

Washington State Convention Center Addition Project

Design Review Board Design Recommendation Meeting 02
07-19-2016

PROPERTY ADDRESS **SITE A**
1600 9th Avenue

SDCI PROJECT # 3020176

OWNER
Washington State
Convention Center
800 Convention Place
Seattle, WA 98101

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WSCC EXISTING SITE

WSCC ADDITION PROJECT

The **Washington State Convention Center Addition** offers a trans-formative opportunity to create an urban convention venue at the forefront of the convention industry, to offer a rich delegate experience which capitalizes on Seattle's unique qualities, and to enrich Seattle's rapidly evolving urban core.

TABLE OF CONTENTS

04
**1 DEVELOPMENT
OBJECTIVES &
PROJECT BACKGROUND**

06
**2 DR 01 COMMENTS
BOARD
RECOMMENDATIONS**

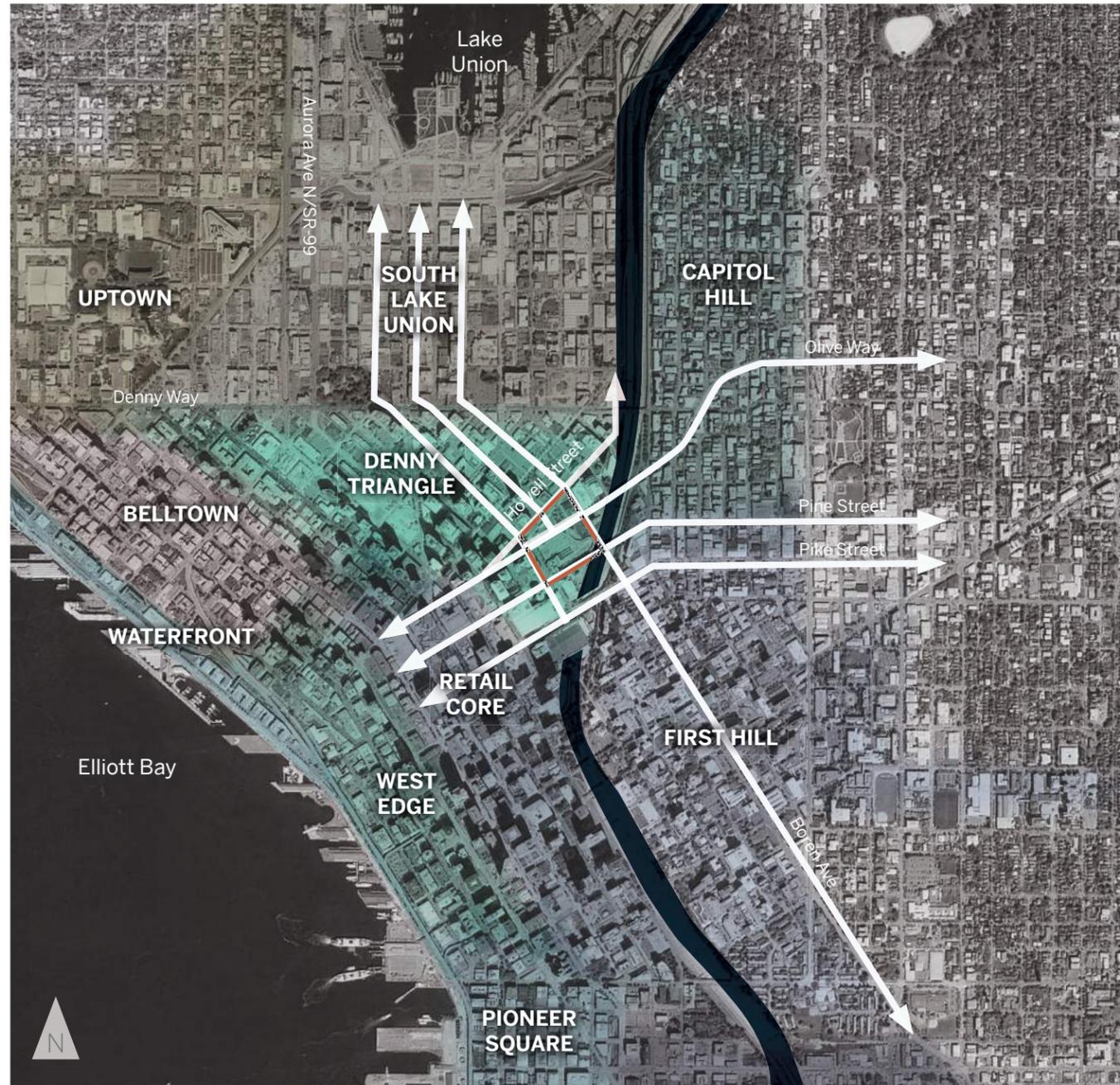
08
**3 DR 01 COMMENT
RESPONSES**

18
**4 DESIGN
RECOMMENDATION**
A. PLANS & MATERIALS
B. LANDSCAPE
C. OLIVE WAY PLANTERS
D. GRAPHICS & SIGNAGE
E. 9TH & PINE PLAZA
F. 9TH AVENUE MARKET
G. PINE STREET RETAIL
H. LIGHTING CONCEPT

104
**5 PROPOSED
DEPARTURES**

1 DEVELOPMENT OBJECTIVES PROJECT BACKGROUND

VICINITY



↔ STREETS BORDERING PROJECT SITE

9-BLOCK STUDY AREA



- 9-BLOCK STUDY AREA
- WSCC ADDITION PROPERTIES
- - STREET/ALLEY VACATION
- AT GRADE SITE AREA INCLUDING FULL VACATIONS

1 DEVELOPMENT OBJECTIVES & PROJECT BACKGROUND

DEVELOPMENT SUMMARY

The proposal is to apply for Master Use Permits for development of a convention center addition on a site consisting of 3 lots: Site A: 1600 9th Avenue, Site B: 920 Olive Way, and Site C 1711 Boren Avenue, that will collectively form the proposed Washington State Convention Center (WSCC) Addition Project. The 3 block site is bounded by Howell Street to the north, Pine Street to the south, 9th Avenue to the west, and Boren Avenue and I-5 to the east. Terry Avenue and Olive Way divide the site on the interior. Below grade street and full alley vacations will be required for this project.

The project will add approximately 1,230,000 sf. of gross floor area to the existing Washington State Convention Center. This will include approximately 250,000 sf. of new exhibition space, 120,000 sf. of meeting rooms, a 60,000 sf. Ballroom space, approximately 20 convention center loading bays, and structured parking for up to 800 additional vehicles. The structure height is approximately 150-200ft over 11 stories with 2 additional stories below grade.

Co-development (**DRB approval on 05/17/2016**) on two blocks north of Olive Way (Sites B & C) is proposed as a part of the WSCC Addition project through the use of a potential Planned Community Development (PCD; a City of Seattle Provision: SMC 23.49.036). The co-development sites are planned for a 289ft, 416 unit residential and a 240ft commercial building, expected to be office use.

PLANNED COMMUNITY DEVELOPMENT

A public meeting was held on September 2, 2015 providing an overview of the Planned Community Development process and soliciting public comment on the public's priorities for the list of potential public benefit priorities. The Director of the Department of Planning and Development in turn issued a list of priorities from the list of PCD items outlined in the Land Use Code.

SITE CONTEXT

The project site is located within the DMC 340/290-400 Downtown Mixed Commercial zone, within the Denny Triangle Urban Center Village. The Downtown Neighborhood Guidelines will apply to this project.

The project site is bordered by the DMC 240/290-400 zone (Denny Triangle Urban Center Village Overlay) to the north, east, and south, and the DOC 2 500/300-500 zone (Commercial Core Urban Center Village Overlay) to the west.

The project occupies the intersection between several distinct and rapidly evolving neighborhoods, including Capitol Hill's Pike/Pine corridor, the Denny Triangle, South Lake Union, First Hill, and the Downtown commercial core.

Capitol Hill's traditional low-rise commercial development is being supplemented with new mid-rise mixed-use buildings. The neighborhood continues to promote a strong pedestrian community, interrupted only by the presence of I-5. The Denny Triangle and First Hill, connected via Boren Avenue, bookend the site to the north and south. Though a product of different eras, both neighborhoods contain higher density, taller residential and commercial development, along with notable institutional buildings. The Downtown neighborhood is the densest and tallest adjacent neighborhood, containing both high-rise commercial and residential development, but also a retail and cultural center for the city.

The site's proximity to Pike and Pine links itself to the waterfront via Pike Place Market and Westlake Center, and to the existing Washington State Convention Center along Ninth Avenue. Other notable landmarks include the historic Paramount Theatre and Worldmark- Camlin Seattle, adjacent to the site across Pine Street and Ninth Avenue. Due to the open space established by the presence of I-5, views to and from the project site to the south and east are both substantial and long-term. Views to the west, particularly from the higher elevations along Pine Street, provide a meaningful glimpse into the heart of the city.

PROCESS OVERVIEW

This Design Recommendation (DR) #2 meeting before the Downtown Design Review Board, builds on the EDG #1 held on 05/19/2015, which focused on the site context and urban design, EDG #2 held on 07/21/2015 which focused on building massing and street level designs, and EDG #3 held on 10/06/2015, during which the project received Early Design Guidance approval, and Design Recommendation (DR) #1 held on 05/03/2016. The Design Proposal booklet and SDCI report from those meetings are available to view at the following link:

<http://www.web6.seattle.gov/dpd/edms/>

Search Past Reviews by typing in the SDCI project number: 3020176.

NOTE: ALL DESIGN SHOWN FOR STREET ROW OUTSIDE OF PROPERTY LINES ARE PRELIMINARY AND PROVIDED FOR DRB CONTEXT. ALL THOSE ELEMENTS WILL BE SUBJECT TO SUBSEQUENT SDOT AND DESIGN COMMISSION REVIEW.

THIS BOOKLET IS FOR SITE A ONLY. SITE B&C WAS GRANTED DRB RECOMMENDATION APPROVAL WITH CONDITIONS ON 5/17/16.

PROJECT GOALS

- Create a highly efficient design which effectively supports the functional needs of the convention center clients and is competitive in the marketplace.
- Create a unique experience that embodies the special qualities of Seattle, Washington, and the Pacific Northwest.
- Engage the urban framework of downtown Seattle to capitalize on the location at the intersection of major neighborhoods and corridors of the city.
- Create a welcoming street presence that connects the activities of the Convention Center with the pedestrian experience of the adjacent streets.
- Integrate mixed uses such as retail and other possible co-developments, where appropriate, to enrich the urban diversity of the site.
- Create a sustainable design that embraces Seattle's commitment to environmental stewardship.

2 DR 01 COMMENTS - BOARD RECOMMENDATIONS

The comments and recommendations from the Board during Design Recommendation Meeting (DR) #1 included both elements of the proposal that were supported and encouraged to further develop along with issues raised that were encouraged to be further studied for review for the Master Use Permit Submittal and Design Recommendation Meeting #2. Below is a brief summary of those items:

Supported as presented:

- Retail corners scale and character
- Pine Street Stair massing and character
- Flex Hall massing and character
- Signature meeting room massing and character
- Material concept and exterior palette
- Detail and character of exterior materials
- Building integrated landscape concept

Supported for further development:

- Pine Street retail and stair relationship
- Plaza and entrance detail
- Lighting detail
- Signage detail
- Canopies at Pine Street retail

SUMMARY OF DESIGN RESPONSE

This design of the recommended scheme has evolved since the DR#1 meeting in response to comments and guidance received from the public and the Design Review Board. The design response is focused on a few areas of the project identified by the Board. These areas are highlighted in Section 03- DR 01 Comment Responses with the updated recommended scheme described in Section 04 - Design Recommendation. In addition to the addressing primary comments below, other responses and updates are noted throughout the document. Following is a description of the primary adjustments since DR#1.

PINE STREET RETAIL & STAIR

The retail zone below the Pine Street Stair has been reevaluated to better balance the relationship to the projecting stair form above and add clarity to the assembly of retail spaces and terraces. The retail spaces have been studied in greater detail, and updated to reflect a wider range of potential tenants and uses. The in-between outdoor spaces have also been further programed to provide variety and interest along the sidewalk. The volumes have been refined and express a greater level of detail (envisioning potential future tenants) with consideration of the surface reflection in the stair soffit above.

PLAZA & ENTRANCE DETAIL

The plaza and entrance at 9th Avenue and Pine Street has been described in greater detail with a few significant revisions. A new stair at the east end introduces a short cut to the main entry along the steep slope of Pine Street, aligning the historic alley location and the mixing zone beyond. The mass of the building is also pulled back at grade to create a sheltered space for the stair to pass through and a wider plaza in front of the entry.

The signage approach has been re-imagined, removing the corner monument sign in lieu of a more developed “connecting wall” and “landmark” concept that creates a distinct visual marker outside the building and leads the public into the mixing zone from both ends.

LIGHTING DETAIL

The overall lighting concept has been amended with more detail, including more examples of fixture types and perspective views showing lighting concepts.

SIGNAGE DETAIL

The overall exterior signage and graphics strategy is more robustly documented with a few significant updates to sign types and placement. Introduced are key entry features that highlight both north and south ends of the mixing zone, and provide opportunities for an echo of the same design language throughout the building. The role of other sign types have been further clarified including the various retail spaces and market.

CANOPIES AT PINE STREET RETAIL

In conjunction with the development of the Pine Street retail, the approach to providing canopy coverage has evolved in clarification and scale of the retail forms and detail refinement.

2 DR 01 COMMENTS - BOARD RECOMMENDATIONS

RECOMMENDATIONS FROM DR#1

entry is highlighted with a sculptural graphic element that connects north and south entries through the mixing zone

retail edge along the 9th Avenue Market incorporates more modulation and public seating



OLIVE WAY & 9TH AVENUE

retail on Pine Street establish a clearer relationship to projecting stair above, while providing more variety and interest for pedestrians

benches along Boren Avenue create pedestrian resting points along steep sidewalk



PINE STREET & BOREN AVENUE

benches along Boren Avenue create pedestrian resting points along steep sidewalk



OLIVE WAY & BOREN AVENUE

retail on Pine Street establish a clearer relationship to projecting stair above, while providing more variety and interest for pedestrians

new stair and setback at grade provide a shortcut for pedestrians from Pine Street

retail edge along the 9th Avenue Market incorporates more modulation and public seating

monument sign has been replaced with a building-wide integrated graphic and signage strategy



PINE STREET & 9TH AVENUE

3 DR 01 COMMENT RESPONSES - OVERALL COMMENTS

COMMENT 7A - ROOF PLAN

Consistent with a public comment and Board guidance at the EDG#1 (see EDG report item 2f), all roof surfaces, even if changed from a green roof, deserve an intentional design treatment with patterns, colors and/or textural variations, as it is a “5th elevation” visible from many adjacent towers and neighborhoods. This also applies to the highly visible level 8 event terrace.

RESPONSE - In addition to the addressing primary comments, the form of the Ballroom roof has been sculpted to emphasize the projecting volume on the east end create more visual interest at the roof-line.

COMMENT 8A - LIGHTING

The Board applauded the described intent to provide ambient lighting throughout the building when events are not occurring [114 text and 116-119], and to generously light all the ground level spaces at all evening times, to animate the sidewalks. The Board recommended a more complete and comprehensive lighting description, including any special, variable lighting at the translucent panels and/or ceiling lighting [118], and all specific fixtures or light coves for predominant exterior locations; the handrail, pole lights and integrated canopy lights shown [116,118] are a promising start.

RESPONSE - To help describe the lighting approach in more detail, four new street level lighting renderings show the lighting approach from each corner of the project. Additional detail on recessed lighting fixtures have been added to the reference images. The description of the overall lighting approach can be found on pages 92 through 103.

RECOMMENDATION 4 - LIGHTING

A complete and comprehensive lighting description, including any special, variable lighting at the translucent panels and/or ceiling lighting [118], and all specific fixtures or light coves for predominant exterior locations.

RESPONSE - The proposed lighting approach is found on pages 92 through 103, including fixture concepts and lighting illustrations.

COMMENT 9A & B - SIGNAGE

The Board supported the concept of a “connecting wall” that is a datum for primary visitor orientation and signage, as diagrammed on pg 120, but agreed a more detailed and comprehensive signage plan is needed at subsequent meetings.

As described under 6c above, the Board did not support the “landmark” corner sign on the page 120 diagram, but did agree a more building-integrated sign might occur on the “connecting wall” shown as a yellow dot-matrix on pg 113. The height and density of this wall or matrix should be studied carefully in the perspectives noted under 6e, and the public views down into the exhibit lobbies from the plaza should be maintained.

RESPONSE - The landmark corner sign has been removed per board direction, in lieu of other of building orientation strategies. The connecting wall concept has developed to provide the strong visual cue and sense of welcoming directly into the building entry, inviting the public into the mixing zone. The scale relates directly to the pedestrian while the density of the elements vary based on context, always maintaining clear visibility between elements and into the spaces beyond. The description of the graphics and signage approach for building entry can be found on pages 62 through 69, while further detail on the plaza design is located on pages 70 through 79.

RECOMMENDATION 5- SIGNAGE

A detailed and comprehensive signage plan is needed at subsequent meetings, including details about any building-integrated signage and/or the “connecting wall” shown as a yellow dot-matrix on pg 113. The height and density of this wall or matrix should be studied carefully in the perspectives noted under 6e, and the public views down into the exhibit lobbies from the plaza should be maintained.

RESPONSE - The proposed signage concept is located on pages 62 through 69, including building-integrated signage. Perspectives illustrating signage can be found on pages 20-23, 59, 73, 77, 84, 90-91, and 94-103.

COMMENT 6A - 9TH & PINE PLAZA

The Board agreed the CCX primary entrance is recessed, low-scaled and has a deep overhang, therefore requiring careful design to ensure the entrance is visible, easily accessible and welcoming [68]. All materials, elements and lighting in the plaza and adjacent building should maximize these attributes. The Board agreed the plaza should read as an extension of the sidewalk with fewer walls/barriers.

RESPONSE - The corner of the plaza and the east end have been revised to provide greater visibility and access into the plaza. The addition of a stair from Pine Street provides direct and convenient access to the building entry and helps navigate the difference in grade from that frontage. The connecting wall concept has been further developed to emphasize the building entry and provide a strong visual element to welcome the public into the Mixing Zone.

COMMENT 6B - 9TH & PINE PLAZA

The Board supported the wide, flexible cascade of seating/steps shown along 9th [95], and agreed a similar approach is warranted along the western half of the plaza at Pine Street (as was shown and endorsed at EDG#3, booklet pg 43).

RESPONSE - The addition of a stair from Pine Street provides direct and convenient access to the building entry and helps navigate the difference in grade along that frontage in a straightforward and safe manner, avoiding the confusion from tapered steps and dense series of railings. The remaining planted edge and bench provide a multi-use seating platform and soft landscape zone that brings foliage into the plaza and addresses the differences in grade in an elegant manner.

RECOMMENDATION 3 - PLAZA & ENTRANCE

Large scale sections, plans and perspectives to verify plaza scale, lighting and perimeter revisions, to ensure the guidance under #6 above.

RESPONSE - Plaza and entry plans and sections can be found on page 70-76. Perspectives are located on pages 72-73, 79, and 95.

COMMENT 6C - 9TH & PINE PLAZA

The Board unanimously agreed the sign and plinth shown at the strategic corner [68] was visually and physically obstructive and should be deleted. The round base shown at the east end of the plaza is acceptable but its diameter should be adjusted to ensure wide, generous pedestrian flows to the four entry doors.

RESPONSE - The monument sign has been removed and replaced with a building-wide integrated graphic and signage strategy that is less visually obtrusive and provides a greater sense of welcoming and entry. The round base has been removed and an additional stair and access path have been provided directly from Pine Street to the building entry. More detail on plaza and signage concepts can be found on pages 62 through 77.

COMMENT 6D- 9TH & PINE PLAZA

The Board agreed the flex hall soffit over the entrance should be wrapped in the “light reactive” metal, and generous lighting should be designed into the forms.

RESPONSE - Soffit is wrapped in light material, see perspectives located on page 99-103.

COMMENT 6E - 9TH & PINE PLAZA

The Board recommended additional large scale cross sections and perspectives to verify the plaza scale and perimeter will achieve the above character.

RESPONSE - Plaza sections can be found on page 74-76, perspectives located on page 72-73, 79.

RECOMMENDATION 6 - CANOPIES

Large scale sections and plans to ensure a minimum 8ft overhang is provided within the 10-18 ft height zone, even if it is a secondary canopy not associated with the taller roof forms on Pine Street (also see departure 5 and Board comment 2a).

RESPONSE - The retail canopies on Pine Street have been studied and revised to provide additional coverage for pedestrians. Sections and perspectives can be found on pages 88, and 90-91.

3 DR 01 COMMENT RESPONSES - OVERALL COMMENTS

DR1 SITE PLAN



RECOMMENDED SITE PLAN



3 DR 01 COMMENT RESPONSES - PINE STREET



COMMENT 2A - PINE STREET

The Board supported the floor area sizes and alternation of enclosed merchants and open decks basically at sidewalk grade, as shown on page 89, but agreed exploration of the elevations at the middle-east portion on Pine is warranted. The three fragmented and stepped roofs could be combined to create a single, taller scale that provides an intermediate datum for the projecting stair above to play off of.

RESPONSE - The design was revised to create a better sense of balance and proportion in relation to the cascading stair above. The retail volumes have been streamlined, while maintaining enough variety and pedestrian interest akin to the quirky character of Capitol Hill.

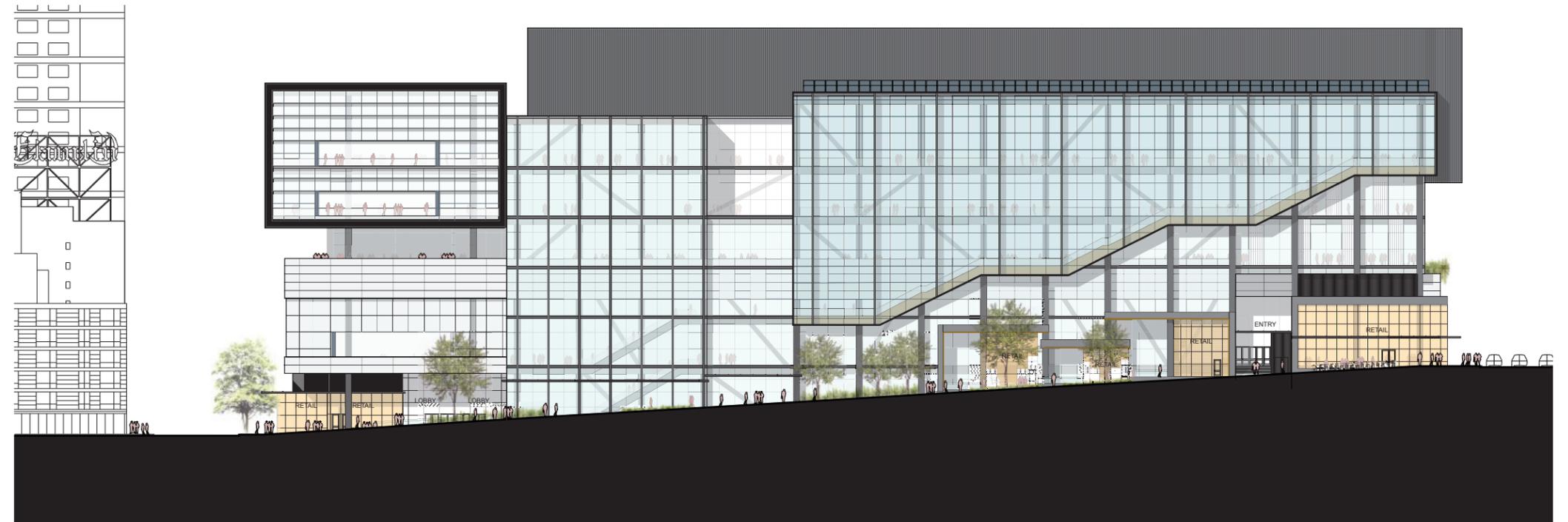
COMMENT 2D - PINE STREET

If the soffit under the stair is mirrored [70], the retail roofs and canopies below will require careful design as a visible, reflected surface; the Board had mixed reactions to the mirror in such a strategic location, and detailed light/glare analysis is recommended.

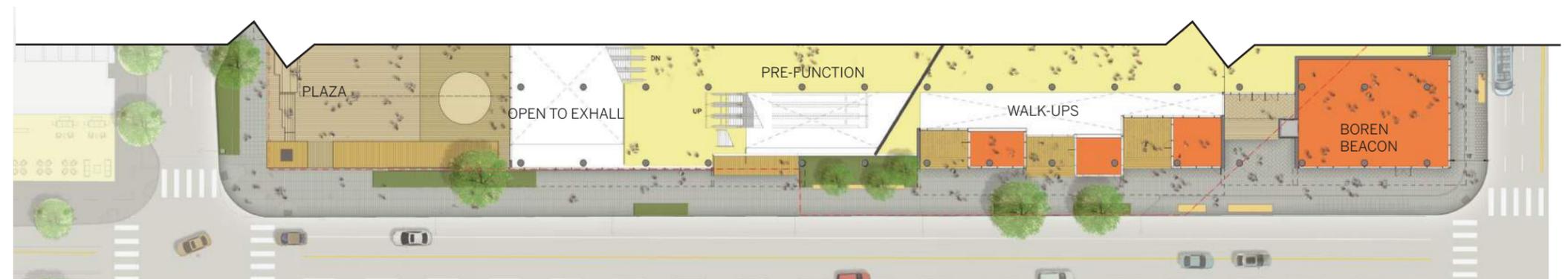
RECOMMENDATION 1 - PINE STREET

Pine Street Stair and Materials: If the soffit under the stair is mirrored [70], the retail roofs and canopies below will require careful design as a visible, reflected surface; the Board had mixed reactions to the mirror in such a strategic location, and detailed light/glare analysis is recommended (item #2d above).

RESPONSE - The design and organization of the retail on Pine Street has been further studied based on Board guidance to address issues raised and reflect a greater level of detail and refinement of forms and character. The sculptural quality and materiality of the roofs are expressed in the soft reflection of the soffit, depicted in the rendering on page 99, which was also evaluated for potential adverse effects.



PINE ST ELEVATION

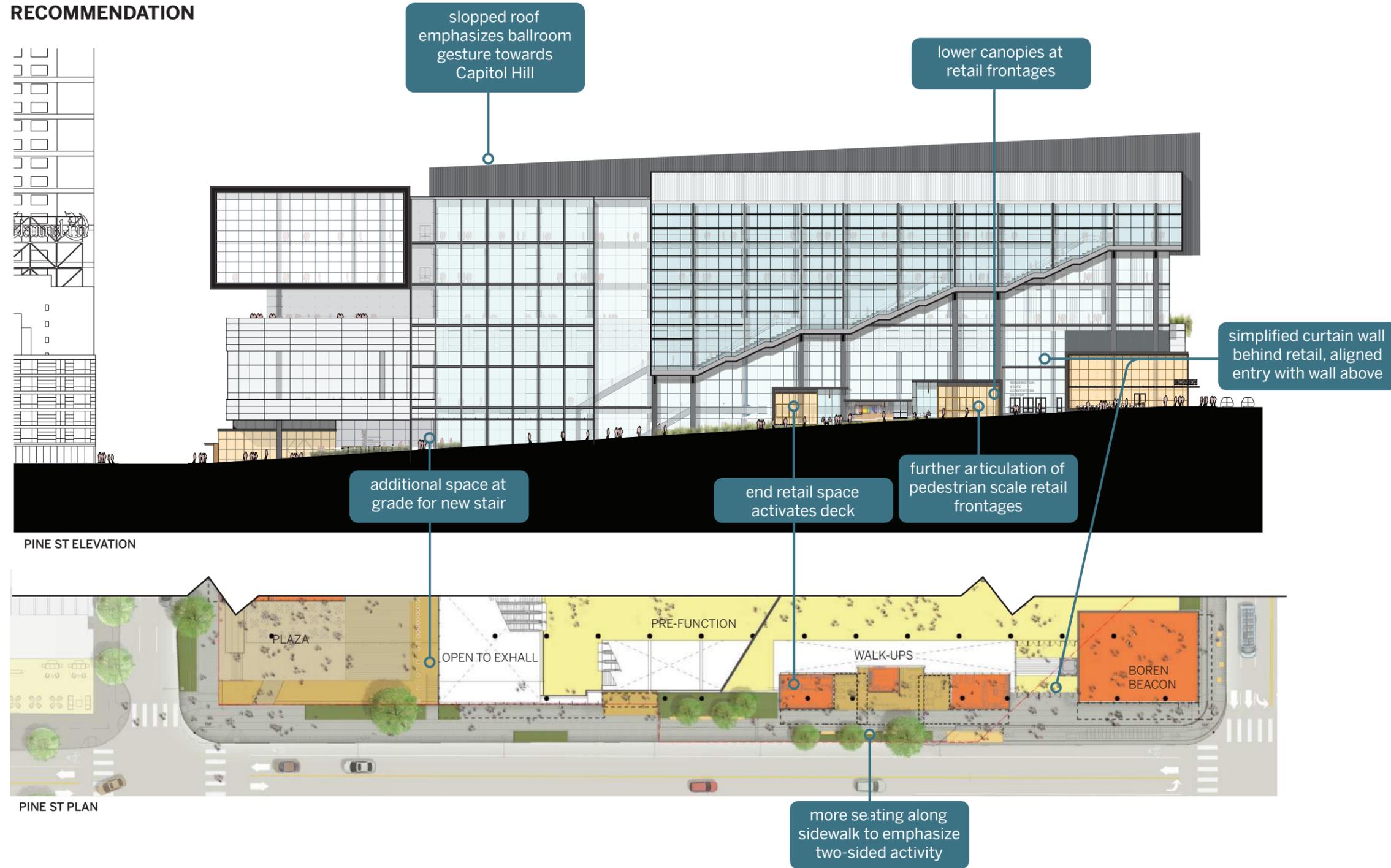


PINE ST PLAN

3 DR 01 COMMENT RESPONSES - PINE STREET

NOTE: Larger size plan and elevations can be found on pages XX-XX)

RECOMMENDATION



3 DR 01 COMMENT RESPONSES - 9TH AVENUE

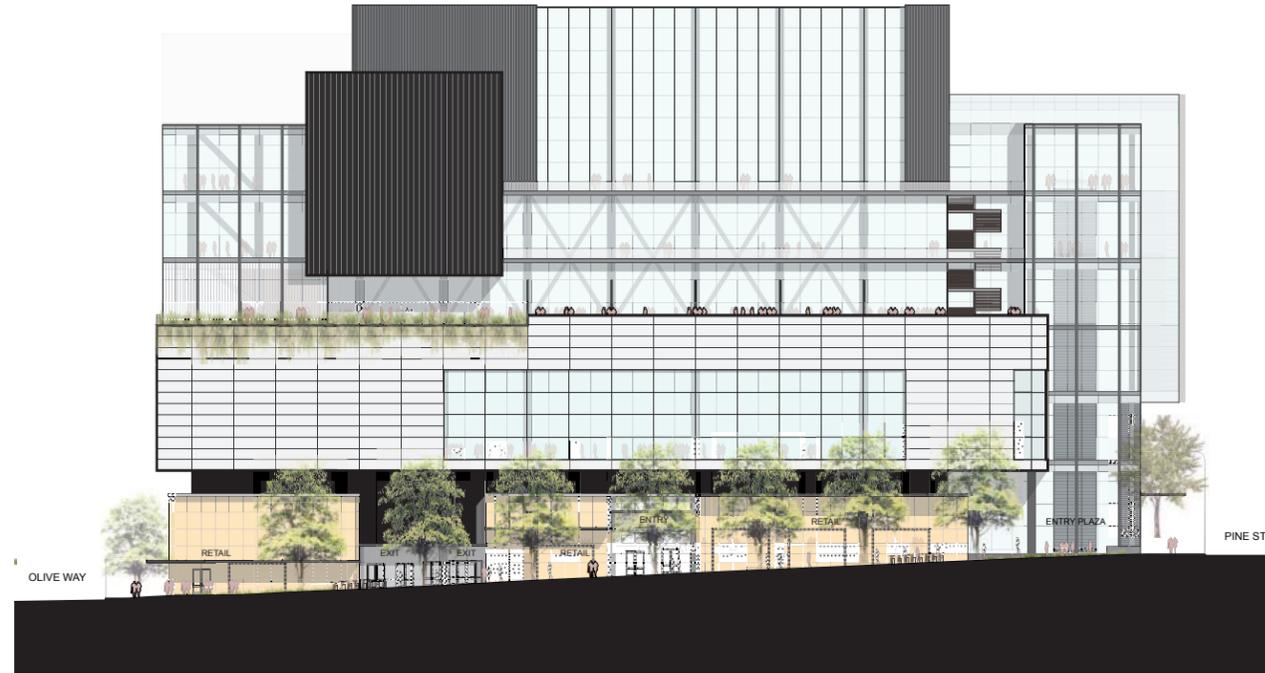
RECOMMENDATION 2 - 9TH AVENUE

9th Avenue modulation and Pedestrian Amenity: Large scale cross sections at several points on the 9th Avenue frontage, and spot elevations on all plans, shall be provided at subsequent meetings, to ensure the guidance described under #5 above.

RESPONSE - The requested sections have been provided on pages 82-83 and plan with spot elevations can be found on page 81.



DR 1



9TH AVE ELEVATION OF MIXING ZONE

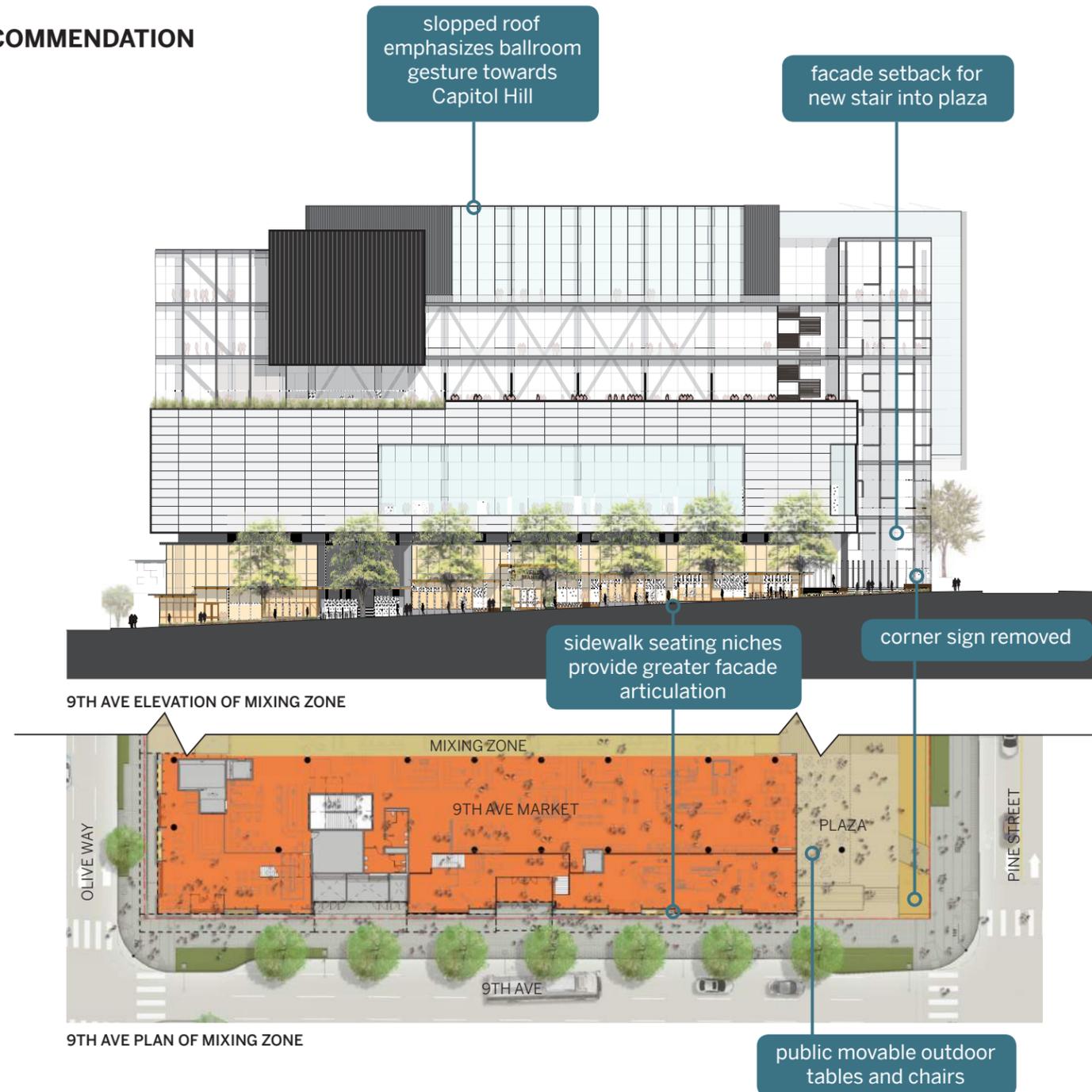


9TH AVE PLAN OF MIXING ZONE

3 EDG 03 COMMENT RESPONSES - 9TH AVENUE

NOTE: Larger size plan and elevations can be found on pages XX-XX)

RECOMMENDATION



3 DR 01 COMMENT RESPONSES - OLIVE WAY



COMMENT 4B - OLIVE WAY

The Board strongly endorsed pedestrians being able to look down into the below-grade lobbies (see 2b above), and recommended the wide planter at this location [91] be eliminated or substantially narrowed for a substantial length of the open void.

RESPONSE - The planter has been revised to better coordinate with the planting concept for the Olive Way facade, significantly opening the sidewalk to the face of the building to provide better visual access to the floor opening below.

COMMENT 4C - OLIVE WAY

The Board agreed the green planter trays provide texture and scale [64/2, 69,74], and a distinctive material for the Terry Avenue terminus, but concurred with public comment and strongly recommended more vertical green mass be concentrated in the lower and west portions of the actual Terry Street axis. This vertical green could help screen the full height blank walls of the exit stairs. Full height 'terrariums' should be explored, that emphasize the experiential quality for people in the interior lobbies and meeting rooms.

RESPONSE - The concept for the planters on the Olive Way facade has been refined to provide greater interest and a larger scale visual impact that reinforces the Green Street gesture and unique character of the Pacific Northwest. The layout of the planters have been carefully sited to maximize both interior and exterior views, and provide both transparent and dark backdrops to provide either visibility from the interior or help pop the foliage from a distance. The use of planters on the exterior (as opposed to interior terrariums), creates a unified facade scale layer of local planting that provides the greatest benefit to the public, as viewed from the exterior. The planter concepts are illustrated on pages 54 through 60.

COMMENT 4A,D - OLIVE WAY

The Board recommended all exit doors and the parking portal gate [74] be designed with artful treatments and materials consistent with the refined palette presented.

