, and allowing the market to be more porous and a visible connection to 9th Avenue.

RECOMMENDATION 2 - PLAZA

Landscape Revisions and Roof Plans: Consistent with comments under 10f, provide complete landscape designs of all occupied terraces, and consistent with 11 i, revise the 9th avenue edge of the southwest plaza.

RESPONSE - Upper level plans are provided on pg 78. Vertical planters outside the building edge provide visibly planted areas above grade, while the occupiable terraces are designed for full flexibility to serve the needs of a wide range of events. The edges of the plaza have been revised to provide a more generous opening focused towards 9th Avenue.

HOWELL ST

TERRY AVE

OLIVE WAY

9TH AVE

PINE STREET

BOREN AVE

STREET LEVEL USES

LOBBY

RAMP DN

STREET LEVEL USES

STREET LEVEL USES

STREET LEVEL USES

MARKET

PLAZA

OPEN TO EXHALL

LOBBY / REGISTRATION

OPEN TO EXHALL

PARKING LOBBY

PARKING ENTRY

PARKING

EMPLOYEE LOBBY

RETAIL

BAKERY

FLEX HALL

PARKING ENTRY

WALK-UPS

BOREN BEACON

The site plan illustrates the layout of the Olive Tower development. The central building is divided into several functional areas: a large blue 'FLEX HALL' on the right, a pink 'PARKING' area in the center, and yellow 'LOBBY / REGISTRATION' and 'OPEN TO EXHALL' spaces. Orange-colored sections include 'MARKET', 'BAKERY', 'WORKSHOPS', 'BORN BEACON', and 'WALK-UPS'. Surrounding the central building are smaller structures labeled 'STREET LEVEL USES', 'LOBBY', 'PARKING ENTRY', 'BAKERY', 'WORKSHOPS', 'BORN BEACON', and 'WALK-UPS'. The plan is bounded by Pine Street to the south, Olive Way to the north, and Terry Ave to the east. Other nearby streets include Howell St, 8th & Howell Hotel, Hill 7 Mixed Use, 1800 Terry Apartments, Regence Office Building, 924 Howell Apartment, Children's Hospital, Former Honda Dealer, Olivian, World Mark Camlin, Nine & Pine Apartments, Paramount Theater, Future Development, and I-5 (Below).

3 EDG 03 COMMENT RESPONSES - PINE STREET

COMMENT 9E - MATERIALITY

At the EDG#3, the Board agreed the plaza, tall overhang, roof terrace, and setback box-form above the CCX entrance, as shown on pg 38, create a respectful massing relationship with the Paramount, however at the next meeting the Board will scrutinize the materials and Flex Hall level functions that define this key public open space, at all vertical levels. In particular the Board will evaluate the dark cladding, large entry soffit, and portions that are transparent; whether the south facade is a balcony and/or interior lobby; and what functions will be visible behind this prominent window (the plans on pg 50/left indicate a stair and service wall). See 11i for comments on the plaza.

RESPONSE - The contextual relationships supported by the board have been strengthened through the refinement of this significant corner. The entry has shifted forward to create a stronger presence on the north edge of the plaza. The east edge of the plaza is bounded by a large vertical floor opening at the building face, along with adjustments in the vertical circulation that allow the public greater visual access deep into the activity of the facility on multiple levels. The clarity of the Flex Hall volume and its relationship to the market and plaza is better articulated, along with the material concepts and plaza refinements presented in this submittal.

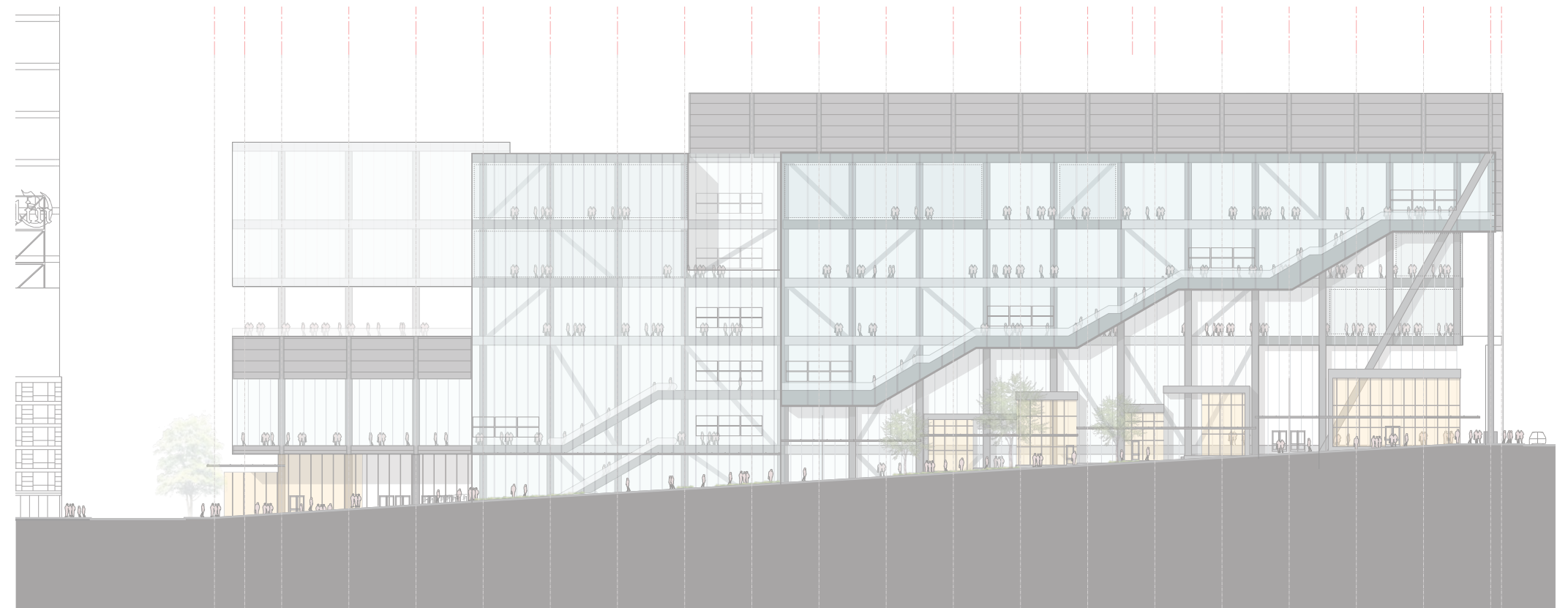
COMMENT 10A - MATERIALITY

At the EDG#3, the Board again applauded the large models and restated the Pine Street elevation is highly visible, but agreed that the projecting stair form is effective at breaking up the previous flatness, and becoming a memorable, 'signature' for the CCX. It should be treated as a distinct sculptural move, possibly by adding a unique texture to the stairs south glazing layer, and/or emphasizing a dramatic soffit color/material. The Board was not convinced that soffit should be mirrored, but agreed this southeast facing elevation should remain bright and well-lit on all evenings (not only during events)

RESPONSE - The projecting stair form creates a unique sculptural element along Pine Street. External supports create visual interest and texture, while adding further definition to its unique shape. Clear glass provides optimum visibility inside and out, emphasizing the cascading ribbon of circulation and seating terraces within. The soffit provides additional interest at street level below, animated with reflections of the city and illumination spilling out from the adjacent glazing.



EDG 3



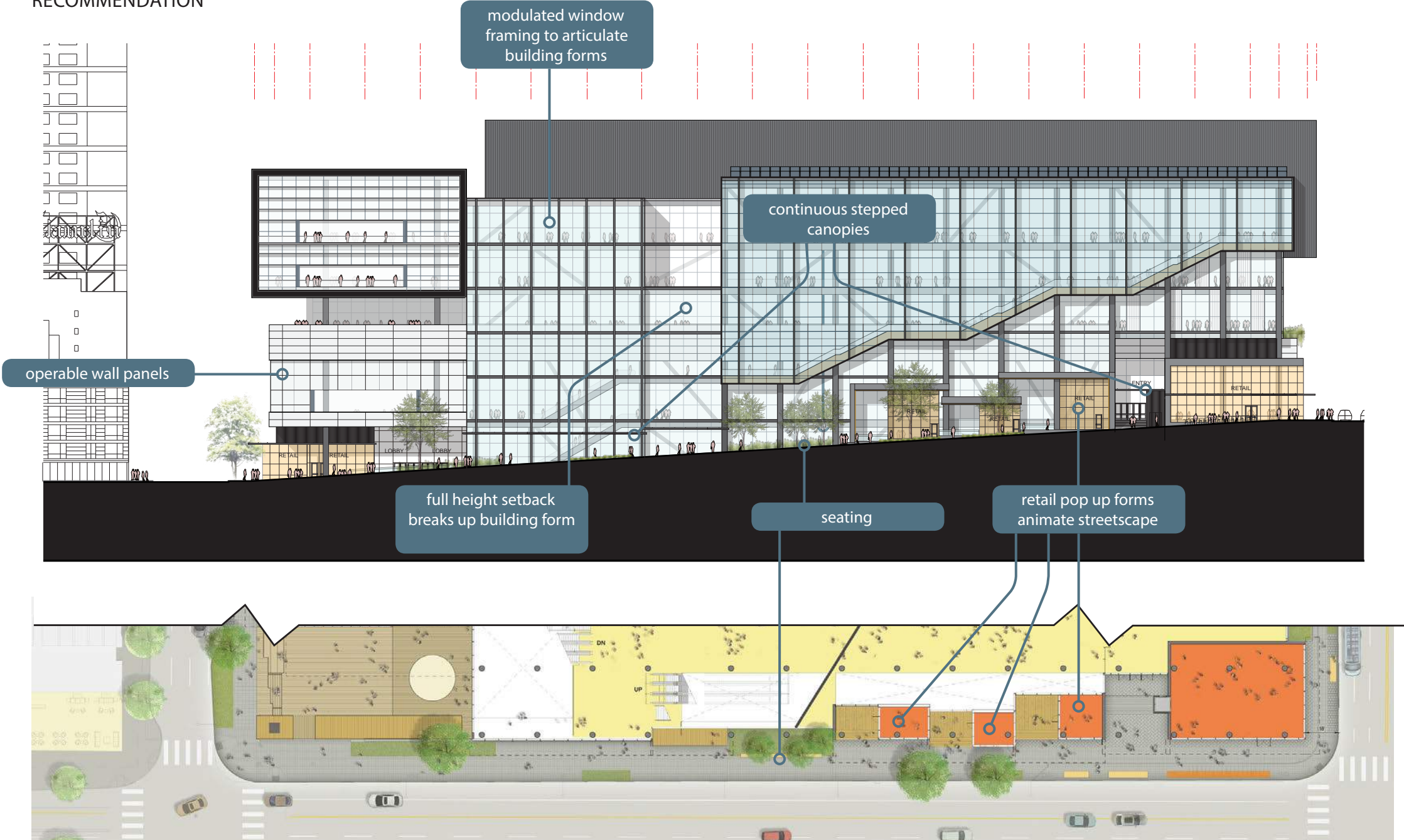
PINE ST ELEVATION



PINE ST PLAN

3 EDG 03 COMMENT RESPONSES - PINE STREET

RECOMMENDATION



3 EDG 03 COMMENT RESPONSES - PINE STREET

COMMENT 11B - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board strongly reiterated that it is critical to provide a strong and consistent pedestrian link between Capitol Hill and 9th by activating the street with a continuous edge of retail or other elements that provide pedestrian interest. The Board supported the building jogs and setbacks shown on pg 34 & 36, but was concerned about the approximately 130 ft long 'vacant space' between the west retail box and plaza on pg 36. The Board recommended the two-bay green recess remain, but incorporate seating that allows pedestrians to look down into the prefunction spaces, while retaining some green relief. The Board also recommended all four bays of glass adjacent to the escalators incorporate elements of scale and visual interest, possibly integrated with a kinetic interior artwork or other feature to stimulate pedestrians; the Board did not consider escalators to qualify for that, but the floating stair shown next to the windows is preferred to escalators.

RESPONSE - The west half of the Pine Street elevation has been further activated through the addition of a seating area extending the planting recess to the west. A large vertical floor opening at the building face exposes more of the drama and activity of the interior to the public. Additional planting has also been introduced along the south edge of the plaza extending past the building, providing a greater variety of textures and experience for pedestrians.

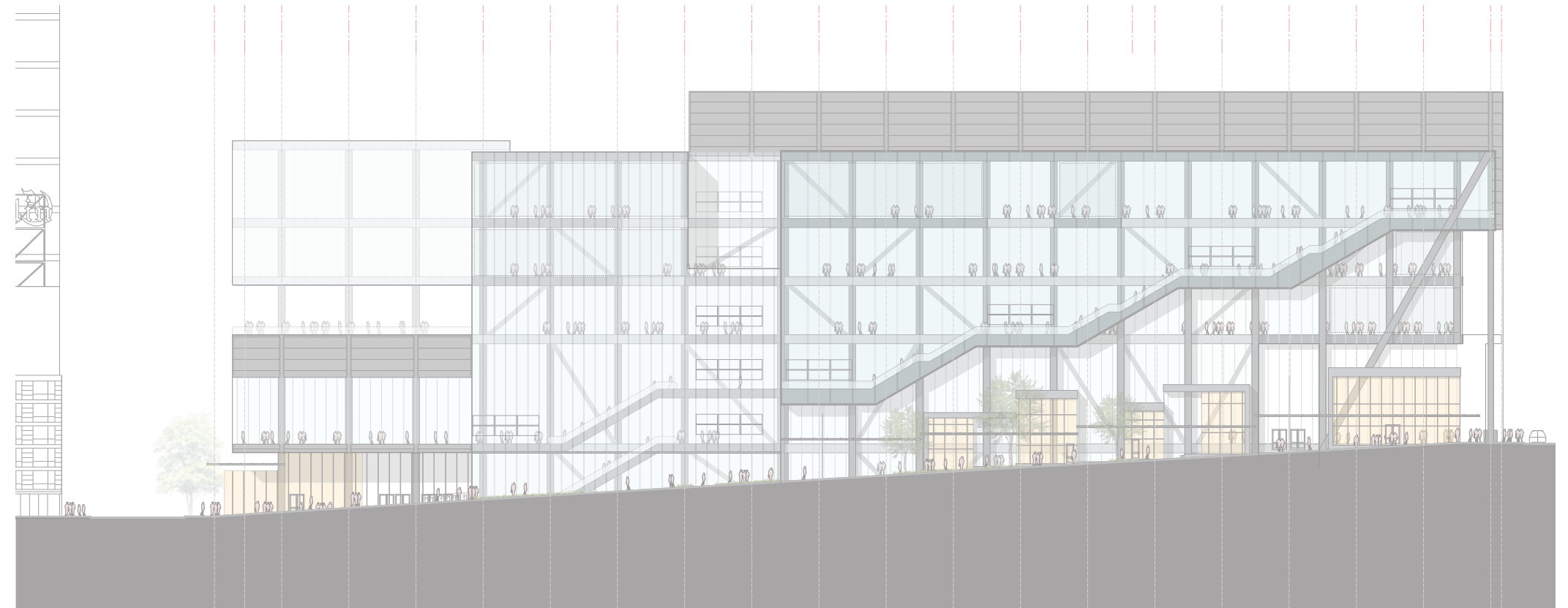
RECOMMENDATION 1 - MATERIALITY

Enlarged Lower Elevations/Plans: For all three blocks and all frontages, the MUP should include overall elevations (booklet pg 54-61) PLUS enlarged partial elevations of the lower 3-5 floors, registered to corresponding partial floor plans below of the perimeter uses, similar to booklet pages 30, 36, 42, 47. Include revised studies of the Pine Street portion per 11b, the stair materiality per 10a, the materiality of all the enclosure walls of the plaza per 9e, and the Boren walls per 10b.

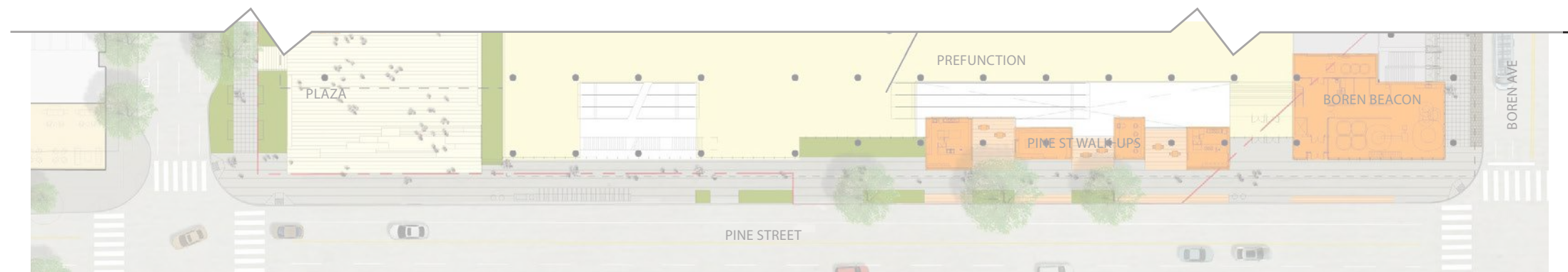
RESPONSE - The requested drawings can be found starting on pg 88.



EDG 3



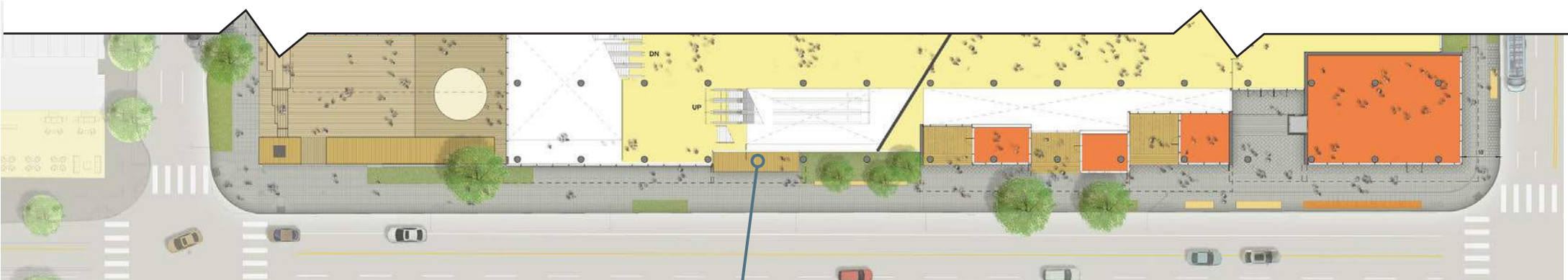
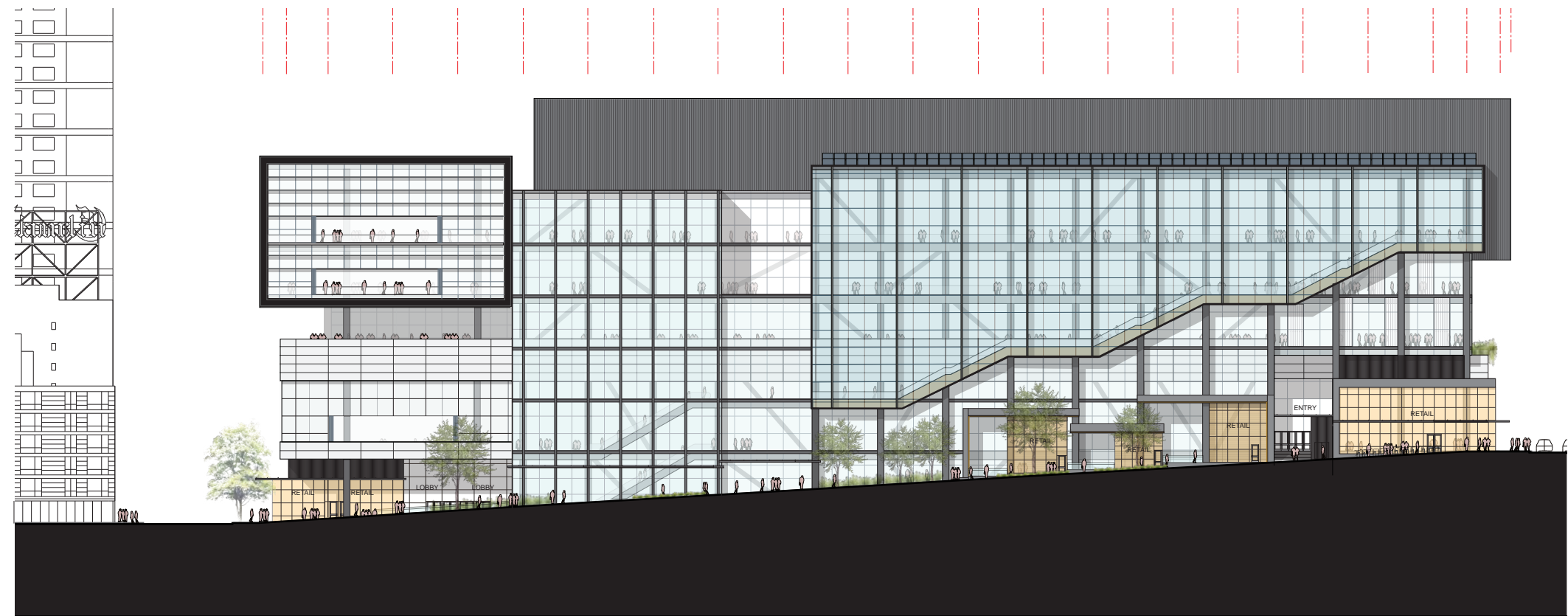
PINE ST ELEVATION



PINE ST PLAN

3 EDG 03 COMMENT RESPONSES - PINE STREET

RECOMMENDATION



SEATING AREA

3 EDG 03 COMMENT RESPONSES - 9TH AVENUE

COMMENT 11i - PLAZA/MARKET

At the EDG#3, the Board agreed the stairs leading up to the plaza from 9th were too narrow, and the wide, long berm actually creates a barrier (see pg 43/left). The Board recommended widening the stairs, similar to those along Pine, incorporating smaller planters to maintain some Green Street character, and easing back the planter and bench at the corner to accommodate diagonal pedestrian desire lines from the busy crosswalks to the primary CCX entrance doors. The Board supported the new gradual, mid-block stairs on 9th up to the mixing zone, and encouraged them to be less abrupt at the sidewalk transition; the adjacent public elevator would be less obstructive if a glass enclosure.

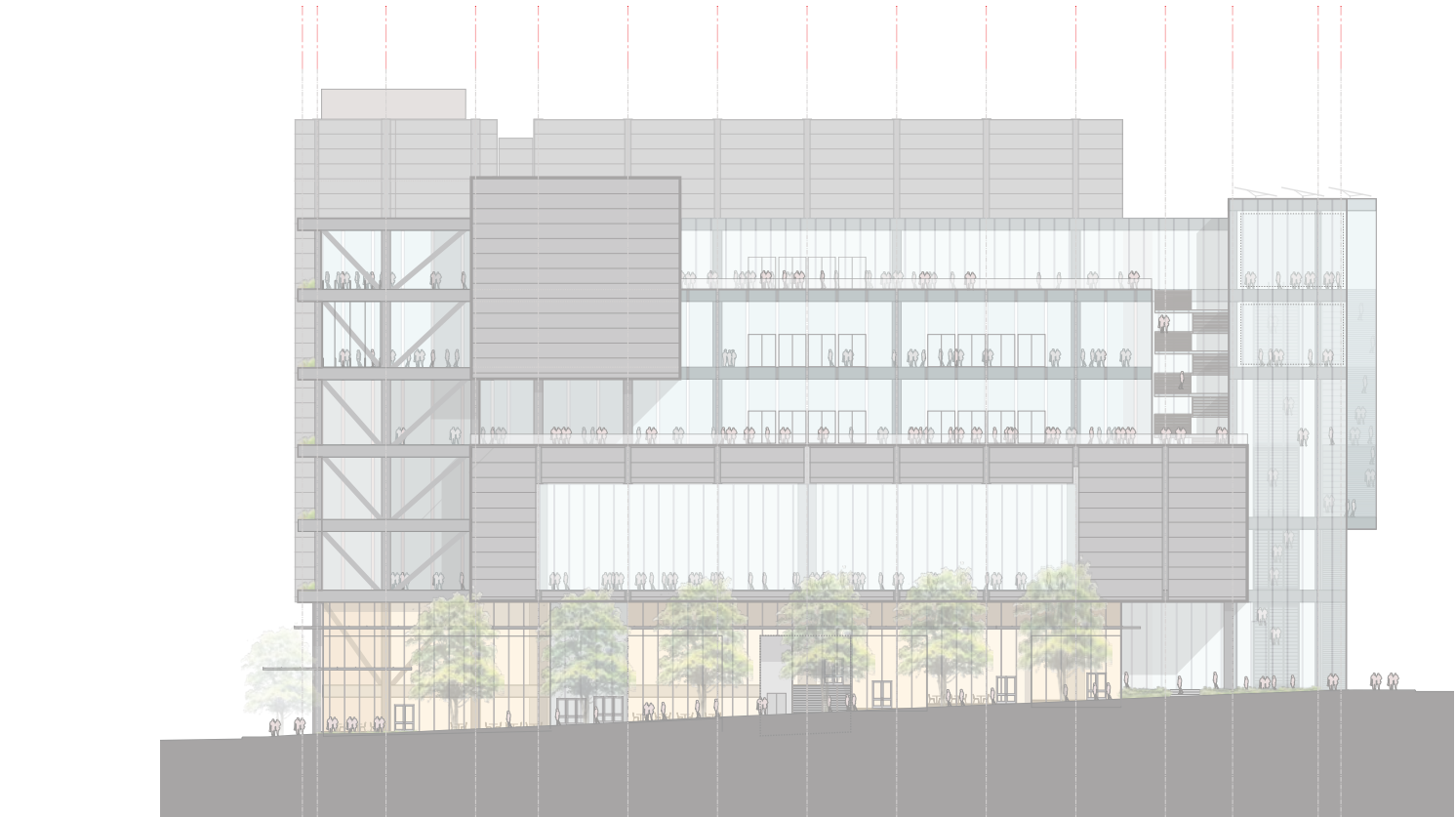
RESPONSE - The plaza design has been developed to provide a more generous entry along 9th Avenue, using planted areas and seating opportunities to mitigate the difference in grade from Pine Street to 9th Avenue. The market is now entered directly from the sidewalk, with the stairs and elevator internal to the market circulation, providing better connection and pedestrian circulation between the difference in grade.

DEPARTURE COMMENT - SETBACKS

The Board indicated receptivity to these two signature elements not setback the full 15 ft, as long as they not exceed the proposed elevation area and retain the relative transparency shown on pg 46. The adjacent extra-deep setbacks are also critical to making these two exceptions appear less intrusive to the Green Street. (A1, B2, B4)

RESPONSE - The signature meeting room and Flex Hall volumes are two elements in the collective collage of building forms that create the articulated composition, providing a dynamic variety of experiences of the facility at changing vantage points. Both elements read as containers that are punctuated by and surrounded with large expanses of glazing. The Flex Hall volume has a significant role as the only element that is legible on all frontages, providing an important thread that weaves the separate parts together. Its proximity to grade provides the unique opportunity for the surface qualities of this element to interact with the context in a way that animates the building at the pedestrian level.

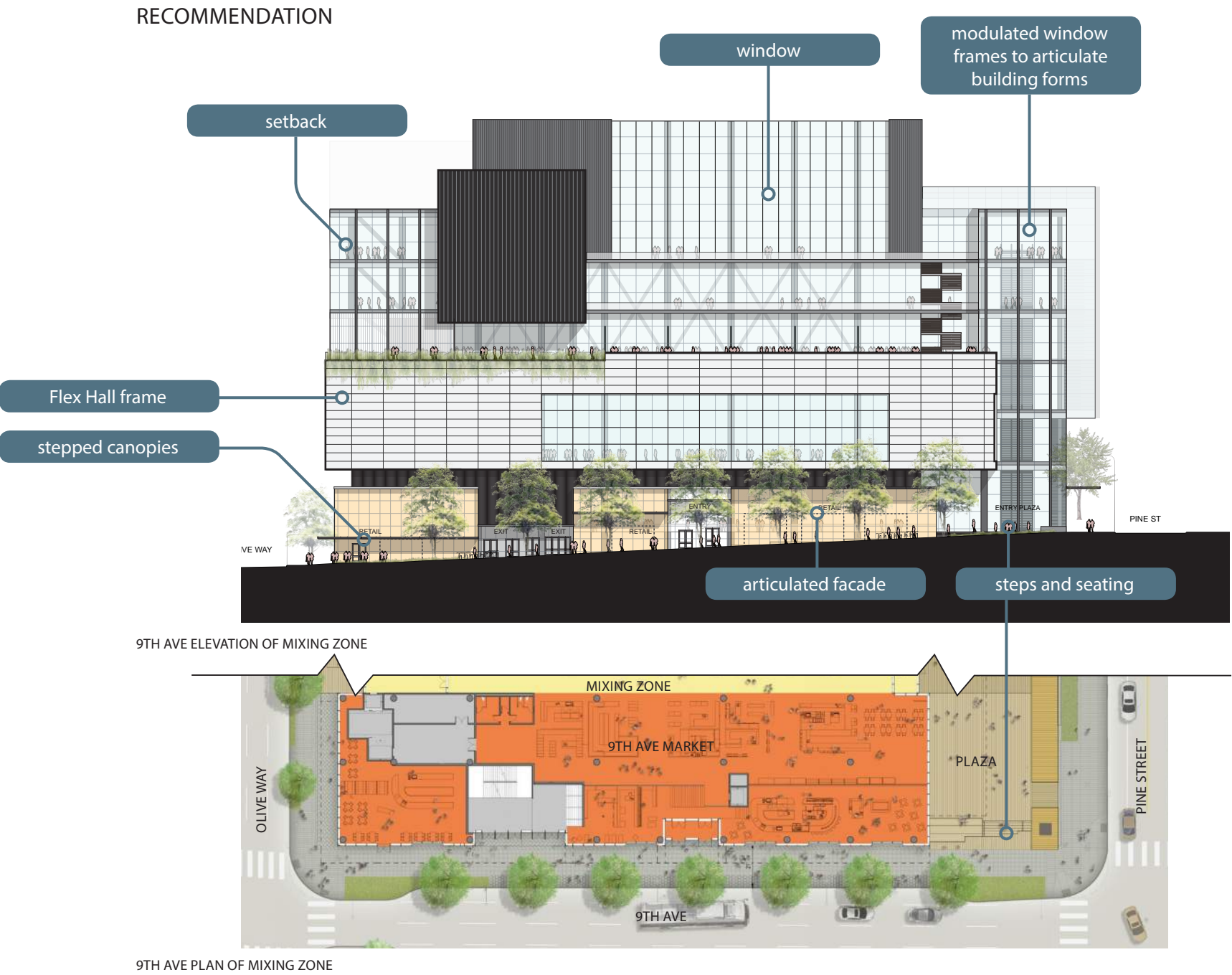
EDG 3



9TH AVE PLAN OF MIXING ZONE



3 EDG 03 COMMENT RESPONSES - 9TH AVENUE



3 EDG 03 COMMENT RESPONSES - OLIVE WAY

COMMENT 9B - FACADE/TERRY AVE. TERMINUS

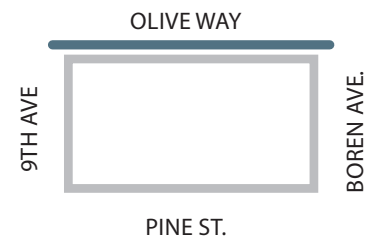
At the EDG#3, the Board appreciated the multiple perspective views provided, but recommended additional views along Terry Avenue looking toward the Olive facade that is the Terry Green Street terminus, developing an intentional and scaled elevation response to that terminus condition, and showing the pedestrian edges of Terry Avenue and the adjacent building ground floors in detail. Fully conveying all three facades holistically may require 2-3 perspectives.

RESPONSE - The Olive Way elevation has been revised to create a more expressively scaled facade with the surrounding context. The intersection of Terry Avenue at the mid-block is highlighted though a vertical setback in the building mass and an overlay of a finer scaled garden structure. This provides depth, texture, and richness appropriate to receive the Green Street character, transitioning west to link back to 9th Avenue. The co-development towers that define Terry Avenue on the east and west will be presented at a subsequent meeting.

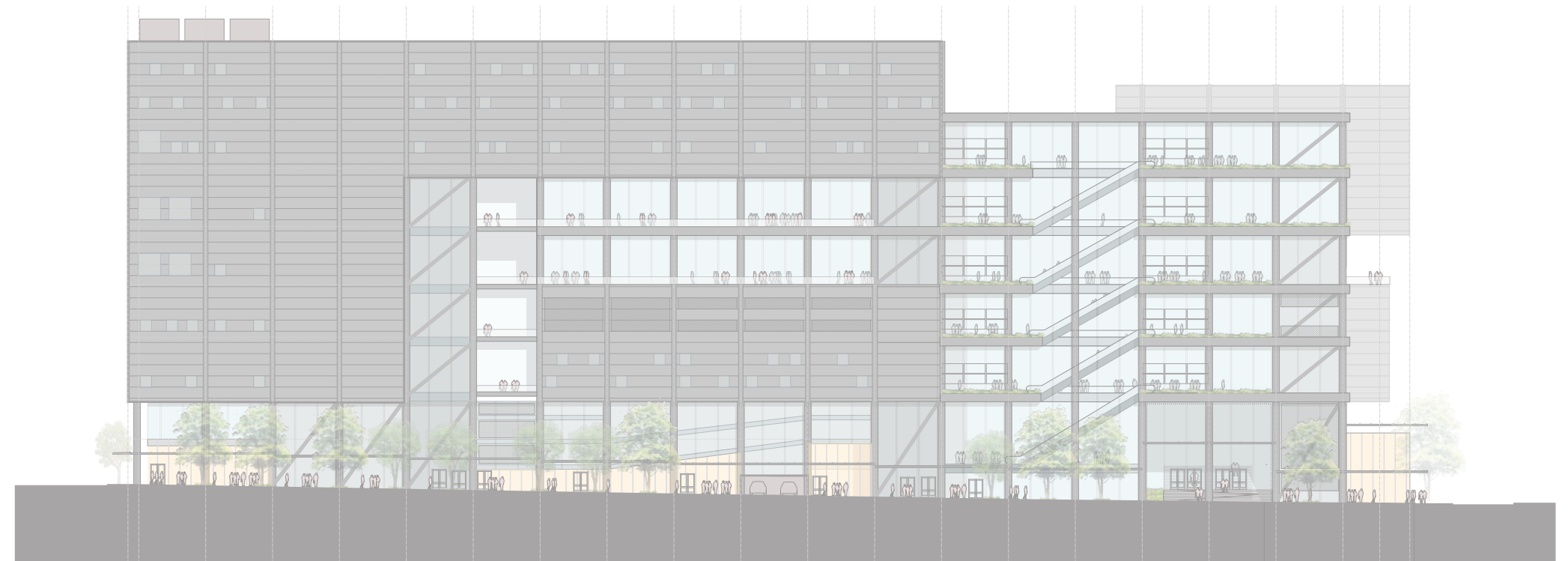
COMMENT 11B - FACADE/TERRY AVE. TERMINUS

The Board agreed the parking portal on Olive, shown at the Terry axis on pg 16, appears overly prominent because the rest of that terminus elevation is not a deliberate composition, responding to the visual axis of the Green Street. If this portal is not shifted off axis, the Board recommended further elevation studies and an intentional composition, confirmed by perspectives noted under 9b.

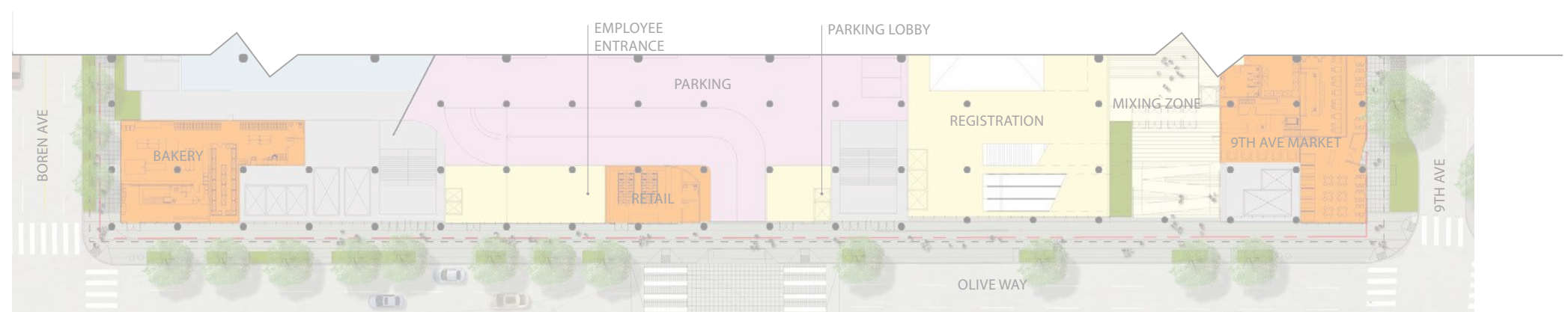
RESPONSE - The Olive Way elevation at the end of Terry Avenue is composed of several textural layers that provide shifting depth, texture, and variety marking a vertical zone at the end of the Green Street. The garage portal has shifted slightly off axis to the east, while maintaining its connection to the signaled intersection.



EDG 3

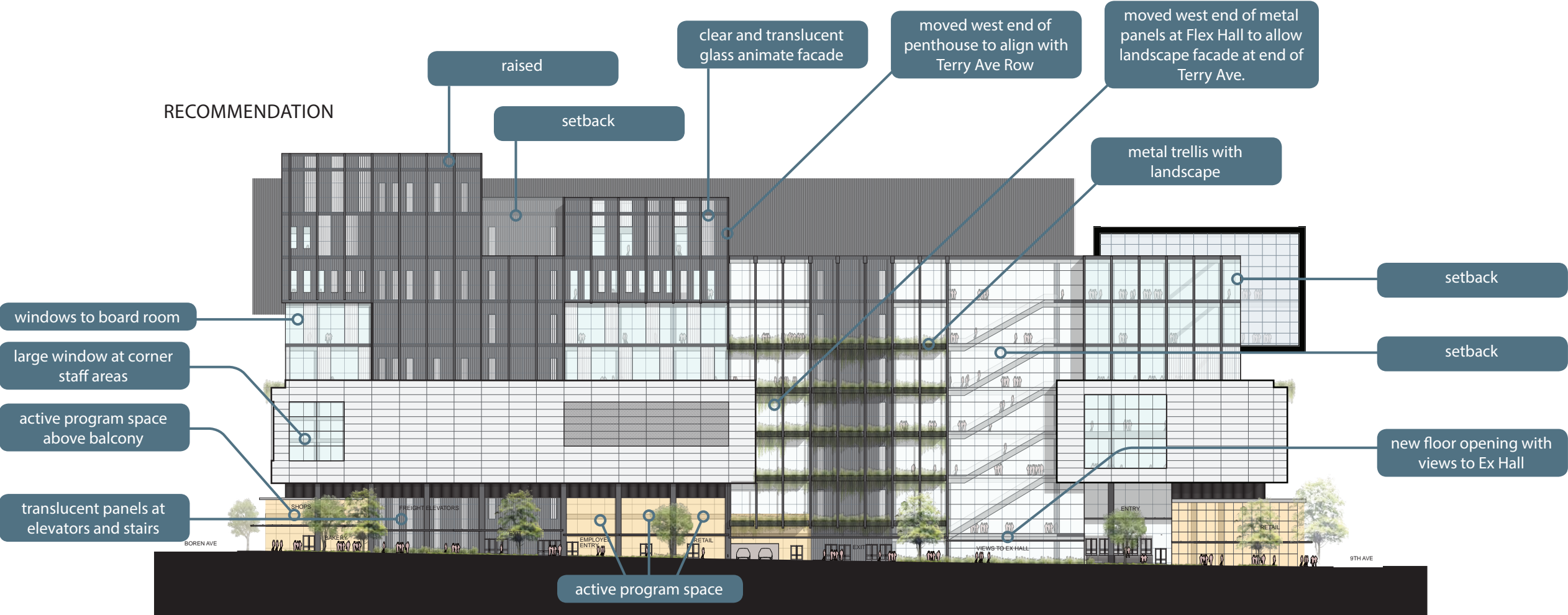


OLIVE WAY ELEVATION



OLIVE WAY PLAN

3 EDG 03 COMMENT RESPONSES - OLIVE WAY



3 EDG 03 COMMENT RESPONSES - OLIVE WAY

COMMENT 11D - FACADE

At the EDG#3, the Board strongly supported the added mid-block retail along Olive Way, and the highly transparent treatment of the nearby employee entrance and parking lobby (see pg 44). The Board did not support exposing the parking floors to the Olive facade, but was enthusiastic about translucent glass at the exit stair towers, and especially at the northwest and larger northeast elevators, showing the movement behind. The Board agreed the Olive stair/ramp into the 'mixing zone' is a crucial activator, and widening/deflecting the east edge of the opening toward the Terry axis should be studied (see diagram pg 48, lower left).

RESPONSE - The parking ramps have been revised so they are no longer perceived on the building exterior. The retail and lobby activation is enhanced by the addition of large vertical openings at the building face adjacent to the entry that provide views deep into the activity of the facility on multiple levels. Additional planting areas along the building frontage at grade create variety at street level and anchor the garden concept at pedestrian level. The entry along Olive Way is better activated with retail fronting the corner on both sides, the service elevators relocated away from the facade.

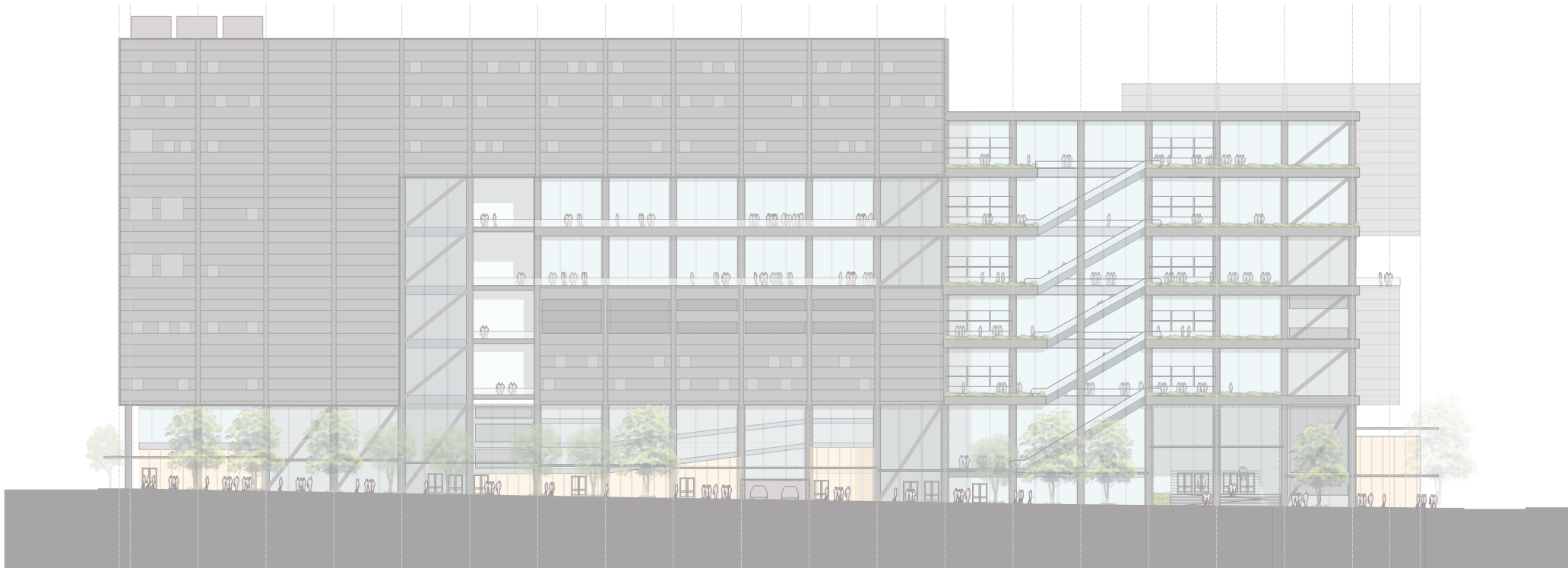
RECOMMENDATION 3 - FACADE

Olive Avenue CCX Elevation Revisions: Conceal parking ramps and develop translucent glass portions at elevators. Consistent with the Departure #1 comments, revise the parapet and wall modulation of the large, flat eastern half of the Olive elevation. Study widening the stair/ramp at the north end of the 'mixing zone'.

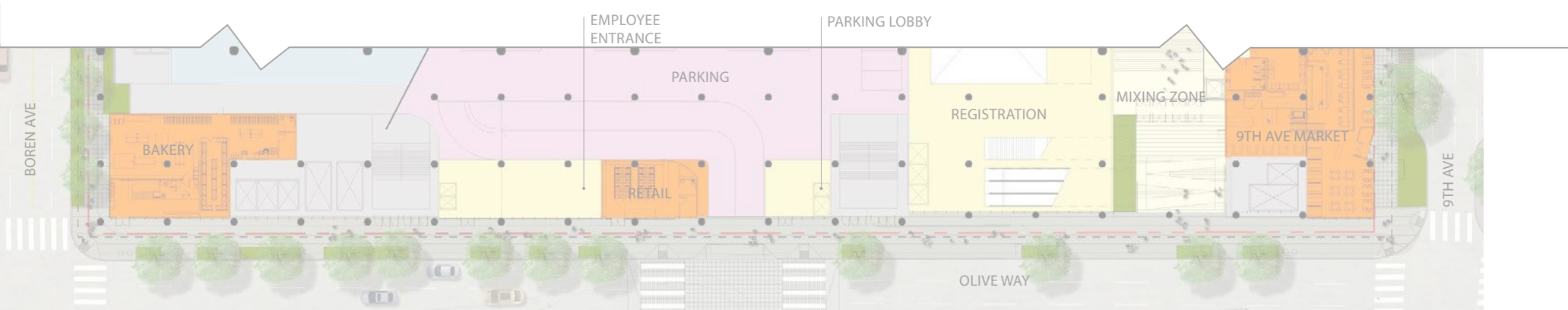
RESPONSE - The parking ramps have been revised so they are no longer perceived on the building exterior. The west freight elevators have been relocated away from the facade. The east half of the Olive Way elevation has been recomposed to provide clarity of building elements and introduce more texture and variation with solid and translucent panels following the service elevators and egress stairs vertically down to grade. The Olive Way entrance has expanded visual connection from Terry Avenue with a large vertical opening at the building face strengthening views into and through the building.



EDG 3



OLIVE WAY ELEVATION



OLIVE WAY PLAN

3 EDG 03 COMMENT RESPONSES - OLIVE WAY

RECOMMENDATION



OLIVE WAY ELEVATION

PARKING SEPARATED



OLIVE WAY PLAN

3 EDG 03 COMMENT RESPONSES - OLIVE WAY

RECOMMENDATION 4 - FACADE/TERRY AVE. TERMINUS
Terry Avenue Perspectives: Additional views along Terry Avenue looking toward the Olive facade that is the Terry Green Street terminus, developing an intentional and scaled elevation response to that terminus condition, and showing the pedestrian edges of Terry Avenue and the adjacent building ground floors in detail. Diminish the loading doors on block B and wrap the presence of the Olive lobby around the southeast corner.

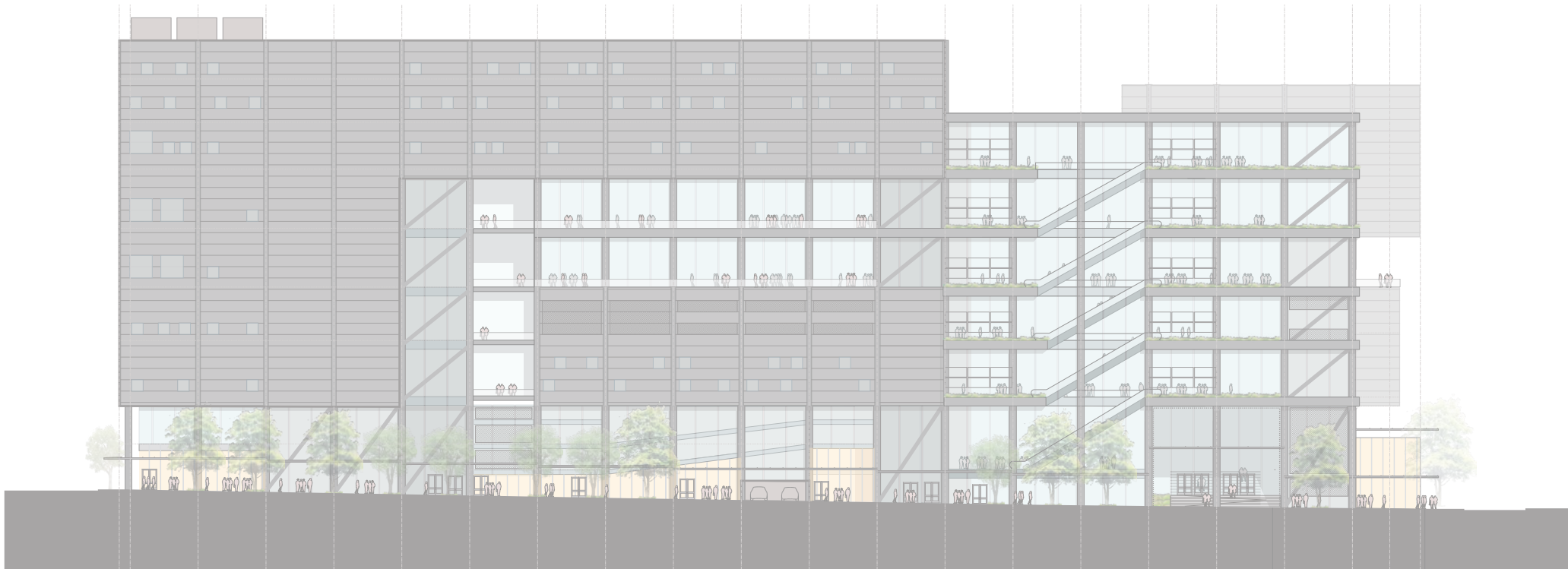
RESPONSE - The Olive Way elevation has been revised to create a more expressively scaled facade with the surrounding context. The intersection of Terry Avenue at the mid-block is highlighted though a vertical setback in the building mass and an overlay of finer scaled garden structure. This provides depth, texture, and richness appropriate to receive the Green Street character, transitioning west to link back to 9th Avenue. The Co-Development towers that defines Terry Avenue on the east and west will be presented at a subsequent meeting.

DEPARTURE COMMENT - MODULATION
The Board indicated receptivity for the reduced modulation depth of 6 feet, especially since it pertains to about one third of the facade above 85 ft, but was concerned the east parapet was three times longer than code allows. The Board recommended a complete and legible break in parapet and the massing at about the 150 ft point from Boren, which appears to correspond with a stack of exterior balconies on levels 3–6 (pg 44) and which the Board encouraged continuing up to the parapet. (A2; B2; B4)

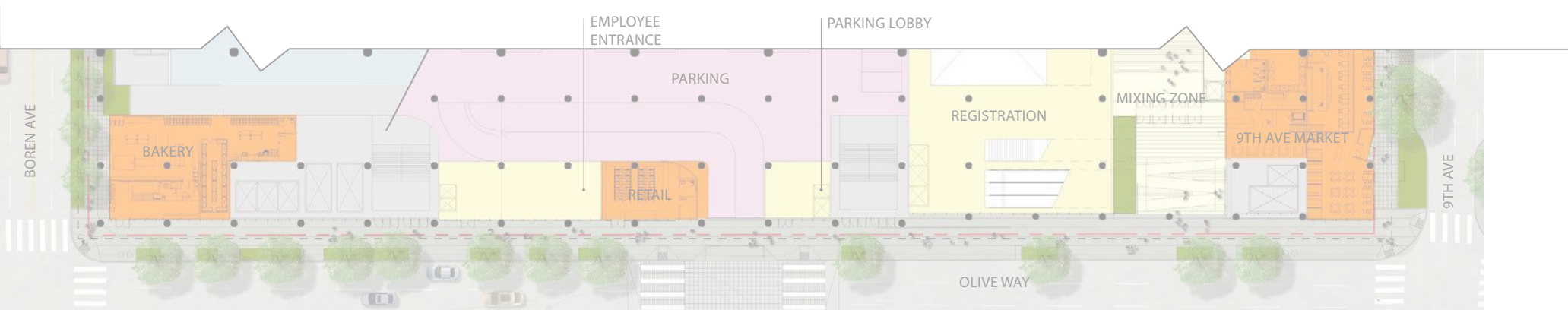
RESPONSE - The parapet along Olive Way has been revised to provide more variety of articulation, vertically and horizontally, breaking the overall length into shorter stepped segments that respond to the urban context. The resulting composition expresses the collage of program elements more clearly on the Olive Way facade, breaking down the mass into smaller legible pieces.



EDG 3

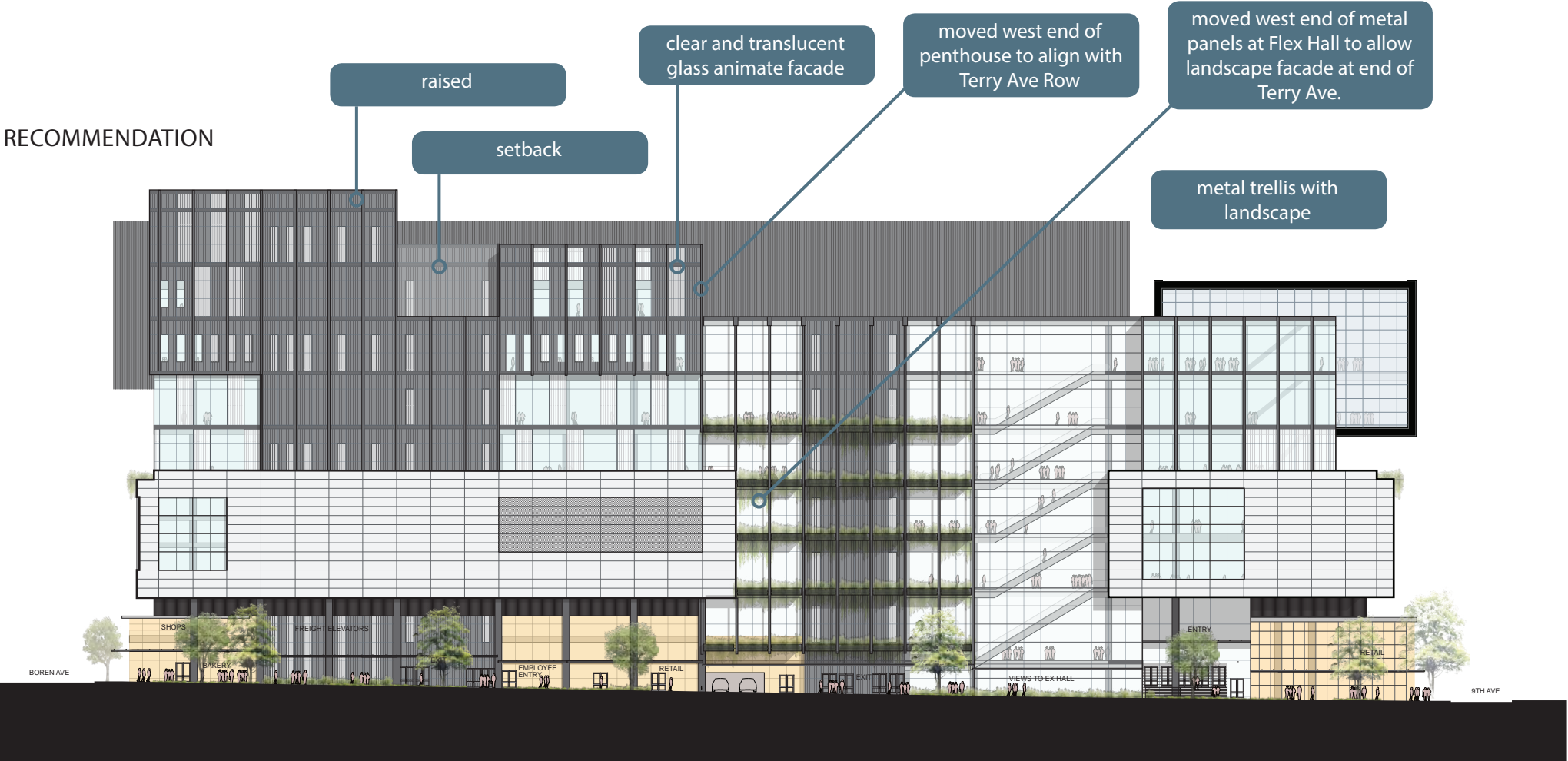


OLIVE WAY ELEVATION



OLIVE WAY PLAN

3 EDG 03 COMMENT RESPONSES - OLIVE WAY



OLIVE WAY ELEVATION



OLIVE WAY PLAN

3 EDG 03 COMMENT RESPONSES - BOREN AVENUE

COMMENT 9A - FACADE

The Board agreed the building facade along Boren needs to be more visually compelling, at both the pedestrian levels and the middle zones which are seen from multiple vantage points. The full width green wall shown was not supported, and a greater use of vertical and horizontal compositional elements was recommended at both scales on this highly visible elevation.

RESPONSE - The overall composition of the Boren Avenue facade has developed to include significant amounts of glazing, and a greater variety of layered and articulated forms at different scales. The building edge has been further setback to create a more generous pedestrian and landscaped zone at grade. The green wall concept has been replaced with a large window into the Flex Hall that provides unique views of activity at different elevations.

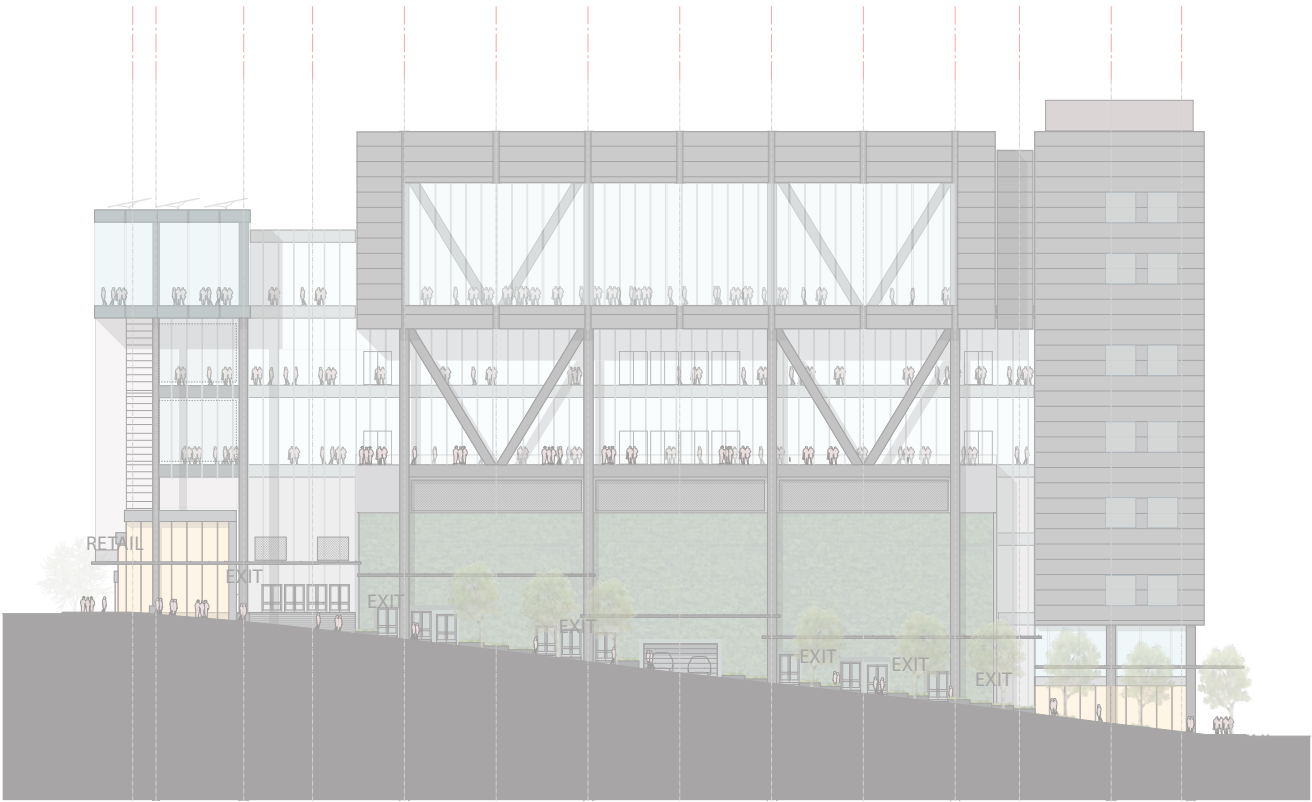
COMMENT 9F - FACADE

At the EDG#3, the Board agreed the east retail corners are larger, have adequate transparency and porosity, and show taller, glass proportions to the overall mass; further increases of these attributes are welcome, as the pg 32 perspective demonstrates. Setbacks or notches at the two busy Boren sidewalk corners may still be warranted (pg 30), and the ‘bakery’ entry doors should shift a bit west off the busy corner. The Board strongly supported the large floor area, and taller, transparent northwest corner retail as shown on pg 42 and 46.

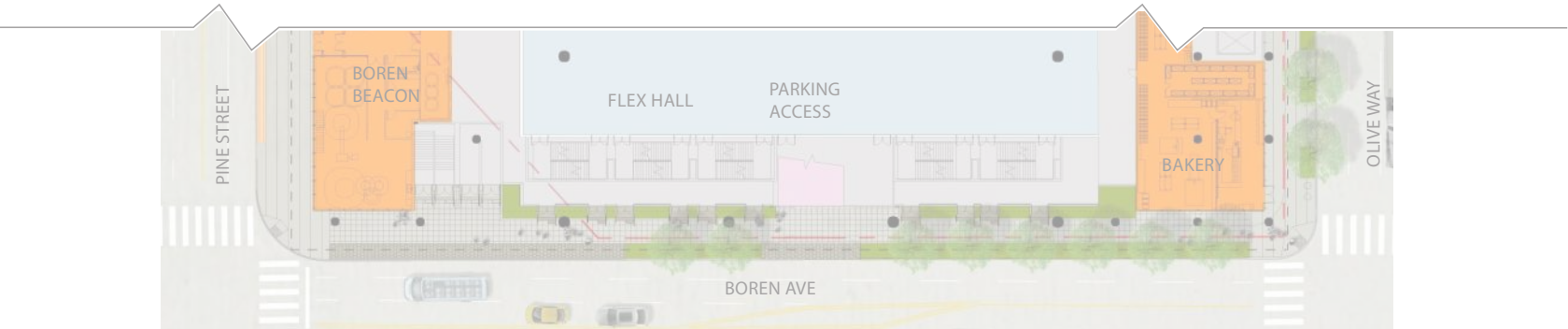
RESPONSE - The project has continued to find opportunities to strengthen the presence and scale of retail with a focus on the corners. The retail at the corners of Boren Avenue have a greater visual presence both vertically and horizontally. In addition, other maker/shop spaces within the convention center program have a presence on the facade with large punched openings providing views into the activity within. The bakery doors have been shifted further from the corner.



EDG 3



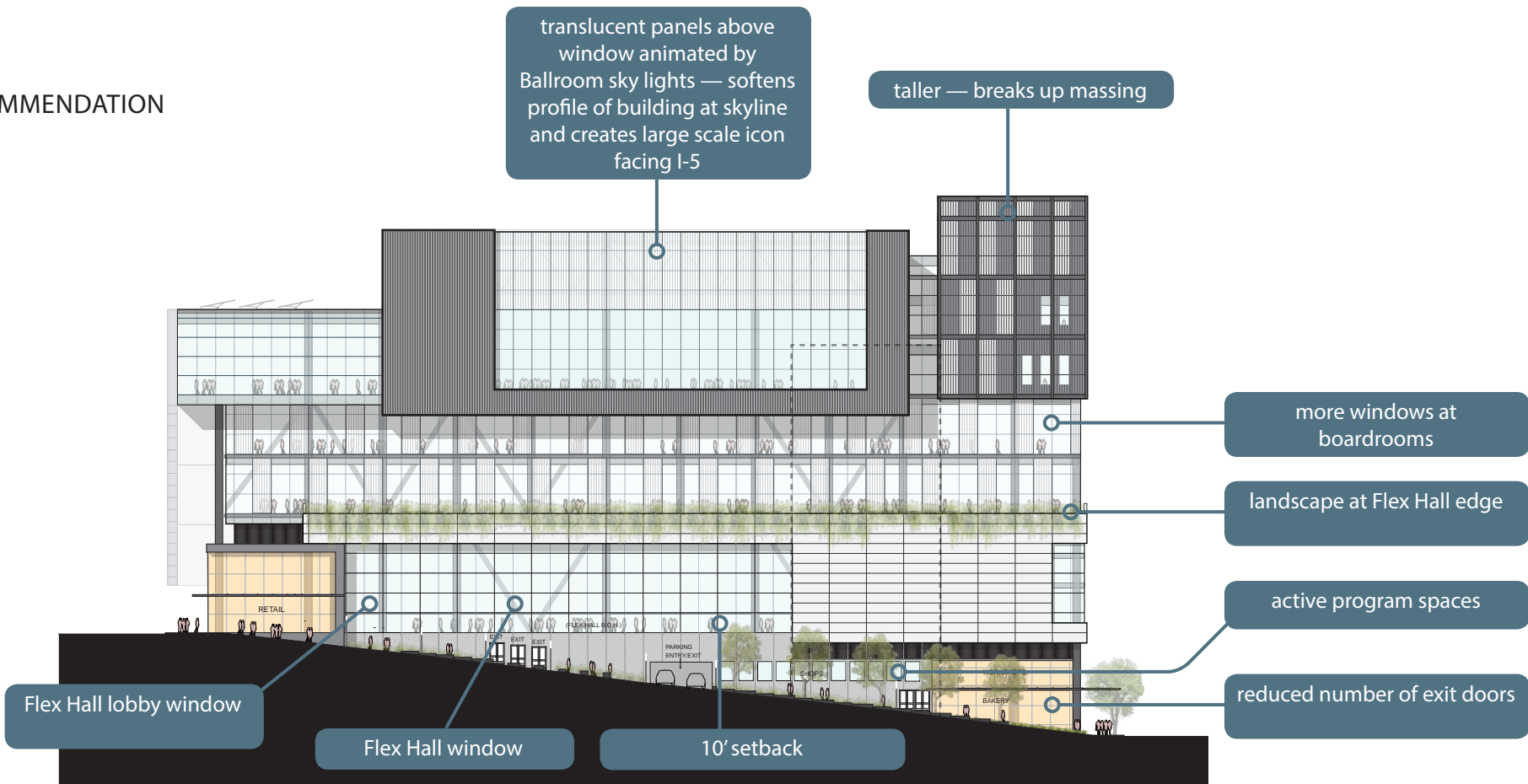
ENLARGED BOREN AVE ELEVATION



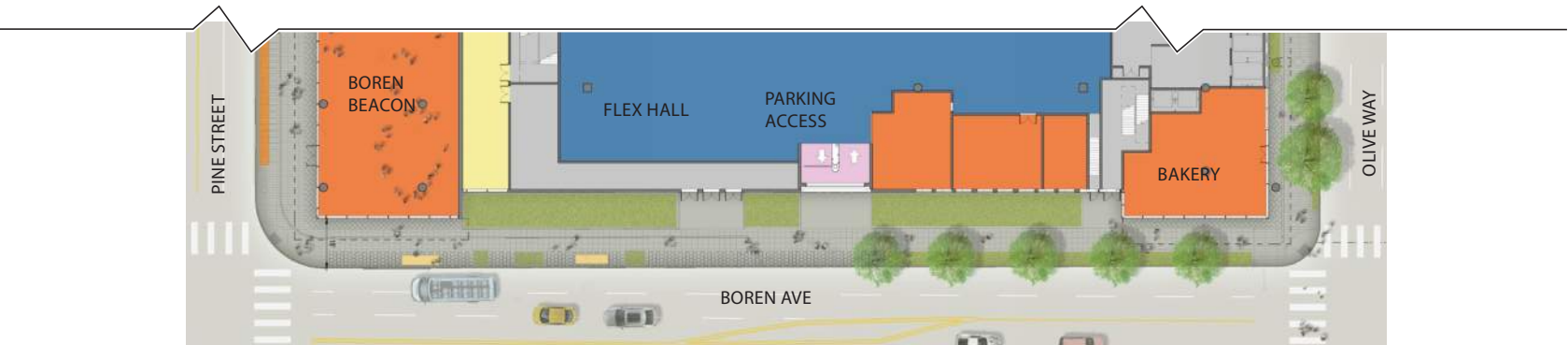
ENLARGED BOREN AVE PLAN

3 EDG 03 COMMENT RESPONSES - BOREN AVENUE

RECOMMENDATION



ENLARGED BOREN AVE ELEVATION



ENLARGED BOREN AVE PLAN

3 EDG 03 COMMENT RESPONSES - BOREN AVENUE

COMMENT 10B - FACADE

At the EDG#3, the Board supported the Boren corner configurations, ground level modulations, layering and voluntary setbacks as shown on plan pg 30. However, the middle green wall facade garnered much Board concern: smaller extents of green wall may be successful, but the entire wall needs to be visually compelling with distinct horizontal and vertical composition and material variation (possibly mixing the three options shown on pg 29 rather than all one), especially at lower levels. Shaped, textured forms or truly sound attenuating materials should be integrated into most of this facade to mitigate the freeway noise.

