

14TH & MADISON

1401 EAST MADISON

EARLY DESIGN GUIDANCE

24 JUNE 2015

DPD #3020065

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PROJECT INFORMATION

ADDRESS: 1401 E MADISON STREET
DPD PROJECT #: 3020065

ARCHITECT:	LANDSCAPE ARCHITECT:	DEVELOPER:
ANKROM MOISAN ARCHITECTS	FAZIO ASSOCIATES	EQUITY RESIDENTIAL
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DEVELOPMENT OBJECTIVES

The proposed project is 6-story mixed-use residential building with below-grade parking. The basic program includes:

- 140 RESIDENTIAL UNITS
- 80,000 SF OF NET RENTABLE AREA
- 4,000 SF OF STREET-LEVEL COMMERCIAL AREA
- 140 BELOW-GRADE PARKING STALLS

PROJECT GOALS

CREATE A DENSE, VIBRANT PLACE TO LIVE IN CAPITOL HILL

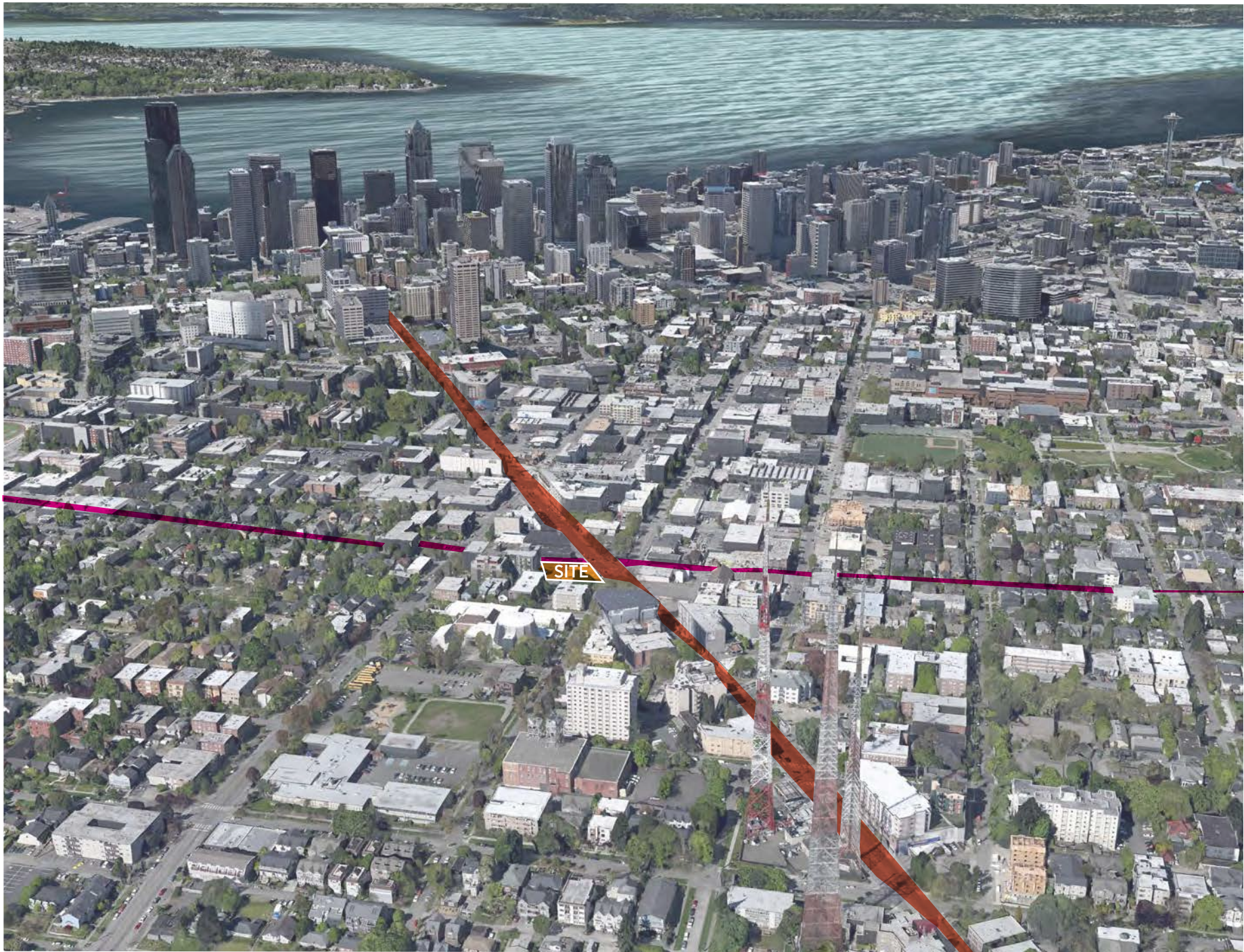
- Improve the pedestrian experience along 14TH Avenue through the use of landscaping and building overhangs and/or canopies.
- Mitigate the auto-oriented nature of Madison Street through development of the street edge, while maintaining residential privacy.