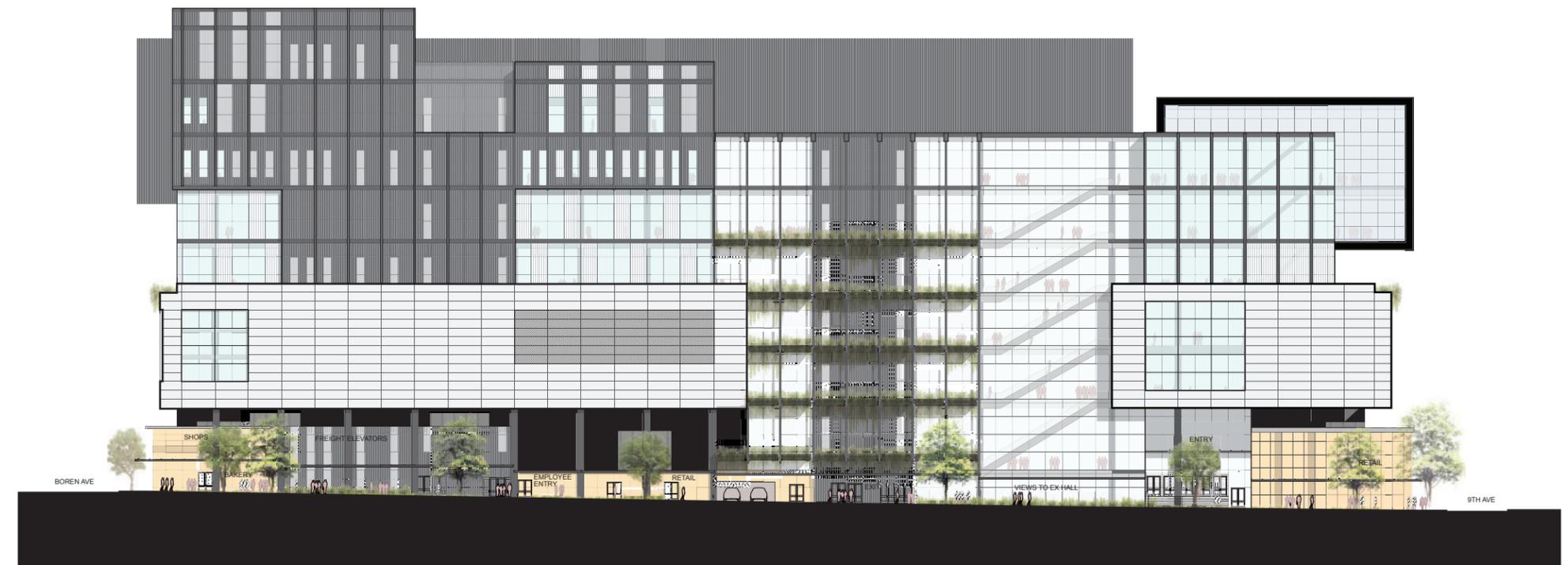
RESPONSE - The concept for material and treatment of garage doors is an elegant fine scale custom perforated metal door - example shown on page 32. The exit doors will be finished to blend into adjacent materials, and vary per elevation.

COMMENT 4E - OLIVE WAY

Consistent with EDG guidance, the Board recommended doors into the northwest corner "market" be considered to activate the Olive portion of the busy street corner.

RESPONSE - The primary entry vestibule for the Market is off 9th Avenue, with other entries off Olive and 9th developed with retail tenant.

DR 1



OLIVE WAY ELEVATION



OLIVE WAY PLAN

3 DR 01 COMMENT RESPONSES - OLIVE WAY

NOTE: Larger size plan and elevations can be found on pages XX-XX)

RECOMMENDATION



3 DR 01 COMMENT RESPONSES - BOREN AVENUE

COMMENT 3B - BOREN AVENUE

The Board agreed the steep sidewalk climb warrants the addition of pedestrian resting points adjacent to the sidewalk; benches or seating are recommended at the paved portion for the exit stairs, and another resting recess/feature is advisable at the middle of the planter outside the workshops [93], at roughly third-points (Note: existing projects on steep downtown sidewalks provide landings, assist rails, etc).

RESPONSE - Benches have been added to create several resting locations spaced along the length of the sloped sidewalk where a corresponding flat surface can be provided for access.

COMMENT 3C - BOREN AVENUE

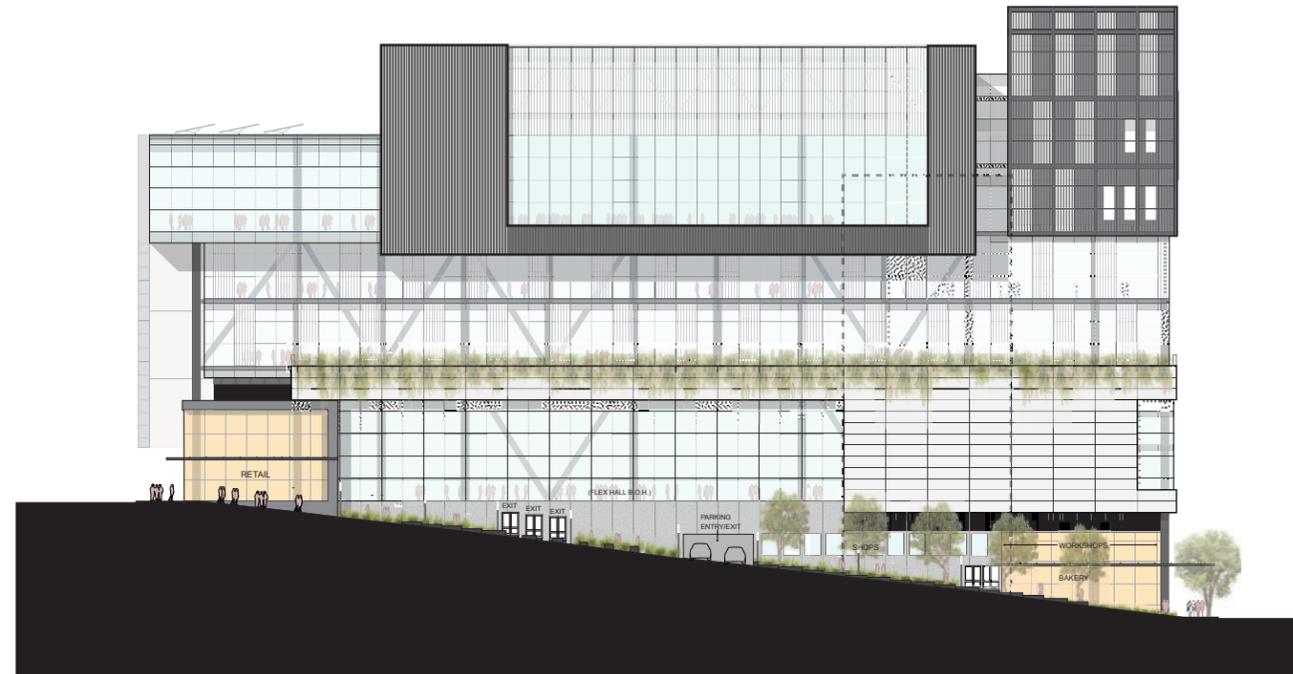
The Board concurred with the public comment and recommended all exit doors and the parking portal gate [53] be designed with artful treatments and materials consistent with the overall refined palette presented [86]. The ground level wall of "textured concrete" is still relatively prominent, so the texture should display multiple scales, tones and shadow-play.

RESPONSE - The concept for material and treatment of garage doors is an elegant fine scale perforated metal door, finished to coordinate with adjacent building facade - example shown on page 32.

The concept for the textured concrete wall on Boren Avenue is to create a landscape texture that will ground the building into its sloping site, and provide a rich backdrop for foreground plantings along the sidewalk - example shown on page 32.



DR 1



ENLARGED BOREN AVE ELEVATION

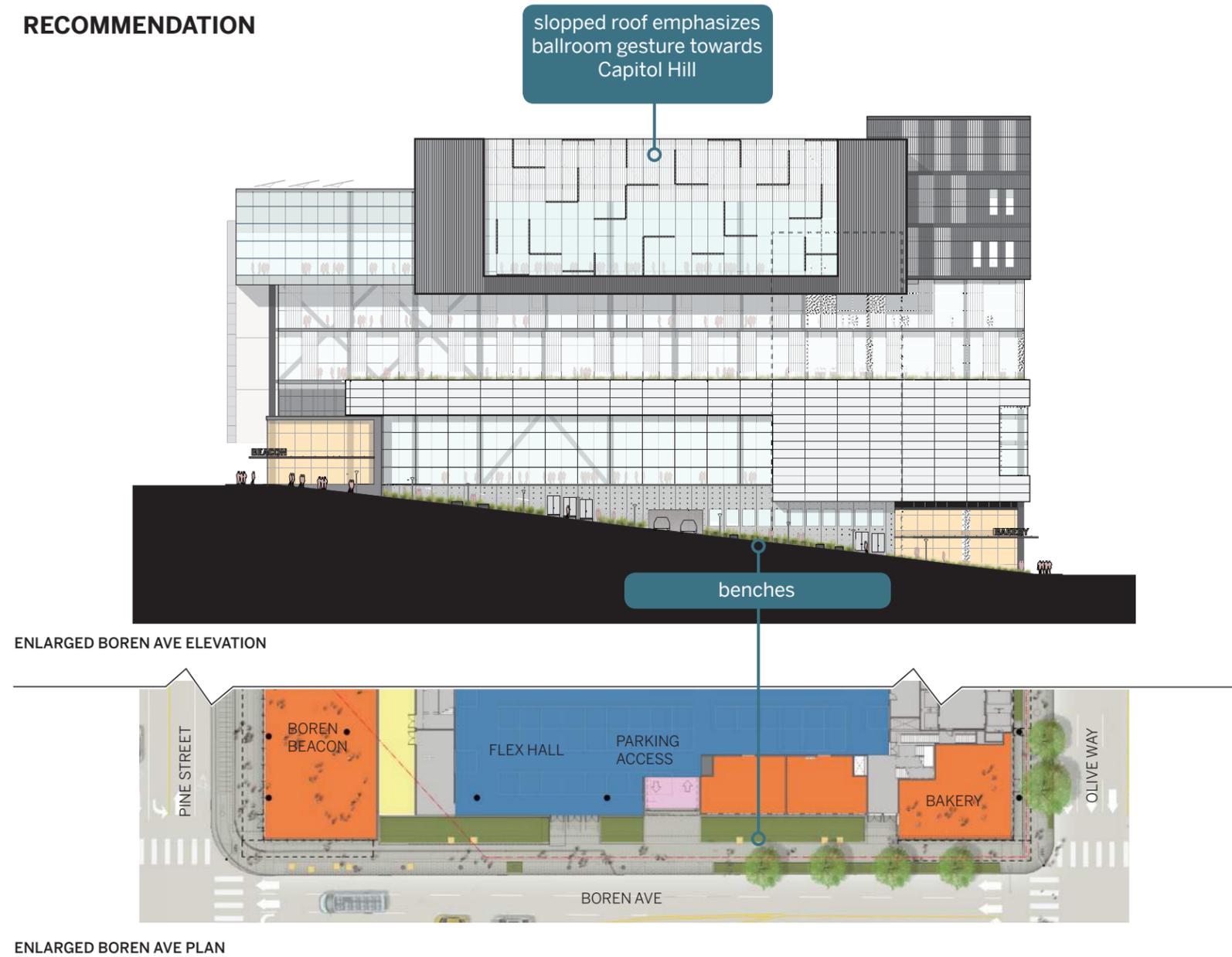


ENLARGED BOREN AVE PLAN

3 DR 01 COMMENT RESPONSES - BOREN AVENUE

NOTE: Larger size plan and elevations can be found on pages XX-XX)

RECOMMENDATION







Dearborn St
4th Ave S
Airport Way
Exit 104

EXIT 104
UNION St

WYOMING









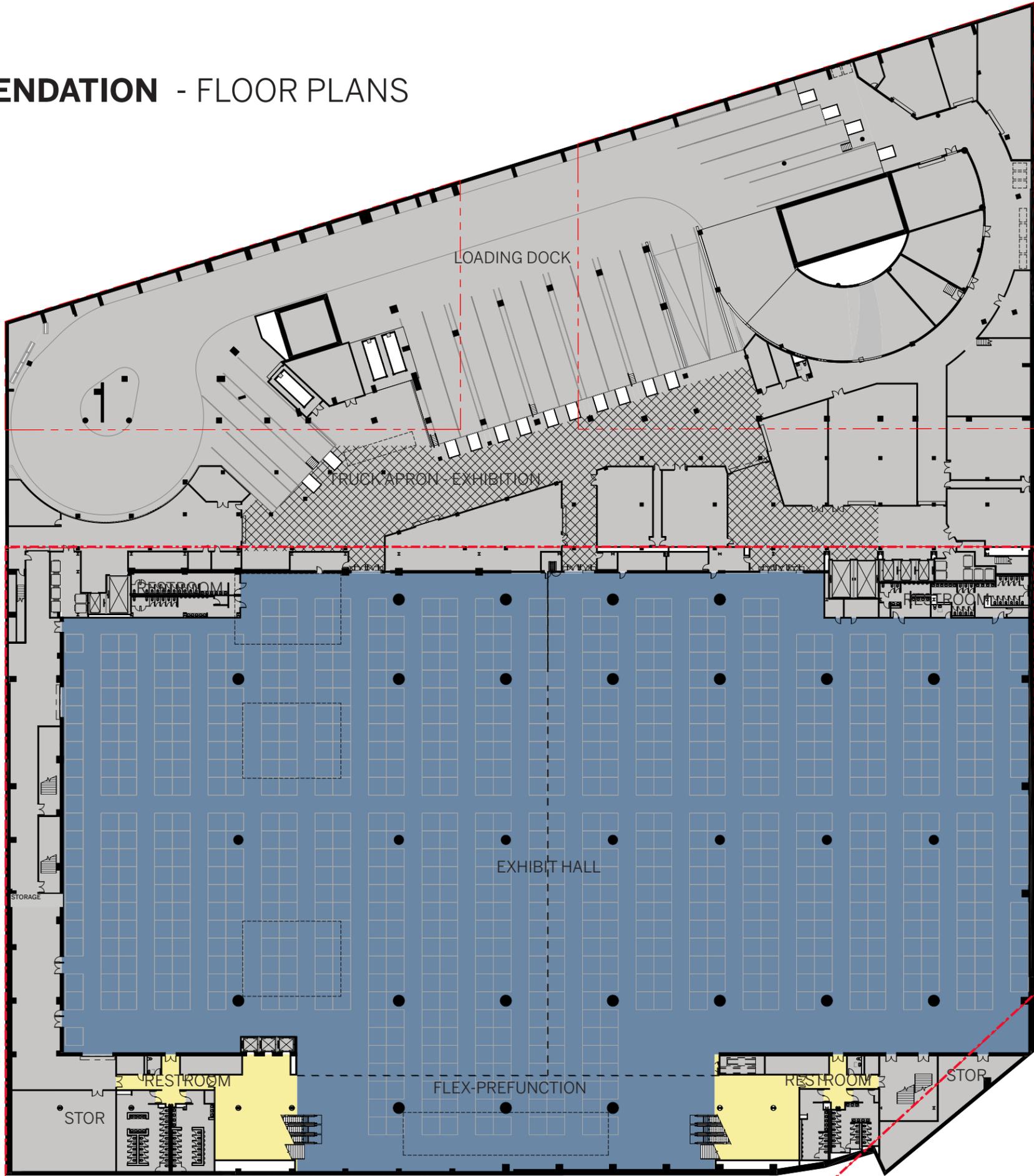
4 DESIGN RECOMMENDATION - SITE PLAN

SITE PLAN



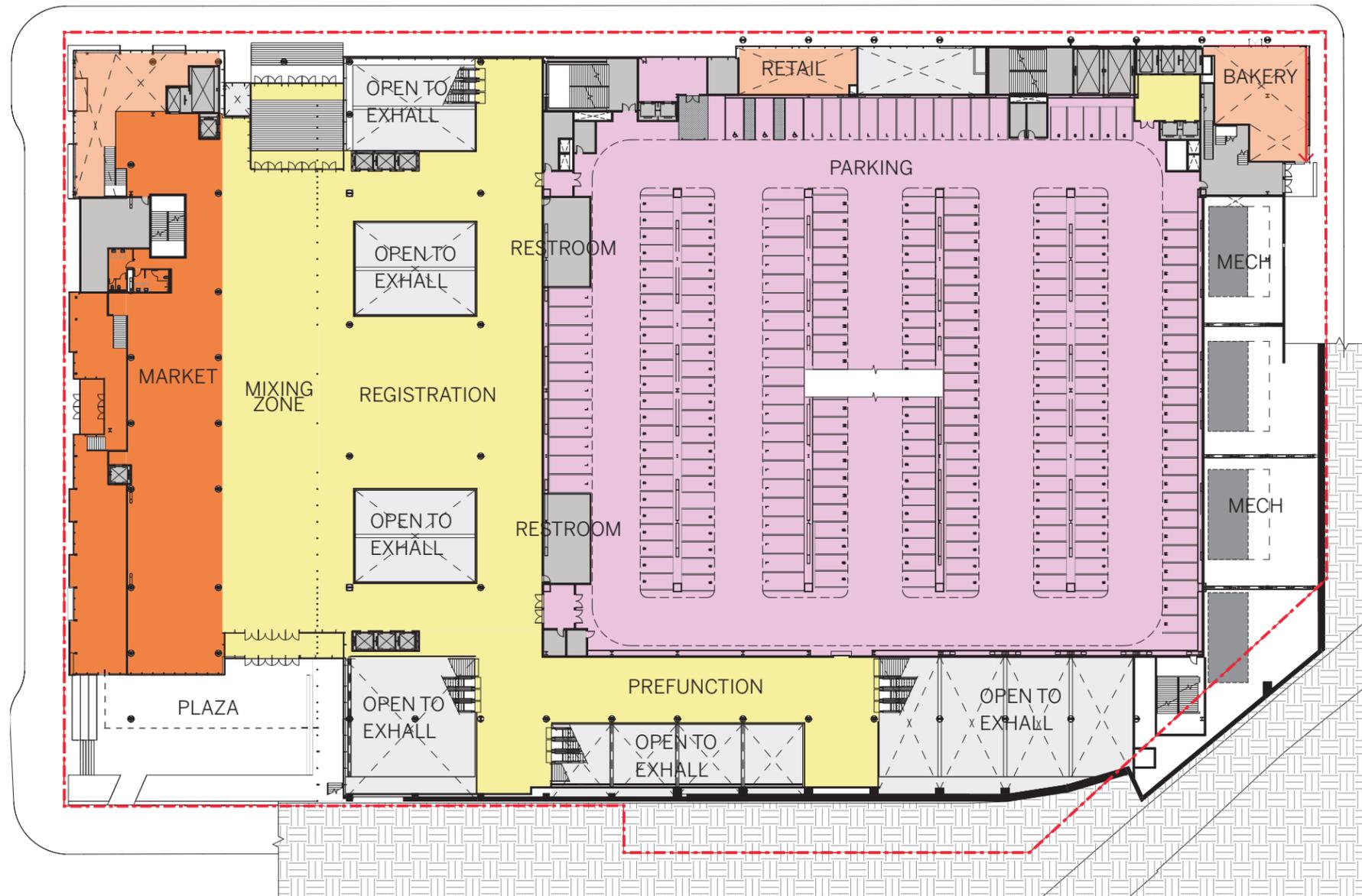
4 DESIGN RECOMMENDATION - FLOOR PLANS

LEVEL B2



4 DESIGN RECOMMENDATION - FLOOR PLANS

LEVEL 2



4 DESIGN RECOMMENDATION - FLOOR PLANS

LEVEL 5



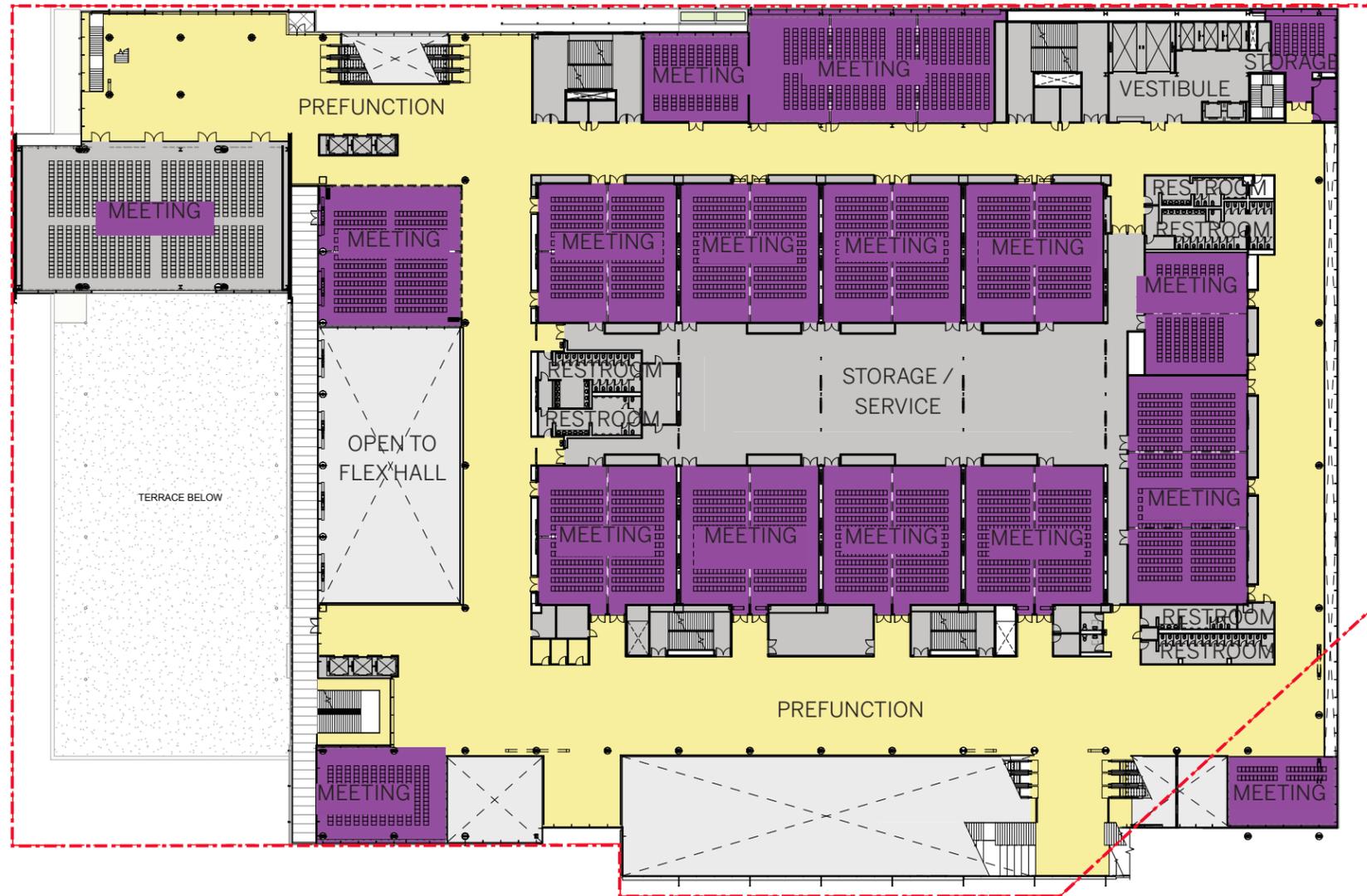
4 DESIGN RECOMMENDATION - FLOOR PLANS

LEVEL 8



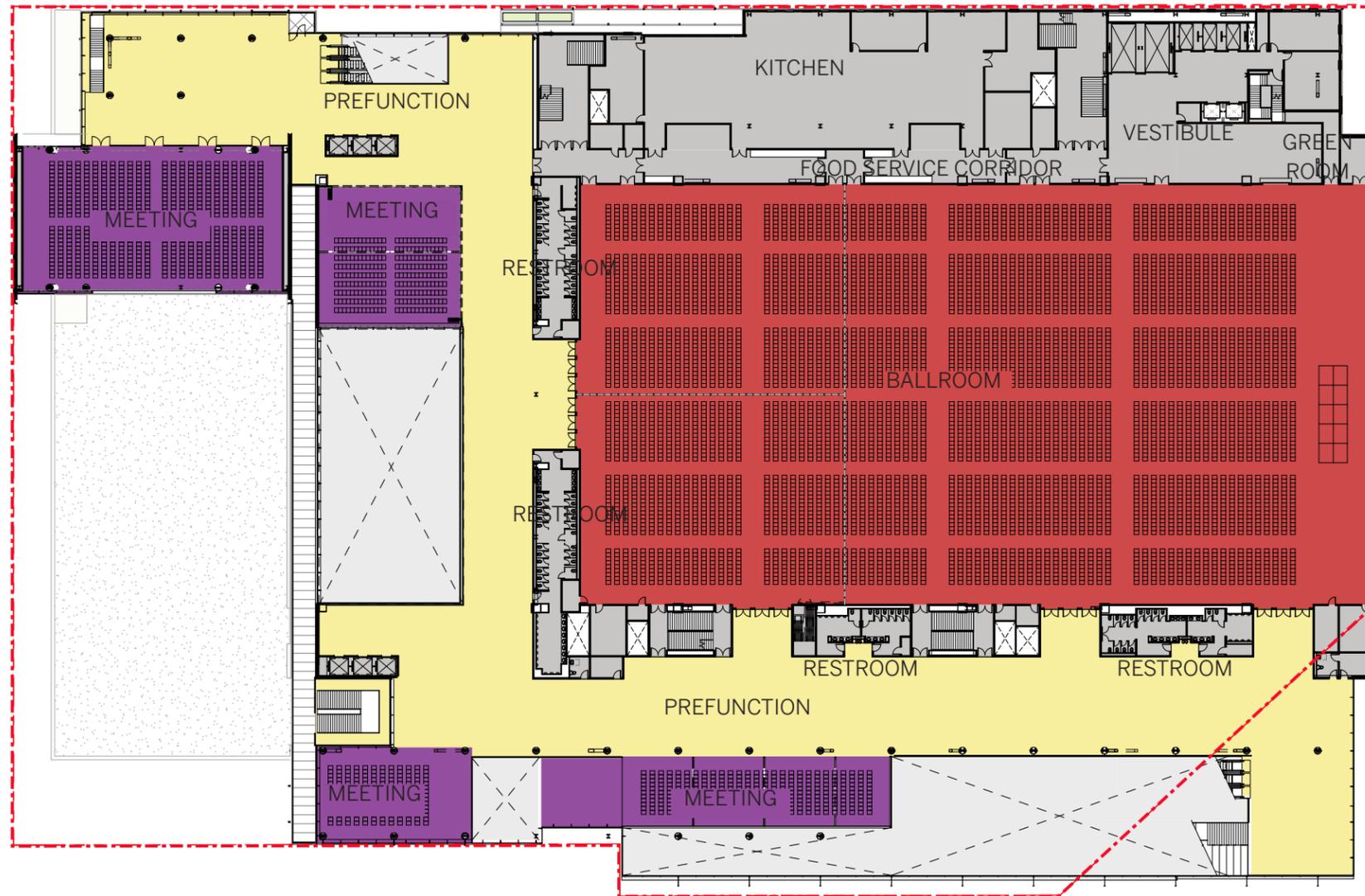
4 DESIGN RECOMMENDATION - FLOOR PLANS

LEVEL 9



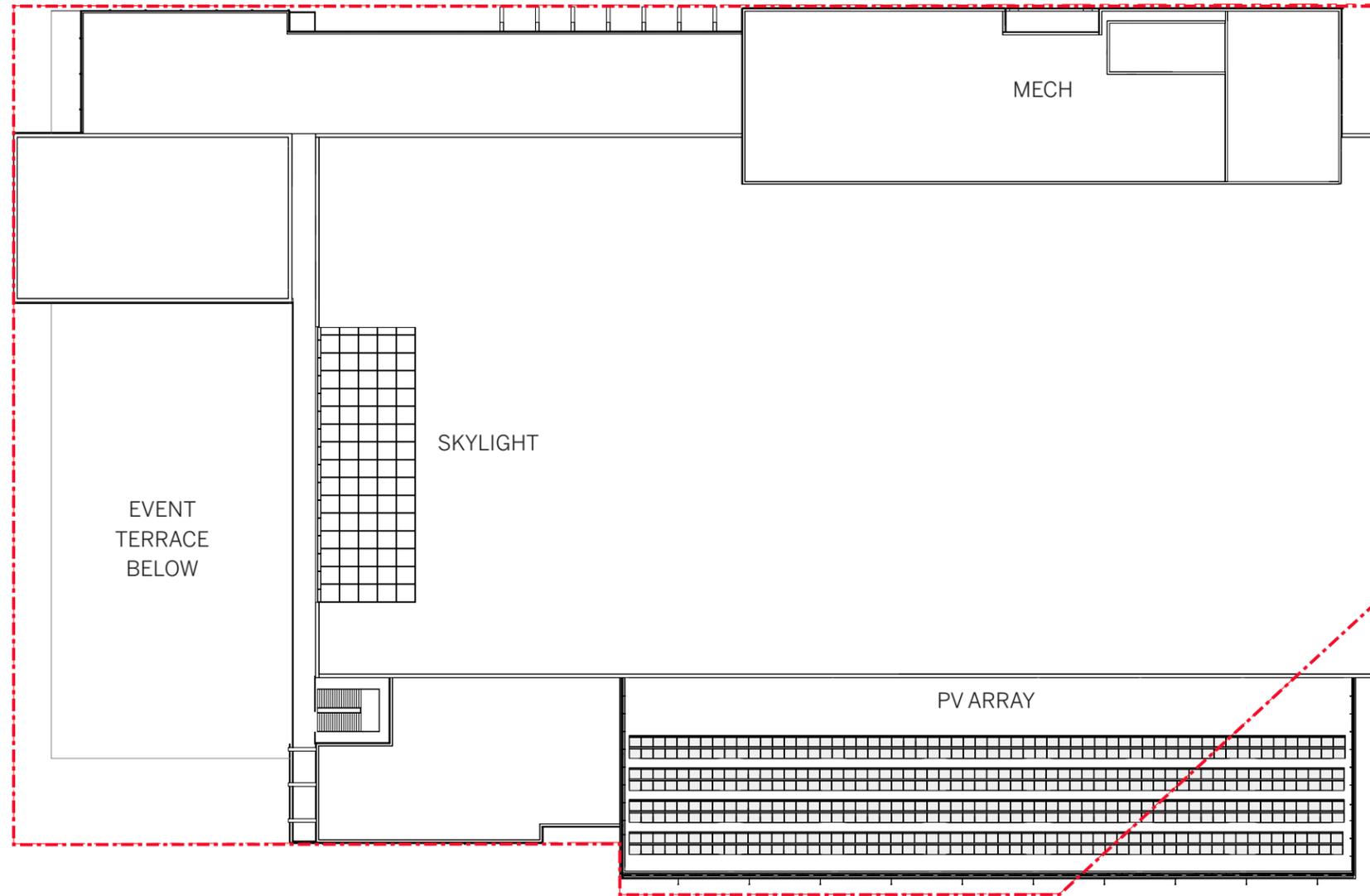
4 DESIGN RECOMMENDATION - FLOOR PLANS

LEVEL 10



4 DESIGN RECOMMENDATION - FLOOR PLANS

LEVEL 13



4 DESIGN RECOMMENDATION - MATERIALS

MATERIAL CONCEPT

The material concept for the building is to occupy the intersection between the character of its context and dynamic qualities of changing events inside.

The building material palette emphasizes the exterior as a silhouette, receding to frame the activity of the interior and accentuate the changing character of events -- an active participant in the building story and material palette.

The detailing of all systems will express the small scale elements and craftsmanship in the construction, highlighting the natural beauty and character inherent in honest materials.

- Flex Hall: Light reactive metal panel to interact with context buildings, day and night light qualities, streetscapes, and events.

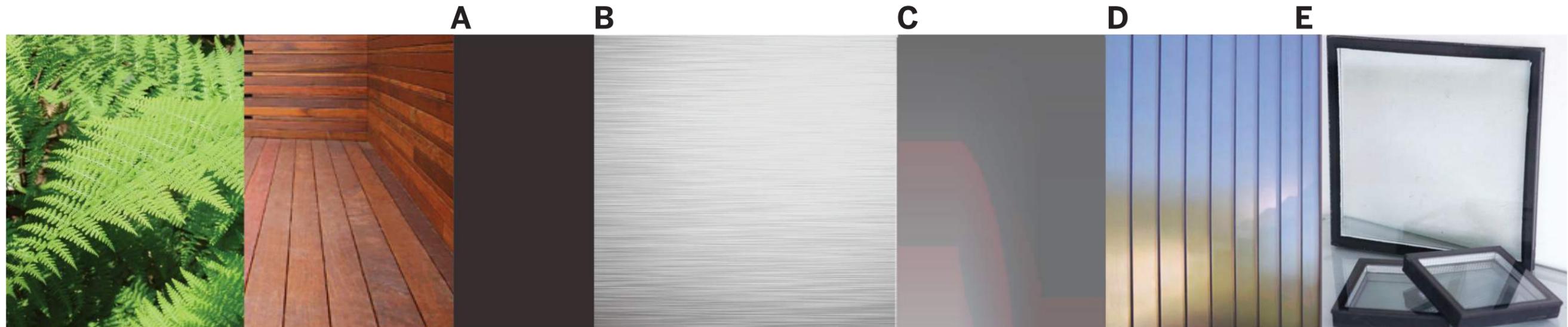
- Curtain wall: Transparent quality frames activity within. The dark color, low sheen metal paint finish is seen as a silhouette looking in or looking out.

- Ballroom: Dark color, high gloss with ribbed metal panel creates a crisp frame for the major openings into the Ballroom and Atria. The surface will react to the changing daylight with textured shadows and highlights. The translucent panel facing I-5 will be back-lit by Ballroom ceiling and event lighting.

- Signature Meeting Room: Dark, low sheen, ribbed metal panels and metal frames at edges.

- Pine Street Stair: Highly transparent window system with low iron glass revealing wood finished stairs and seating platforms within.

- Retail: Pedestrian scale, crafted character, language of wood elements, operable storefronts, local/personal character of tenants.



An architecturally integrated planting pallet that celebrates the warmth and richness to character of the region.

Accents of wood provide the warmth and richness to pedestrian spaces.

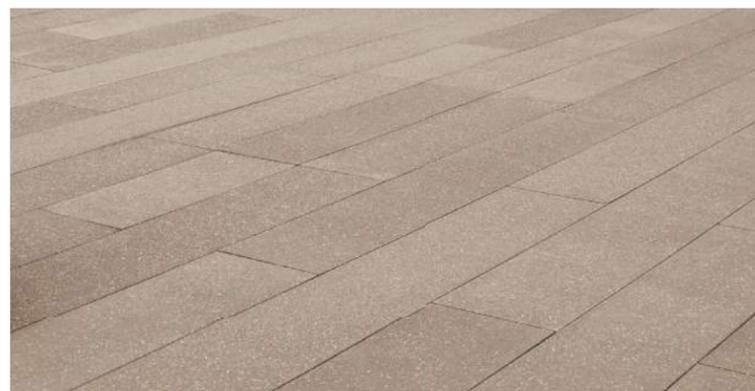
Dark, low sheen ribbed metal panel

Light reactive metal panel

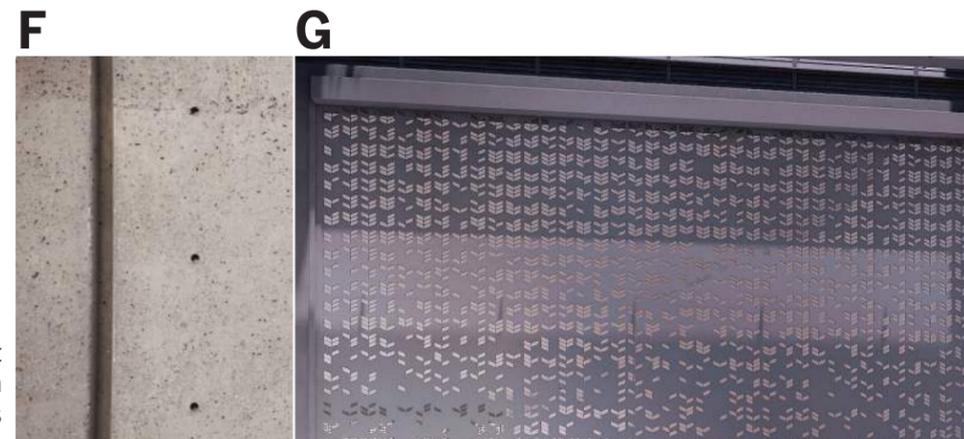
Dark, high gloss ribbed metal panel

Translucent panel/glass and lighting effects

Transparent glazing



Concrete plank plaza paving



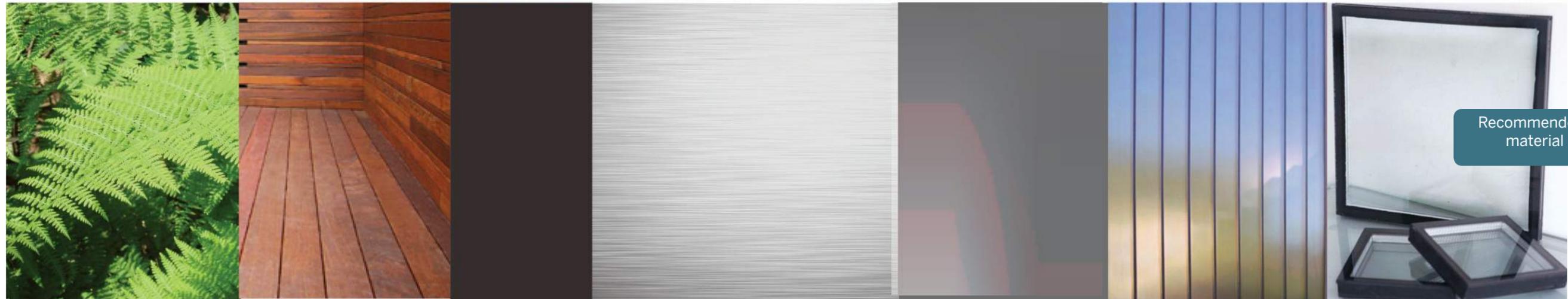
Site cast concrete with shadow reveals

Custom perforated garage door

4 DESIGN RECOMMENDATION - MATERIALS



Diverse palette of context building materials



Recommended building material palette



Internal people and activities contribute to exterior building expression

SEATTLE PI, PHOTO CREDIT: JOSHUA TRUJILLO

CEILING PLUS: MIDTOWN FINANCIAL COMPANY

4 DESIGN RECOMMENDATION - PINE STREET ELEVATION

CONCEPTUAL APPROACH

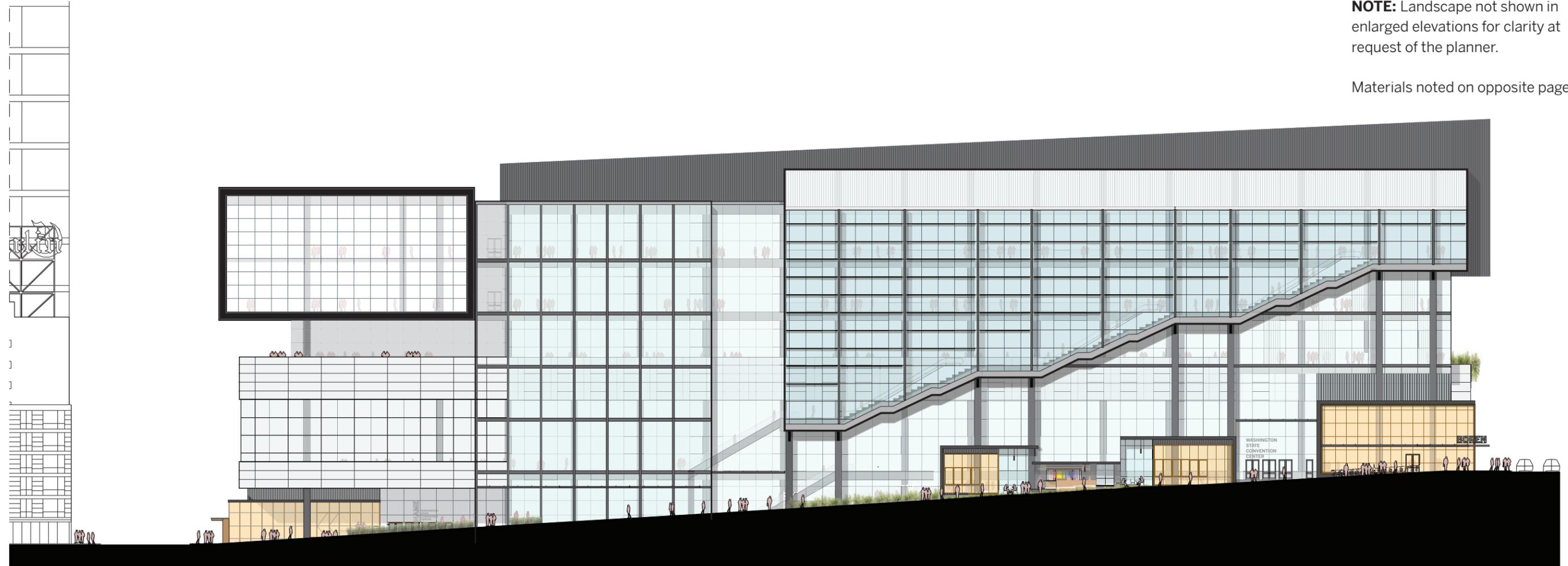
- Hillclimb stair with stadium seating allows visitors to participate in city, with views to Pike Place Market and Capitol Hill. Volume of stair is a signature sculpted form, articulated with structure
- Curtain wall patterning creates hierarchy
- Boren Beacon is an important retail space with a strong visual connection to Capitol Hill
- Walk-up retail spaces with outdoor seating area extend funky small character of Capitol Hill
- View into/out of activity of facility, vertical floor openings allow views between floors



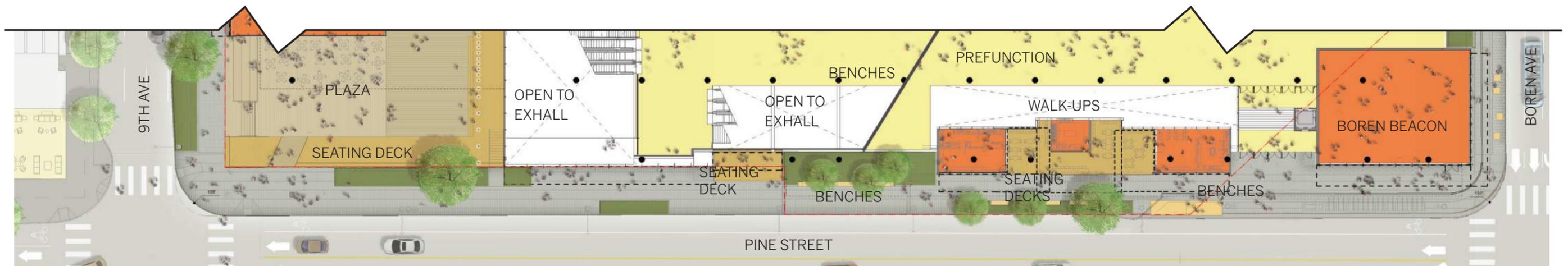
4 DESIGN RECOMMENDATION - PINE STREET ELEVATION

NOTE: Landscape not shown in enlarged elevations for clarity at request of the planner.