RESPONSE - The overall composition of the Boren Avenue facade has developed to include significant amounts of glazing, and a greater variety of layered and articulated forms at different scales. The building edge has been further setback to create a more generous pedestrian and landscaped zone at grade. The green wall concept has been replaced with a large window into the Flex Hall that provides unique views of activity at different elevations.

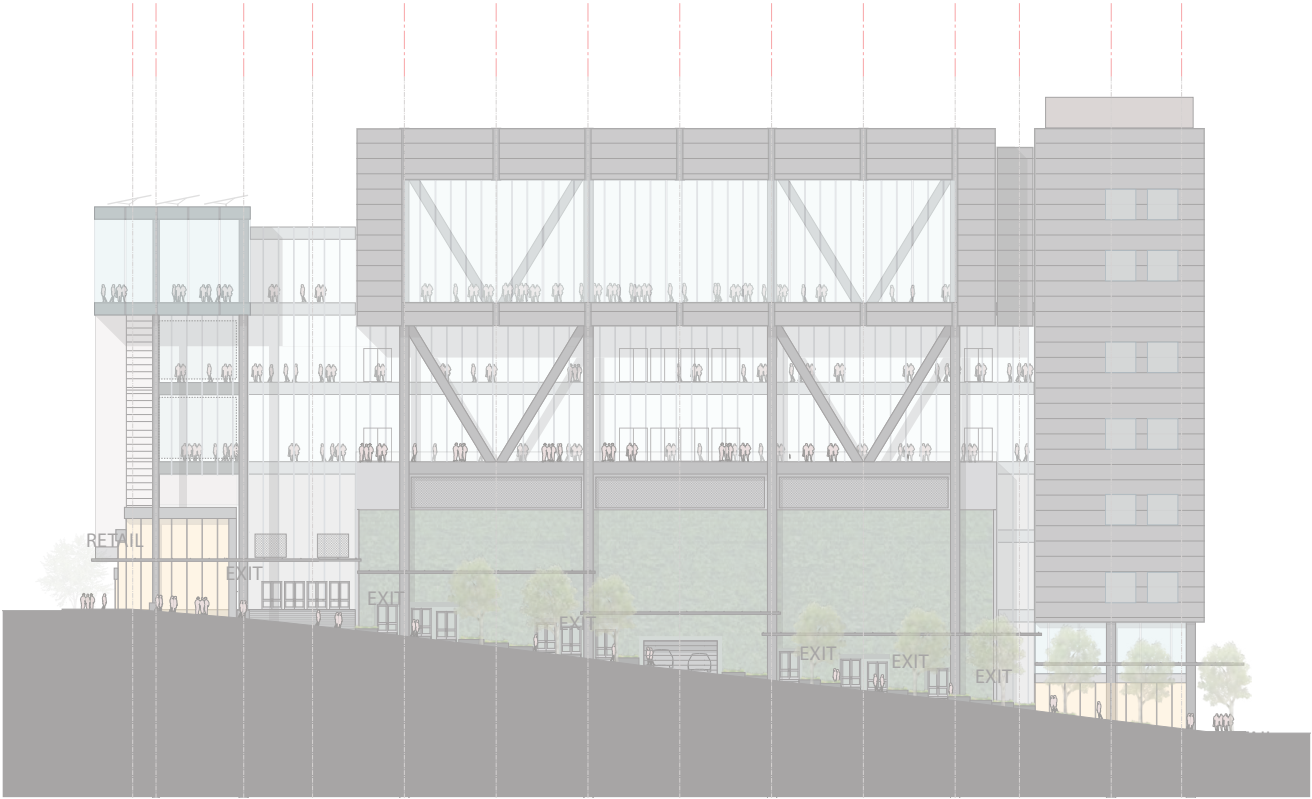
DEPARTURE COMMENT - FACADE

The Board indicated receptivity for this composition, the 207 long parapet (vs 125ft code maximum), and the three discreet volumes, as long as the area of 15 ft depth is not reduced, and the two 15 ft deep reveals are no less than 46 ft wide total, and more is preferred. (A2; B2; B4).

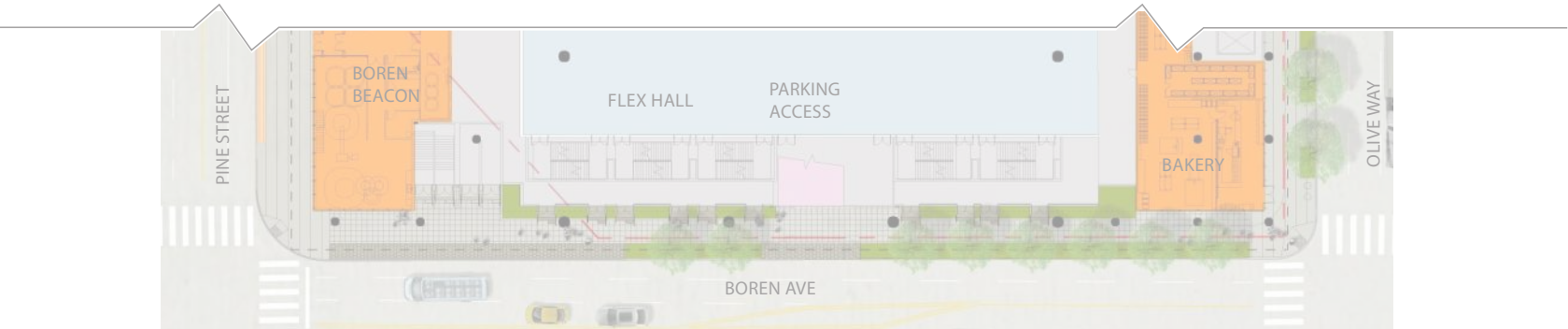
RESPONSE - The upper level composition along Boren Avenue has been further refined to create more variety of parapet heights and distinct variety of forms, providing a greater degree of visual interest and visibility into the activity of the building.



EDG 3



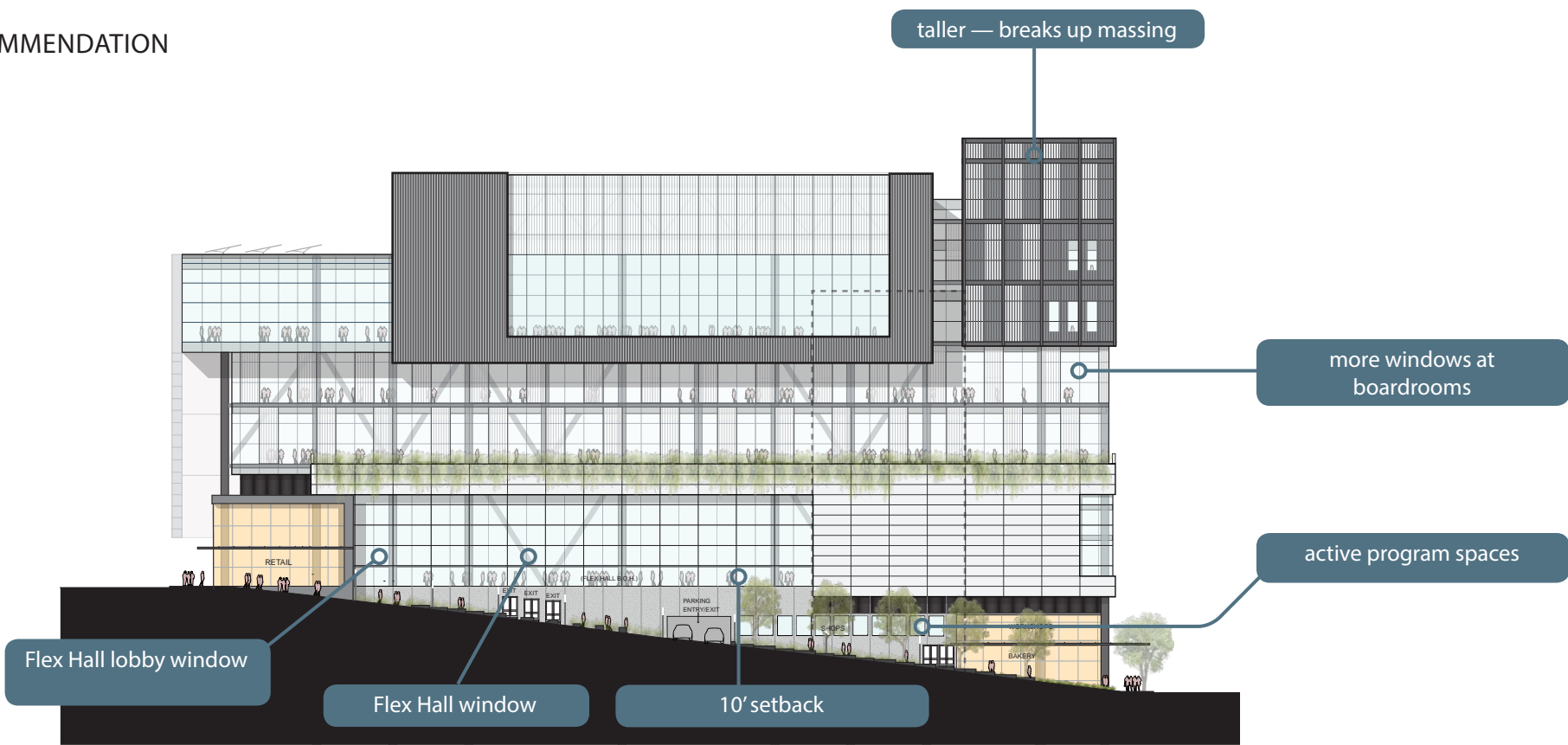
ENLARGED BOREN AVE ELEVATION



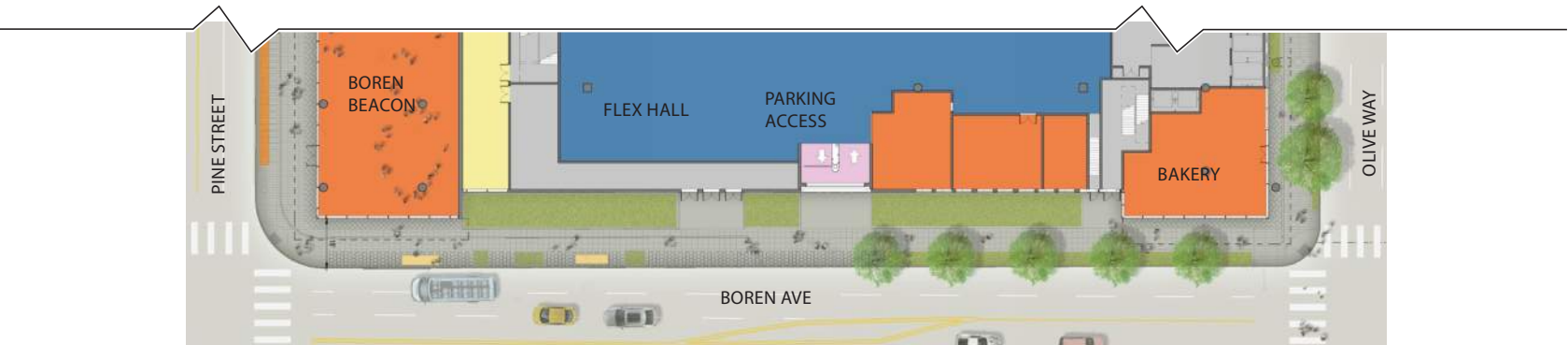
ENLARGED BOREN AVE PLAN

3 EDG 03 COMMENT RESPONSES - BOREN AVENUE

RECOMMENDATION



ENLARGED BOREN AVE ELEVATION



ENLARGED BOREN AVE PLAN

3 EDG 03 COMMENT RESPONSES - BOREN AVENUE

COMMENT 11C - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board re-affirmed that Boren Avenue is an important pedestrian link, however the current design shown on pg 30 - especially below the meeting level balcony - is not supporting pedestrians or the mid-range visibility across the freeway (pg 32/33). Some elements are promising: the retail corners, adjacent deep reveals, the stepped low planting walls.

RESPONSE - Along with other facade developments, the balcony has been reconsidered to provide a place for planting on the upper meeting room levels in lieu of a terrace.

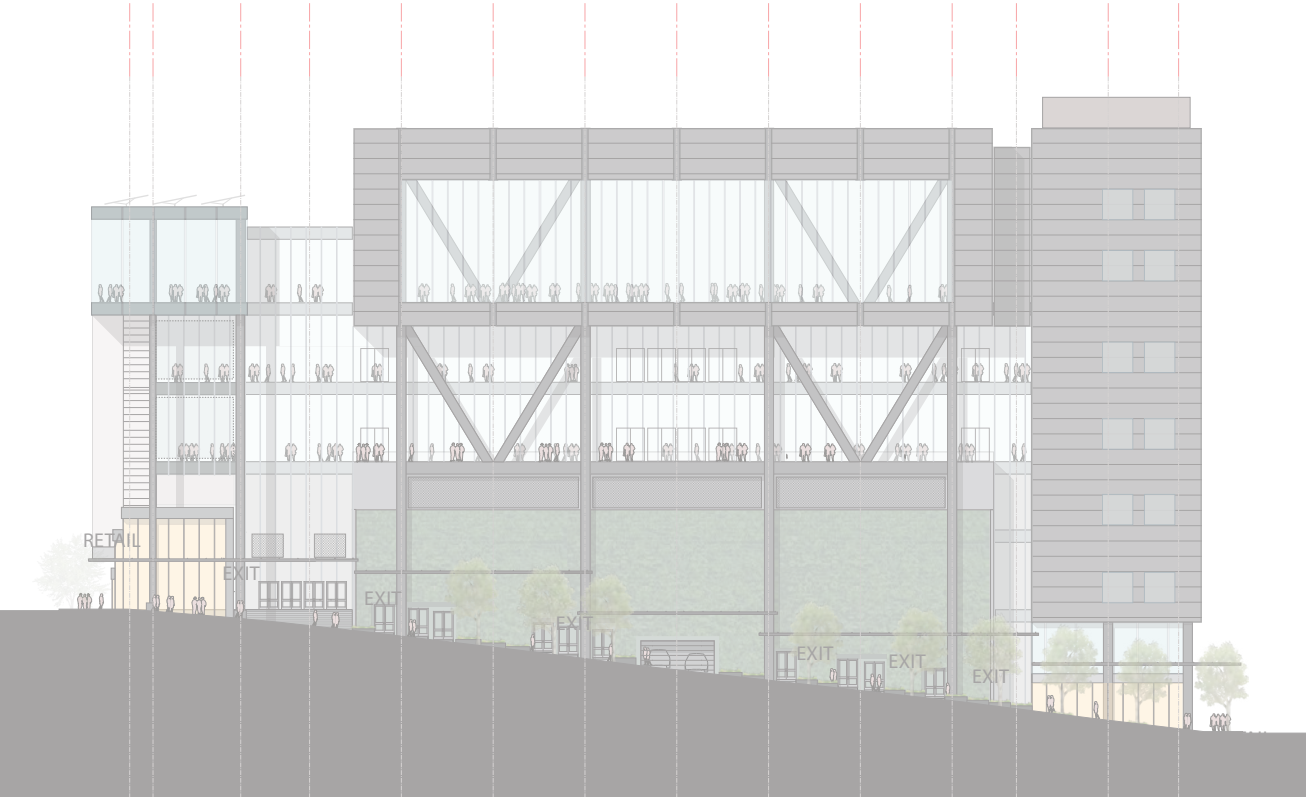
COMMENT 11C - PEDESTRIAN EXPERIENCE

The singular treatment of the central “large” scale green wall was not supported. The Board recommended the multiple exit doors be ‘hidden’ but other material, visual and compositional interest –rather than continuous greenery - occupy all the wall surface below the canopy levels. See 10 b for more comments on this wall above ground level.

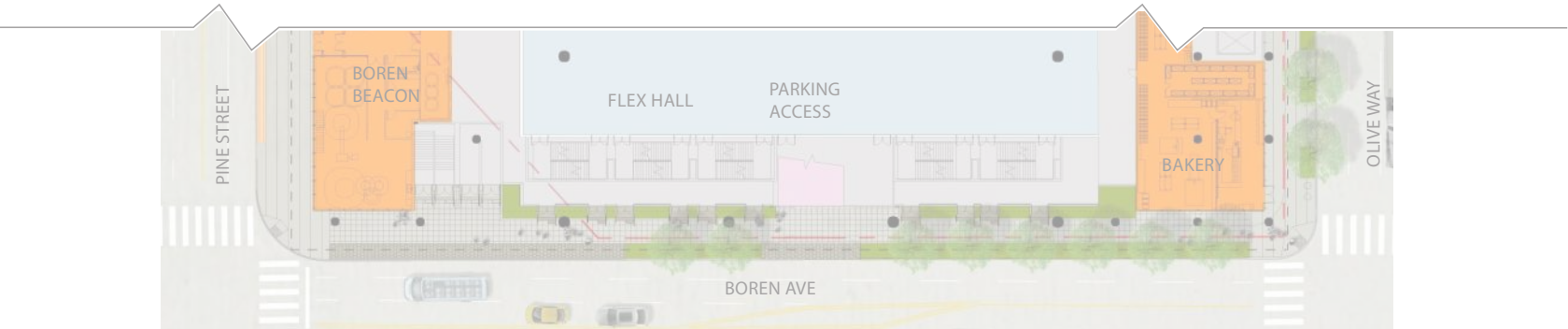
RESPONSE - The egress along Boren Avenue has been reconfigured to substantially reduce the amount and frequency of exit doors. As a result, the introduction of maker/shop spaces within the convention center program have a presence on the facade with large punched openings providing views into the activity within. In addition, the building edge has been further setback to create a more generous pedestrian and landscaped zones at grade.



EDG 3



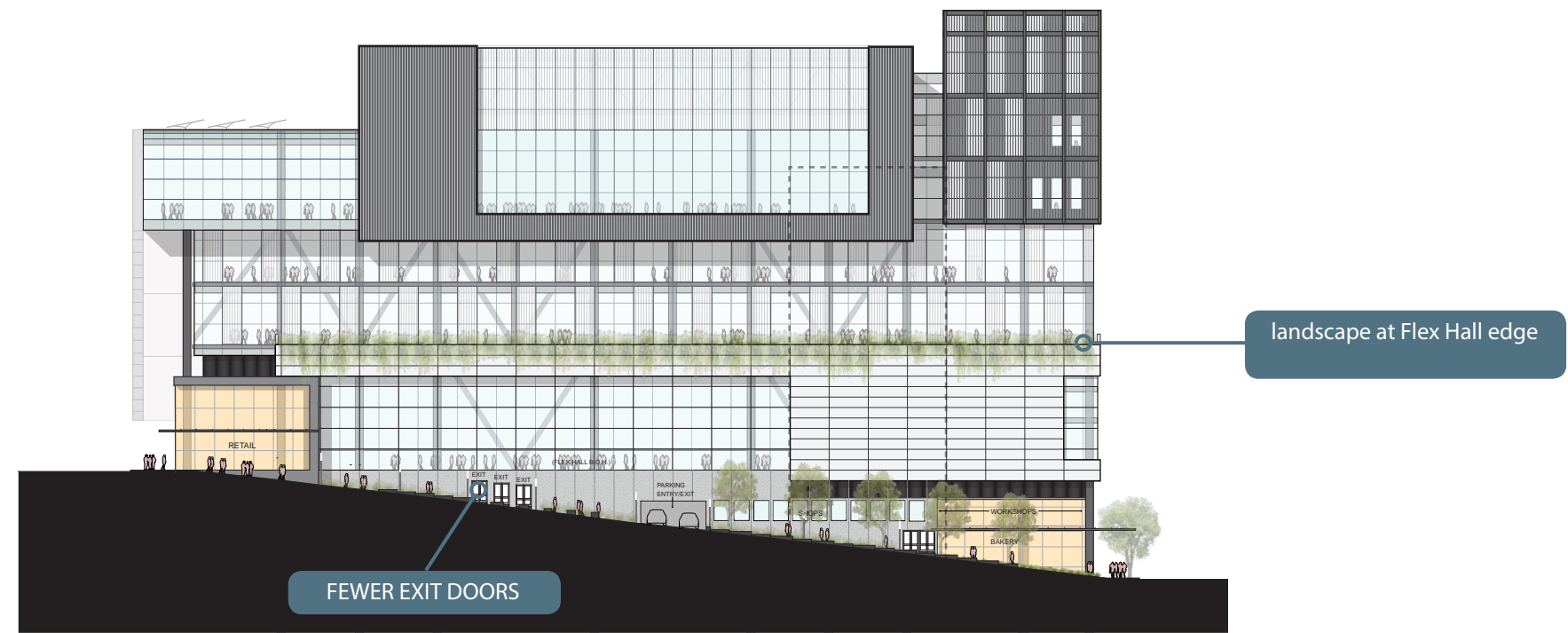
ENLARGED BOREN AVE ELEVATION



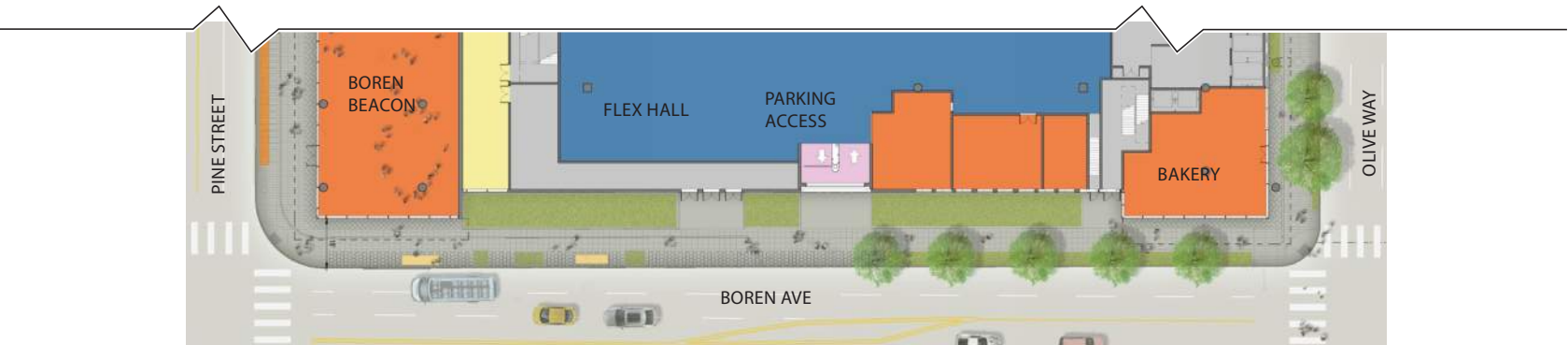
ENLARGED BOREN AVE PLAN

3 EDG 03 COMMENT RESPONSES - BOREN AVENUE

RECOMMENDATION



ENLARGED BOREN AVE ELEVATION



ENLARGED BOREN AVE PLAN

3 EDG 03 COMMENT RESPONSES - BOREN AVENUE

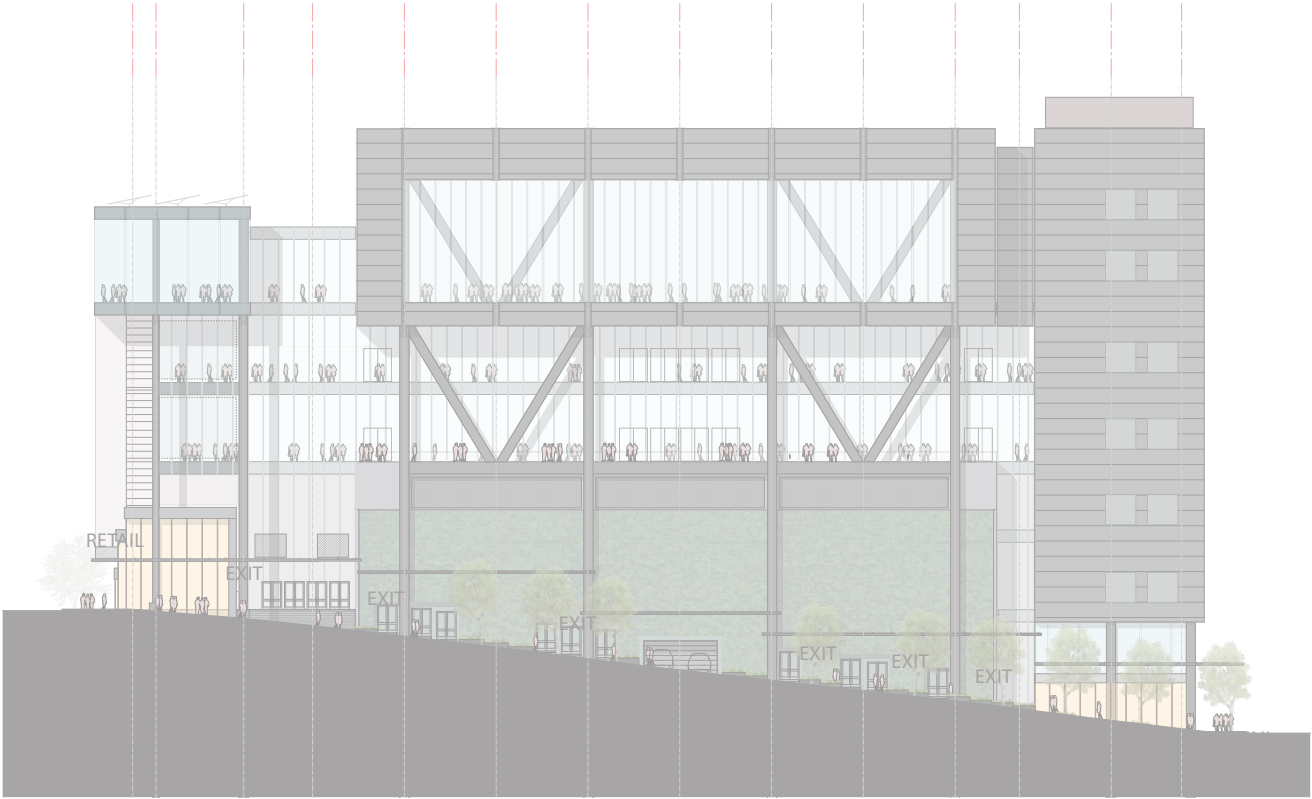
COMMENT 12B - PEDESTRIAN EXPERIENCE

At the EDG#3, the Board summarized that the project’s site plan and massing have improved, the corners along Olive and Boren are stronger, and that some areas of transparency are adequate. However, the Board recommended that other areas need additional refinement. Several key edges of the ground floor perimeter need more attention. The lower and middle facade along Boren should be much more visually compelling

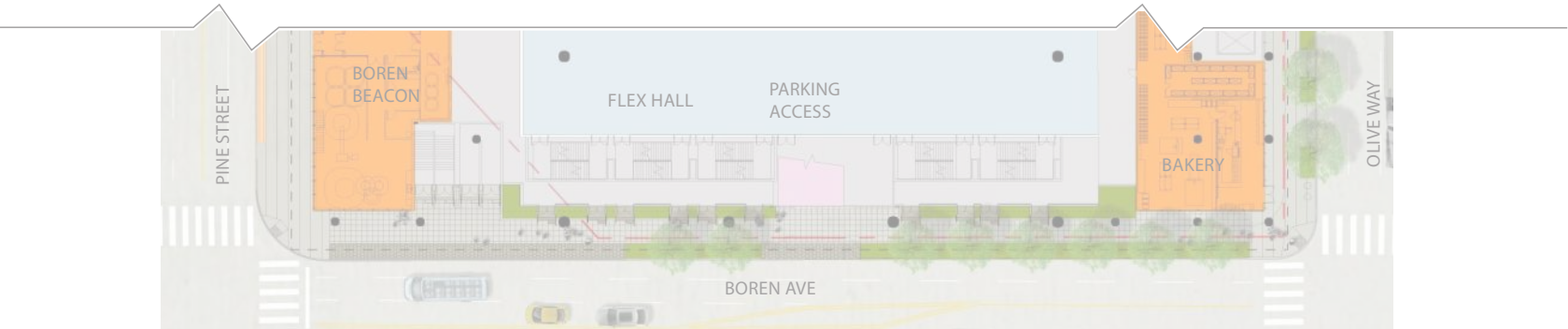
RESPONSE - The Boren Avenue elevation has been developed to create a stronger pedestrian experience. Changes include a greater setback to create a more generous pedestrian and landscaped zones at grade, wider areas of retail and program spaces along the building edge with large amounts of glazing, and a variety of layered building forms at different scales.



EDG 3



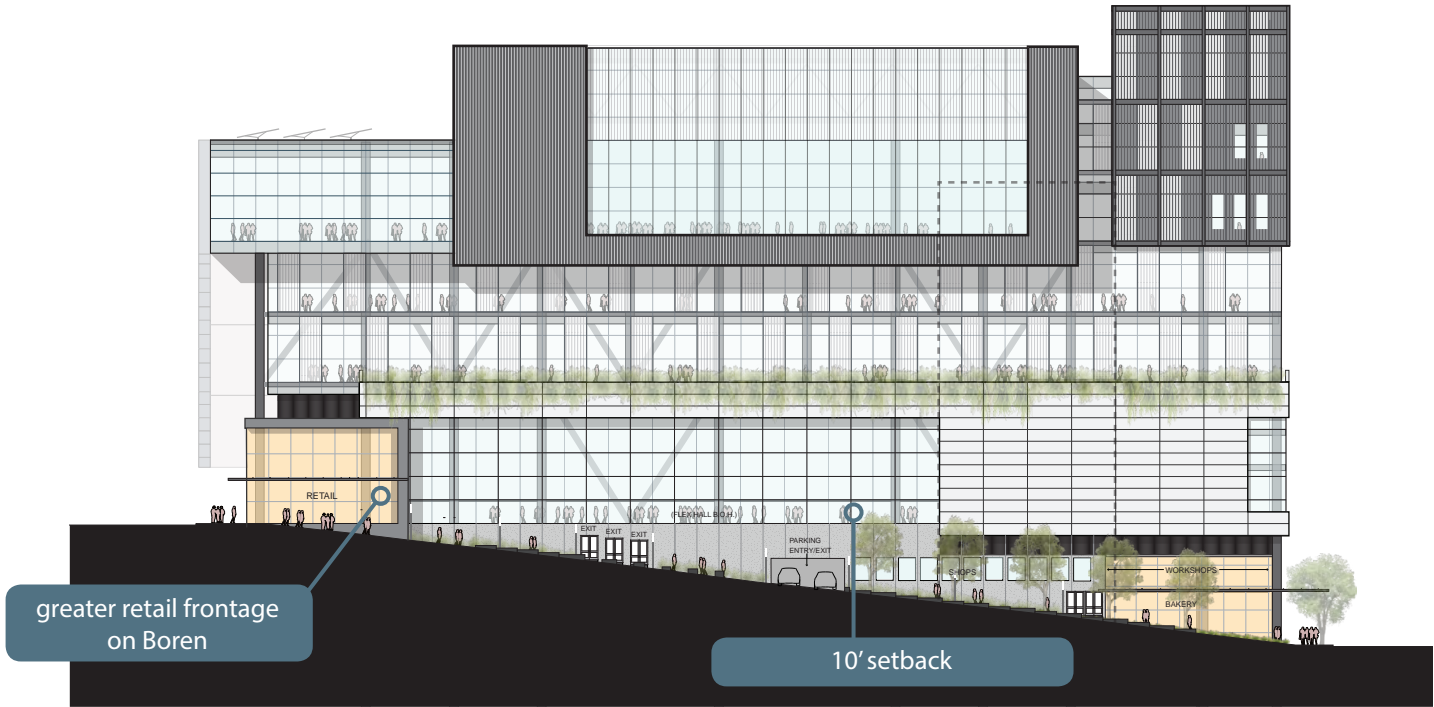
ENLARGED BOREN AVE ELEVATION



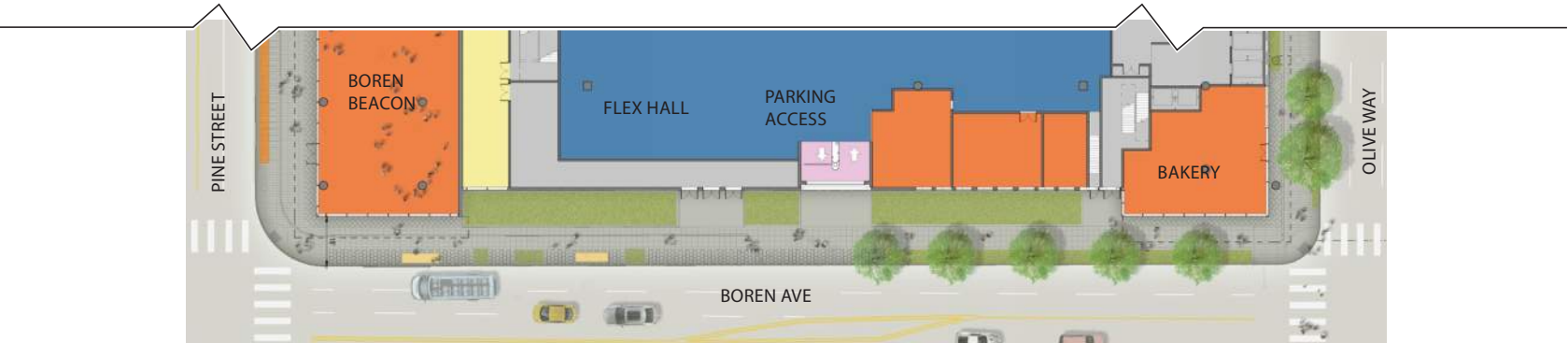
ENLARGED BOREN AVE PLAN

3 EDG 03 COMMENT RESPONSES - BOREN AVENUE

RECOMMENDATION



ENLARGED BOREN AVE ELEVATION

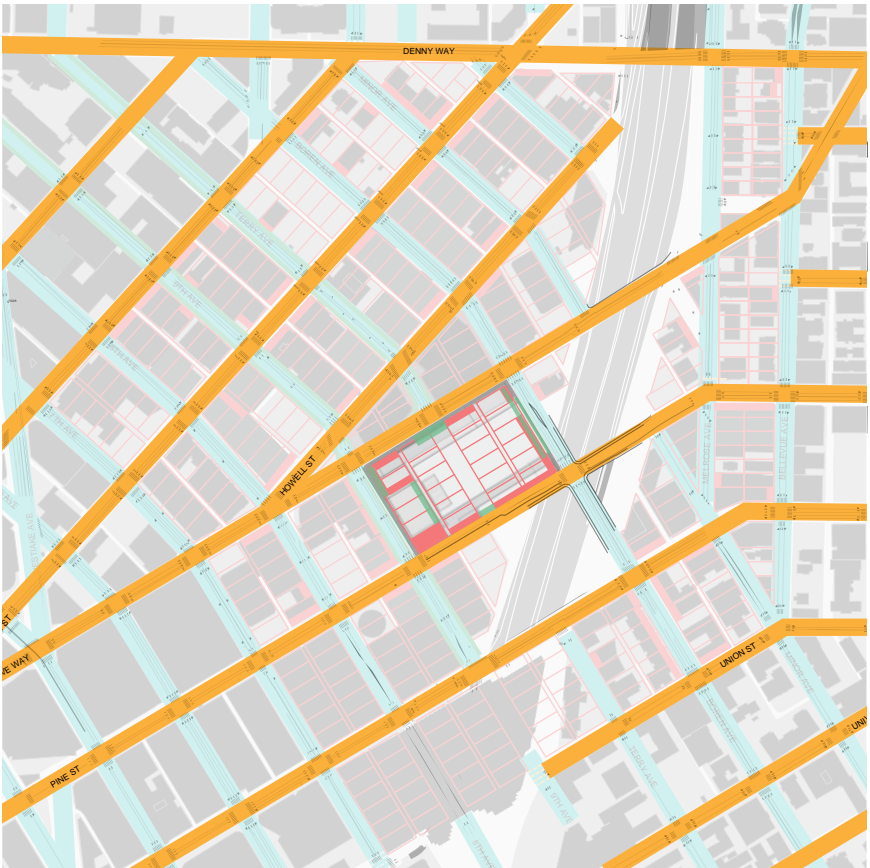


ENLARGED BOREN AVE PLAN

4 DESIGN RECOMMENDATION URBAN FRAMEWORK



AVENUES
The continuity of each north-south avenue is strengthened to reinforce the urban framework context.



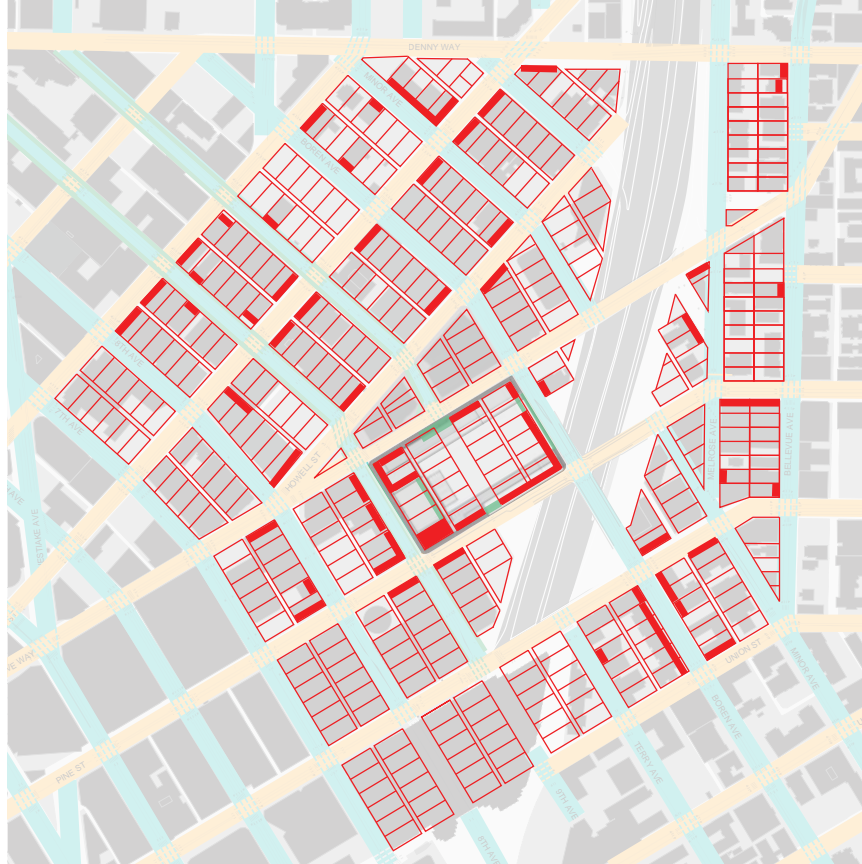
STREETS
Each east-west street is developed as a collection of unique conditions responding to the shifting street grids and topography.



GREEN STREETS
Terry Avenue and 9th Avenue Green Streets engage integrated landscape in the Convention Center footprint.

4 DESIGN RECOMMENDATION

URBAN FRAMEWORK



URBAN GRID

Seattle is a city of shifting grids and dramatic topography. The hierarchy of streets and avenues overlaid on these varying conditions resulted in a historic parcel grid that is both intentionally uniform and highly varied to specific contextual circumstances. Over time, this underlying order has become a less dominant feature of the urban street-scape, but the density and distribution of these alignments is still legible in this part of the city. As a part of the overall strategy to break down the mass and respond to the scale of the adjacent context and landmarks, the modulation and assemblage of building elements make these historic patterns visible.



URBAN FRAMEWORK BOOGIE WOOGIE

4 DESIGN RECOMMENDATION

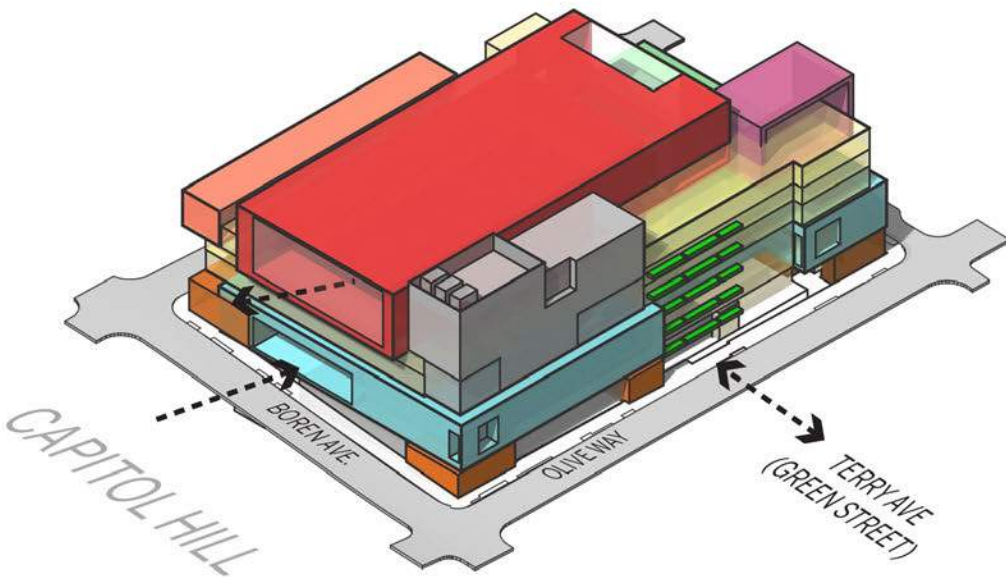
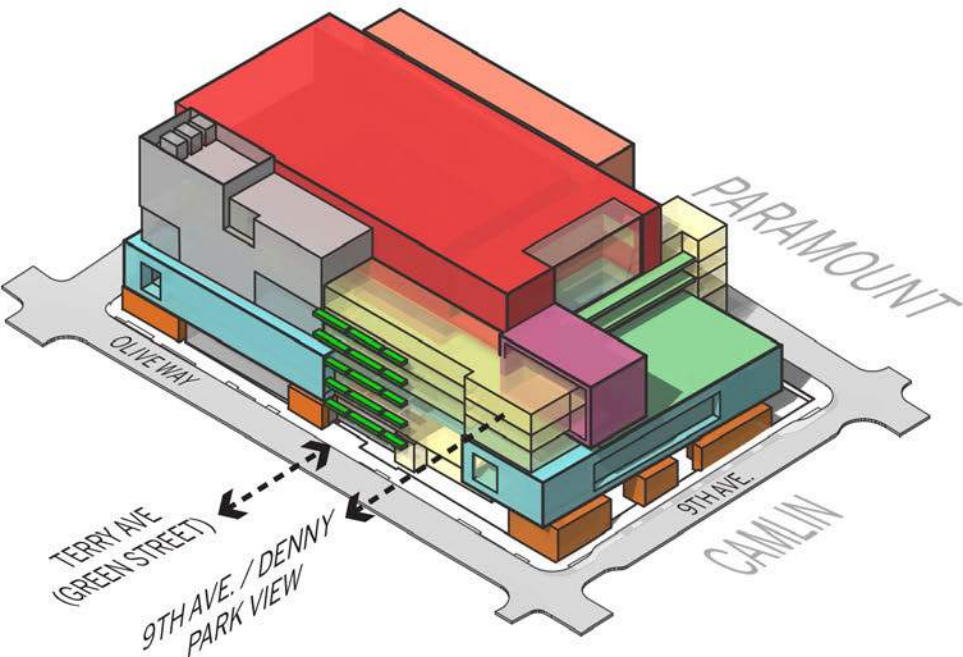
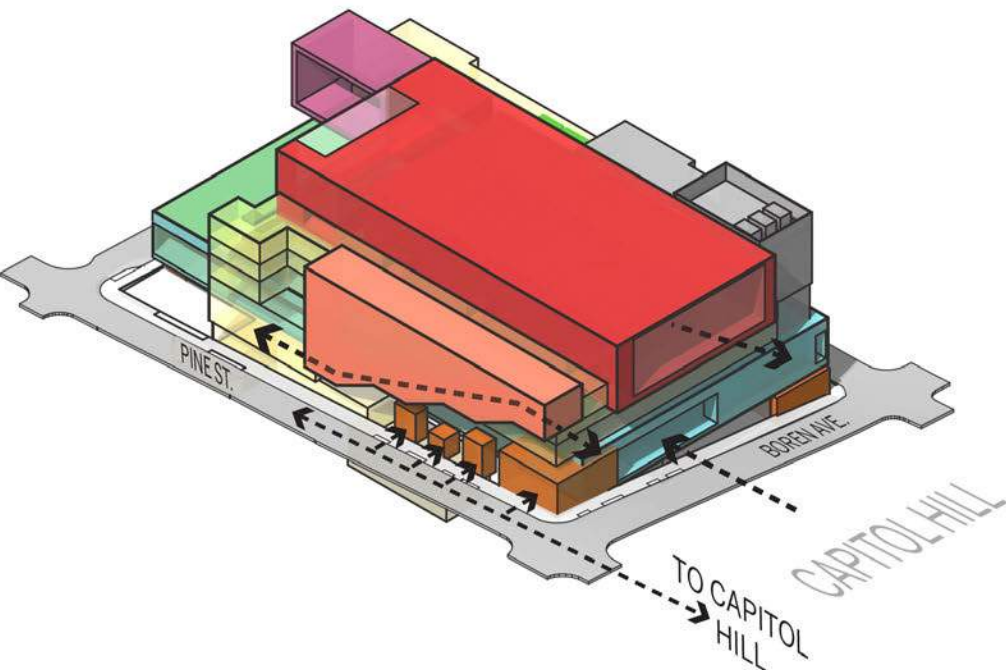
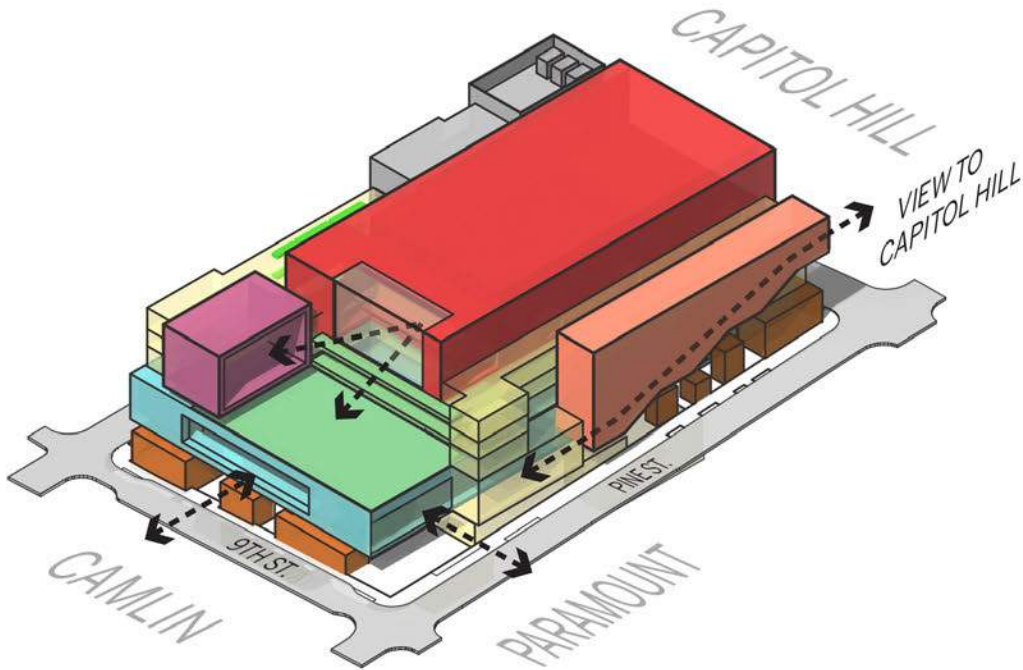
URBAN COLLAGE

URBAN COLLAGE

The recommended design is composed of specifically crafted program elements that are arranged in a dialogue with the urban context. The resulting in-between spaces of the connective lobby and support spaces take on special character and texture.

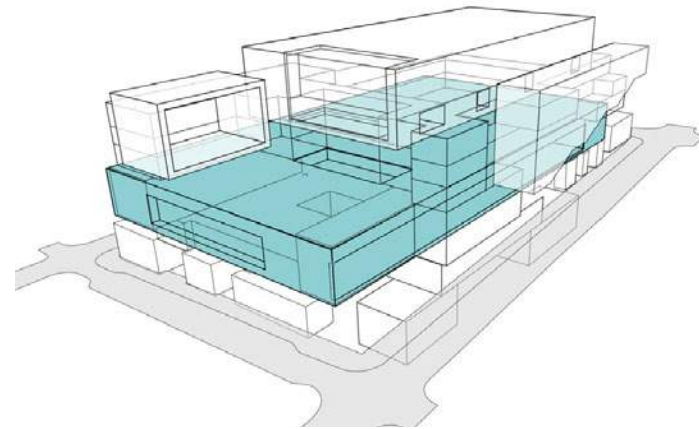
The uniquely vertical nature of the program and sloping site creates opportunities for the vertical registration of building with the adjacent streets at different levels. Scripted views into the facility and back out to city vary by level and orient different sides of the building to the city.

Each of the primary parts are described in further detail, including their role in the overall formal composition, relationship to adjacent context and urban form, functional program and exterior expression.

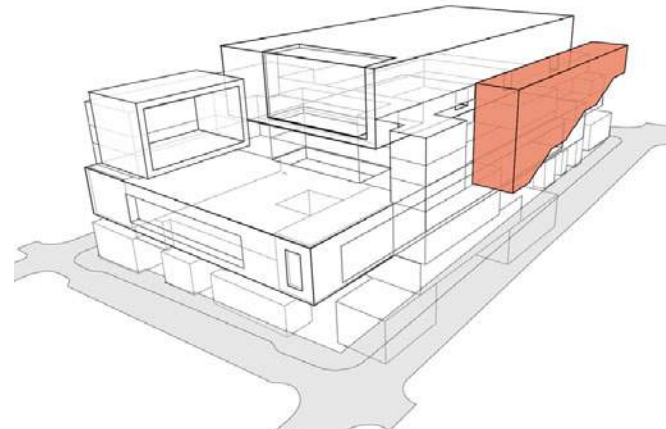


4 DESIGN RECOMMENDATION

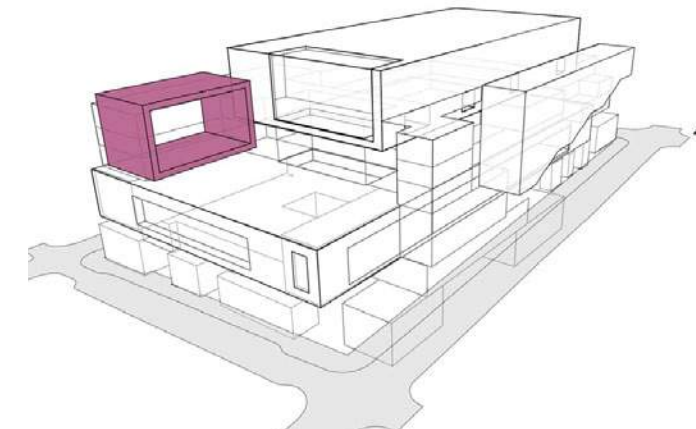
URBAN COLLAGE



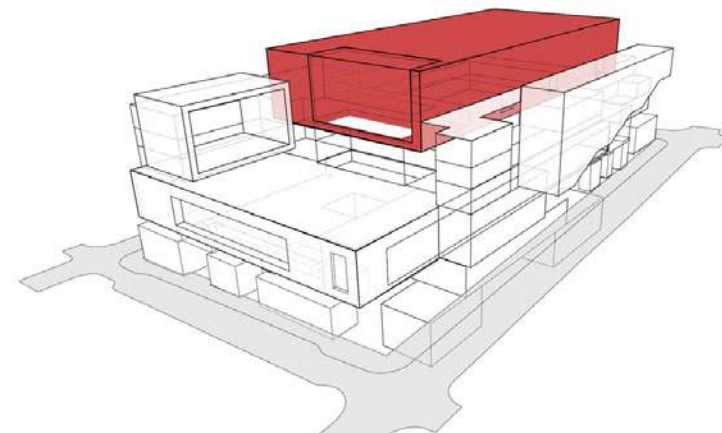
FLEX HALL



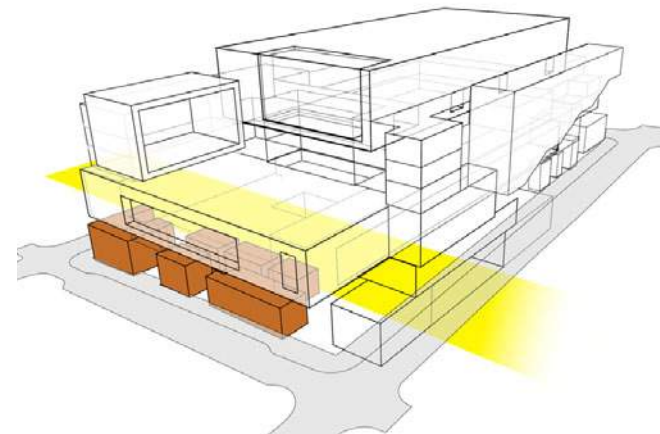
PINE STREET STAIR



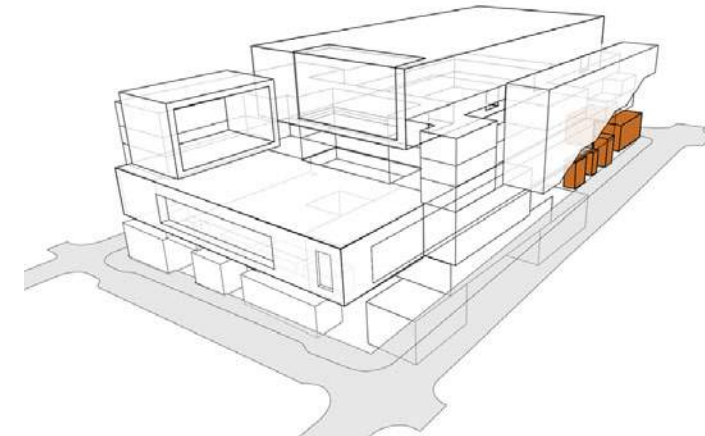
SIGNATURE MEETING ROOMS



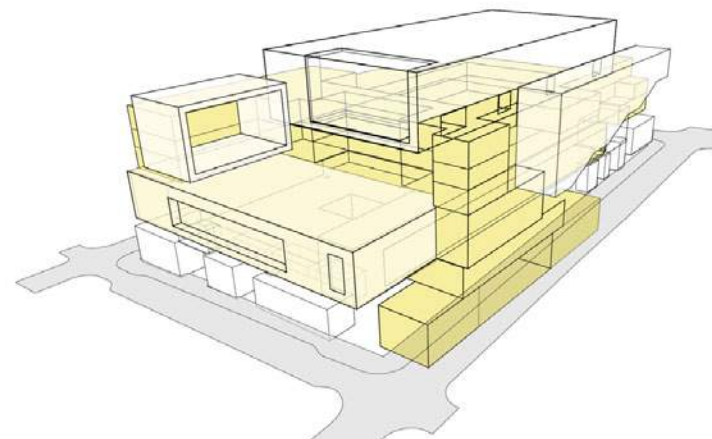
BALLROOM



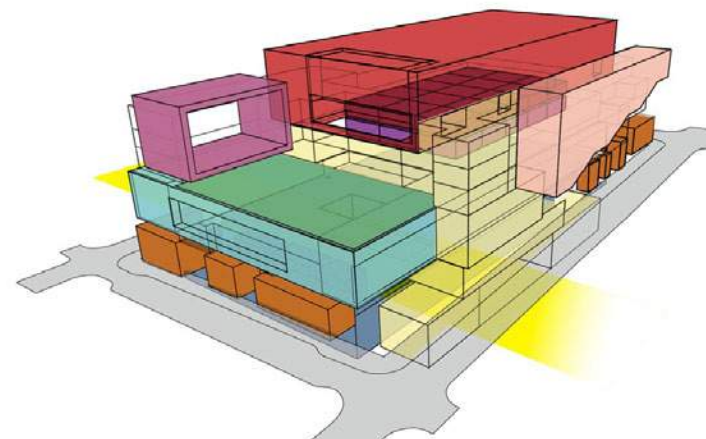
MARKET & MIXING ZONE



PINE STREET WALK UPS



CONNECTIVE LOBBY &
SUPPORT SPACES

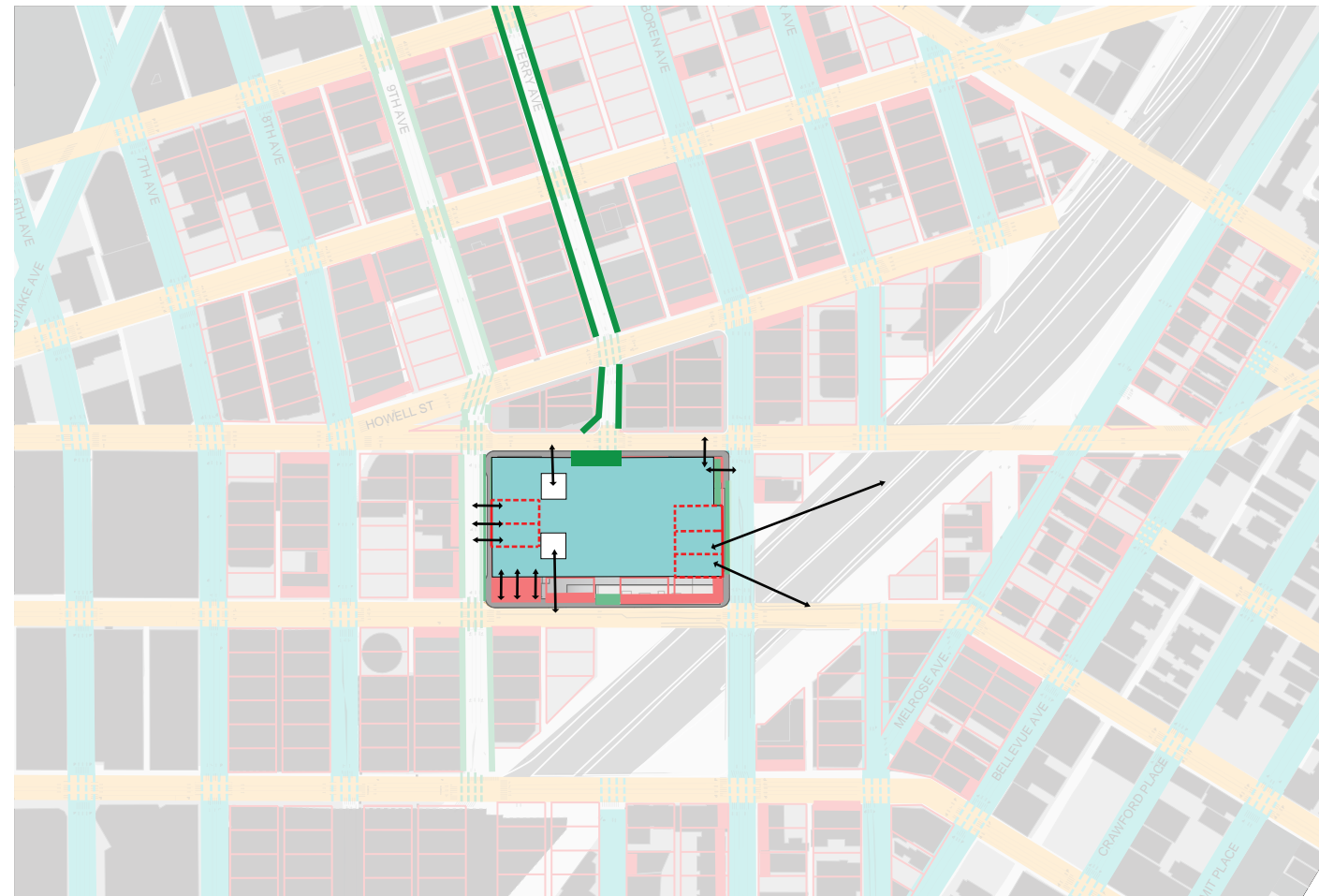


URBAN COLLAGE

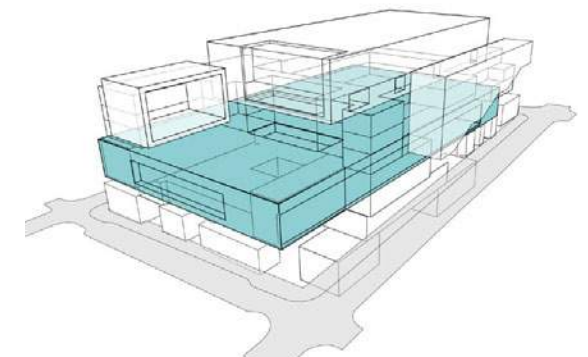
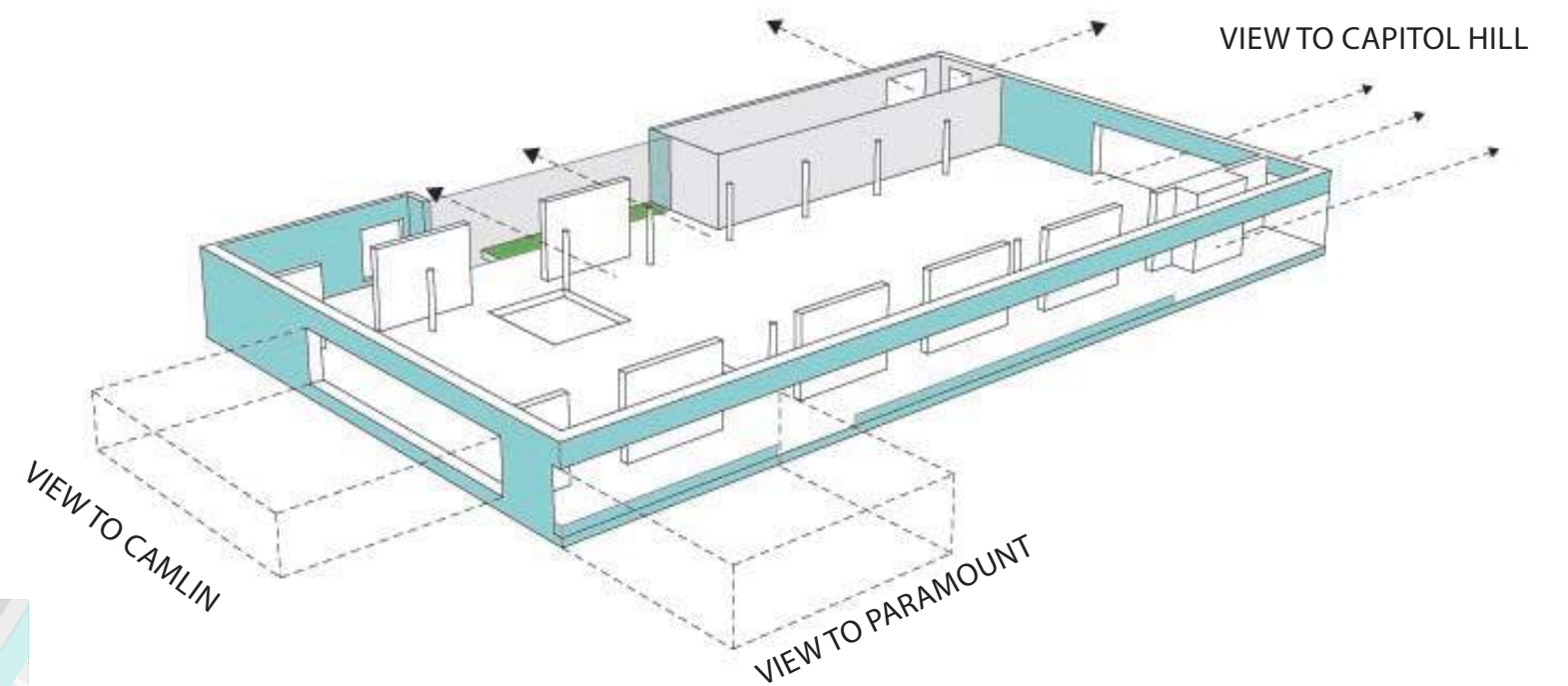
4 DESIGN RECOMMENDATION FLEX HALL