CONTRIBUTE TO THE CHARACTER OF THE NEIGHBORHOOD

- The architectural character of the project is informed by the neighboring development. Massing and siting is appropriate to the street and relates to the neighborhood context.

ADDRESS THE SITE CONTEXT

- Understand and respond to its multiple contexts: the hard edge of the street along the north and west edges (14TH and Madison); the low-rise character to the east of the project site, especially as it transitions up Pike; and its corner location.
- Reinforce the open space connections and respond to the topography.



14TH AVE

E MADISON ST

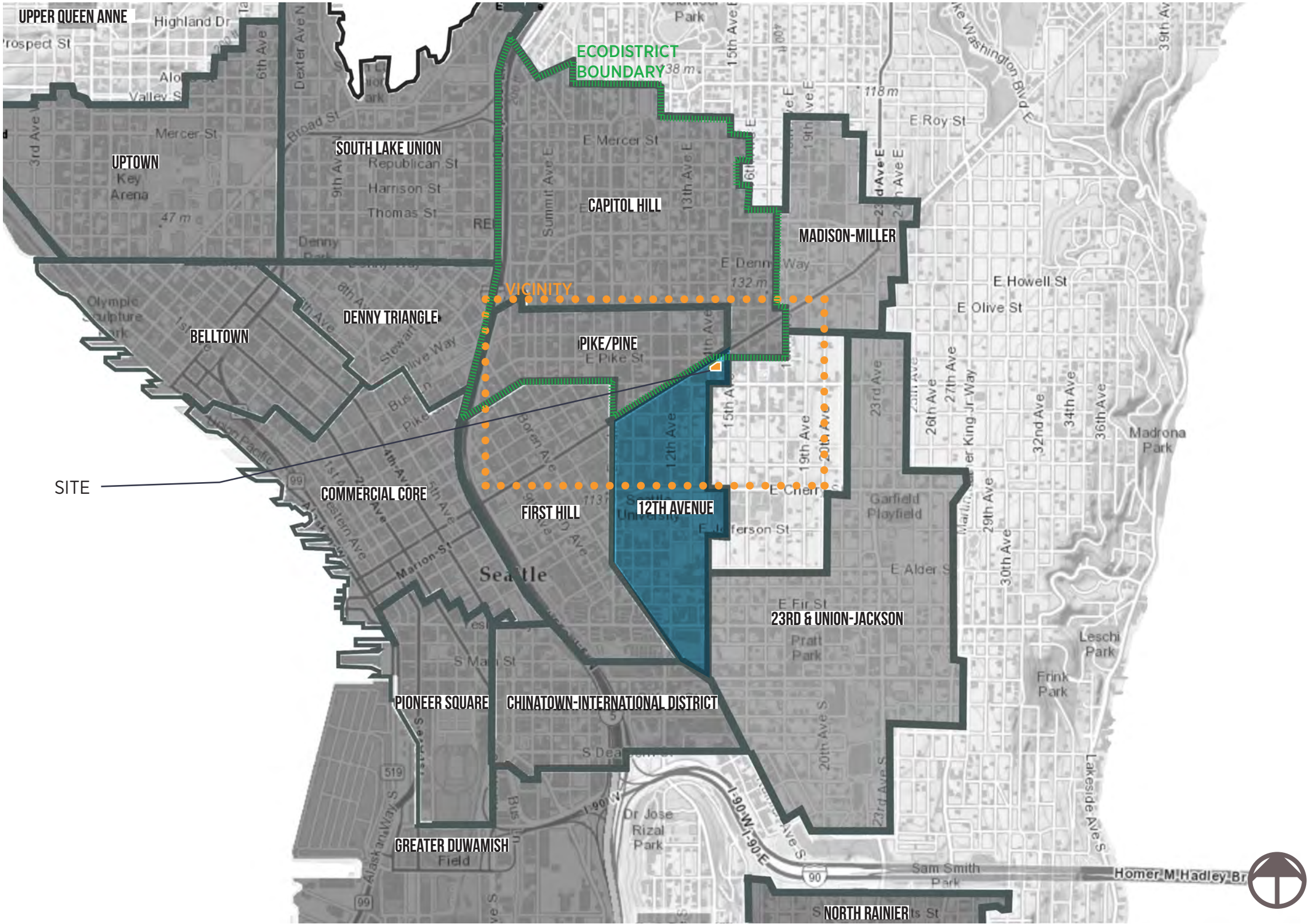
ZONING & OVERLAY DESIGNATIONS

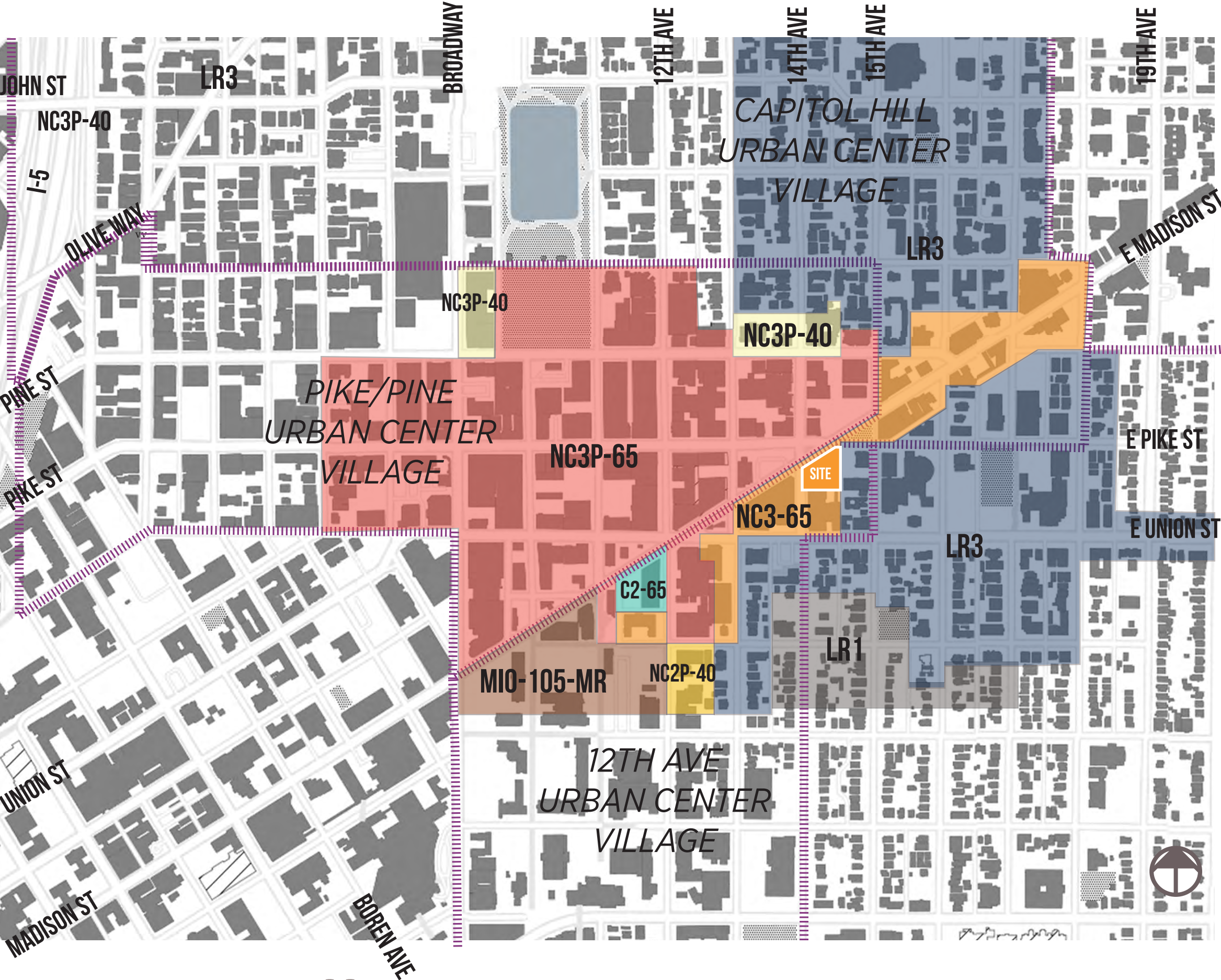
The site is located in Capitol Hill, one of the most vibrant neighborhoods in Seattle. The neighborhood is comprised of a mix of uses, with most new development being residential in nature.