Materials noted on opposite page.



ENLARGED PINE ST ELEVATION



ENLARGED PINE ST PLAN

4 DESIGN RECOMMENDATION - OLIVE WAY ELEVATION

CONCEPTUAL APPROACH

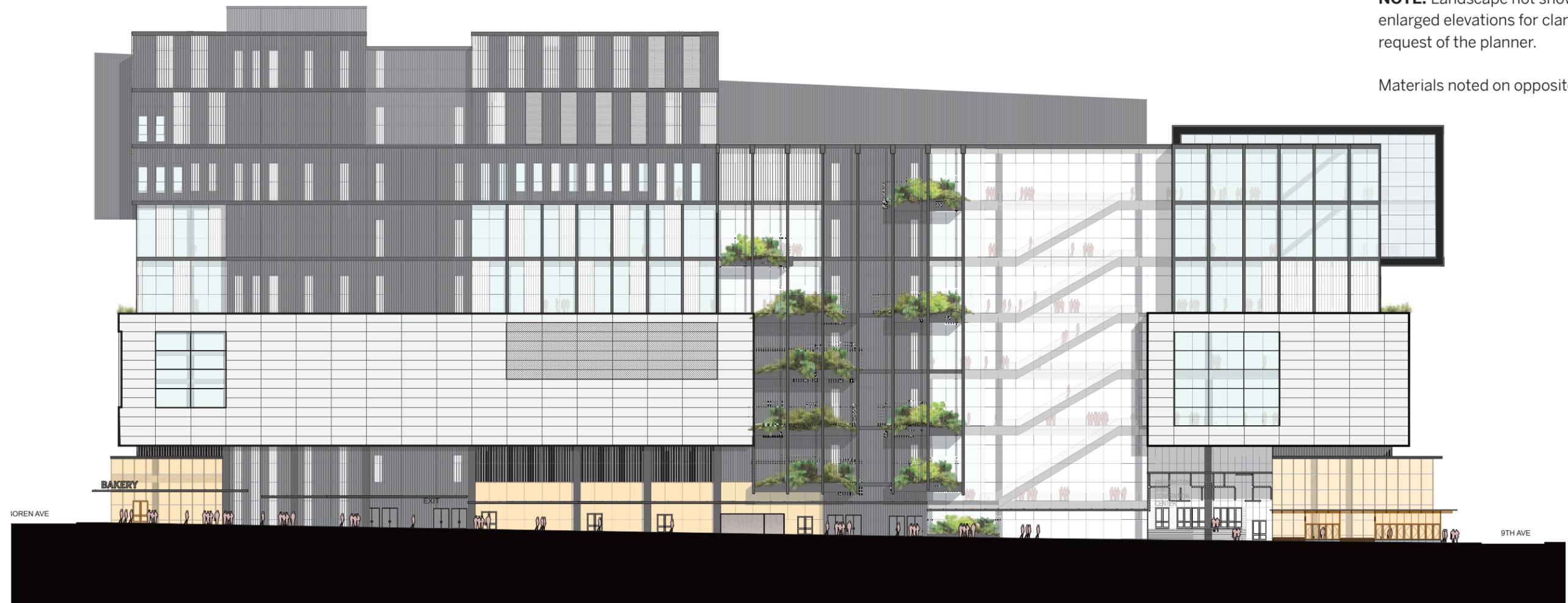
- Different texture metal panels, mixed with translucent, and transparent glazing - light, views, activity, texture
- End of Terry is framed by massing on Olive Way, garden trellis structure that transitions the Green Street concept character to 9th Avenue
- Flex Hall - Singular element visible on all sides, sculpted openings to react to context and program
- Massing creates overlapping forms with a variety of texture and materials
- Visibility onto activity, circulation, Ex Hall, Atrium
- Expressive material facade treatment extends to service areas, egress stairs



4 DESIGN RECOMMENDATION - OLIVE WAY ELEVATION

NOTE: Landscape not shown in enlarged elevations for clarity at request of the planner.

Materials noted on opposite page.



ENLARGED OLIVE WAY ELEVATION

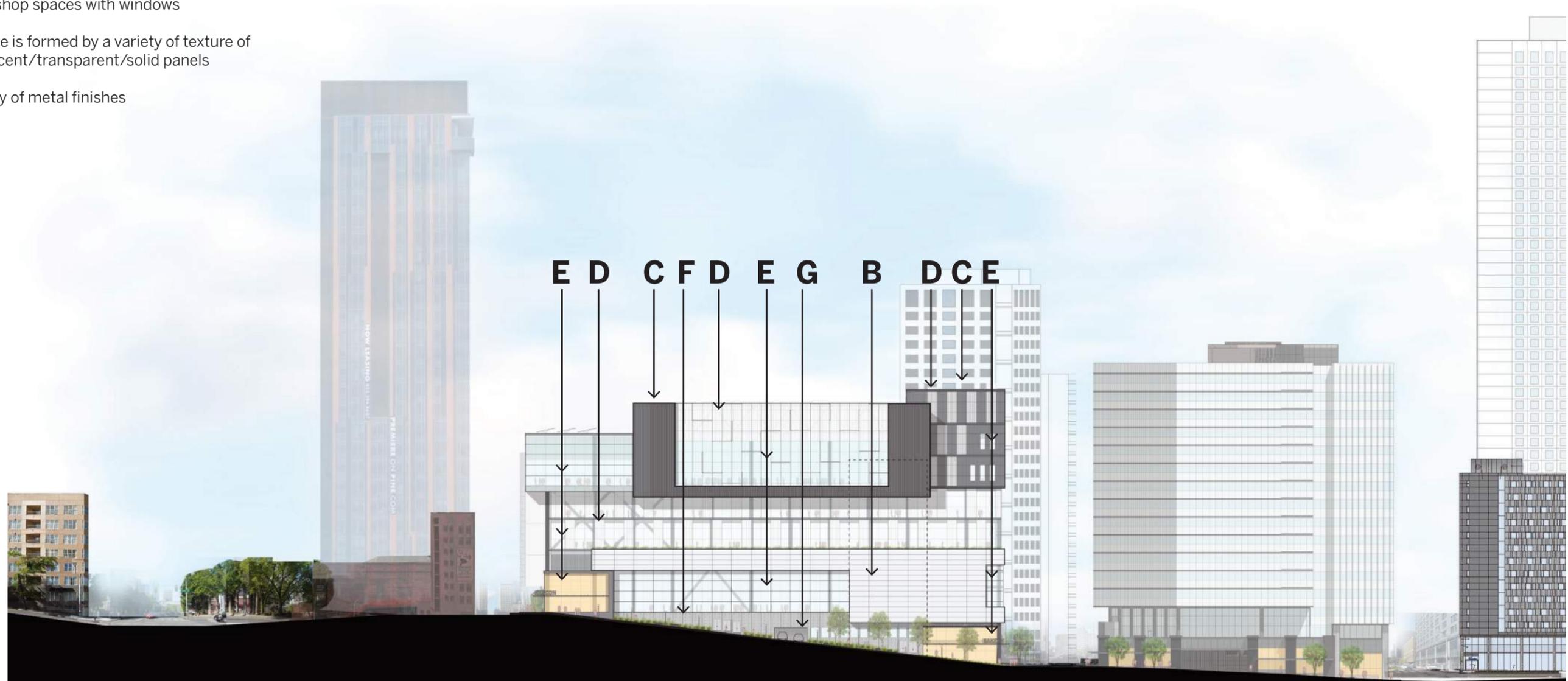


ENLARGED OLIVE WAY PLAN

4 DESIGN RECOMMENDATION - BOREN AVENUE ELEVATION

CONCEPTUAL APPROACH

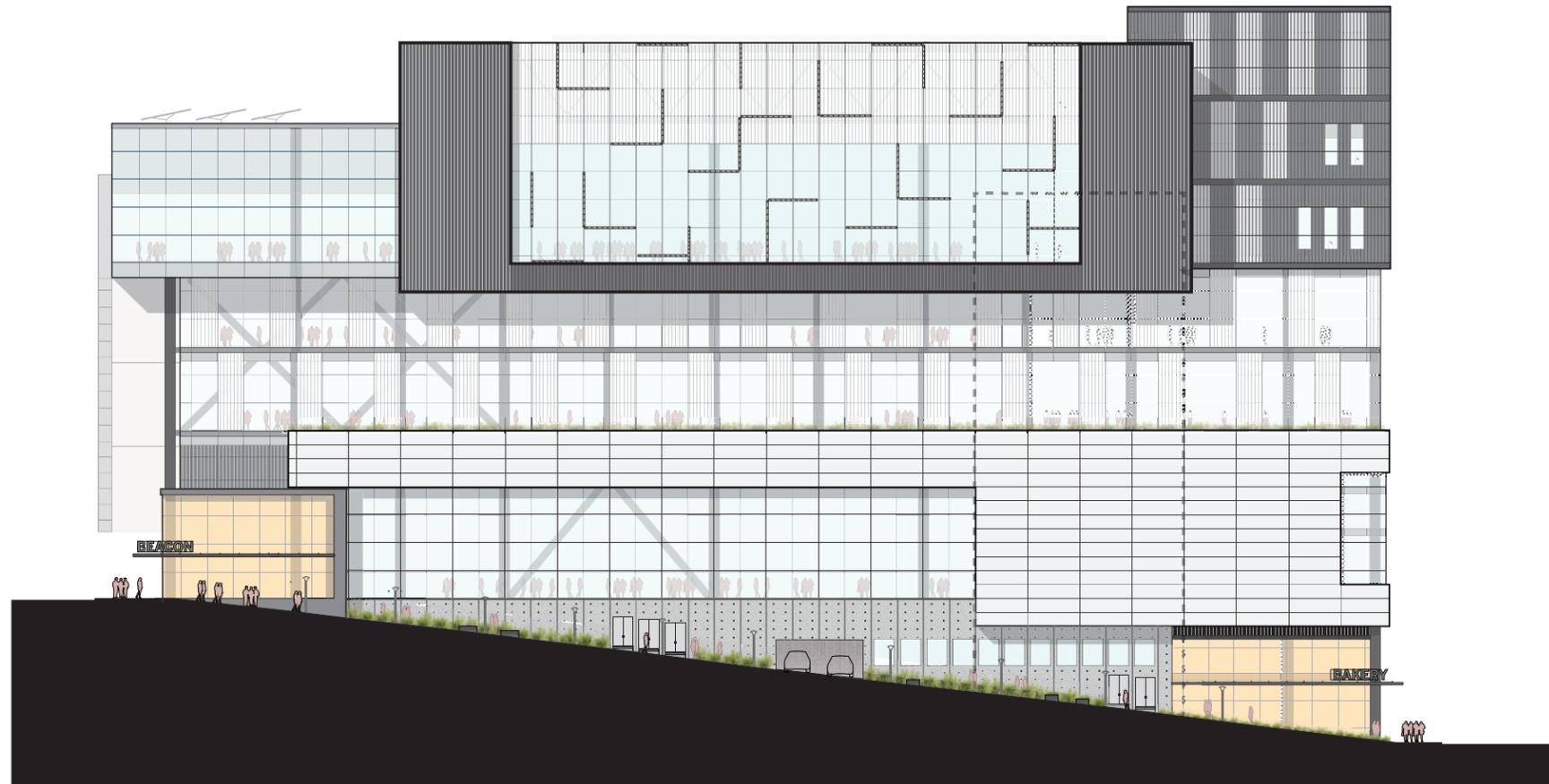
- View into Flex Hall and beyond from Capitol Hill
- Ballroom ceiling is designed for visual interest during event or non event with translucent panels forming an open, lighted box to sky with theatrical lighting
- Pedestrian edge is a garden, steep slope framed by landscape, seating, and pedestrian lighting that also anchors base of building to the site
- Workshop spaces with windows
- Facade is formed by a variety of texture of translucent/transparent/solid panels
- Variety of metal finishes



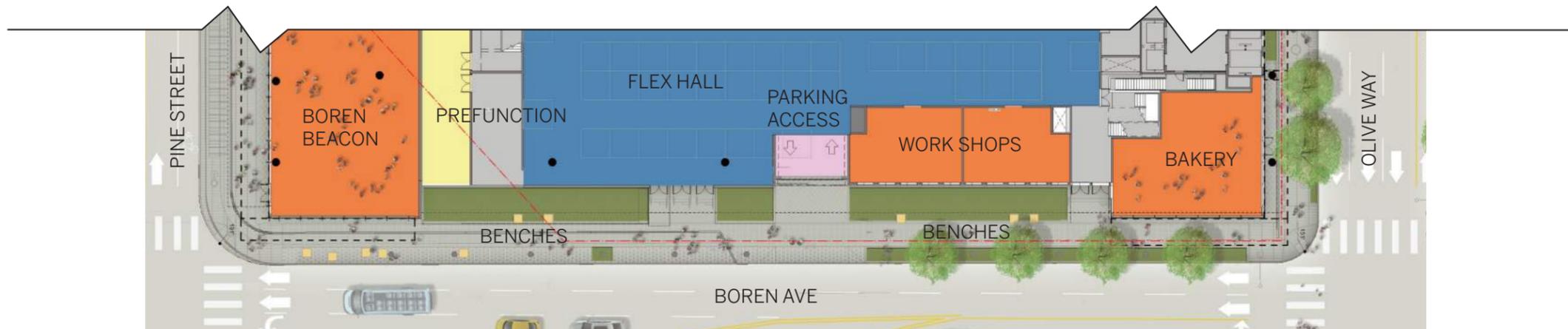
4 DESIGN RECOMMENDATION - BOREN AVENUE ELEVATION

NOTE: Landscape not shown in enlarged elevations for clarity at request of the planner.

Materials noted on opposite page.



ENLARGED BOREN AVE ELEVATION



ENLARGED BOREN AVE PLAN

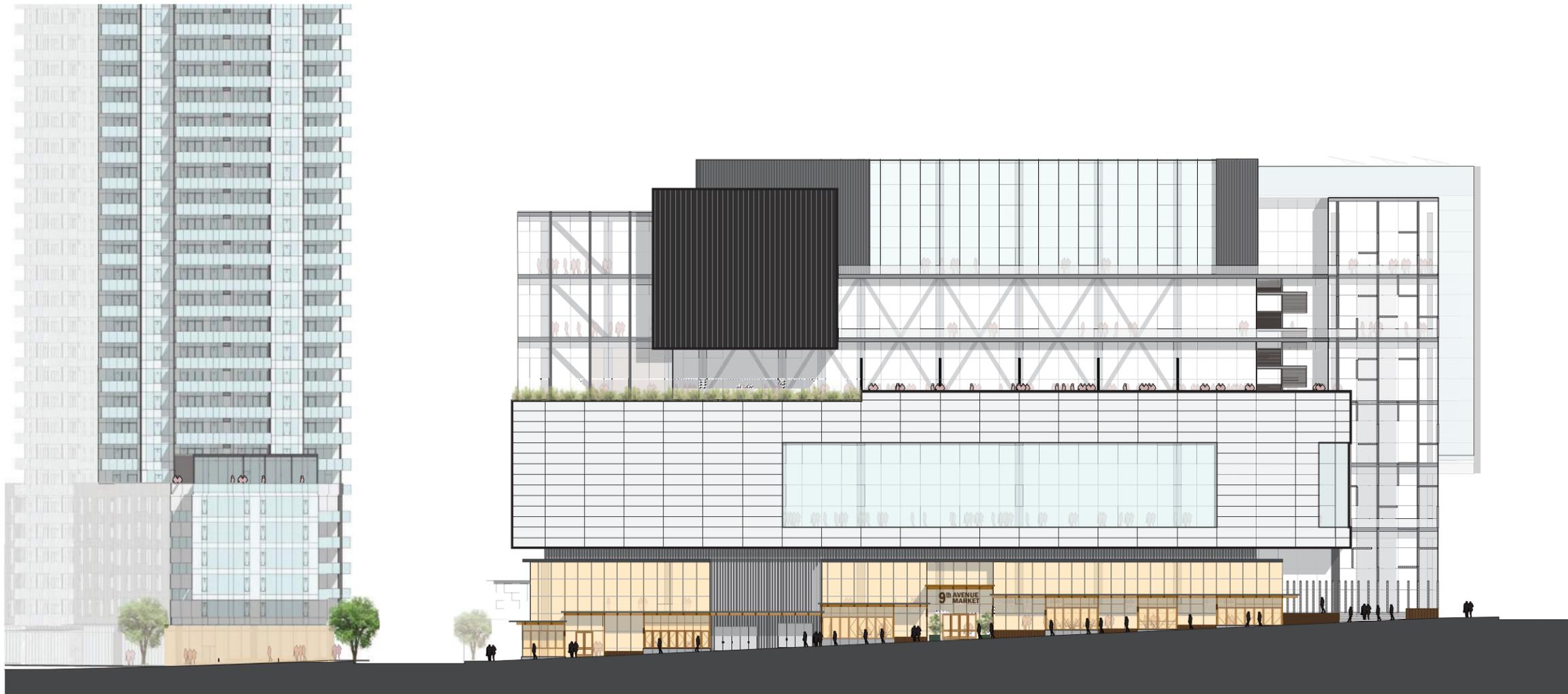
4 DESIGN RECOMMENDATION - 9TH AVENUE ELEVATION

CONCEPTUAL APPROACH

- Open up Ballroom box to the sky with a view of the downtown skyline
- Market Hall is open to the street and connected to the Convention Center through the Mixing Zone
- Market has pavilion-like quality
- Flex Hall box windows have punched character
- Signature meeting box has framed character
- Entry into plaza is formed by a generous open seating and stair



4 DESIGN RECOMMENDATION - 9TH AVENUE ELEVATION



NOTE: Landscape not shown in enlarged elevations for clarity at request of the planner.

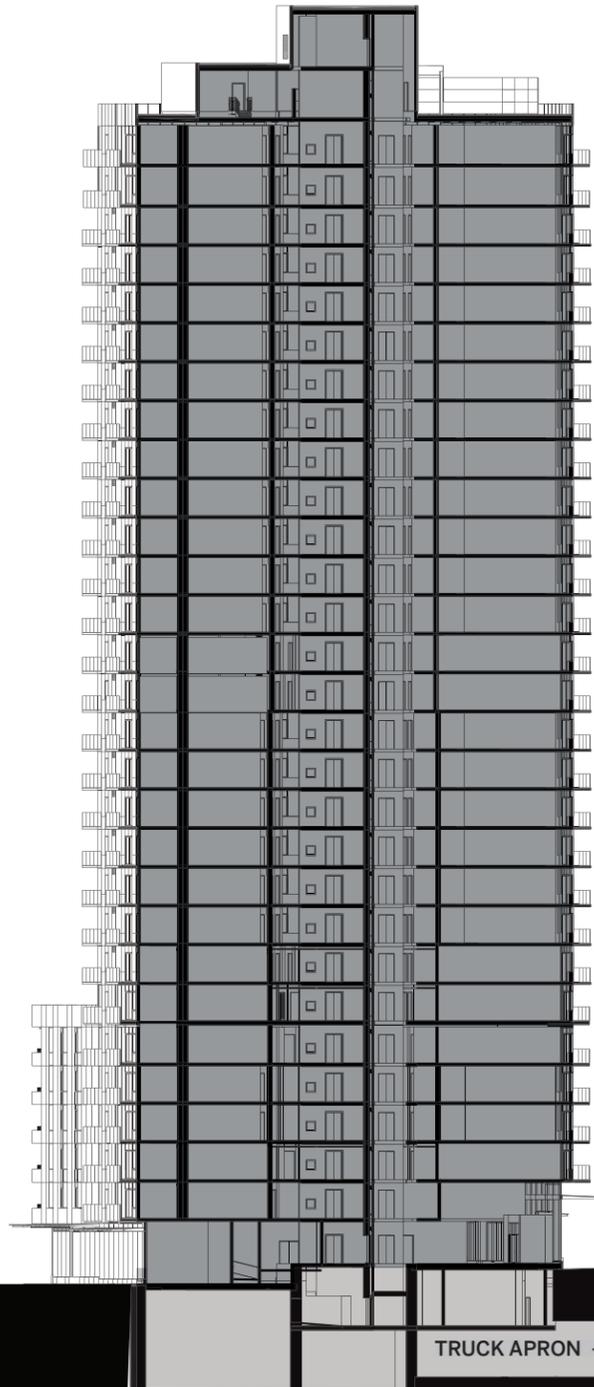
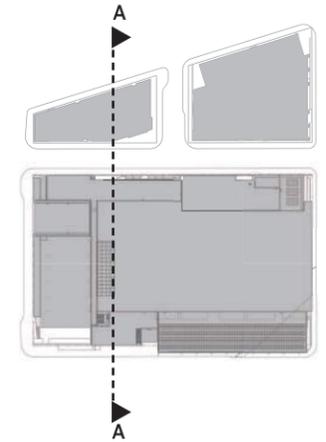
Materials noted on opposite page.

ENLARGED 9TH AVE ELEVATION



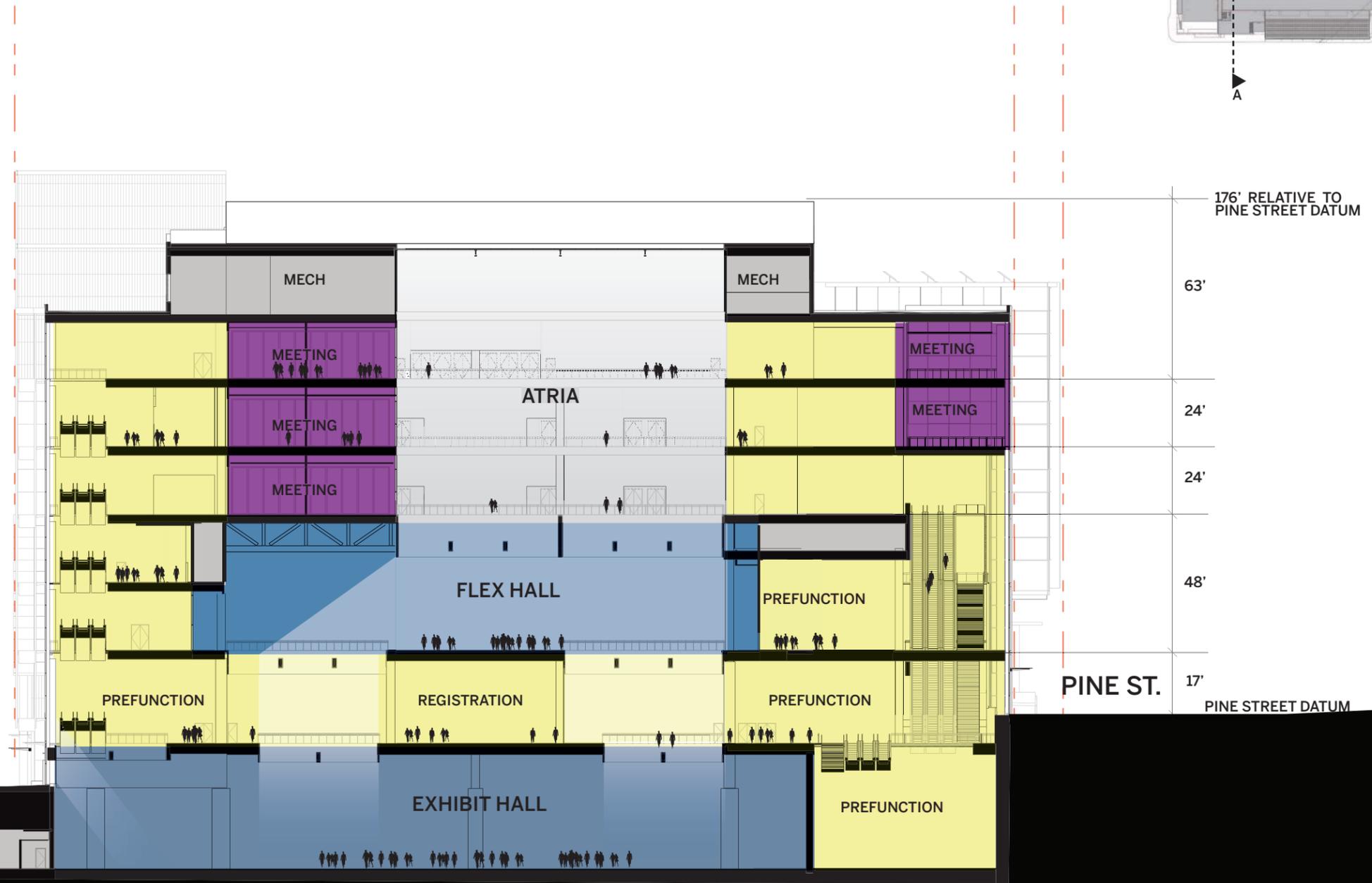
ENLARGED 9TH AVE PLAN

4 DESIGN RECOMMENDATION BUILDING SECTIONS



OLIVE WAY

TRUCK APRON - EXHIBITION



176' RELATIVE TO PINE STREET DATUM

63'

24'

24'

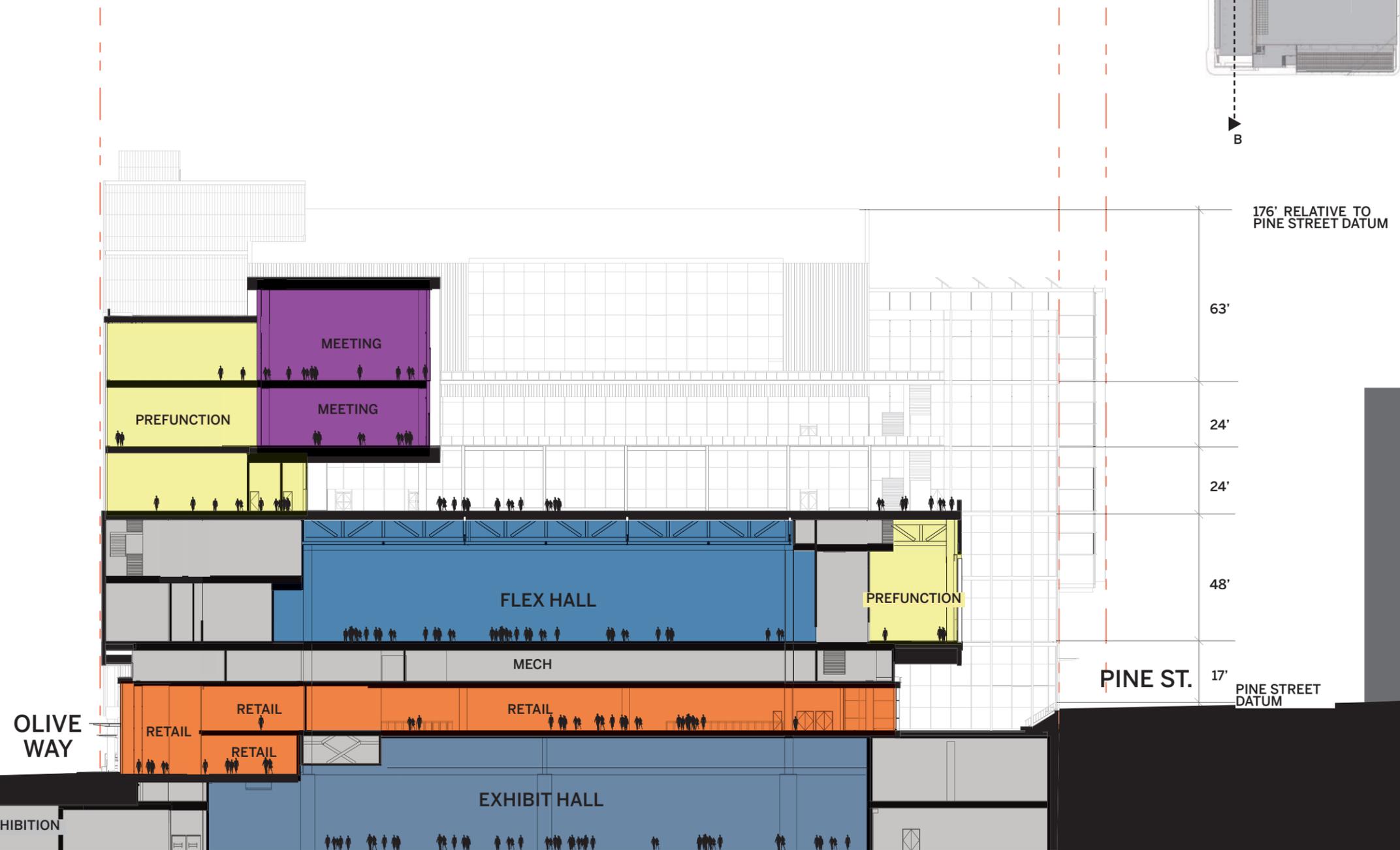
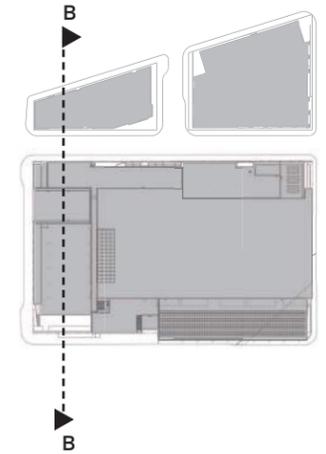
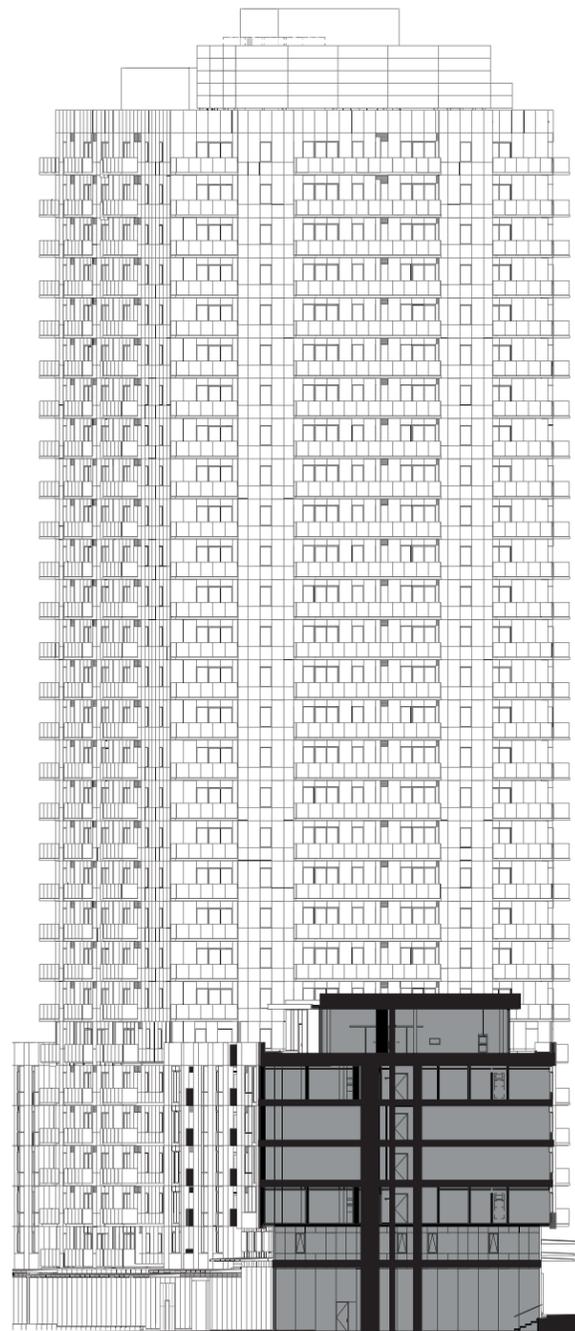
48'

PINE ST.

17' PINE STREET DATUM

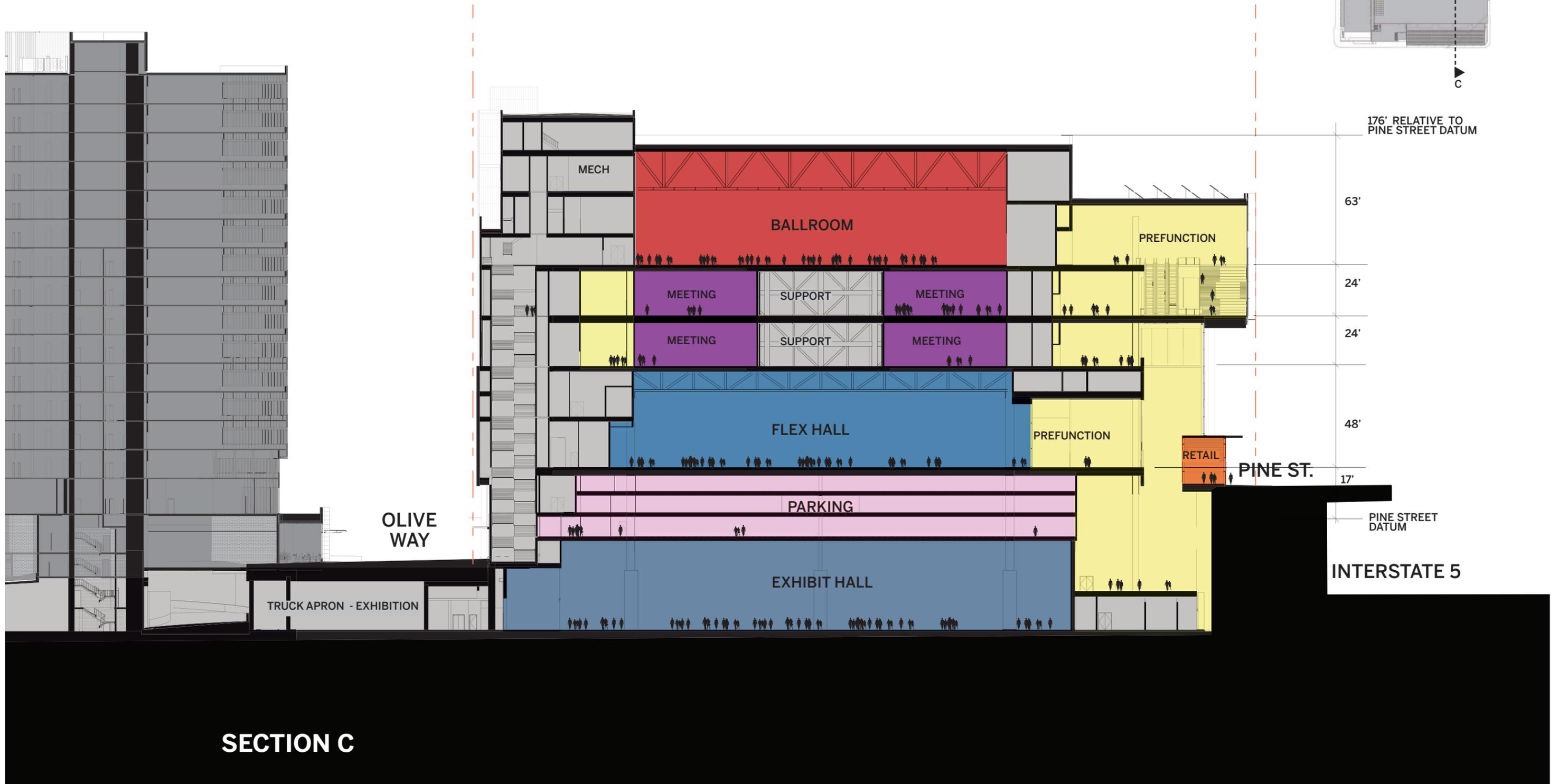
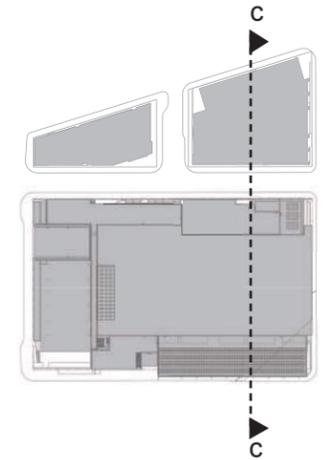
SECTION A

4 DESIGN RECOMMENDATION BUILDING SECTIONS

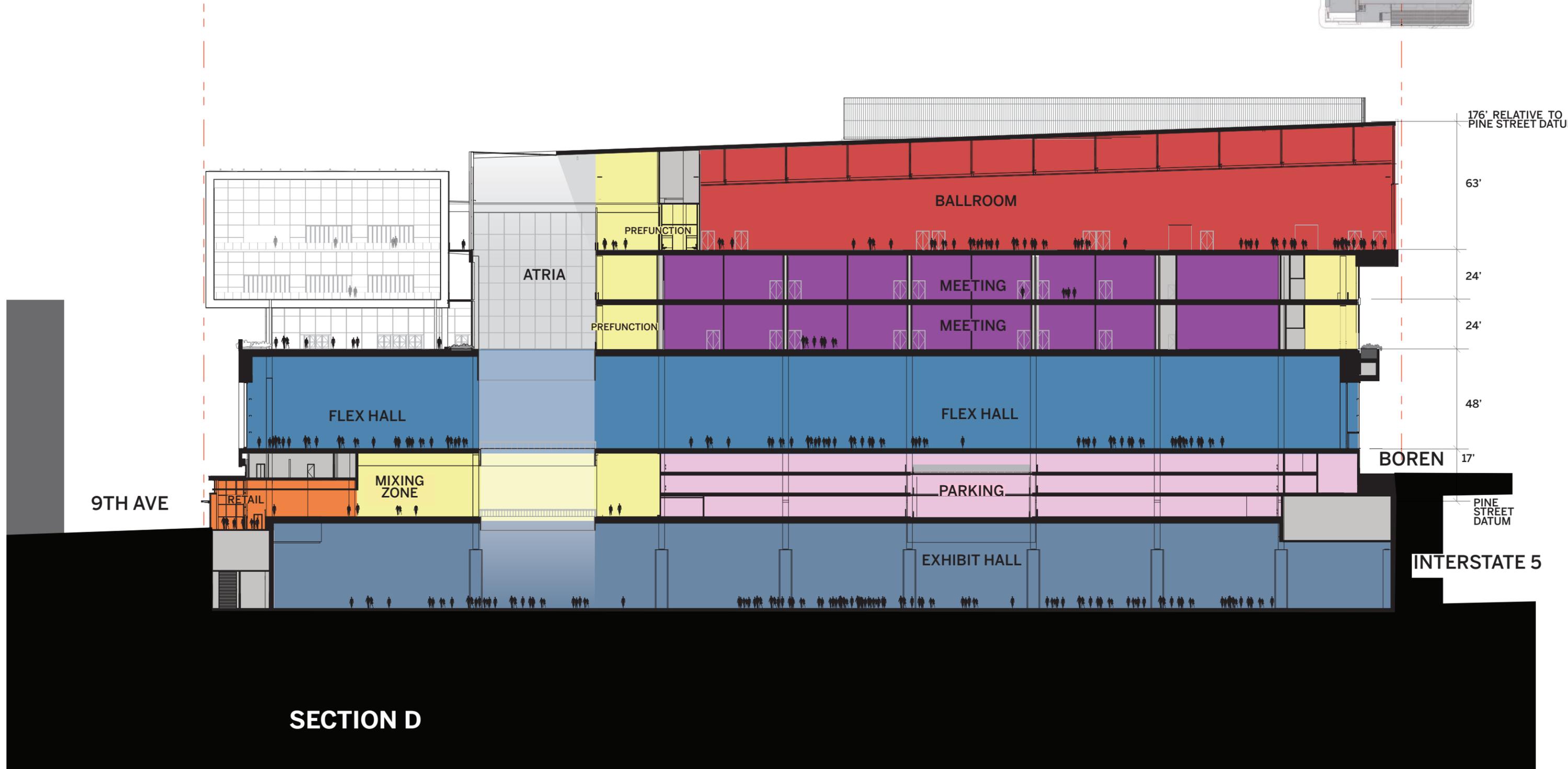
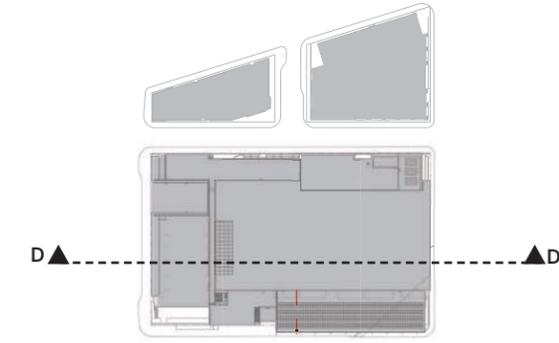


SECTION B

4 DESIGN RECOMMENDATION BUILDING SECTIONS



4 DESIGN RECOMMENDATION BUILDING SECTIONS



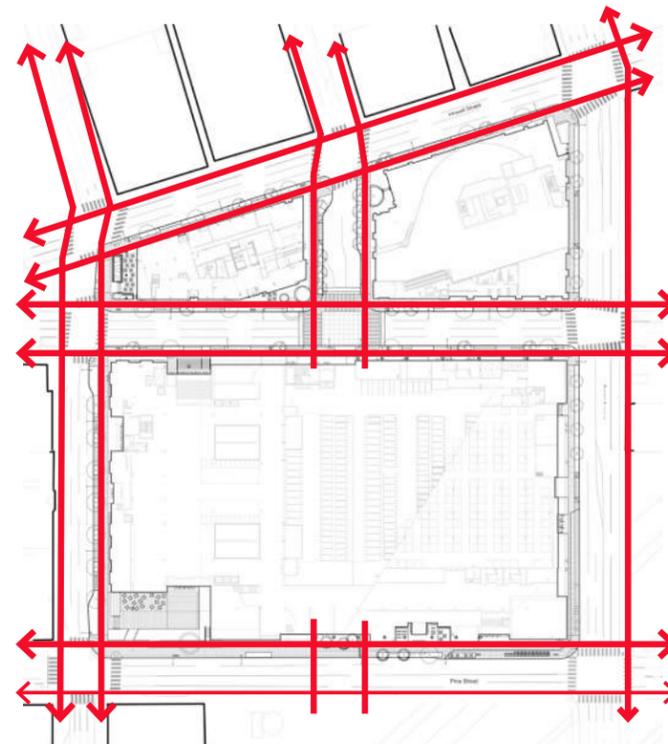
4 DESIGN RECOMMENDATION - LANDSCAPE CONCEPT

INTRODUCTION

Critical to the success of this urban convention center is the ability to balance the scale and extents of the building required by its program with the grain and texture of the surrounding city. Rather than appearing as a super-block project, the streets and building will relate to the grain and texture of their surrounding neighborhoods. The building edges will create a continuously active experience on all sides for visitors and residents alike.