FLEX HALL

- Visible on all sides providing a reference for the adjacent neighborhoods
- Collector element in the collage of building parts
- Porosity in the facade allows connection between inside and outside, Daylight and Visual Connections
- Expressed entire length of site, Large Scale / Urban Scale
- Activated with Accent Panels
- Light Reactive Surface interacts with context
- Form is Sculpted in diverse ways to engage diverse context situations

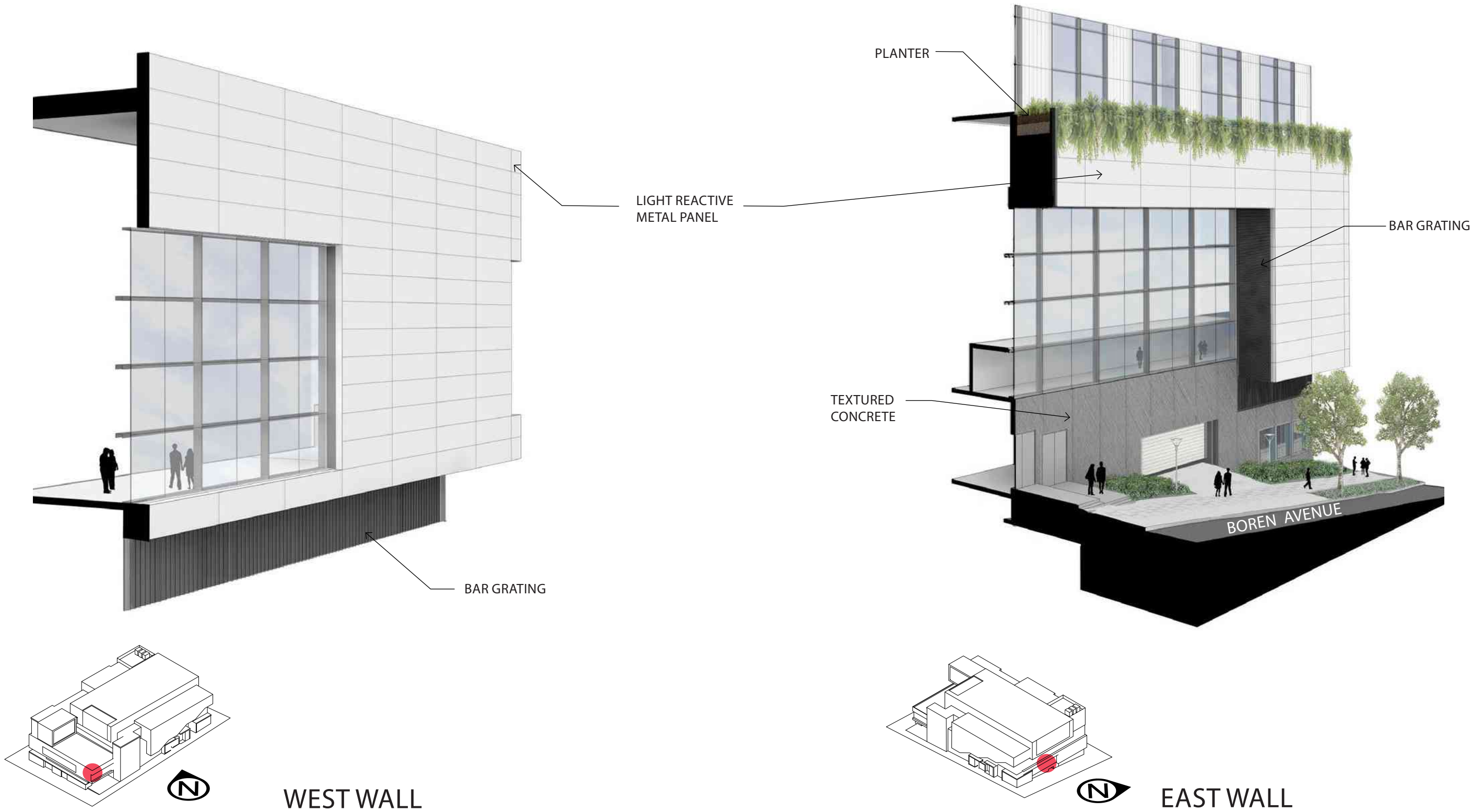


URBAN GRID





4 DESIGN RECOMMENDATION FLEX HALL



4 DESIGN RECOMMENDATION

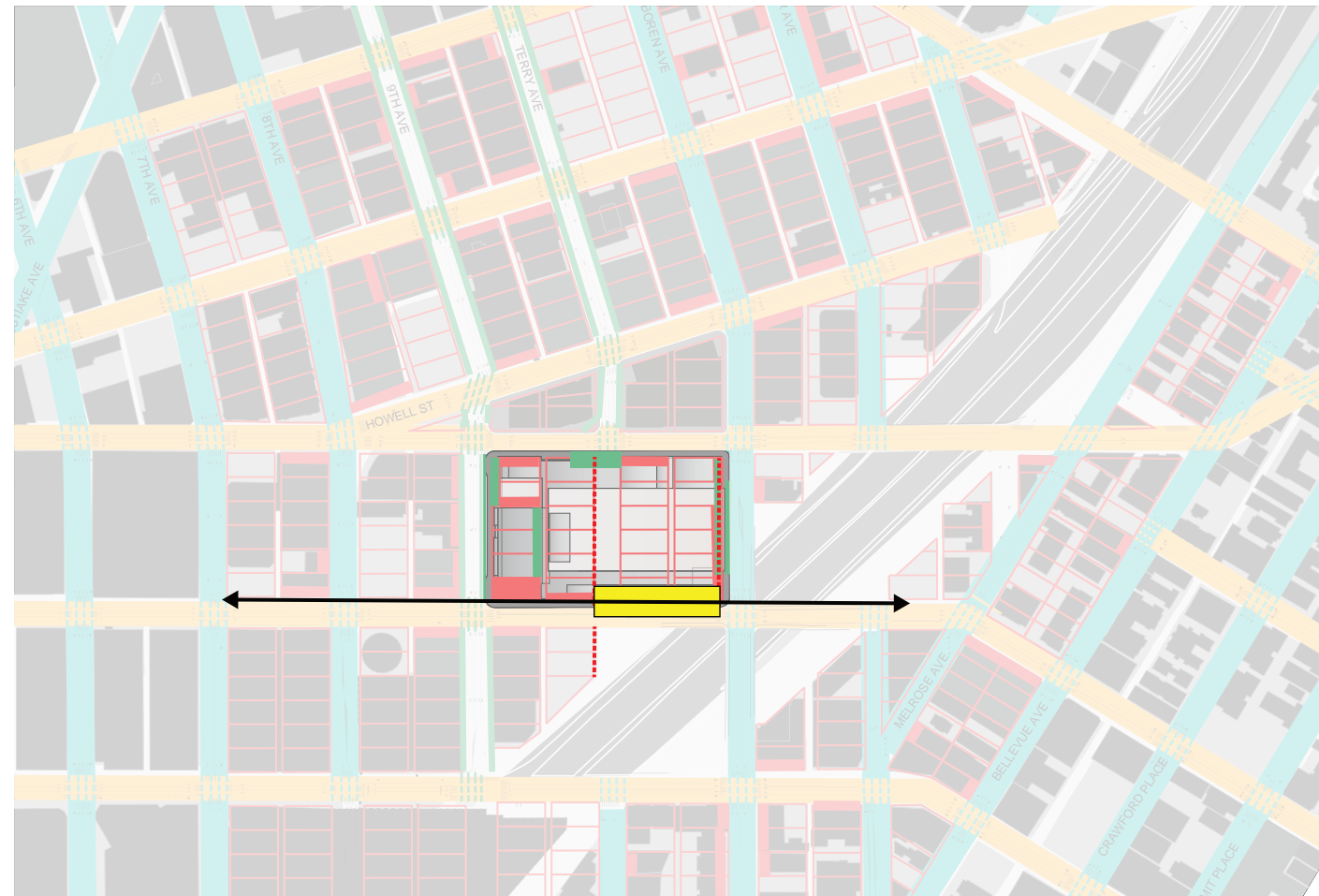
PINE STREET STAIR

PINE STREET STAIR

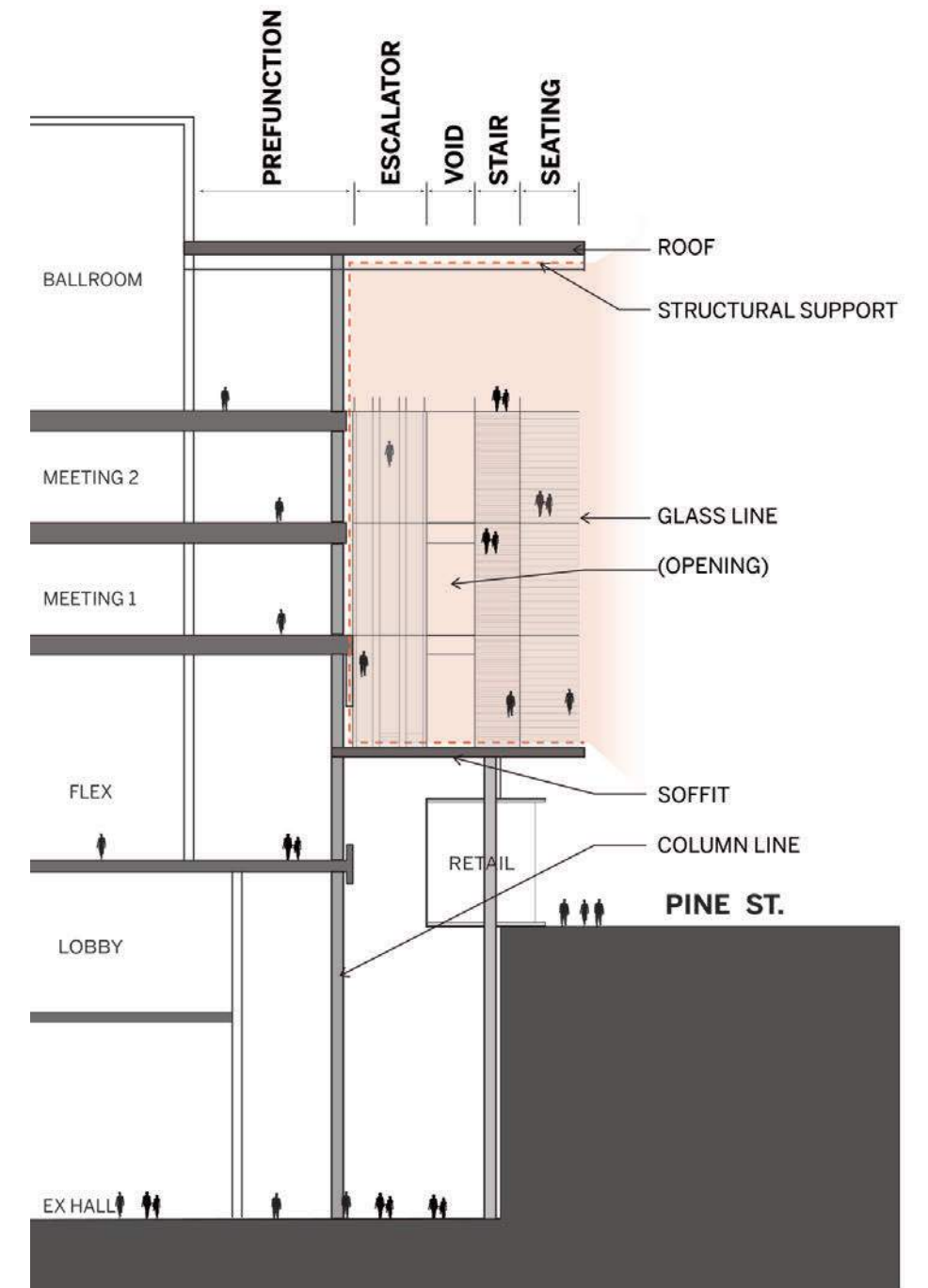
- Connecting neighborhoods, waterfront, Pike Place Market, Downtown, Capitol Hill
- Topographic
- Provides unique edge for pedestrian experience
- Cantilevered glass object - dramatic overlook
- Internal path offers options to sit / stand / walk
- Bright, open, connection to Pine Street
- View to Pike Place Market and Puget Sound from inside
- View to activities on stairs and seating along Pine Street from 1st-9th Avenue



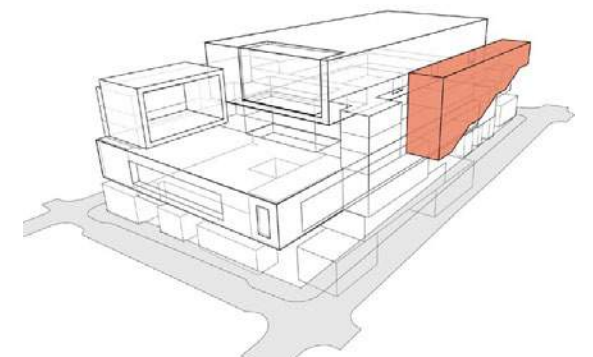
SEATING STAIR



URBAN GRID

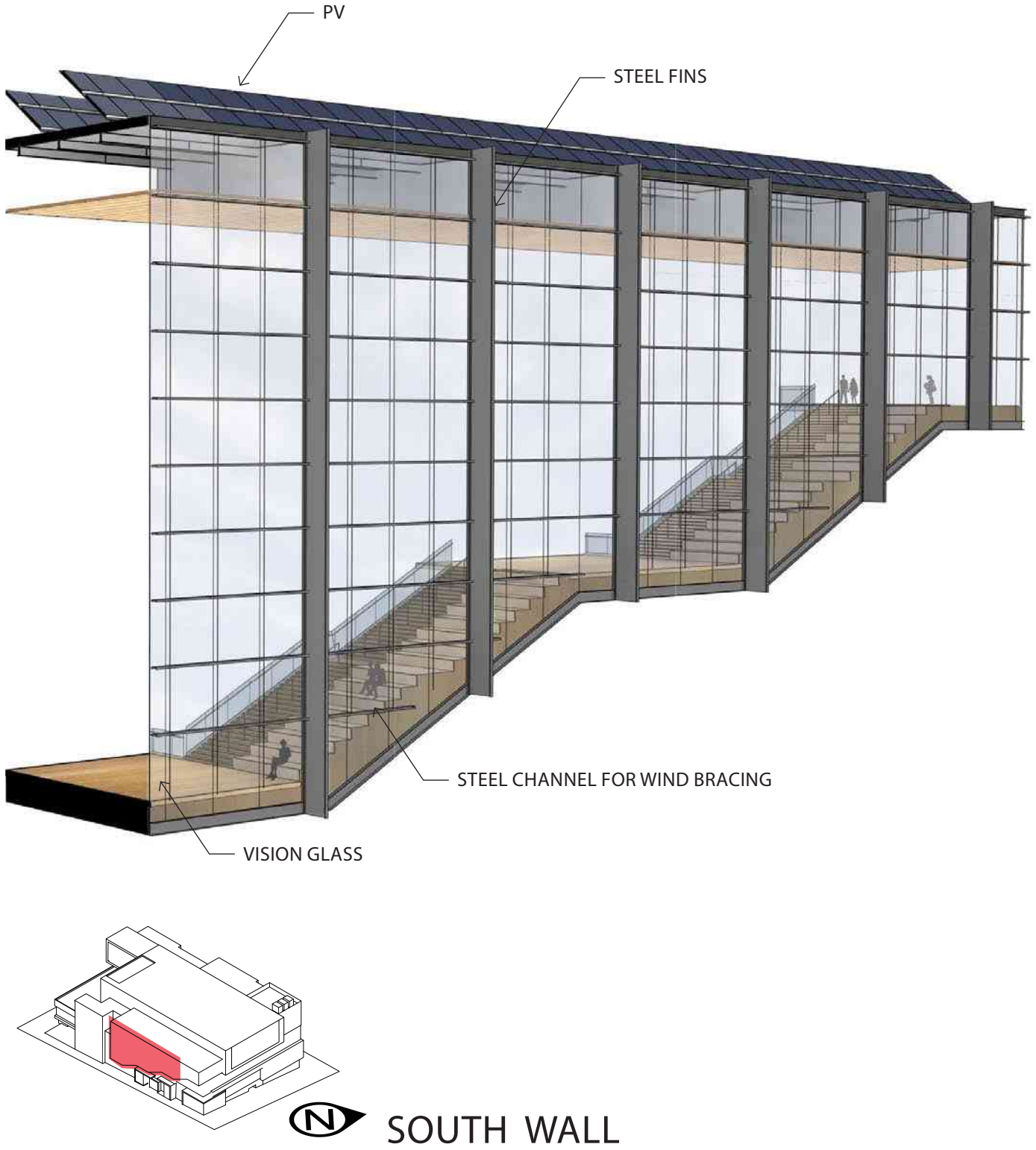
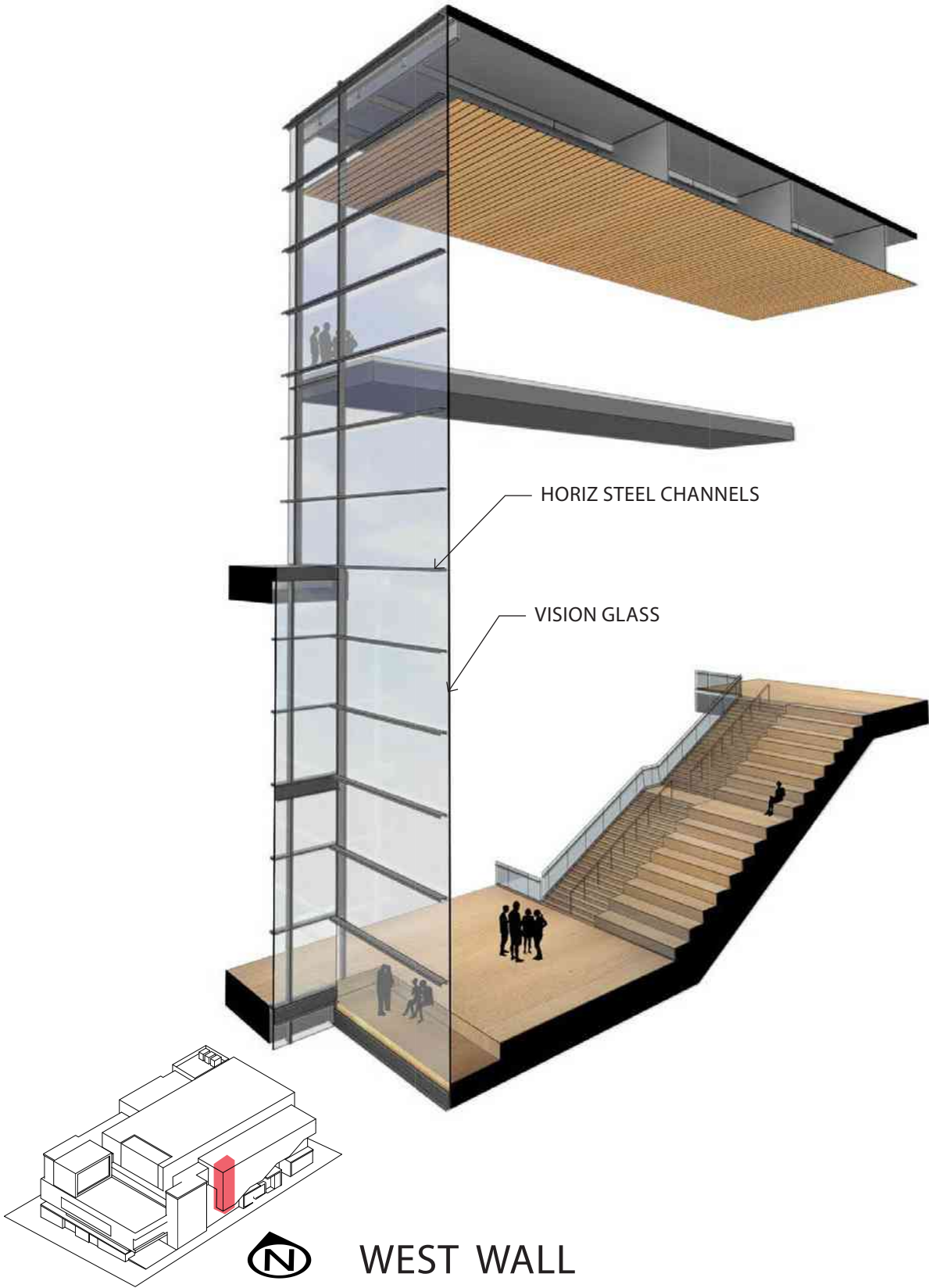


SECTION





4 DESIGN RECOMMENDATION PINE STREET STAIR



4 DESIGN RECOMMENDATION

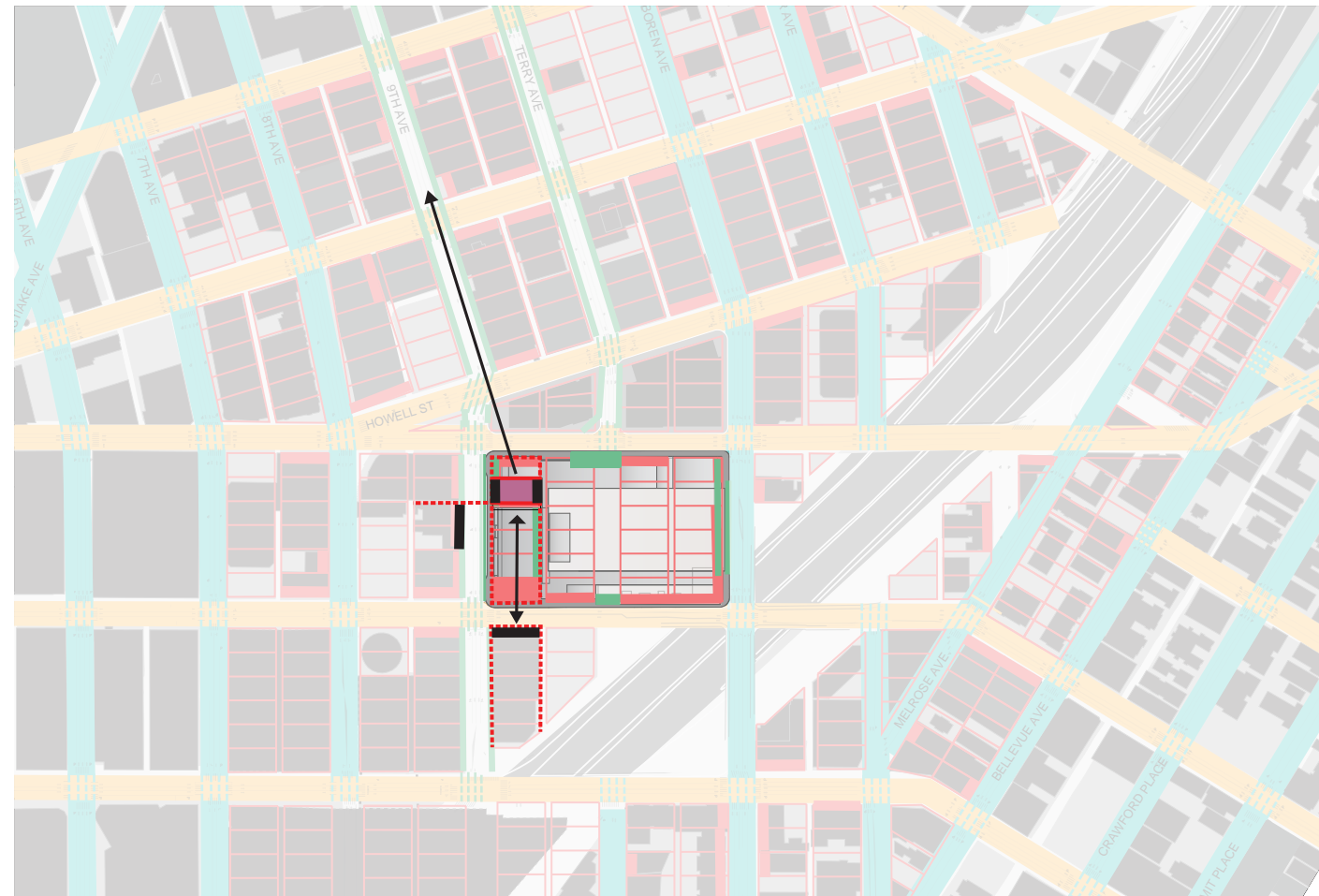
SIGNATURE MEETING ROOMS

SIGNATURE MEETING ROOMS

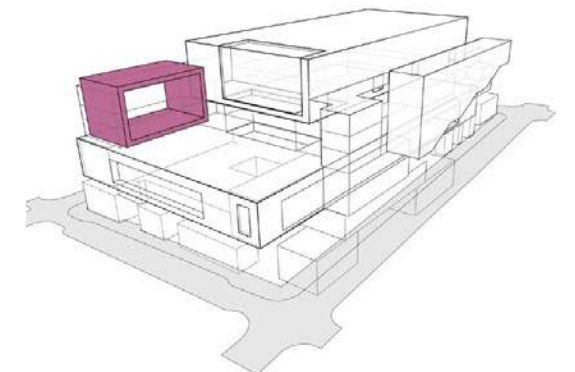
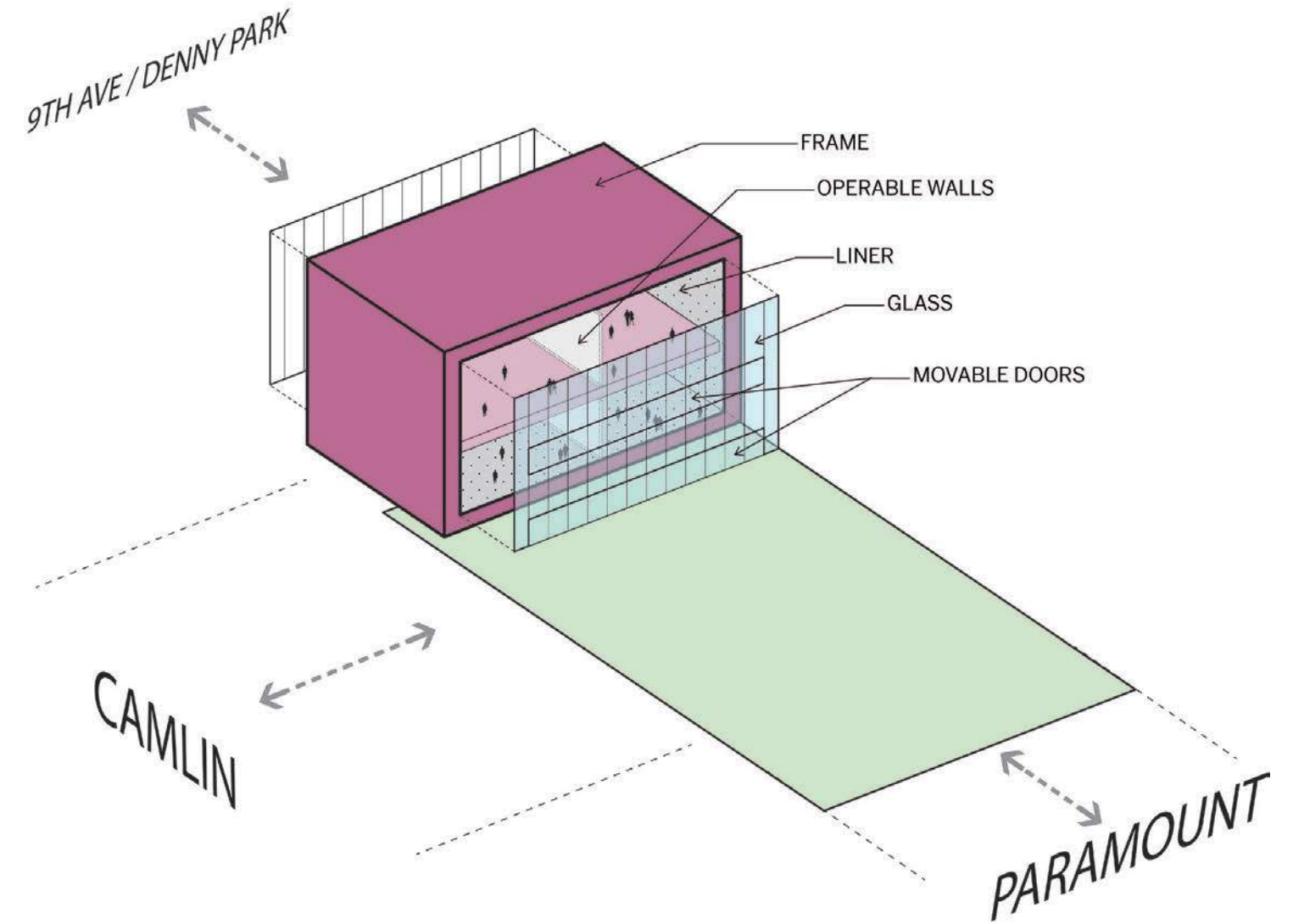
- South orientation to Paramount Theatre
- North orientation to 9th Avenue Green Street and Denny Park
- Adaptable to various event spaces - junior ballroom, signature meeting, prefunction, receptions, performances
- Framed Views insides / outside
- See Through



FRAMED CITY VIEW
JOSEPH HOLMES (MOMA)



URBAN GRID

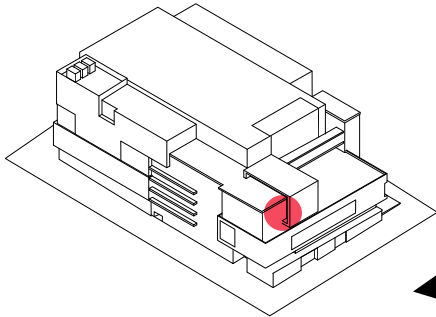
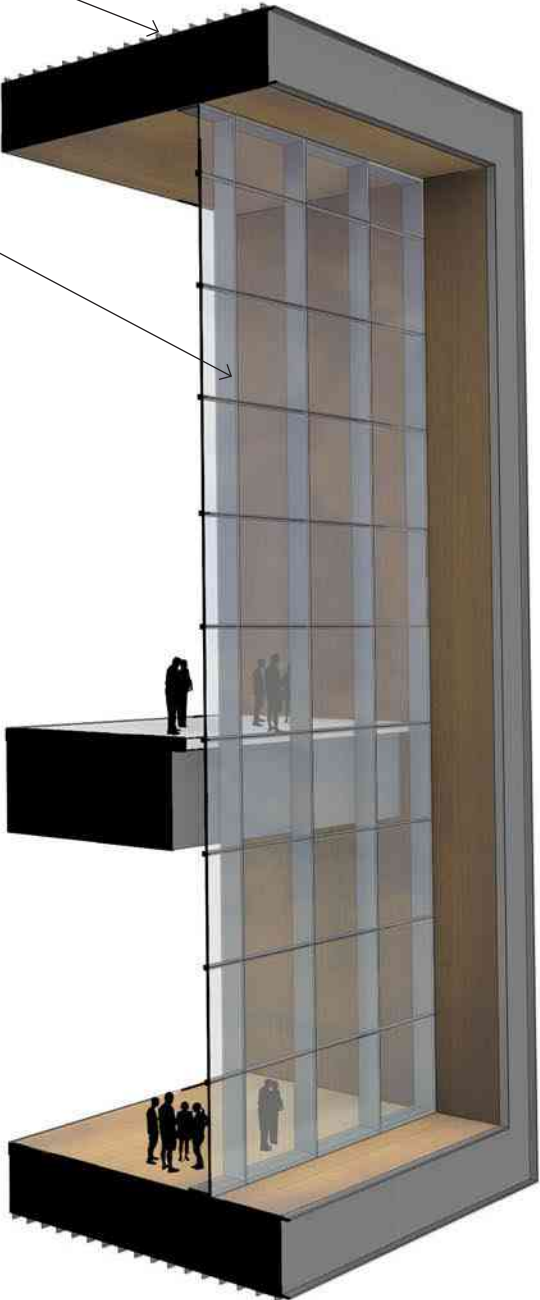




4 DESIGN RECOMMENDATION SIGNATURE MEETING ROOMS

RIBBED METAL PANEL

ALUMINUM
MULLION ON
STEEL FRAMING

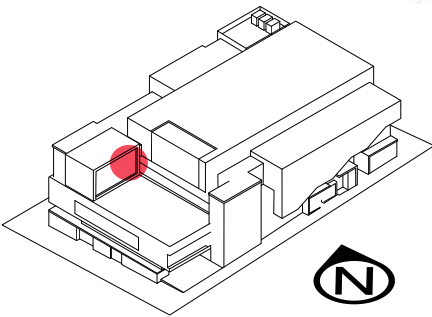


 SOUTH WALL

RIBBED METAL PANEL

ALUMINUM
MULLION ON
STEEL FRAMING

GLASS RAILING



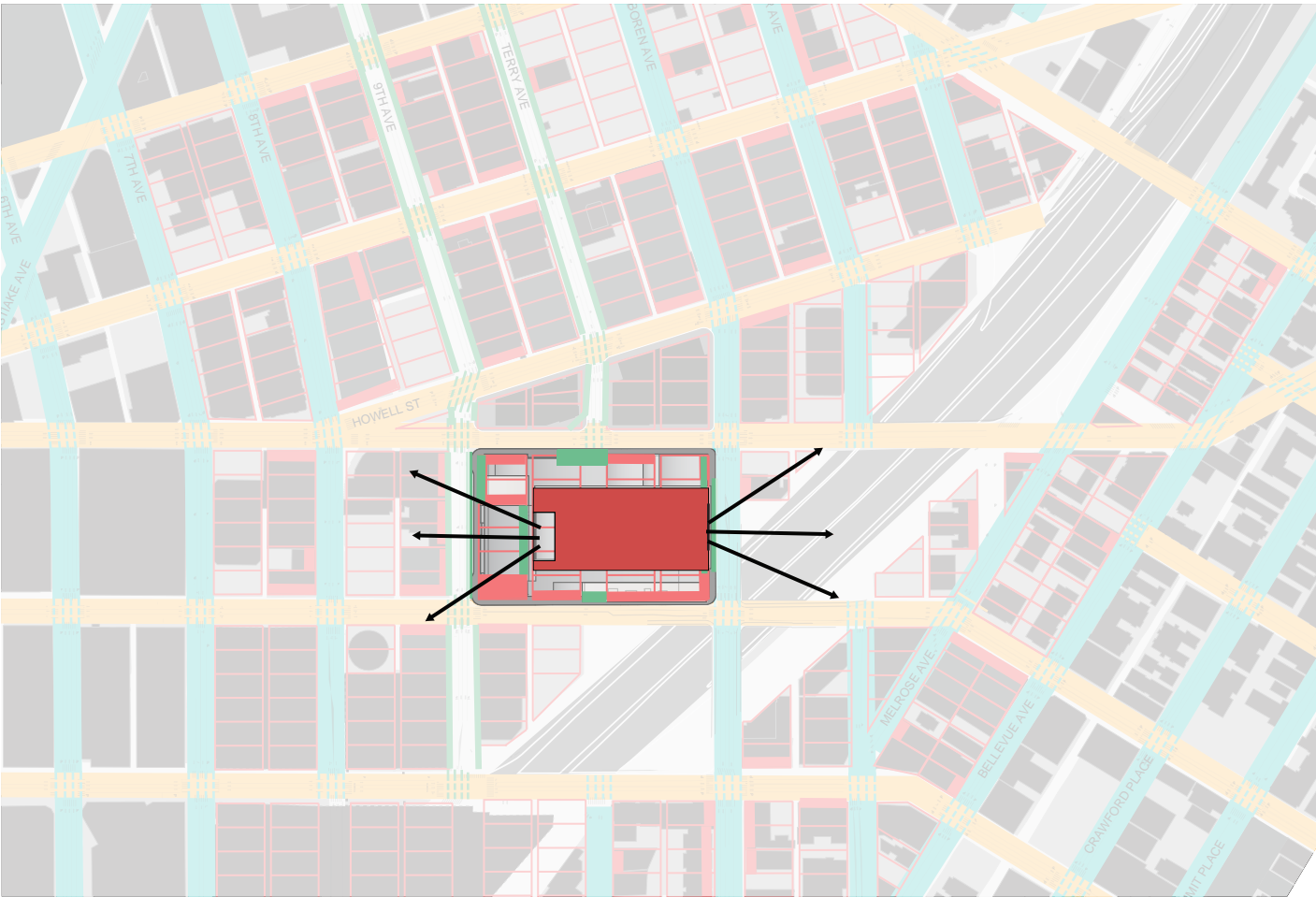
 EAST WALL



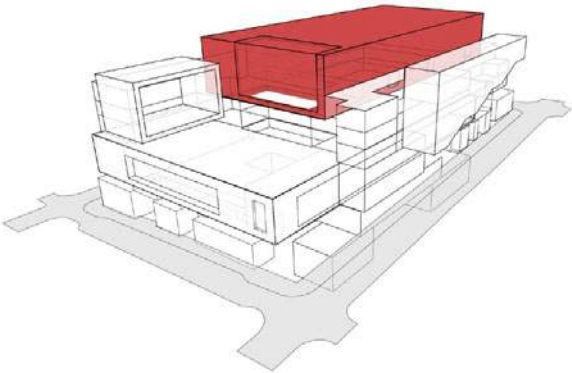
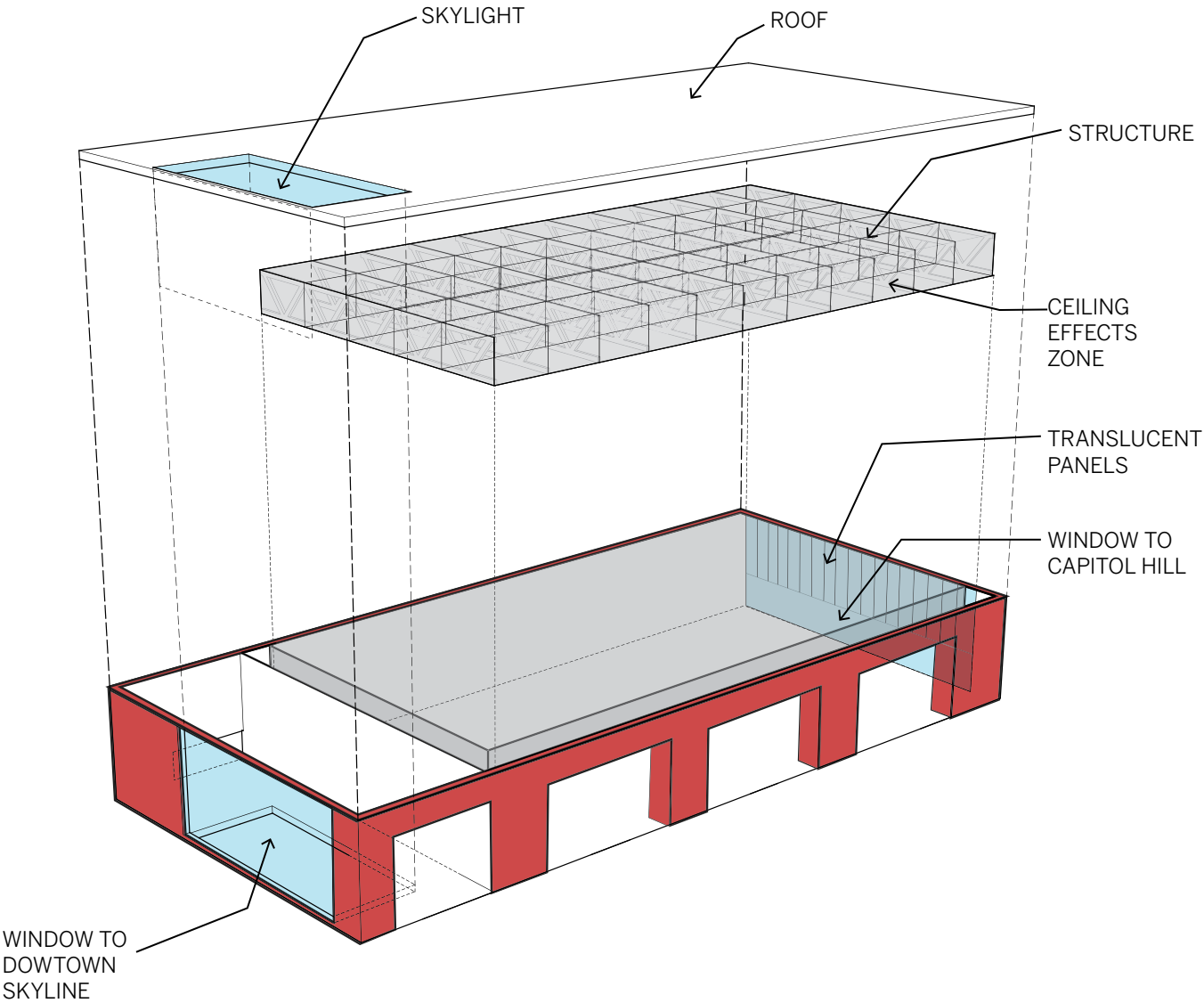
4 DESIGN RECOMMENDATION BALLROOM

BALLROOM

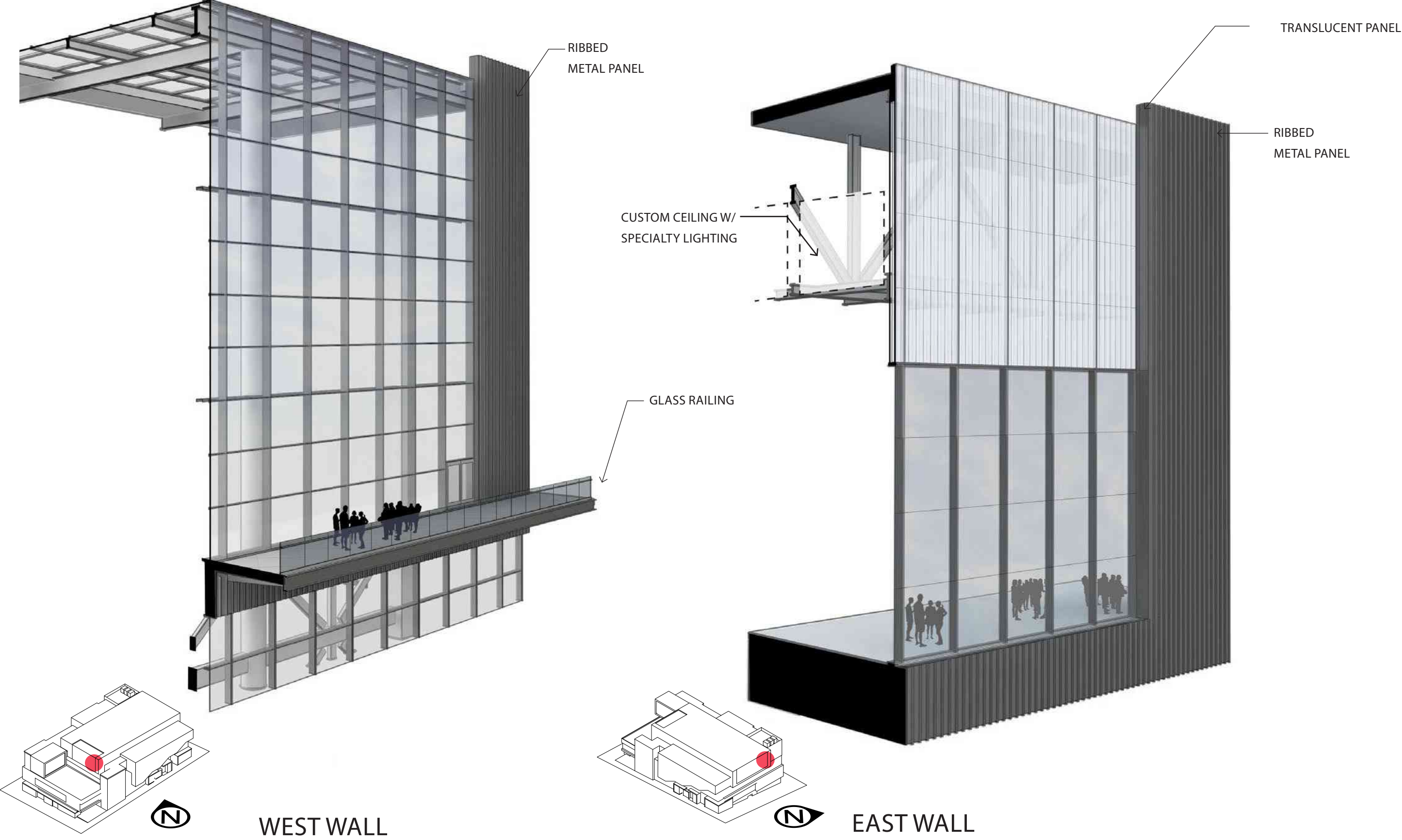
- Visual Focus on Ballroom ceiling with special Treatment
- Simple form legible from a distance
- East facade animated by Ballroom lighting effects on translucent panel
- West facade opens atrium public spaces to view to downtown skyline



URBAN GRID



4 DESIGN RECOMMENDATION BALLROOM



4 DESIGN RECOMMENDATION

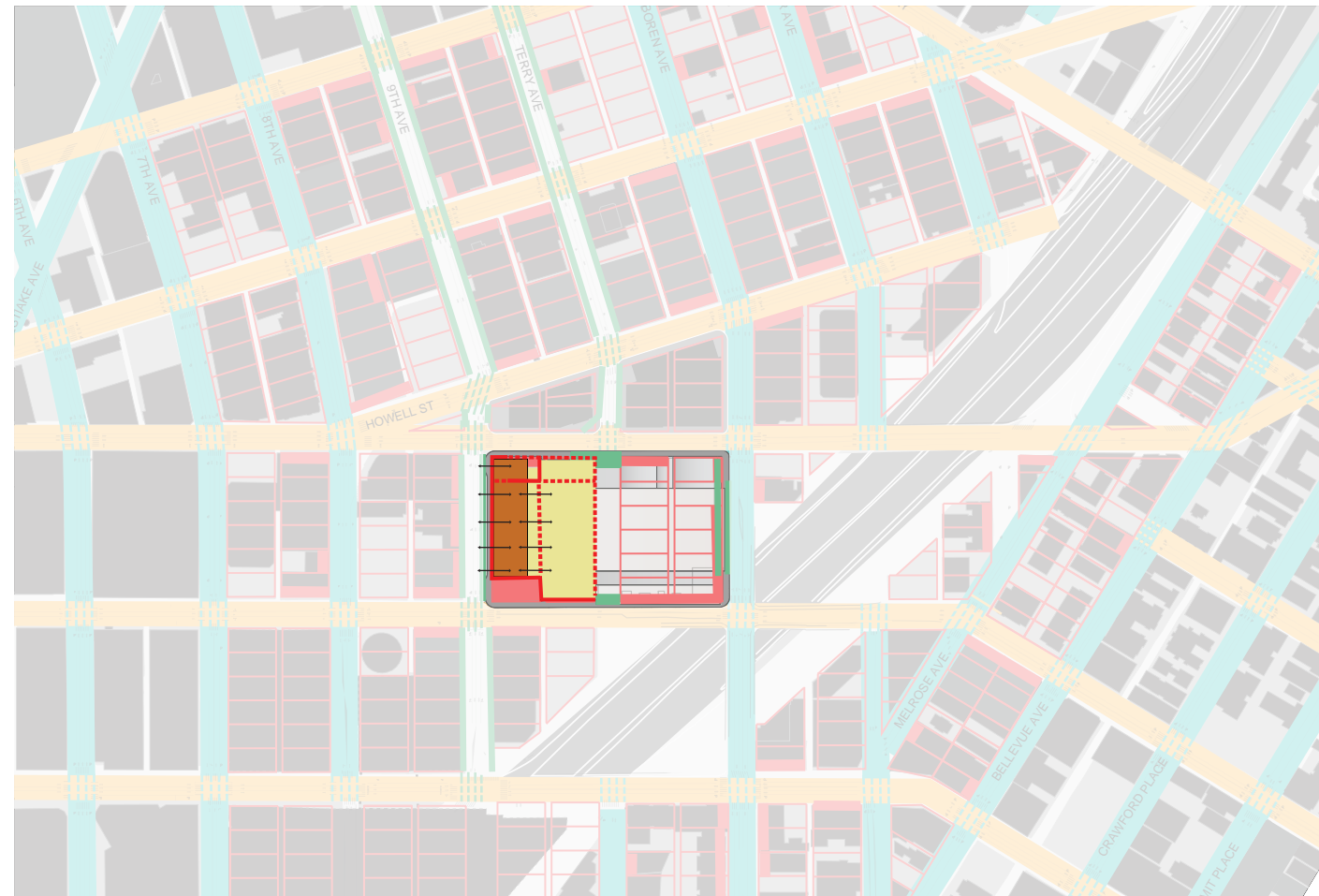
MARKET HALL & MIXING ZONE

MARKET HALL & MIXING ZONE

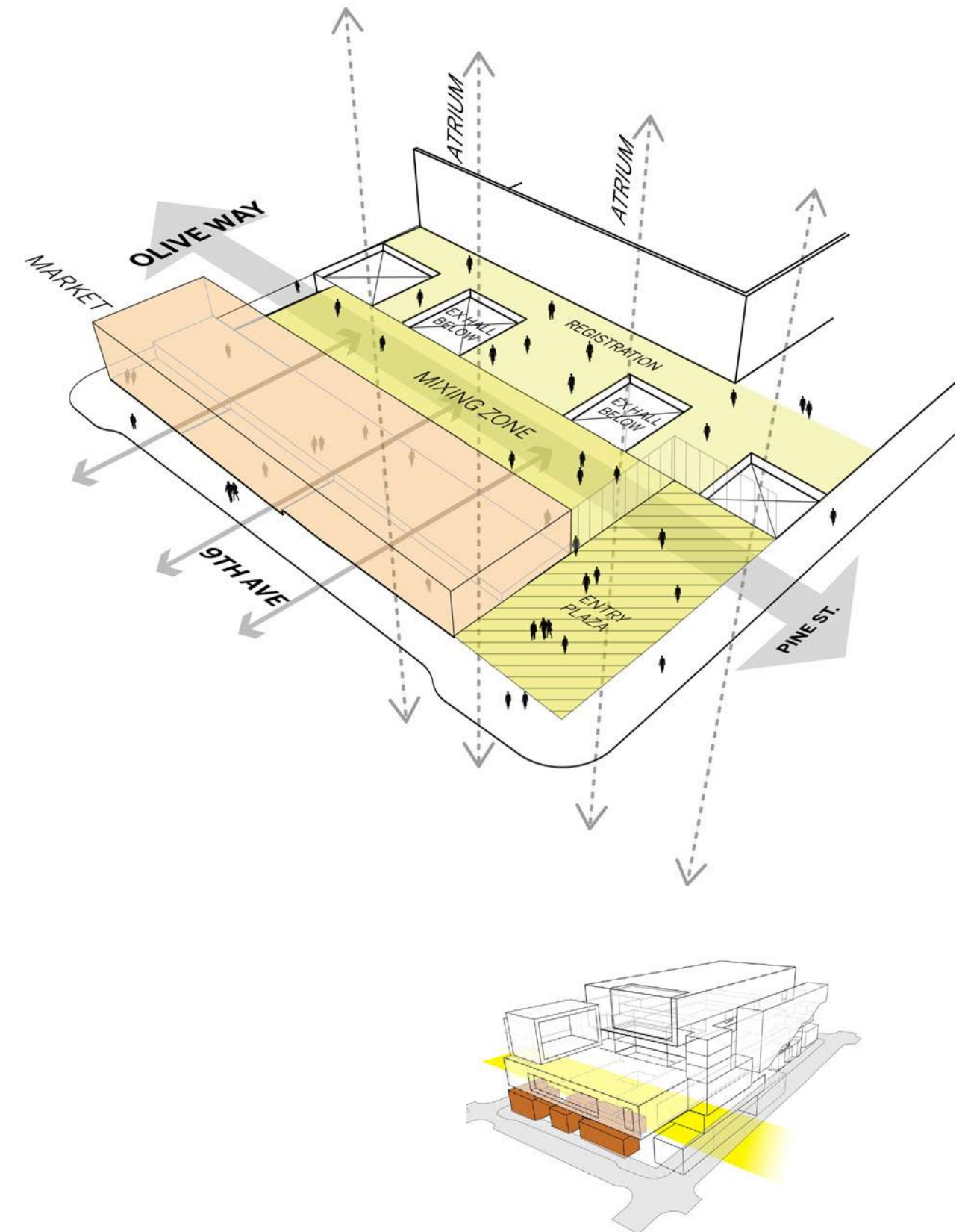
- Intersection for Public / Delegates
- Support Various social activities, gathering, networking, taking a break
- Inbetween, interstitial, mixing
- Local flavor
- Porous, Filtering people into building



ACTIVE PEDESTRIAN EDGE



URBAN GRID





4 DESIGN RECOMMENDATION MARKET HALL & MIXING ZONE



4 DESIGN RECOMMENDATION

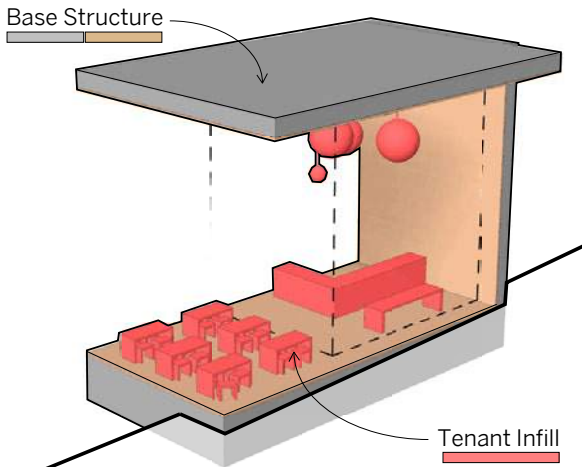
PINE STREET WALK-UPS

PINE STREET WALK-UPS

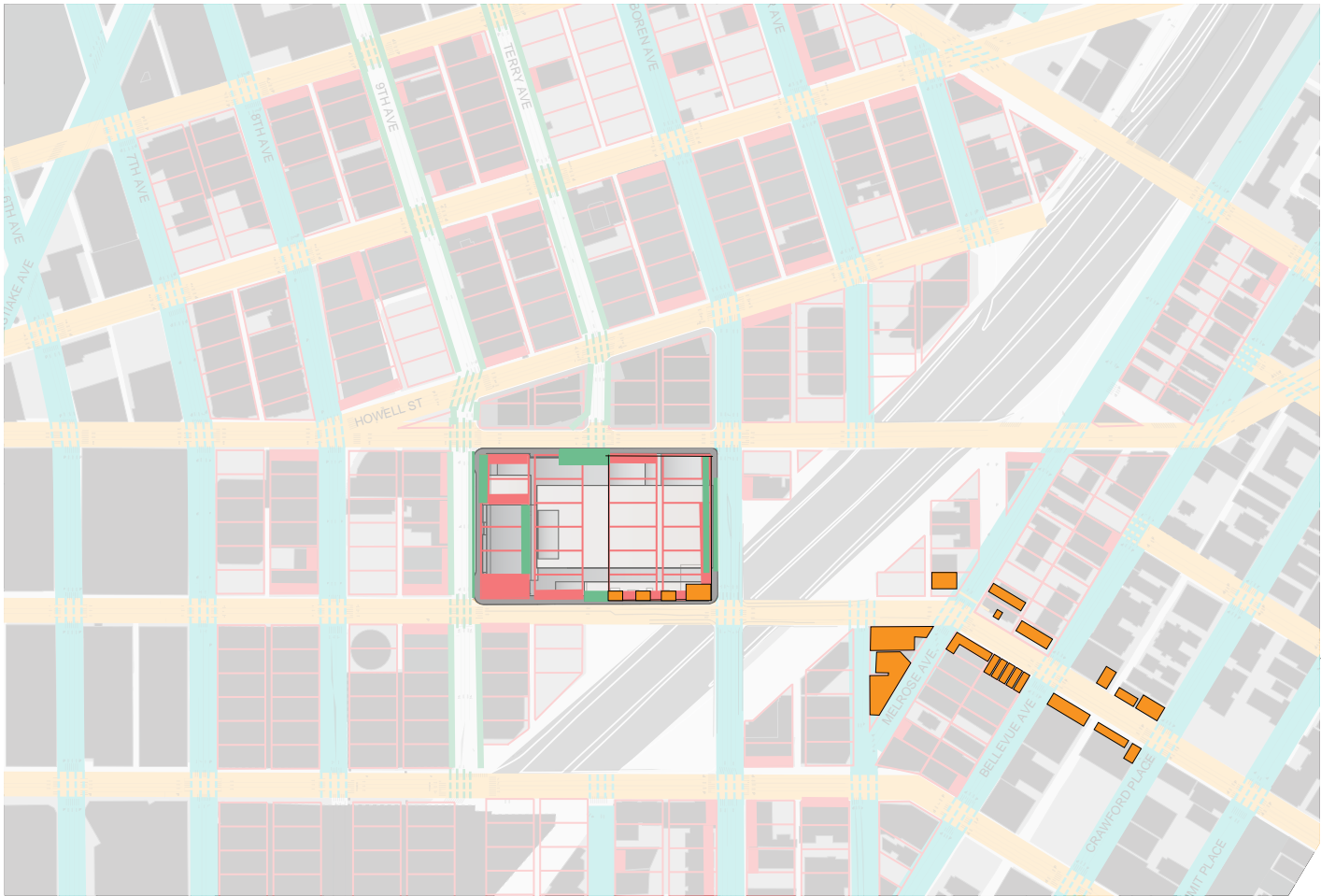
- Extend quirky small grain texture of Capitol Hill
- Collection of smaller elements anchors full block of retail experience
- Framed sculptural elements with varied infill character
- Express personal retail identity
- Seating platforms along Pine Street
- Views into facility from insideh and outside retail spaces
- Opportunity for small local retailers to provide services for public and delegates



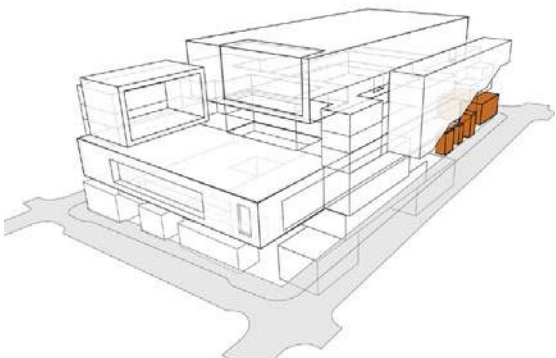
SCULPTURAL FRAMES
GUSTAV ARVIDSSON



SOUTH WALL



URBAN GRID

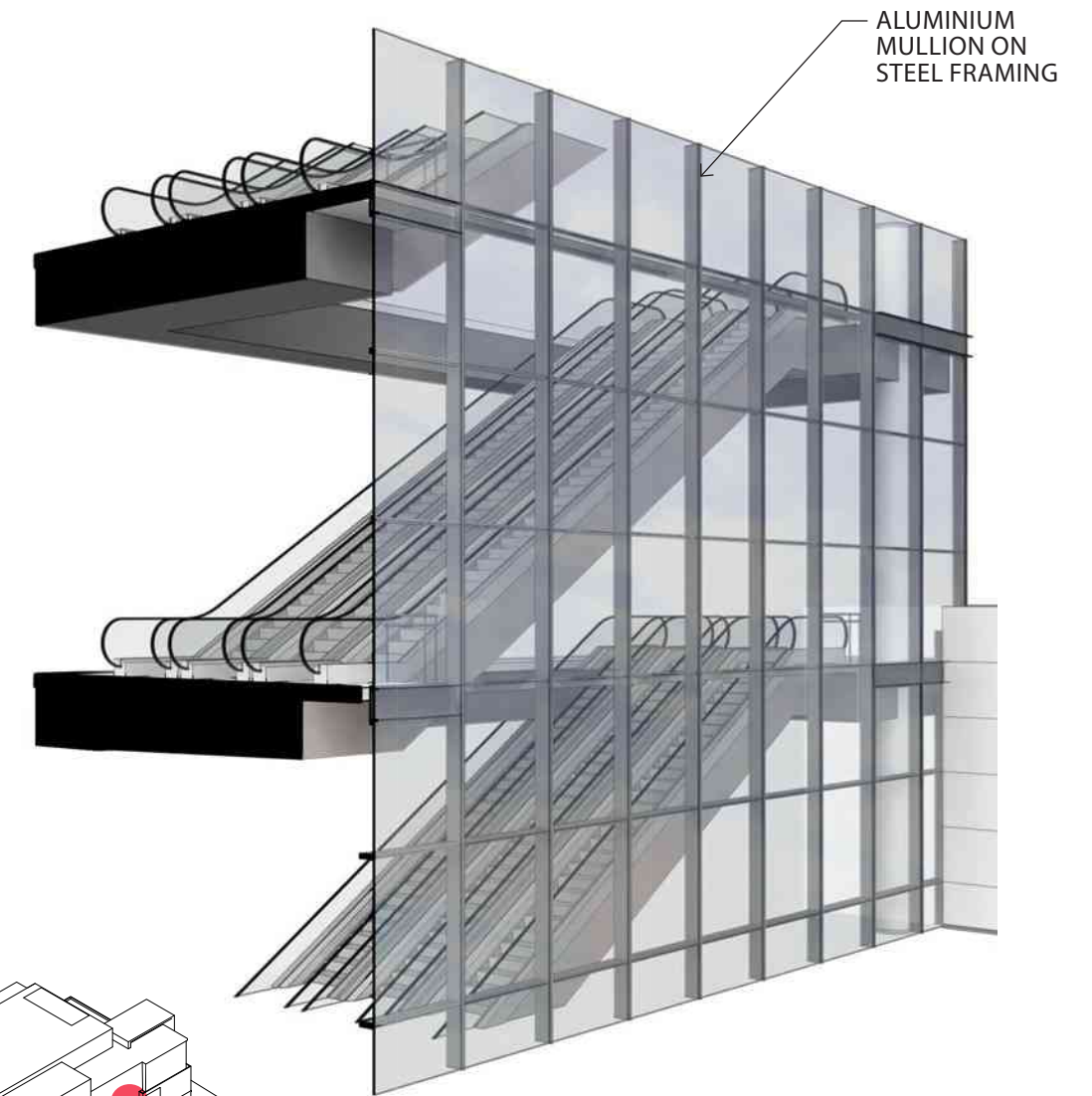
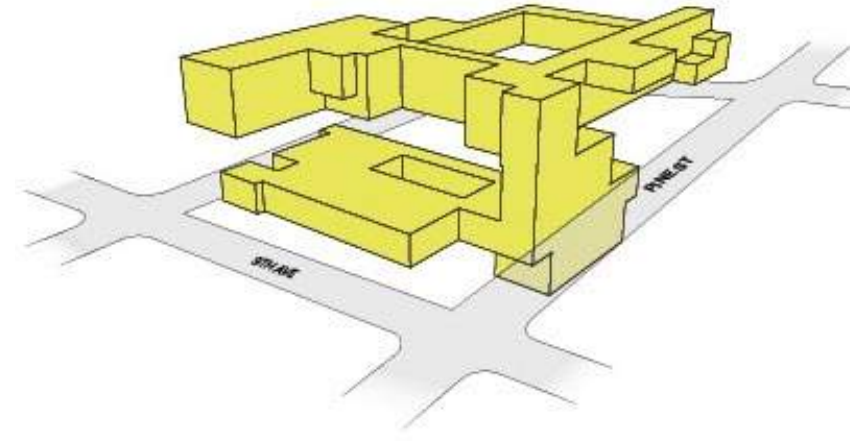


4 DESIGN RECOMMENDATION

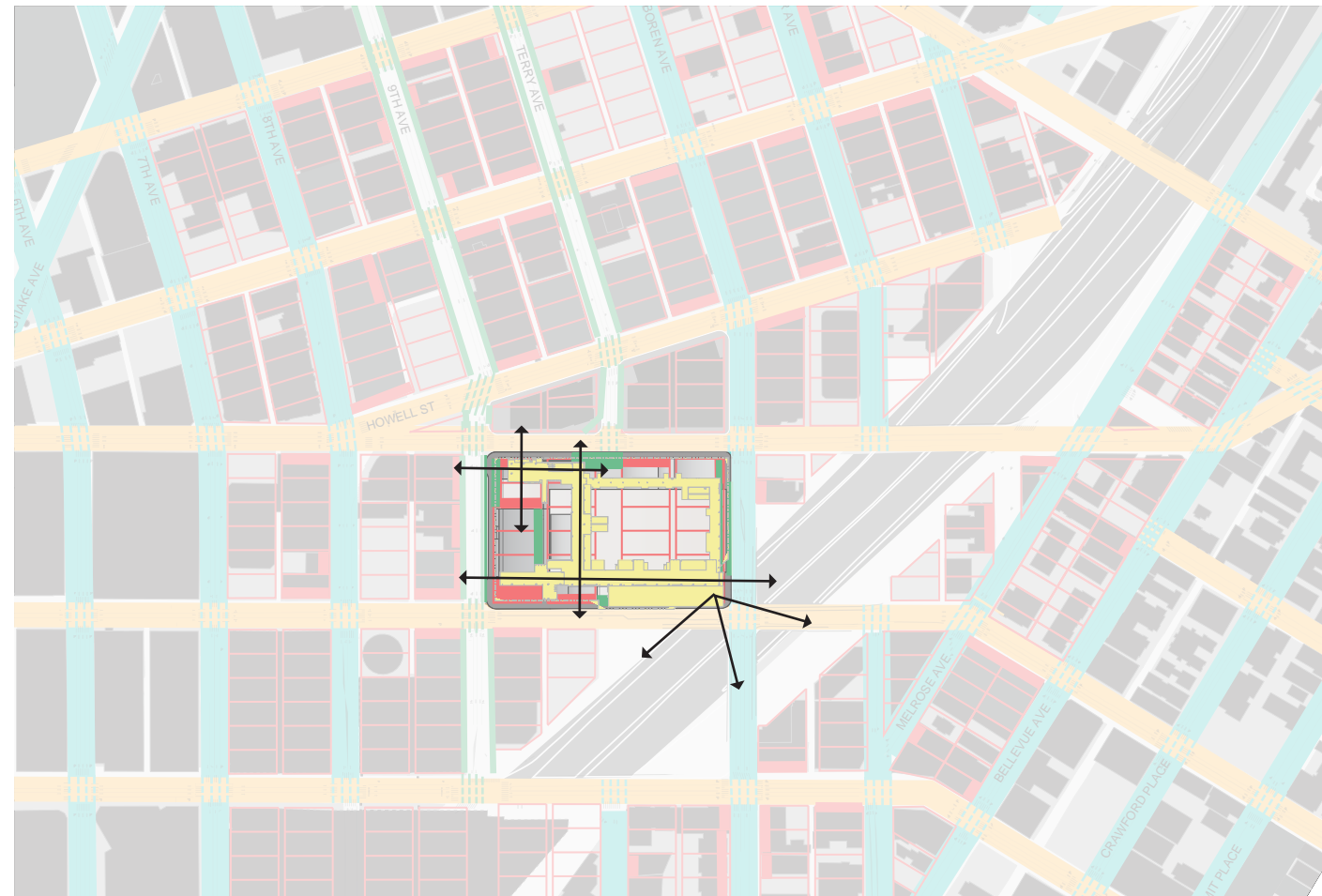
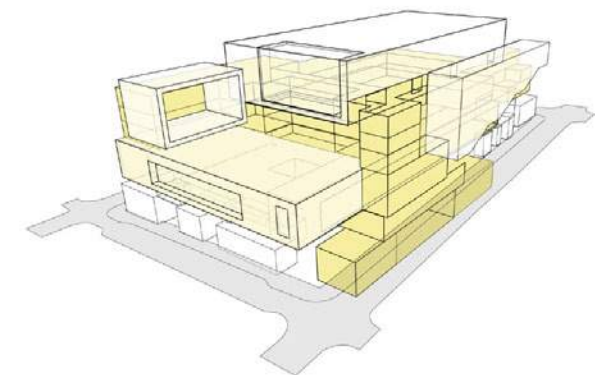
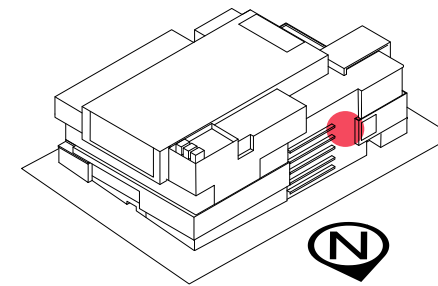
CONNECTIVE LOBBIES & SUPPORT SPACES