It is located within the 12TH Avenue Urban Center Village. It borders the Pike/Pine Urban Center Village to the north and the Capitol Hill Urban Center Village to the northeast.

The site is also located across the street from the Capitol Hill EcoDistrict boundary, a framework for sustainability applied at a neighborhood scale.

The site is zoned Neighborhood Commercial 3 with a 65 foot height limit (NC3-65).





ZONING SUMMARY

KING COUNTY PARCEL NUMBER
7836800025-09

CODE: Seattle Municipal Code, Title 23 Land Use Code

DESIGN GUIDELINES

City of Seattle Design Guidelines

ZONING CLASSIFICATION (MAP 111)

NEIGHBORHOOD COMMERCIAL NC3-65

OVERLAY ZONING: 12Th Avenue Urban Center Village

SITE AREA

Total Lot Area = 26,068 SF (per survey)

STREET CLASSIFICATION: ARTERIAL, TRANSIT

East Madison Street: Principal Arterial, Major Transit Street

14th Avenue: Collector Arterial, Local Transit Street

East Pike Street: No Classification

PERMITTED USES (23.47A.004)

Residential, office, hotel, general retail sales, and multipurpose retail sales.

FAR (23.47A.013)

Total Mixed-Use Structure: 4.75

Total Single Use: 4.25

MAXIMUM ALLOWABLE AREA (23.47A.013)

(Site Area x FAR) 26,068 SF x 4.75 FAR = 123,823SF

PARKING

No minimum requirement

MAXIMUM ALLOWABLE AREA (23.47A.013)

(Site Area x FAR)

26,068 SF x 4.75 FAR = 123,823SF

URBAN VILLAGE BOUNDARIES

SITE

NC3P-40

C2-65

NC2P-40

LR1

NC3-65

LR3

NC3P-65

MIO-105-MR

TRANSPORTATION,
SITE VIEWS
& FEATURES

Walking, bicycling, and taking the public transit are all excellent alternatives to driving in the Capitol Hill neighborhood. The site is surrounded by bus routes providing direct access to and from Madrona, Madison Valley, Downtown, North Capitol Hill, and the University District. Dedicated nearby bicycle lanes are on 12th Avenue, Pine and Union Streets. In general, the neighborhood is extremely bicycle friendly and bicycle use is high.