The site design strengthens the connectivity and continuity of the city streets. A distinct approach to avenues and streets offers a shift in character that builds on city standards to offer an additional layer of orientation rooted in the city's basic relationship between hills and Elliot Bay.

The project reinforces the continuity of the city streets by clearly articulating the edge between the street and WSCC Addition. This allows for a wider variety of conditions within the WSCC Addition footprint and supports multiple identities around the multi-block project, while extending the larger continuity of city streets. An additional layer of site elements offers pedestrian amenities that bridge the public programs of the WSCC Addition and the experience of convention visitors.



URBAN CONNECTIVITY AND CONTINUITY



ORIENTING STREETS AND AVENUES

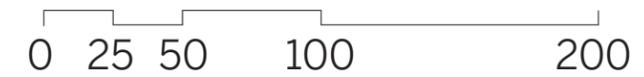


INDEPENDENT SIDEWALKS

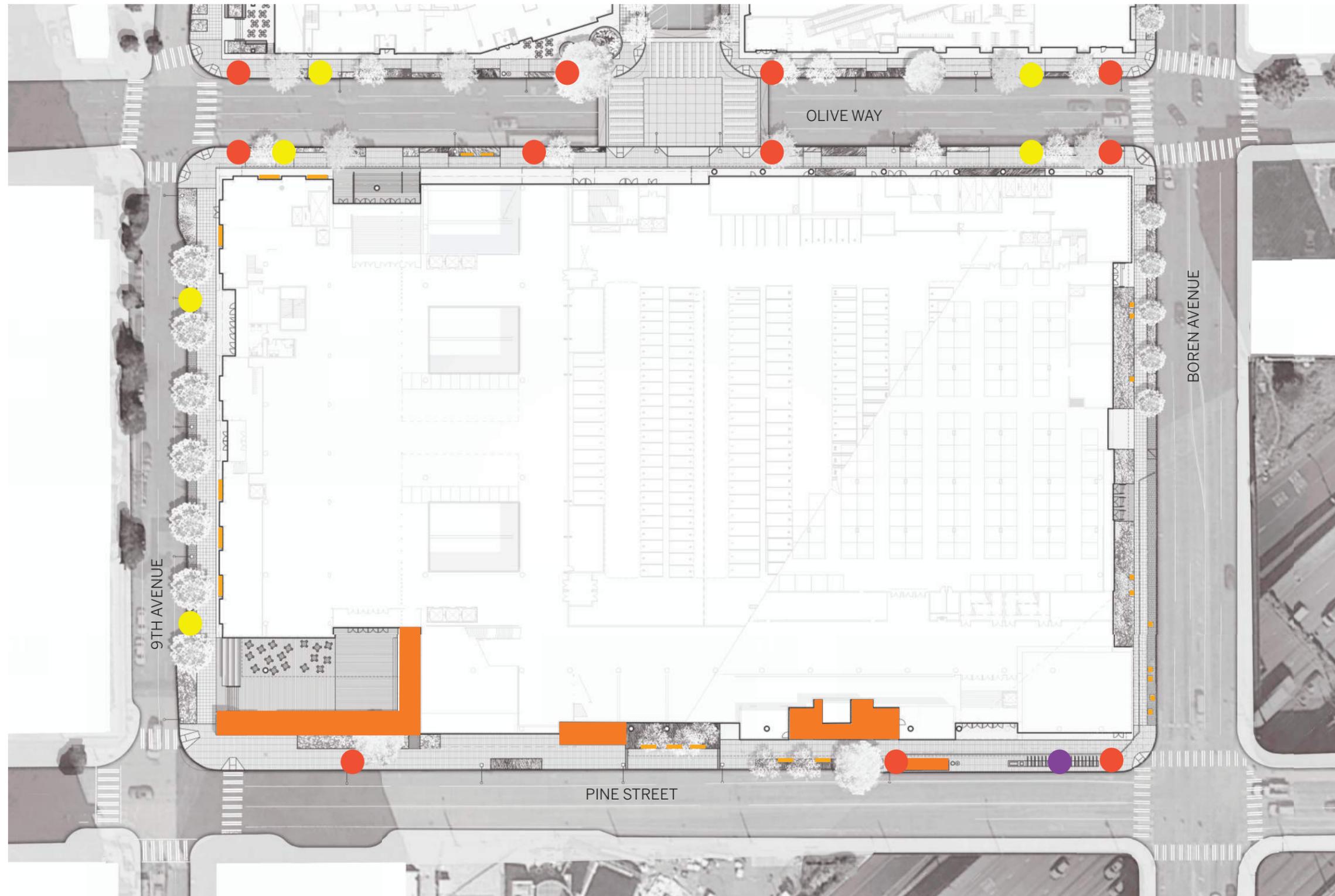


VARIETY AND MULTIPLE IDENTITIES WITHIN PROPERTY

4 DESIGN RECOMMENDATION - LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION - LANDSCAPE CONCEPT



WOODEN ELEMENTS

-  BENCH
-  PLATFORM



4 DESIGN RECOMMENDATION - LANDSCAPE CONCEPT



Tofino Bicycle Rack ●



Trash/Recycling Receptacle ●

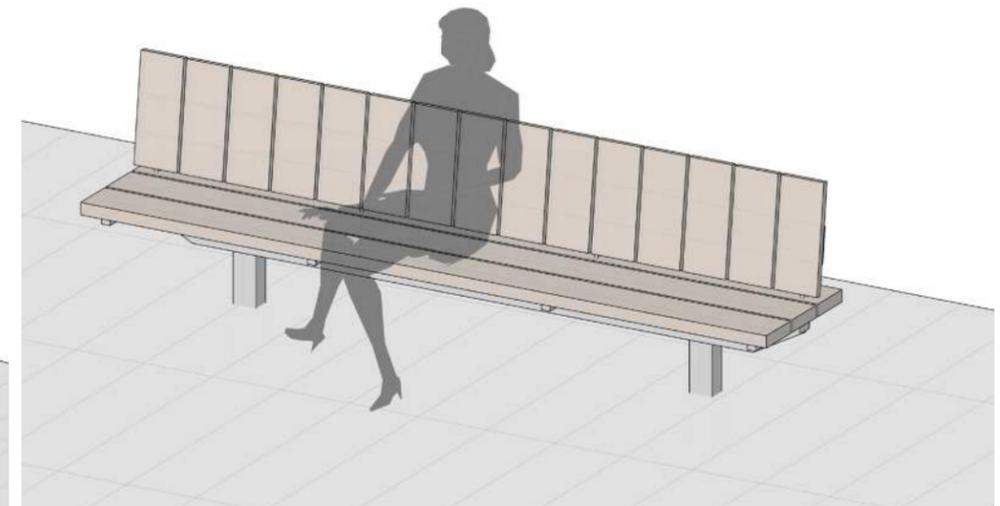


Planting Protection Fence
(Adjoining all planting area)

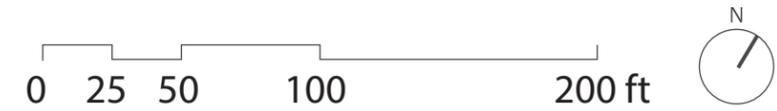
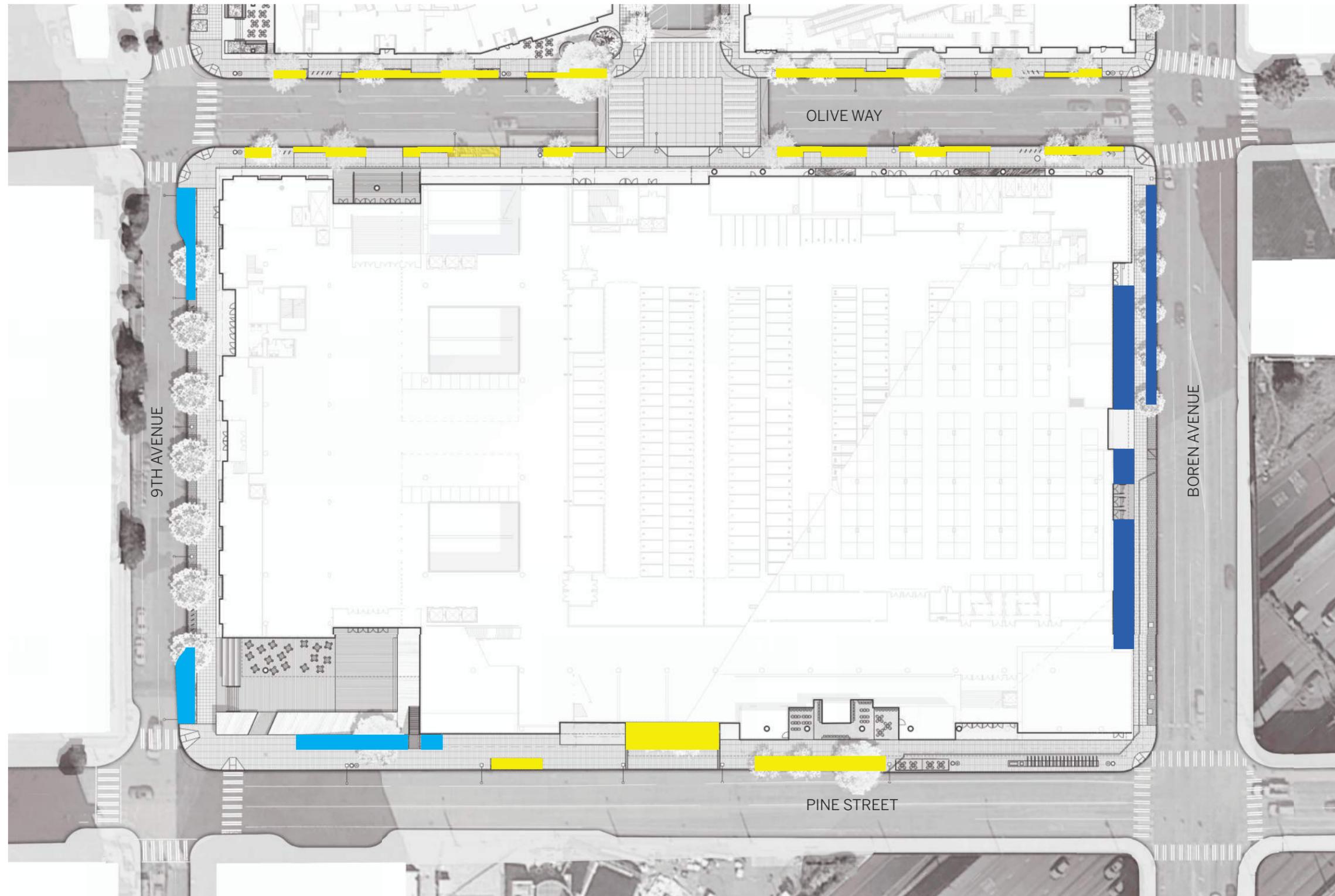


Bike Share Station ●

Custom Street Furnishings



4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT



4 DESIGN RECOMMENDATION LANDSCAPE CONCEPT

Boren Avenue



Gaultheria shallon
Salal

Street Planting (Pine Street and Olive Way) Images on following page spread

Plaza and 9th Avenue



Arctostaphylos uva-ursi
'Massachusetts'
Massachusetts Kinnikinnick



Cornus sericea 'Arctic Fire'
Arctic Fire Red Twig
Dogwood



Eriophyllum lanatum
Common Woolly Sunflower



Fragaria Vesca
Wild Strawberry



Sedum oreganum
Oregon Stonecrop



Sedum divergens
Pacific Stonecrop

4 DESIGN RECOMMENDATION - LANDSCAPE CONCEPT

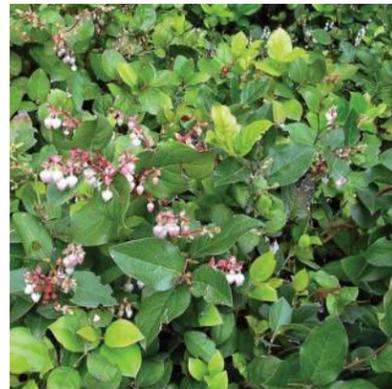


4 DESIGN RECOMMENDATION - LANDSCAPE CONCEPT

Street Planting (Pine Street and Olive Way) (Location in previous page spread)



Eriophyllum lanatum
Oregon Sunshine



Gaultheria shallon
Salal



Mahonia aquifolium 'Compacta'
Compact Oregon Grape



Nassella tenuissima
Mexican Feather Grass



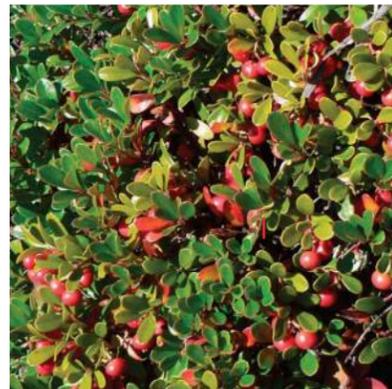
Festuca rubra 'Molate'
Molate Red Fescue



Festuca roemerii
Roemer's Fescue



Rosa nutkana
Nootka Rose



Arctostaphylos uva-ursi
'Massachusetts'
Massachusetts Kinnikinnick



Mahonia nervosa
Dwarf Oregon Grape



Polystichum munitum
Sword Fern

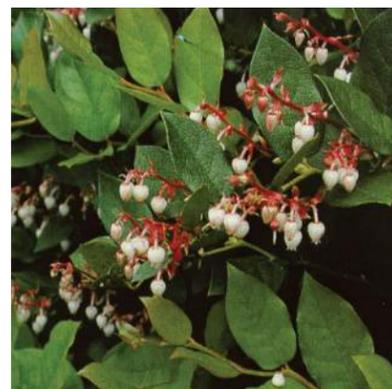
Terrace Planting



Arctostaphylos uva-ursi 'Wood's Compact'
Wood's Compact Kinnikinnick



Fragaria vesca
Wild Strawberry



Gaultheria shallon



Vaccinium ovatum 'Scarlet Ovation'
Scarlet Ovation Evergreen Huckleberry

Olive Way Facade Planting See following two page spreads

4 DESIGN RECOMMENDATION - OLIVE WAY PLANTERS

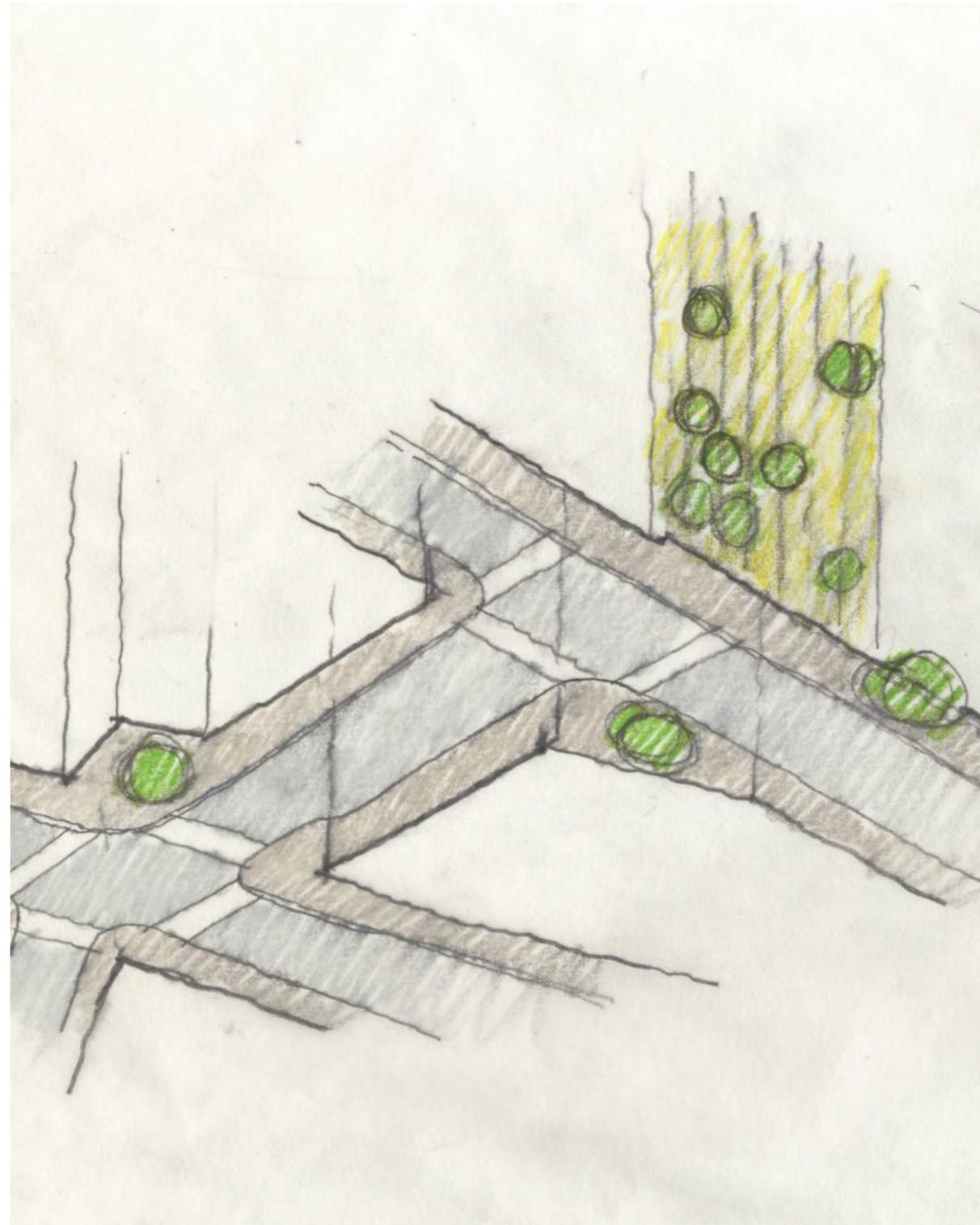
CONCEPTUAL APPROACH

The Olive Way facade plays an important role in providing the south end terminus of the Terry Avenue Green Street, by visual re-directing and connecting it to its Green Street couplet of 9th Avenue. Large pockets of figural planters occupy building setbacks, transitioning vertically to clouds of planting integrated into the building facade. The plant palette has a specific focus on showcasing the lush shade-loving forests of the Pacific Northwest.

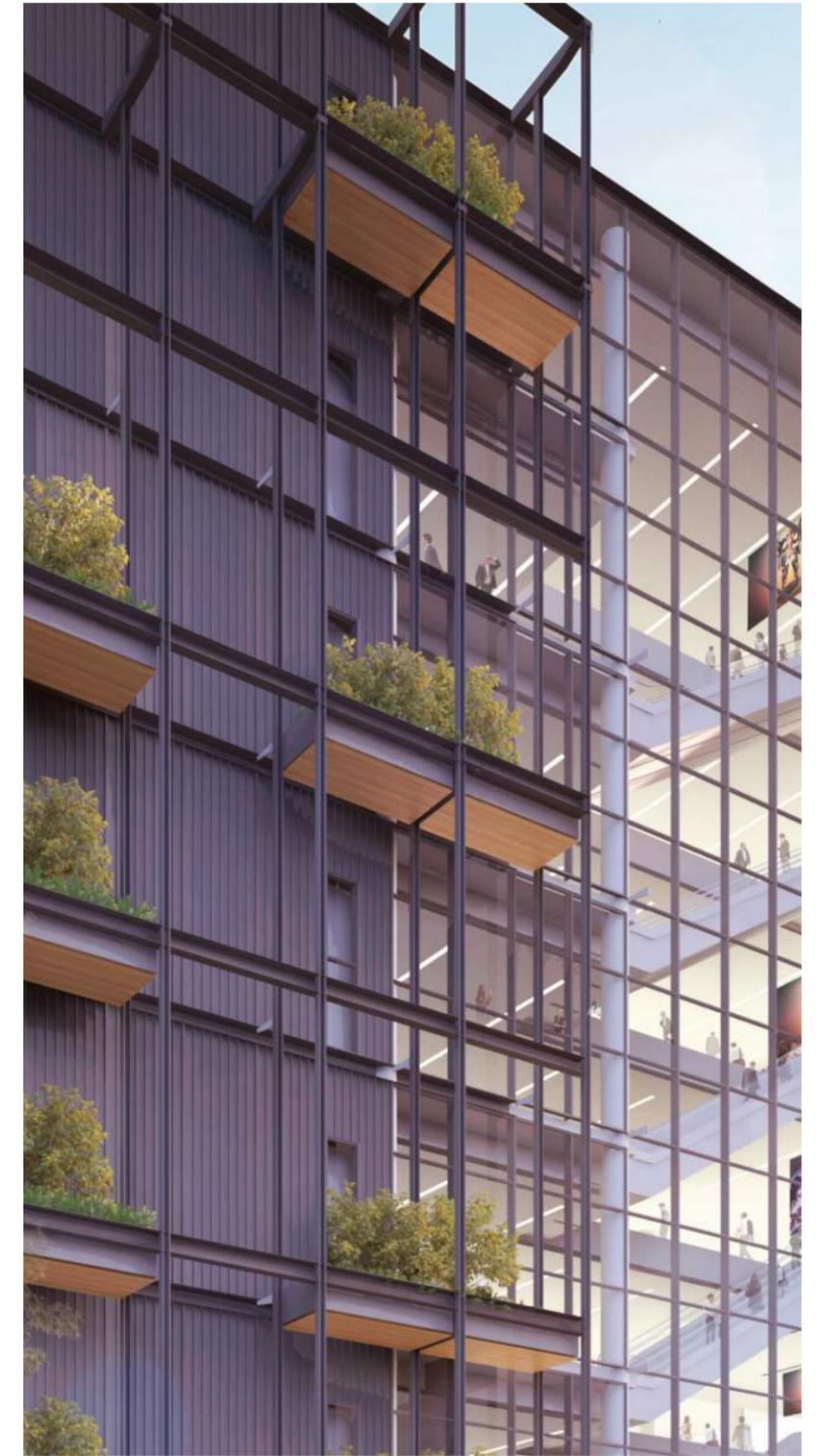
The configuration of the facade planters concentrate on locations that will be appreciated from pedestrian level near the building, from a distance down Terry Avenue, as well as areas inside the building. The planting mix and backdrop varies to respond to the different viewing conditions. Transparent glass highlights the detailed foliage viewed from inside, while bright graphic leaves pop against dark panels when viewed from a distance. Rich textured planters hung in a silhouetted frame, express a variety and layering to pedestrians below.



DARK BACKGROUND POPS LEAF COLOR

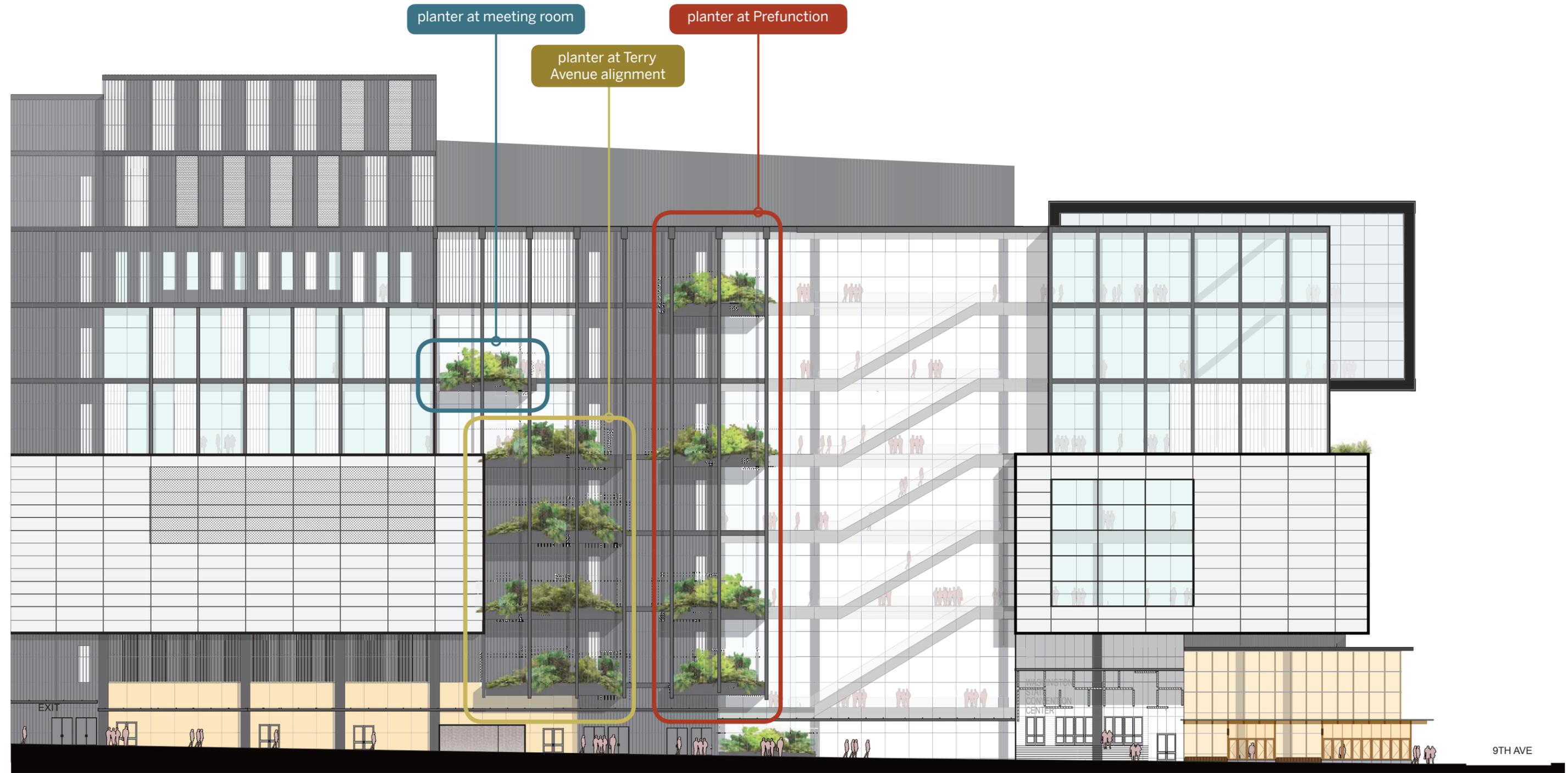


TERRY AVENUE - OLIVE WAY CONCEPT DIAGRAM



RENDERING DETAIL

4 DESIGN RECOMMENDATION - OLIVE WAY PLANTERS



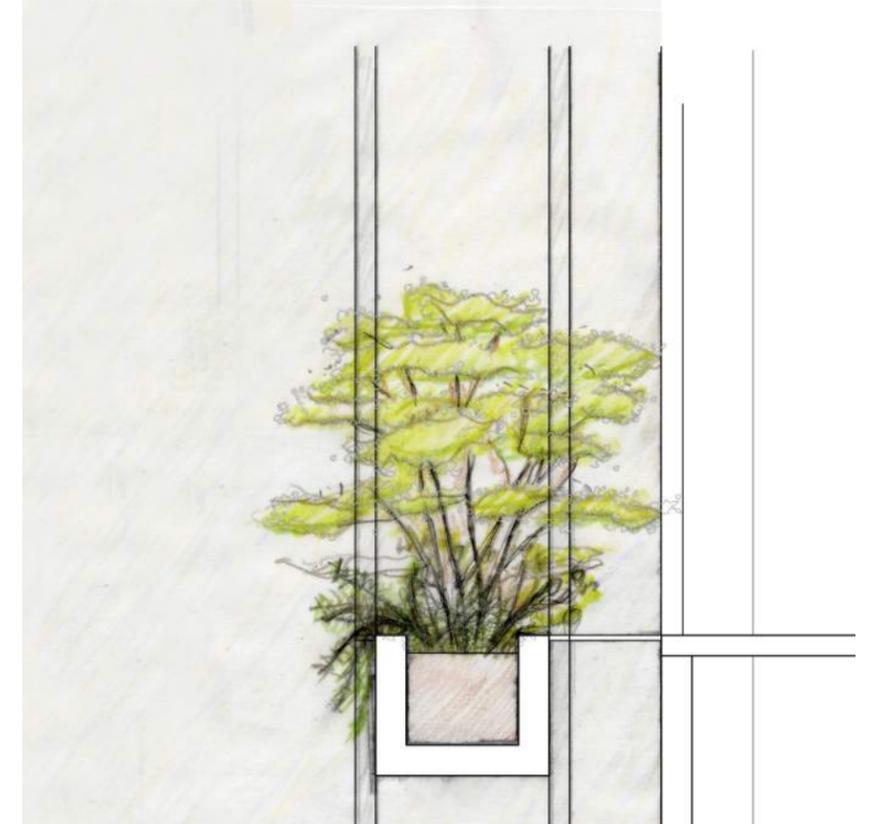
OLIVE WAY FACADE - PLANTER LAYOUT DIAGRAM



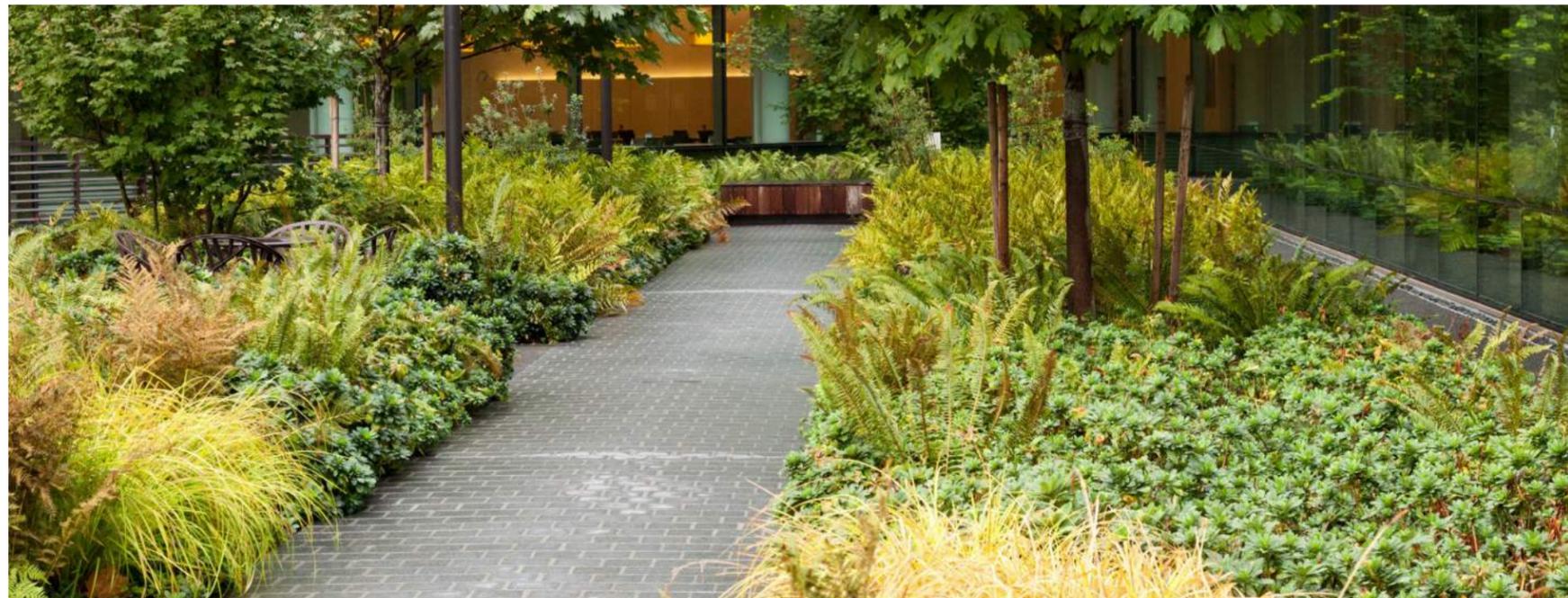
4 DESIGN RECOMMENDATION OLIVE WAY PLANTERS



PLANTER AT OLIVE WAY FACADE



DETAIL: PLANTER AT OLIVE WAY FACADE



NORTHWEST FOREST PLANTER CHARACTER



DETAIL: PLANTER AT GRADE

4 DESIGN RECOMMENDATION

OLIVE WAY PLANTERS

Olive Way Facade Planting



Acer circinatum
Vine Maple



Aruncus dioicus
'Zweiweltenkind'
Goat's Beard 'Zweiweltenkind'