CONNECTIVE LOBBIES & SUPPORT SPACES

- Extension of Sidewalk, Urban Life
- Views of neighboring buildings / urban context
- Greenery at strategic building edges relating to Green Streets
- Unifying / Connecting all parts; the "Glue"
- Natural Light filled during the day; artificially illuminated during the night
- Spaces range in Scale, from large to fine details
- Activated by people and Events
- Continuity through simplicity

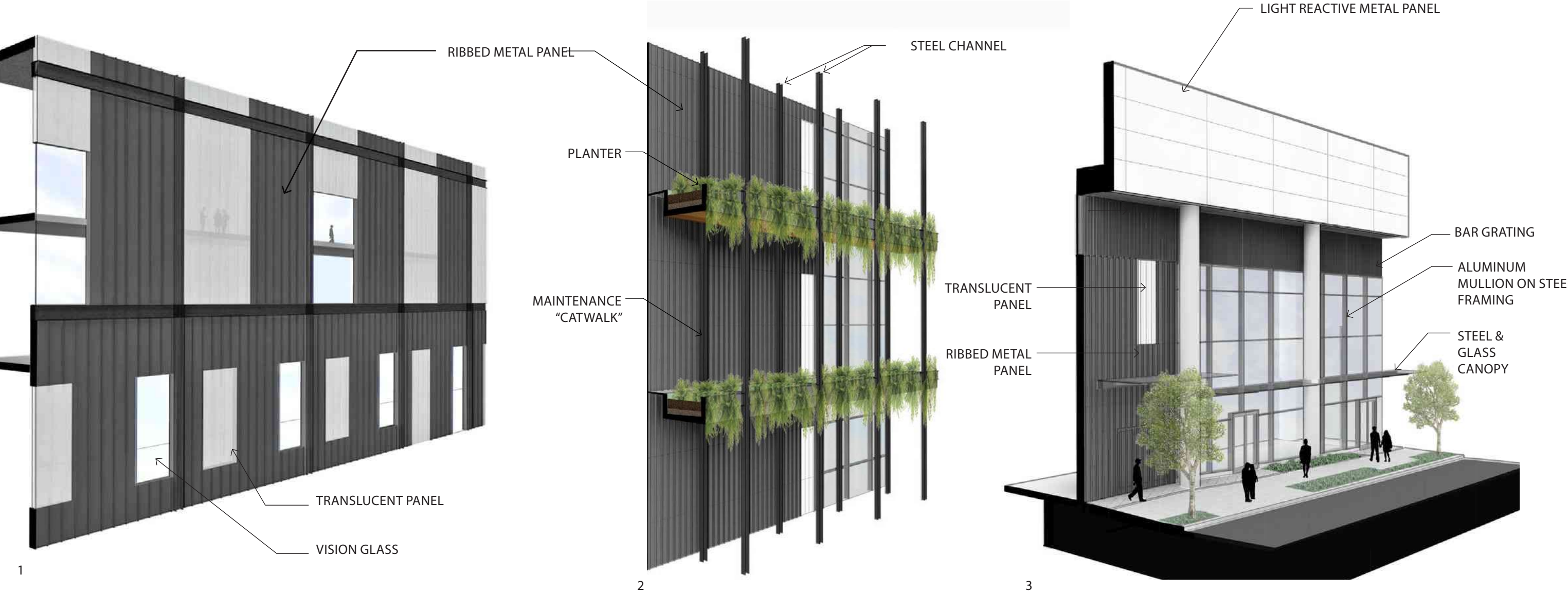


OLIVE WAY



4 DESIGN RECOMMENDATION

CONNECTIVE LOBBIES & SUPPORT SPACES



OLIVE WAY

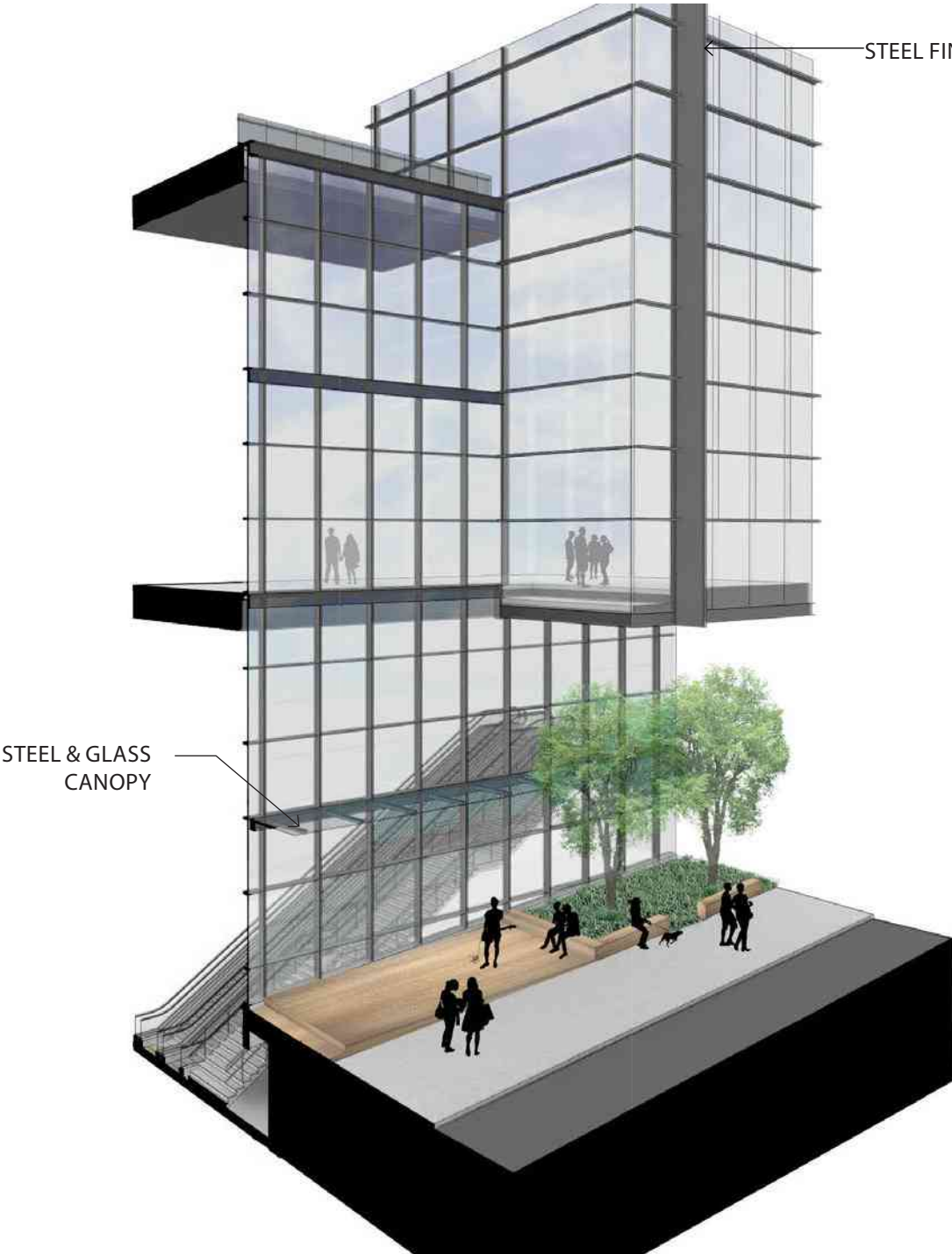
OLIVE WAY

OLIVE WAY





4 DESIGN RECOMMENDATION CONNECTIVE LOBBIES & SUPPORT SPACES



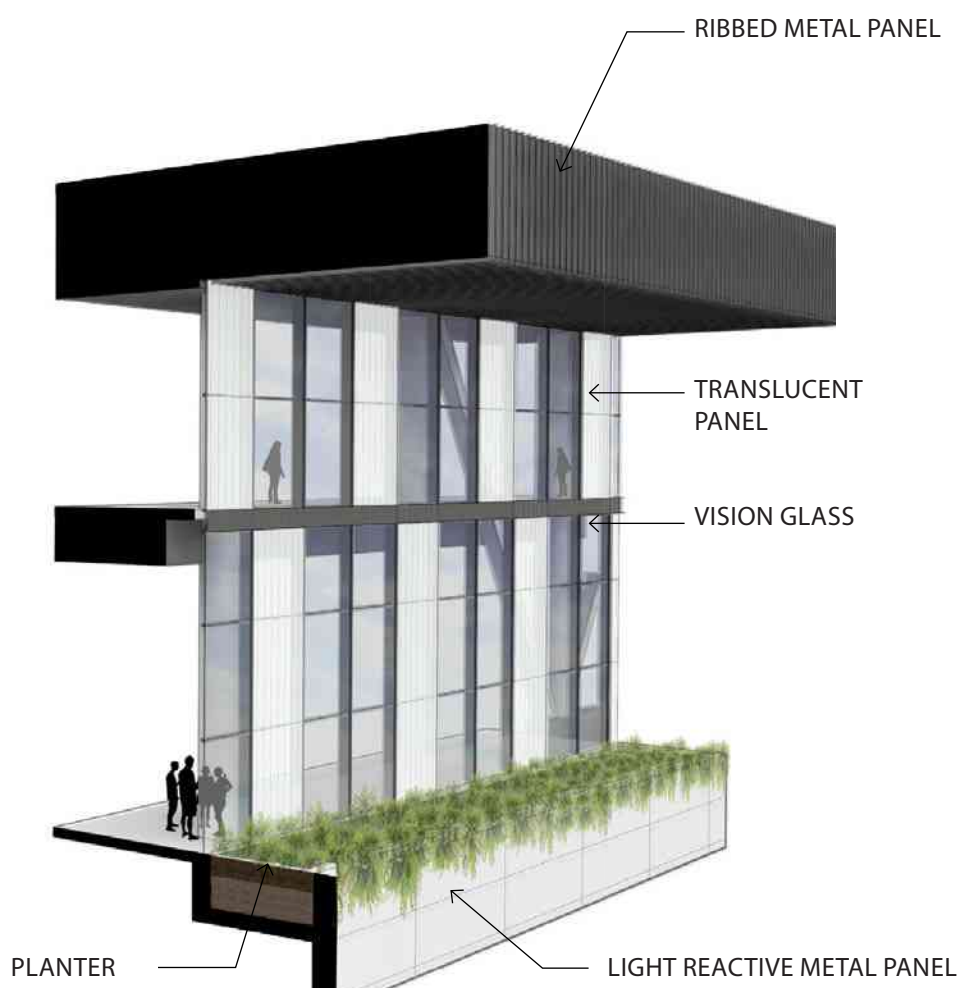
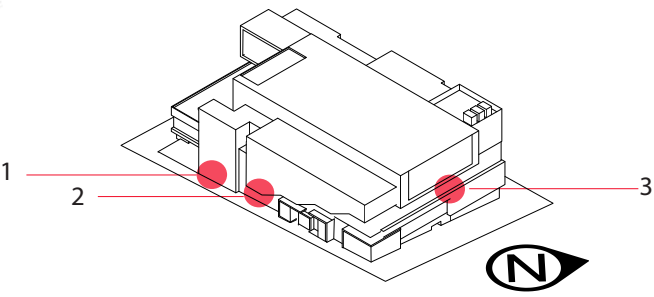
1

PINE STREET



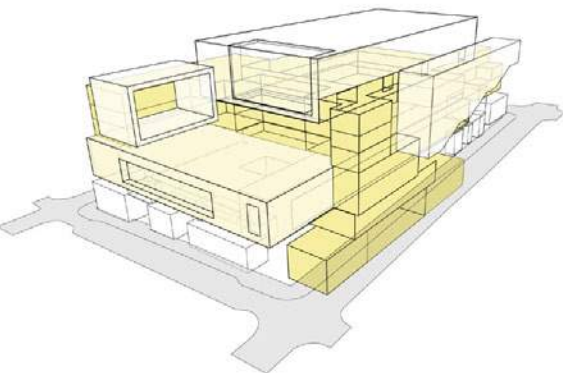
2

PINE STREET



3

BOREN AVENUE





















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4 DESIGN RECOMMENDATION

SITE PLAN

SITE DESIGN APPROACH

The individual elements of recommended design each have their own character, respond to the underlying urban framework, and collectively assemble to form the overall urban collage. The resulting composition is legible at grade, enriching the pedestrian experience through the composed layering of scale, variety, and texture.

The street level experience on Pine Street is composed of parts that respond to the typical urban condition in Seattle. The first half-block contains a secondary building entry and the Boren Beacon, a large retail volume that anchors the corner at I-5 and strengthens the connection to Capitol Hill. The second half-block contains the Pike Street Walk-Ups, a collection of funky sculptural retail spaces that cascade along grade interspersed with seating platforms and views vertically into the activity of the convention center program. The block is then articulated with a landscaped pause, marking the historic zone of Terry Avenue and providing opportunities for seating adjacent to lush plantings. The next half-block is the only section of Pine Street dedicated convention center presence at grade - providing views into the volume of pre-function lobbies, registration, atria above and exhibit hall below. The last half-block is setback from the street framed by the Paramount Theater and the corner plaza gradually opening to grade near the intersection with 9th Avenue.

The plaza at the intersection of 9th Avenue and Pine Street forms a signature civic presence at grade, welcomes visitors to the facility, provides views deep into and through the building, and the establishes the connection with the existing facility.

Fronting onto the plaza is the 9th Avenue Market Hall and Mixing Zone, which, together with the plaza, form a entire half-city block of publicly accessible street level activity within the footprint of the facility. Conceived as an attractive local amenity, the Market Hall and Mixing Zone occupy the rich intersection of convention center delegates, local visitors, and retail patrons.

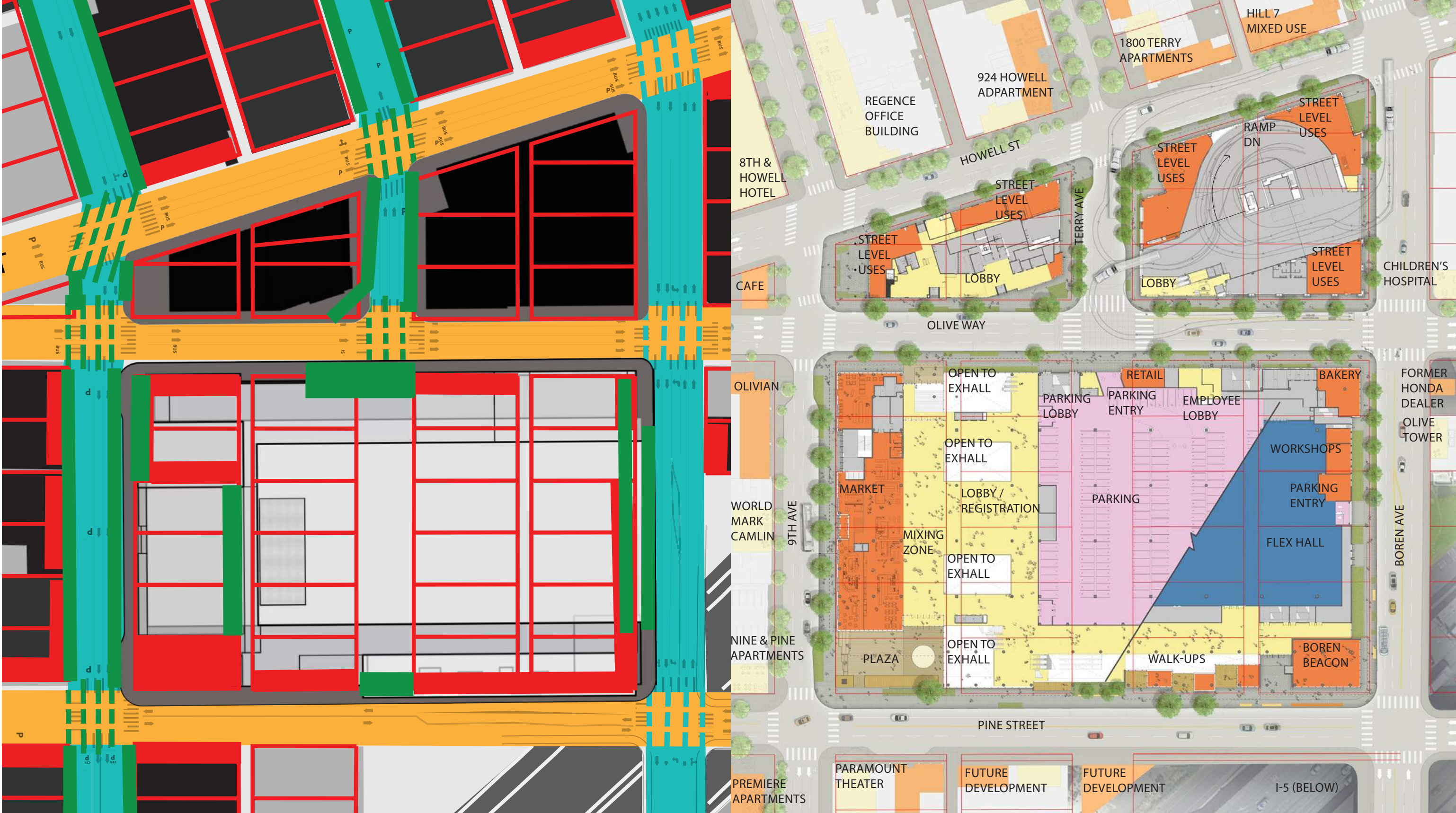
The street level experience along 9th Avenue is fronted almost entirely by the Market. Formally, the Market is a pavilion at grade that slides into the composition of the building, responding to

the topography along 9th Avenue and providing internal vertical circulation to the Mixing Zone. The Market has a primary entrance and collective identity from 9th Avenue, with opportunities for individual tenants to add their own expression and open directly onto the street.

Ground level experience on Olive Way is similarly broken into block segments as Pine Street. A large volume of retail space anchors the corner of 9th Avenue and Olive Way, wrapping the corner to the north entrance. Along with the north entrance, the Market hall occupies the first half-block along Olive Way. The north entrance is an extension of the Mixing Zone connecting directly to the Plaza on the south end. The next half-block contains pre-function, registration, and large floor opening along the street edge carving views deep into the facility and exhibit hall below. The street grid, at the intersection of Terry Avenue, creates a natural and predictable signalized intersection for the entrance into the shared parking garage for the convention center and co-development sites. The intersection is reinforced with additional retail space and parking lobby, The remaining block is composed on smaller grain variation of employee lobby, service spaces, anchored at the corner of Boren Avenue with a large retail space (planned as the Bakery for the convention center).

Boren Avenue is the most steep of any frontage in the entire project. An important link the city, heavy traffic and exposure to I-5 makes a challenging pedestrian edge. Additionally, the climbing grade up to Capitol Hill raises the zone that pedestrians experience well above sidewalk grade. The building edge is setback along the central length of street frontage, while anchored at each corner with two large retail volumes, connecting back to Capitol Hill. The facade is further punctuated with a large window into the flex hall and punched openings into workshop spaces on the exterior. The additional setback area creates the opportunity for a lush two-sided landscape experience at grade that creates a much more pleasant sidewalk along a busy thorough-fare. Egress and parking garage access zones bridge over the landscape to emphasize the continual planter at the building edge.

4 DESIGN RECOMMENDATION SITE PLAN



URBAN FRAMEWORK SITE PLAN

4 DESIGN RECOMMENDATION SITE PLAN

SITE PLAN





4 DESIGN RECOMMENDATION FLOOR PLANS

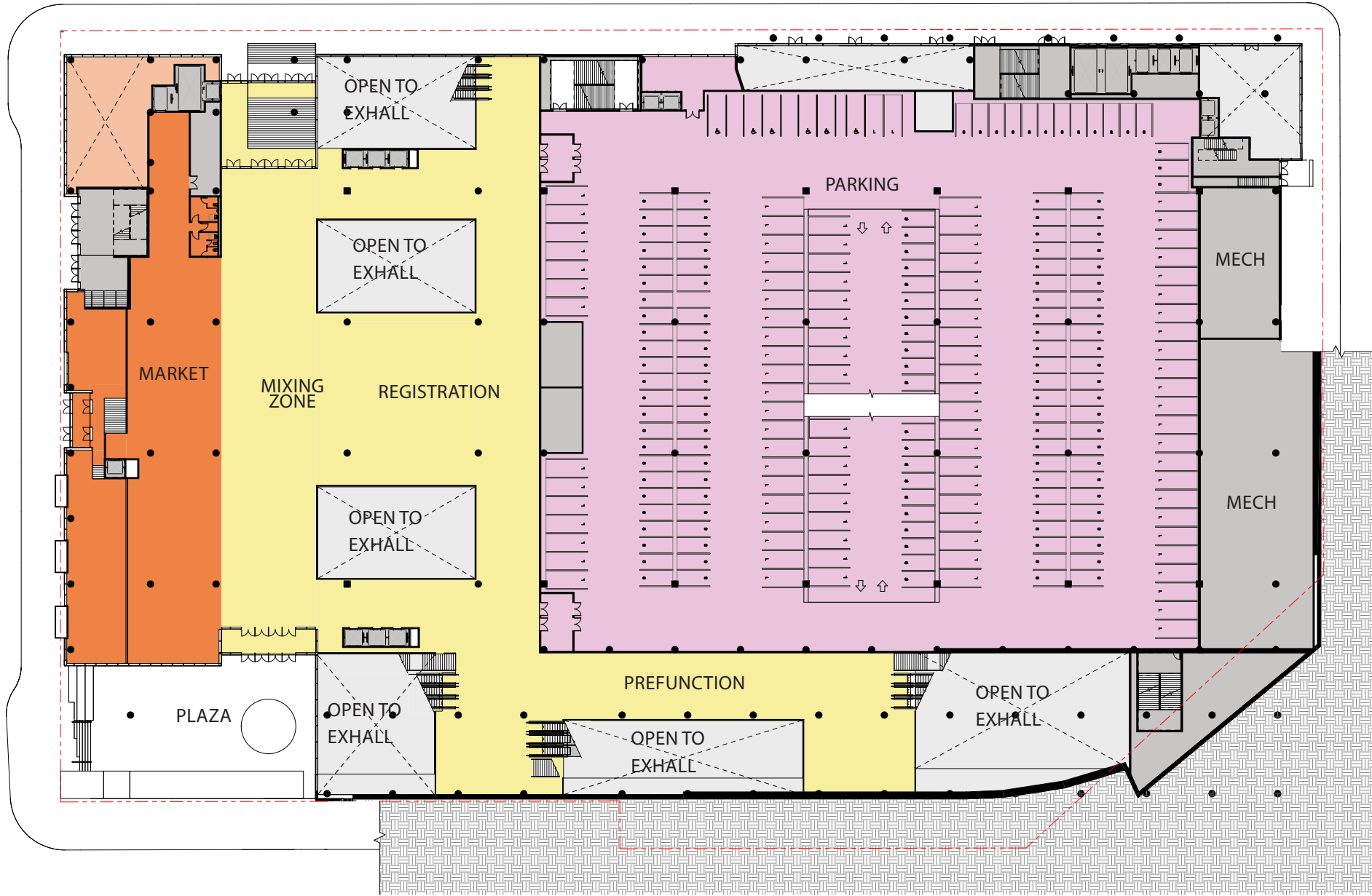
LEVEL B2





4 DESIGN RECOMMENDATION FLOOR PLANS

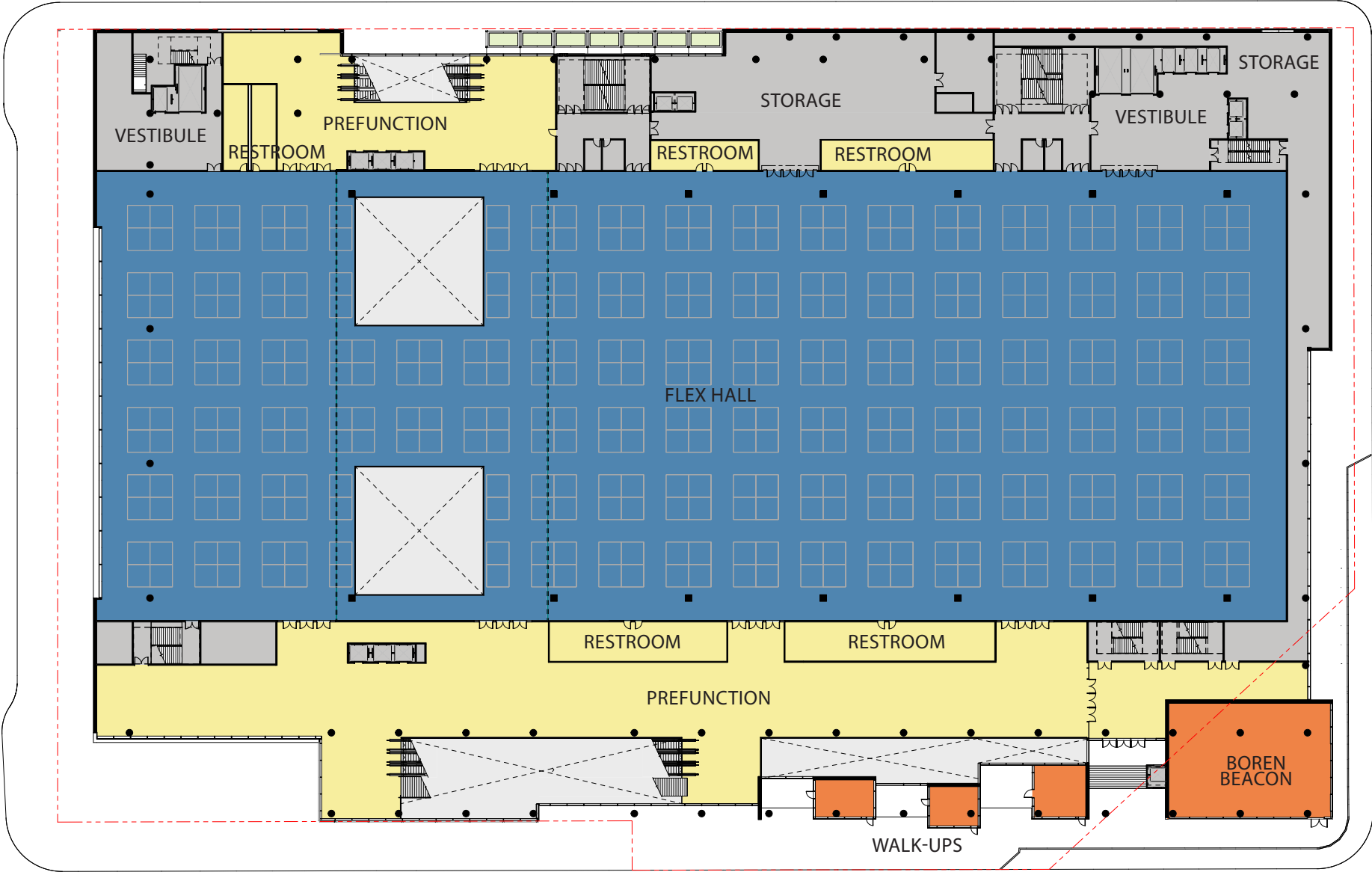
LEVEL 2





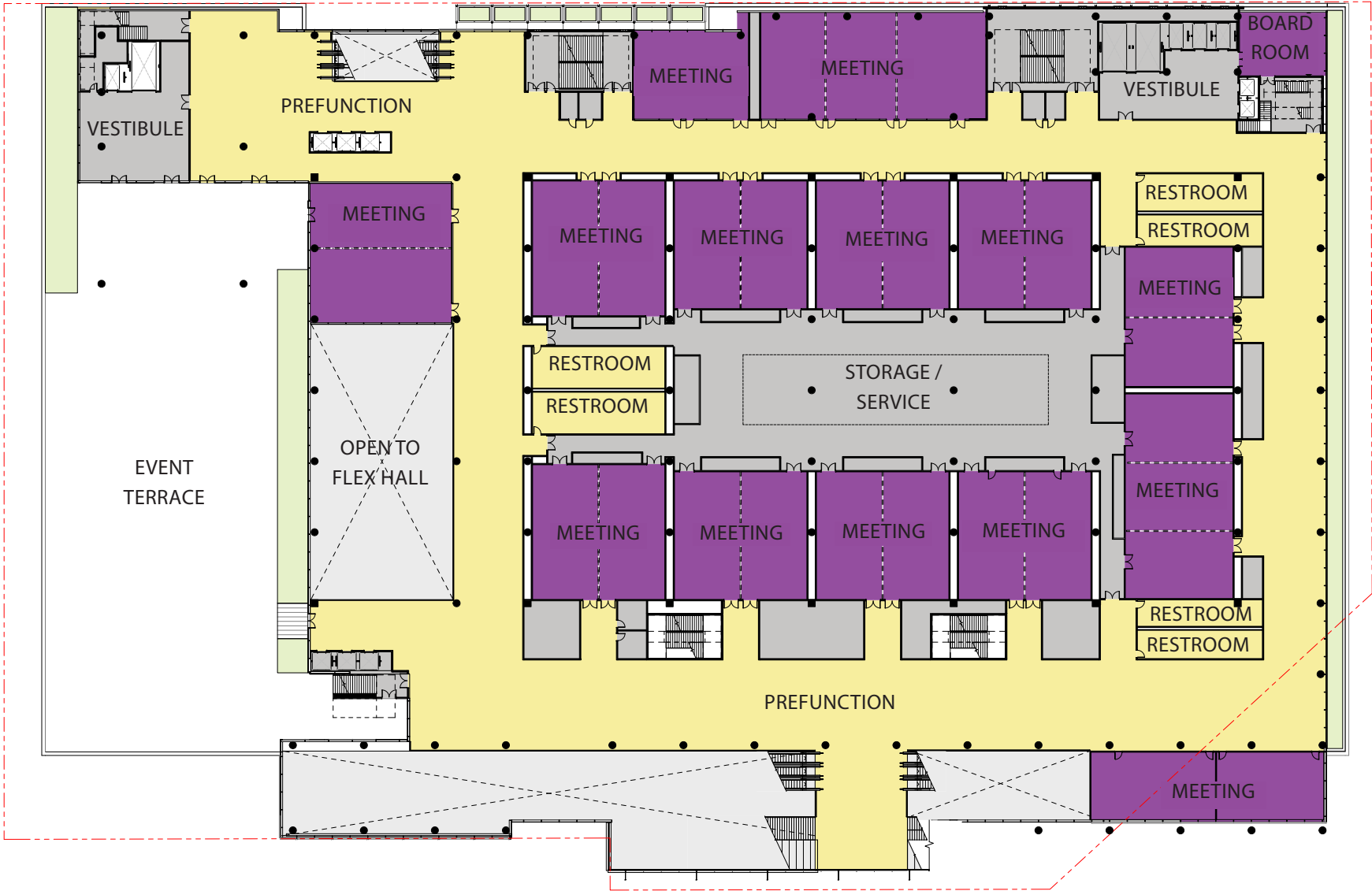
4 DESIGN RECOMMENDATION FLOOR PLANS

LEVEL 5



4 DESIGN RECOMMENDATION FLOOR PLANS

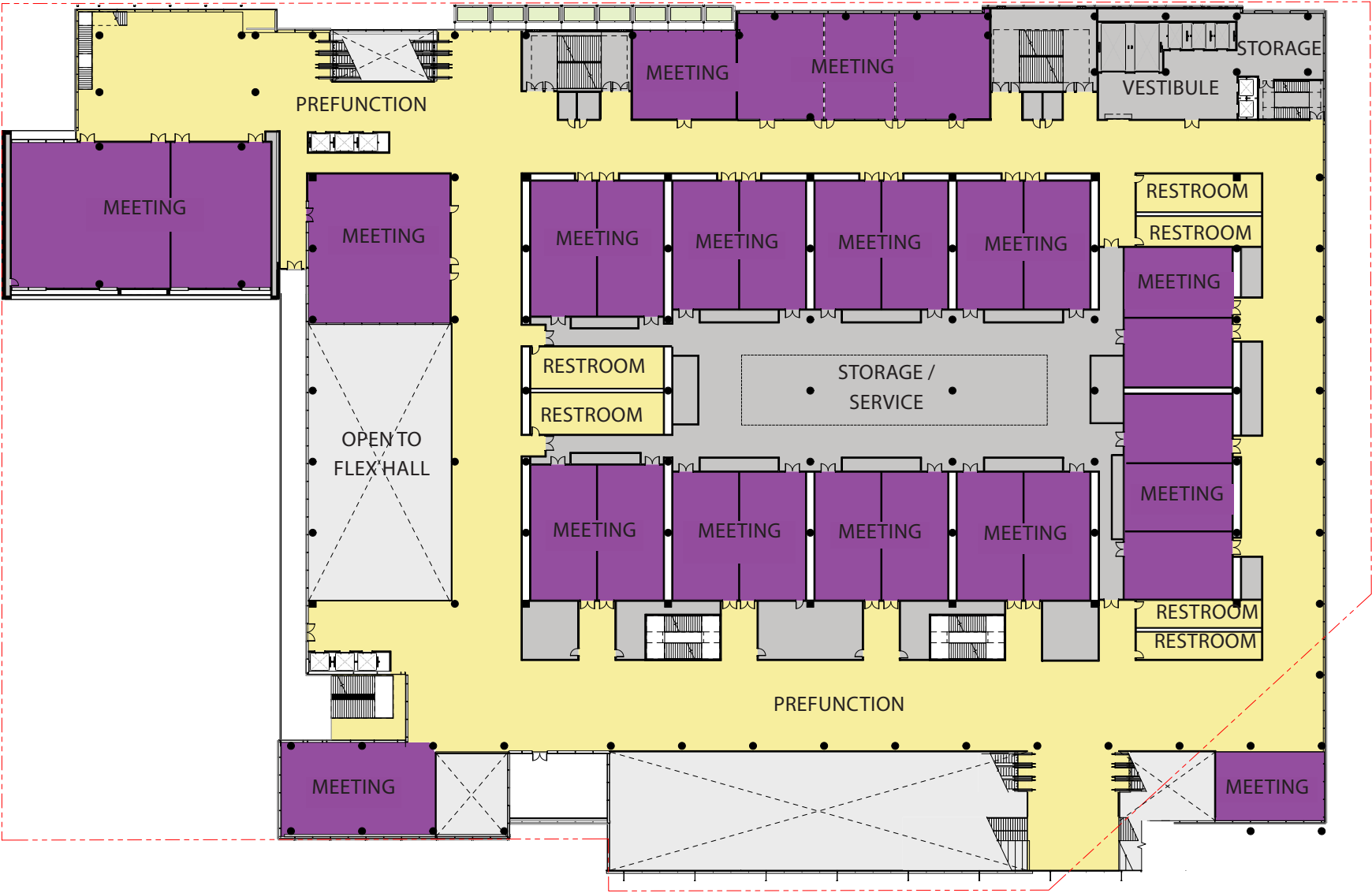
LEVEL 8





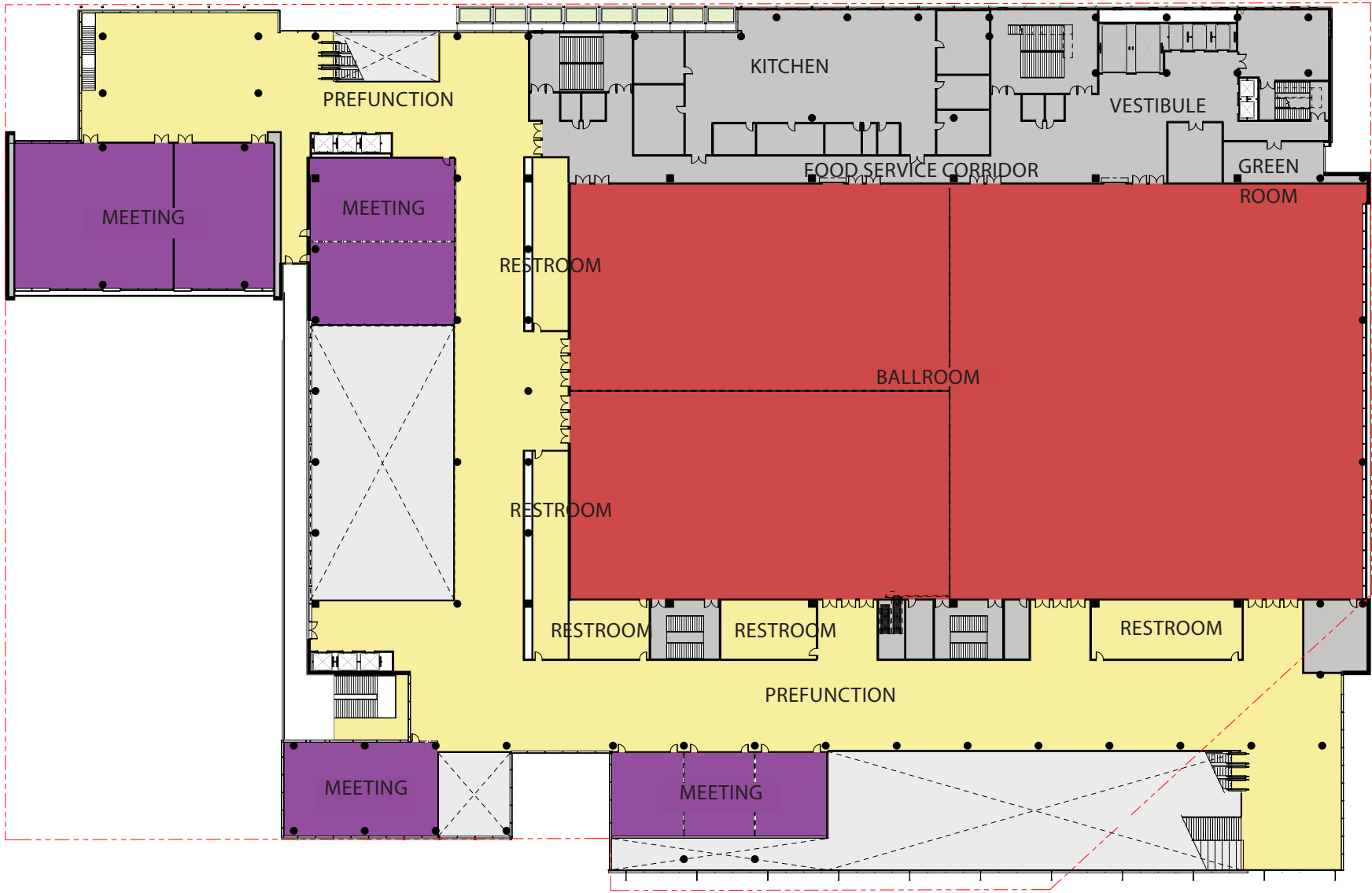
4 DESIGN RECOMMENDATION FLOOR PLANS

LEVEL 9



4 DESIGN RECOMMENDATION FLOOR PLANS

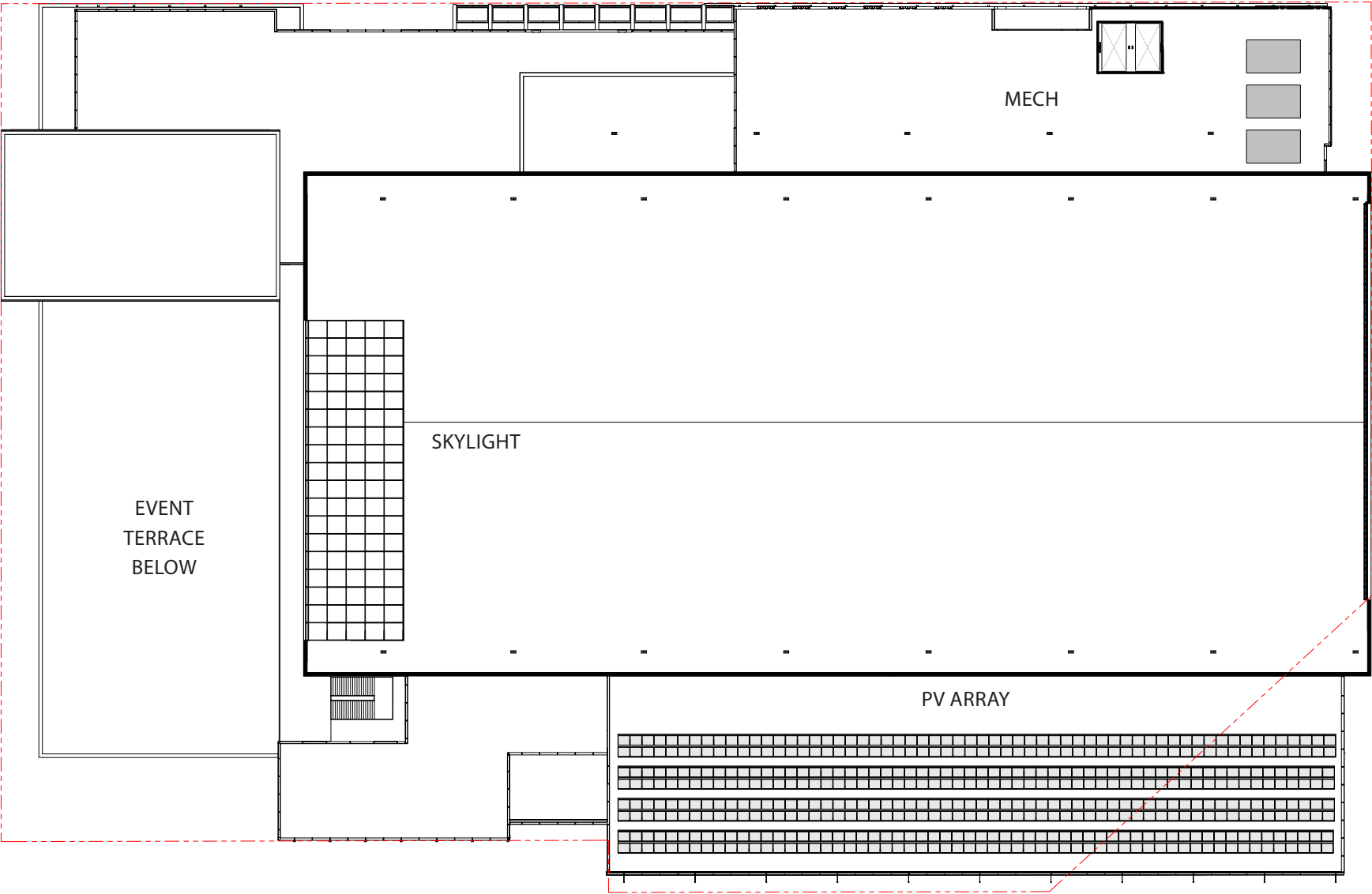
LEVEL 10





4 DESIGN RECOMMENDATION FLOOR PLANS

LEVEL 13




4 DESIGN RECOMMENDATION MATERIALS

MATERIAL CONCEPT
The material concept for the building is to occupy the intersection between the character of its context and dynamic qualities of changing events inside.


The building material palette emphasizes the exterior as a silhouette, receding to frame the activity of the interior and accentuate the changing character of events -- an active participant in the building story and material palette. The detailing of all systems will express the small scale elements and craftsmanship in the construction.

- Flex Hall: Light reactive metal panel to interact with context buildings, day and night light qualities, streetscapes, and events.
- Curtain wall: Transparent quality frames activity within. The dark color, low sheen metal paint finish is seen as a silloutte looking in or looking out.
- Ballroom: Dark color, high gloss with ribbed metal panel creates a crisp frame for the major openings into the Ballroom and Atria. The surface will react to the changing daylight with textured shadows and highlights. The translucent panel facing I-5 will be back-lit by Ballroom ceiling and event lighting.
- Signature Meeting Room: Dark, low sheen, ribbed metal panels and metal frames at edges.
- Pine Street Stair: Highly transparent window system with low iron glass revealing wood finished stairs and seating platforms within.
- Retail: Pedestrian scale, crafted character, language of wood elements, operable storefronts, local/personal character of tenants.

A




An architecturally integrated planting palette that celebrates the character of the region.

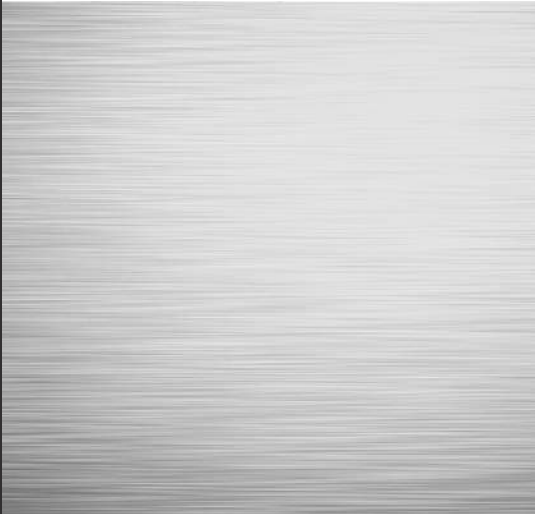


Accents of wood provide warmth and richness to pedestrian spaces.

B




Dark, low sheen ribbed metal panel




Light reactive metal panel

C




Dark, high gloss ribbed metal panel

D



Translucent panel and lighting effects

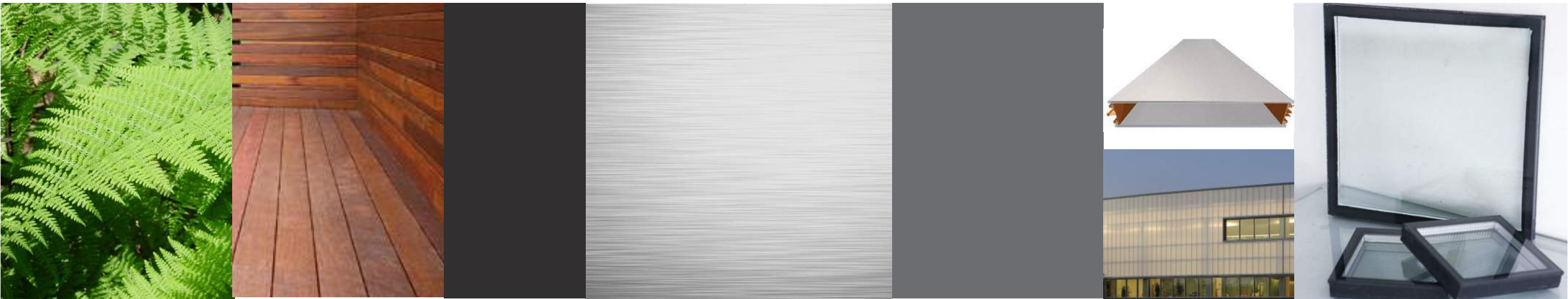
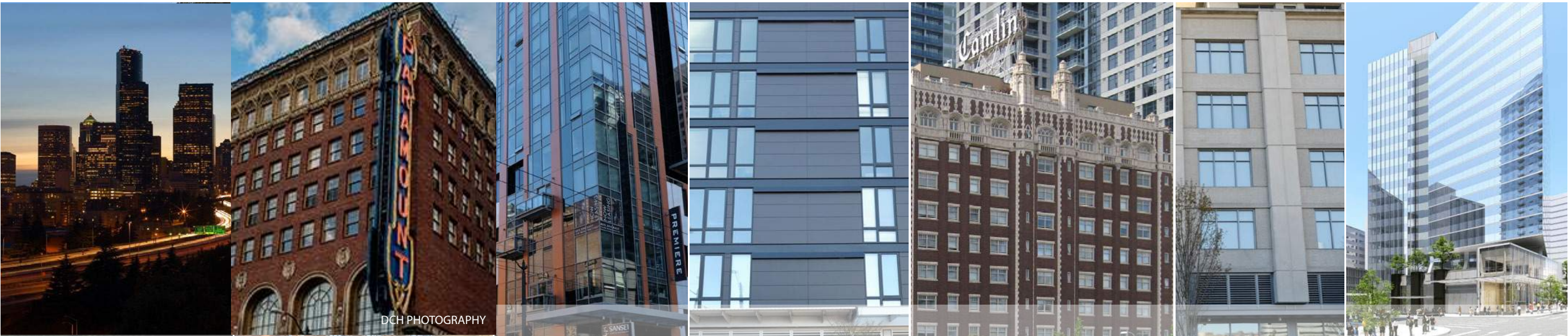
E



Transparent glazing



4 DESIGN RECOMMENDATION MATERIALS



SEATTLE PI, PHOTO CREDIT: JOSHUA TRUJILLO

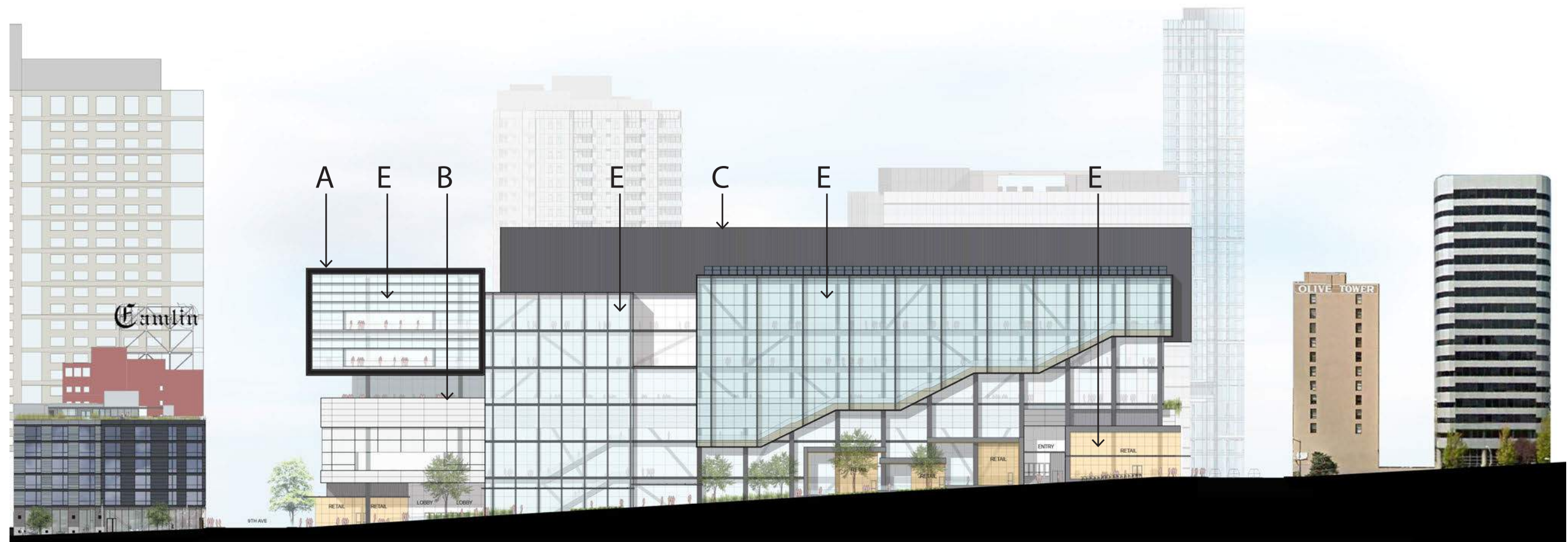
CEILING PLUS: MIDTOWN FINAICAIL COMPANY

4 DESIGN RECOMMENDATION

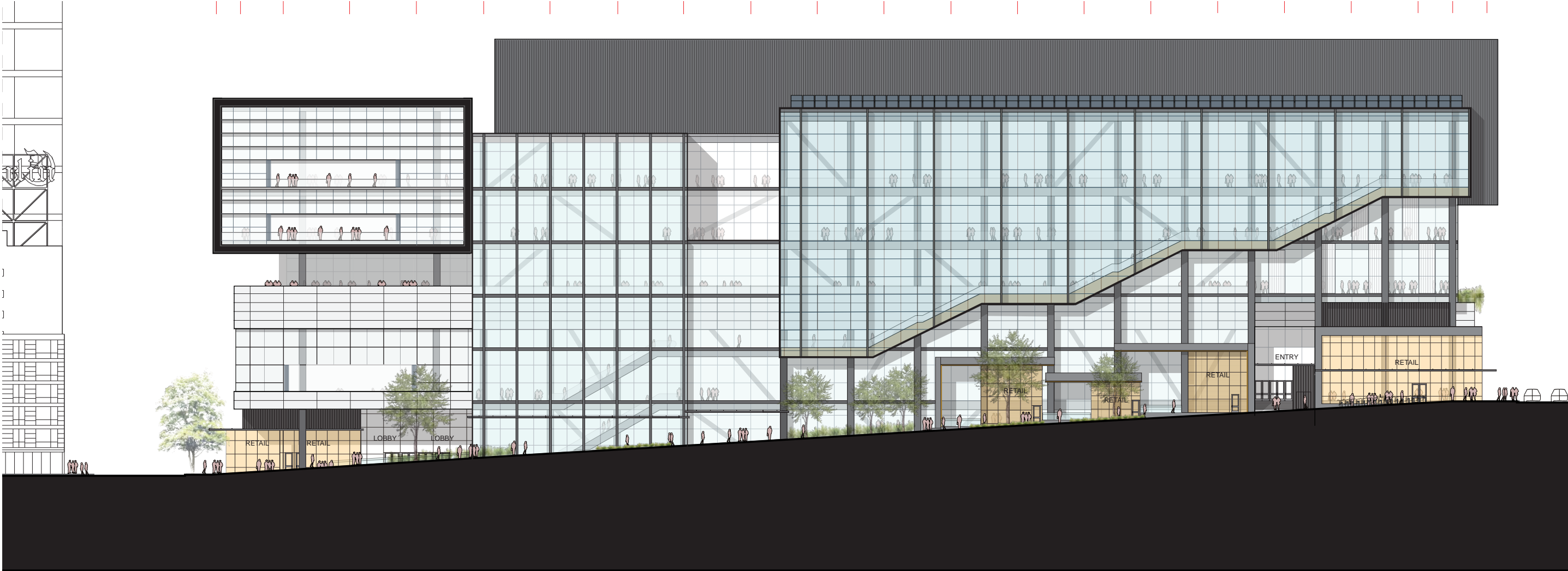
PINE STREET ELEVATION

CONCEPTUAL APPROACH

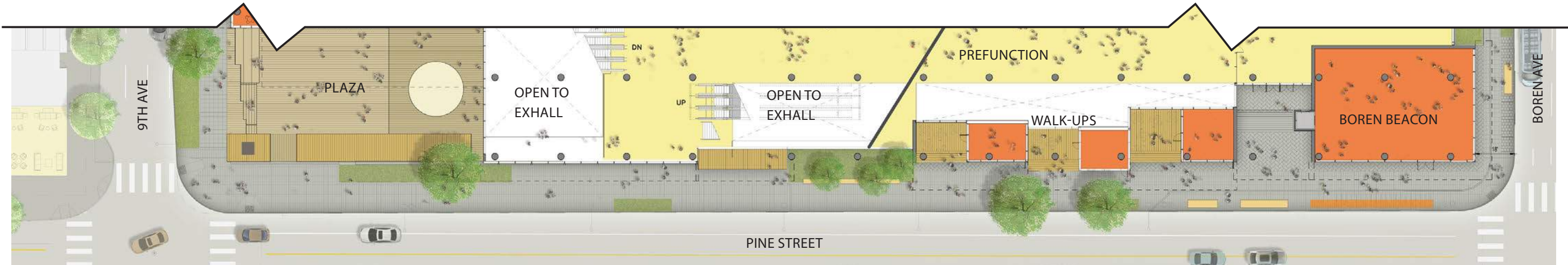
- Hillclimb - stadium - participate in city, view to market and capitol hill, signature sculpted form, soffit , wind load structure (texture, rhythm)
- Curtain wall patterning, hierarchy, pattern
- Boren Beacon, special retail space, strong visual connection to Capitol hill
- Walk-ups, porches - funky small character of Capitol hill
- View into/out of activity of facility, floor openings
- Pattern of full block retail, street (landscape pause, seating opportunities)



4 DESIGN RECOMMENDATION PINE STREET ELEVATION



PINE ST ELEVATION



PINE ST PLAN

4 DESIGN RECOMMENDATION

OLIVE WAY ELEVATION

CONCEPTUAL APPROACH

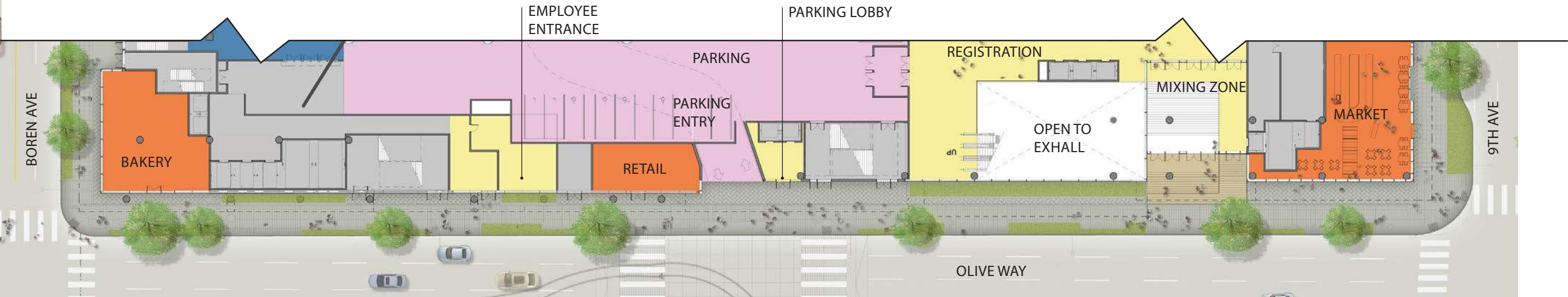
- Different texture metal panels, mixed with translucent, and transparent glazing - light, views, activity, texture
- End of Terry framed by massing on Olive, garden trellis structure - transition green street to 9th
- Flex hall - 1 element visible on all sides - sculpted to react to context, program special surface
- Overlapping forms, variety of texture
- Visibility onto activity, circulation, ex hall, atrium
- Expressive treatment of service areas, egress stairs



4 DESIGN RECOMMENDATION OLIVE WAY ELEVATION



OLIVE WAY ELEVATION



OLIVE WAY PLAN

4 DESIGN RECOMMENDATION

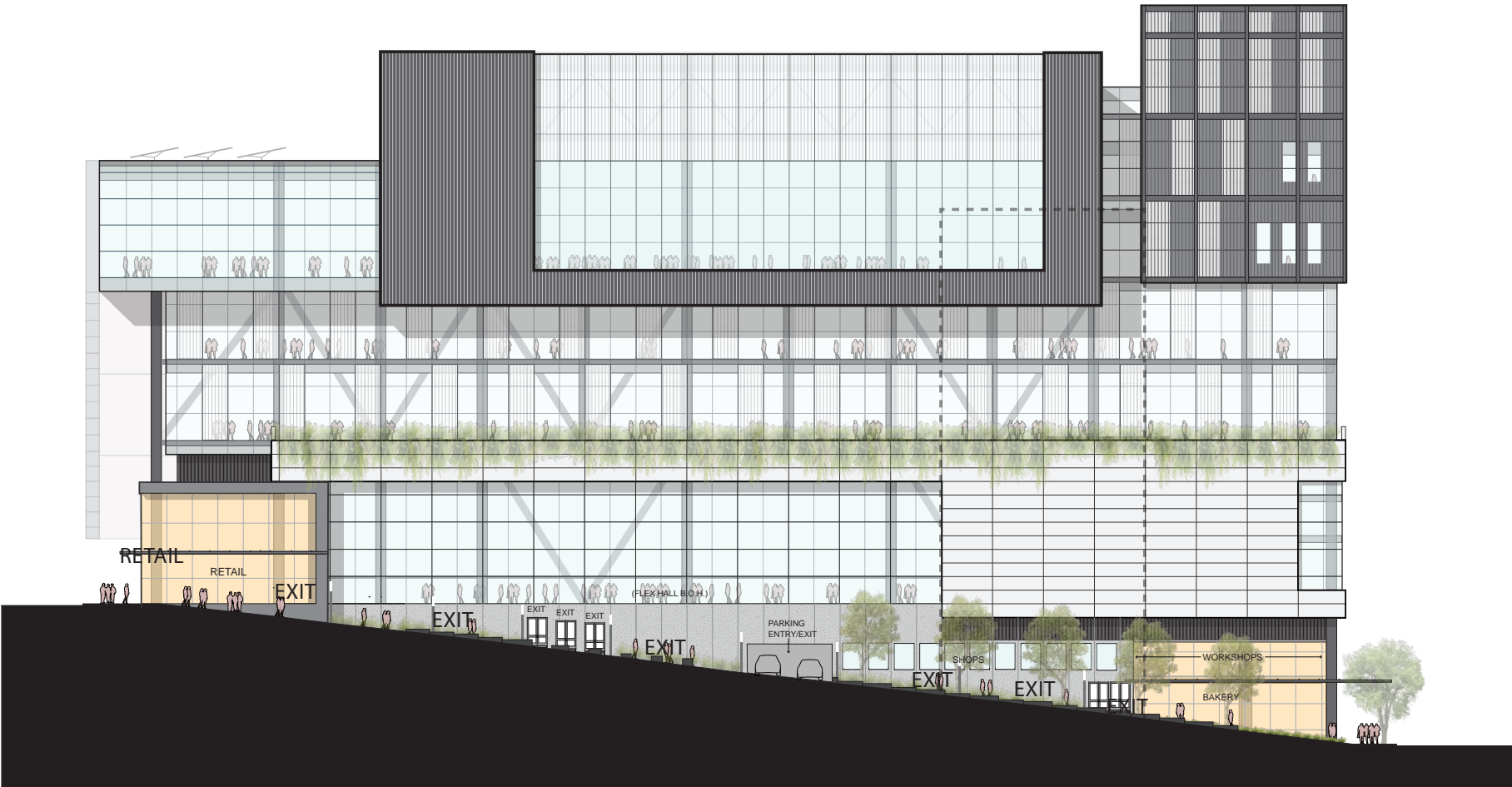
BOREN AVENUE ELEVATION

CONCEPTUAL APPROACH

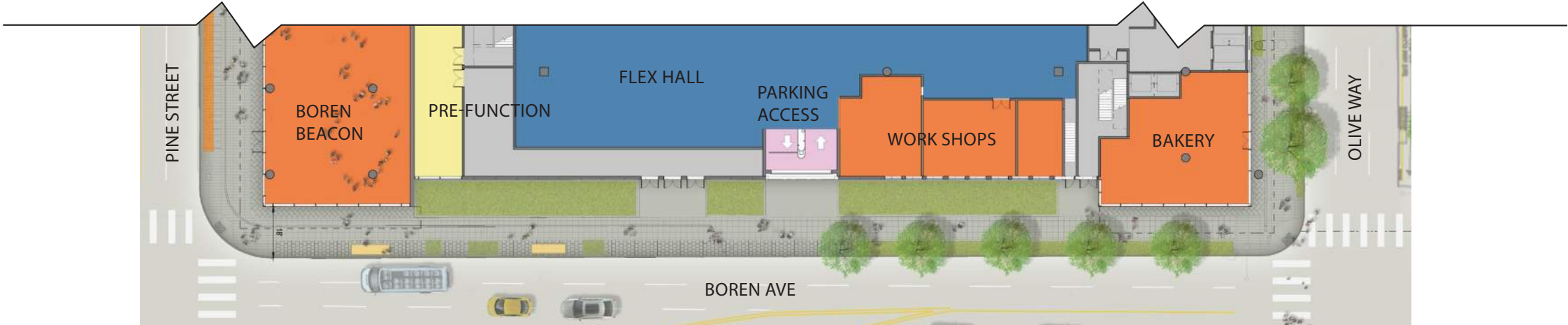
- View into flex hall, beyond from capitol hill
- Ballroom ceiling - event, non event, translucent panel above - open, lighten box to sky, theatrical lighting
- Pedestrian edge is a garden, steep slope framed by landscape
- Larger retail frontage
- Workshop spaces, new windows
- Revised planter on flex hall (no terrace)
- Reduced exit stairs
- Texture of panels, translucent/transparent/solid
- Variety of metal panels
- Green wall now green edge - anchored curb form base of building large planted edge



4 DESIGN RECOMMENDATION BOREN AVENUE ELEVATION



ENLARGED BOREN AVE ELEVATION



ENLARGED BOREN AVE PLAN

4 DESIGN RECOMMENDATION

9TH AVENUE ELEVATION

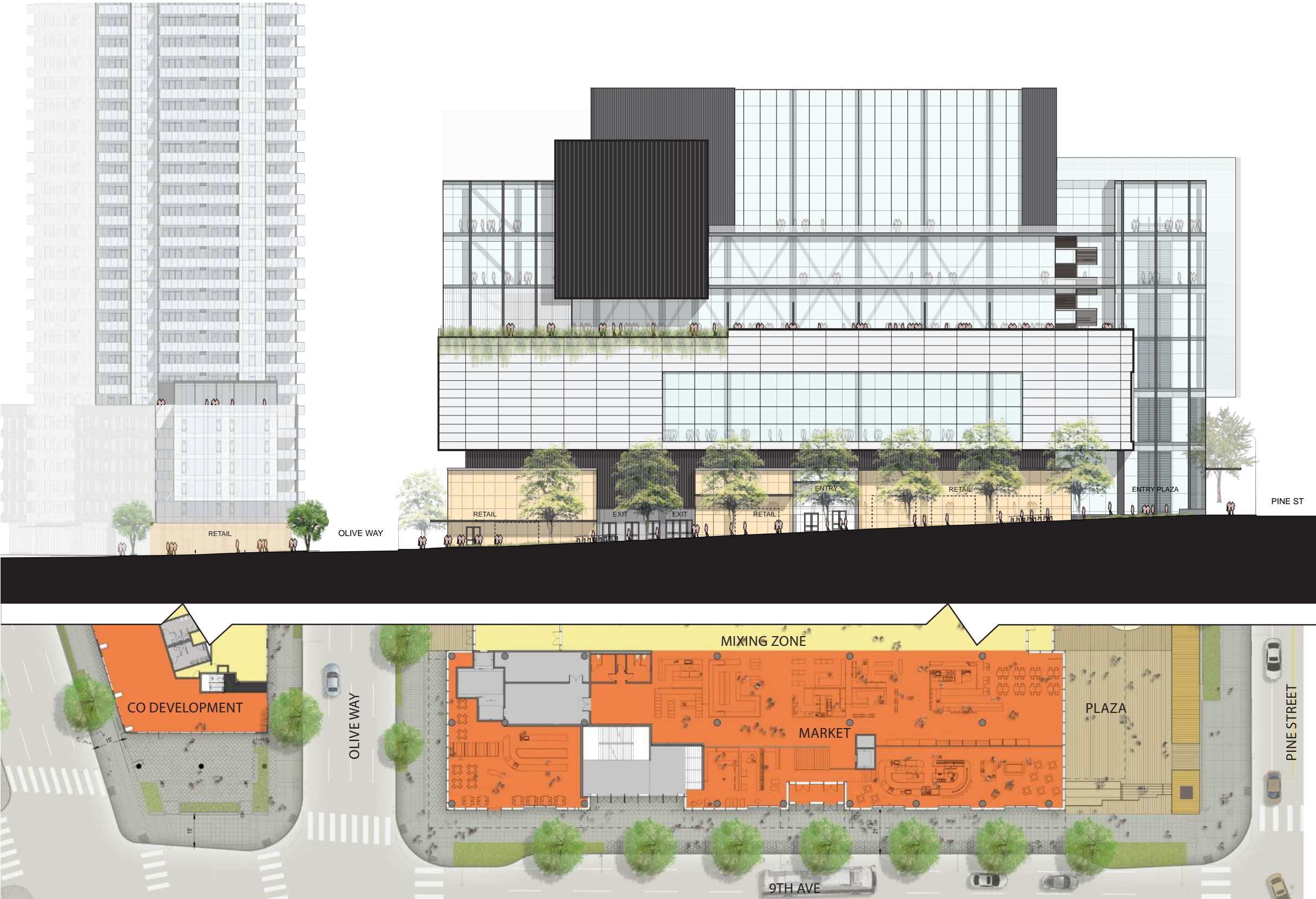
CONCEPTUAL APPROACH

- Open up ballroom box to sky - view of downtown skyline
- Market hall - open to street - connect/entry to mixing zone
- Market pavilion quality
- Flex hall box windows, unique character
- Signature meeting box character
- Entry into plaza - generous open seating/stair

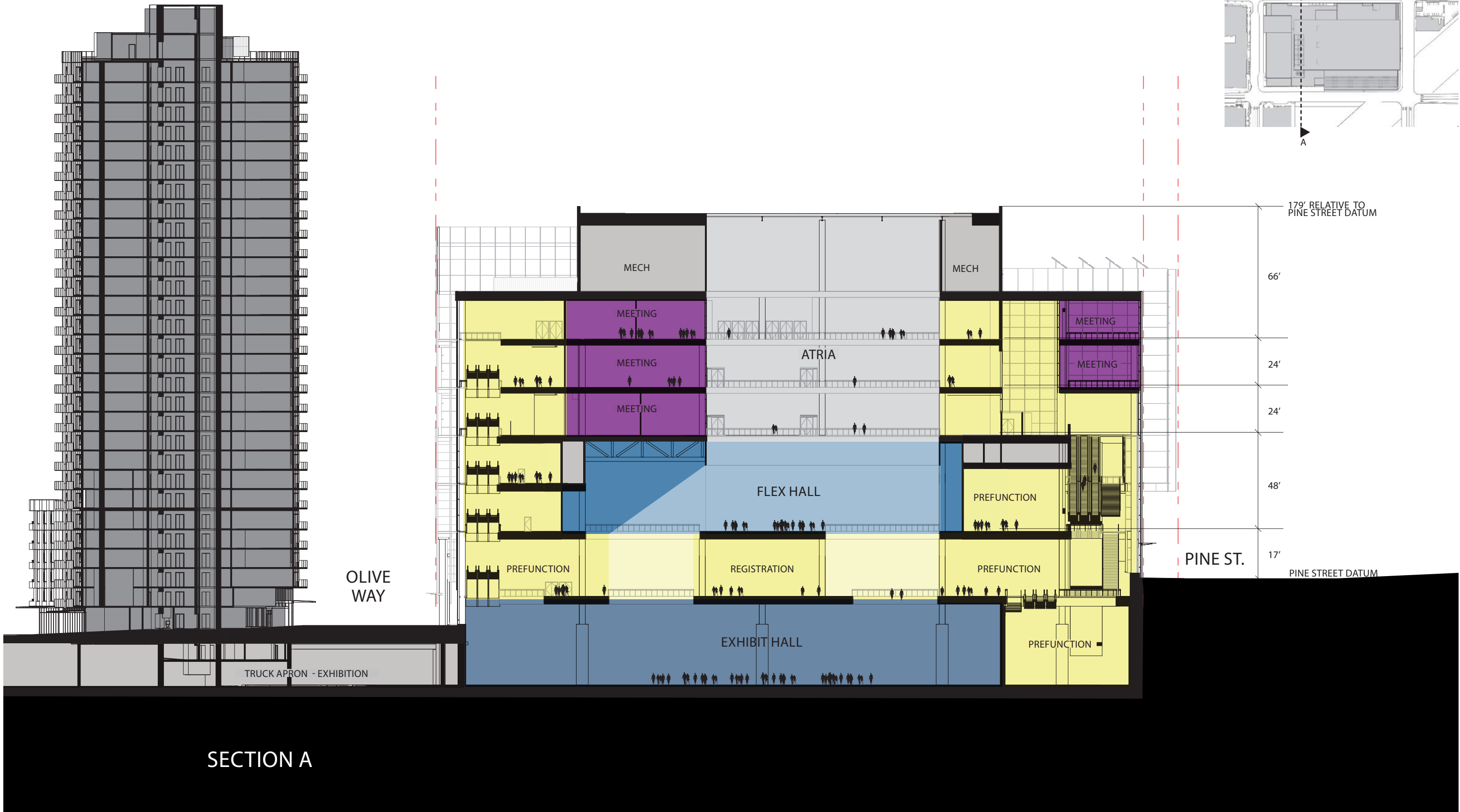
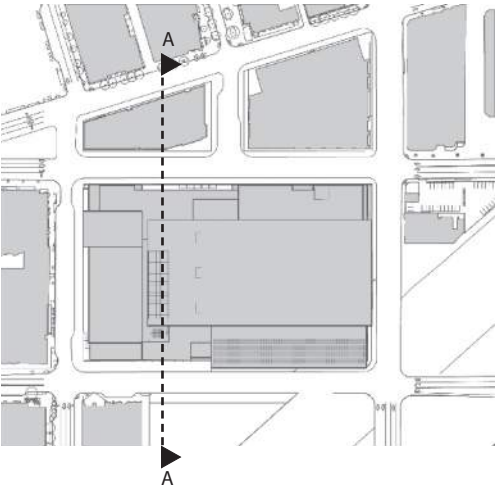


4 DESIGN RECOMMENDATION

9TH AVENUE ELEVATION

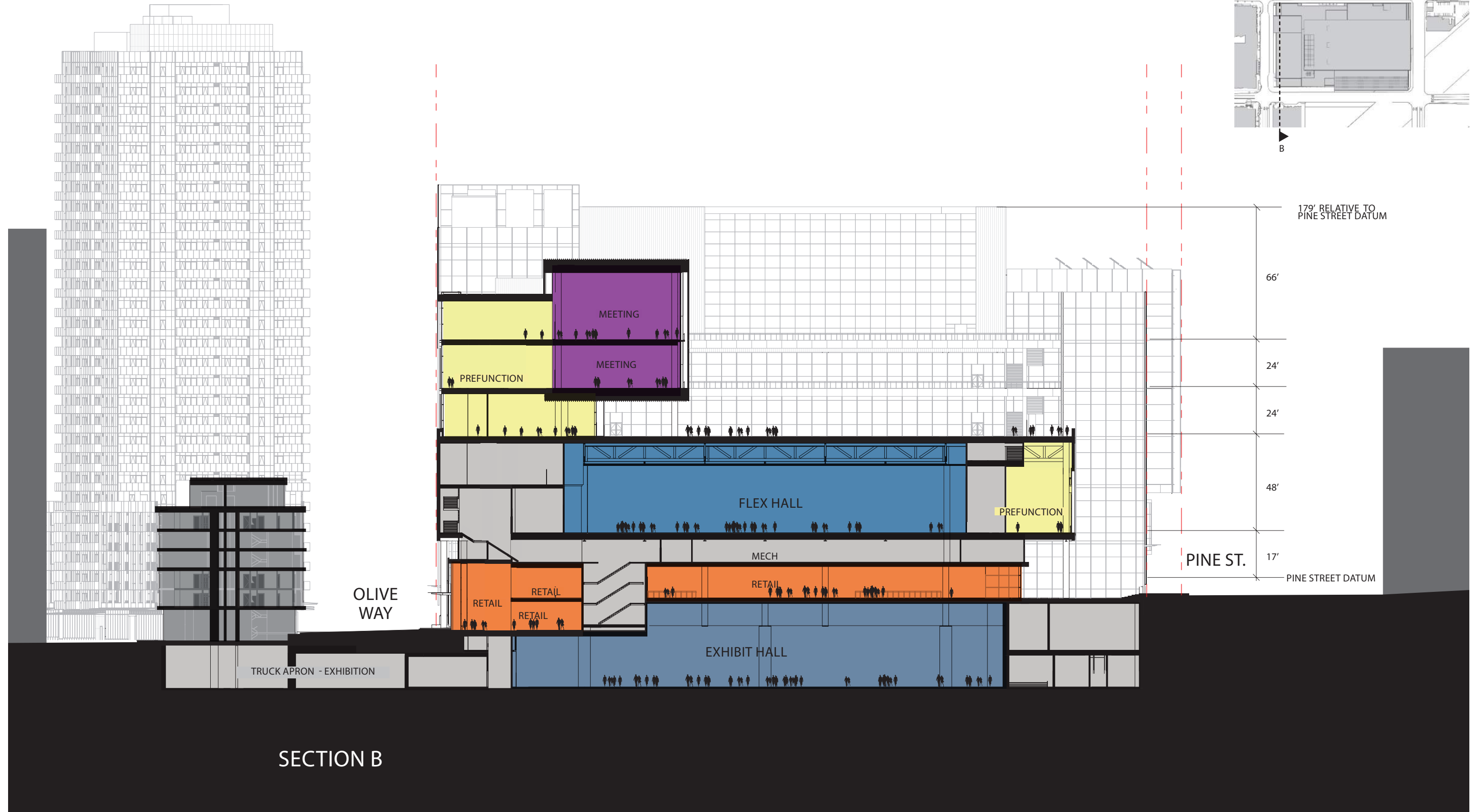


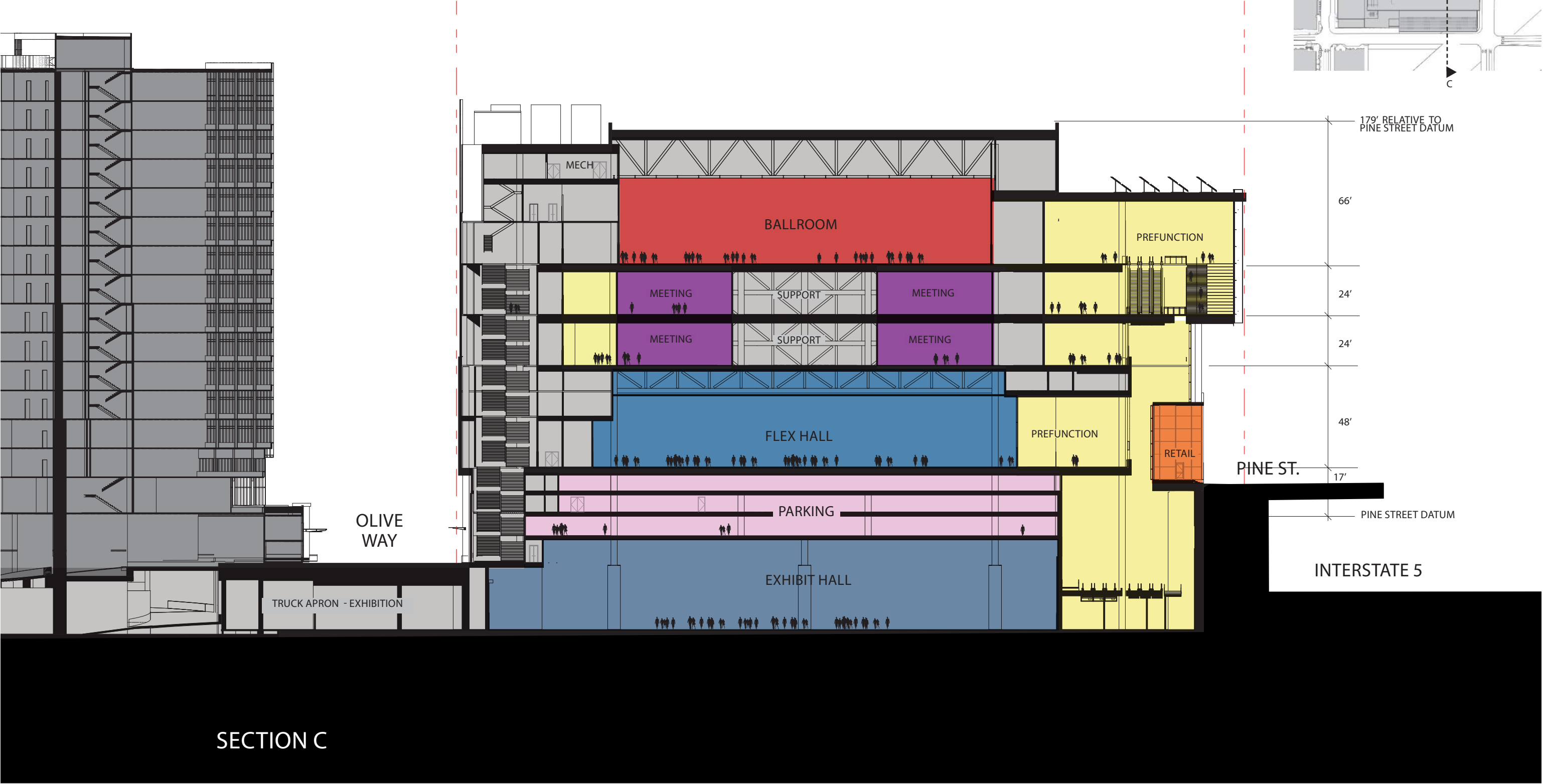
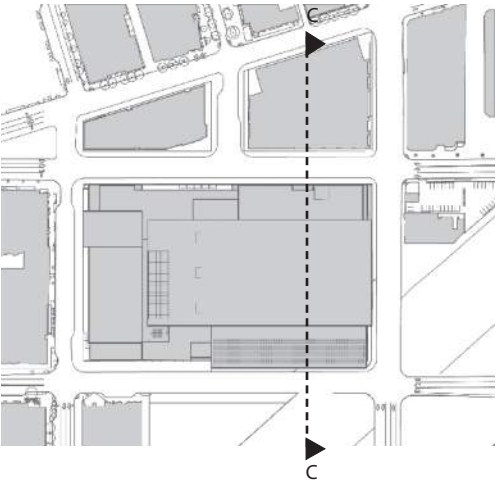
9TH AVE PLAN OF MIXING ZONE



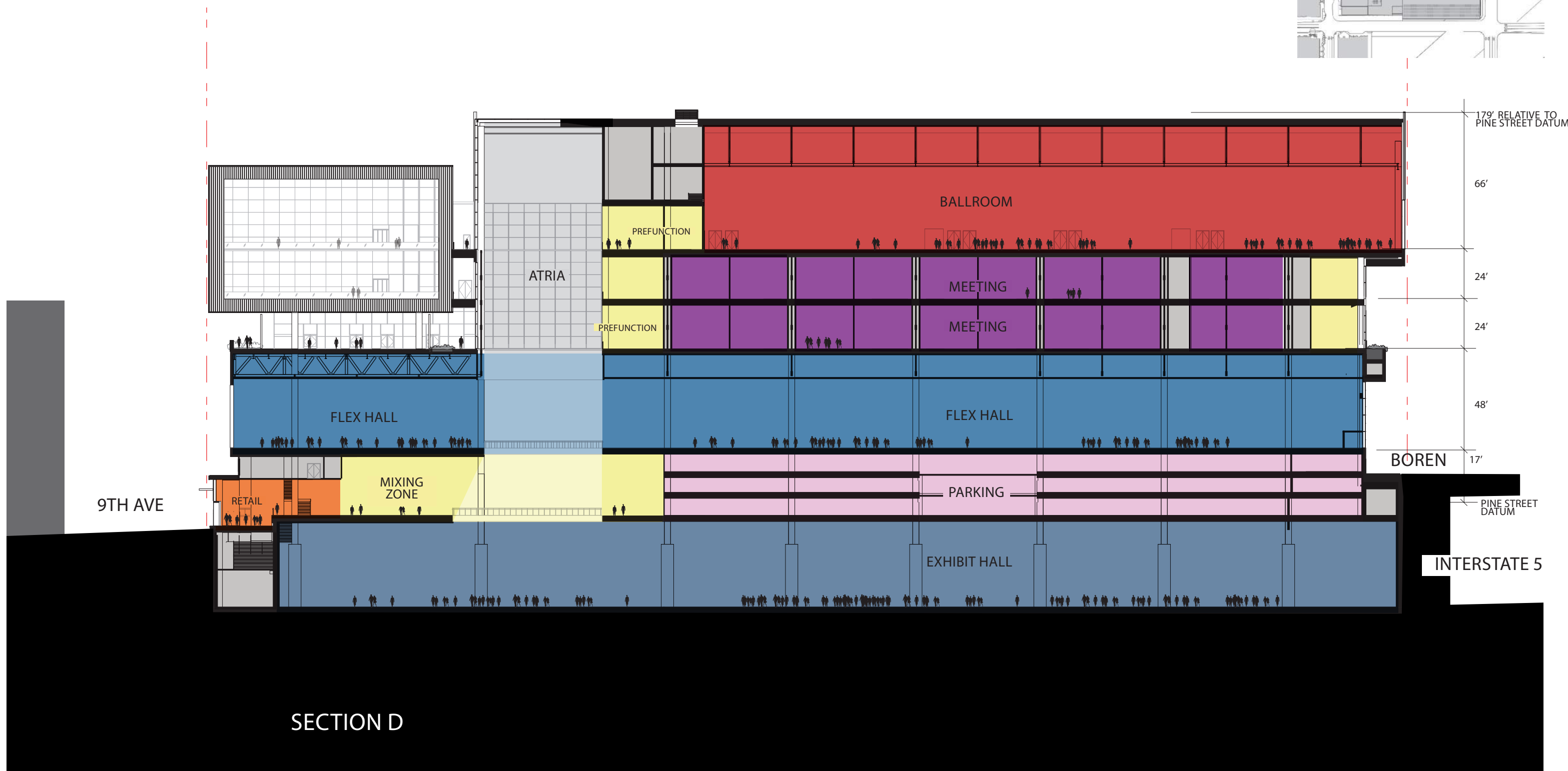
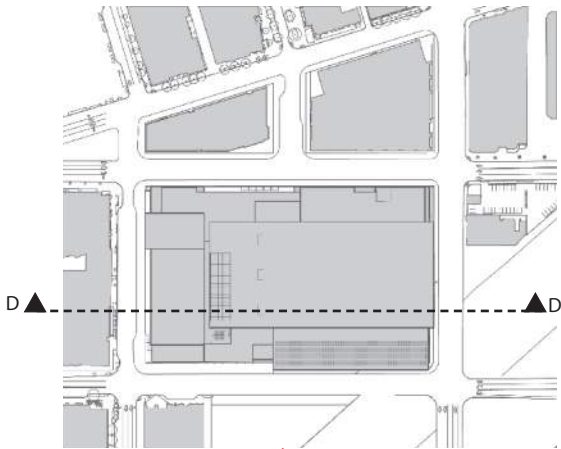
4 DESIGN RECOMMENDATION

BUILDING SECTIONS





4 DESIGN RECOMMENDATION BUILDING SECTIONS



4 DESIGN RECOMMENDATION

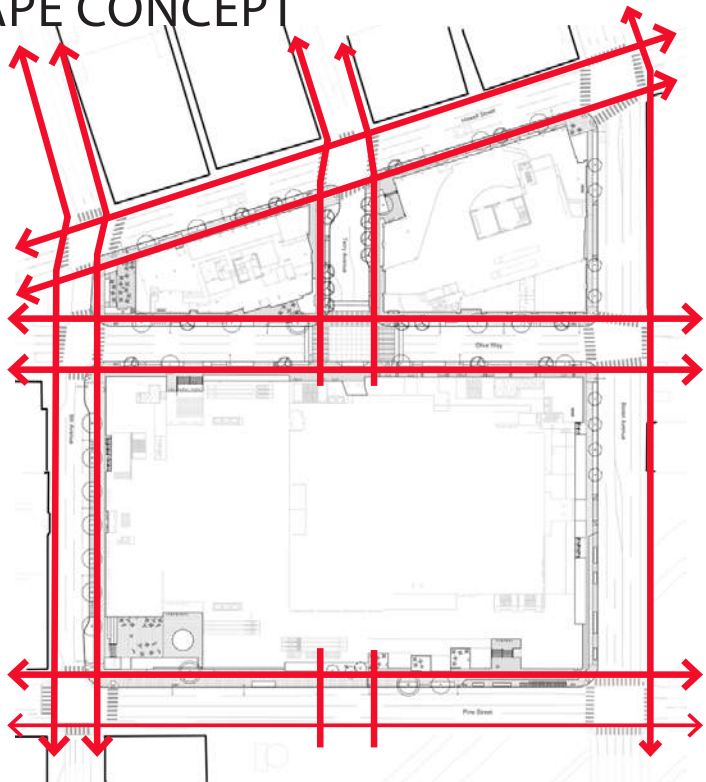
INTRODUCTION

Critical to the success of this urban convention center is the ability to balance the scale and extents of the building required by its program with the grain and texture of the surrounding city. Rather than appearing as a super-block project, the streets and building will relate to the grain and texture of their surrounding neighborhoods. The building edges will create a continuously active experience on all sides for visitors and residents alike.

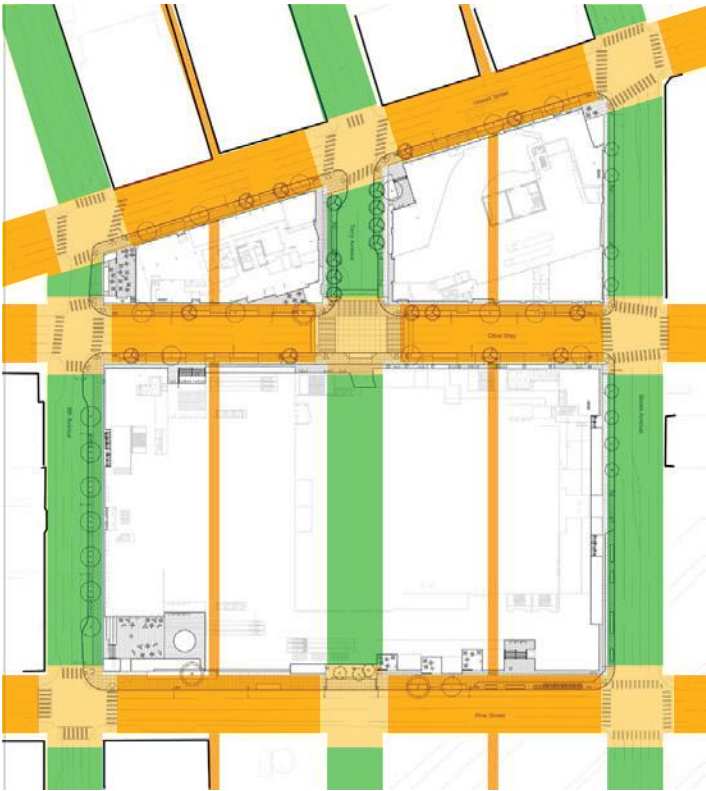
The site design strengthens the connectivity and continuity of the city streets. A distinct approach to avenues and streets offers a shift in character that builds on city standards to offer an additional layer of orientation rooted in the city's basic relationship between hills and Elliot Bay.

The project reinforces the continuity of the city streets by clearly articulating the edge between the street and WSCC Addition. This allows for a wider variety of conditions within the WSCC Addition footprint and supports multiple identities around the multi-block project, while extending the larger continuity of city streets. An additional layer of site elements offers pedestrian amenities that bridge the public programs of the WSCC Addition and the experience of convention visitors.

LANDSCAPE CONCEPT



URBAN CONNECTIVITY AND CONTINUITY



ORIENTING STREETS AND AVENUES



INDEPENDENT SIDEWALKS



VARIETY AND MULTIPLE IDENTITIES WITHIN PROPERTY

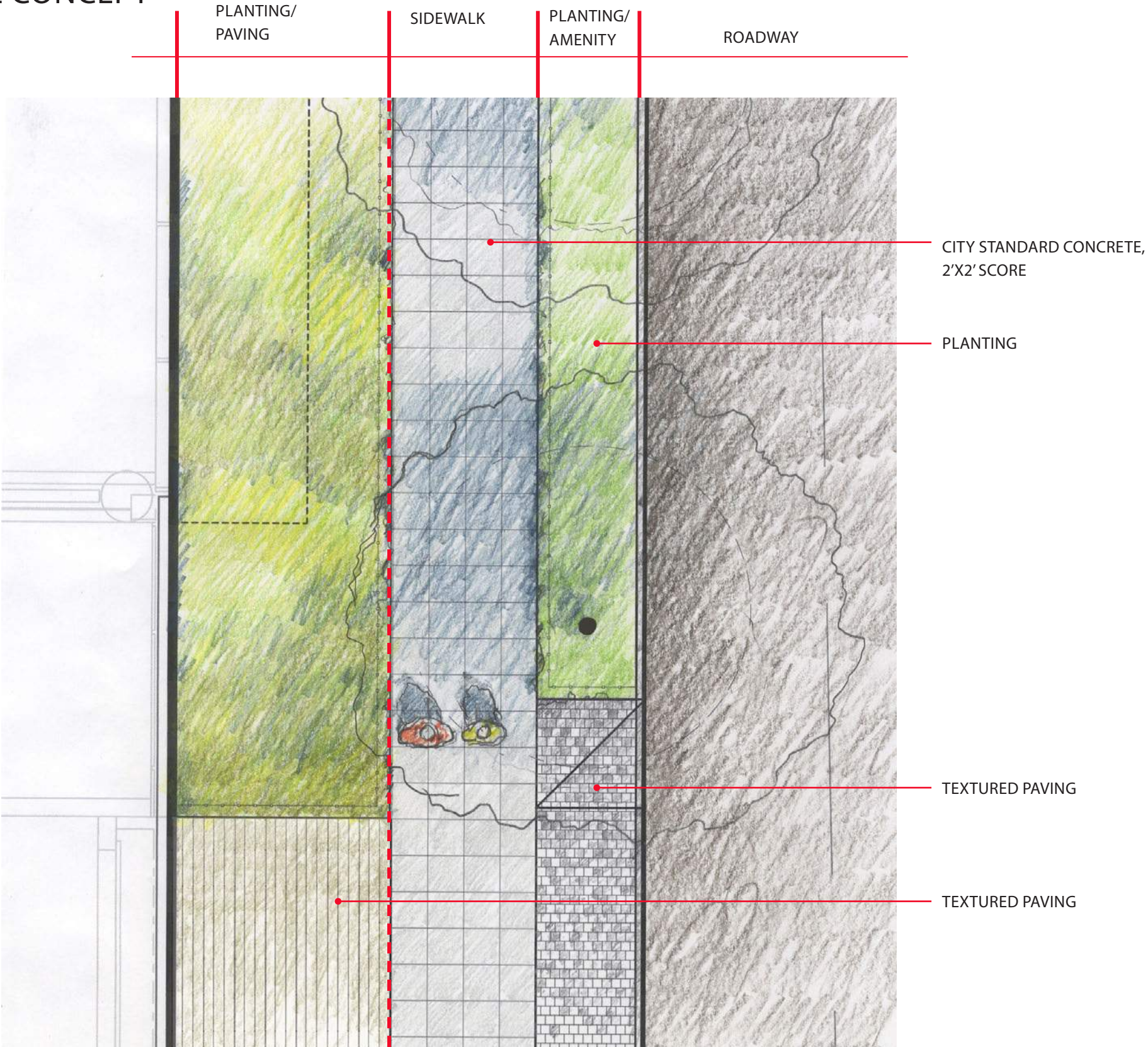
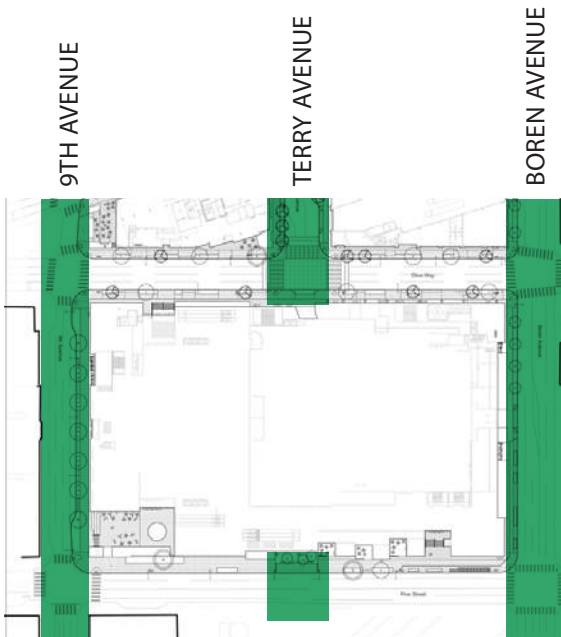
4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION

LANDSCAPE CONCEPT

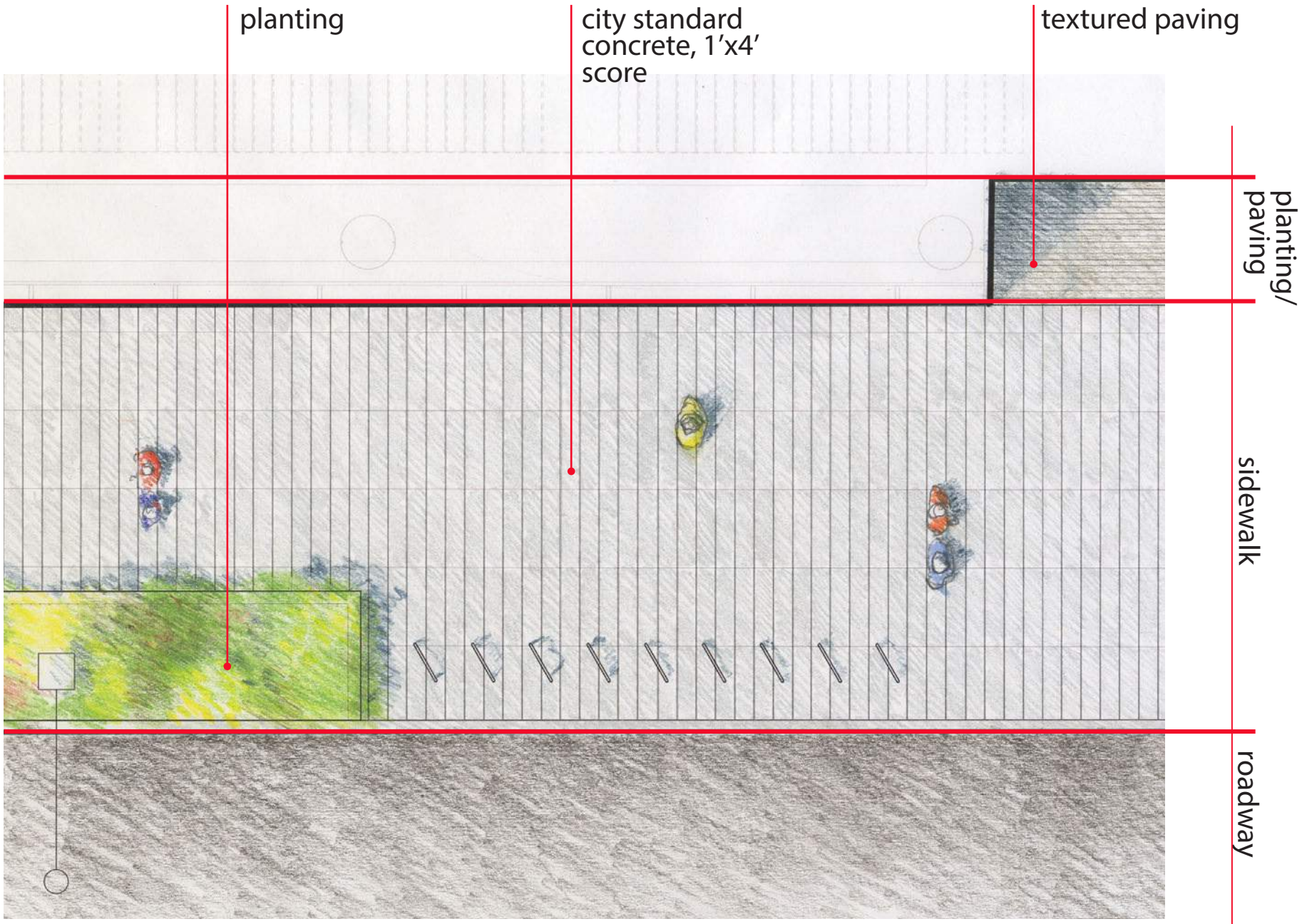
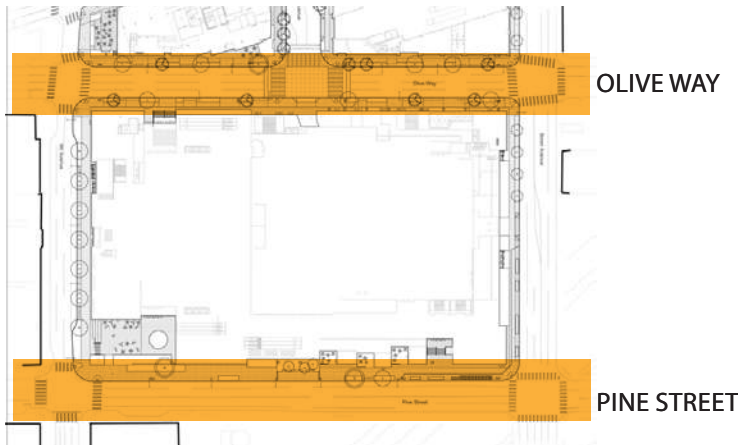
AVENUES
The project's approach to Avenues (Boren Avenue, Terry Avenue, and 9th Avenue) maximizes planting and tree canopy coverage with a consistent and lush character, strengthening their individual identities within the broader urban framework.



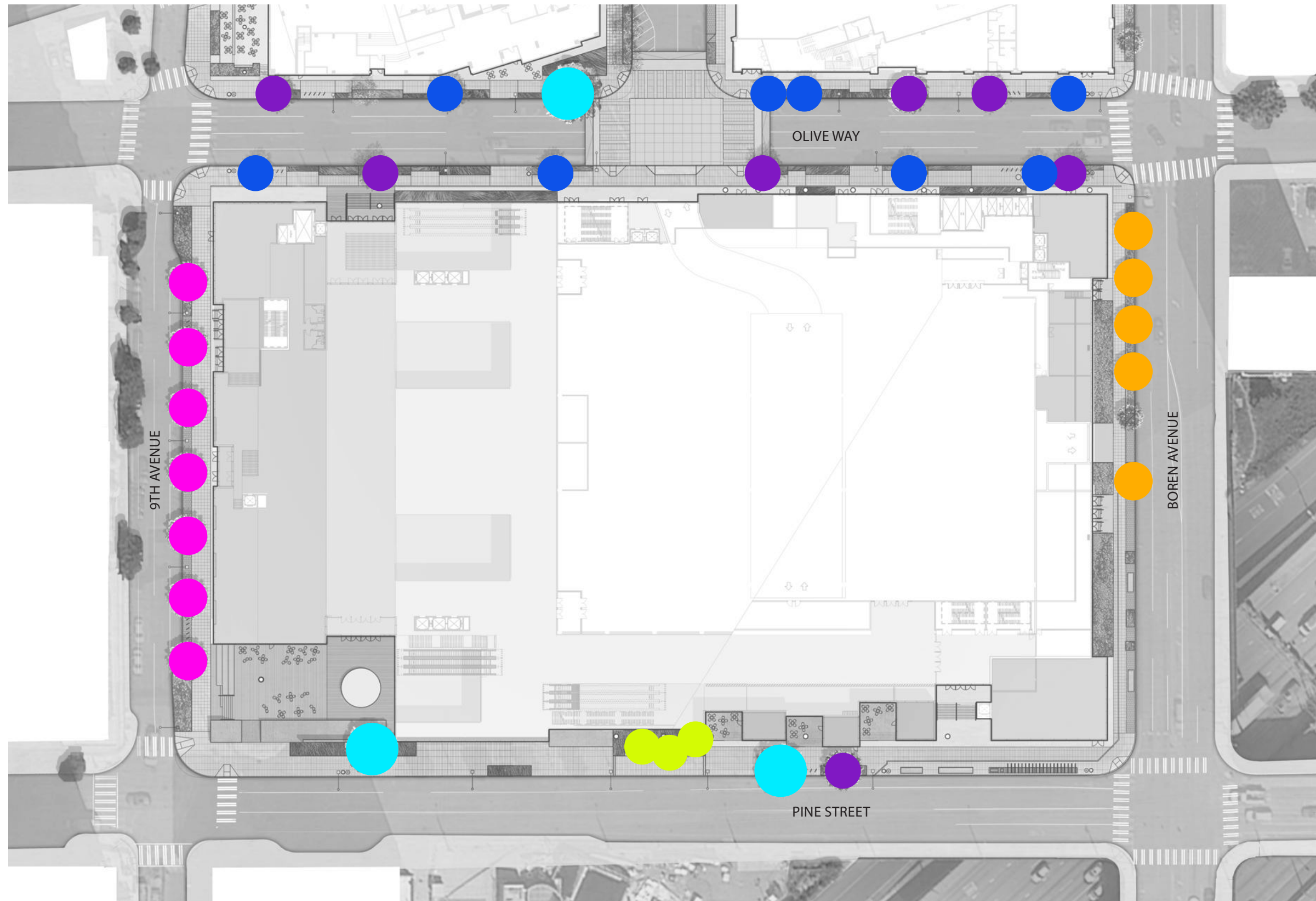
4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT

STREETS

The project's approach to Streets (Pine Street and Olive Way) celebrates these important connections from Capitol Hill down to Elliot Bay. A linear paving pattern and varied tree species, spacing, and planting support a more diverse experience on the two-block lengths of the new WSCC building. Iconic views down to Pike Place Market and the water beyond are preserved to help orient and invite visitors to explore the city.



4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT

Avenue Trees (9th Avenue and Boren Avenue)



Acer rubrum ●
Red Maple



Platanus x acerifolia 'Columbia' ●
Columbia Plane Tree

Street Trees (Pine Street and Olive Way)



Acer macrophyllum ●
Bigleaf Maple



Zelkova serrata 'Green Vase' ●
Japanese Zelkova

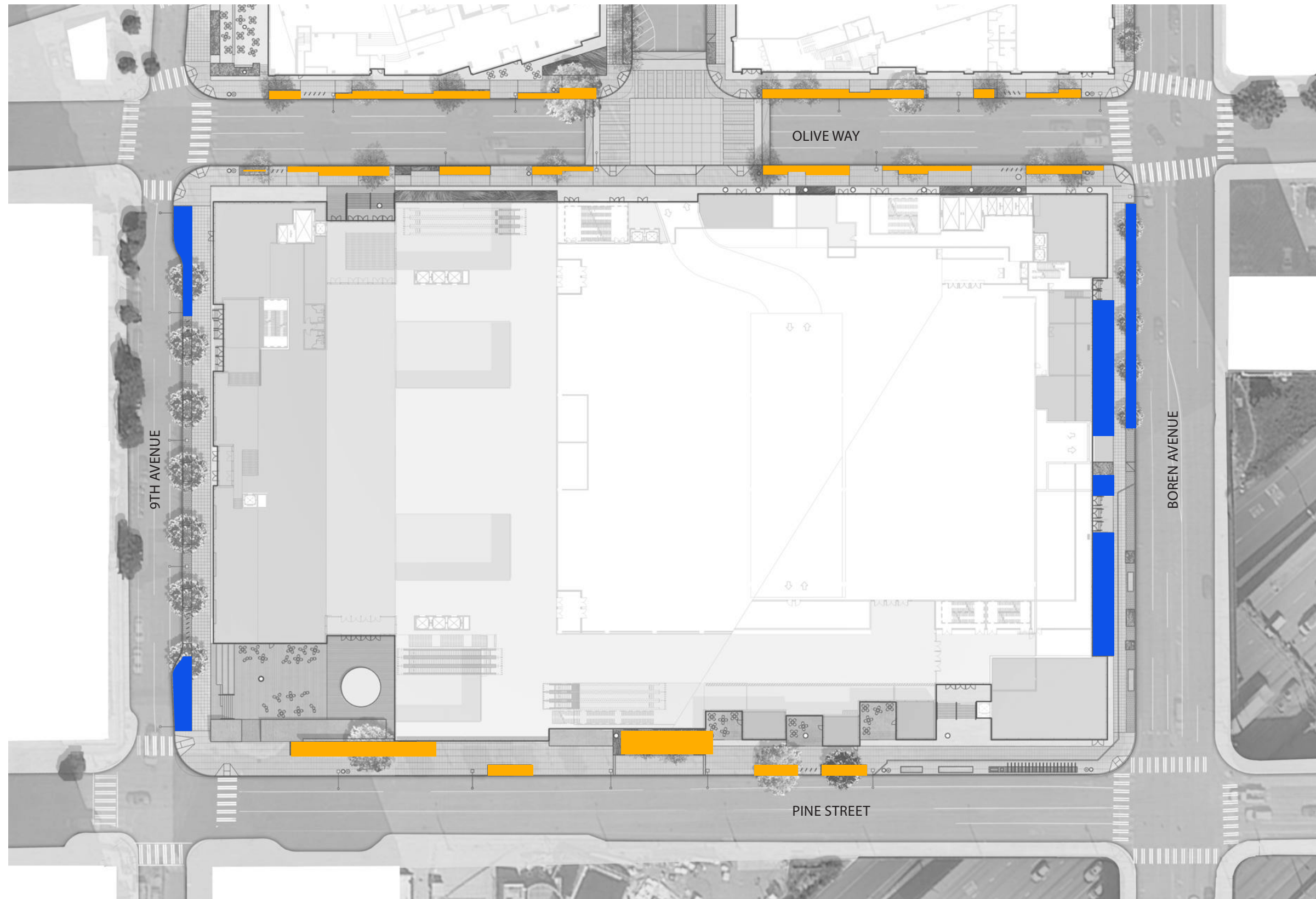


Pinus contorta var. contorta ●
Shore Pine



Fraxinus latifolia ●
Oregon Ash

4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT

Avenue Planting (9th Avenue and Boren Avenue)



Arctostaphylos uva-ursi
'Massachusetts'



Gaultheria shallon
Salal



Mahonia aquifolium
'Compacta'

Street Planting (Pine Street and Olive Way)



Eriophyllum lanatum
Oregon Sunshine



Gaultheria shallon
Salal



Mahonia aquifolium
'Compacta'



Nassella tenuissima
Mexican Feather Grass



Festuca rubra 'Molate'
Molate Red Fescue



Festuca roemerii
Roemer's Fescue



Rosa nutkana
Nootka Rose



Arctostaphylos uva-ursi
'Massachusetts'



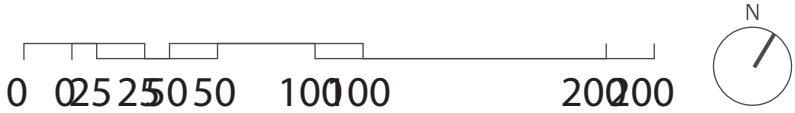
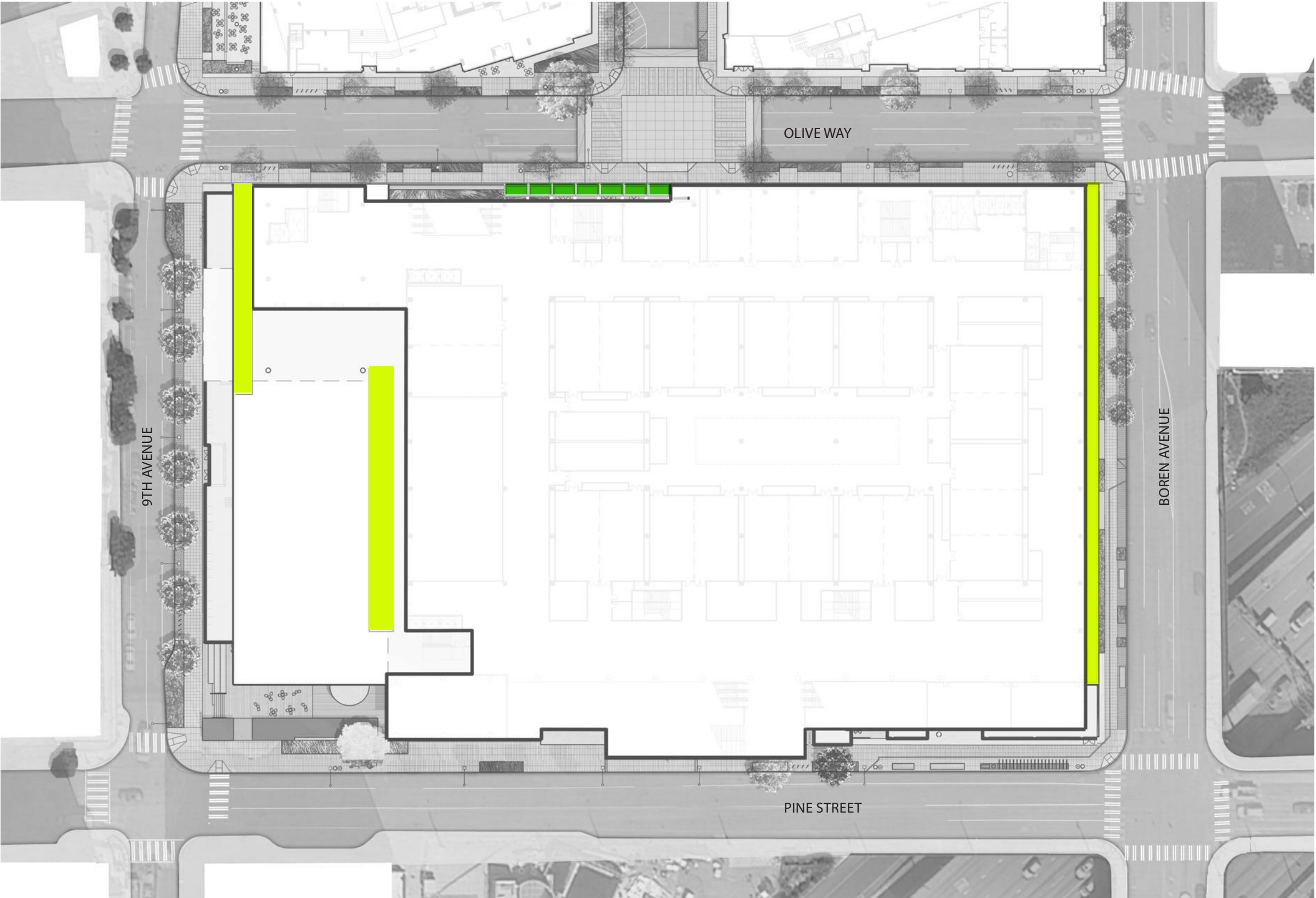
Mahonia nervosa
Dwarf Oregon Grape



Polystichum munitum
Sword Fern



4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION

LANDSCAPE CONCEPT

Olive Way Terrace Planter Planting



Aruncus dioicus 'Zweiweltenkind'
Goat's Beard 'Zweiweltenkind'



Blechnum spicant
Deer Fern



Cornus canadensis
Bunchberry



Gymnocarpium dryopteris



Linnaea borealis
Twinspur



Maianthemum dilatatum
False Lily-of-the-Valley



Oxalis oregana
Redwood Sorrel



Polypodium glycyrrhiza
Licorice Fern



Polystichum munitum
Sword Fern



Smilacina racemosa
Solomon's Plume



Trillium ovatum
Pacific Trillium



Vaccinium ovatum 'Scarlet Ovation'

Terrace Planting



Arctostaphylos uva-ursi 'Wood's Compact'



Fragaria vesca
Wild Strawberry

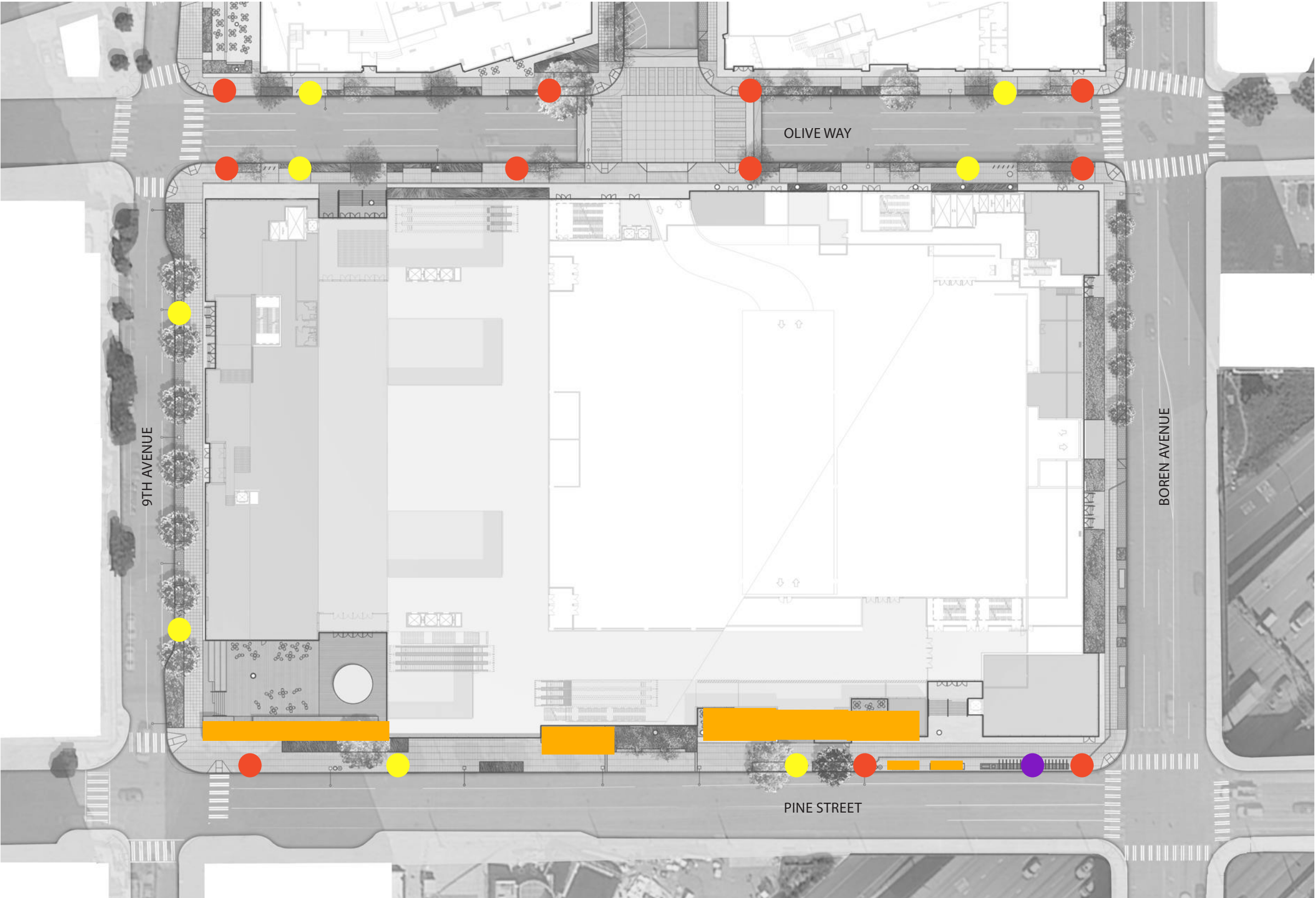


Gaultheria shallon
Salal



Vaccinium ovatum 'Scarlet Ovation'

4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION

LANDSCAPE CONCEPT



Tofino Bicycle Rack ●



Trash/Recycling Receptacle ●



Planting Protection Fence
(Adjoining all planting area)



Bike Share Station ●

Custom Street Furnishings



4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION LIGHTING CONCEPT

CONCEPTUAL APPROACH

Woven within the cityscape and fabric of Downtown Seattle, the Washington State Convention Center Expansion is challenged with welcoming and showcasing the character of Seattle to distant travelers while also embracing and engaging with the local community. Lighting looks to support this key design aspiration in providing soft, uniform, and welcoming light to the building and surrounding property.

Supporting the transparent nature of the building architecture, lighting is envisioned to showcase the constantly changing colors, lights and people of the events. By introducing light to interior walls, ceiling and other key architectural surfaces, the transparency of the building is enhanced, welcoming people inside while also showcasing and presenting the activity within to the surrounding community.

While much of the immediately adjacent site will be bathed in light from the glowing interior, additional exterior lighting treatments will be carefully introduced and integrated within architectural and landscape elements. By integrating light within elements, the team's intent is to keep the surrounding site open and free of large lighting elements thus making for unobstructed travel and traversing around the site. Proposed lighting elements will be discrete down-lighting treatments within pedestrian canopies, under-bench LED lighting for permanent seating elements, as well as lighting integrated into architectural handrails at primary entries to the building. Along Boren Ave, pedestrian pole lights accompany the landscape zone at the building edge.

Interior lighting will be comprised of LED general and accent lights to animate the views to the interior at times when there is no active event in session.



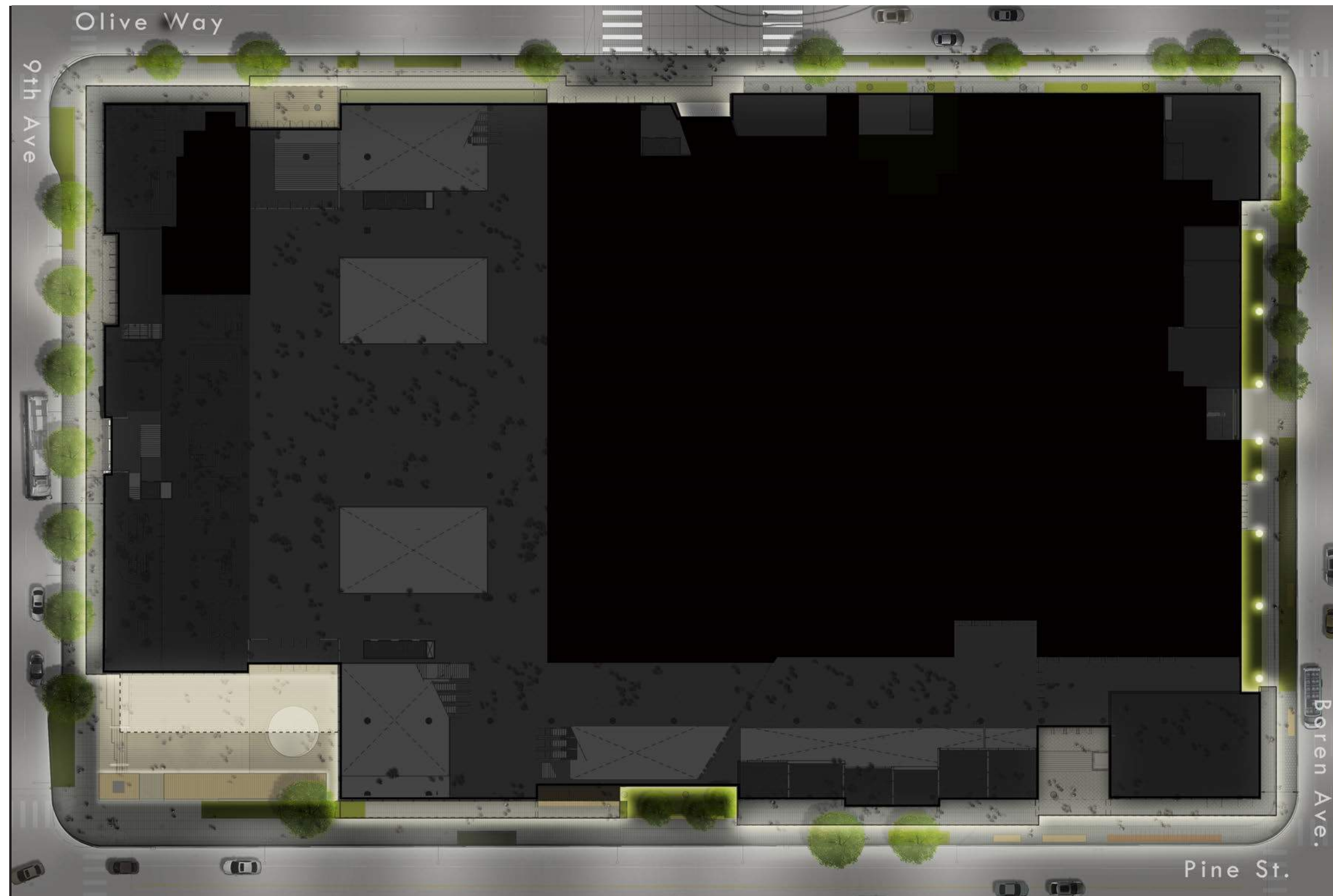
DYNAMIC PRE-FUNCTION LOBBIES



INTERIOR SPACES ILLUMINATE EXTERIOR

4 DESIGN RECOMMENDATION LIGHTING CONCEPT

SITE LIGHTING PLAN



4 DESIGN RECOMMENDATION LIGHTING CONCEPT



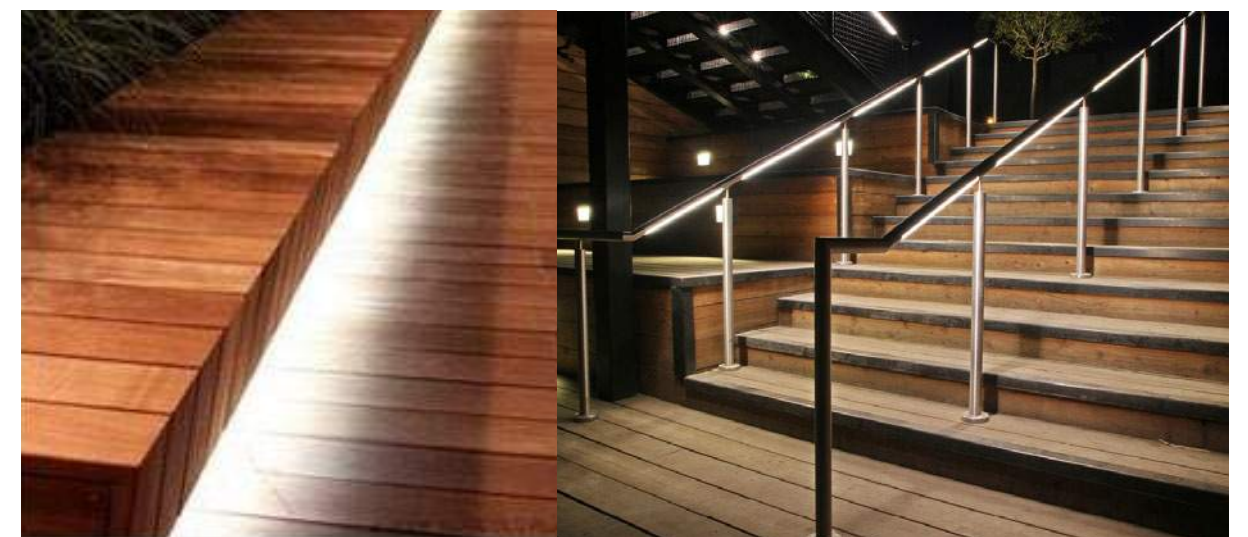
9TH AVENUE FACADE ELEVATION (EVENT)



9TH AVENUE FACADE ELEVATION (NON-EVENT)



INTEGRATED CANOPY LIGHTING



INTEGRATED SITE LIGHTING

4 DESIGN RECOMMENDATION LIGHTING CONCEPT



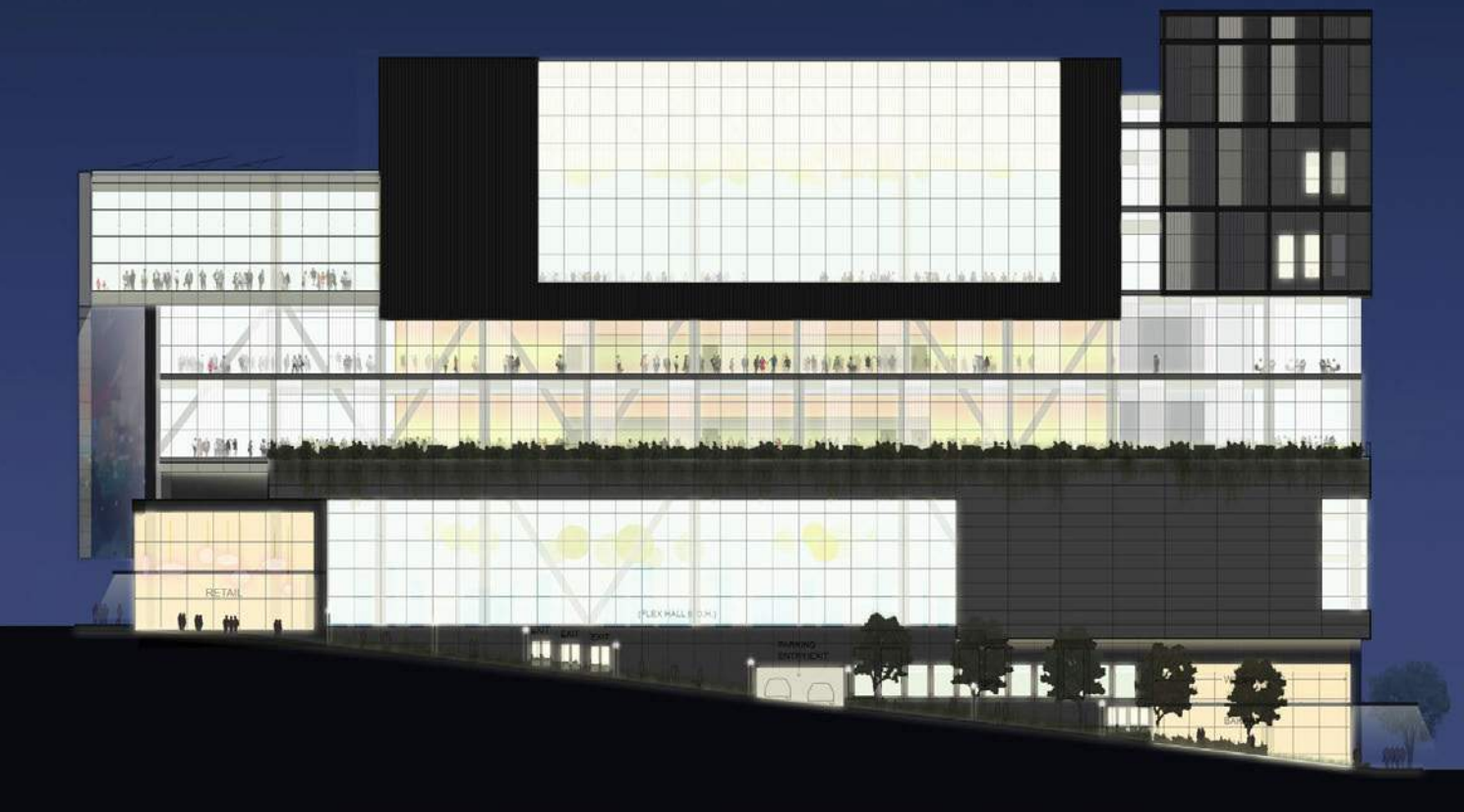
PINE STREET FACADE ELEVATION (EVENT)



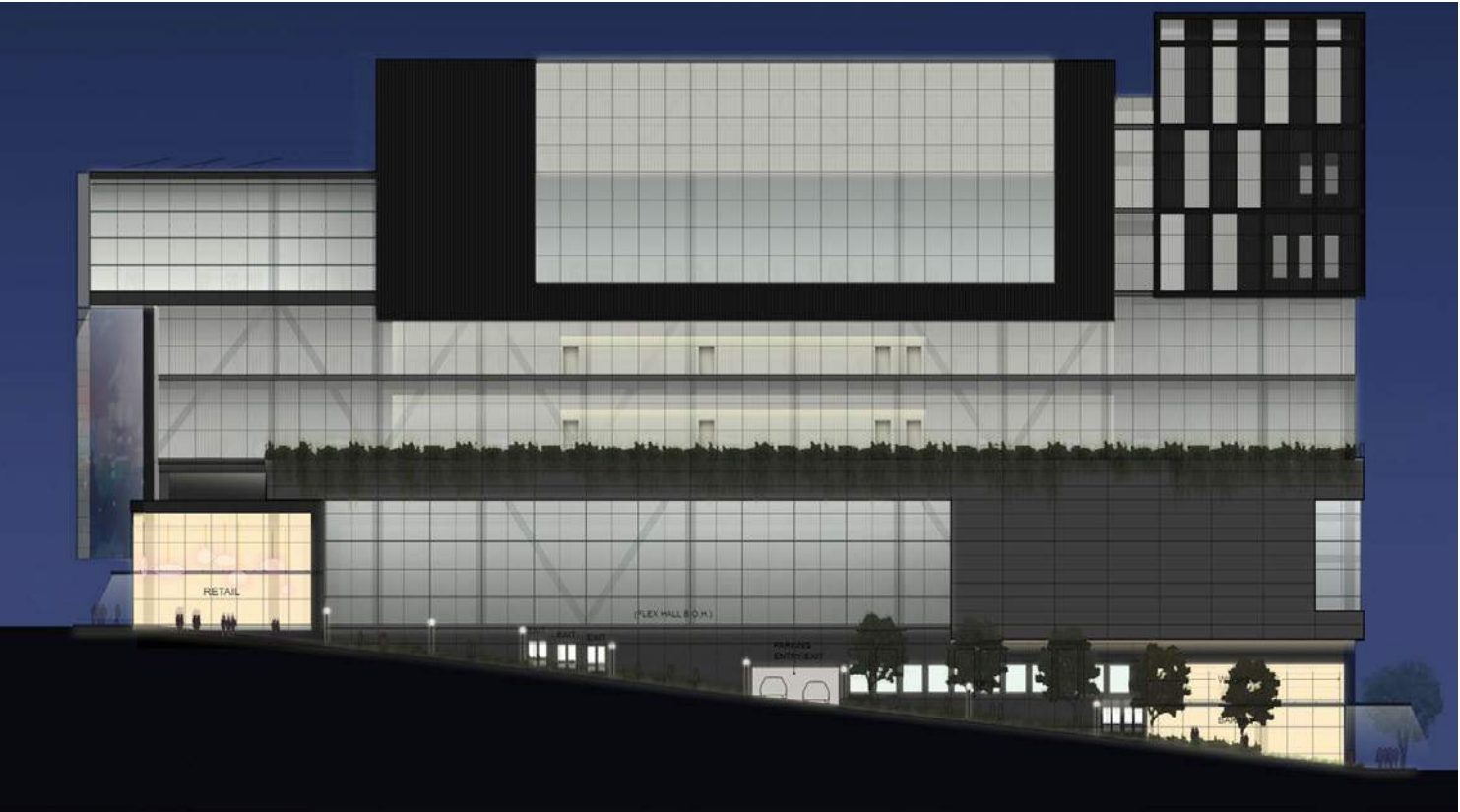
PINE STREET FACADE ELEVATION (NON-EVENT)



4 DESIGN RECOMMENDATION LIGHTING CONCEPT



BOREN AVENUE FACADE ELEVATION (EVENT)



BOREN AVENUE FACADE ELEVATION (NON-EVENT)



BALLROOM CEILING AND THEATRICAL LIGHTING



PEDESTRIAN SCALED SITE LIGHTING

4 DESIGN RECOMMENDATION LIGHTING CONCEPT



OLIVE WAY FACADE ELEVATION (EVENT)



OLIVE WAY FACADE ELEVATION (NON-EVENT)

4 DESIGN RECOMMENDATION GRAPHICS & SIGNAGE

OVERVIEW

- Combination of pedestrian-scale and architectural scale elements
- Capturing different angles and points of view
- Emphasizing / welcoming into interior “street” (Mixing Zone)

LANDMARK

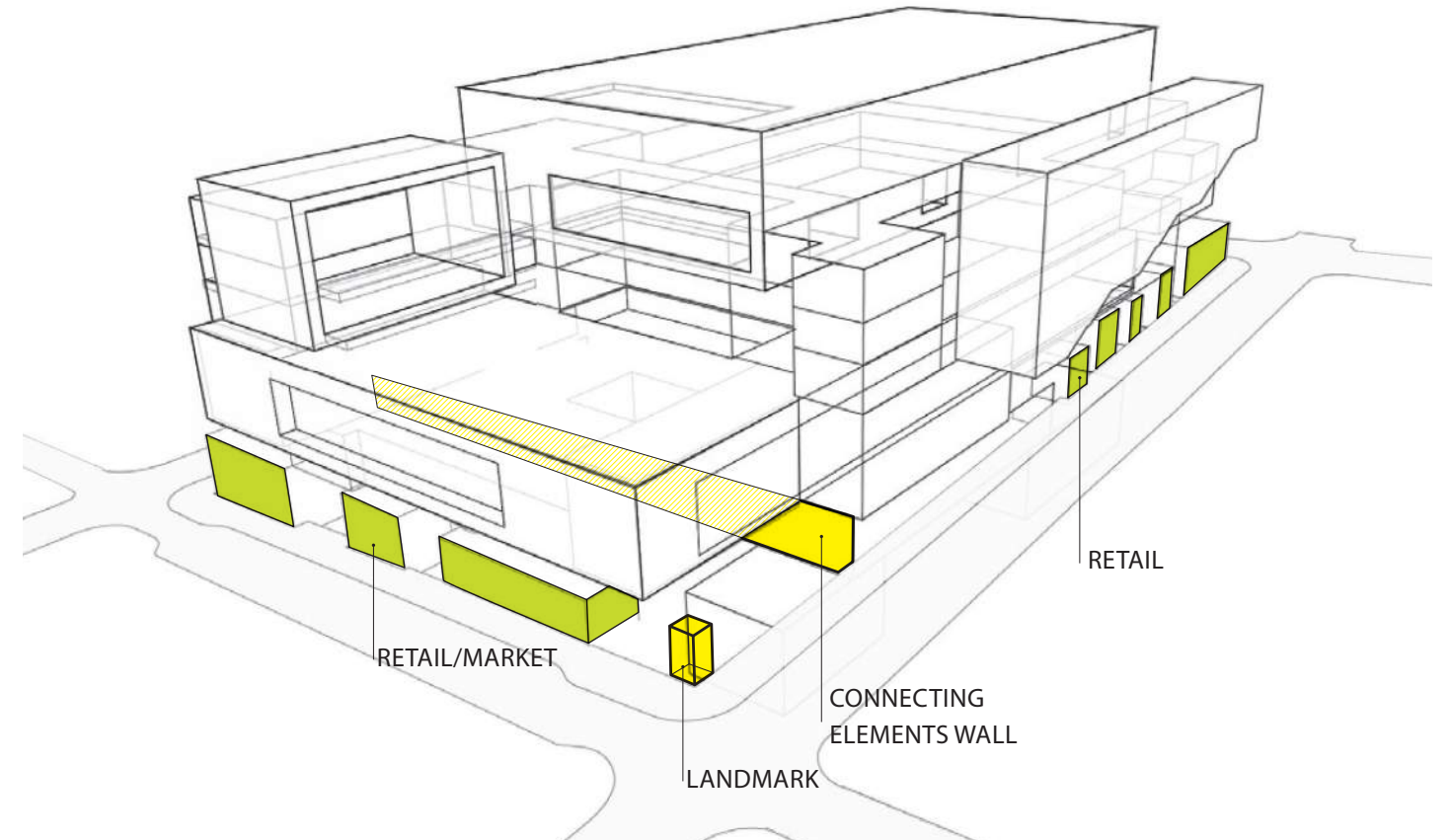
- Building and entrance(s) identification
- Dimensional sign structures at pedestrian scale.
- High visibility.