Blechnum spicant
Deer Fern



Cornus canadensis
Bunchberry



Cornus sericea 'Artic Fire'
Artic Fire Redtwig Dogwood



Cornus sericea 'Kelseyi'
Kelsei's Red-Osier Dogwood



Dryopteris filix-mas
'Robusta'
Robust Male Fern



Gymnocarpium dryopteris
Oak Fern



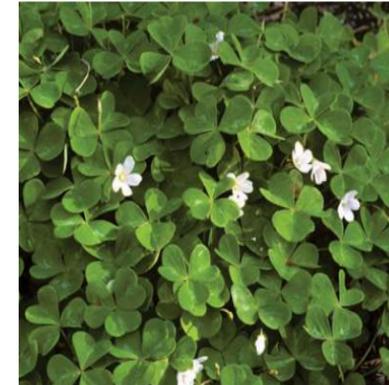
Linnaea borealis
Twinflower



Maianthemum dilatatum
False Lily-of-the-Valley



Oplopanax horridus
Devil's Club



Oxalis oregana
Redwood Sorrel



Parthenocissus tricuspidata
Boston Ivy



Physocarpus capitatus
Pacific Ninebark



Polypodium glycyrrhiza
Licorice Fern



Polystichum munitum
Sword Fern



Sambucus racemosa
Red Elderberry



Smilacina racemosa
Solomon's Plume



Trillium ovatum
Pacific Trillium



Vaccinium ovatum
Evergreen Huckleberry



Vaccinium parvifolium
Red Huckleberry

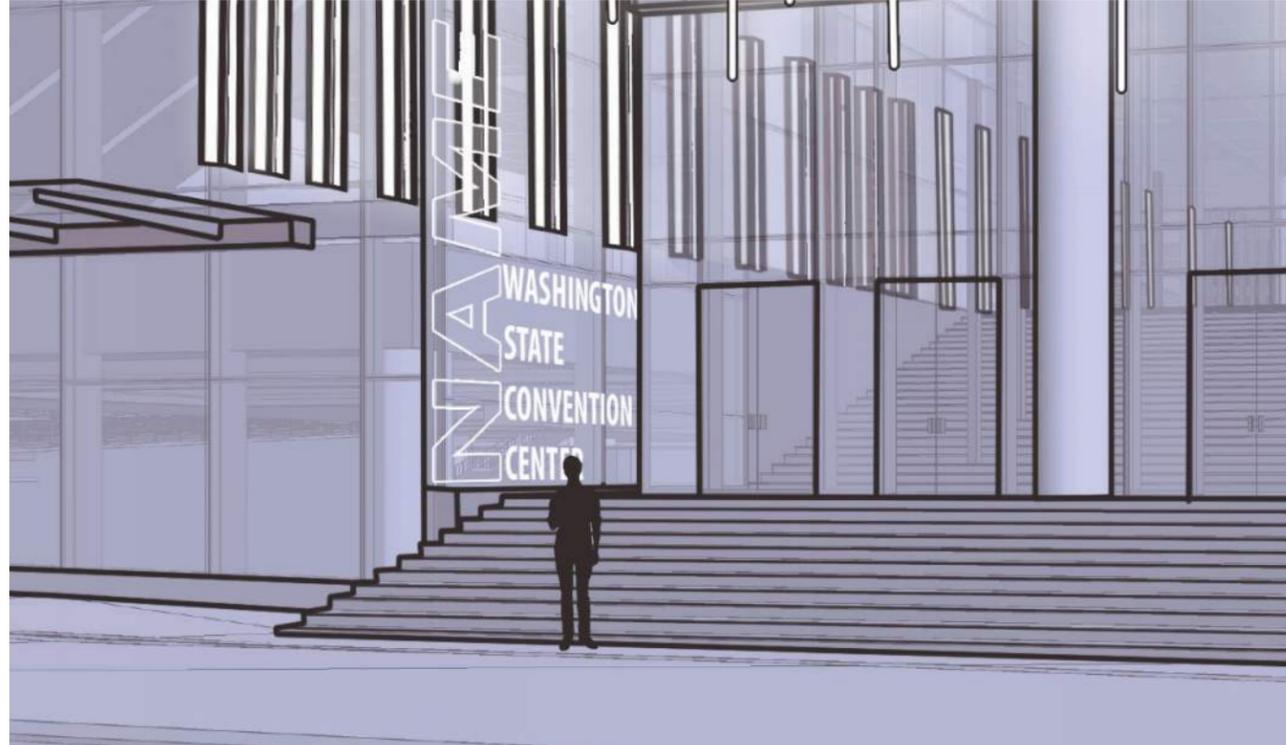




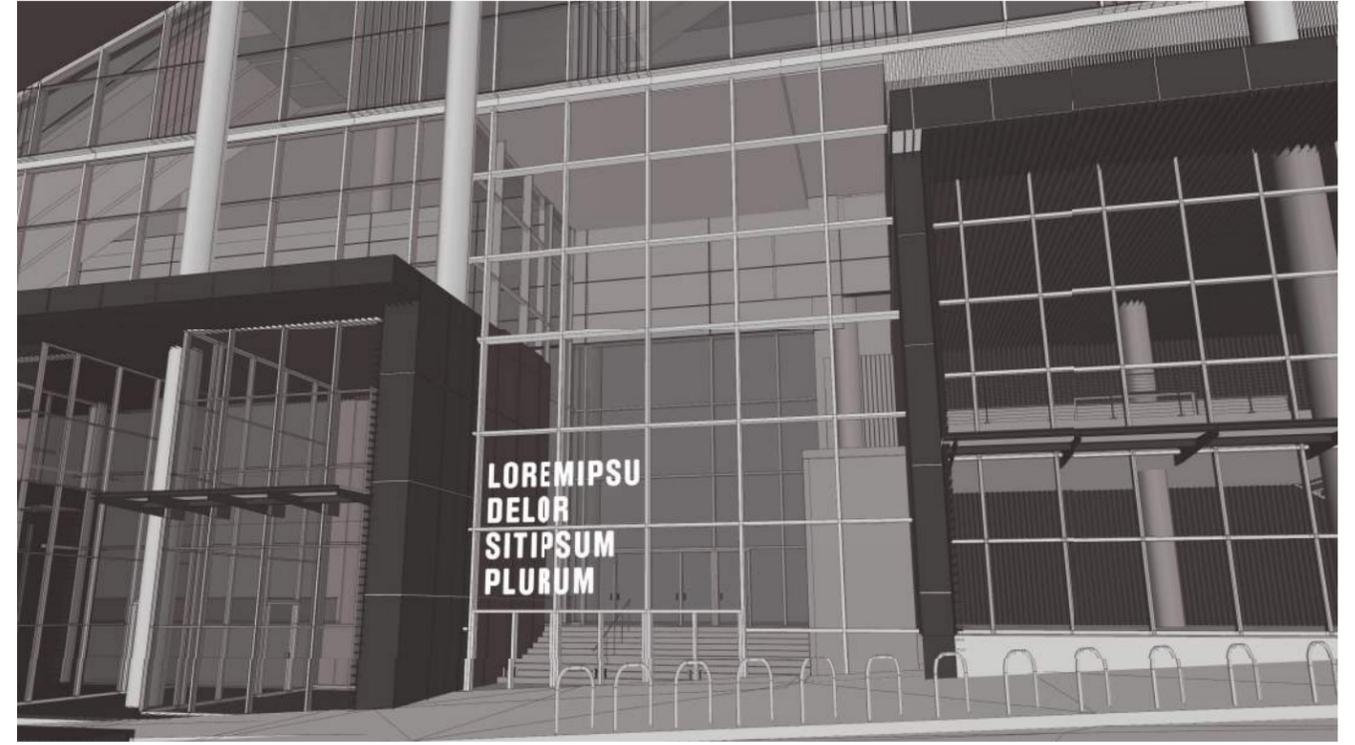


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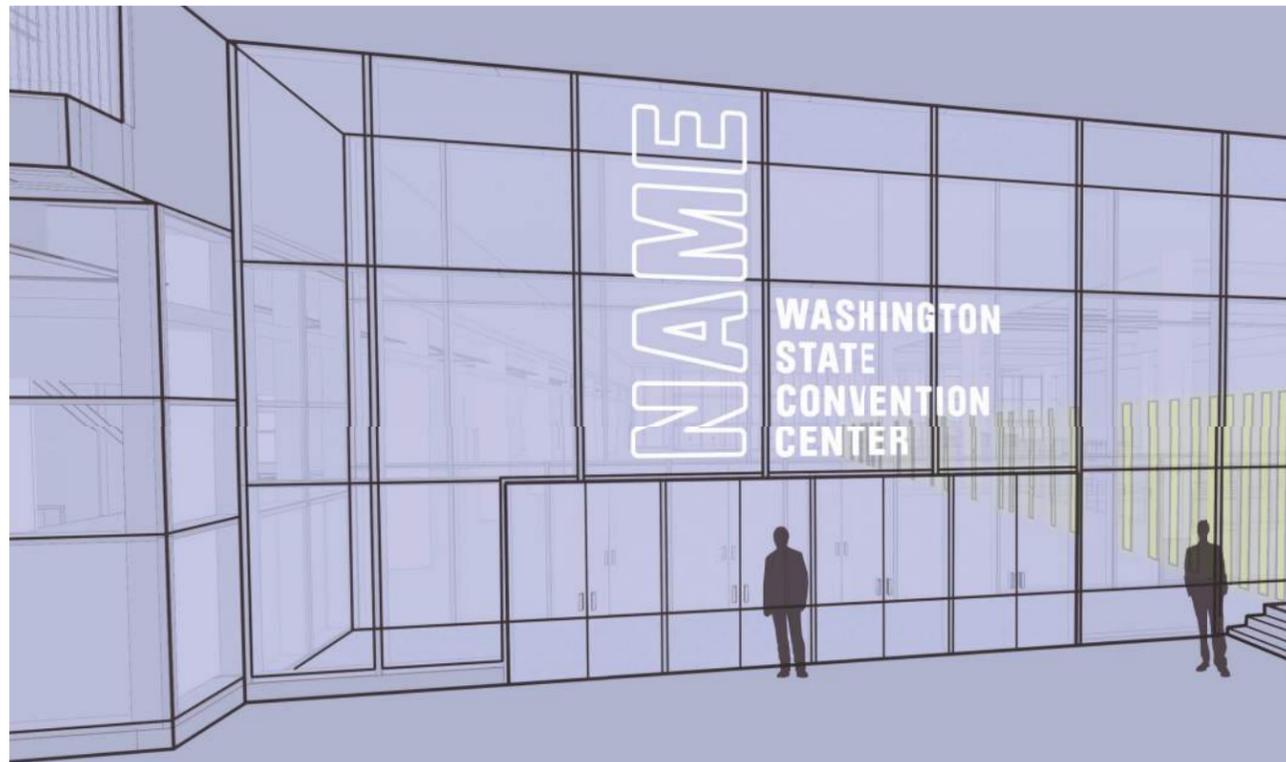
4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE



**BUILDING IDENTIFICATION
NORTH ENTRY - BUILDING NAME**



**BUILDING IDENTIFICATION
EAST ENTRY - BUILDING NAME**



**BUILDING IDENTIFICATION
SOUTH ENTRY - BUILDING NAME**

4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE

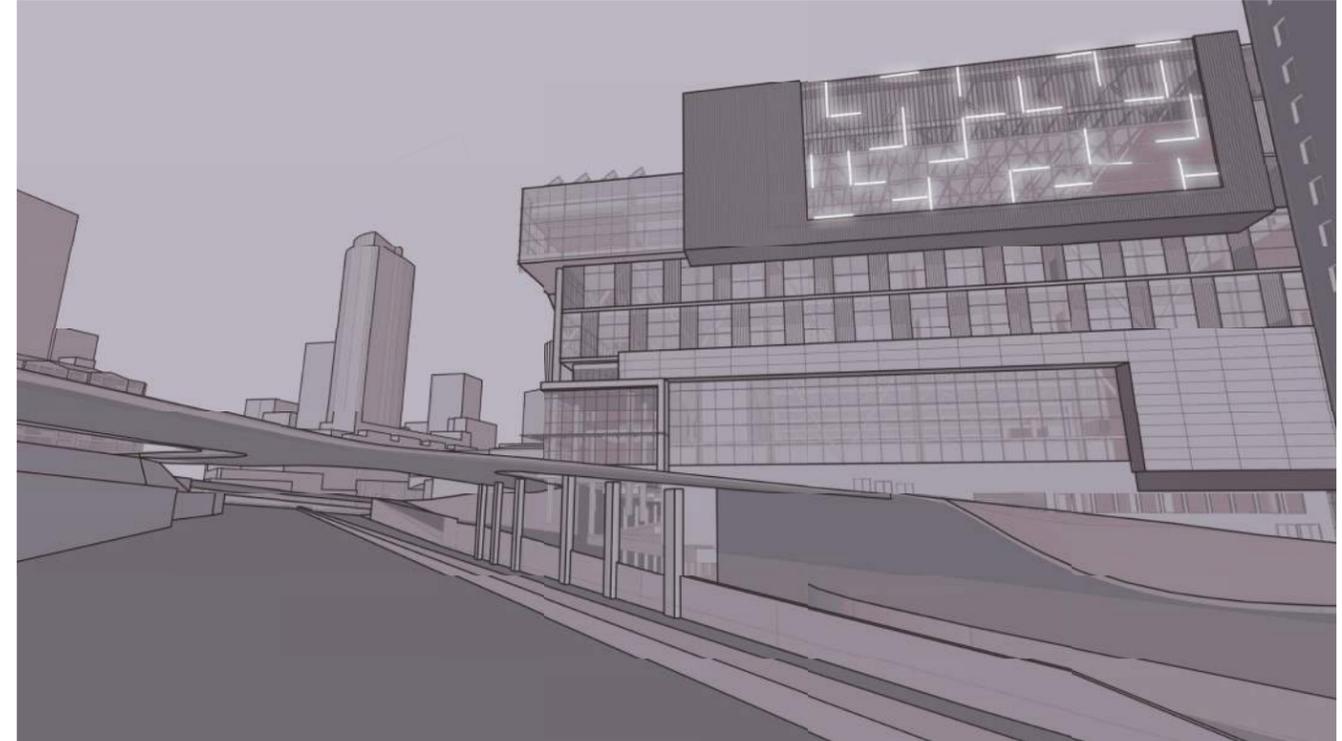


**LANDMARK:
SIMPLE GEOMETRIC LINEAR LIGHTS ASSEMBLE TO FORM
LARGER IMPACT PATTERNS, DEFINE SPACE, AND CREATE
SUBTLY TEXTURED LUMINOUS EXPERIENCES**

4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE



**LANDMARK
PINE STREET - BUILDING GRAPHIC**



**LANDMARK
BOREN AVENUE - BUILDING GRAPHIC**



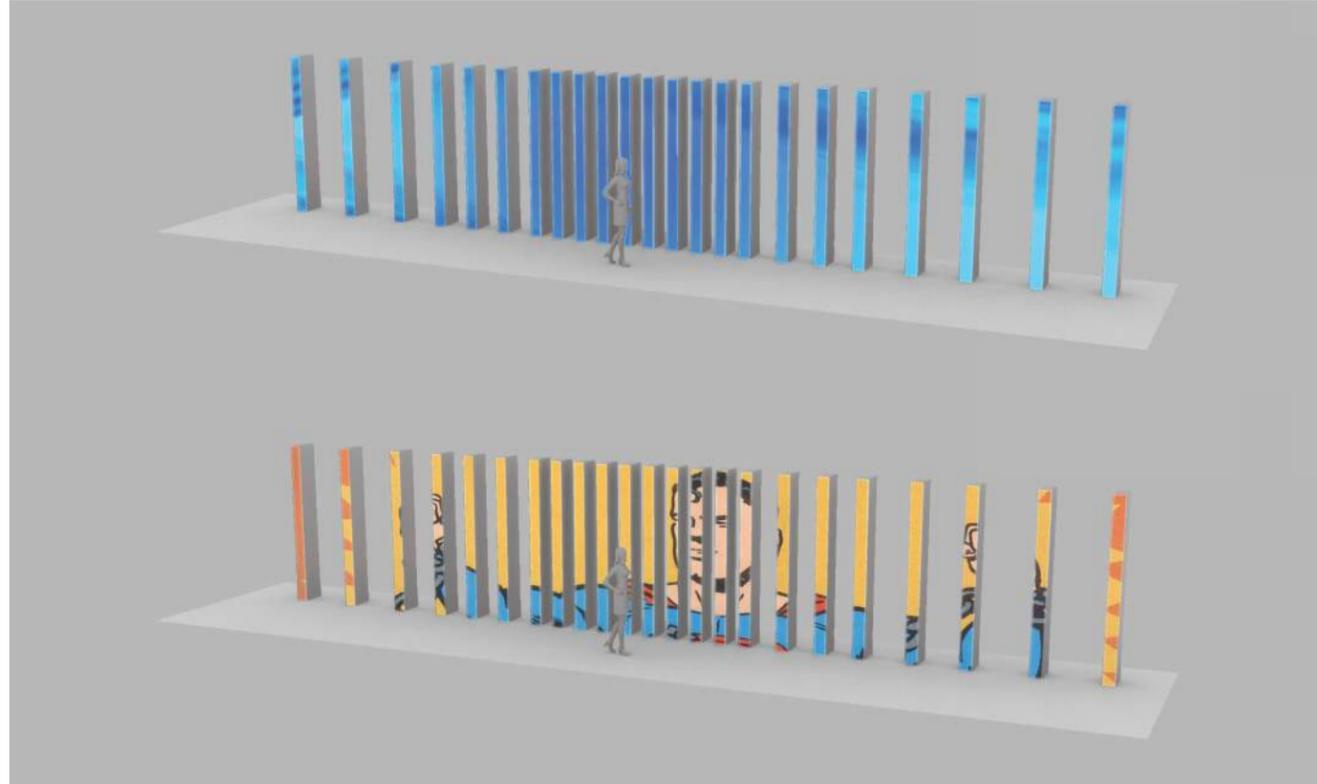
**LANDMARK
OLIVE WAY - BUILDING GRAPHIC**

4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE



**CONNECTING ELEMENT:
PEDESTRIAN SCALED PROGRAMMABLE LIGHT POLES
PROVIDE CONTROLLED MESSAGING FOR TEMPORARY
EVENTS, CIVIC INFORMATION, AND ATMOSPHERIC LIGHT
INSTALLATIONS**

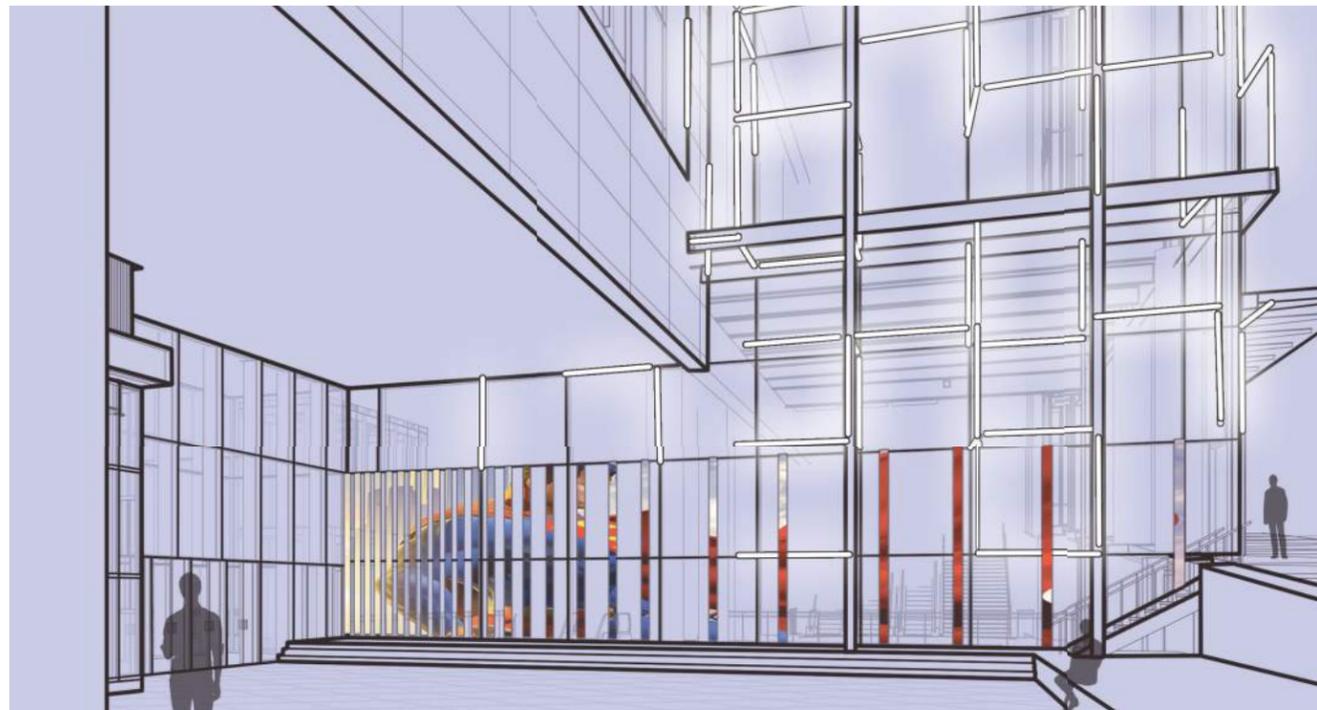
4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE



**CONNECTING ELEMENT
PROGRAMMABLE DISPLAY**

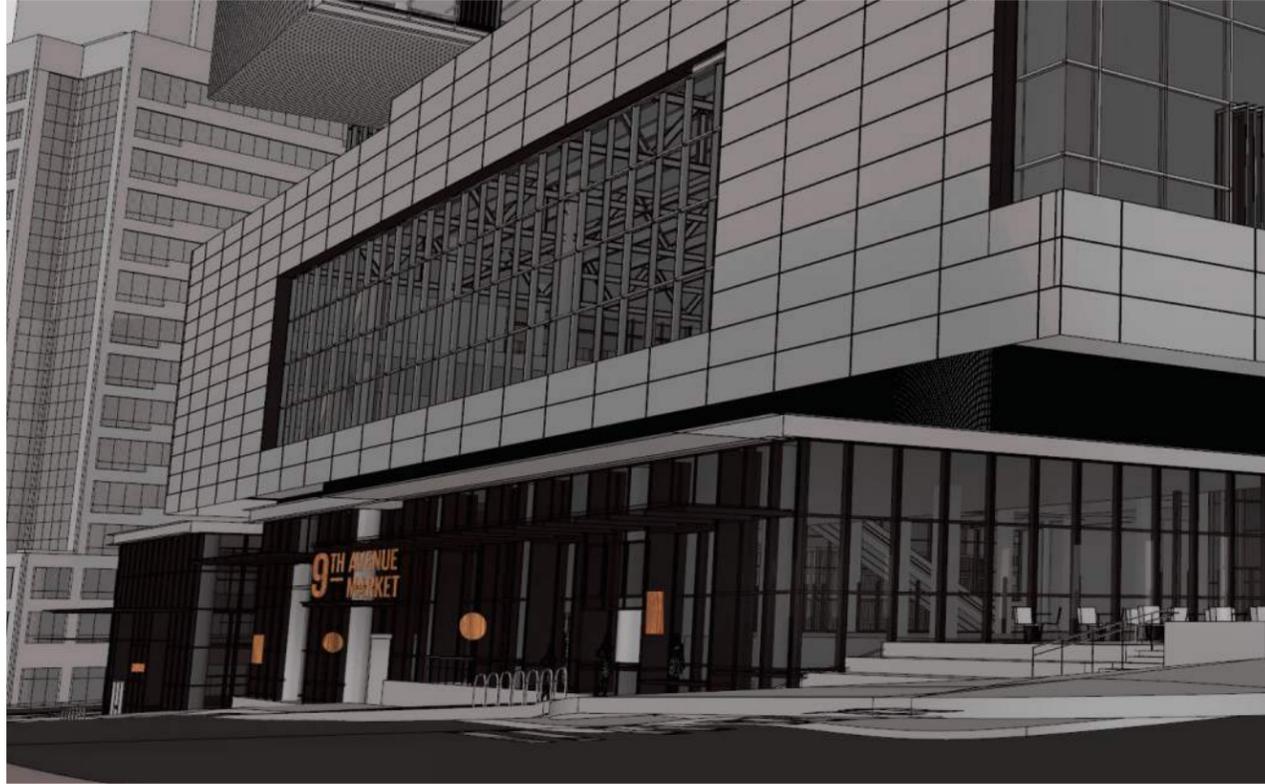


**CONNECTING ELEMENT
VIEW TOWARDS PLAZA**



**CONNECTING ELEMENT
SOUTH ENTRY TO MIXING ZONE**

4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE



MARKET
VIEW TOWARDS MARKET FROM PINE STREET



MARKET
VIEW TOWARDS MARKET ENTRY ON 9TH AVENUE



MARKET& RETAIL:
DIMENSION, MATERIALITY AND TEXTURE HIGHLIGHT THE WARMTH OF RETAIL SPACES AND THE PERSONALITY OF INDIVIDUAL TENANTS.



4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE



RETAIL
VIEW TOWARDS MARKET TENANTS FROM OLIVE WAY



VIA 6



MILK LAB BY STUDIO FNT



UNIQUE TENANT SIGNS AT INDIVIDUAL RETAIL SPACES

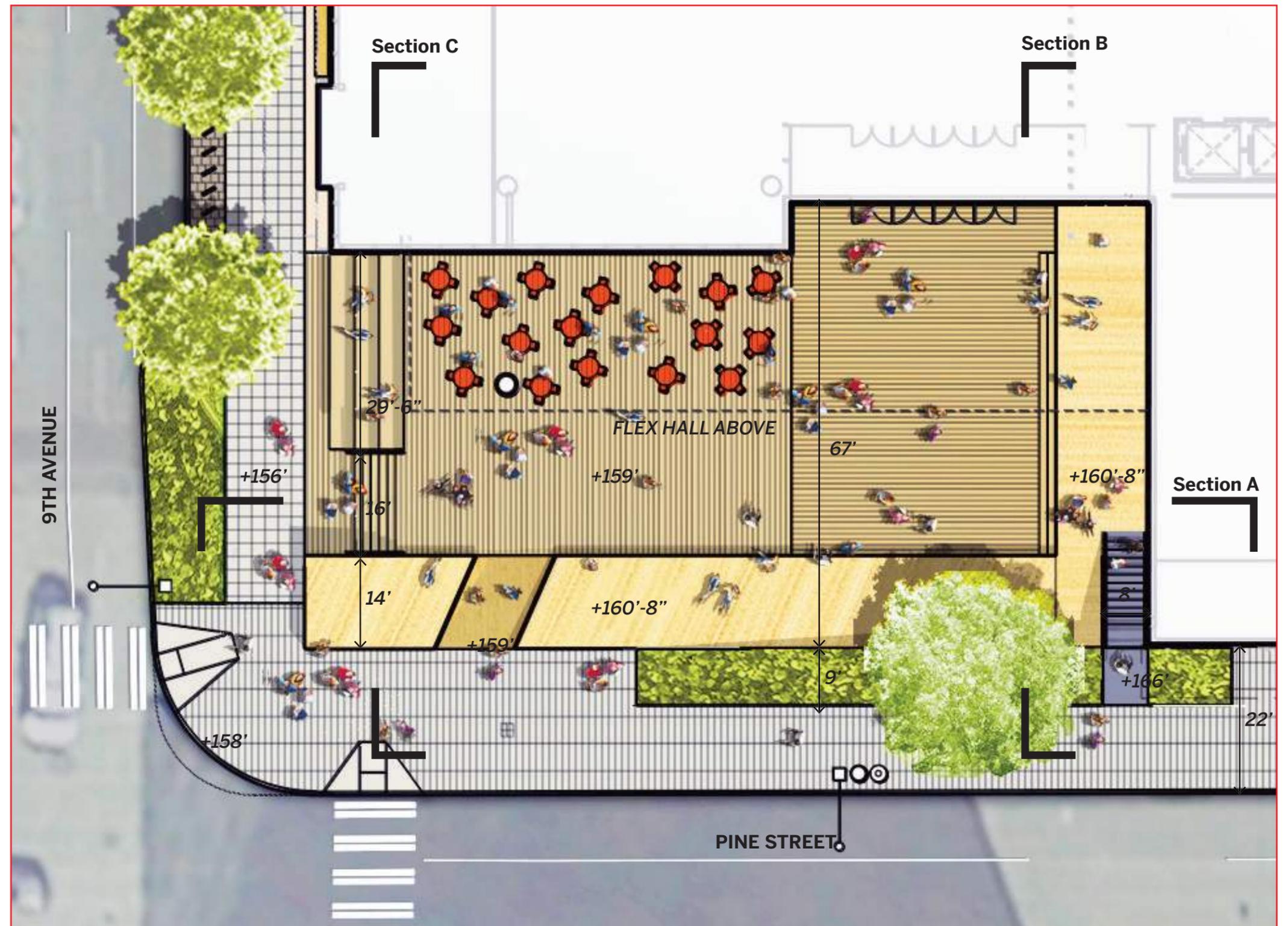
4 DESIGN RECOMMENDATION - 9TH & PINE PLAZA

CONCEPTUAL APPROACH

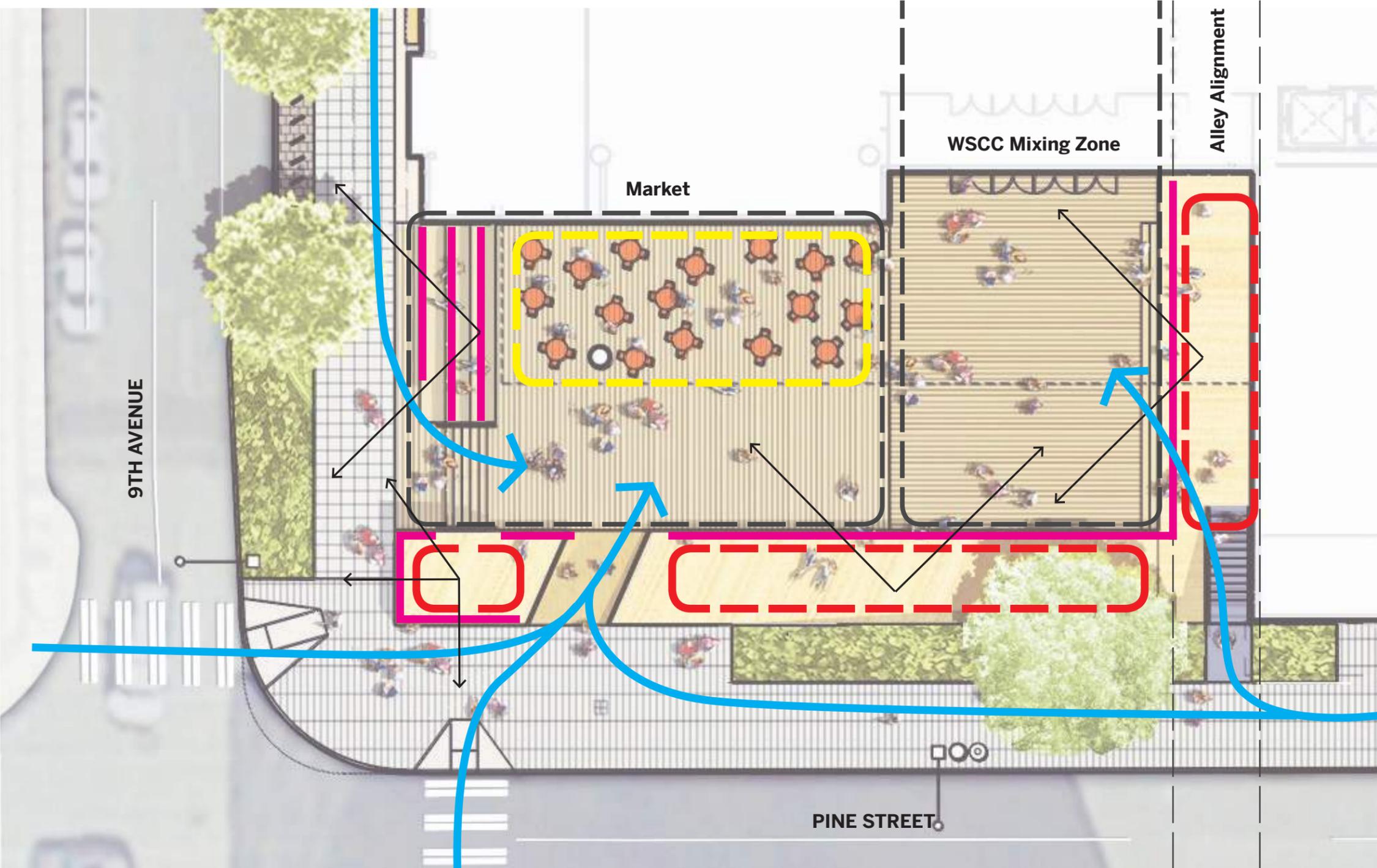
The plaza provides for a variety of different programmatic and civic needs. Occupying the intersection of 9th Avenue and Pine Street, the plaza is a place of gathering and orientation for arriving pedestrians. A combination of steps and seating platforms navigate the sloping grade, aligning flush with the sidewalk just across from the Paramount Theatre. The alignment and scale of the open space pays homage to the historic parcel grid on which the adjacent landmark buildings the Camlin and the Paramount are built.

The plaza, open to the streetscape planting on both the west and south sides is edged on the other two sides with the 9th Avenue Market, the entry to the Mixing Zone, and the Prefunction lobby with views to the Exhibit Hall below. The volume of the Flex Hall above provides an area near the entry and retail that is more protected from weather. The main space of the plaza is programmed to be flexible with movable tables and chairs to account for eb and flow of visitors, installations, performances, and other events of civic life.

Landscape integrated graphics provide playful way-finding and a unique sense of place without blocking views. Textures layer onto seating platforms create a rich tactile experience.

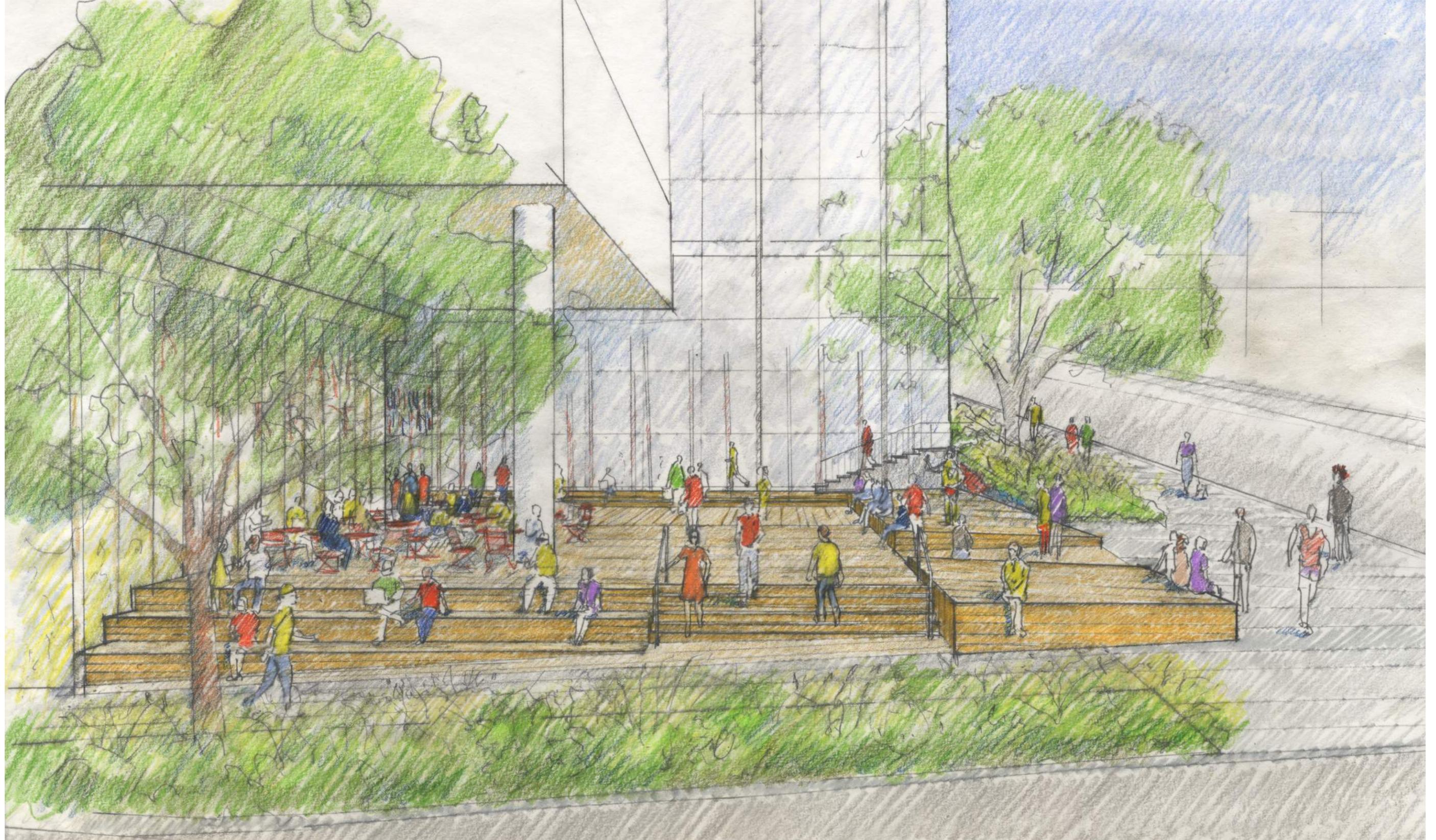


4 DESIGN RECOMMENDATION - 9TH & PINE PLAZA



Flexible Furnishing
 Stage Plinths
 Stage
 Seating Edge/Steps
 Space Orientation

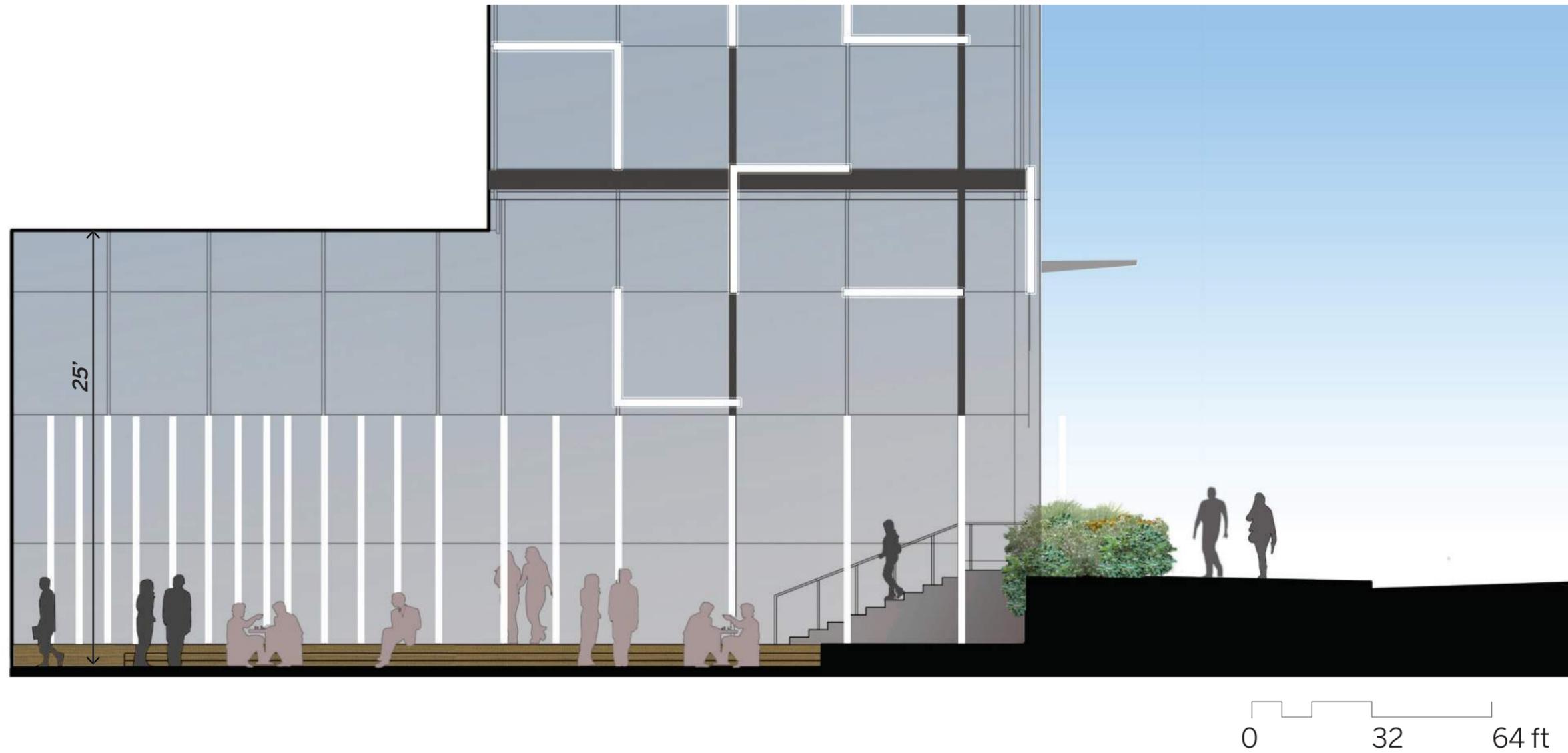
4 DESIGN RECOMMENDATION - 9TH & PINE PLAZA



4 DESIGN RECOMMENDATION - 9TH & PINE PLAZA



4 DESIGN RECOMMENDATION - 9TH & PINE PLAZA



SECTION A

4 DESIGN RECOMMENDATION - 9TH & PINE PLAZA



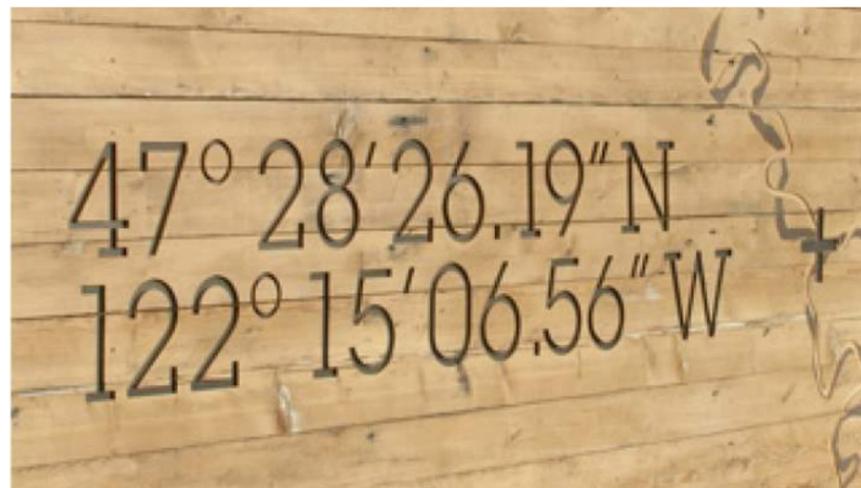
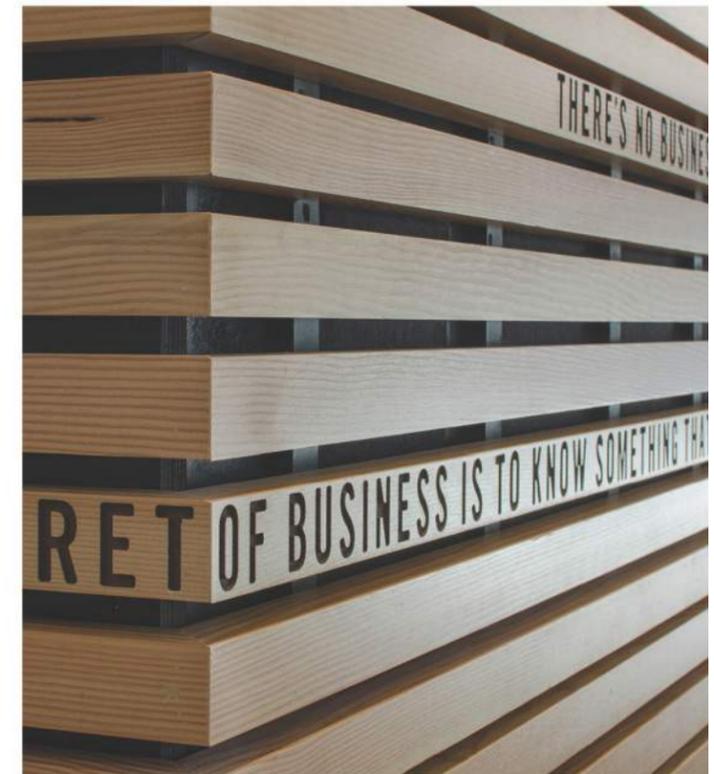
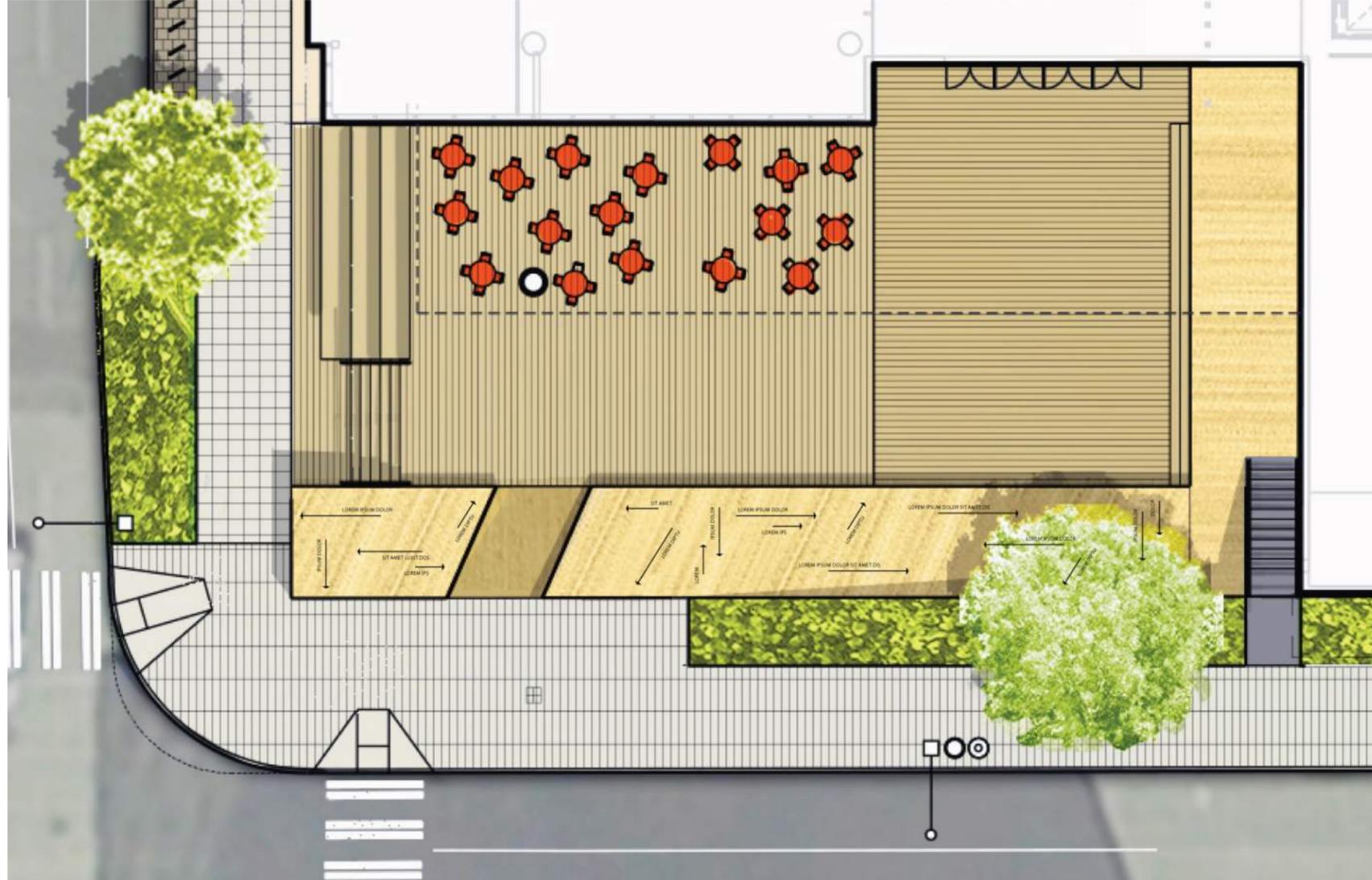
SECTION B

0 32 64 ft

4 DESIGN RECOMMENDATION - 9TH & PINE PLAZA



4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE



SITE ORIENTATION:
LANDSCAPE INTEGRATED MESSAGING MAPS LOCAL AND REGIONAL LANDMARKS, ORIENTS VISITORS TO THE UNIQUE ENVIRONMENT OF SEATTLE



4 DESIGN RECOMMENDATION - GRAPHICS & SIGNAGE

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4 DESIGN RECOMMENDATION - 9TH & PINE PLAZA



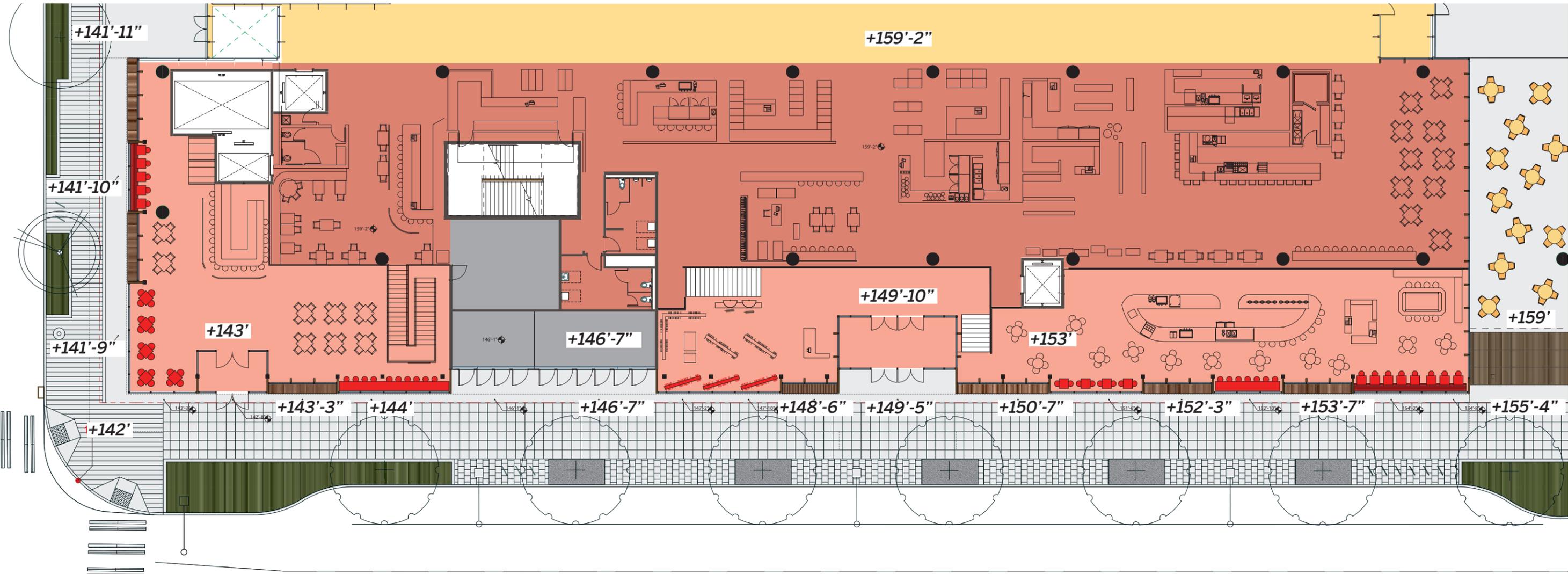
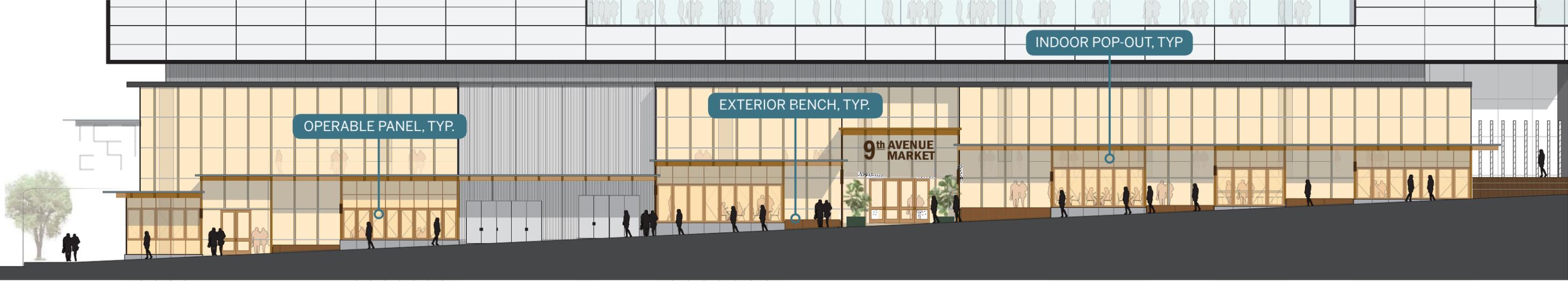
4 DESIGN RECOMMENDATION - 9TH AVENUE MARKET

CONCEPTUAL APPROACH

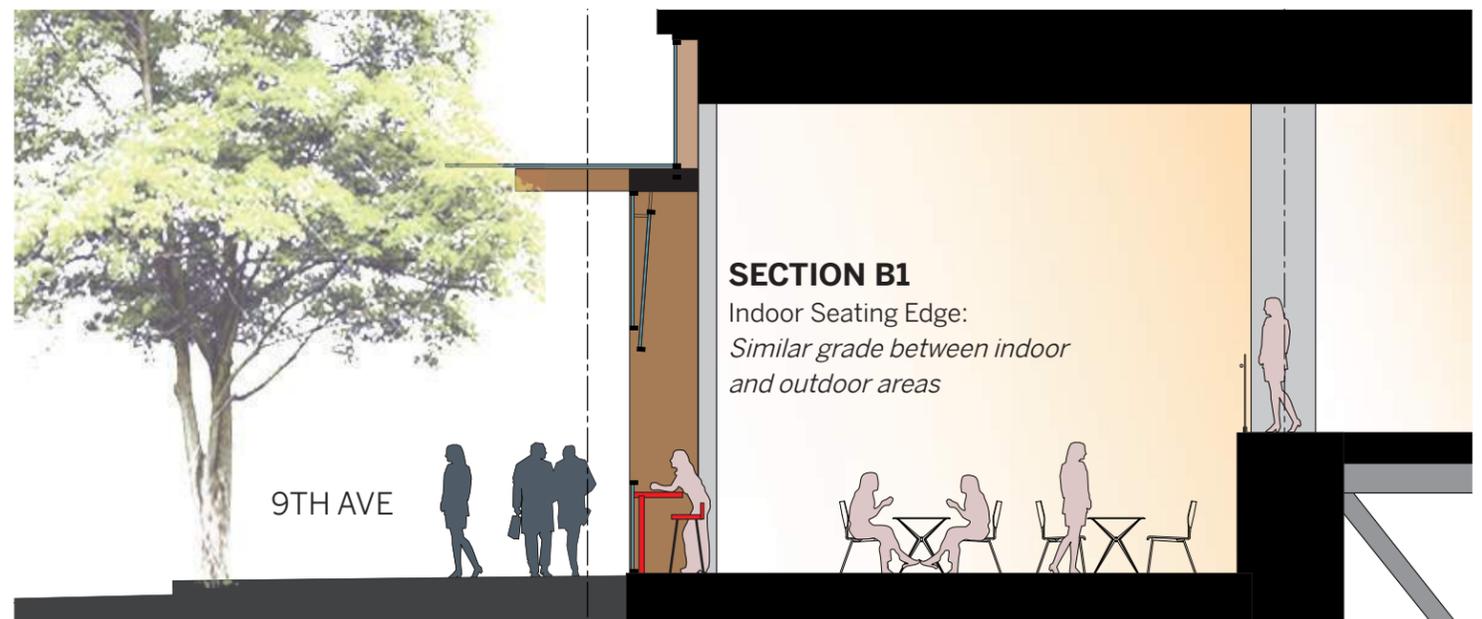
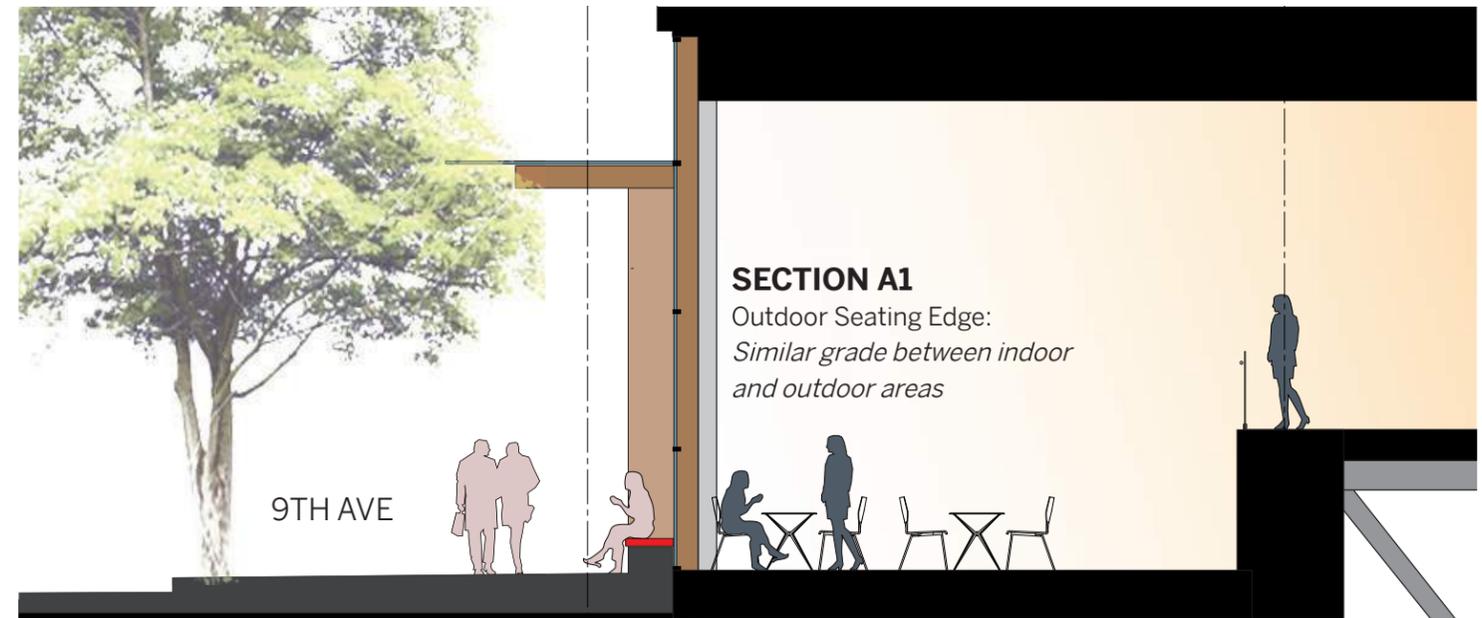
The building edge along the 9th Avenue Market facade is activated through distinctive materials and a thickened band of seating to encourage a vibrant transparent retail experience along its length and connect to the public seating at the plaza. This edge condition alternates between exterior public benches and interior furnishing strategies with operable panels that vary depending on the relationship to the side walk. A range of interior edge layouts are described to show potential options for tenants: bench seating, cafe tables, counter seating, and display windows.



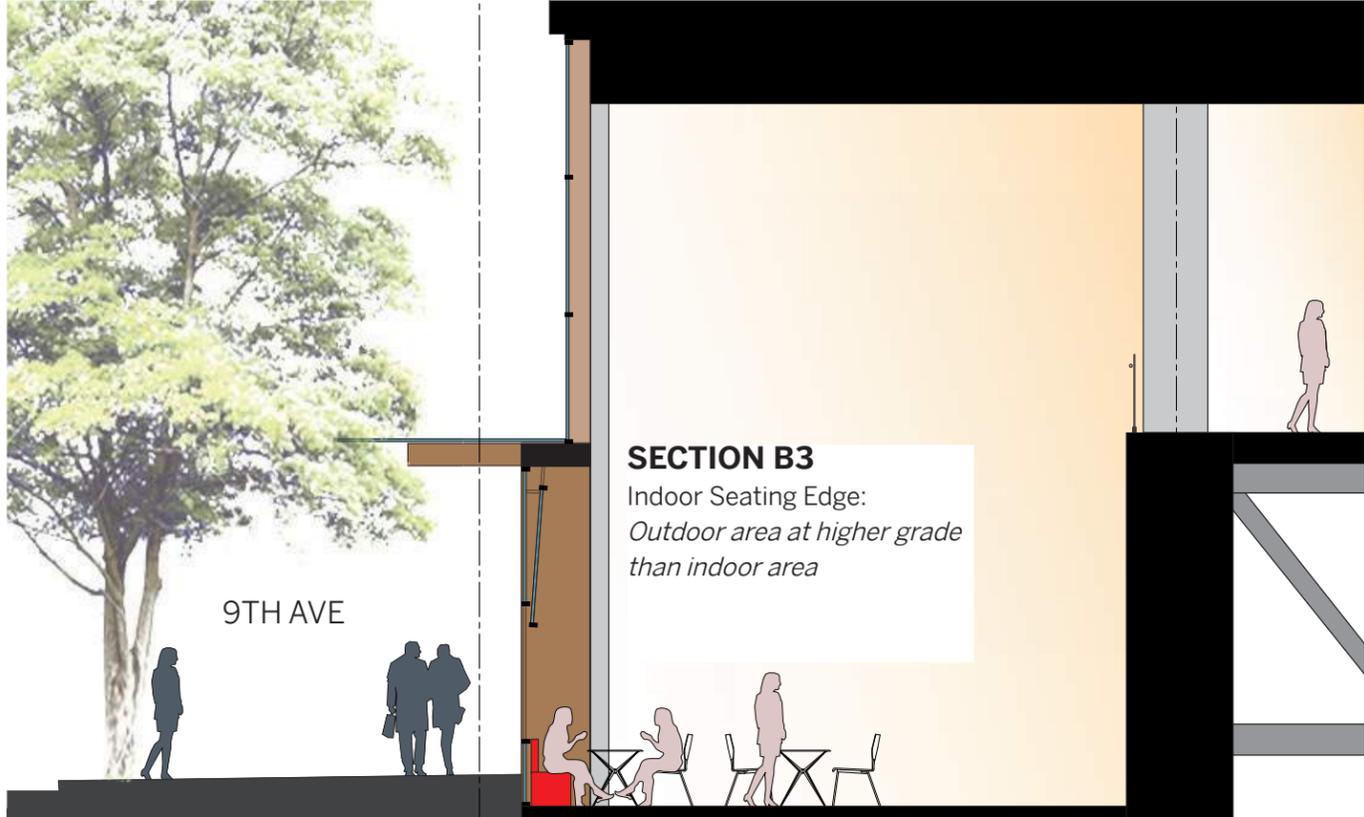
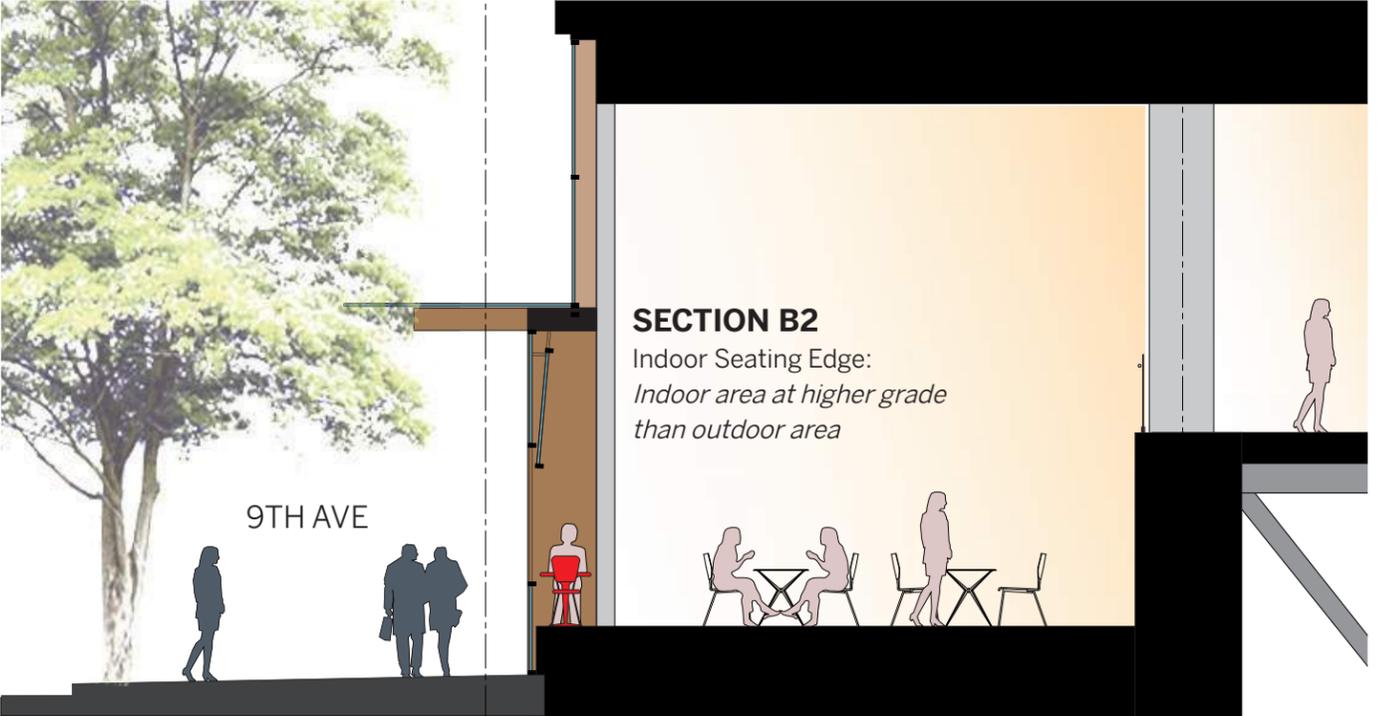
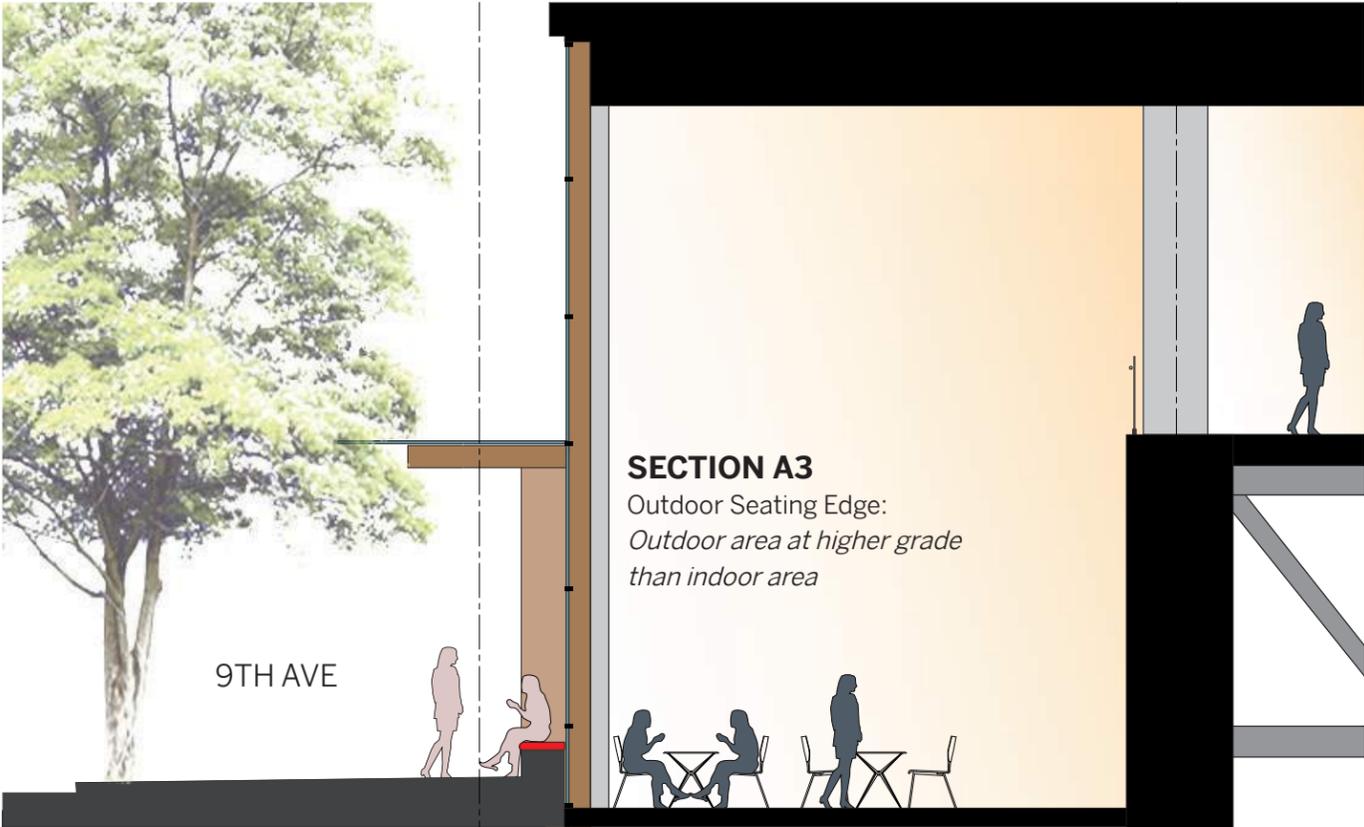
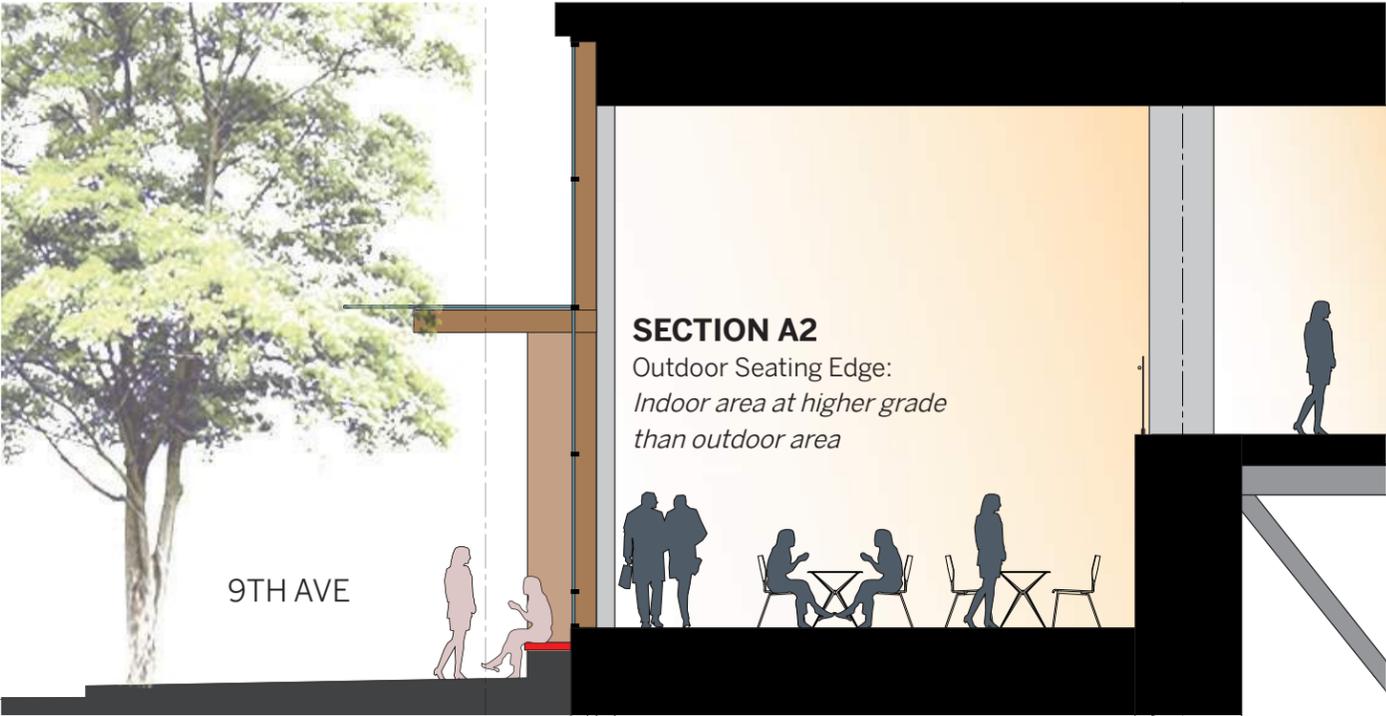
4 DESIGN RECOMMENDATION - 9TH AVENUE MARKET



4 DESIGN RECOMMENDATION - 9TH AVENUE MARKET



4 DESIGN RECOMMENDATION - 9TH AVENUE MARKET



4 DESIGN RECOMMENDATION - 9TH AVENUE MARKET





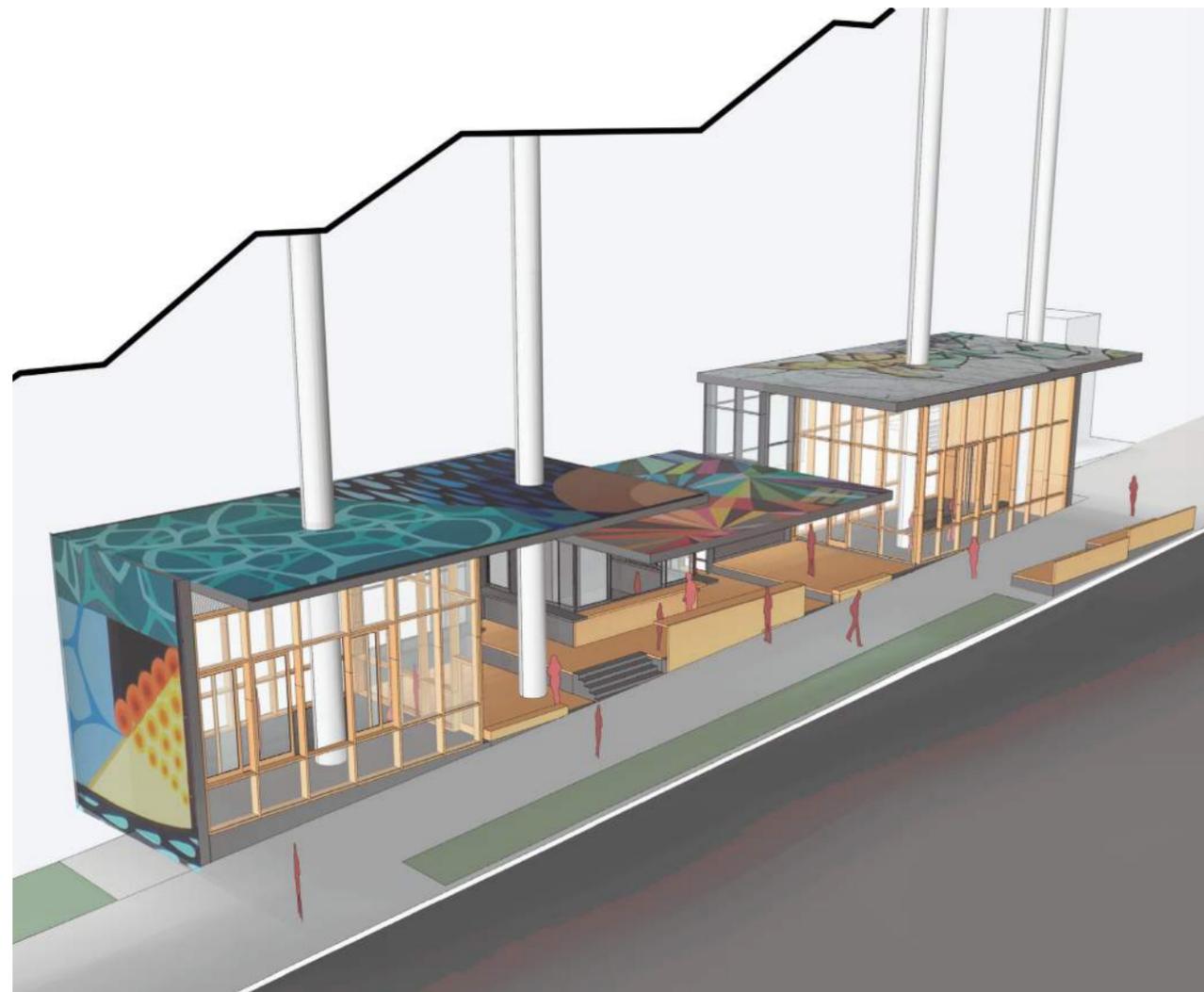
4 DESIGN RECOMMENDATION - 9TH AVENUE MARKET

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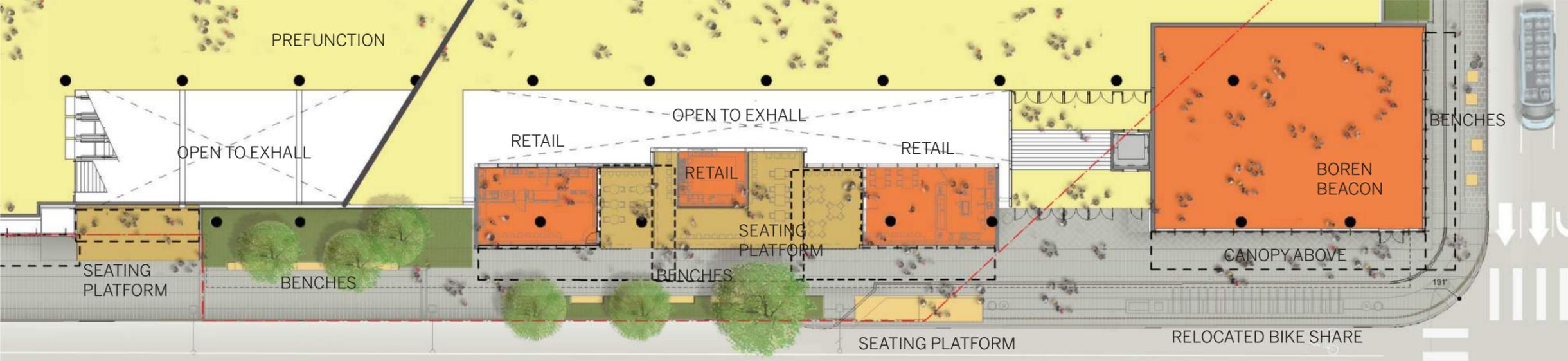
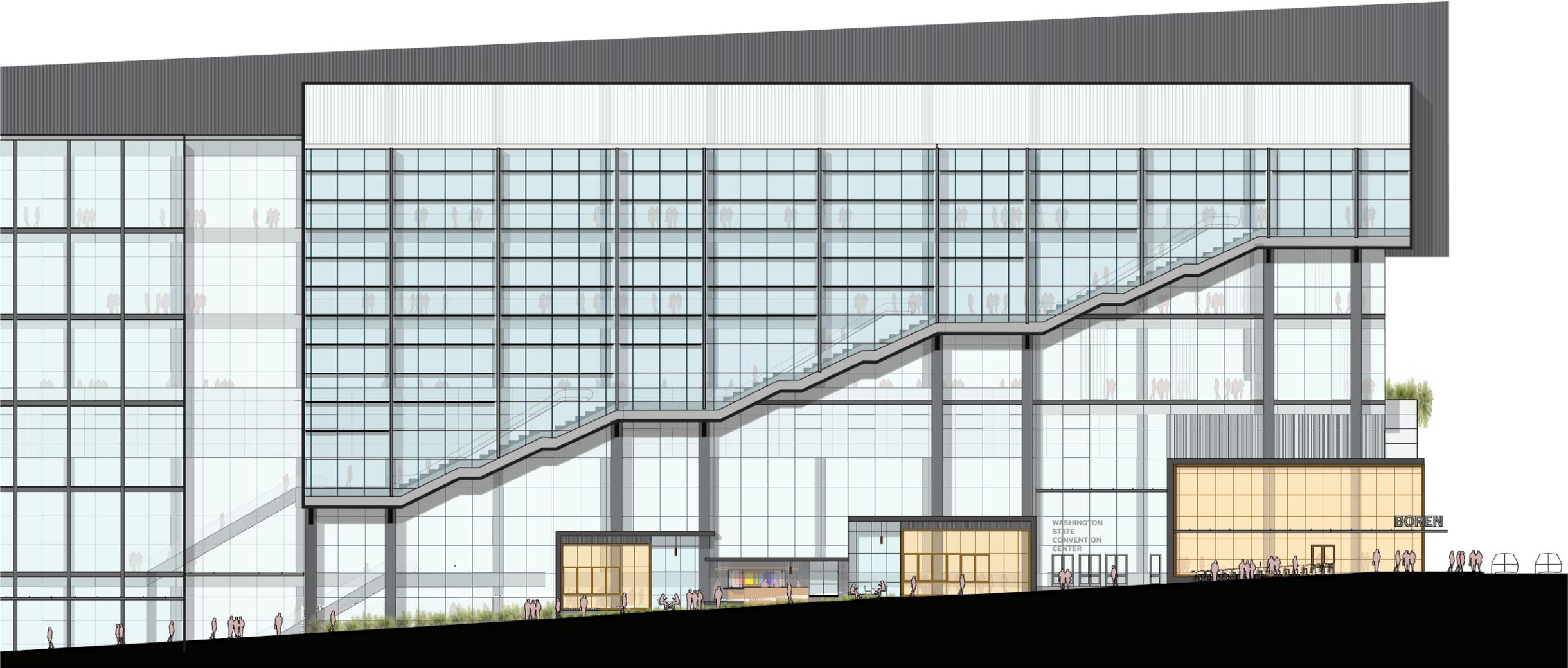
4 DESIGN RECOMMENDATION - PINE STREET RETAIL

CONCEPTUAL APPROACH

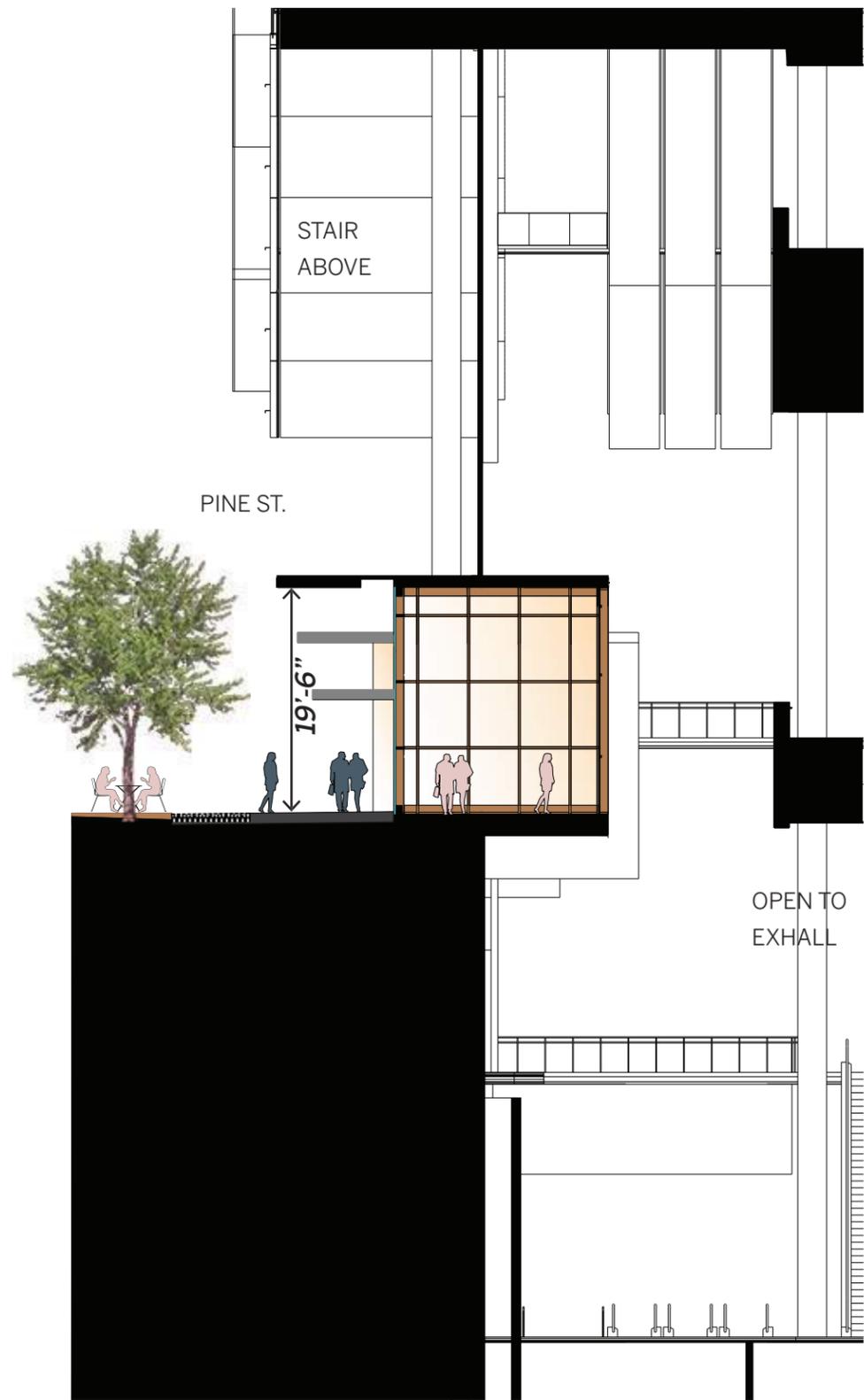
The collection retail along Pine Street forms a city block of dense active building frontage playing an important role in connecting the Downtown Retail Core to the vibrant Capitol Hill. The cluster of volumes occupy the negative space below the Pine Street Stair, each with their own unique personality. A parallel edge of program along the right-of-way forms a two-sided space of activity with a strong sense of identity. The volumes collectively form a dense cluster of activity, accentuated by graphics that can be seen softly reflected in the soffit of the stair above.