CONNECTING ELEMENTS

- Enlivens street-scape, pedestrian friendly
- Reinforces ‘street’ through CC (Mixing Zone); welcomes visitors as well as locals
- Modular barrier system for controlling access can also hold welcoming art/graphics
- Displays could be used as city programming and/or guide to local markets, hillclimbs, etc.

RETAIL/MARKET

- Retail/Market area signage / identification
- Units under hillclimb use flat graphics on frames to unify appearance
- Retail along west facade use mix of fin and flat signs
- Keeps building looking lively after hours



LANDMARK ELEMENT
STUDIO MATTHEWS



GRAPHIC & INFORMATIONAL SIGNAGE INTEGRATED INTO THE
STUDIO MATTHEWS



STUDIO MATTHEWS

4 DESIGN RECOMMENDATION GRAPHICS & SIGNAGE



VARIETY OF BLADE SIGNS AT MARKET
MILK LAB BY STUDIO FNT



BUILDING INTEGRATED SIGNAGE AT PINE STREET
WALK-UPS
SIMPLE RESTAURANT BY BRANDON AGENCY



GRAPHIC & INFORMATIONAL SIGNAGE INTEGRATED INTO THE CONNECTING WALL
ITT STUDENT CENTER BY REM KOOLHAAS

5 DESIGN GUIDELINES

SITE PLANNING & MASSING

A-1 Respond to the Physical Environment
Develop an architectural concept and compose the building's massing in response to geographic conditions and patterns of urban form found beyond the immediate context of the building site.

The proposal includes building massing, streetscape, landscape, and public spaces composed to strengthen the surrounding urban framework and its location at the intersection of a multiplicity of diverse Seattle neighborhoods.



B-3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area
Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and street-scape characteristics of nearby development.

The proposal infuses the attributes of the civic scale of downtown with the vibrancy of adjacent neighborhoods like Capitol Hill, reinforcing active urban streets with dynamic architectural character.



ARCHITECTURAL EXPRESSION

B-2 Create a Transition in Bulk & Scale
Compose the massing of the building to create a transition to the height, bulk, and scale of development in neighboring or nearby less intensive zones.

The proposal occupies a smaller envelope than is possible by code, creating a transition on the edge of downtown to the smaller scale neighborhoods to the east. Terraces, transparent event spaces, and retail compose the building mass appropriate to its context.



THE STREET-SCAPE

C-1 Promote Pedestrian Interaction
Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should be open to the general public and appear safe and welcoming.

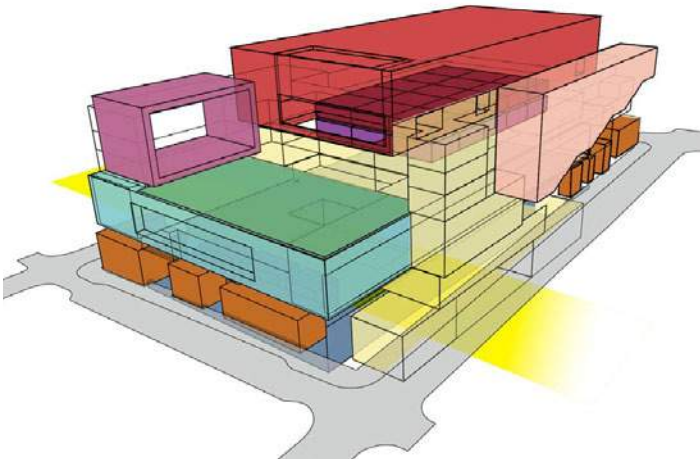
The street-scape is designed to promote a vibrant urban pedestrian experience. Views into the building along with landscape elements, pedestrian amenities, street level lobbies, and retail activate the street.



5 DESIGN GUIDELINES

C-2 Design Facades of Many Scales
Design architectural features, fenestration patterns, and materials compositions that refer to the scale of human activities contained within. Building facades should be composed of elements scaled to promote pedestrian comfort, safety, and orientation.

The proposal incorporates architectural features that will respond to the scale of the pedestrian as well as the larger urban form.



PUBLIC AMENITIES

D-1 Provide Inviting & Usable Open Space
Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.

The proposal will consider opportunities for open space that provide both an amenity to the occupants of the facility, as well as contributing to a vibrant inviting urban street-scape.



C-3 Provide Active–Not Blank–Facades
Buildings should not have large blank walls facing the street especially near sidewalks.

The proposal carefully considers the layout and character of support spaces within the building to limit the amount of blank facades, particularly at the pedestrian level. Pedestrian edges are designed to allow visual access/ transparency to both the public and private spaces of the building. This strategy sustains visual interest all along the pedestrian path, enhancing the overall experiential quality at street level.



D-3 Enhance Elements that Define the Place
Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable “sense of place” associated with the building.

Each unique condition contributes to the urban framework. The site’s distinct edges create the potential for special moments enriched by the partnering of the building and the street-scape, as exemplified by the Pine Street Stair, 9th Avenue Market, Pine Street Walk-ups, Boren Beacon, Flexhall, Ballroom, and Signature Meeting Room elements, along with architecturally-integrated landscaping.



5 DESIGN GUIDELINES


VEHICULAR ACCESS & PARKING

- E-3 Minimize the Presence of Service Areas
Locate service areas for trash dumpsters, loading docks, mechanical equipment, and the like away from the street front where possible. Screen from view those elements which for programmatic reasons cannot be located away from the street front.

The proposal carefully integrates loading and other service areas into the facility by directing them below-grade, thereby minimizing their street presence, shielding their adverse qualities and promoting a positive pedestrian experience. The large quantity of exit stairs required for safe egress from above and below grade have been carefully located to avoid the highly visible corners and major entries into the project.

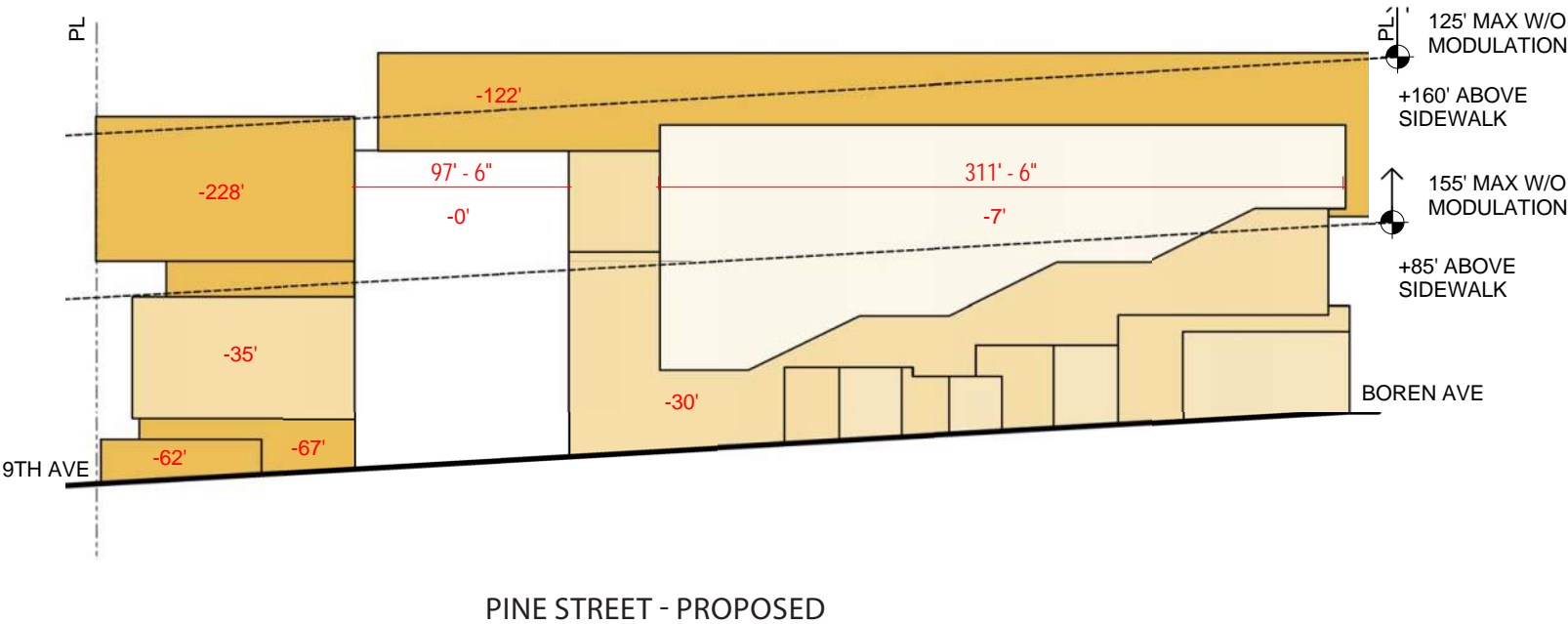
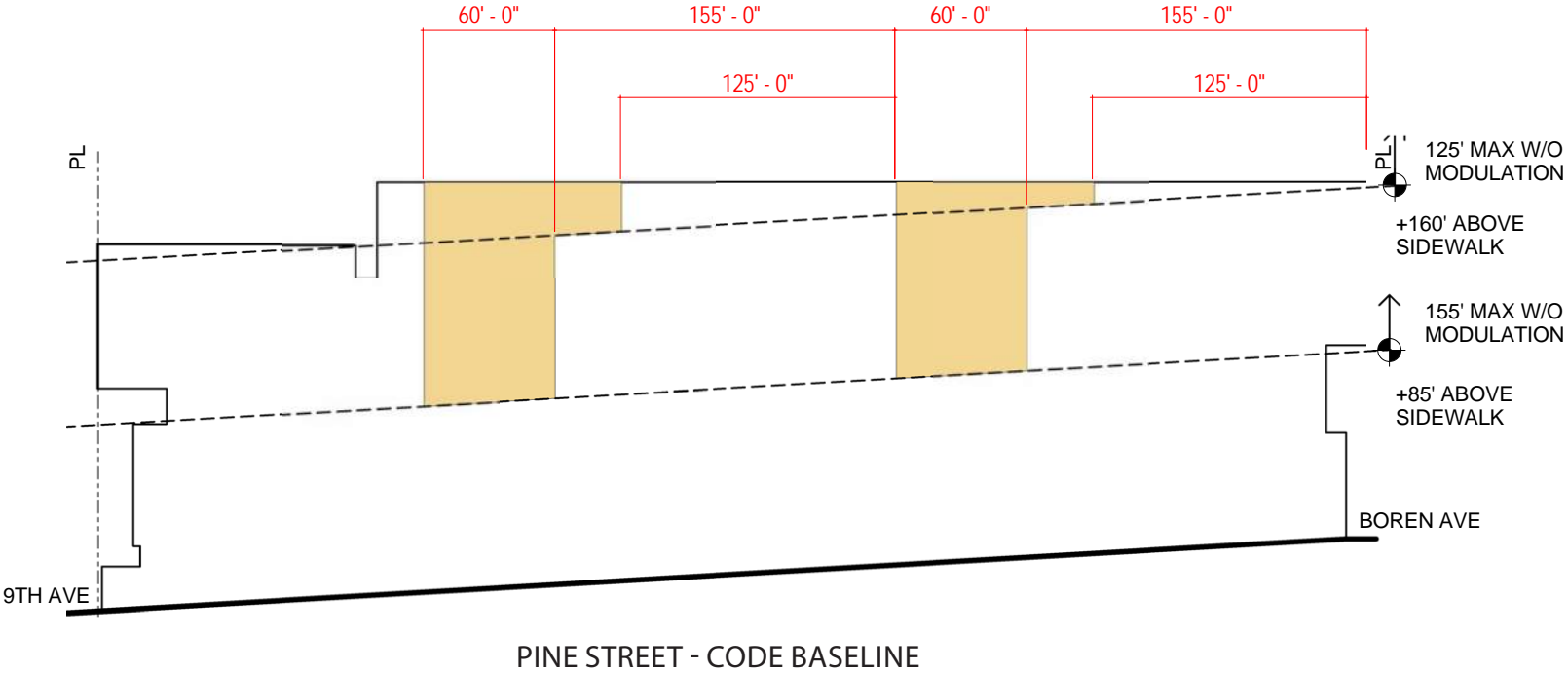


6 PROPOSED DEPARTURES

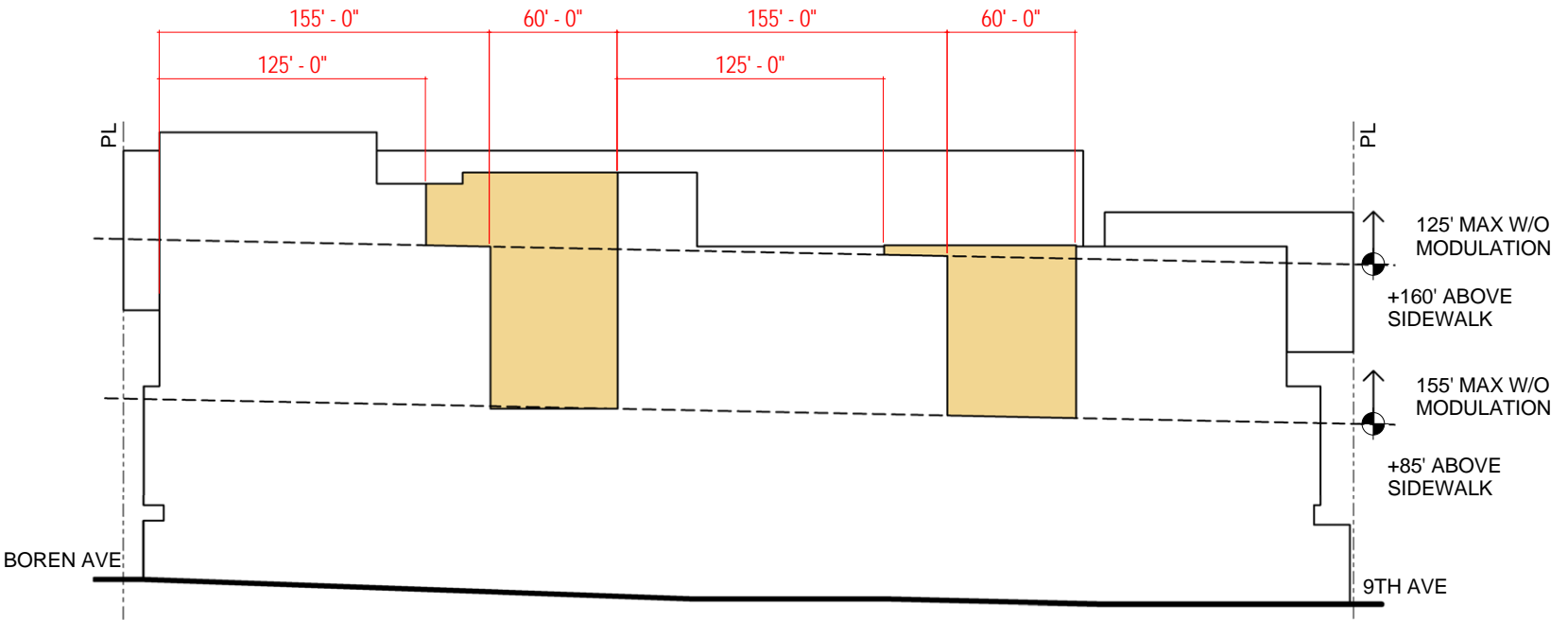
Item #	Development Standard	Requirement	Modification Requested	Rationale
1	23.49.058 B Facade Modulation	<p>Facade modulation is required above a height of 85 feet above the sidewalk of any portion of a structure located within 15 feet of a street lot line. The maximum length of unmodulated facade within 15 feet of a street lot line is 155 feet at a height between 86–160 feet, 125 feet at a height between 161-240 feet.</p> <p>Any portion of a facade exceeding the maximum length of facade prescribed above (listed in 23.49.058 Table A) shall be set back a minimum of 15 feet from the street lot line for a minimum distance of 60 feet before any other portion may be within 15 feet of the street lot line.</p>	<p>Relief from upper level modulation, allowing facade length greater than 155 feet between 37-160 feet and greater than 125 feet between 67-87 feet.</p> <div> Areas of departure from development standard</div>	<p>The design proposes a greater variety of modulation than that prescribed by the code. This variation of depth and shape extends across a significant surface area of the elevation shown, providing greater visual interest and a more active facade that meets and exceeds the intent of the facade modulation requirements.</p> <p>This departure allows the project to better meet the intent of the design guidelines (described below).</p>

Relevant Design Guidelines - Departure #1	
<p>A1.1 Response to context B. A site having dramatic topography or contrasting edge conditions F. Views of the site from other parts of the city or region Adjacent to 1-5, with a significant change in grade from east to west, dramatic topography and unique edge conditions are key elements of the site.</p> <p>The major massing elements take on unique characters that responds to their context - through the use of topography, aperture, and clearly defined edges. The legibility of forms breaks down the scale of the block into distinctive parts which provides personality to the different edges of the site.</p> <p>B4.1 Massing A. Setbacks, projections, and open space B. Relative sizes and shapes of distinct building volumes C. Roof height and forms</p> <p>Distinct setbacks that clearly define building volumes and exterior spaces better relate to scale of surrounding buildings. The roof height is lower than allowed by code, while the collection of volumes provide variety of roof forms throughout the site.</p>	<p>B4.2 Coherent design D. Modulation and articulation I. Building base and top</p> <p>The articulated volumes are united horizontally with finer grain structural module, and vertically with clear layering of forms.</p> <p>C2.1 Modulation of facades A. Fenestration pattern B. Exterior finish materials C. Other architectural elements D. Light fixtures and landscaping elements</p> <p>The larger forms are further articulated with a range of solid and glazed facade systems, materials, and textures. Exposed structure, canopies, and vertical planting create rhythm and scale to the facade</p>

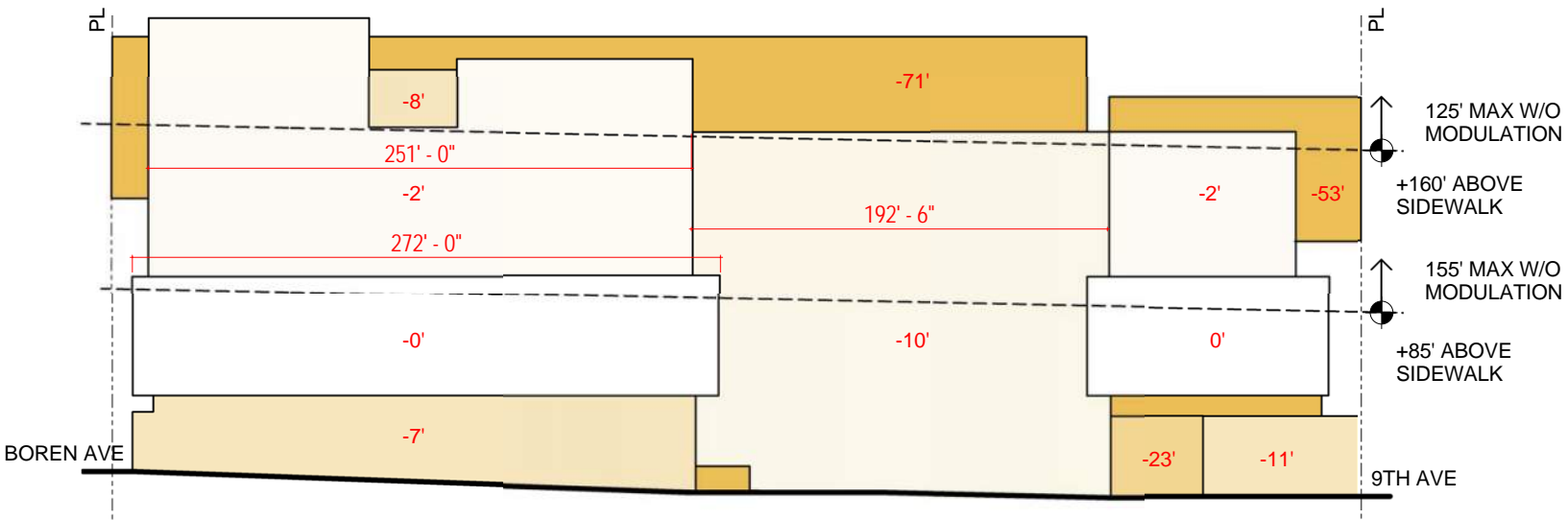
6 PROPOSED DEPARTURES



6 PROPOSED DEPARTURES

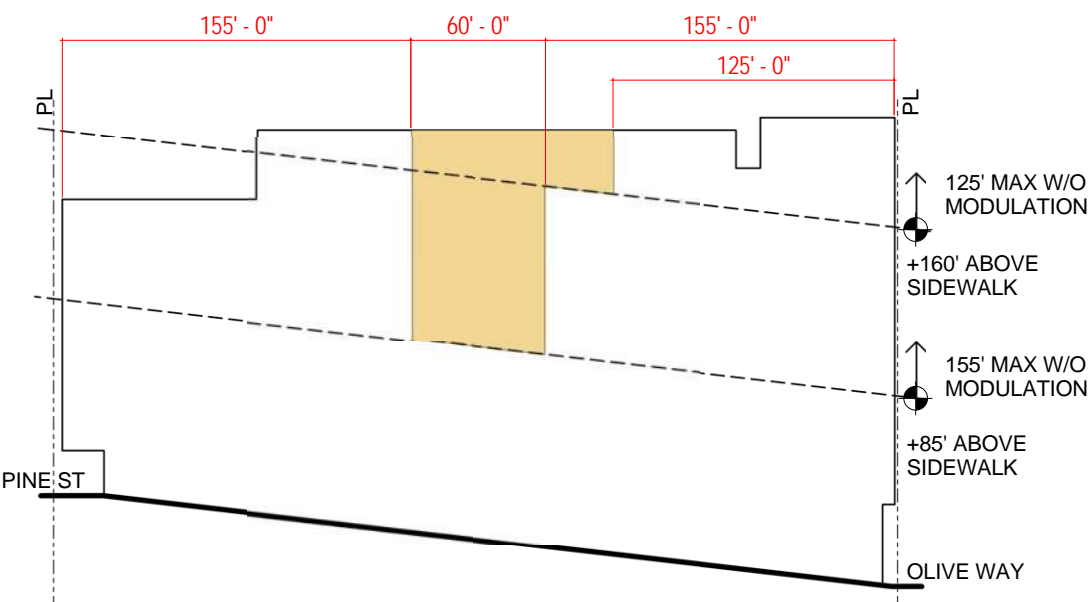


OLIVE WAY - CODE BASELINE

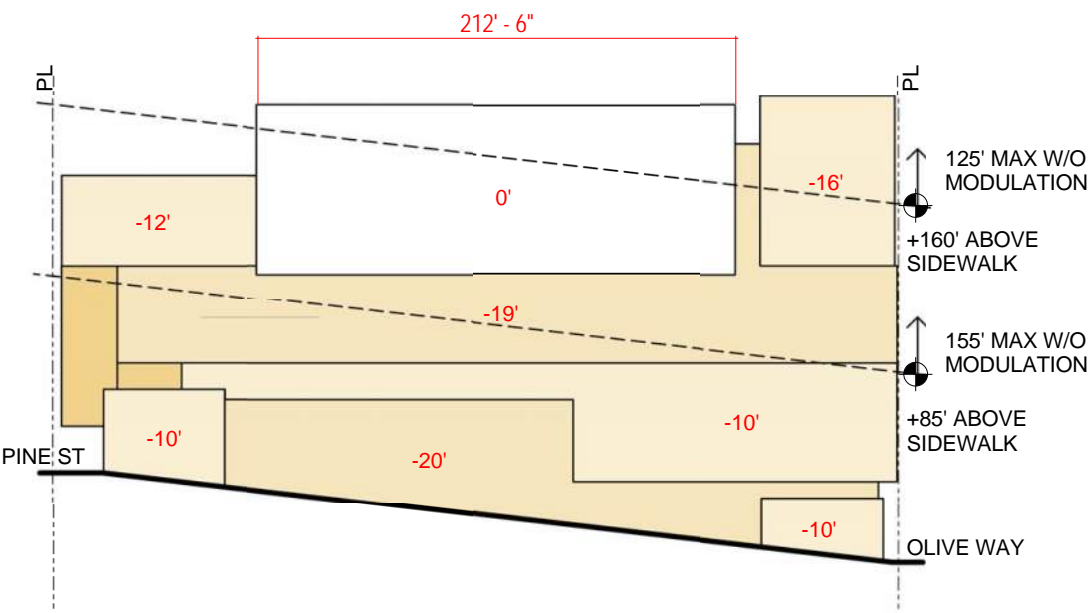


OLIVE WAY - PROPOSED

6 PROPOSED DEPARTURES



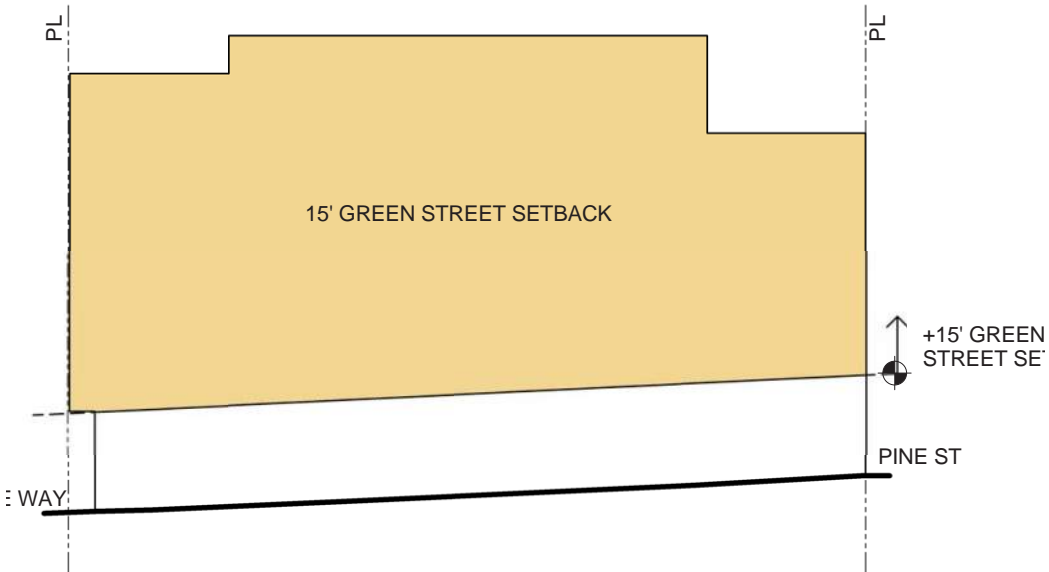
BOREN AVENUE - CODE BASELINE



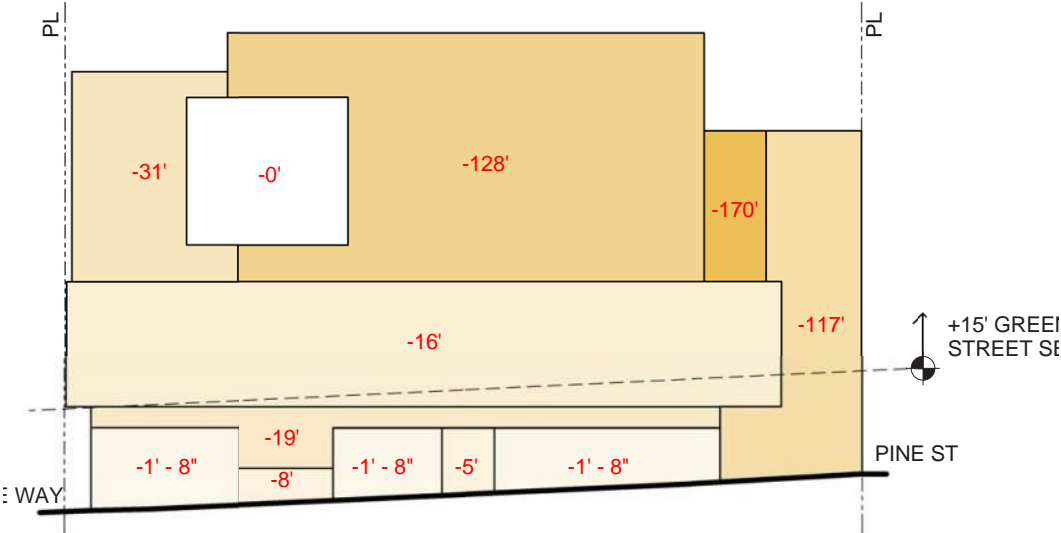
BOREN AVENUE - PROPOSED

6 PROPOSED DEPARTURES

Item #	Development Standard	Requirement	Modification Requested	Rationale
2	23.49.058 G2 Green Street Upper Level Setbacks	When a lot in a dmc or DOC2 zone is located on a designated green street, a continuous upper-level setback of fifteen (15) feet shall be provided on the street frontage abutting the green street at a height of forty-five (45) feet.	Relief from upper level green street setback, allowing a variety of setbacks above 45 feet. <div><div></div>Areas of departure from development standard.</div>	<p>The proposed design provides additional modulation which exceeds the green street upper level setbacks with greater visual interest in both elevation and massing than prescribed by the code. The resulting activation of the building better supports the goals of the green street designation. The upper level meeting room block and the flex hall volume extend into the setback in order to align their north facade with the paramount facade, thereby framing the open space between.</p> <p>This departure allows the project to better meet the intent of the design guidelines (described to the right).</p>



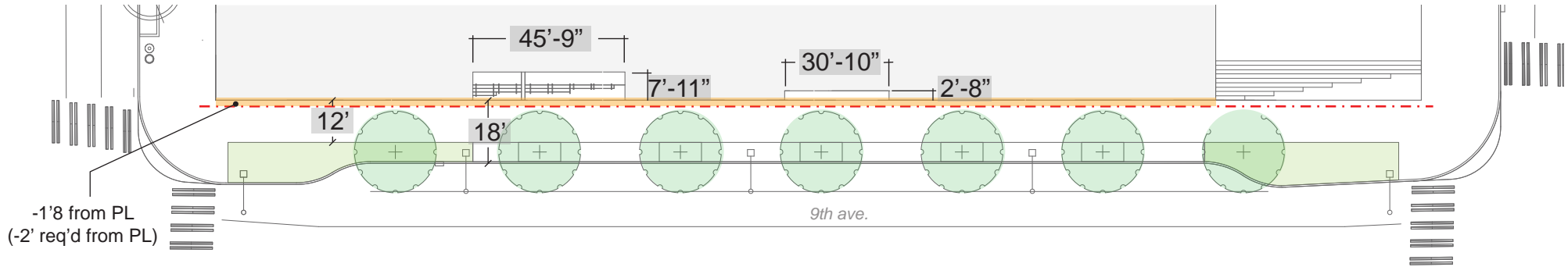
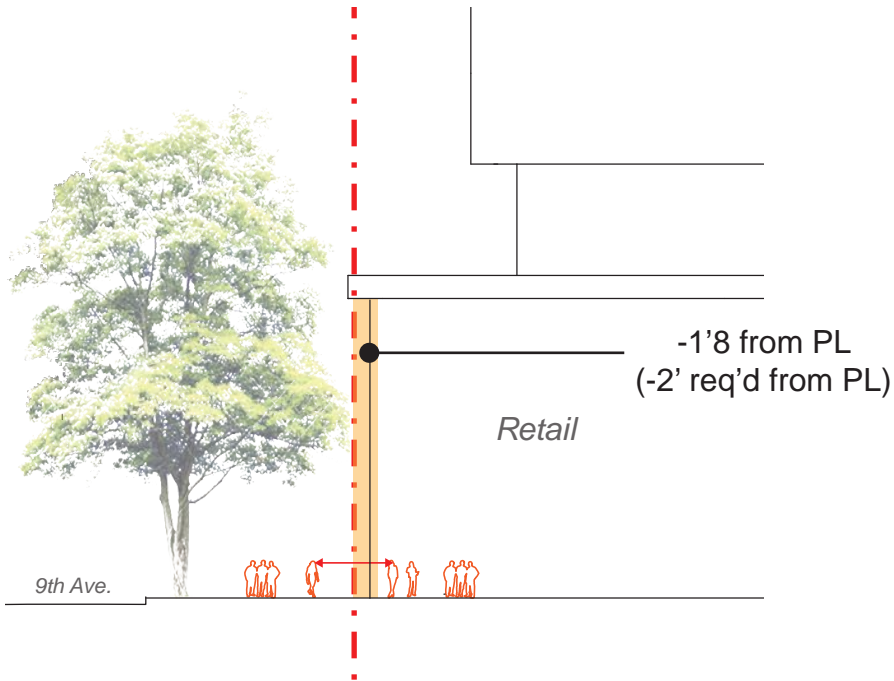
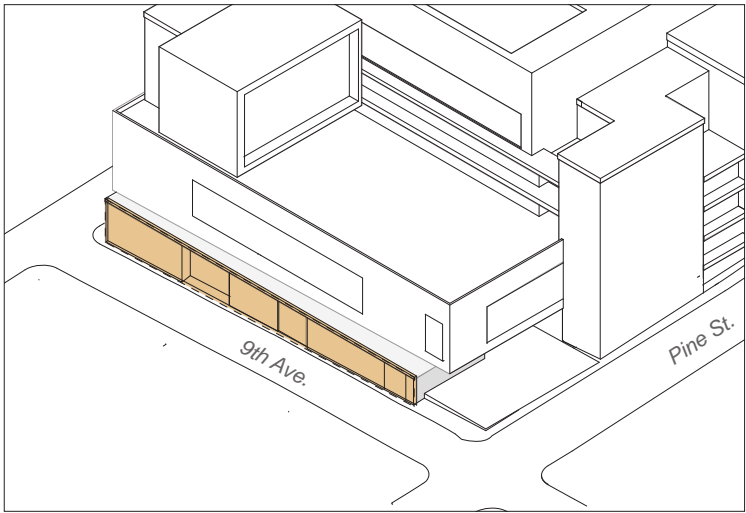
9TH AVENUE - CODE BASELINE



9TH AVENUE - PROPOSED

6 PROPOSED DEPARTURES

Item #	Development Standard	Requirement	Modification Requested	Rationale
3	23.49.056.F.4 Green Street Setback	<p>Terry and 9th Avenues green street setbacks, a 2 foot wide setback from the street lot line is required</p> <p>50% Of the setback area shall be landscaped.</p> <p>Total area of setback = lot line x 2 feet = 353'-2" X 2' = 706.3 SF 50% Of setback area (706.3 SF) = 353.2 SF</p> <p>See sheet L160 for setback and landscaping requirements calculations. See sheet L161 for proposed redistribution of the 50% of setback landscape area along 9th avenue</p>	Relief from green street setback requirements along 9th Avenue. Landscape to be re-distributed along 9th to permit visual and physical access to retail.	<p>9th Avenue is an active frontage for the plaza and retail marketplace. The design maximizes the pedestrian connection into these spaces while providing landscape area adjoining the curb in excess of the standard. 986 additional SF of landscape is provided adjoining the curb.</p> <p>When averaged for frontage, the intent of the setback is met and exceeded. The quantity of planting is provided, but distributed in order to provide larger, denser areas of planting toward the street. Greater visual transparency and access to the retail spaces is provided in addition to egress along 9th Avenue.</p> <p>This departure allows the project to better meet the intent of the design</p>



6 PROPOSED DEPARTURES

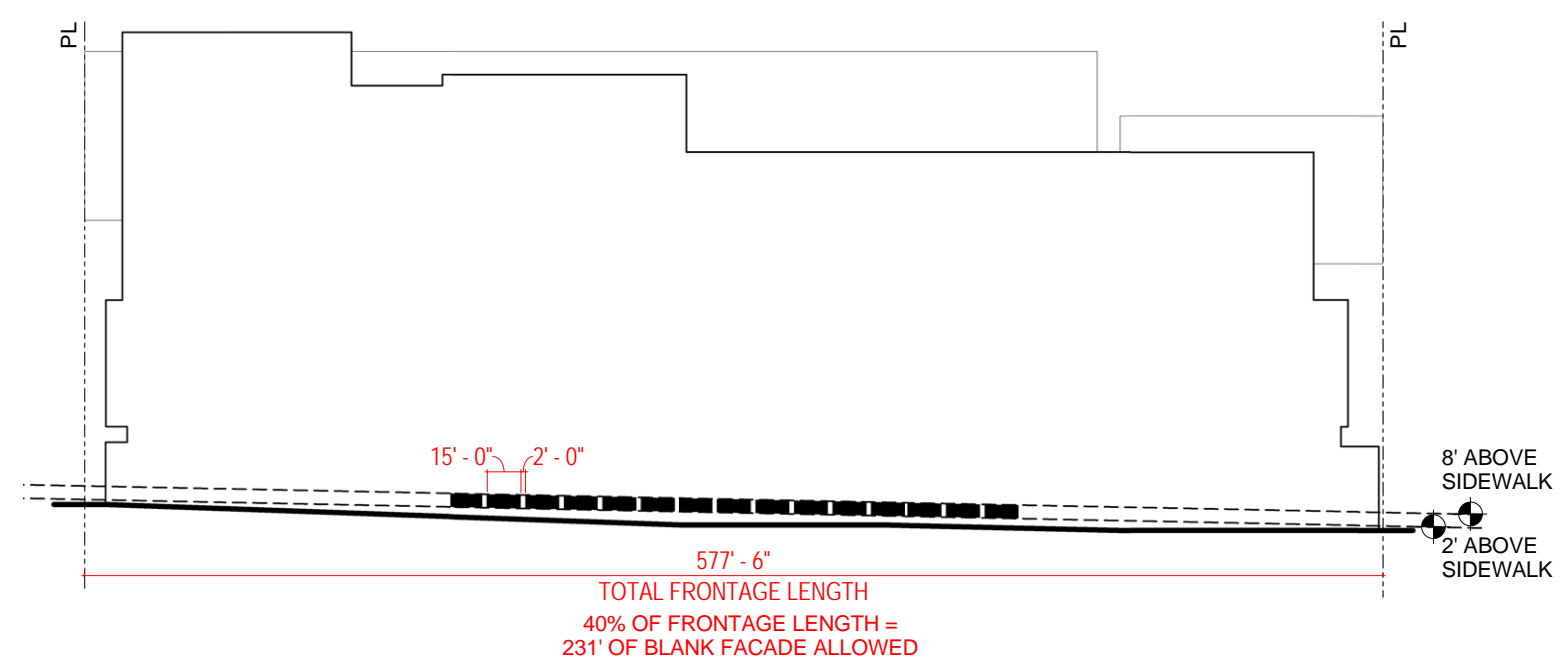
Relevant Design Guidelines - Departure #2 & #3	
<div><div>A1.1 Response to context</div><div>C. Patterns of urban form, such as nearby buildings that have employed distinctive and effective massing compositions</div><div>B1.1 Adjacent features and networks</div><div>B. An adjacent landmark or noteworthy building</div><div>D. Neighboring buildings that have employed distinctive and effective massing compositions</div><div>B3.2 Features to complement</div><div>A. Massing and setbacks</div><div>B. Scale and proportion</div><div>B4.1 Massing</div><div>A. Setbacks, projections, and open space</div><div>B. Relative sizes and shapes of distinct building volumes</div><div>C. Roof height and forms</div><div>B4.2 Coherent design</div><div>D. Modulation and articulation</div><div>I. Building base and top</div><div>C2.1 Modulation of facades</div><div>A. Fenestration pattern</div><div>B. Exterior finish materials</div><div>C. Other architectural elements</div><div>D2.1 Landscape enhancements</div><div>D. Distinctively landscape open areas created by building modulation</div></div>	<div><p>The urban concept considers the multi-block scale of the site, breaking it down to reinforce the familiar grain of the urban fabric. The massing responds to its innate programmatic needs and its location at the intersection of diverse Seattle neighborhoods. Retail is located to activate intersections and define zones. Pedestrian connections echo the urban form of streets and alleys. Planting is used to define edges and characterize zones. The southwest corner of the site marks the primary entry plaza of the convention center. The massing at this intersection and along 9th Avenue is broken down to allow pedestrians and users to enjoy views of Pike Place Market, the waterfront, the Camlin Building and the Paramount Theater. The building will occupy a smaller envelope than possible by code, creating a transition on the edge of downtown to the smaller scale neighborhoods to the east. Terraces, lobbies and retail provide opportunities to compose the building mass appropriate to its context. The massing is broken down into clearly articulated vertical layers of forms and united with a finer grain structural module, which is expressed throughout the entire building.</p><p>The design incorporates bold civic scale gestures and fine grain articulation at the pedestrian edge to further modulate the facade. Additional layering and depth is expressed through a composition of pedestrian circulation, varying facade systems and materials, retail and landscape zones.</p><p>A vegetated roof processes stormwater and provides an urban habitat. Non-vegetated roof surfaces allow rainwater harvesting and solar energy collection. Upper level terraces are available to rent by public. Planting is used throughout the site to define edges and characterize zones. Street trees fill the edges of the site with limited planting on Pine Street to maintain view to water.</p></div>

6 PROPOSED DEPARTURES

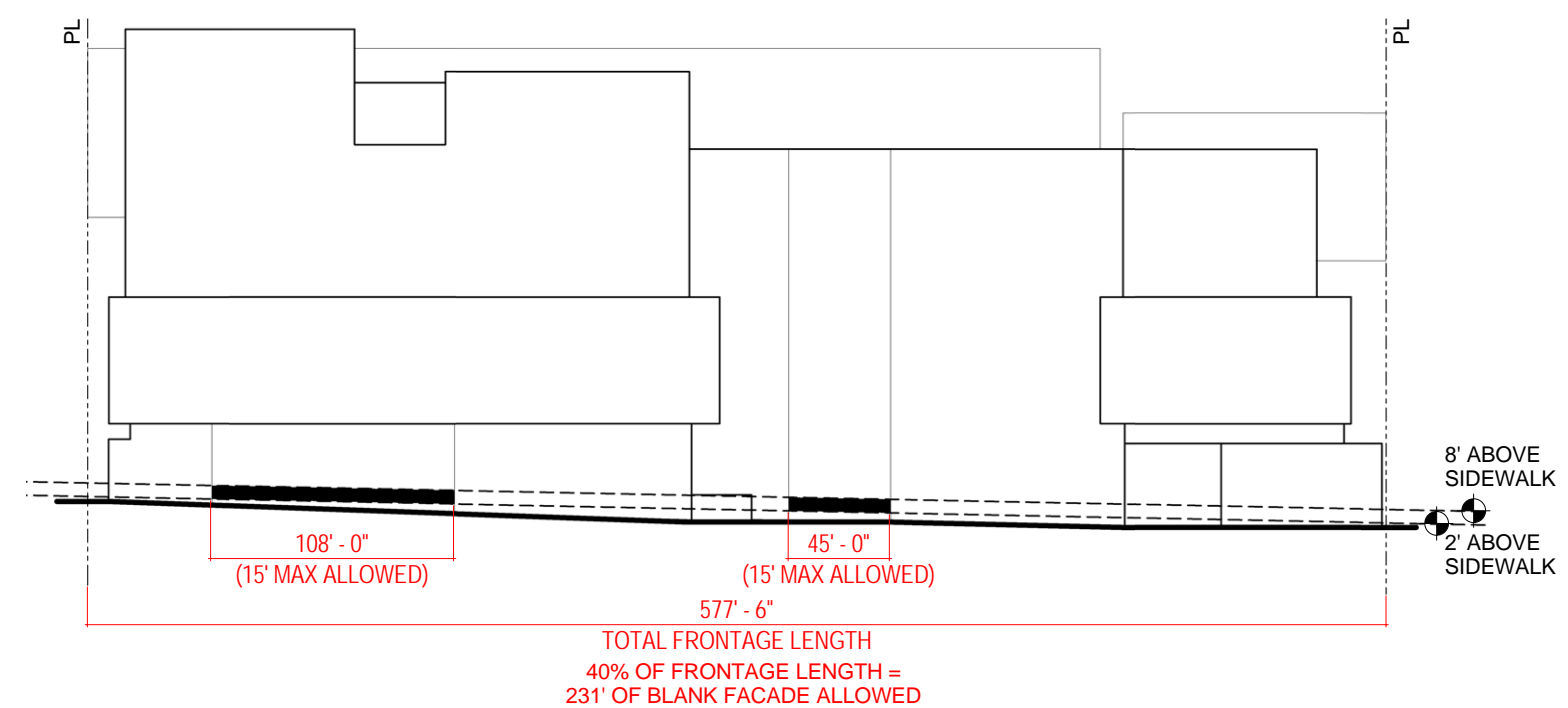
Item #	Development Standard	Requirement	Modification Requested	Rationale
4	23.49.056.D Blank Facade Limits	<p>Blank facade limits apply to the area of the facade between 2 feet and 8 feet above the sidewalk, except that where the slope along the street frontage of the facade exceeds 7.5 Percent, blank facade limits apply to the area of the facade between 4 feet and 8 feet above sidewalk grade.</p> <p>Class I pedestrian streets and designated green streets. Blank facades shall be no more than 15 feet wide except segments with garage doors which may be as wide as the driveway plus 5 feet. May be increased to 30 feet by the director if enhanced with visual interest features. Total width shall not exceed 40% of facade.</p> <p>Class II pedestrian streets. Blank facade segments shall be no more than 30 feet wide, except for garage doors, which may be as wide as the driveway plus 5 feet. May be increased to 60ft by the director if enhanced with visual interest features. Total width shall not exceed 70% of facade, or 75% on slopes greater than 7.5%.</p>	Relief from blank facade requirements along Boren, Olive, and 9th.	<p>The convention center program requires a significant amount of emergency egress and vertical transportation capacity to safely serve the large number of staff and visitors to the facility. Where blank facades are present at specific areas of emergency egress and vertical transportation, the use of shadowboxes, translucent glazing, and vertical vegetation are proposed to provide added visual depth, pattern, and consistency with adjacent window systems. In other areas to the extent possible, additional transparency has been provided extensively beyond code requirements.</p> <p>This departure allows the project to better meet the intent of the design guidelines (described below).</p>

Relevant Design Guidelines - Departure #4	
<p>C2.1 Modulation of facades C. Other architectural elements D. Light fixtures and landscaping elements</p> <p>Canopies, structure, planters, site stairs, overhangs, and vertical planting work together to soften the pedestrian experience and create an increased sense of modulation.</p> <p>C3.1 Desirable facade elements A. Retail spaces B. Visibility into building interiors D. Landscaped or raised bed planted with vegetation that will grow up a vertical trellis or frame installed to obscure or screen the wall's blank surface E. High quality public art F. Small setbacks, indentations G. Different textures, color, or material H. Specialty lighting, a canopy, awning, horizontal trellis to add visual interest</p>	<p>Many of the architectural moves feature desirable facade elements, particularly at the street level. Retail spaces have been provided on all facades above code requirements. Visibility has been provided into building interiors where permissible, including glimpses into the inner workings of elevators. Landscape has taken form both in horizontal and vertical applications. Smaller moves and modulations, textures, colors, materials, and canopies have been integrated into the architecture on all facades.</p> <p>D2.1 Landscape enhancements D. Distinctively landscape open areas created by building modulation G. Provide framework such as trellis or arbor for plants to grown on H. Incorporate upper story planter boxes or roof planters</p> <p>Modulation helps to provide significant pockets of planting at grade. The facade along Boren also features a planting framework for vertical vegetation.</p> <p>E3.1 Methods of integrating service areas A. Plan service areas for less visible locations</p> <p>Service areas have primarily been located below grade and away from public view.</p>

6 PROPOSED DEPARTURES

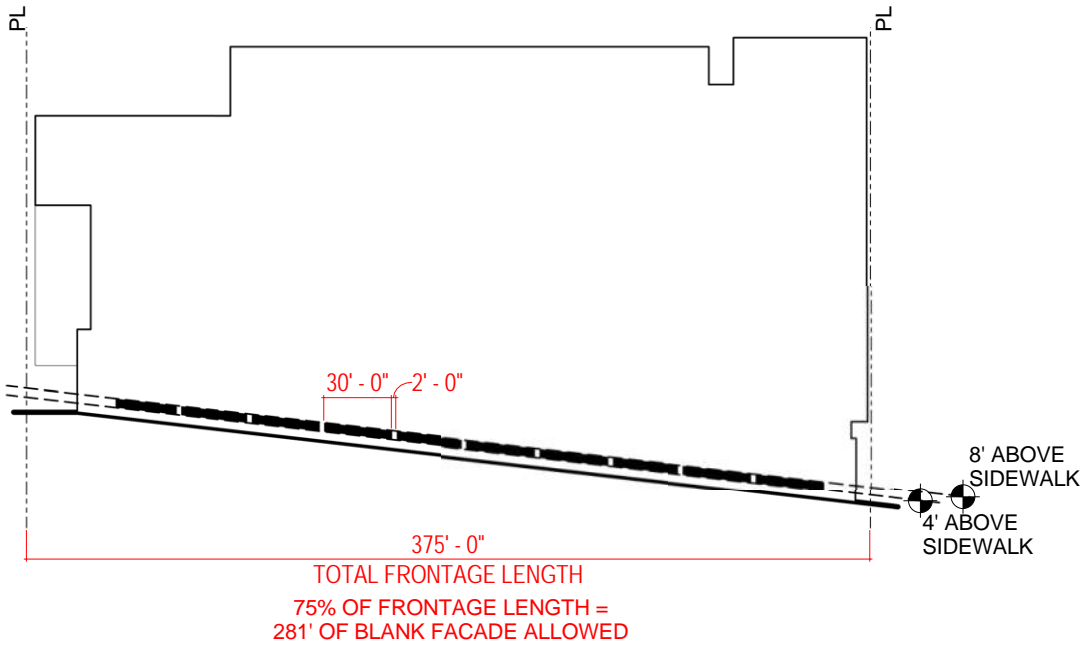


OLIVE WAY - CODE BASELINE

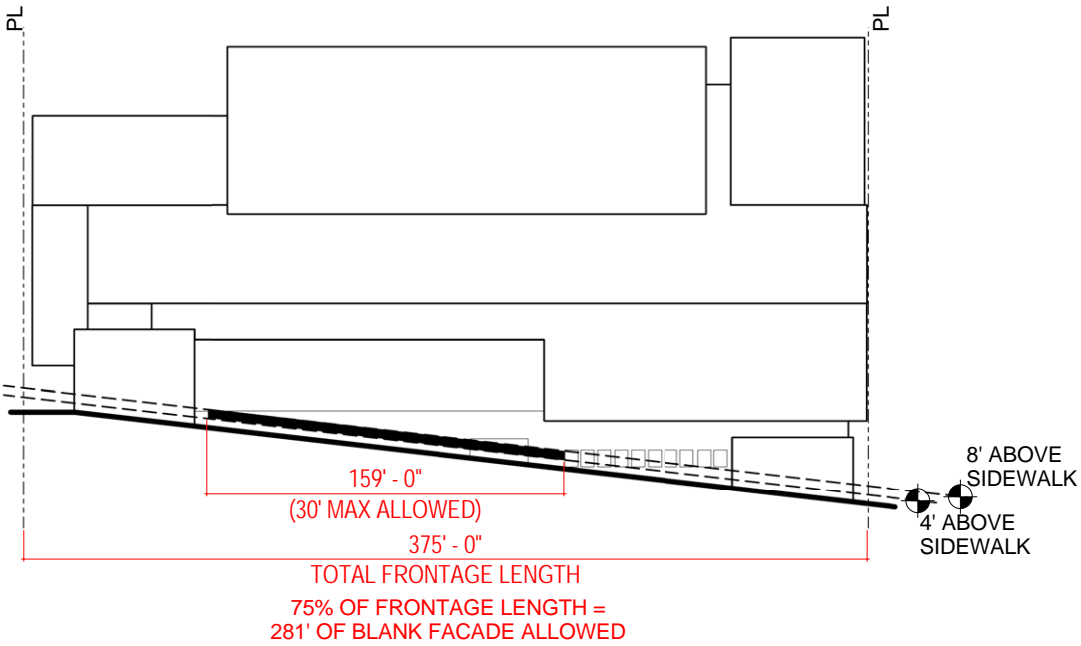


OLIVE WAY - PROPOSED

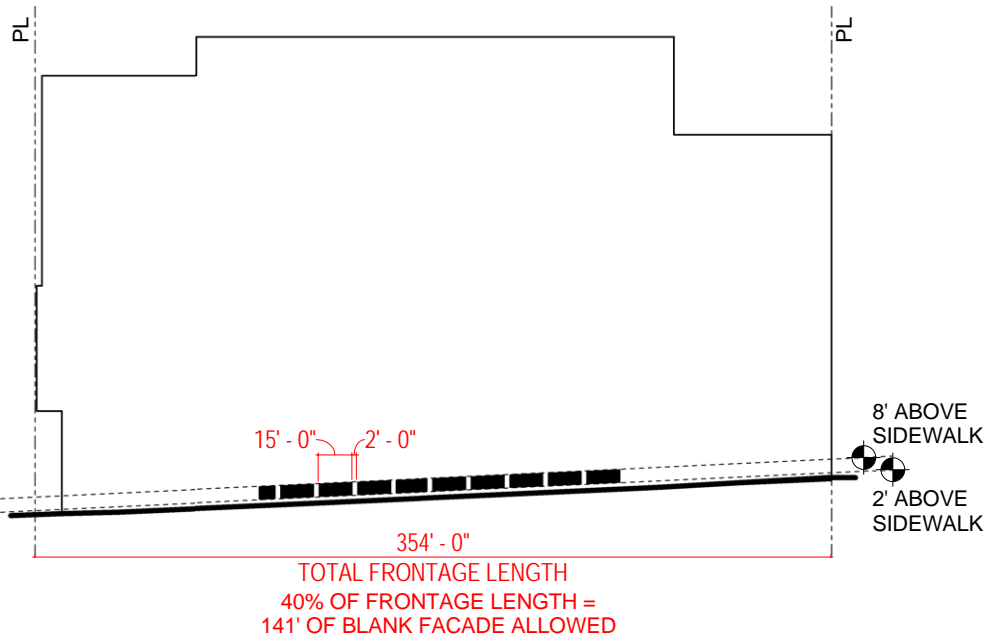
6 PROPOSED DEPARTURES



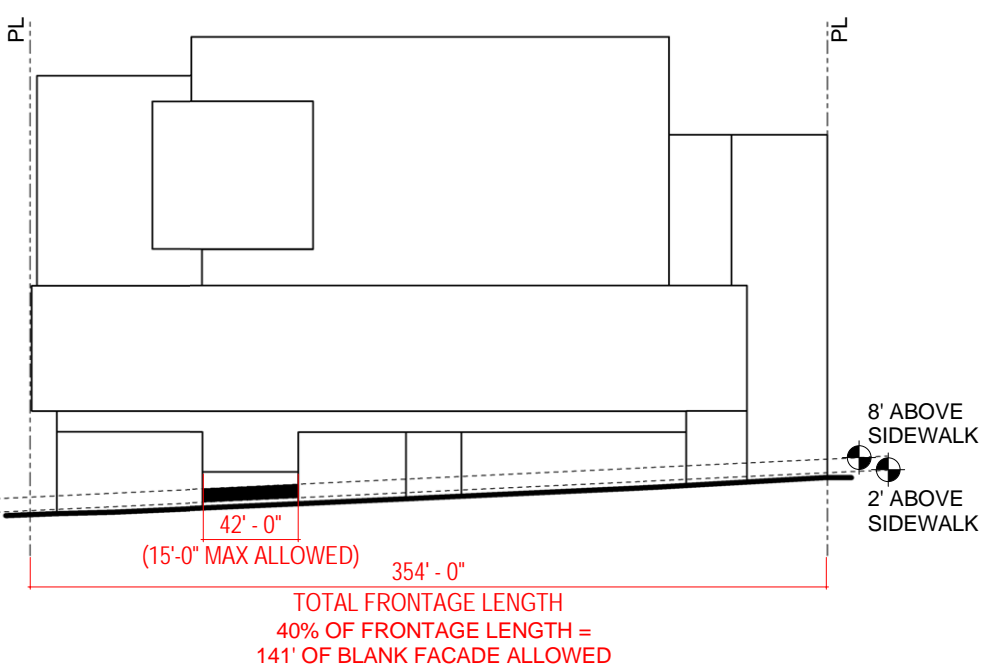
BOREN AVENUE - CODE BASELINE



BOREN AVENUE - PROPOSED



9TH AVENUE - CODE BASELINE

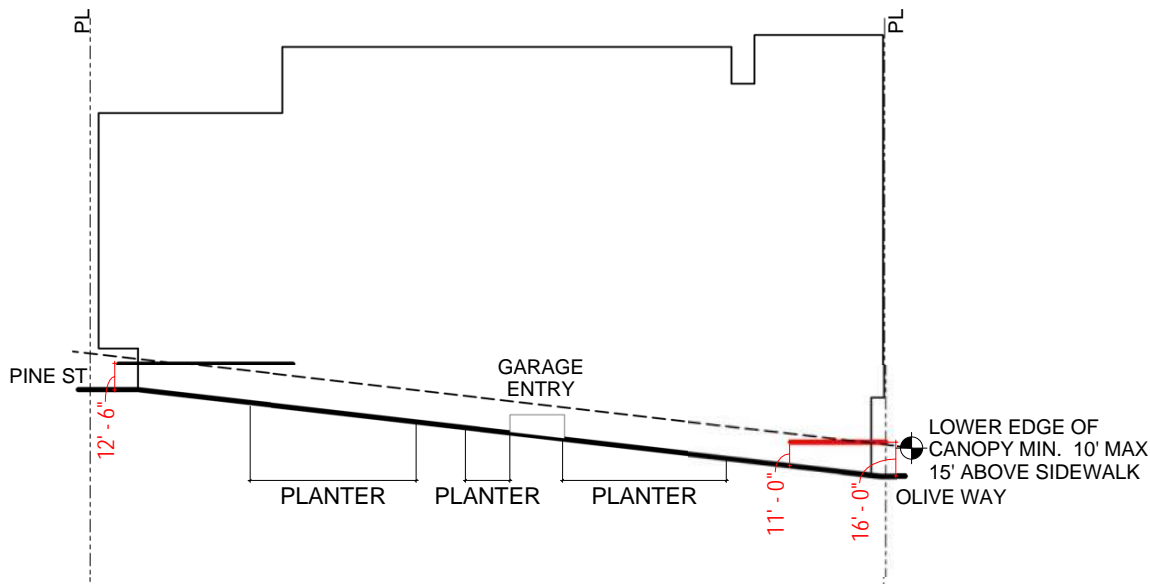
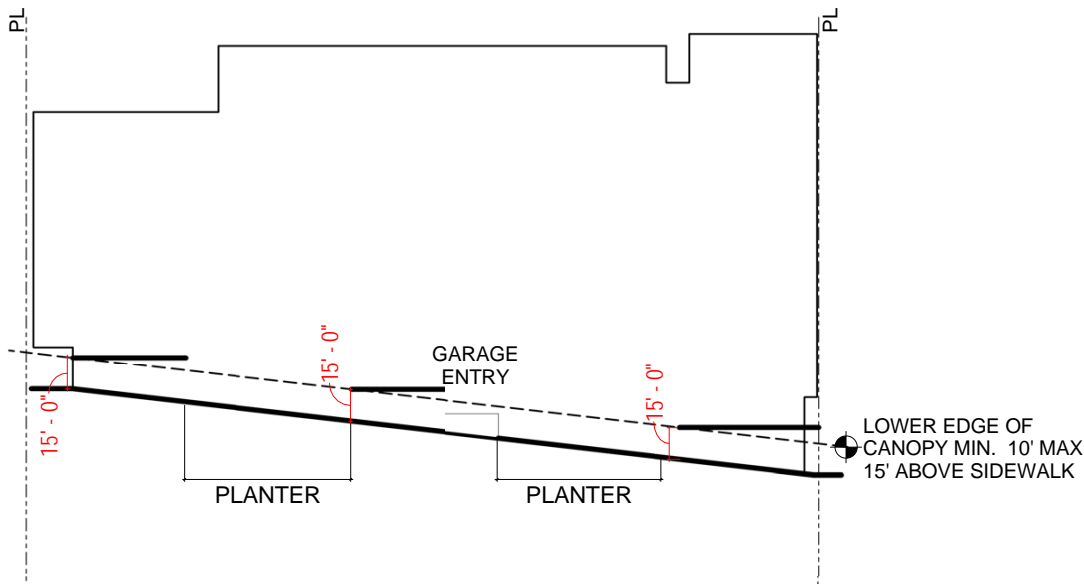