4 DESIGN RECOMMENDATION - PINE STREET RETAIL



4 DESIGN RECOMMENDATION - PINE STREET RETAIL

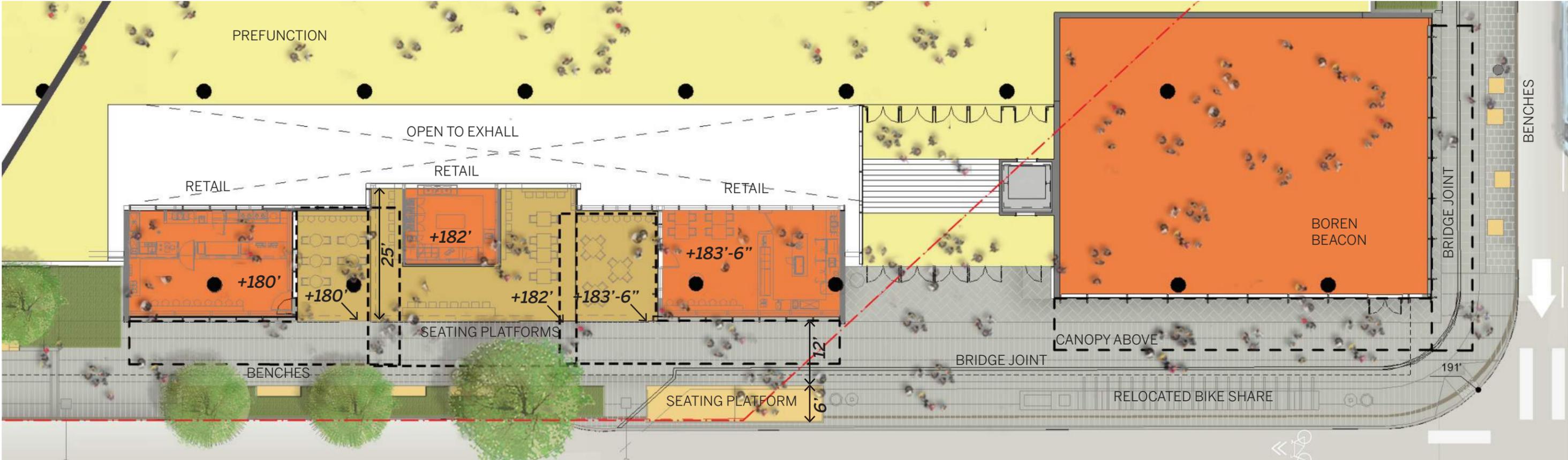
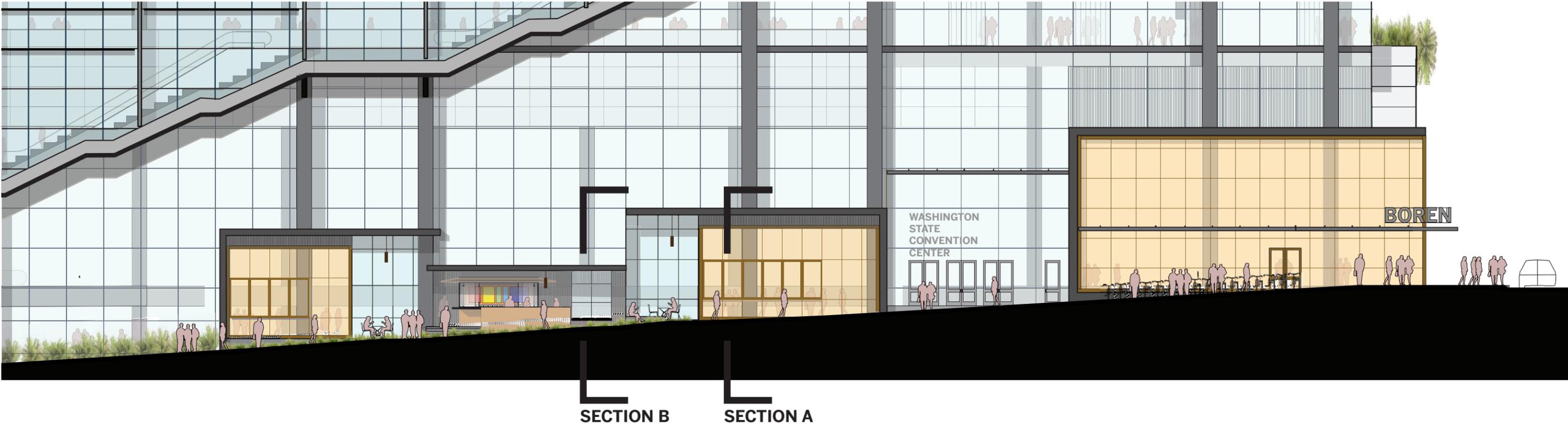


SECTION A
Retail Space



SECTION B
Outdoor deck

4 DESIGN RECOMMENDATION - PINE STREET RETAIL



4 DESIGN RECOMMENDATION - PINE STREET RETAIL



4 DESIGN RECOMMENDATION - PINE STREET RETAIL



4 DESIGN RECOMMENDATION - LIGHTING CONCEPT

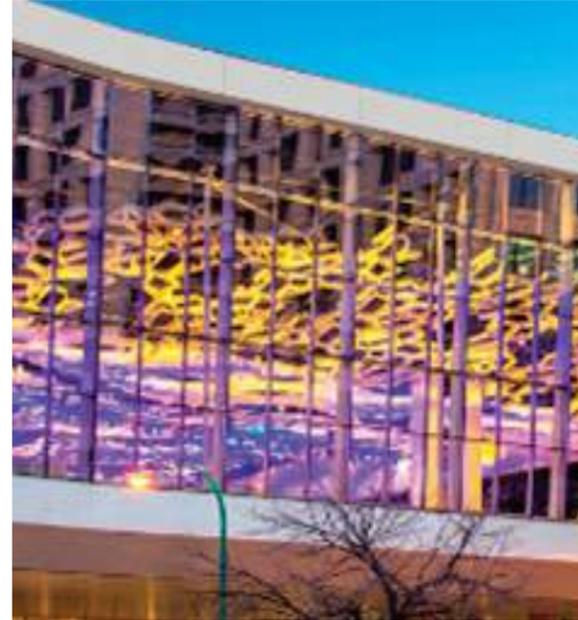
CONCEPTUAL APPROACH

Woven within the cityscape and fabric of Downtown Seattle, the Washington State Convention Center Addition is challenged with welcoming and showcasing the character of Seattle to distant travelers while also embracing and engaging with the local community. Lighting looks to support this key design aspiration in providing soft, uniform, and welcoming light to the building and surrounding property.

Supporting the transparent nature of the building architecture, lighting is envisioned to showcase the constantly changing colors, lights and people of the events. By introducing light to interior walls, ceiling and other key architectural surfaces, the transparency of the building is enhanced, welcoming people inside while also showcasing and presenting the activity within to the surrounding community.

While much of the immediately adjacent site will be bathed in light from the glowing interior, additional exterior lighting treatments will be carefully introduced and integrated within architectural and landscape elements. By integrating light within elements, the team's intent is to keep the surrounding site open and free of large lighting elements thus making for unobstructed travel and traversing around the site. Proposed lighting elements will be discrete down-lighting treatments within pedestrian canopies, under-bench LED lighting for permanent seating elements, as well as lighting integrated into architectural handrails at primary entries to the building. Along Boren Ave, pedestrian pole lights accompany the landscape zone at the building edge.

Interior lighting will be comprised of LED general and accent lights to animate the views to the interior at times when there is no active event in session.



BALLROOM CEILING & THEATRICAL LIGHTING



DYNAMIC PREFUNCTION LOBBIES



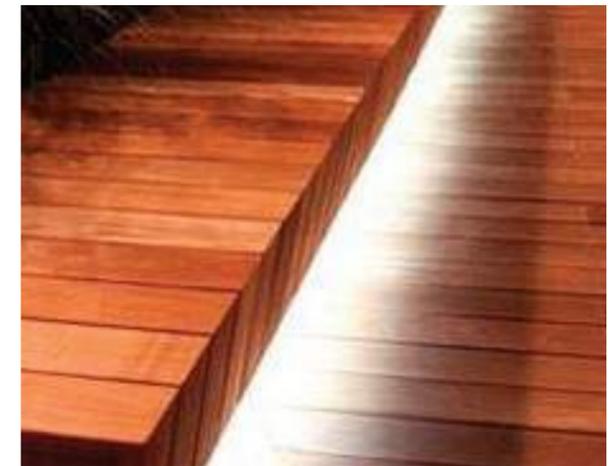
INTERIOR SPACES ILLUMINATE EXTERIOR

4 DESIGN RECOMMENDATION - LIGHTING CONCEPT

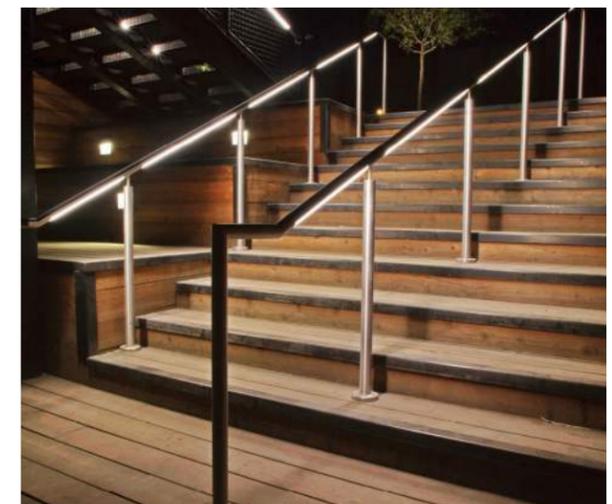
SITE LIGHTING PLAN



INTEGRATED CANOPY LIGHTING



INTEGRATED BENCH LIGHTING



INTEGRATED RAIL LIGHTING



EVENT TERRACE LIGHTING



BOREN AND TERRACE LIGHT POLE

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Hamilton

WATERLOO

4 DESIGN RECOMMENDATION - LIGHTING CONCEPT



4 DESIGN RECOMMENDATION - LIGHTING CONCEPT



4 DESIGN RECOMMENDATION - LIGHTING CONCEPT



4 DESIGN RECOMMENDATION - LIGHTING CONCEPT



4 DESIGN RECOMMENDATION - LIGHTING CONCEPT



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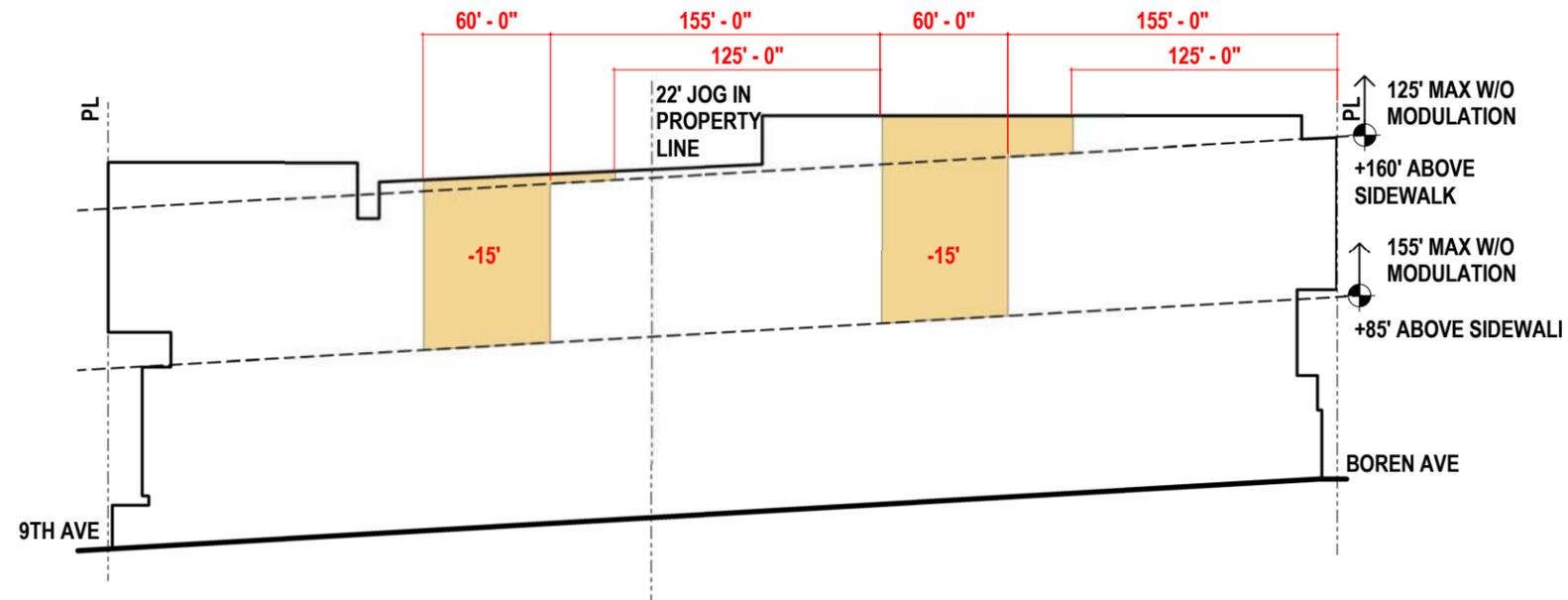


6 PROPOSED DEPARTURES

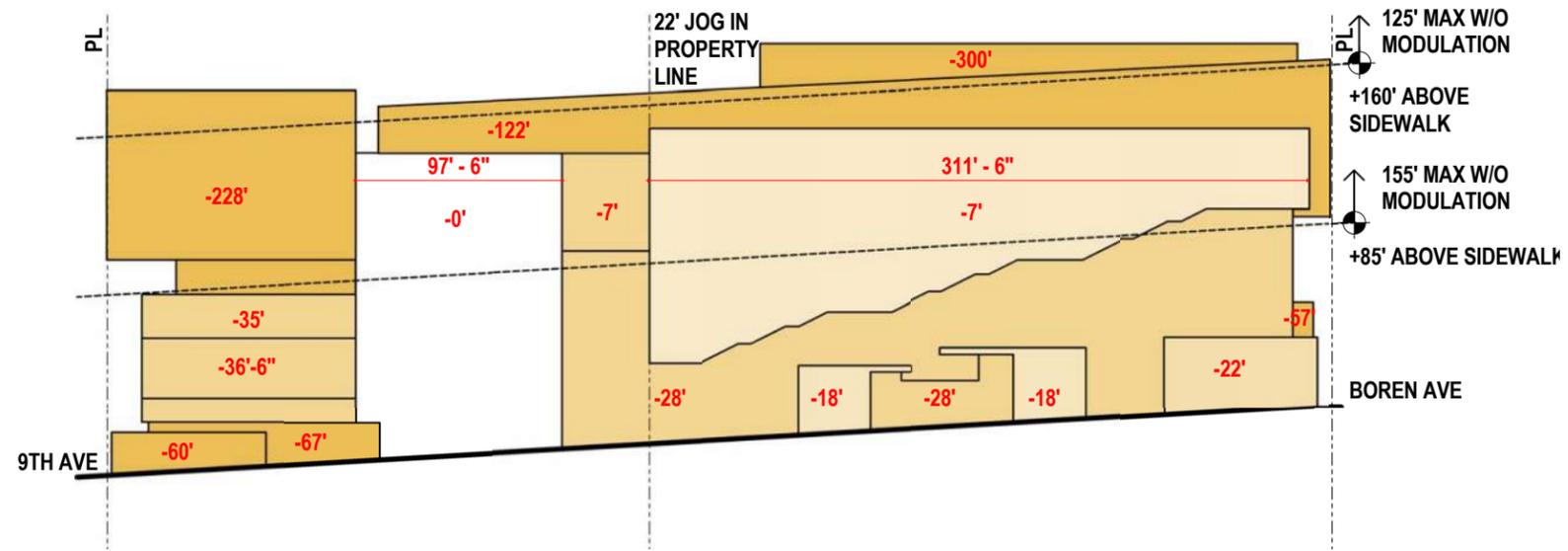
Item #	Development Standard	Requirement	Modification Requested	Rationale
1	23.49.058 B Facade Modulation	<p>Facade modulation is required above a height of 85 feet above the sidewalk of any portion of a structure located within 15 feet of a street lot line. The maximum length of unmodulated facade within 15 feet of a street lot line is 155 feet at a height between 86–160 feet, 125 feet at a height between 161-240 feet.</p> <p>Any portion of a facade exceeding the maximum length of facade prescribed above (listed in 23.49.058 Table A) shall be set back a minimum of 15 feet from the street lot line for a minimum distance of 60 feet before any other portion may be within 15 feet of the street lot line.</p>	<p>Relief from upper level modulation, allowing facade length greater than 155 feet between 37-160 feet and greater than 125 feet between 67-87 feet.</p> <p> Areas of departure from development standard</p>	<p>The design proposes a greater variety of modulation than that prescribed by the code. This variation of depth and shape extends across a significant surface area of the elevation shown, providing greater visual interest and a more active facade that meets and exceeds the intent of the facade modulation requirements.</p> <p>This departure allows the project to better meet the intent of the design guidelines (described below).</p>

Relevant Design Guidelines - Departure #1	
<p>A1.1 Response to context</p> <p>B. A site having dramatic topography or contrasting edge conditions</p> <p>F. Views of the site from other parts of the city or region</p> <p>Adjacent to 1-5, with a significant change in grade from east to west, dramatic topography and unique edge conditions are key elements of the site.</p> <p>The major massing elements take on unique characters that responds to their context - through the use of topography, aperture, and clearly defined edges. The legibility of forms breaks down the scale of the block into distinctive parts which provides personality to the different edges of the site.</p> <p>B4.1 Massing</p> <p>A. Setbacks, projections, and open space</p> <p>B. Relative sizes and shapes of distinct building volumes</p> <p>C. Roof height and forms</p> <p>Distinct setbacks that clearly define building volumes and exterior spaces better relate to scale of surrounding buildings. The roof height is lower than allowed by code, while the collection of volumes provide variety of roof forms throughout the site.</p>	<p>B4.2 Coherent design</p> <p>D. Modulation and articulation</p> <p>I. Building base and top</p> <p>The articulated volumes are united horizontally with finer grain structural module, and vertically with clear layering of forms.</p> <p>C2.1 Modulation of facades</p> <p>A. Fenestration pattern</p> <p>B. Exterior finish materials</p> <p>C. Other architectural elements</p> <p>D. Light fixtures and landscaping elements</p> <p>The larger forms are further articulated with a range of solid and glazed facade systems, materials, and textures. Exposed structure, canopies, and vertical planting create rhythm and scale to the facade</p>

6 PROPOSED DEPARTURES

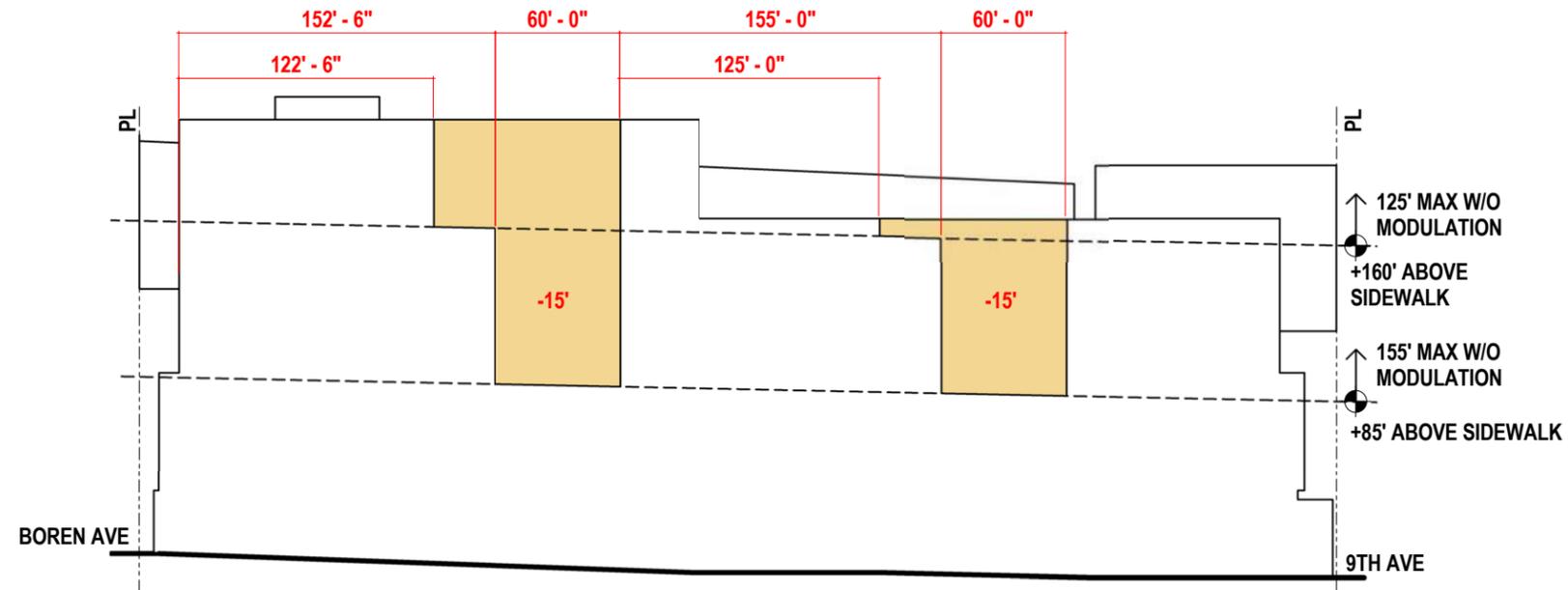


PINE STREET - CODE BASELINE

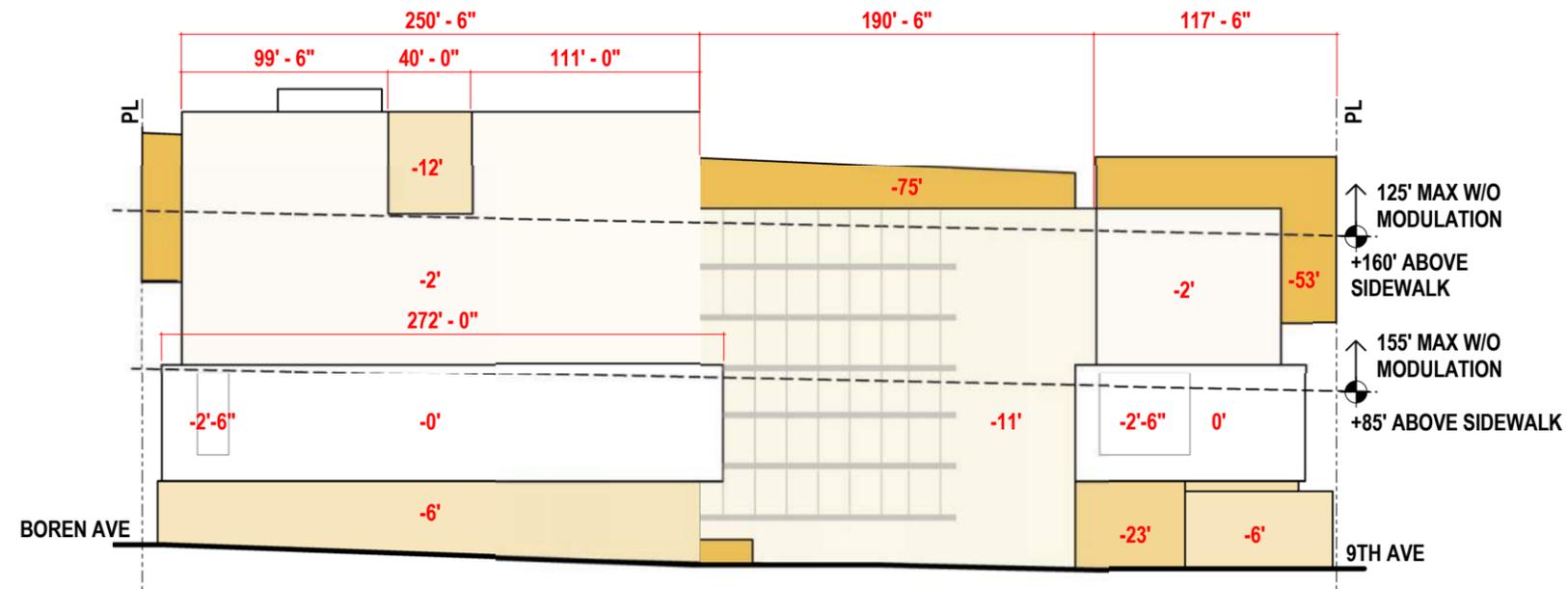


PINE STREET - PROPOSED

6 PROPOSED DEPARTURES

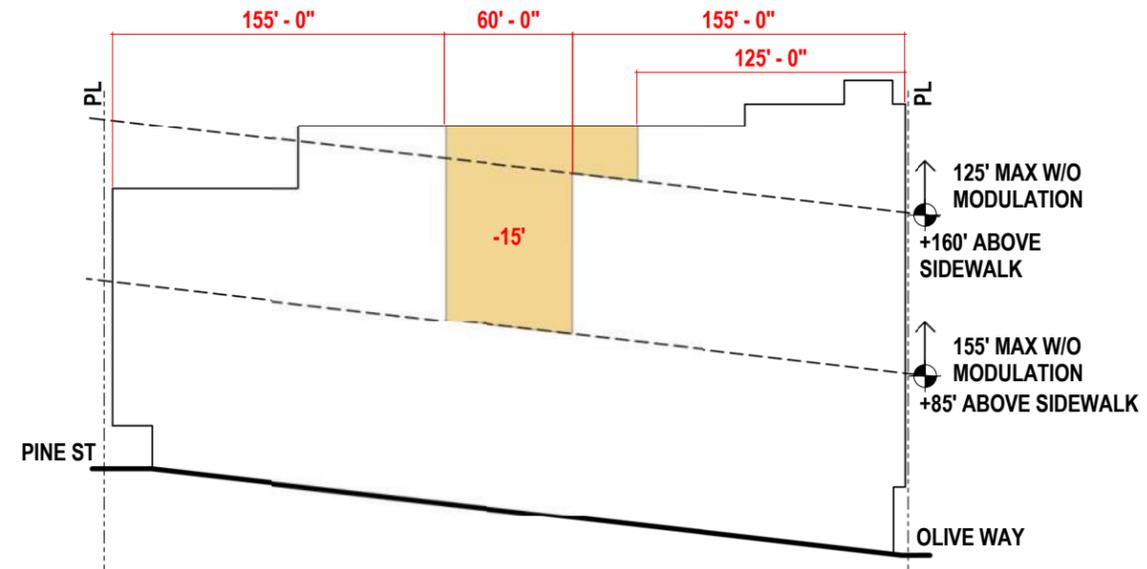


OLIVE WAY - CODE BASELINE

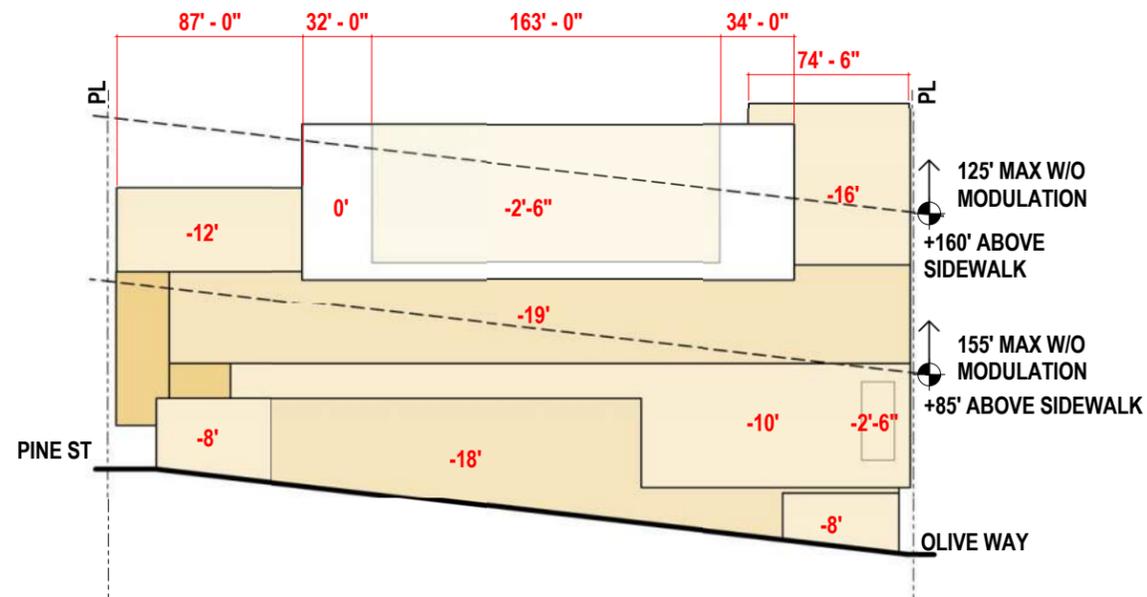


OLIVE WAY - PROPOSED

6 PROPOSED DEPARTURES



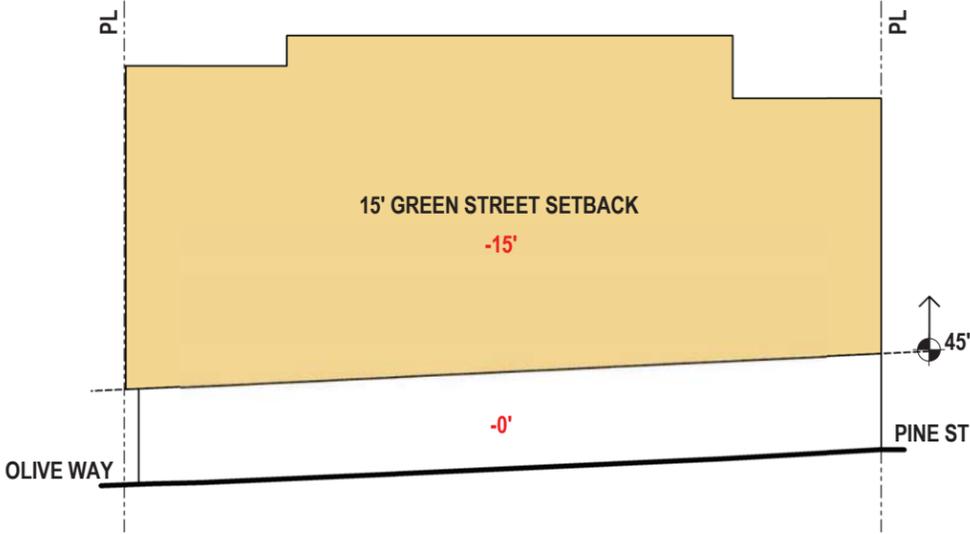
BOREN AVENUE - CODE BASELINE



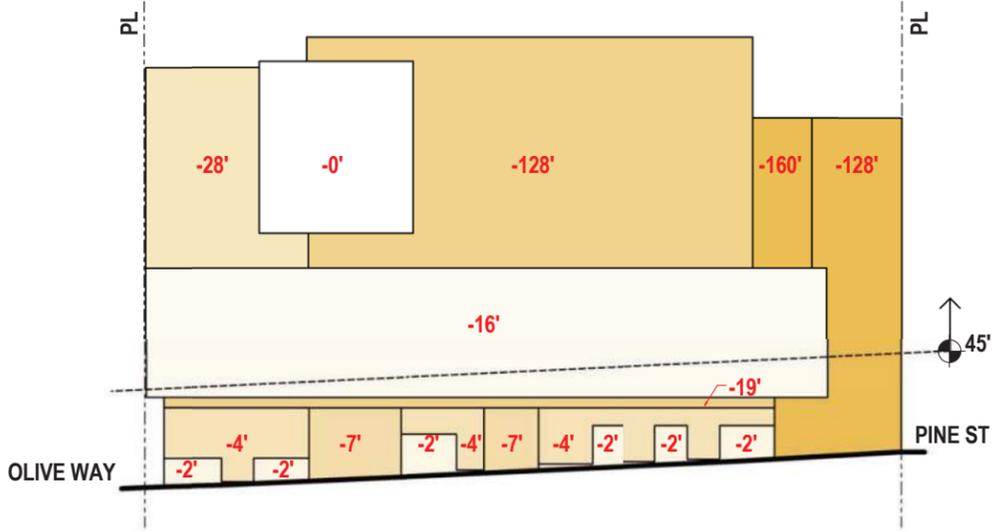
BOREN AVENUE - PROPOSED

6 PROPOSED DEPARTURES

Item #	Development Standard	Requirement	Modification Requested	Rationale
2	23.49.058 G2 Green Street Upper Level Setbacks	When a lot in a dmc or DOC2 zone is located on a designated green street, a continuous upper-level setback of fifteen (15) feet shall be provided on the street frontage abutting the green street at a height of forty-five (45) feet.	Relief from upper level green street setback, allowing a variety of setbacks above 45 feet.  Areas of departure from development standard.	The proposed design provides additional modulation which exceeds the green street upper level setbacks with greater visual interest in both elevation and massing than prescribed by the code. The resulting activation of the building better supports the goals of the green street designation. The upper level meeting room block and the flex hall volume extend into the setback in order to align their north facade with the paramount facade, thereby framing the open space between. This departure allows the project to better meet the intent of the design guidelines (described to the right).



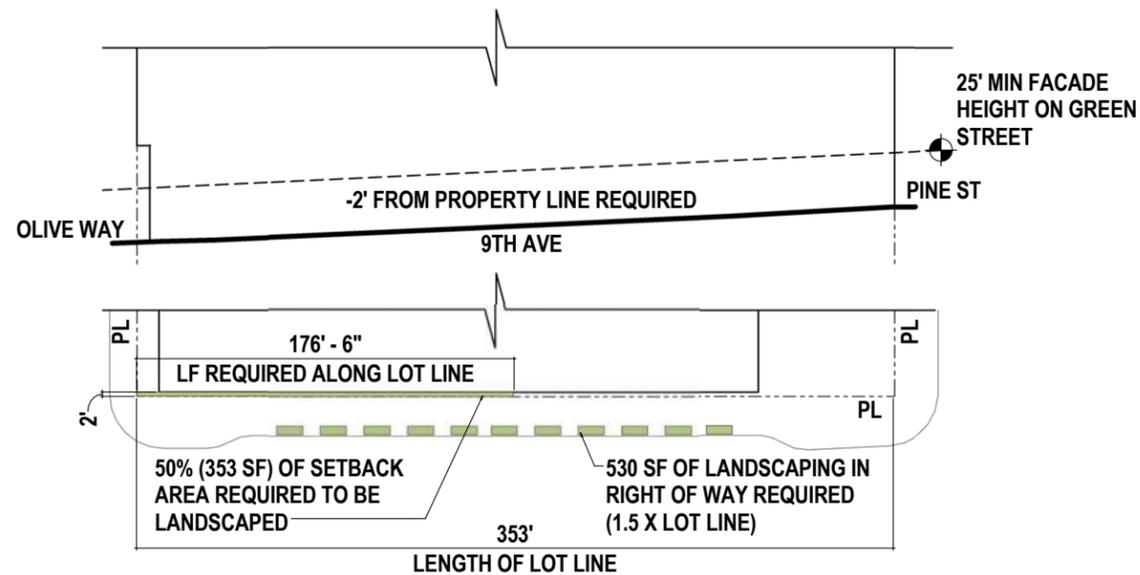
9TH AVENUE - CODE BASELINE



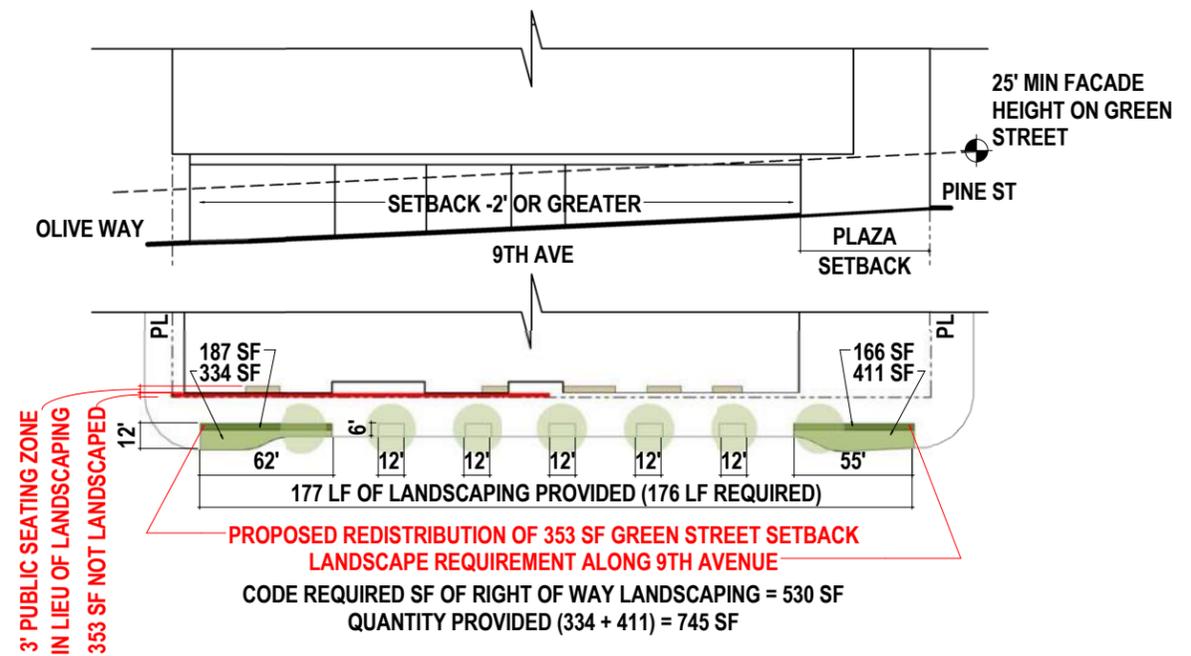
9TH AVENUE - PROPOSED

6 PROPOSED DEPARTURES

Item #	Development Standard	Requirement	Modification Requested	Rationale
3	23.49.056.F.4 Green Street Setback	Terry and 9th Avenues green street setbacks, a 2 foot wide setback from the street lot line is required 50% Of the setback area shall be landscaped. Total area of setback = lot line x 2 feet = 353'-2" X 2' = 706.3 SF 50% Of setback area (706.3 SF) = 353.2 SF	Relief from green street setback requirements along 9th Avenue. Landscape to be re-distributed along 9th to permit visual and physical access to retail.	9th Avenue is an active frontage for the plaza and retail marketplace. The design maximizes the pedestrian connection into these spaces while providing landscape area adjoining the curb in excess of the standard. 215 additional SF of landscaping is provided adjoining the curb. When averaged for frontage, the intent of the setback is met and exceeded. The quantity of planting is provided, but distributed in order to provide larger, denser areas of planting toward the street. Greater visual transparency and access to the retail spaces is provided in addition to egress along 9th Avenue. Public seating is provided at the building edge in lieu of landscaping This departure allows the project to better meet the intent of the design guidelines.
	23.49.056.F.1 Landscaping in Street Right of Way	Square feet of landscaping = 1.5 x Length of Street Lot Quantity required = 530 SF Quantity provided = 745 SF		
	23.49.056.F.1a Landscaping in Street Right of Way	50% of total length of landscape required along lot line Quantity required = 176.58 LF Quantity provided = 177.58 LF		



9TH AVENUE - CODE BASELINE



9TH AVENUE - PROPOSED

6 PROPOSED DEPARTURES

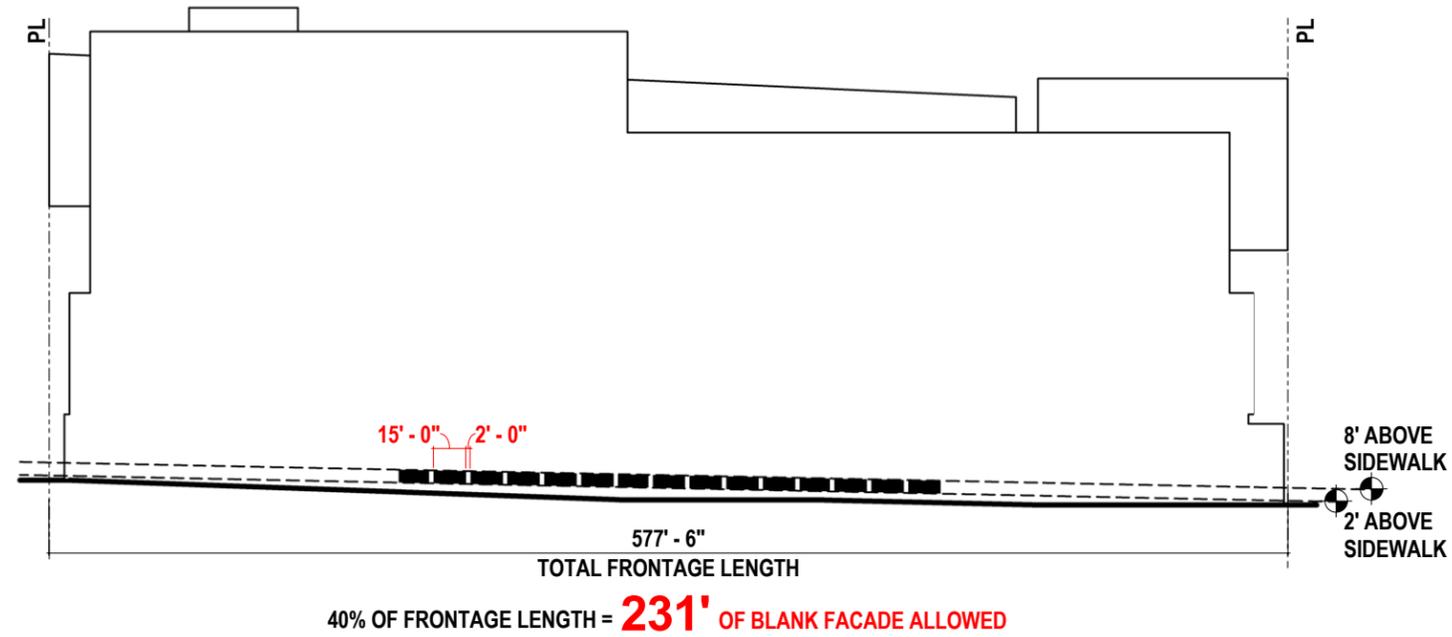
Relevant Design Guidelines - Departure #2 & #3	
<p>A1.1 Response to context</p> <p>C. Patterns of urban form, such as nearby buildings that have employed distinctive and effective massing compositions</p> <p>B1.1 Adjacent features and networks</p> <p>B. An adjacent landmark or noteworthy building</p> <p>D. Neighboring buildings that have employed distinctive and effective massing compositions</p> <p>B3.2 Features to complement</p> <p>A. Massing and setbacks</p> <p>B. Scale and proportion</p> <p>B4.1 Massing</p> <p>A. Setbacks, projections, and open space</p> <p>B. Relative sizes and shapes of distinct building volumes</p> <p>C. Roof height and forms</p> <p>B4.2 Coherent design</p> <p>D. Modulation and articulation</p> <p>I. Building base and top</p> <p>C2.1 Modulation of facades</p> <p>A. Fenestration pattern</p> <p>B. Exterior finish materials</p> <p>C. Other architectural elements</p> <p>D2.1 Landscape enhancements</p> <p>D. Distinctively landscape open areas created by building modulation</p>	<p>The urban concept considers the multi-block scale of the site, breaking it down to reinforce the familiar grain of the urban fabric. The massing responds to its innate programmatic needs and its location at the intersection of diverse Seattle neighborhoods. Retail is located to activate intersections and define zones. Pedestrian connections echo the urban form of streets and alleys. Planting is used to define edges and characterize zones. The southwest corner of the site marks the primary entry plaza of the convention center. The massing at this intersection and along 9th Avenue is broken down to allow pedestrians and users to enjoy views of Pike Place Market, the waterfront, the Camlin Building and the Paramount Theater. The building will occupy a smaller envelope than possible by code, creating a transition on the edge of downtown to the smaller scale neighborhoods to the east. Terraces, lobbies and retail provide opportunities to compose the building mass appropriate to its context. The massing is broken down into clearly articulated vertical layers of forms and united with a finer grain structural module, which is expressed throughout the entire building.</p> <p>The design incorporates bold civic scale gestures and fine grain articulation at the pedestrian edge to further modulate the facade. Additional layering and depth is expressed through a composition of pedestrian circulation, varying facade systems and materials, retail and landscape zones.</p> <p>A vegetated roof processes stormwater and provides an urban habitat. Non-vegetated roof surfaces allow rainwater harvesting and solar energy collection. Upper level terraces are available to rent by public. Planting is used throughout the site to define edges and characterize zones. Street trees fill the edges of the site with limited planting on Pine Street to maintain view to water.</p>

6 PROPOSED DEPARTURES

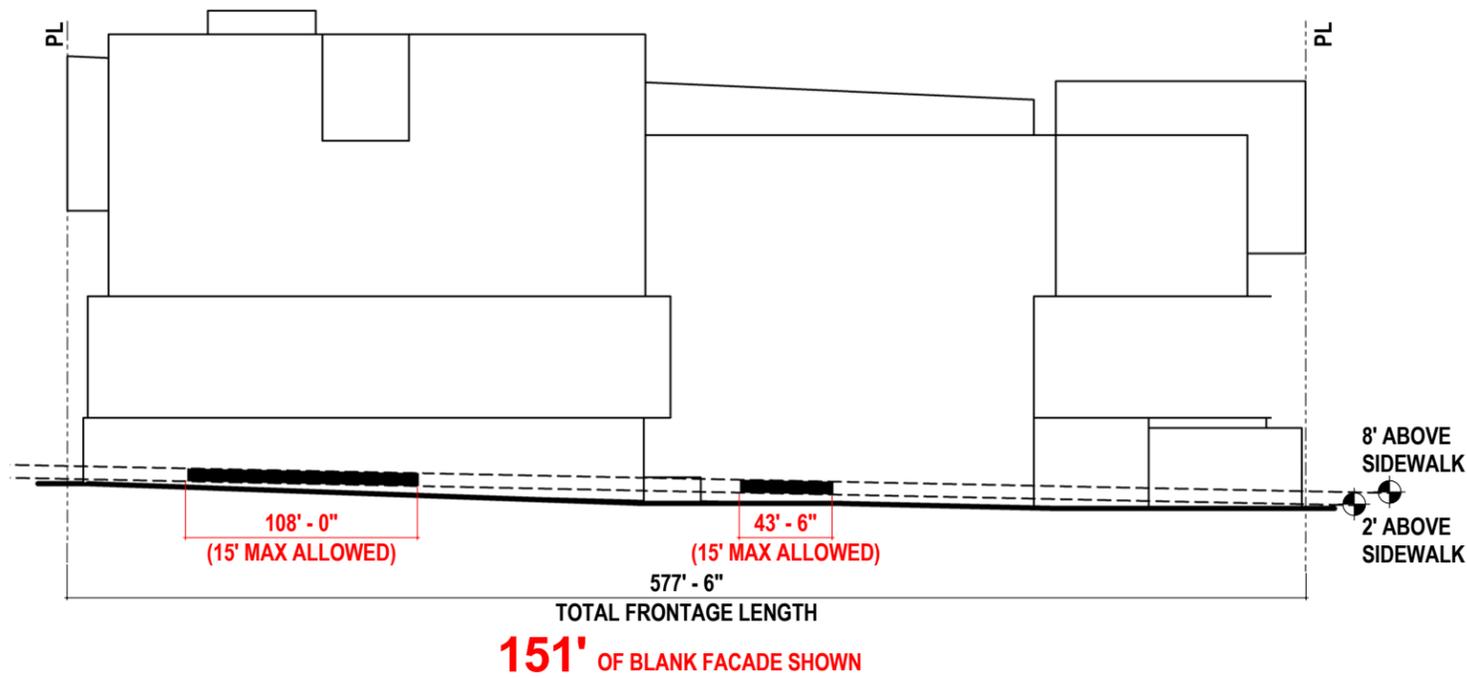
Item #	Development Standard	Requirement	Modification Requested	Rationale
4	23.49.056.D Blank Facade Limits	<p>Blank facade limits apply to the area of the facade between 2 feet and 8 feet above the sidewalk, except that where the slope along the street frontage of the facade exceeds 7.5 Percent, blank facade limits apply to the area of the facade between 4 feet and 8 feet above sidewalk grade.</p> <p>Class I pedestrian streets and designated green streets. Blank facades shall be no more than 15 feet wide except segments with garage doors which may be as wide as the driveway plus 5 feet. May be increased to 30 feet by the director if enhanced with visual interest features. Total width shall not exceed 40% of facade.</p> <p>Class II pedestrian streets. Blank facade segments shall be no more than 30 feet wide, except for garage doors, which may be as wide as the driveway plus 5 feet. May be increased to 60ft by the director if enhanced with visual interest features. Total width shall not exceed 70% of facade, or 75% on slopes greater than 7.5%.</p>	Relief from blank facade requirements along Boren, Olive, and 9th.	<p>The convention center program requires a significant amount of emergency egress and vertical transportation capacity to safely serve the large number of staff and visitors to the facility. Where blank facades are present at specific areas of emergency egress and vertical transportation, the use of shadowboxes, translucent glazing, and vertical vegetation are proposed to provide added visual depth, pattern, and consistency with adjacent window systems. In other areas to the extent possible, additional transparency has been provided extensively beyond code requirements.</p> <p>This departure allows the project to better meet the intent of the design guidelines (described below).</p>

Relevant Design Guidelines - Departure #4	
<p>C2.1 Modulation of facades C. Other architectural elements D. Light fixtures and landscaping elements</p> <p>Canopies, structure, planters, site stairs, overhangs, and vertical planting work together to soften the pedestrian experience and create an increased sense of modulation.</p> <p>C3.1 Desirable facade elements A. Retail spaces B. Visibility into building interiors D. Landscaped or raised bed planted with vegetation that will grow up a vertical trellis or frame installed to obscure or screen the wall's blank surface E. High quality public art F. Small setbacks, indentations G. Different textures, color, or material H. Specialty lighting, a canopy, awning, horizontal trellis to add visual interest</p>	<p>Many of the architectural moves feature desirable facade elements, particularly at the street level. Retail spaces have been provided on all facades above code requirements. Visibility has been provided into building interiors where permissible, including glimpses into the inner workings of elevators. Landscape has taken form both in horizontal and vertical applications. Smaller moves and modulations, textures, colors, materials, and canopies have been integrated into the architecture on all facades.</p> <p>D2.1 Landscape enhancements D. Distinctively landscape open areas created by building modulation G. Provide framework such as trellis or arbor for plants to grown on H. Incorporate upper story planter boxes or roof planters</p> <p>Modulation helps to provide significant pockets of planting at grade. The facade along Boren also features a planting framework for vertical vegetation.</p> <p>E3.1 Methods of integrating service areas A. Plan service areas for less visible locations</p> <p>Service areas have primarily been located below grade and away from public view.</p>

6 PROPOSED DEPARTURES

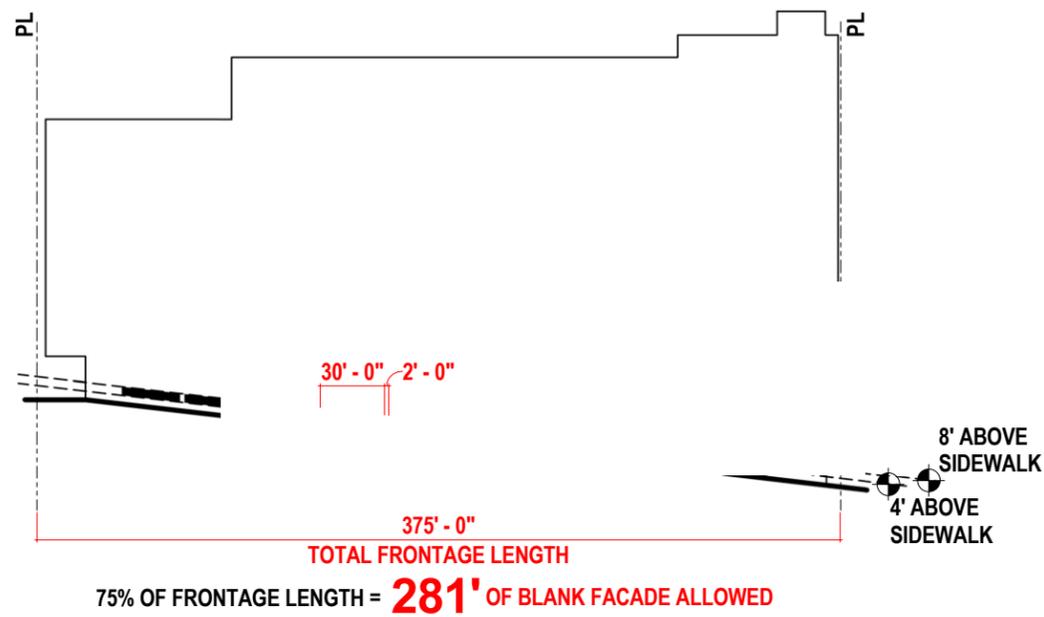


OLIVE WAY - CODE BASELINE

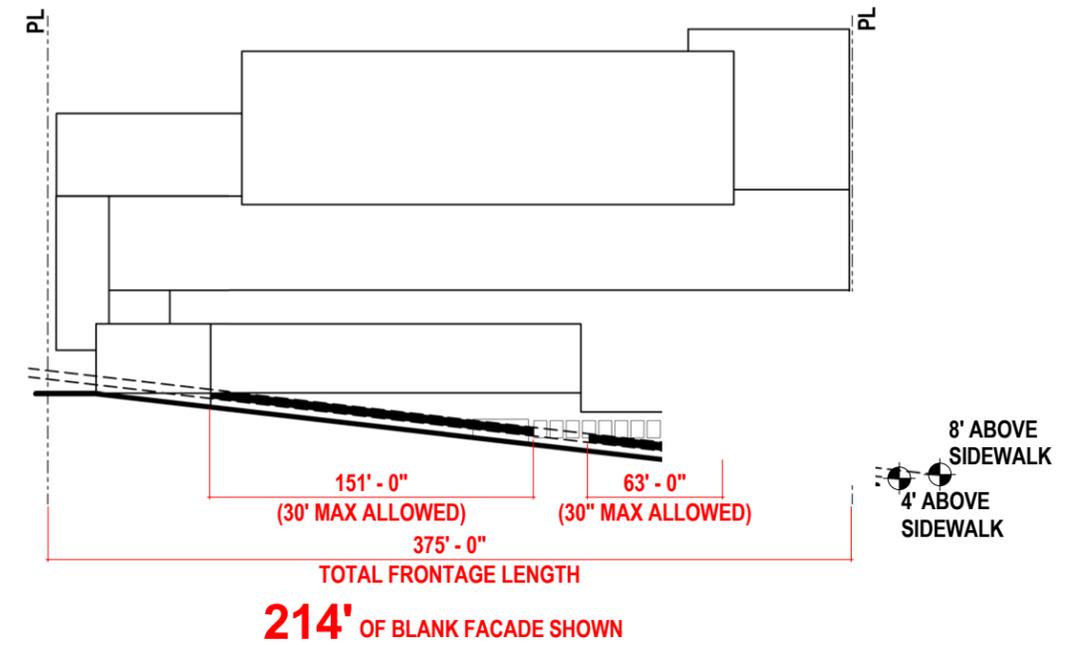


OLIVE WAY - PROPOSED

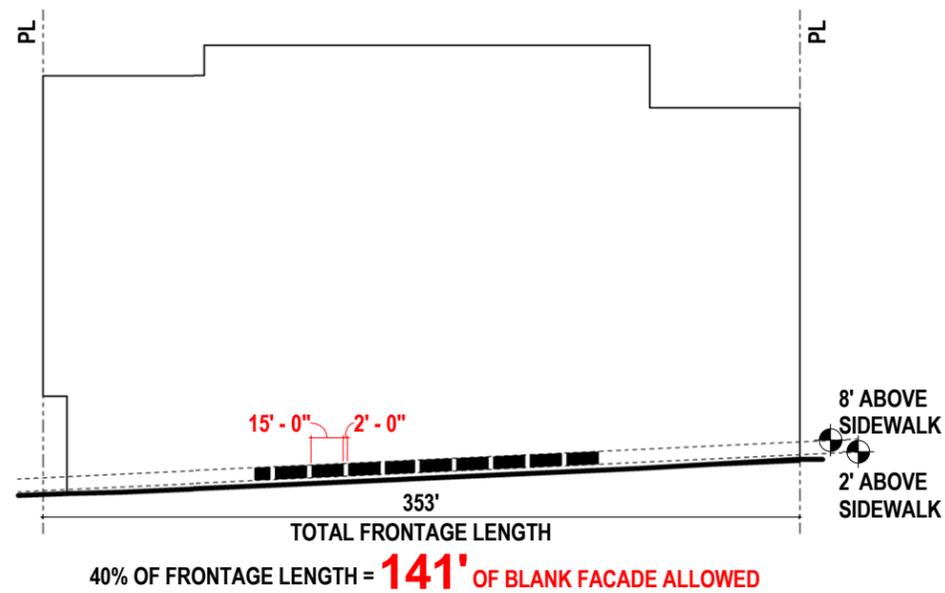
6 PROPOSED DEPARTURES



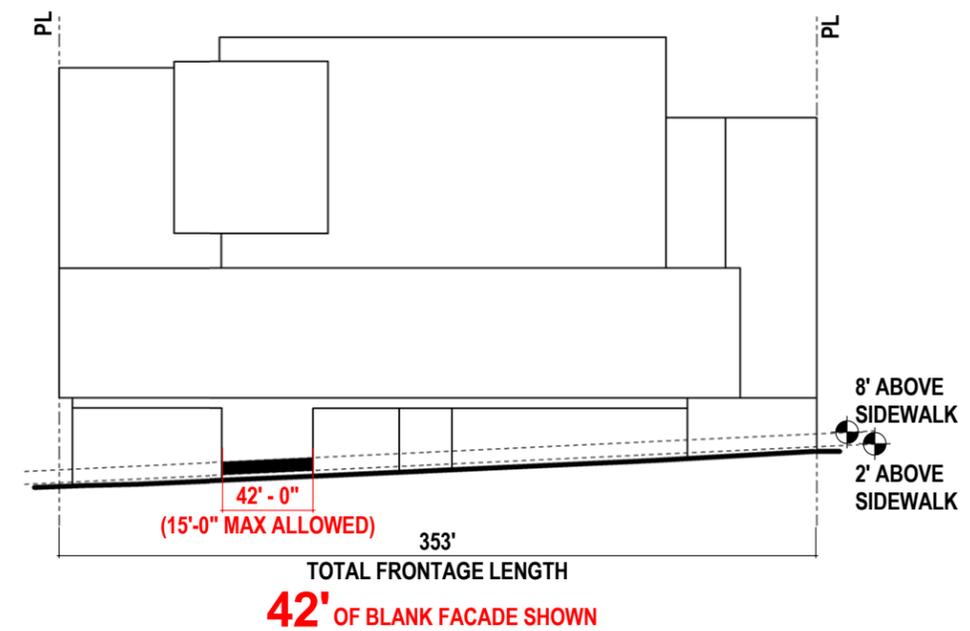
BOREN AVENUE - CODE BASELINE



BOREN AVENUE - PROPOSED



9TH AVENUE - CODE BASELINE

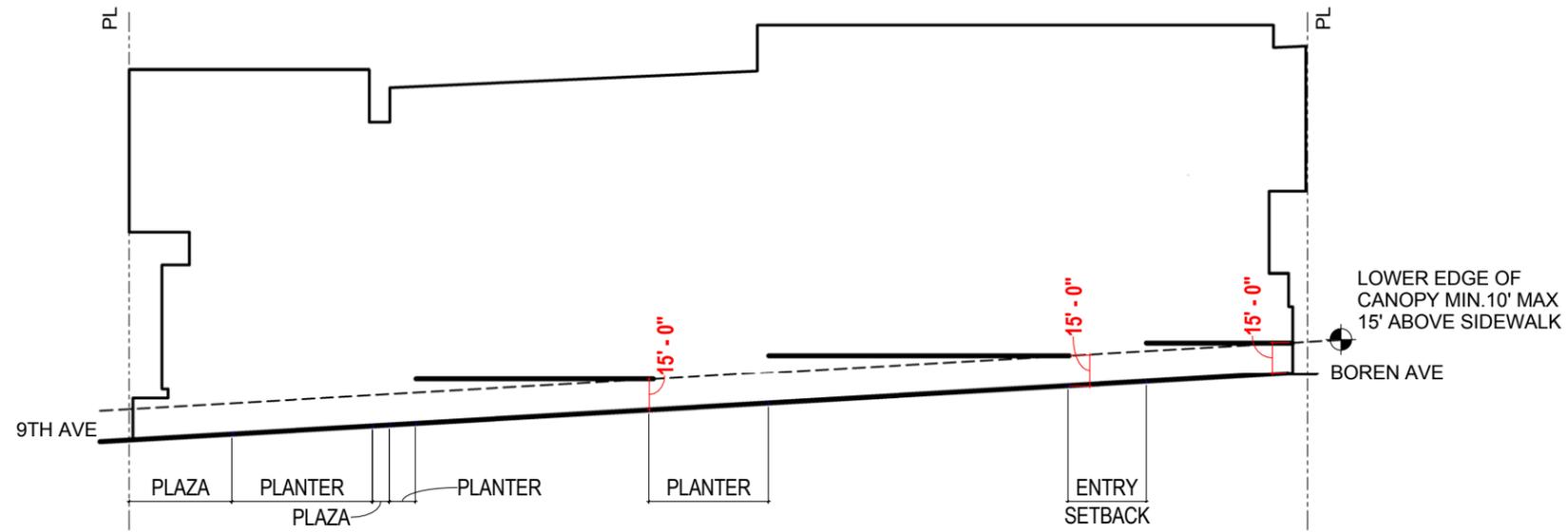


9TH AVENUE - PROPOSED

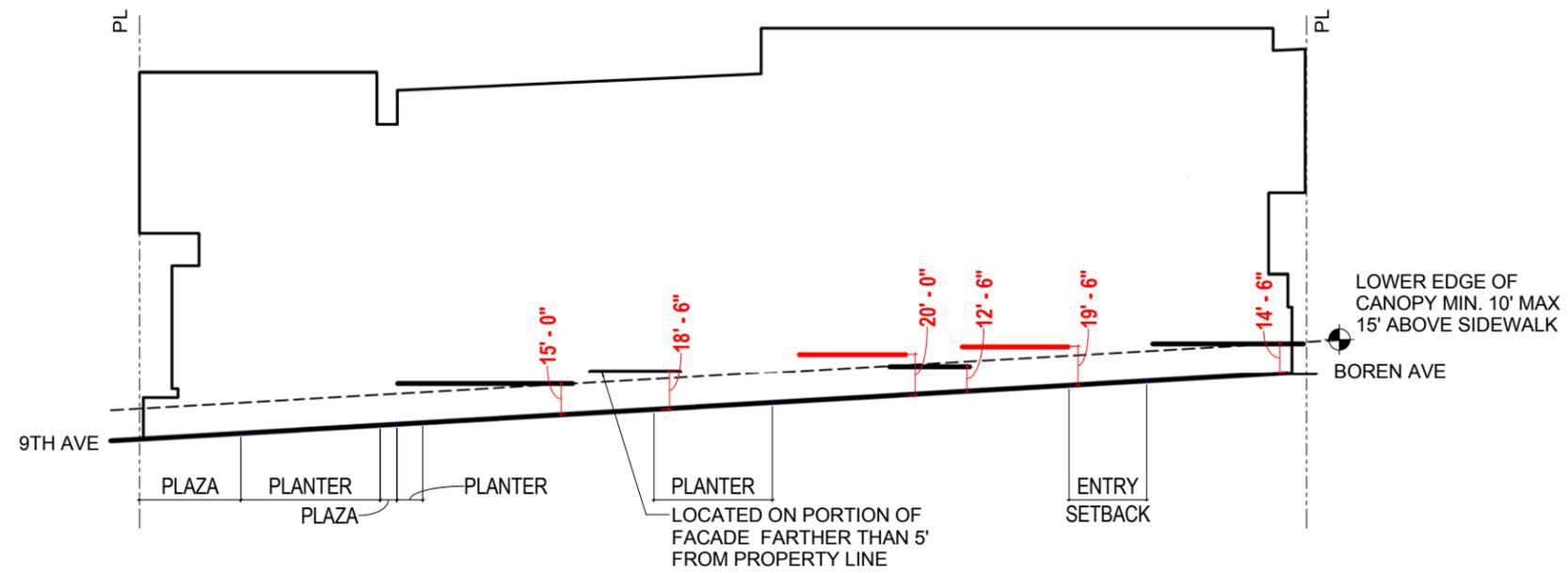
Item #	Development Standard	Requirement	Modification Requested	Rationale
5	23.49.018 Overhead weather protection	<p>Continuous overhead weather protection is required along the entire street frontage of a lot except along those portions of the structure facade that:</p> <ul style="list-style-type: none"> Are located farther than five feet from the street property line or widened sidewalk on private property Abut a bonused open space amenity feature Are separated {...} By a landscaped area at least two feet in width Area driveways into structures or loading docks <p>Minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less.</p> <p>The installation of overhead weather protection shall not result in any obstructions in the sidewalk area.</p> <p>The lower edge of the overhead weather protection must be a Min. 10 Feet and a Max. Of 15 feet above the sidewalk.</p>	<p>Variation of overhead weather protection heights as specialty zones</p> <p> The lower edge of the overhead weather protection is greater than 15 feet above the sidewalk.</p>	<p>The proposed canopies have been designed to highlight retail and major entries into the project. They promote clear way-finding and create greater visual interest than that required by code. The remaining canopies have been designed to align with the structural dimensions and promote a more harmonious integration with architectural features.</p> <p>This departure allows the project to better meet the intent of the design guidelines (described below).</p>

Relevant Design Guidelines - Departure #5	
<p>A1.1 Response to context B. A site having dramatic topography or contrasting edge conditions</p> <p>The canopies take on unique character in response to their context and building program. They interact with the changing topography to create a variety of engaging spatial conditions and to highlight building features such as retail and entry points.</p> <p>B1.1 Adjacent features and networks E. Elements of the pedestrian network nearby</p> <p>While maintaining a continuous network of overhead weather protection on site, the canopy system relates to adjacent features through gentle overtures toward surrounding streets (Terry terminus) and pedestrian flow (Pine Street massing and hill climb).</p>	<p>B4.1 Massing A. Setbacks, projections, and open space B. Relative sizes and shapes of distinct building volumes</p> <p>The building massing is framed, highlighted, and complemented by the canopy designs. Canopies help to define and activate important interactive areas while helping building volumes relate to contextual scale.</p> <p>B4.2 Coherent design D. Modulation and articulation I. Building base and top</p> <p>Canopies are used in some instances to help unify building elements (9th Avenue green street retail market) and in others to help distinguish the building into clearly articulated</p>

6 PROPOSED DEPARTURES



PINE STREET - CODE BASELINE



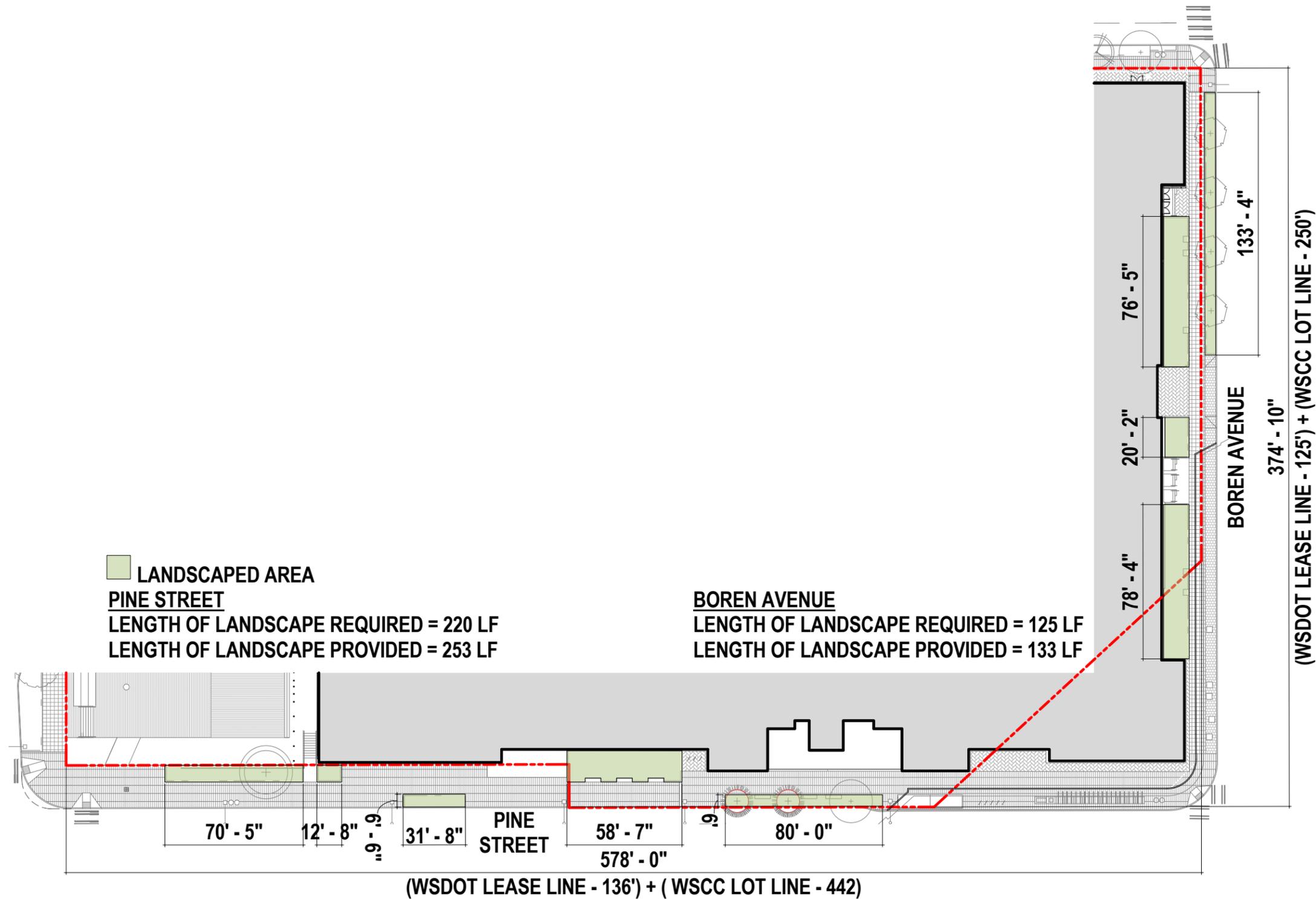
PINE STREET - PROPOSED

6 PROPOSED DEPARTURES

Item #	Development Standard	Requirement	Modification Requested	Rationale
6	SMC.23.49.056 F1a Landscaping In Street Right Of Way (Pine Street) SMC.23.49.056 F1b	Landscape area shall be at least 18 inches wide and shall be located in the public right-of-way along the entire length of the street lot line, except for building entrances, vehicular access or other connections between sidewalk and the lot, provided that the exceptions may not exceed 50% of the total length of the street lot line(s). As an alternative to locating the landscape at the street lot line, all or a portion of the required landscaped area may be provided in the sidewalk area within 5 feet of the curb line. Total length of landscape required along lot line: 50% of 578.25 Lf = 289.13 LF	Landscape area adjoining the curb are 6'-0" and 6'-9" wide and covers 111.66 LF. Additional landscape area of 141.66 LF (70.42 LF + 12.66 LF + 58.58 LF) provided in the sidewalk area but is located more than 5 feet off the curb line . Total length of landscape provided: 111.66 LF + 70.42 LF + 12.66 LF + 58.58 LF = 253.32 LF 136 LF of the lot line is over WSDOT highway, and additional load cannot be added to the existing structure. To meet the recommended standards, propose deducting the length of the WSDOT lot line from the calculations. Deducting the LF over WSDOT: 578.25 LF - 136.33 LF = 441.92 LF Total length of landscape required: 50% of 441.92 LF = 220.96 LF Total length of landscape provided is 253.2 LF	Per design review guidelines for downtown development A1.2: Response to planning efforts D2.1: Landscape enhancements D. Distinctively landscape open areas created by building modulation Planting design for pine street enhances interest and diversity along this two block stretch, building on the character of the larger Denny Triangle Neighborhood green streets where informal character and variety help define the neighborhood character. Large planting areas along building edge capitalize and support building modulation and incorporates additional trees. The largest of the planters marks the location of the former intersection of Pine Street and Terry Avenue, helping to break down the scale of the double block for pedestrians. Native species of trees and shrub planting also contribute to rich native character of Denny Triangle Neighborhood. In place of planting over WSDOT bridge structure, other pedestrian amenities enhance pedestrian connections and support a continuous experience. Irregular planting spacing on both sides of sidewalk also preserves and enhances iconic view to Pike Place and Elliot Bay marking this location as an important moment for orienting pedestrians between Capitol Hill, DOWNTOWN, Denny Triangle Neighborhood and First Hill. The planting design also supports pedestrian connections into and out of the new plaza at the intersection of 9th Avenue and Pine Street. Planting helps frame the plaza edge while keeping the sidewalk clear at this important pedestrian crossing.

Item #	Development Standard	Requirement	Modification Requested	Rationale
7	SMC.23 Landscaping In Street Right Of Way (Boren Avenue)	Landscape area shall be at least 18 inches wide and shall be located in the public right-of-way along the entire length of the street lot line, except for building entrances, vehicular access or other connections between sidewalk and the lot, provided that the exceptions may not exceed 50% of the total length of the street lot line(s). Total length of landscape required along lot line: 50% of 370.83 LF = 185.42 LF	Landscape area is 5'-6" wide and covers 133.33LF. 120 LF of the lot line is over WSDOT highway, and additional load cannot be added to the existing structure. To meet the recommended standards, propose deducting the length of the WSDOT lot line from the calculations. Deducting the LF over WSDOT: 370.83 LF - 120.83 LF = 250 LF Total length of landscape required: 50% of 250 LF = 125 LF Total length of landscape provided is 133.33 LF	Per design review guidelines for downtown development A1.2: Response to planning efforts D2.1: Landscape enhancements D. Distinctively landscape open areas created by building modulation G. Provide framework such as trellis or arbor for plants to grown on H. Incorporate upper story planter boxes or roof planters Planting design for Boren Avenue maximizes a strong protective edge of planting where possible given the existing constraints of the WSDOT overpass. Additional planting along the building facade creates a rich two-sided experience that enhances pedestrian connectivity. Additional planting incorporated into the building facade system and a planted terrace above establish a rich green character that supports the larger goals of the Denny Triangle Neighborhood.

6 PROPOSED DEPARTURES





6 PROPOSED DEPARTURES

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