9TH AVENUE - PROPOSED

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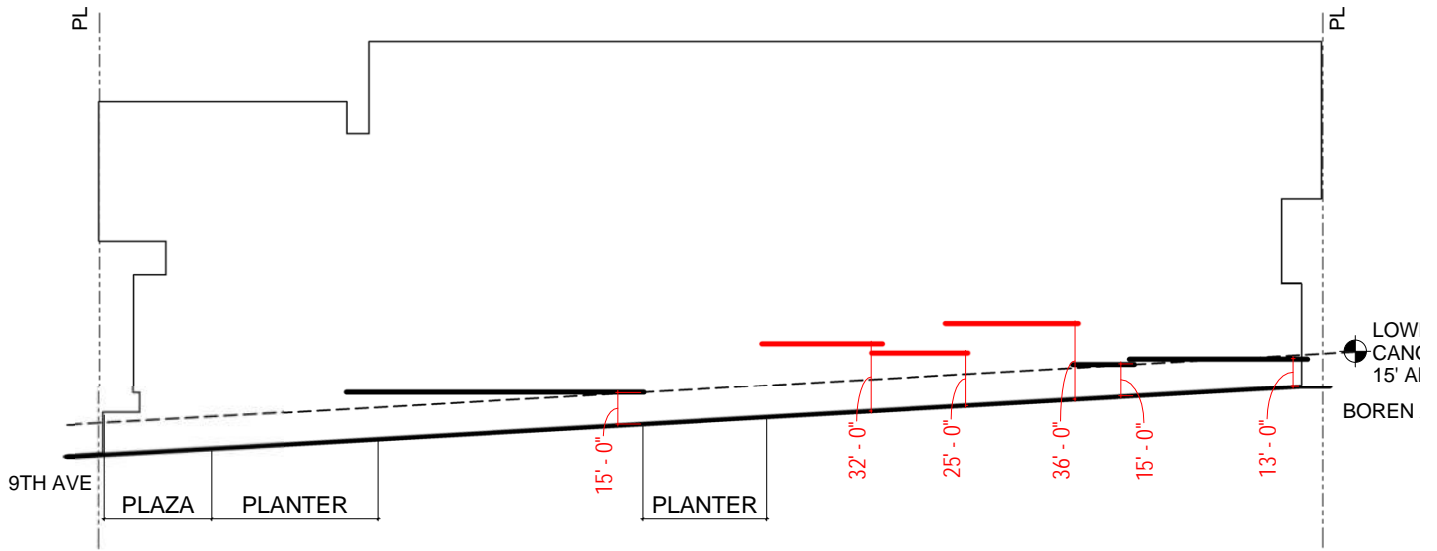
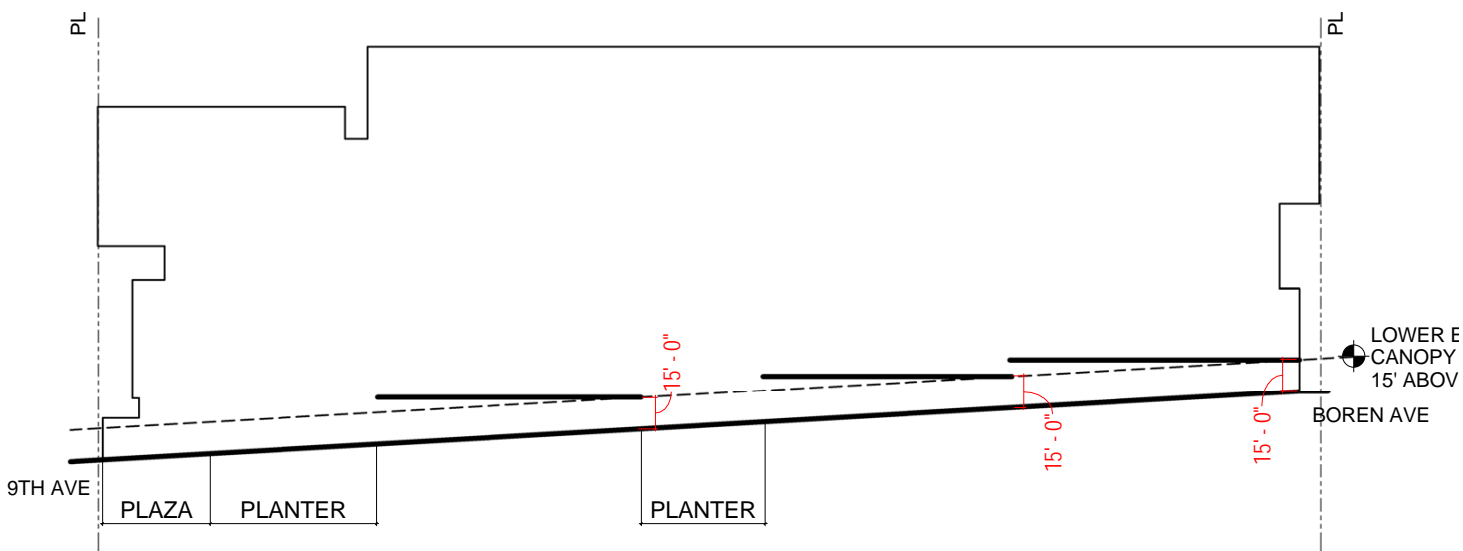
6 PROPOSED DEPARTURES

Item #	Development Standard	Requirement	Modification Requested	Rationale
5	23.49.018 Overhead weather protection	<p>Continuous overhead weather protection is required along the entire street frontage of a lot except along those portions of the structure facade that:</p> <p>Are located farther than five feet from the street property line or widened sidewalk on private property</p> <p>Abut a bonused open space amenity feature</p> <p>Are separated {...} By a landscaped area at least two feet in width</p> <p>Area driveways into structures or loading docks</p> <p>Minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less.</p> <p>The installation of overhead weather protection shall not result in any obstructions in the sidewalk area.</p> <p>The lower edge of the overhead weather protection must be a Min. 10 Feet and a Max. Of 15 feet above the sidewalk.</p>	<p>Variation of overhead weather protection heights as specialty zones</p> <p>■ The lower edge of the overhead weather protection is greater than 15 feet above the sidewalk.</p>	<p>The proposed canopies have been designed to highlight retail and major entries into the project. They promote clear wayfinding and create greater visual interest than that required by code. The remaining canopies have been designed to align with the structural dimensions and promote a more harmonious integration with architectural features.</p> <p>This departure allows the project to better meet the intent of the design guidelines (described below).</p>



6 PROPOSED DEPARTURES

Relevant Design Guidelines - Departure #5	
<p>A1.1 Response to context B. A site having dramatic topography or contrasting edge conditions</p> <p>The canopies take on unique character in response to their context and building program. They interact with the changing topography to create a variety of engaging spatial conditions and to highlight building features such as retail and entry points.</p> <p>B1.1 Adjacent features and networks E. Elements of the pedestrian network nearby</p> <p>While maintaining a continuous network of overhead weather protection on site, the canopy system relates to adjacent features through gentle overtures toward surrounding streets (Terry terminus) and pedestrian flow (Pine Street massing and hill climb).</p>	<p>B4.1 Massing A. Setbacks, projections, and open space B. Relative sizes and shapes of distinct building volumes</p> <p>The building massing is framed, highlighted, and complemented by the canopy designs. Canopies help to define and activate important interactive areas while helping building volumes relate to contextual scale.</p> <p>B4.2 Coherent design D. Modulation and articulation I. Building base and top</p> <p>Canopies are used in some instances to help unify building elements (9th Avenue green street retail market) and in others to help distinguish the building into clearly articulated and layered</p>

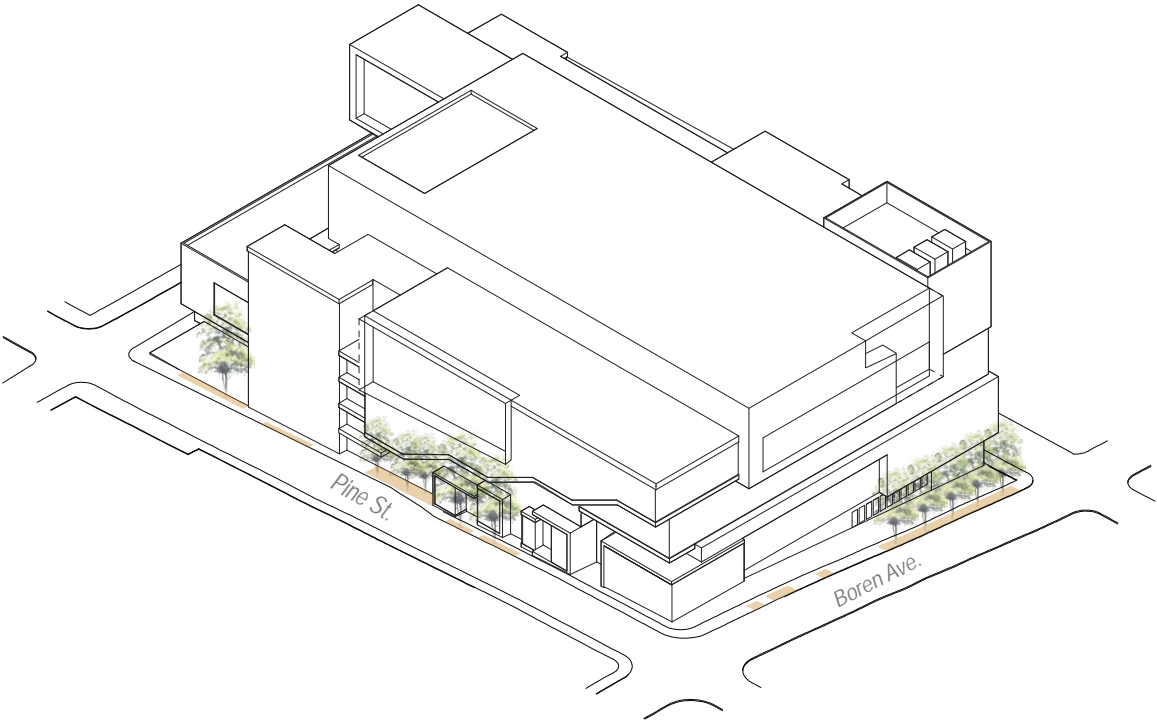


6 PROPOSED DEPARTURES

Item #	Development Standard	Requirement	Modification Requested	Rationale
6	SMC.23.49.056 F1a Landscaping In Street Right Of Way SMC.23.49.056 F1b	<p>Landscape area shall be at least 18 inches wide and shall be located in the public right-of-way along the entire length of the street lot line, except for building entrances, vehicular access or other connections between sidewalk and the lot, provided that the exceptions may not exceed 50% of the total length of the street lot line(s).</p> <p>As an alternative to locating the landscape at the street lot line, all or a portion of the required landscaped area may be provided in the sidewalk area within 5 feet of the curb line.</p> <p>Total length of landscape required along lot line: 50% of 578.25 Lf = 289.13 LF</p>	<p>Landscape area adjoining the curb are 6'-0" and 6'-9" wide and covers 83.32 LF.</p> <p>Additional landscape area of 138.58 LF (80 LF + 58.58 LF) provided in the sidewalk area but is located more than 5 feet of the curb line</p> <p>Total length of landscape provided: 83.32 LF + 80 LF + 58.58 LF = 221.90 LF</p> <p>136 LF of the lot line is over WSDOT highway, and additional load cannot be added to the existing structure. To meet the recommended standards, propose deducting the length of the WSDOT lot line from the calculations.</p> <p>Deducting the LF over WSDOT: 578.25 LF - 136.33 LF = 441.92 LF</p> <p>Total length of landscape required: 50% of 441.92 LF = 220.96 LF</p> <p>Total length of landscape provided is 221.90 LF</p>	<p>Per design review guidelines for downtown development</p> <p>A1.2: Response to planning efforts D2.1: Landscape enhancements D. Distinctively landscape open areas created by building modulation</p> <p>Planting design for pine street enhances interest and diversity along this two block stretch, building on the character of the larger Denny Triangle Neighborhood green streets where informal character and variety help define the neighborhood character. Large planting areas along building edge capitalize and support building modulation and incorporates additional trees. The largest of the planters marks the location of the former intersection of Pine Street and Terry Avenue, helping to break down the scale of the double block for pedestrians. Native species of trees and shrub planting also contribute to rich native character of Denny Triangle Neighborhood. In place of planting over WSDOT bridge structure, other pedestrian amenities enhance pedestrian connections and support a continuous experience. Irregular planting spacing on both sides of sidewalk also preserves and enhances iconic view to Pike Place and Elliot Bay marking this location as an important moment for orienting pedestrians between Capitol Hill, DOWNTOWN, Denny Triangle Neighborhood and First Hill. The planting design also supports pedestrian connections into and out of the new plaza at the intersection of 9th Avenue and Pine Street. Planting helps frame the plaza edge while keeping the sidewalk clear at this important pedestrian crossing.</p>

Item #	Development Standard	Requirement	Modification Requested	Rationale
7	SMC.23.49.056 F1a Landscaping In Street Right Of Way	<p>Landscape area shall be at least 18 inches wide and shall be located in the public right-of-way along the entire length of the street lot line, except for building entrances, vehicular access or other connections between sidewalk and the lot, provided that the exceptions may not exceed 50% of the total length of the street lot line(s).</p> <p>Total length of landscape required along lot line: 50% of 370.83 Lf = 185.42 LF</p>	<p>Landscape area is 5'-6" wide and covers 133.33LF.</p> <p>120 LF of the lot line is over wsdot highway, and additional load cannot be added to the existing structure. To meet the recommended standards, propose deducting the length of the WSDOT lot line from the calculations.</p> <p>Deducting the lf over WSDOT: 370.83 LF - 120.83 LF =250 LF</p> <p>Total length of landscape required: 50% of 250 LF = 125 LF</p> <p>Total length of landscape provided is 133.33 LF</p>	<p>Per design review guidelines for downtown development</p> <p>A1.2: Response to planning efforts D2.1: Landscape enhancements D. Distinctively landscape open areas created by building modulation G. Provide framework such as trellis or arbor for plants to grown on H. Incorporate upper story planter boxes or roof planters</p> <p>Planting design for Boren Avenue maximizes a strong protective edge of planting where possible given the existing constraints of the wsdot overpass. Additional planting along the building facade creates a rich two-sided experience that enhances pedestrian connectivity. Additional planting incorporated into the building facade system and a planted terrace above establish a rich green character that supports the larger goals of the Denny Triangle Neighborhood.</p>

6 PROPOSED DEPARTURES

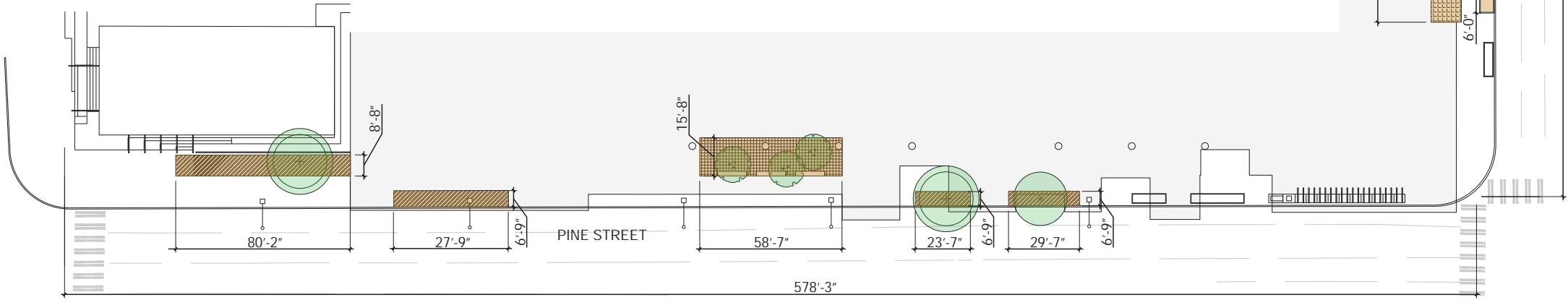


LENGHT OF LANDSCAPE PROVIDED = 221.90 LF
ALONG PINE STREET

LENGHT OF LANDSCAPE REQUIRED = 220.96 LF
ALONG PINE STREET

LENGHT OF LANDSCAPE PROVIDED = 133.33 LF
ALONG BOREN AVENUE

LENGHT OF LANDSCAPE REQUIRED = 125.00 LF
ALONG BOREN AVENUE



AGENDA

INTRODUCTION

- Summary of EDG 3 Comments & Design Response

DESIGN RECOMMENDATION

- Site Plan
- Pine Street
- 9th Avenue
- Olive Way
- Boren Avenue

MATERIALITY

DEPARTURES

MODEL



NOW LEASING 855.594.8657

PREMIERE ON PINE.COM

NE SIES
APR 27
3-MAY 1
8HRS.00E

PARAMOUNT

simply



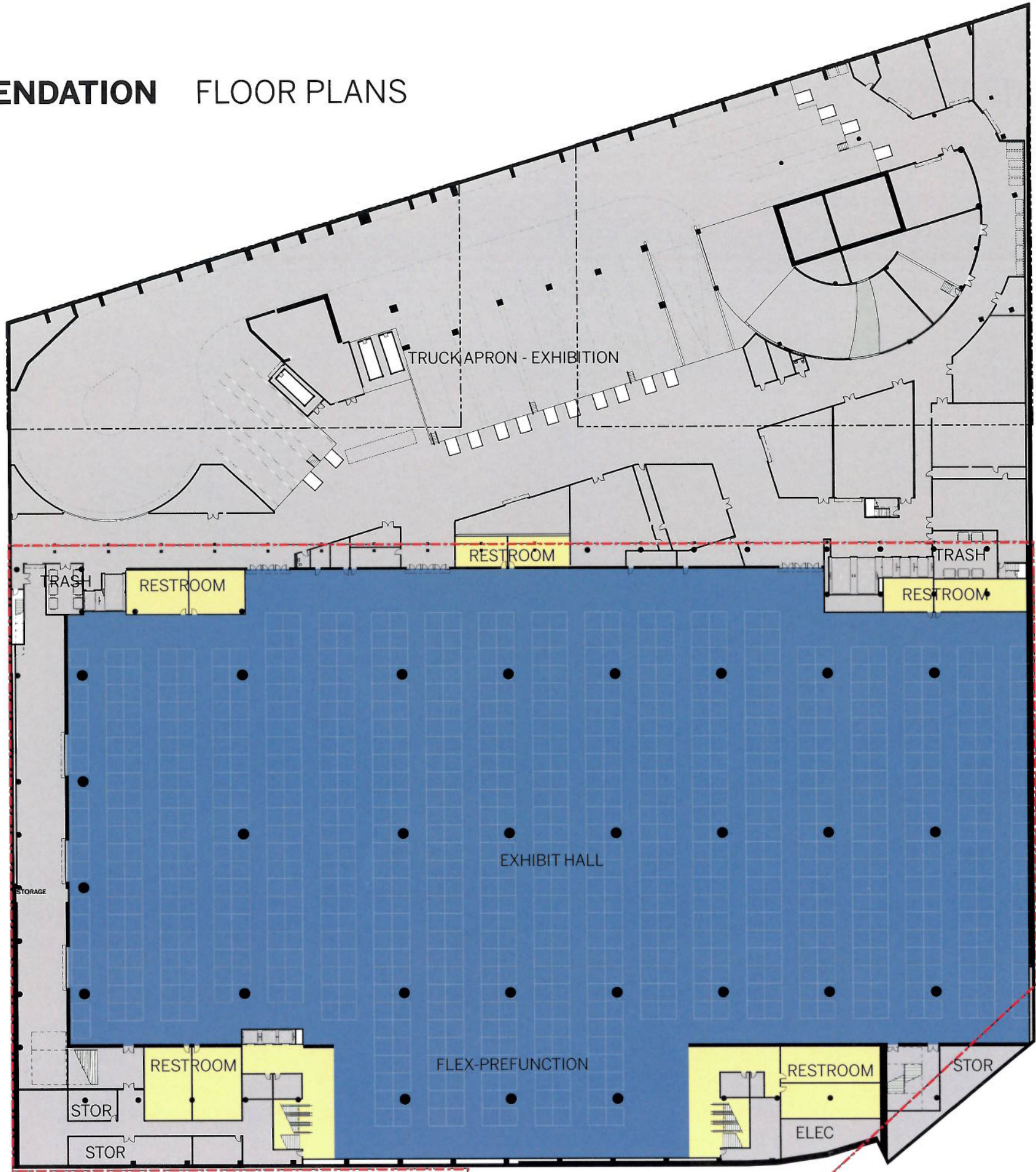
4 DESIGN RECOMMENDATION SITE PLAN

SITE PLAN



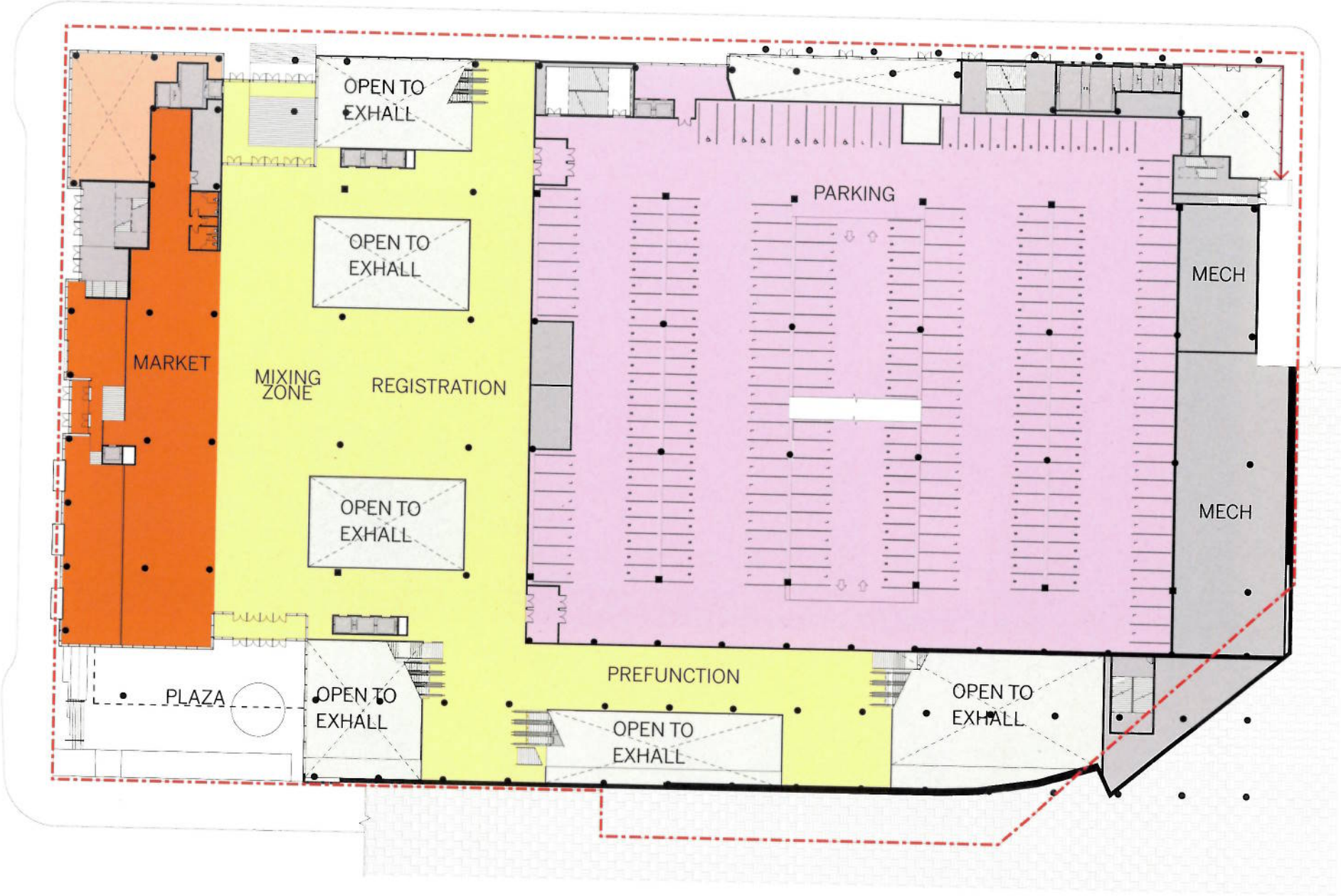
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LEVEL B2



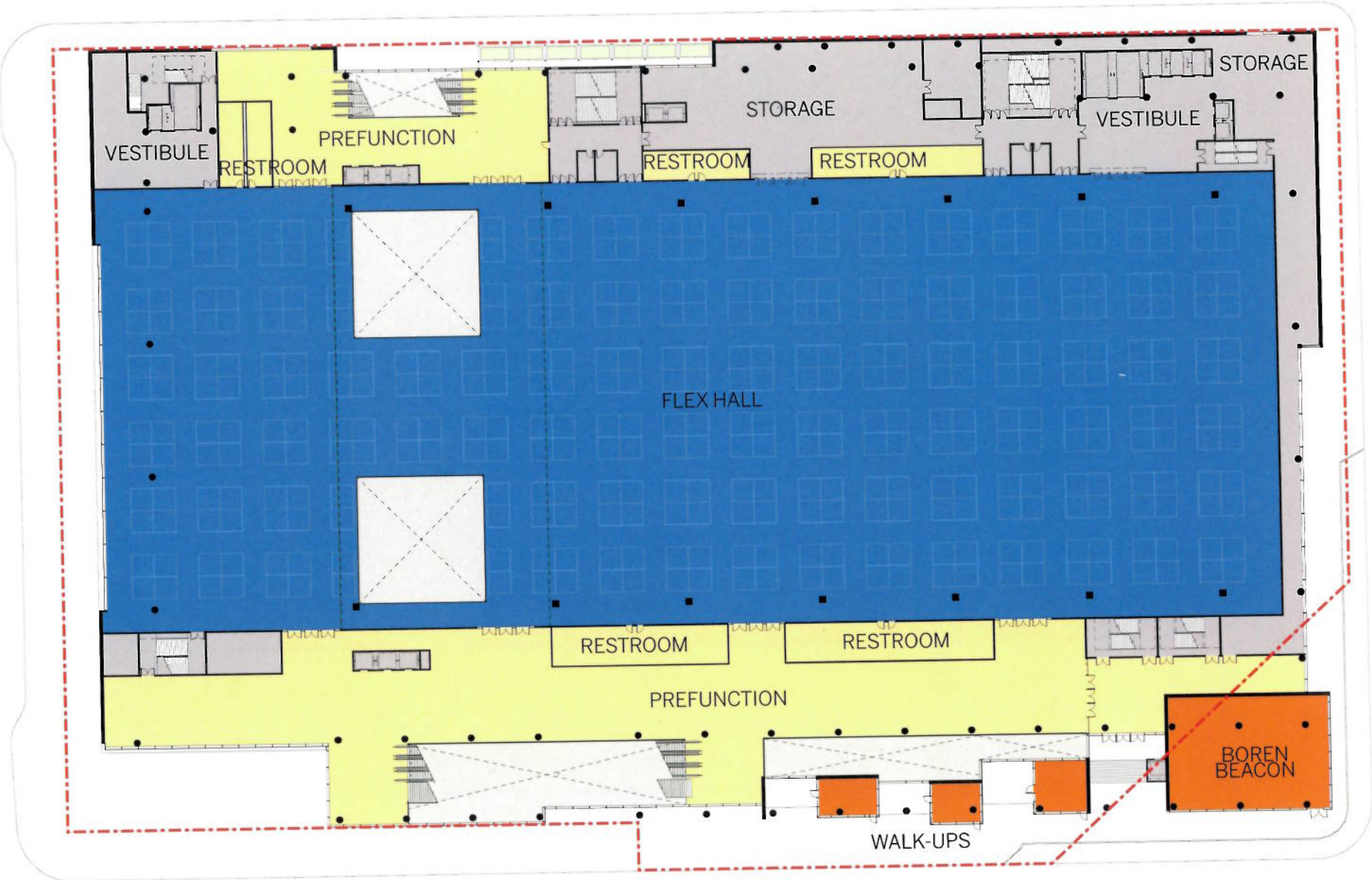
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LEVEL 2



4 DESIGN RECOMMENDATION FLOOR PLANS

LEVEL 5



4 DESIGN RECOMMENDATION FLOOR PLANS

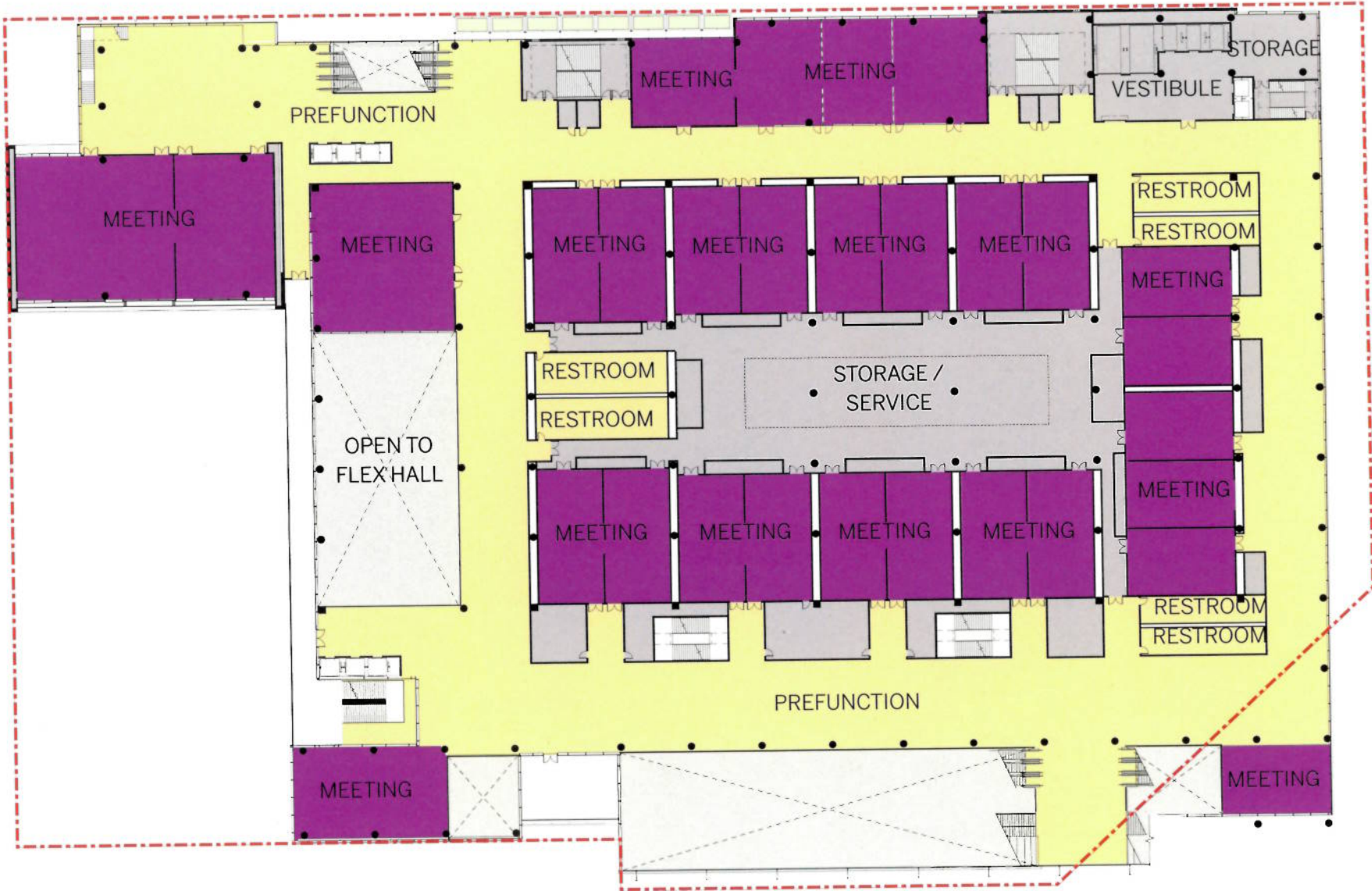
LEVEL 8



4 DESIGN RECOMMENDATION

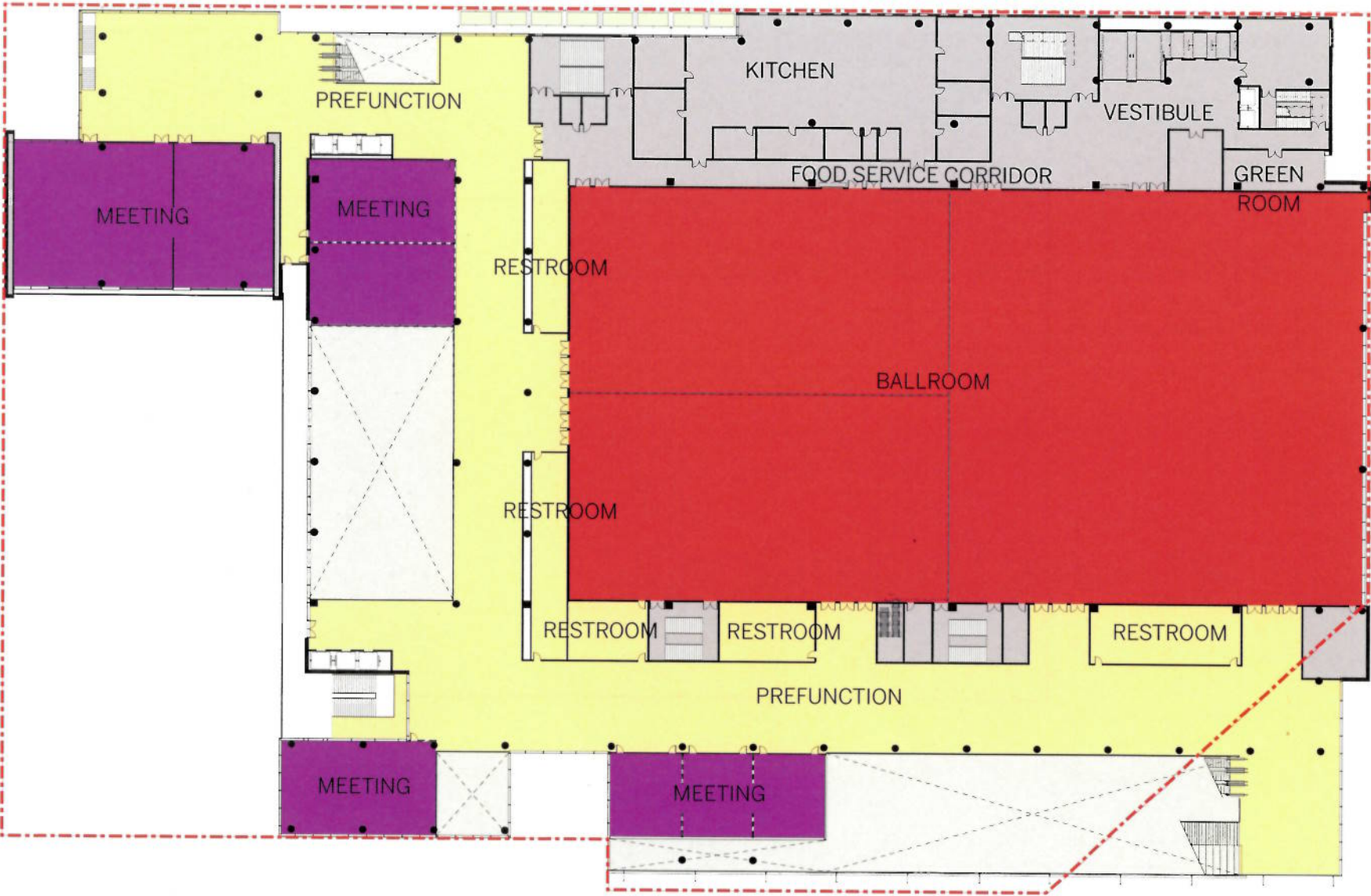
FLOOR PLANS

LEVEL 9



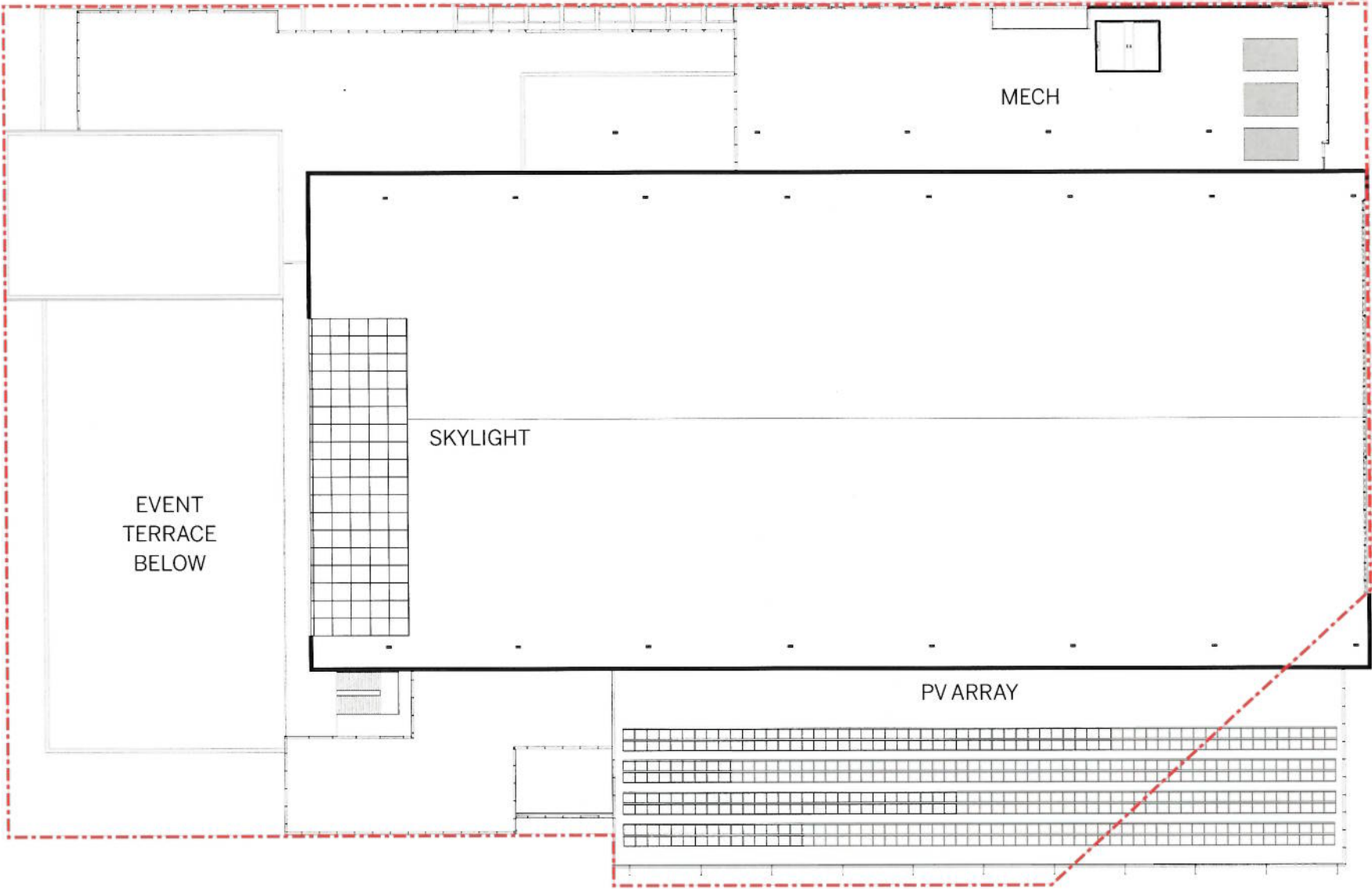
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LEVEL 10

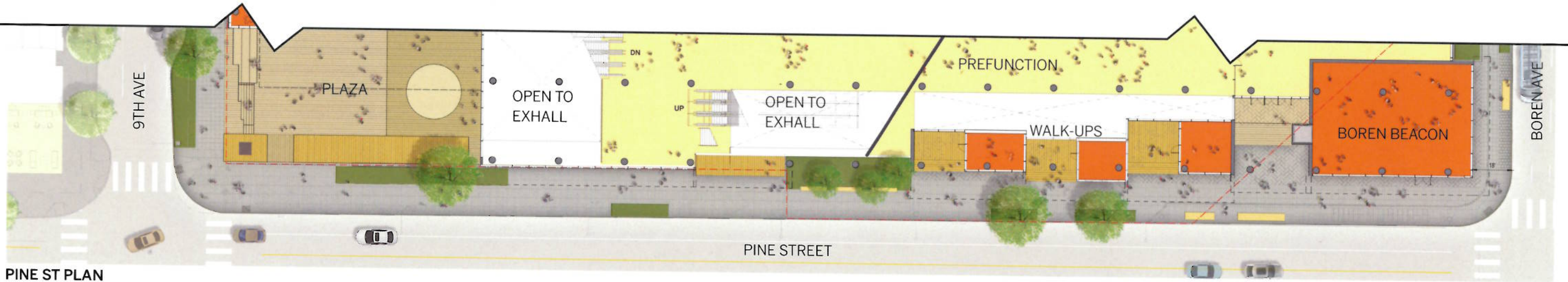
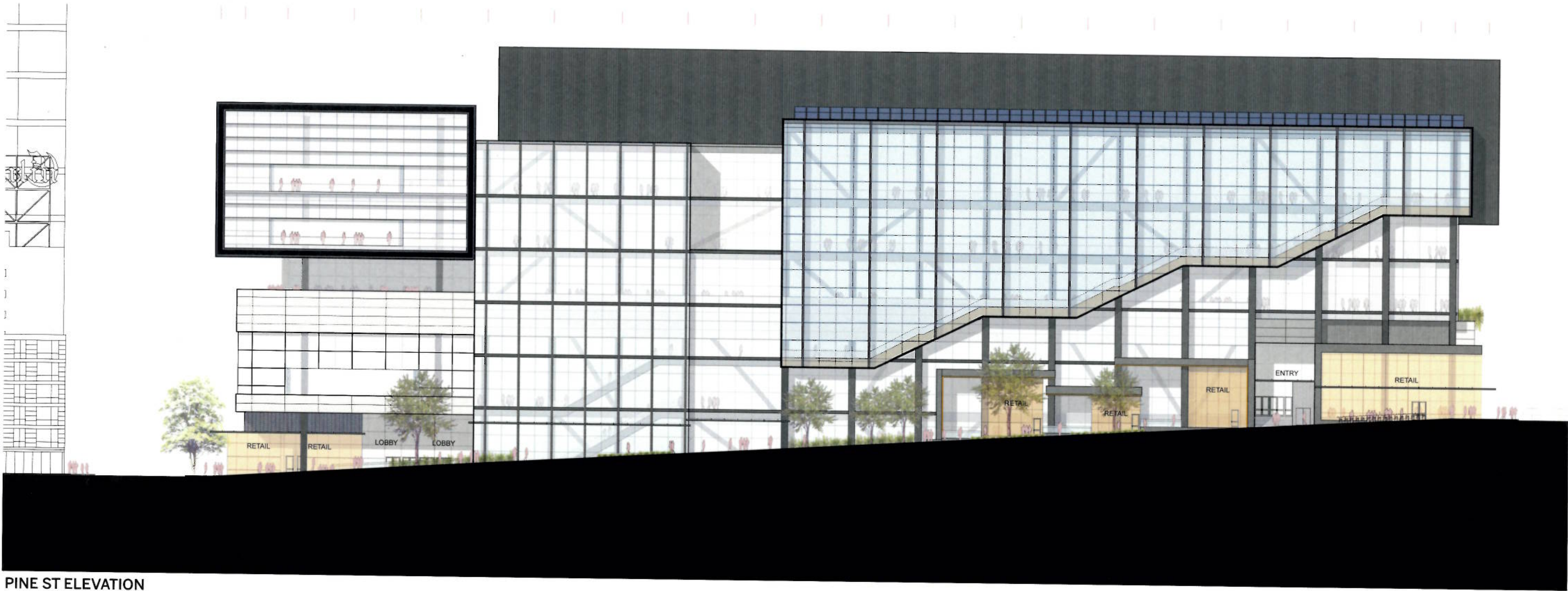


4 DESIGN RECOMMENDATION FLOOR PLANS

LEVEL 13



4 DESIGN RECOMMENDATION PINE STREET ELEVATION



4 DESIGN RECOMMENDATION OLIVE WAY ELEVATION

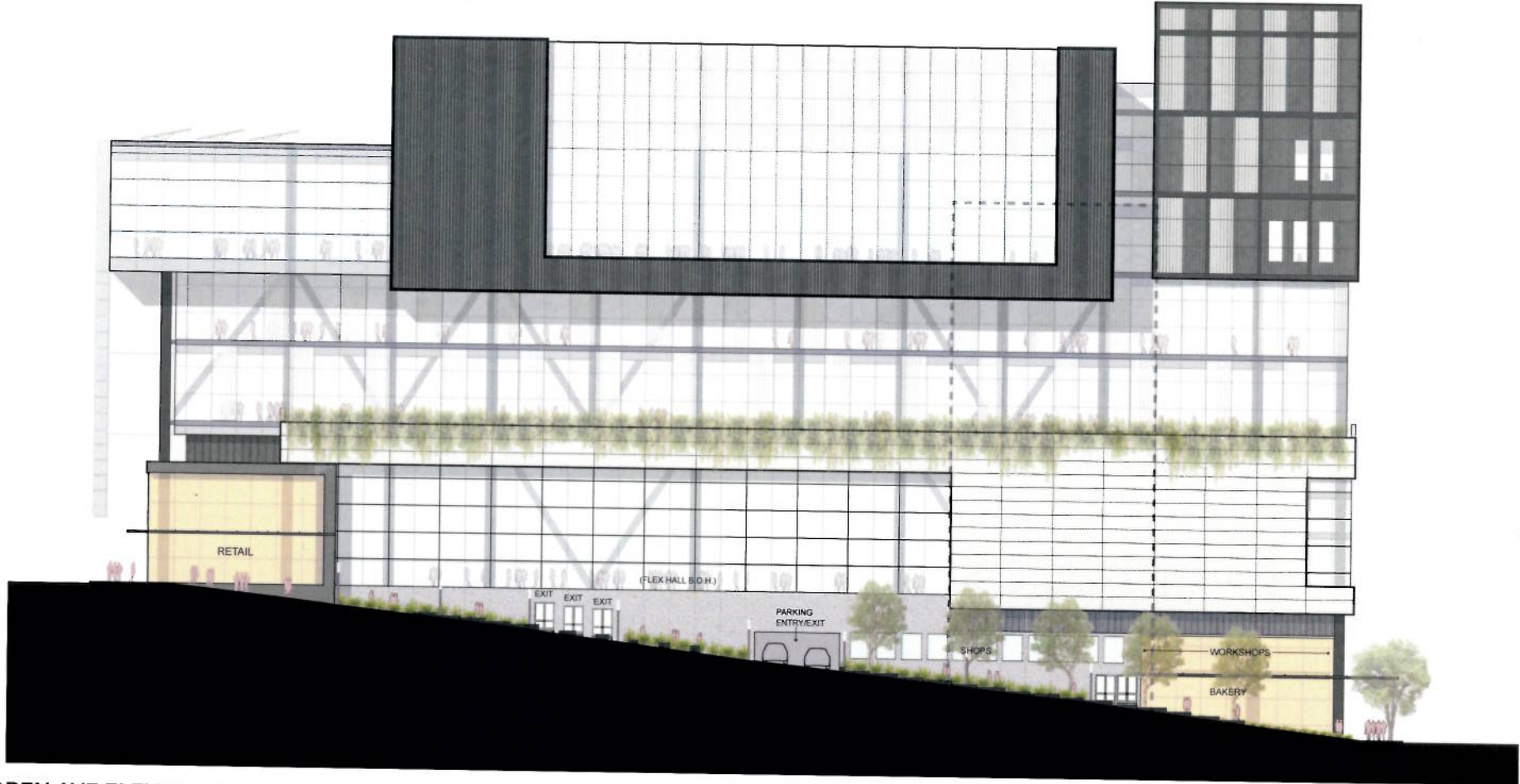


OLIVE WAY ELEVATION

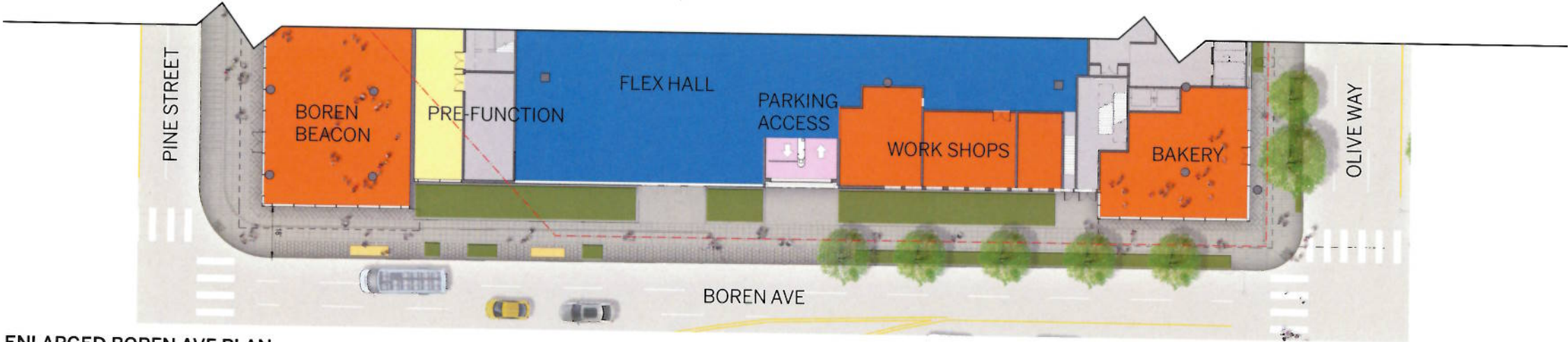


OLIVE WAY PLAN

4 DESIGN RECOMMENDATION BOREN AVENUE ELEVATION



ENLARGED BOREN AVE ELEVATION



ENLARGED BOREN AVE PLAN

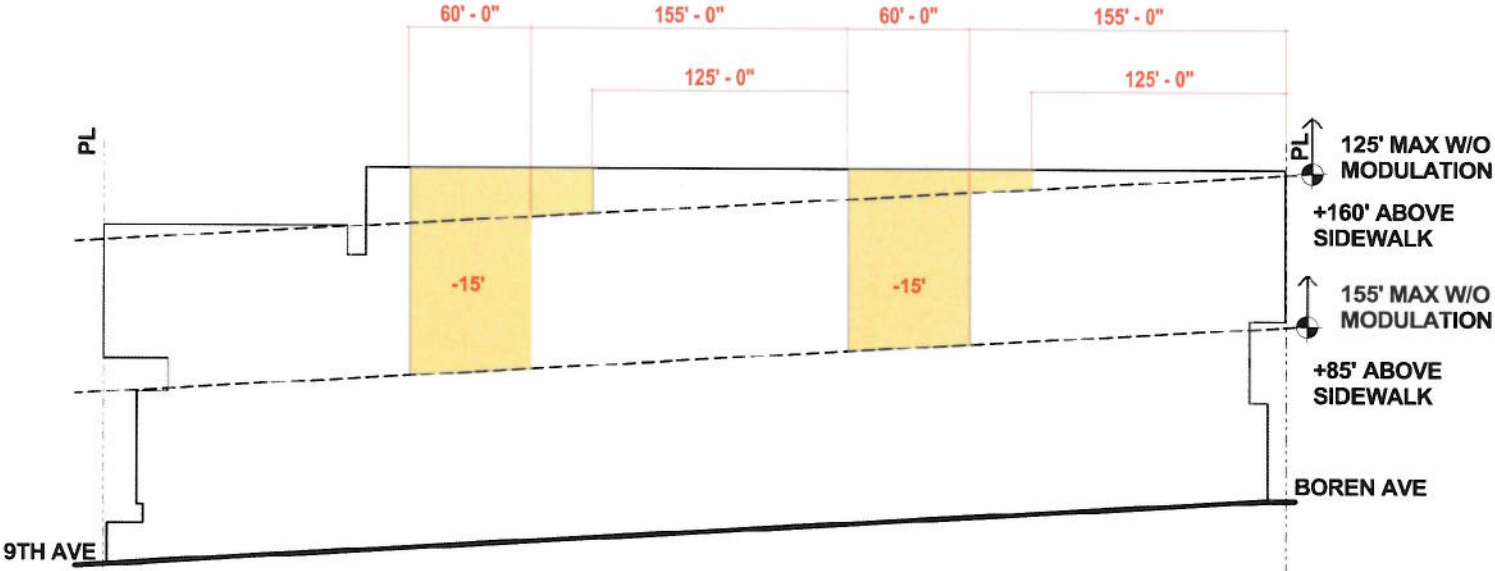
4 DESIGN RECOMMENDATION 9TH AVENUE ELEVATION



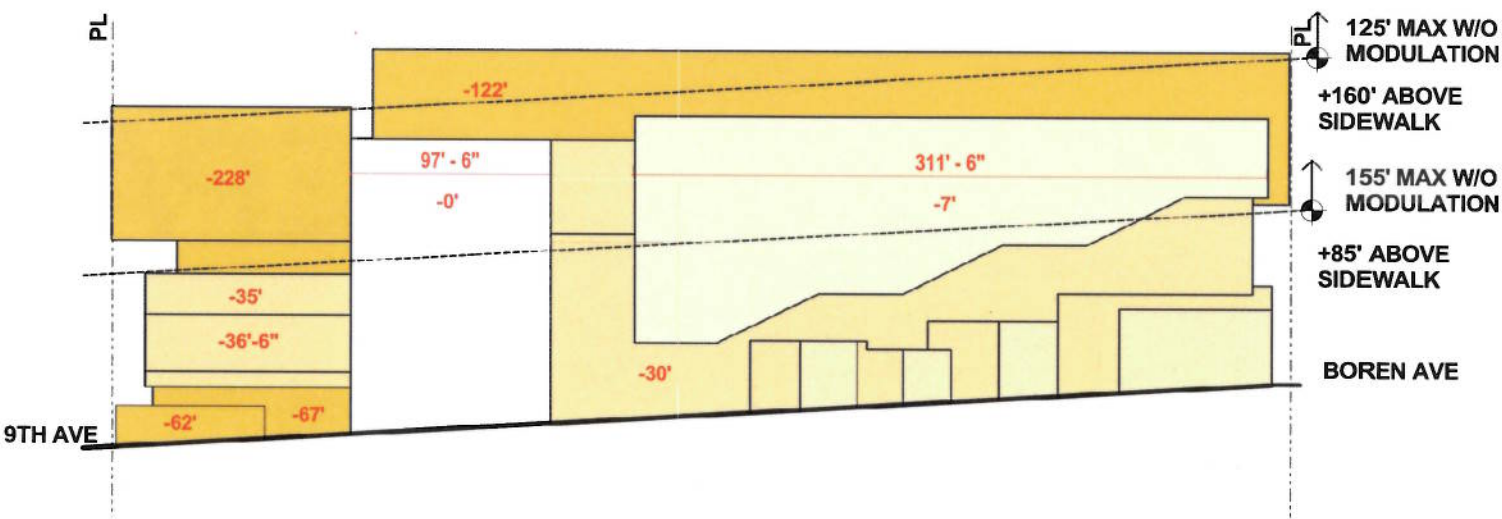
9TH AVE PLAN OF MIXING ZONE

DEPARTURES

DEPARTURE 01a - Facade Modulation

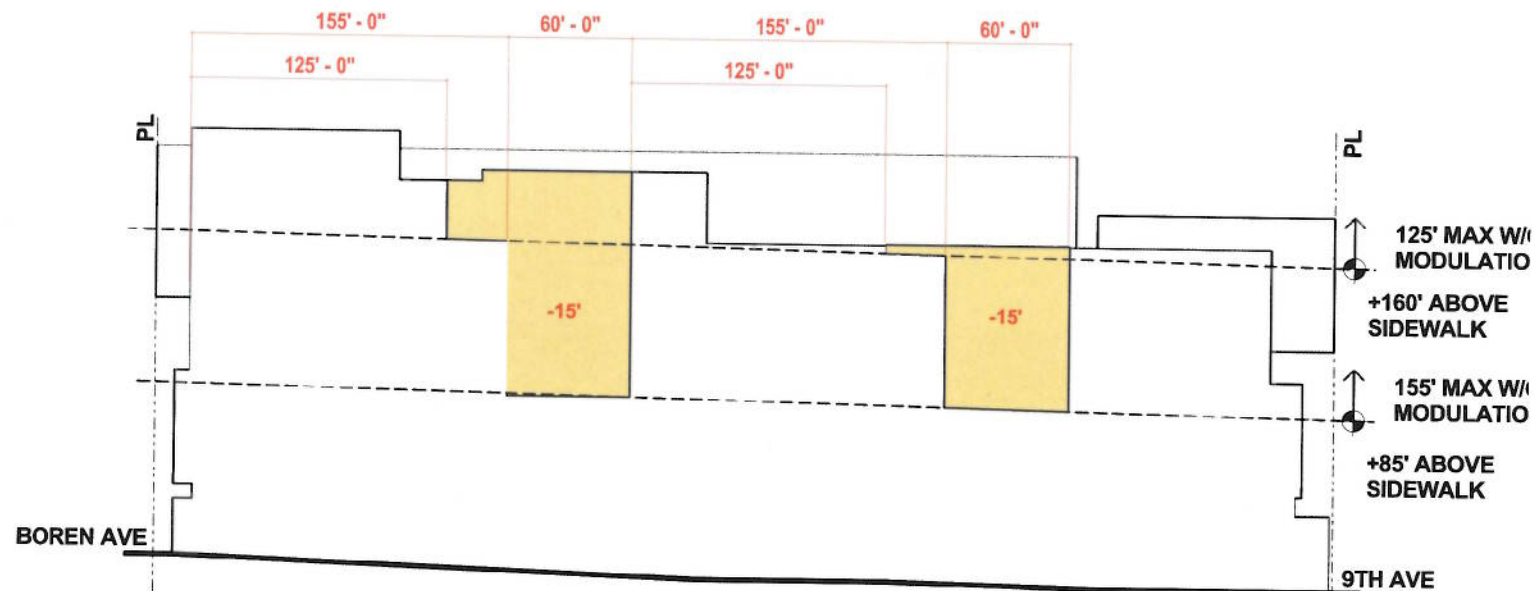


PINE STREET - CODE BASELINE

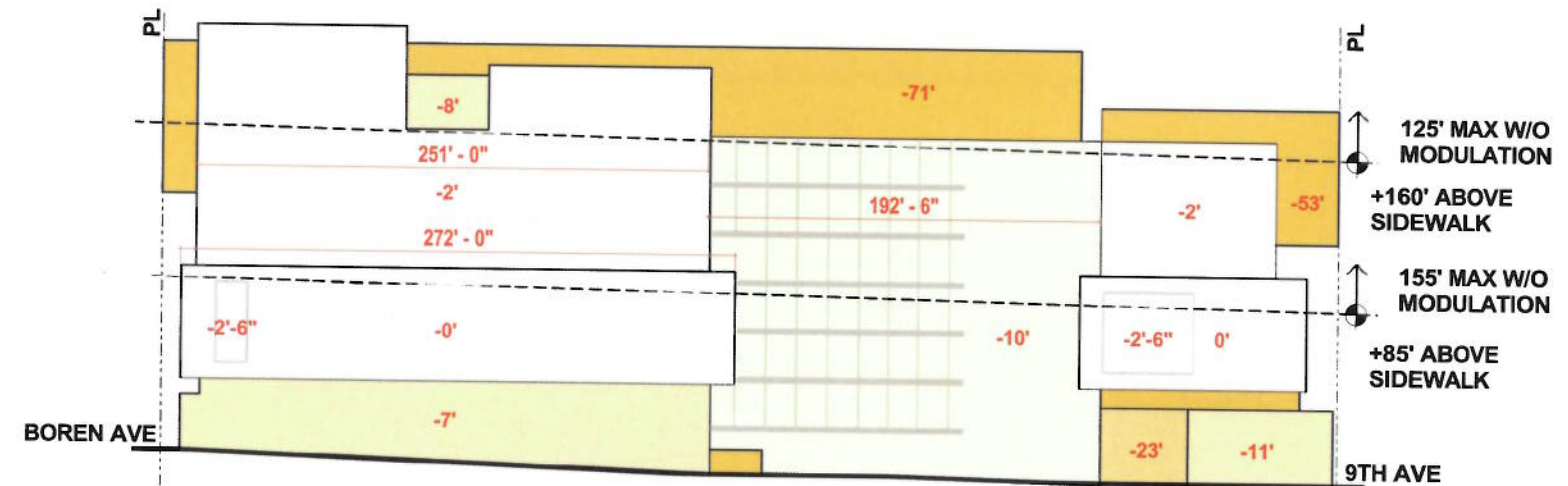


PINE STREET - RECOMMENDED

DEPARTURE 01b - Facade Modulation

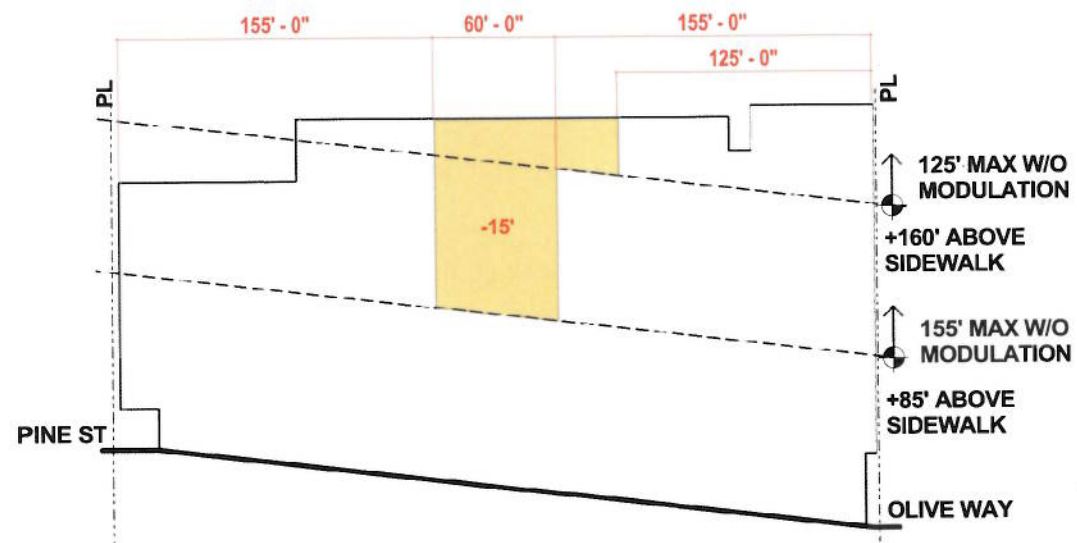


OLIVE WAY - CODE BASELINE

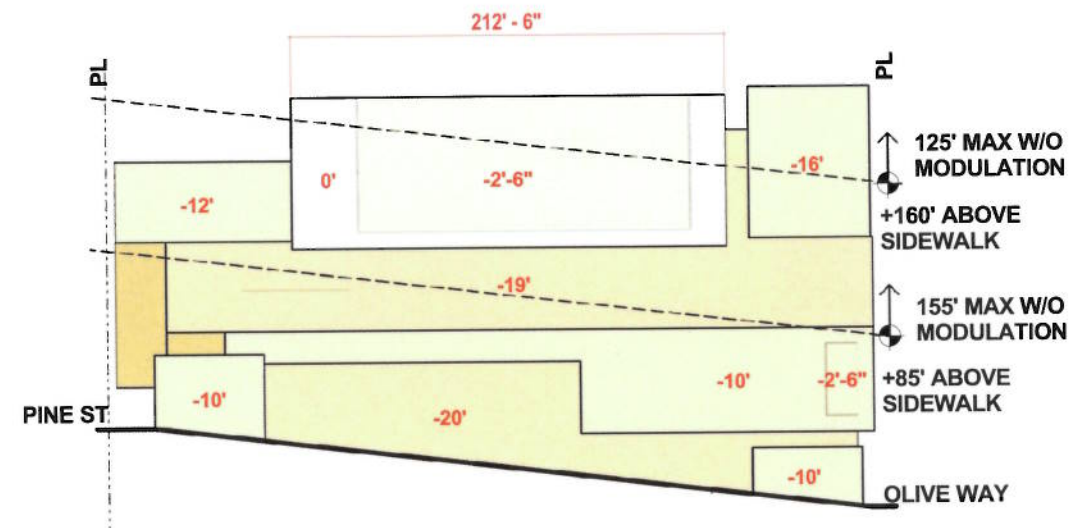


OLIVE WAY - RECOMMENDED

DEPARTURE 01c- Facade Modulation

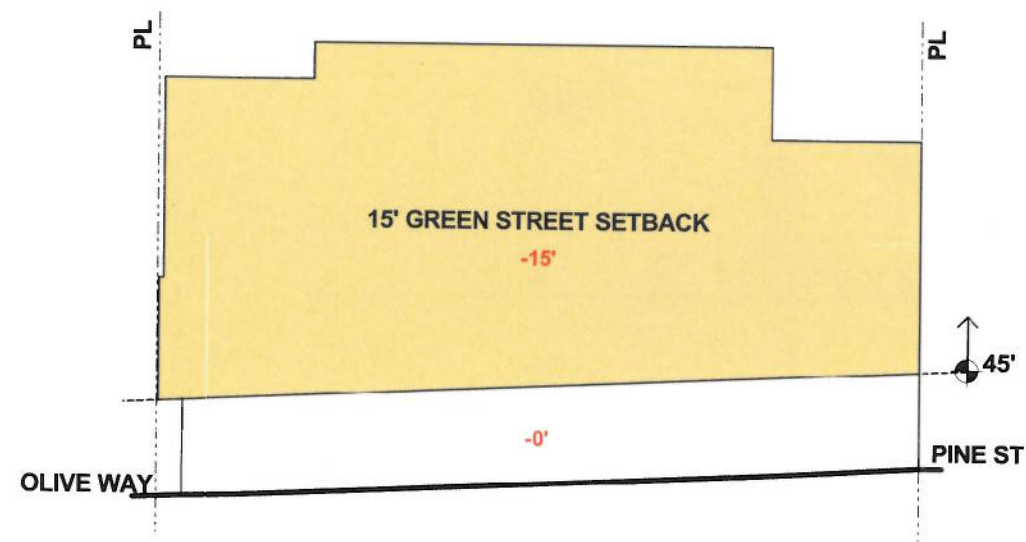


BOREN AVENUE - CODE BASELINE

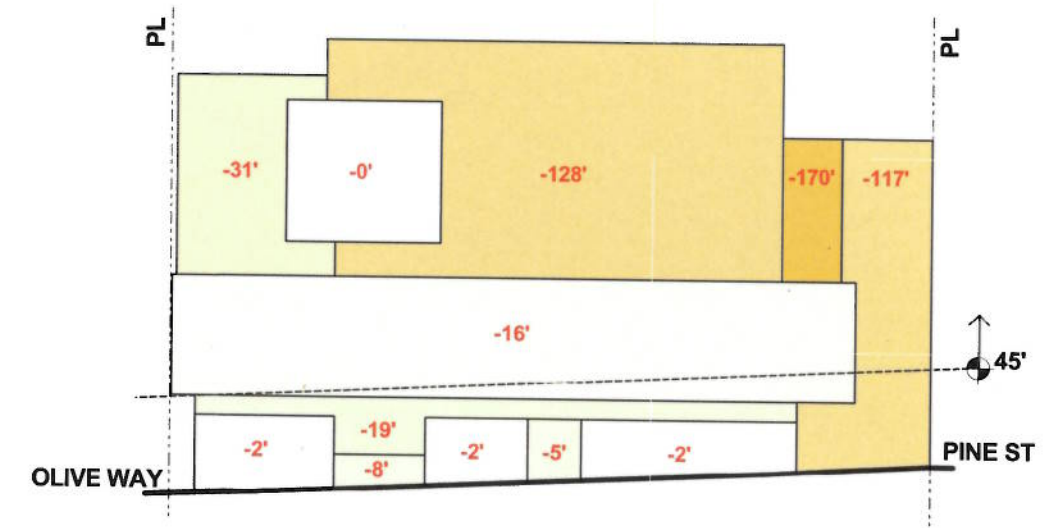


BOREN AVENUE - RECOMMENDED

DEPARTURE 02- Upper Setback

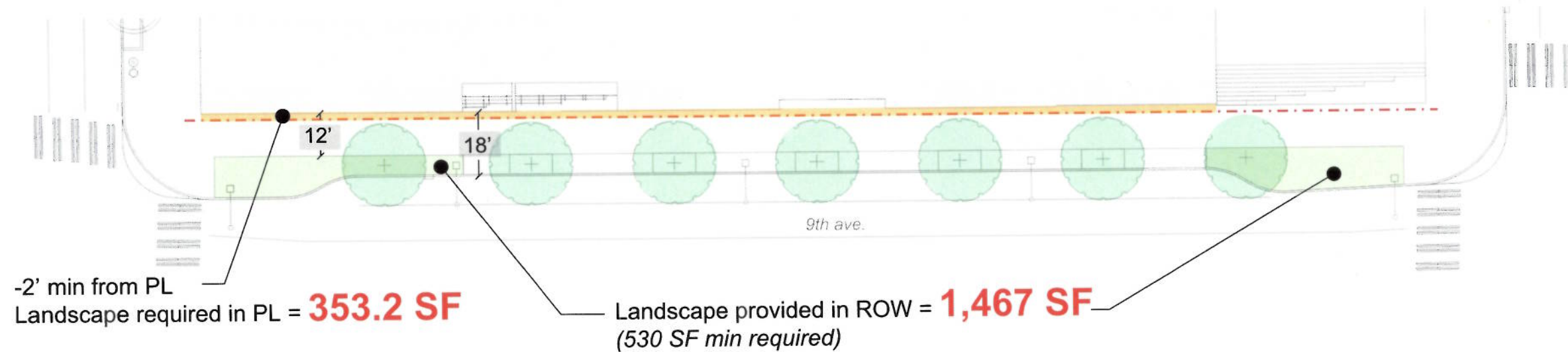
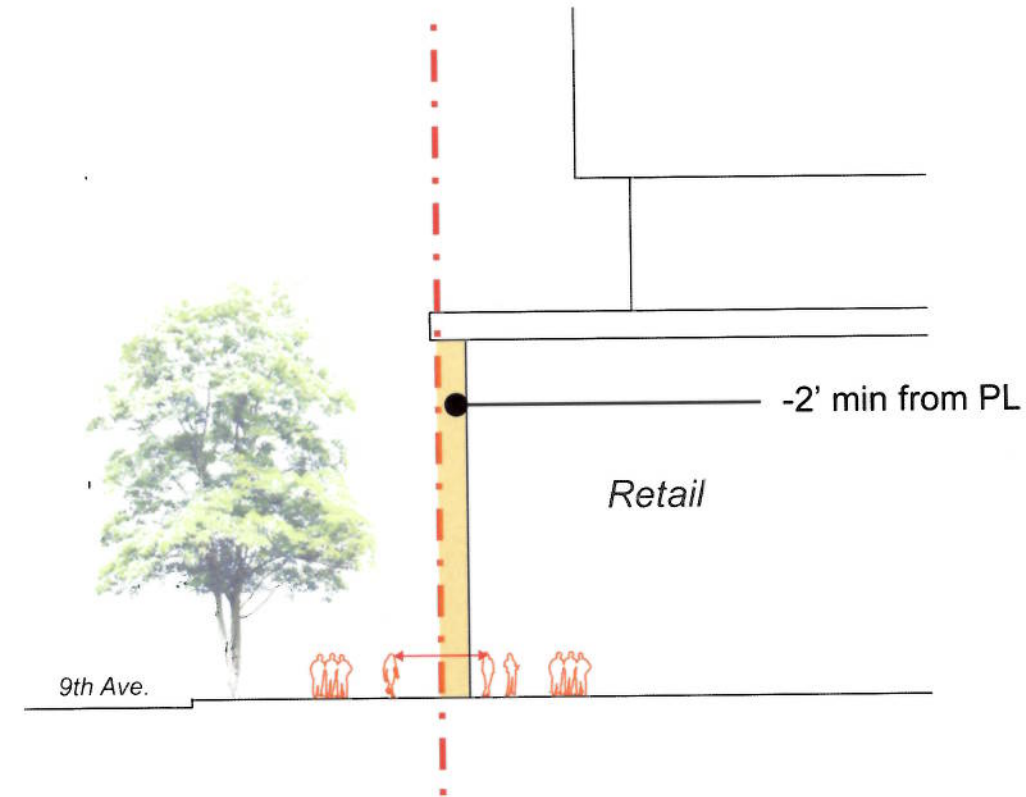
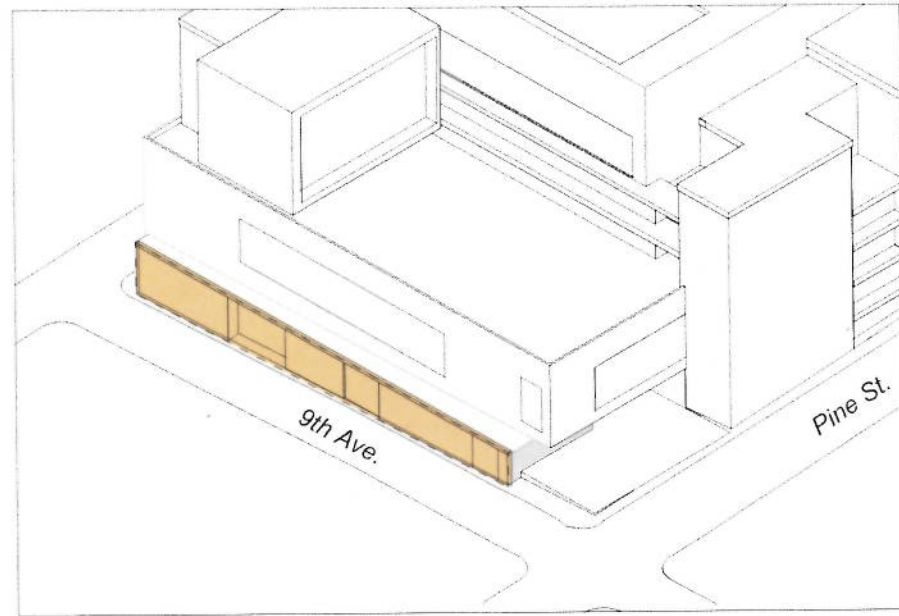


9TH AVENUE - CODE BASELINE

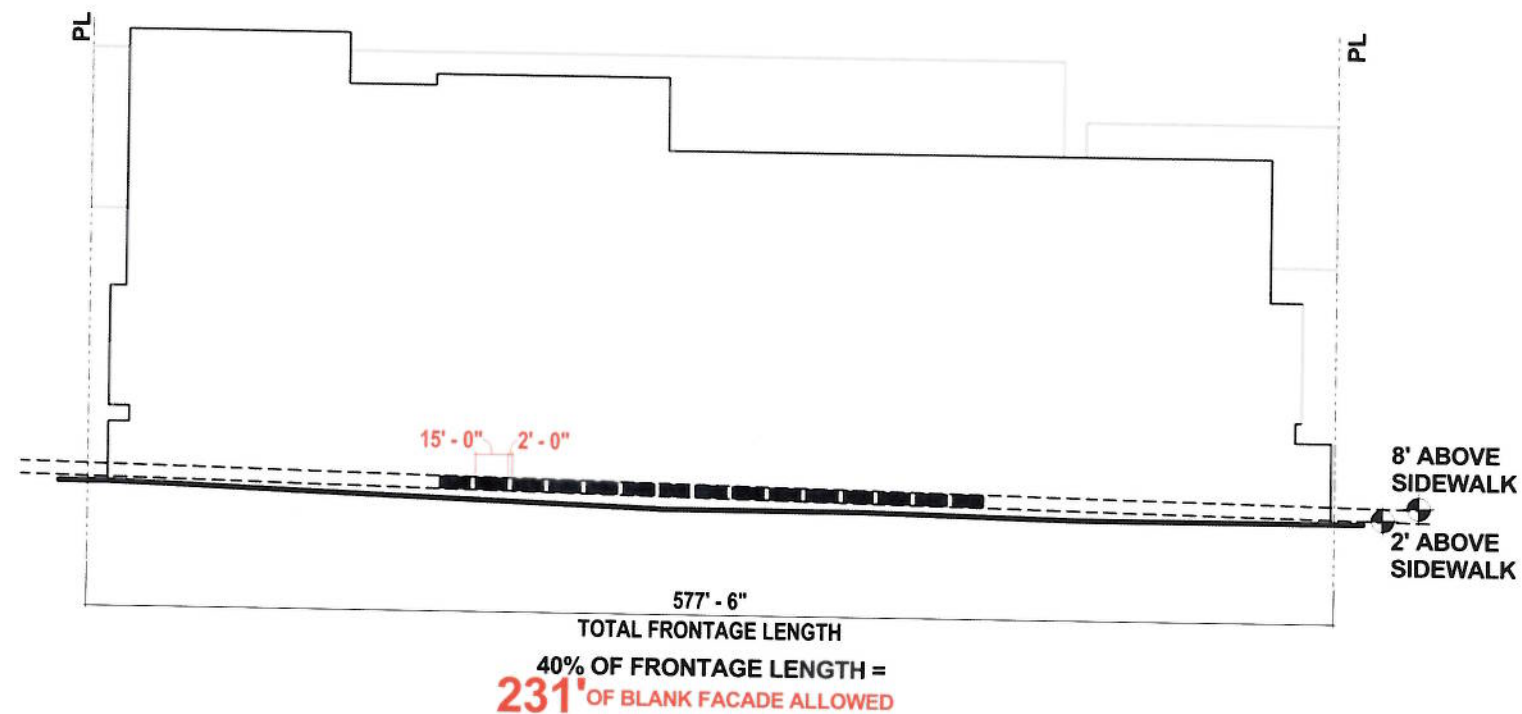


9TH AVENUE - RECOMMENDED

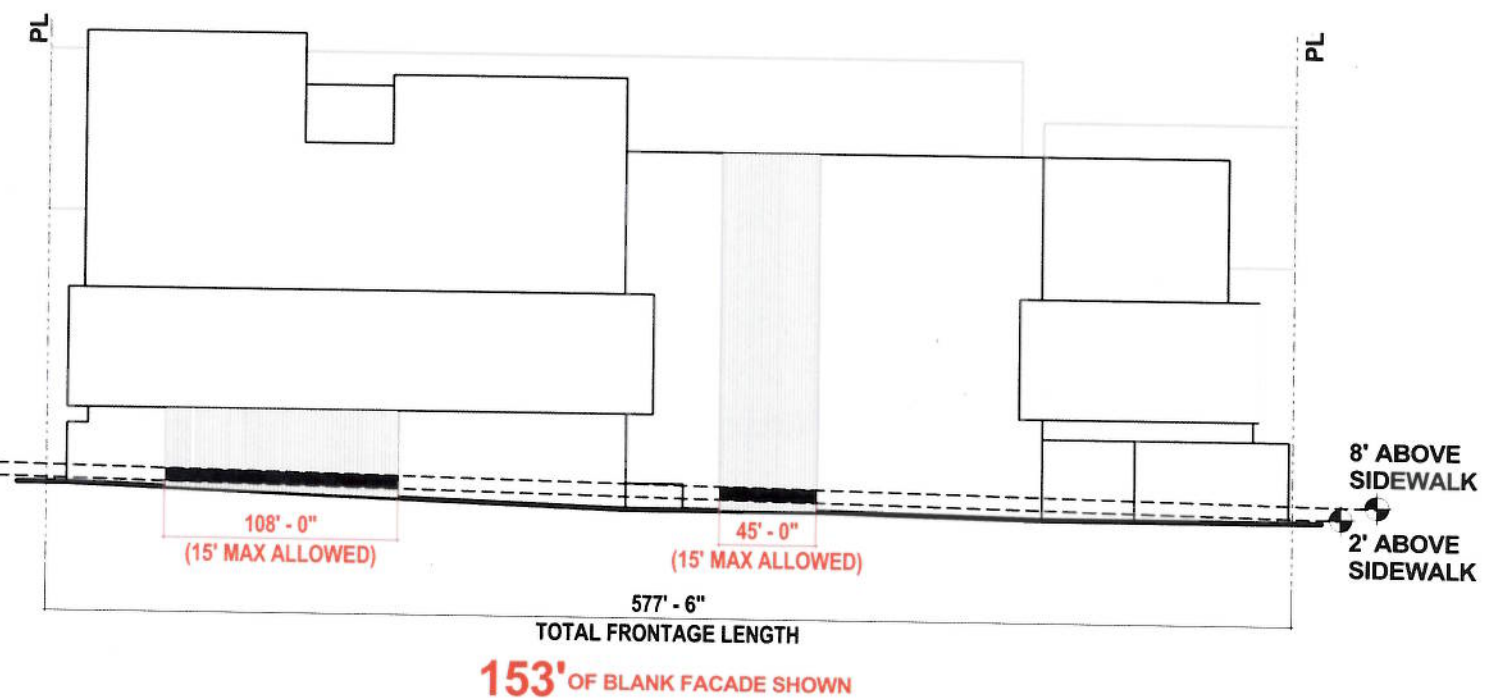
DEPARTURE 03 - Landscape in setback



DEPARTURE 04a - Blank Facade Limit

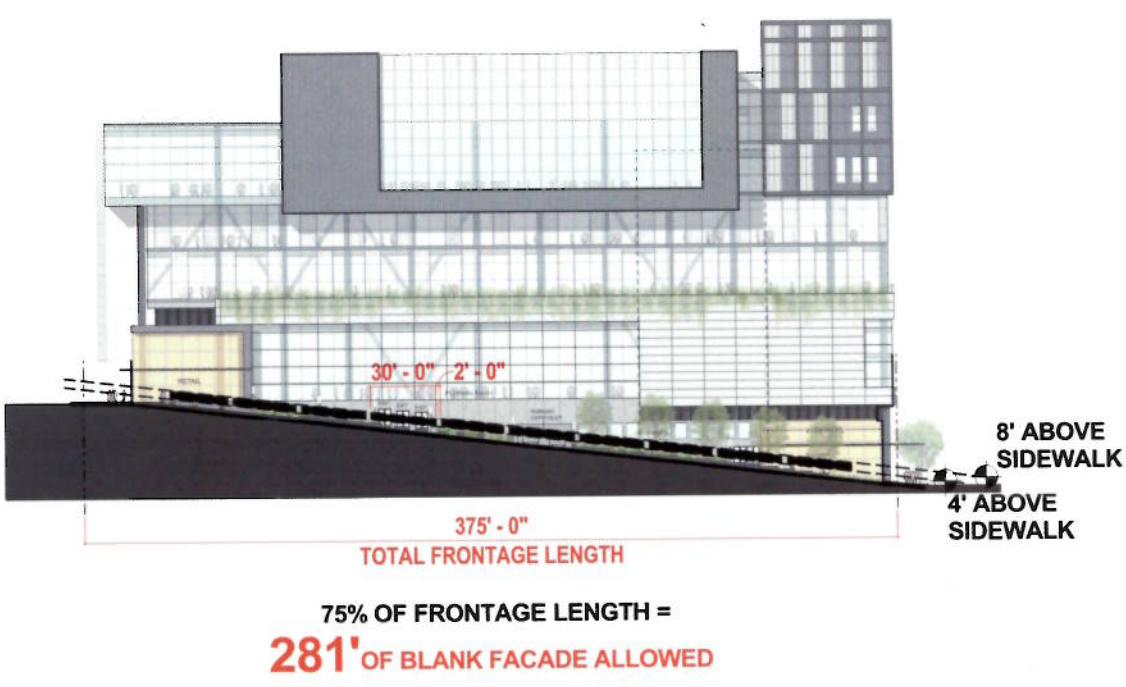
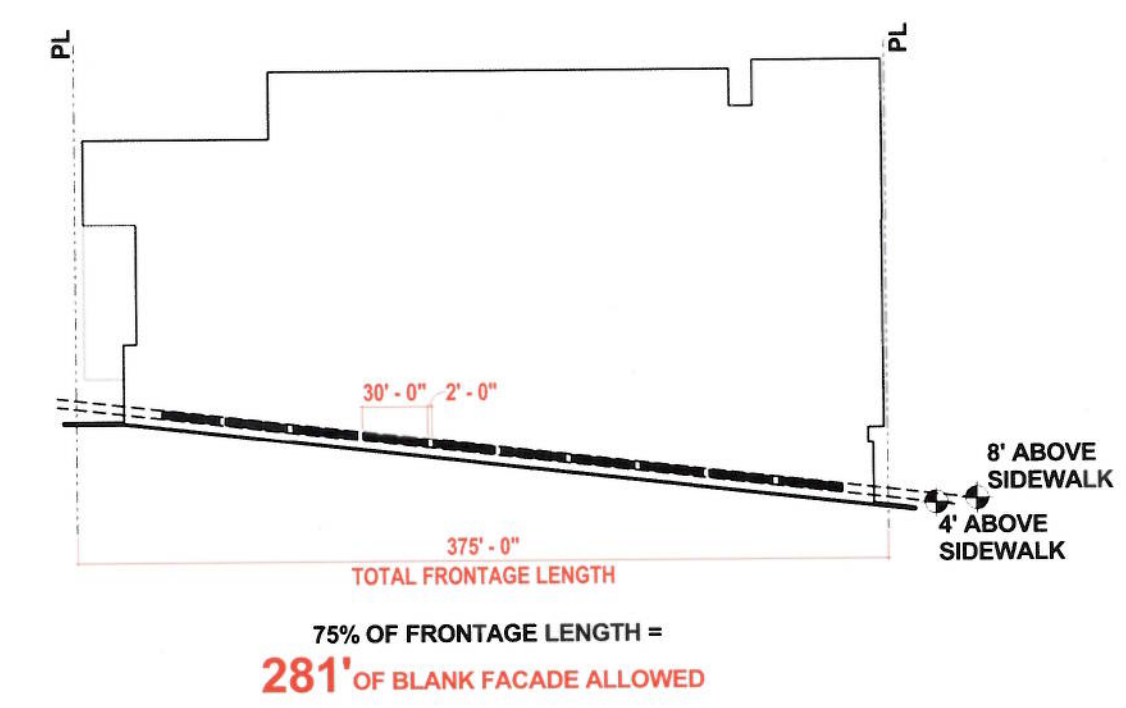


OLIVE WAY - CODE BASELINE

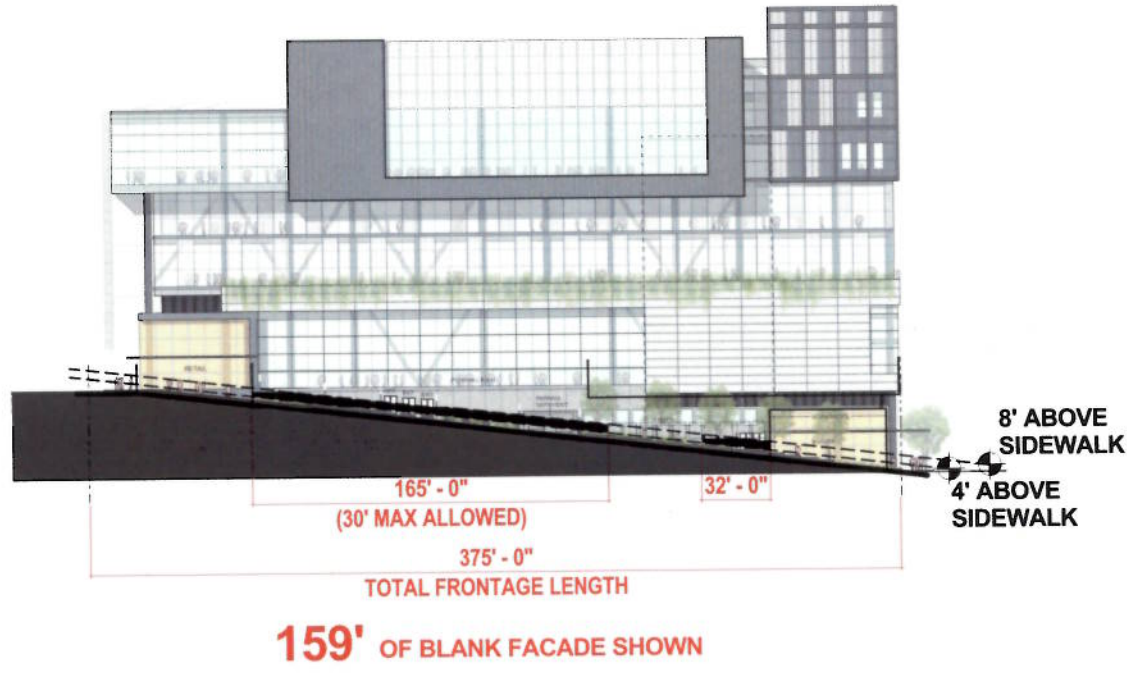
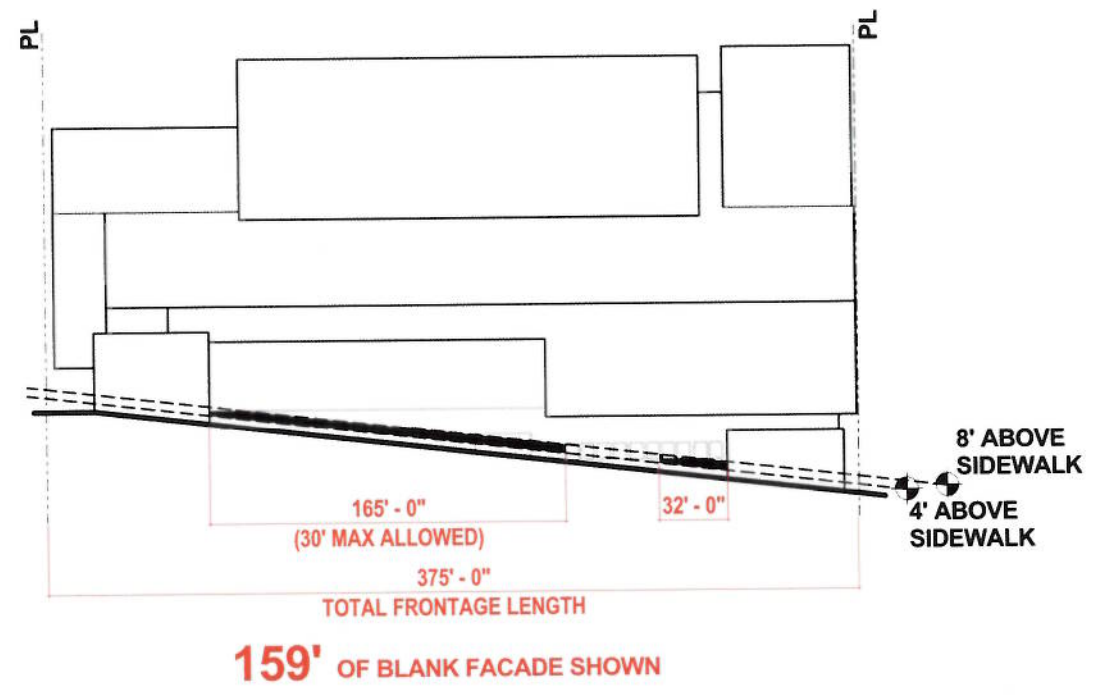


OLIVE WAY - RECOMMENDED

DEPARTURE 04b - Blank Facade Limit

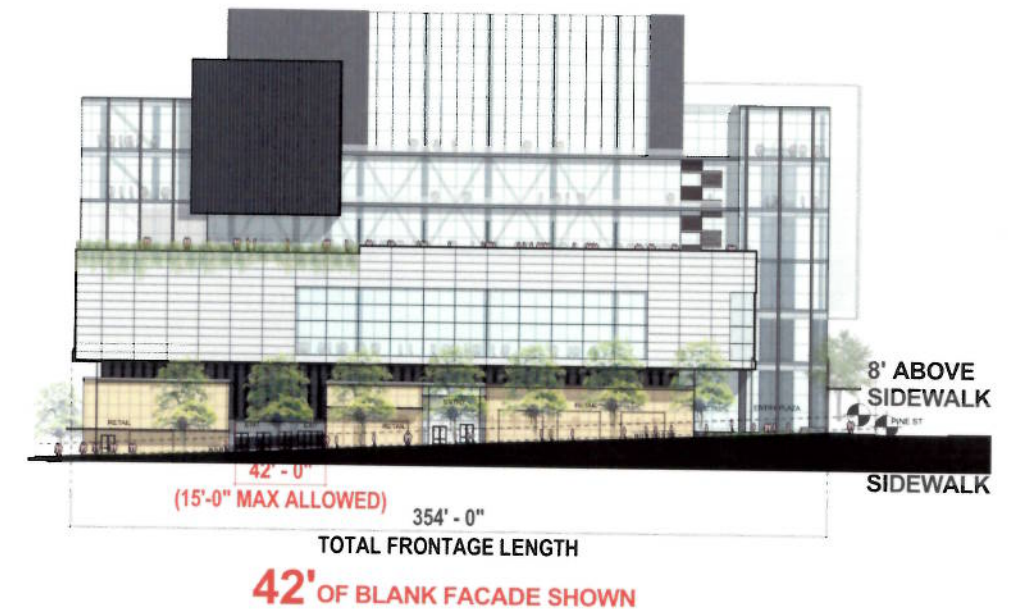
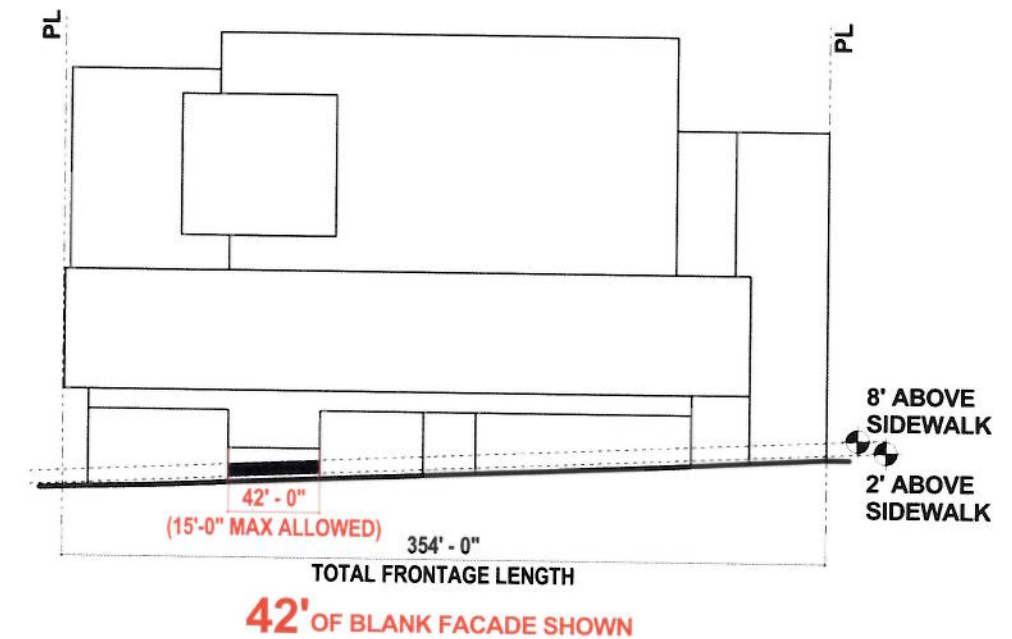
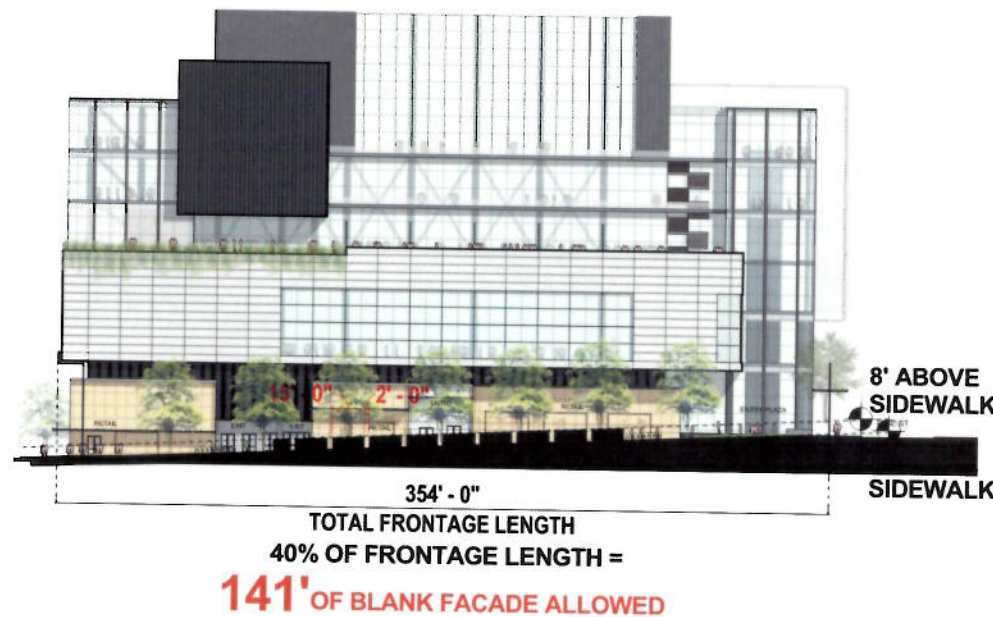
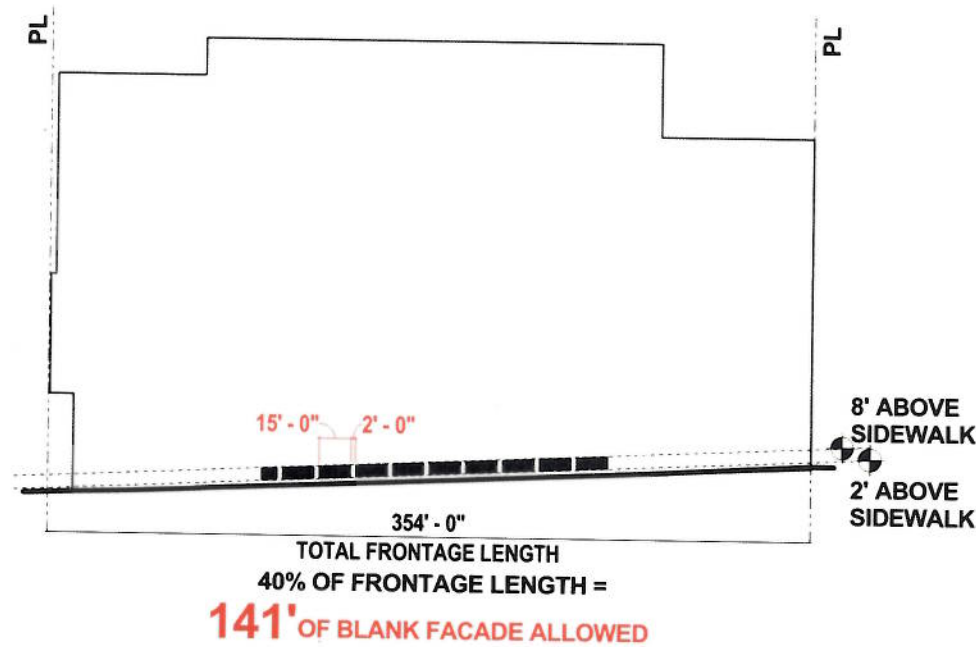


BOREN AVENUE - CODE BASELINE



BOREN AVENUE - RECOMMENDED

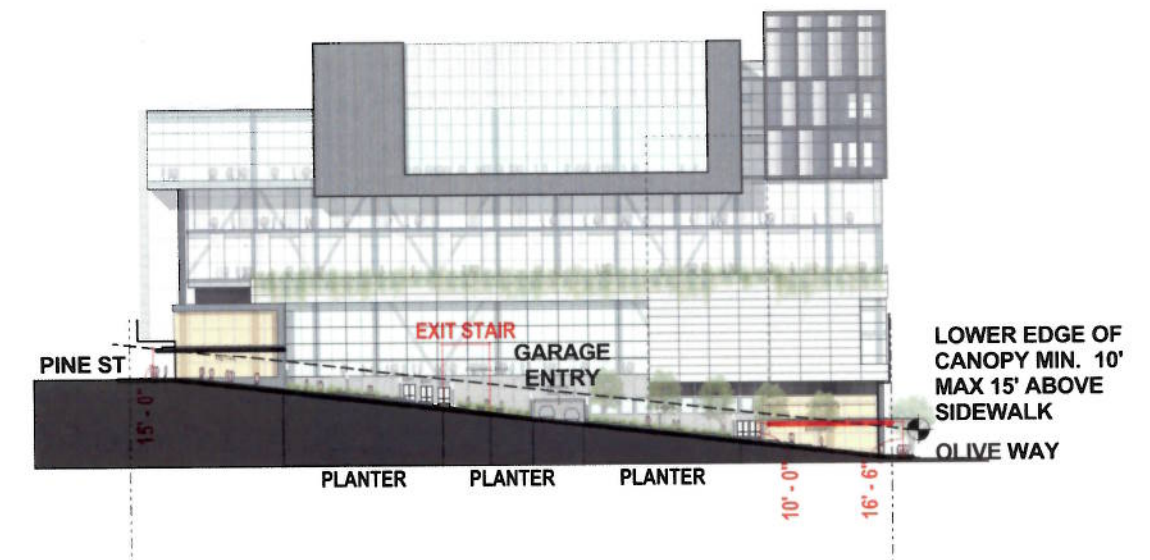
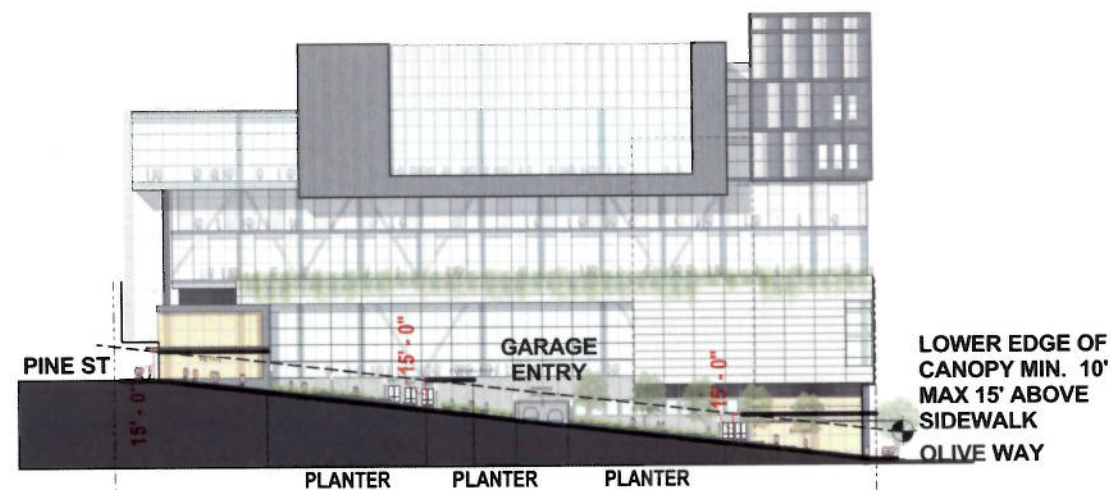
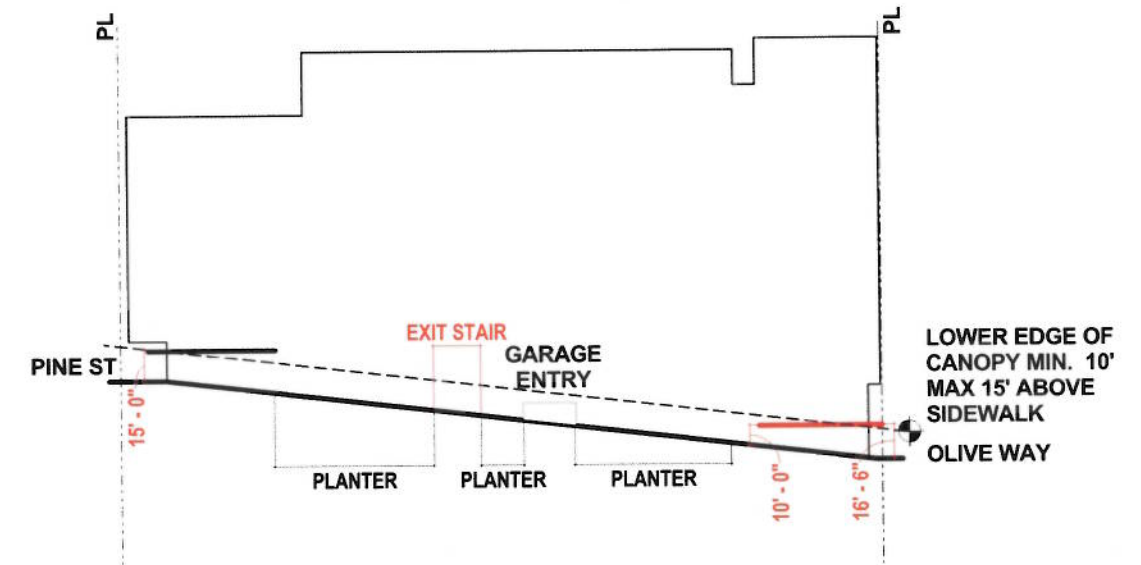
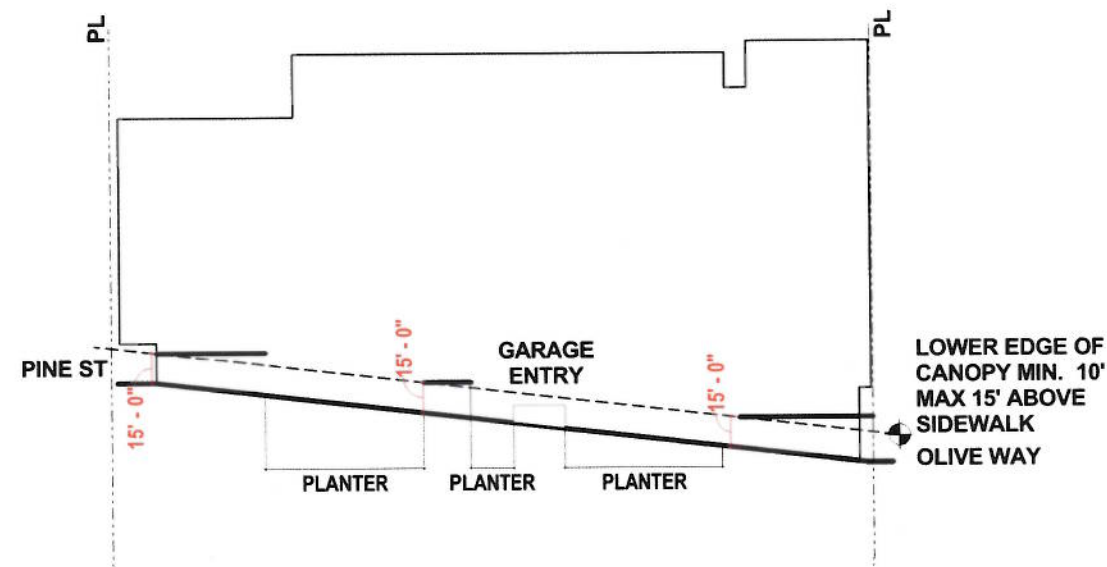
DEPARTURE 04c - Blank Facade Limit



9TH AVENUE - CODE BASELINE

9TH AVENUE - RECOMMENDED

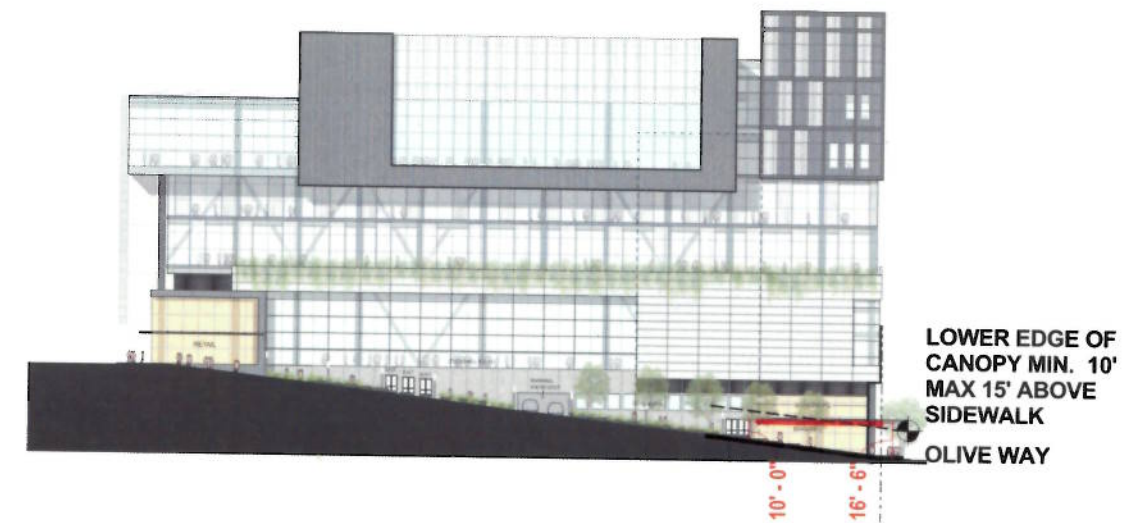
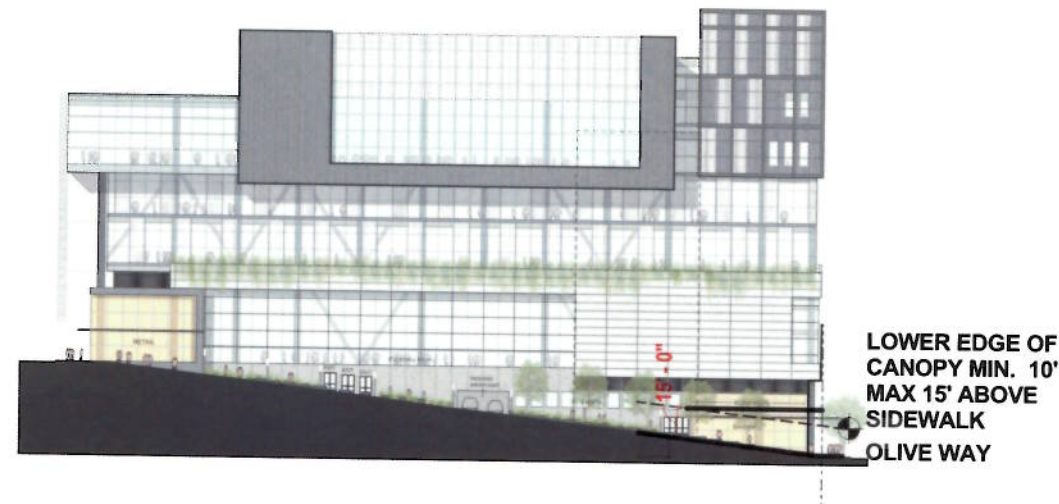
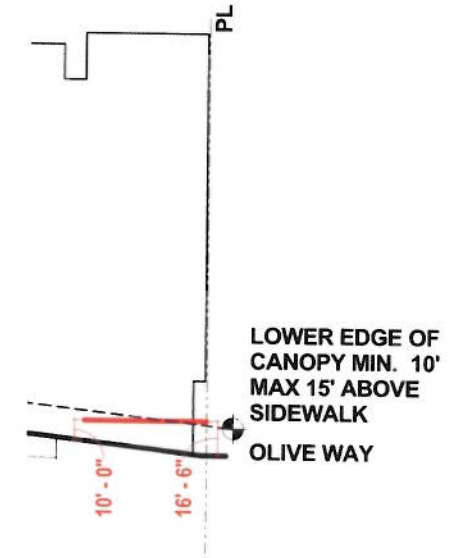
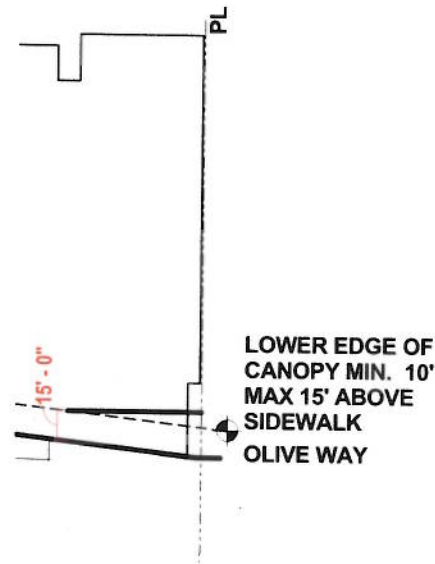
DEPARTURE 05a - Continuous canopy



BOREN AVENUE - CODE BASELINE

BOREN AVENUE - RECOMMENDED

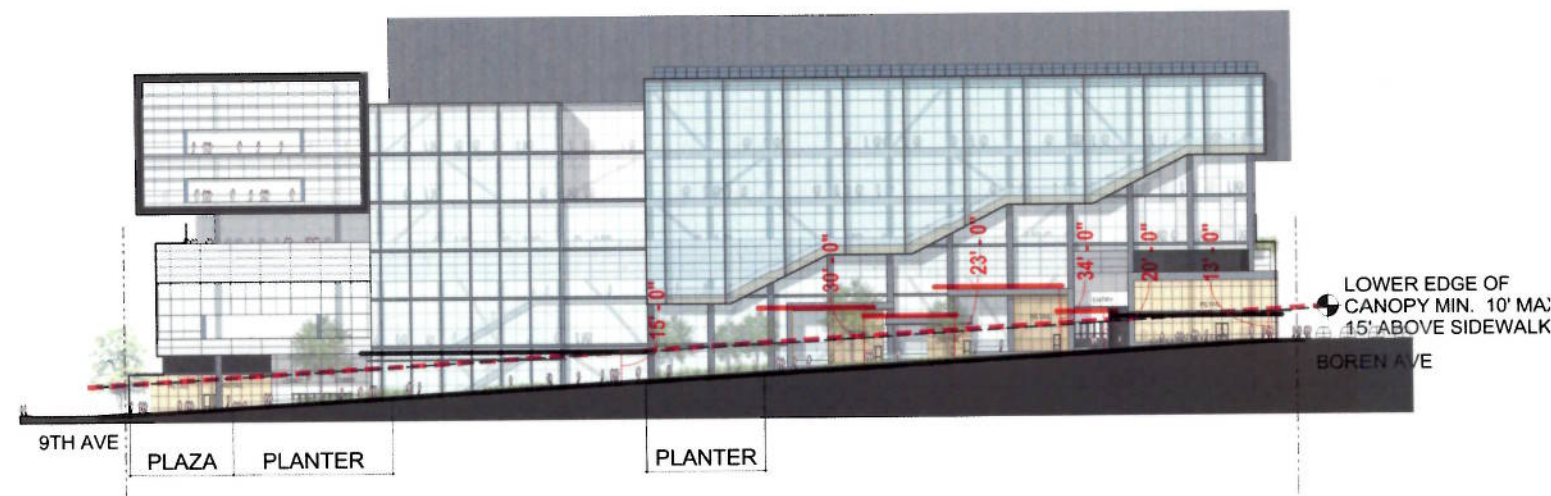
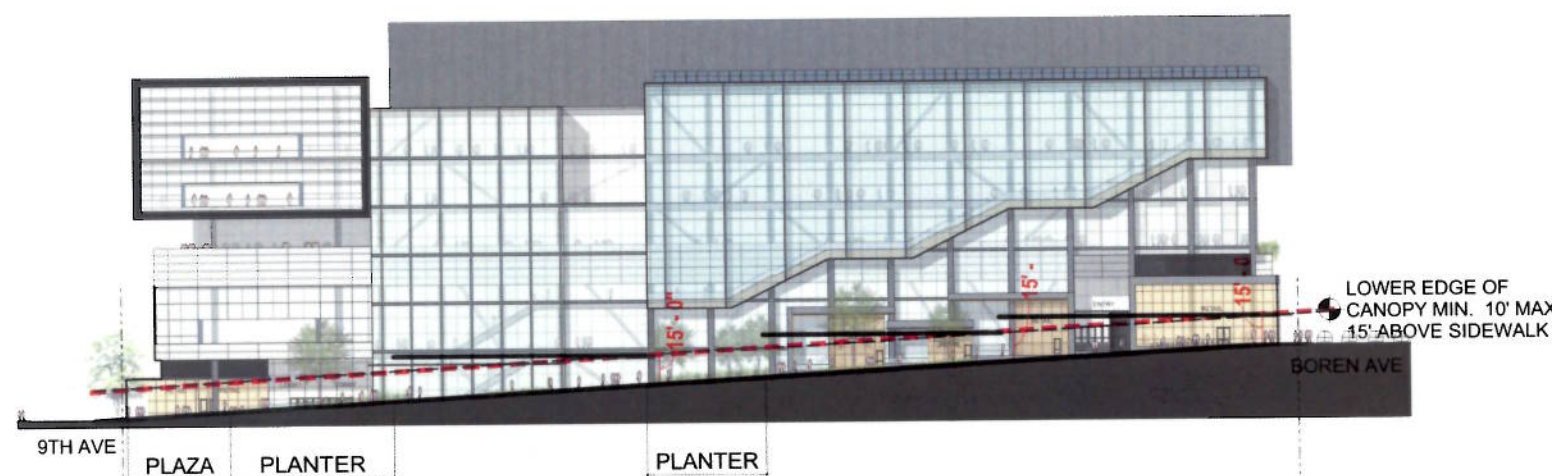
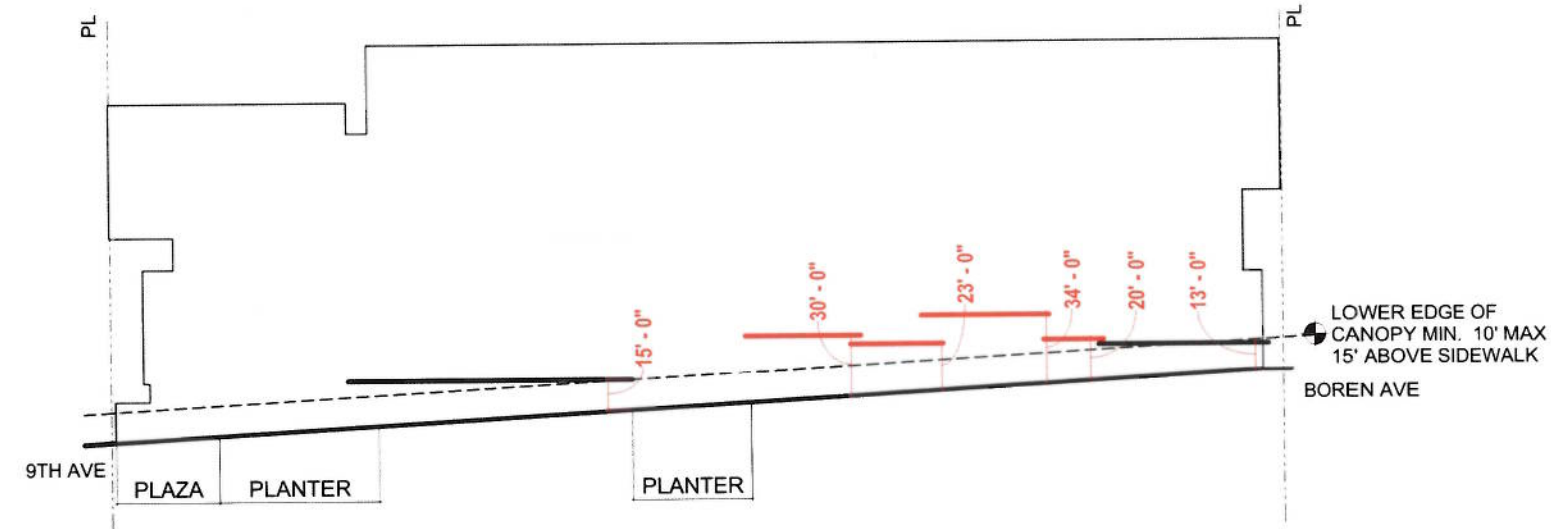
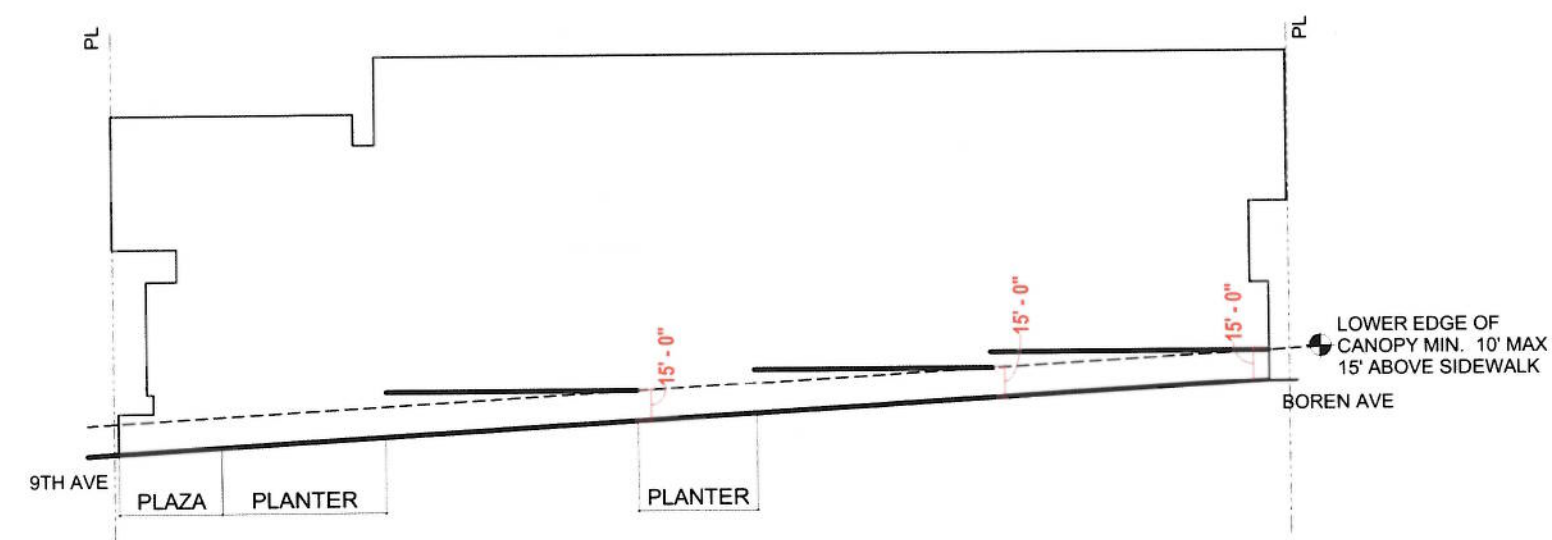
DEPARTURE 05b - Canopy Heights



BOREN AVENUE - CODE BASELINE

BOREN AVENUE - RECOMMENDED

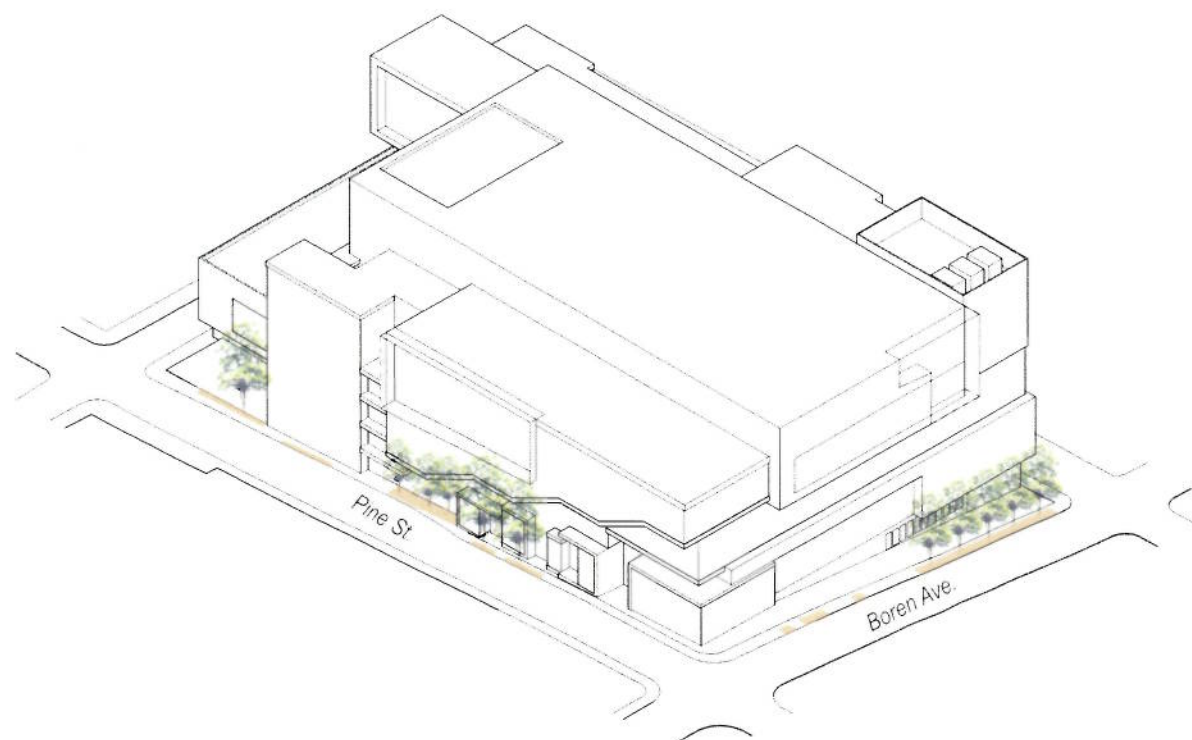
DEPARTURE 05c - Canopy Heights



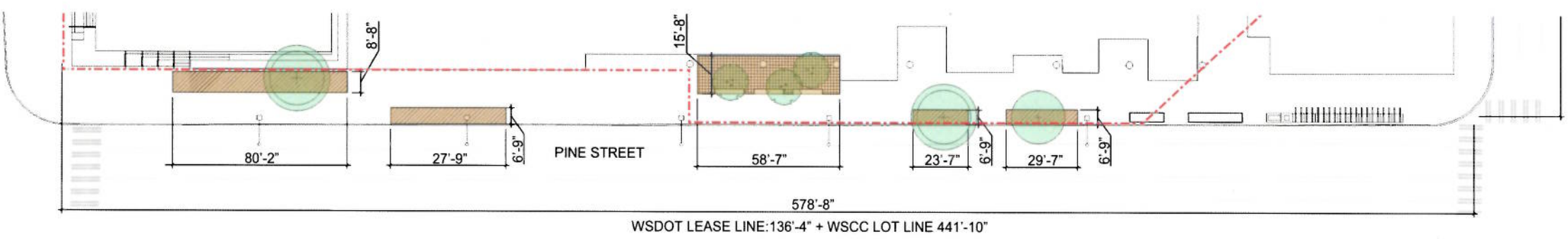
PINE STREET - CODE BASELINE

PINE STREET - RECOMMENDED

DEPARTURE 06 - Landscape in ROW

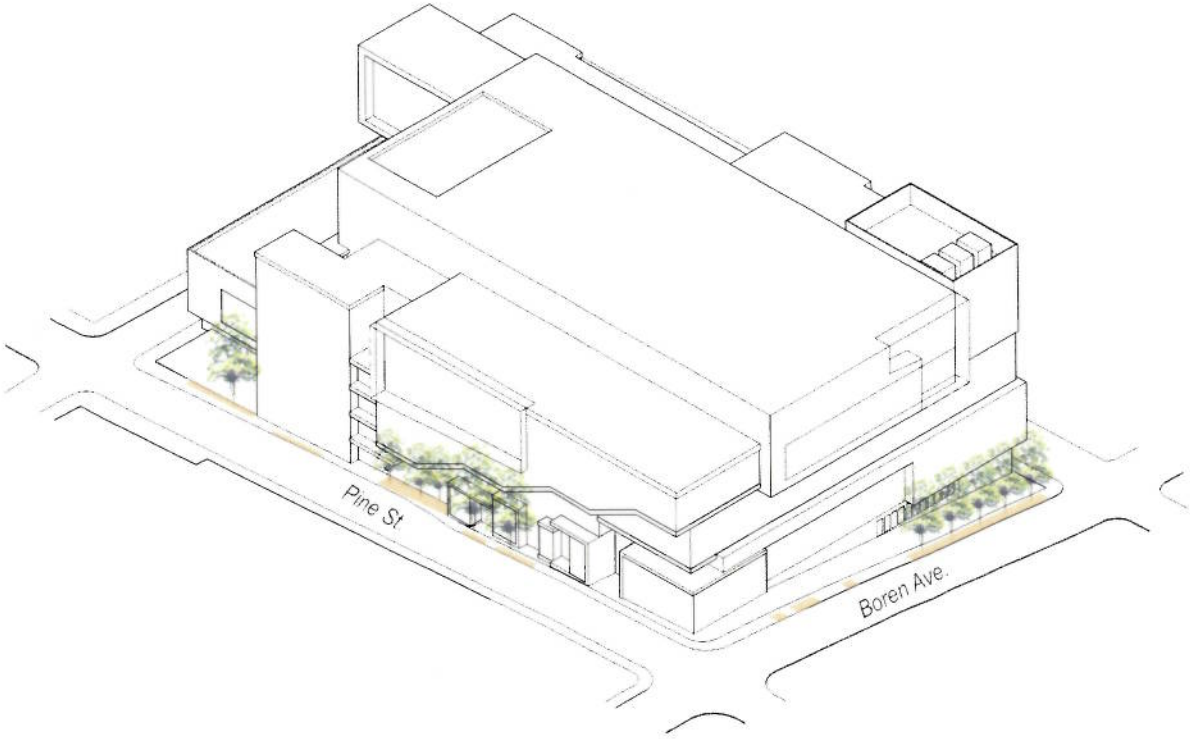


LENGTH OF LANDSCAPE REQUIRED
= **220 LF**
ALONG PINE STREET ROW
LENGTH OF LANDSCAPE PROPOSED
= **221 LF**
ALONG PINE STREET ROW

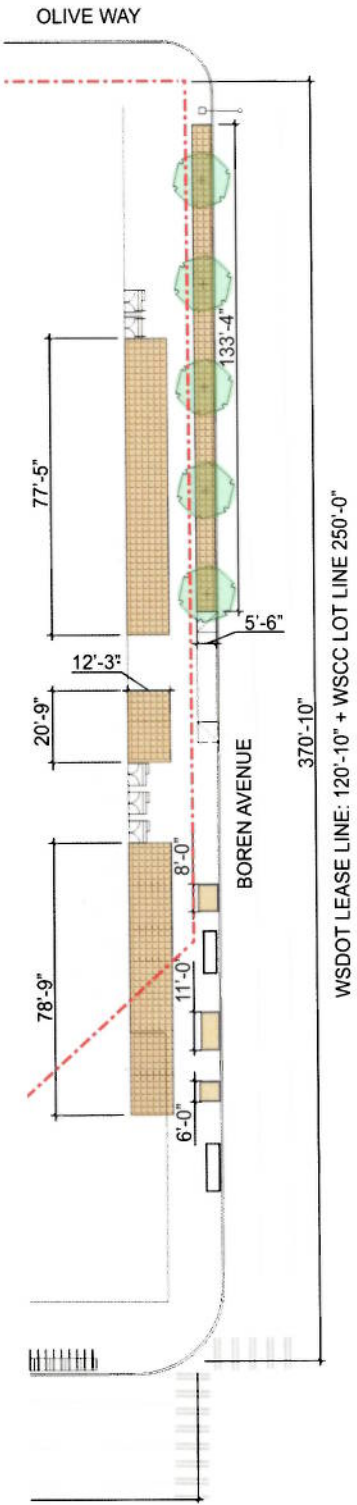


PINE STREET

DEPARTURE 07 - Landscape in ROW



LENGTH OF LANDSCAPE REQUIRED
= **125 LF**
ALONG BOREN AVENUE ROW
LENGTH OF LANDSCAPE PROPOSED
= **133 LF**
ALONG BOREN AVENUE ROW



BOREN AVENUE