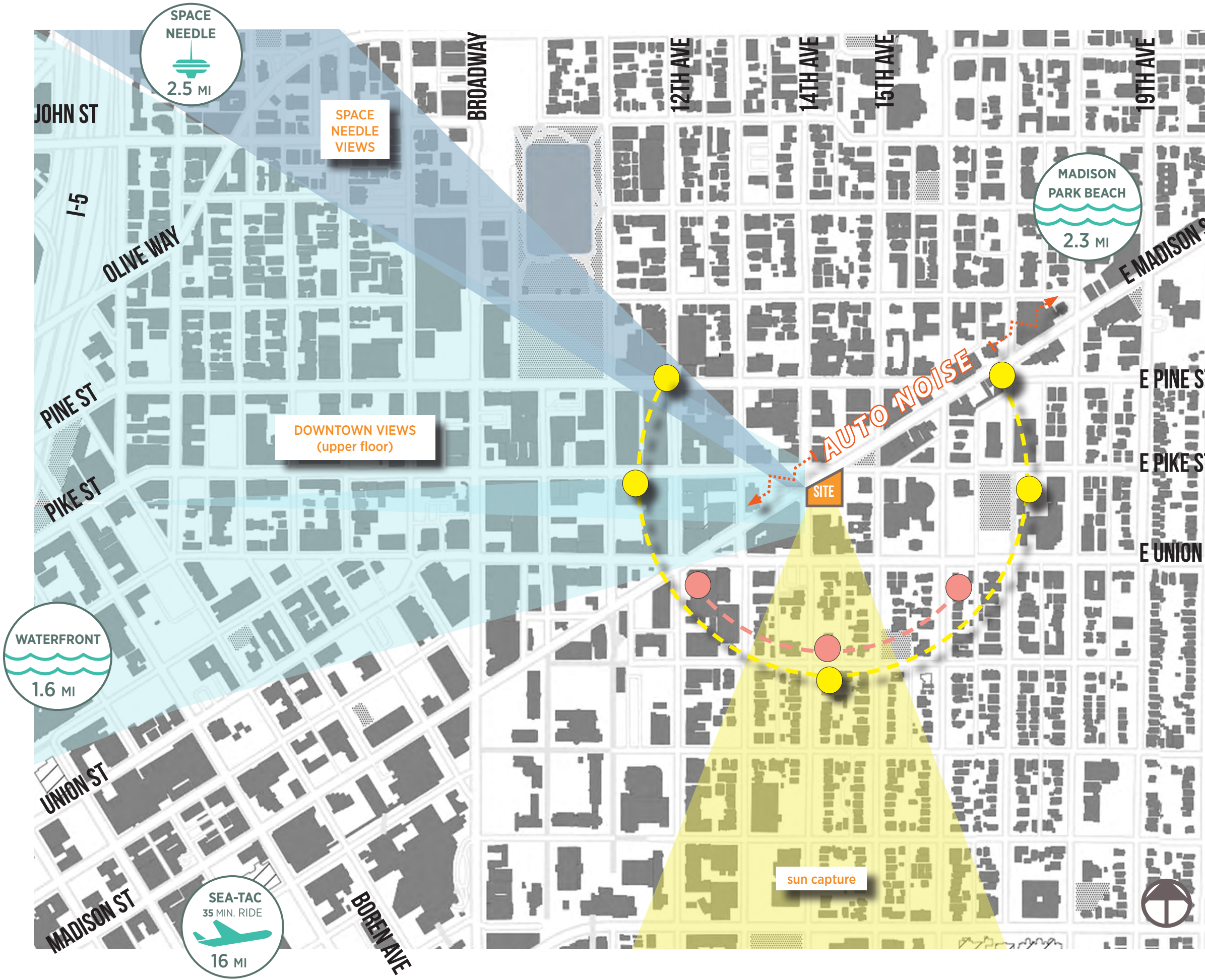
Northwest of Cal Anderson Park is the site of the new light rail station, which connects riders as far south as the SEA-TAC airport, and in the future as far north as Northgate. Our site is also located along the proposed Bus Rapid Transit Corridor along Madison. It is also near the future Streetcar station along Broadway. Our site is remarkably well located for those who are seeking a car free lifestyle. Our project will treat the street with a sensitivity towards traveling by bicycle, foot and multi-modal public transit.

- INTERSTATE
- PRINCIPAL ARTERIALS*
- MINOR ARTERIALS*
- COLLECTOR ARTERIALS*
- BIKE LANE
- FUTURE STREETCAR LINE
- PROPOSED BUS RAPID TRANSIT CORRIDOR**

SITEMAJOR BUS STOPSFUTURE LIGHT RAIL STATIONFUTURE STREETCAR STATIONPROPOSED BRT STATION

*Per Seattle Arterial Classifications Planning Map
**Per SDOT Seattle Transit Master Plan





SITE VIEWS

Upper level floors and roof deck have potential panoramic views toward downtown to the west, with secondary views of the Space Needle to the northwest of the site. Additional views from the site include Queen Anne and the Space Needle.

STREET CHARACTERISTICS

EAST MADISON STREET- (Northwest of Project Site)



- Principal Arterial Street – Serves as the principal route for the movement of traffic through the City. (Seattle Arterial Classifications Map).
- Major Transit Street (Transit Classification Map).
- Madison is characterized as a fast-moving, busy street with high traffic and high noise in each direction of the two lane street. There is currently off peak parking in front of the site. The change in grade presents an access challenge.

14TH AVENUE - (West of Project Site)

- Collector Arterial Street – Collects and distributes traffic from Principal and Minor Arterials to Access Streets or directly to local destinations (Seattle Arterial Classifications Map).
- Local Transit Street (Transit Classification Map)

EAST PIKE STREET – (North of Project Site)

- Unclassified Street
- Arterial/Access Street – provides project access from the arterial network. (Seattle Transit Classifications Map, Seattle Arterial Classifications Map)
- Pike, at this location, is typically used for immediate neighborhood access. There is a significant pedestrian curbcut to allow for a crossing to Madison and McGilvra Place Park.

-  21 JUNE 2015: SUNRISE 5:11 AM, SUNSET 9:11 PM
-  22 DECEMBER 2015: SUNRISE 7:55 AM, SUNSET 4:21 PM

NODES, NOTABLE
PATTERNS &
DESIGN CUES

THE MADISON AVENUE BUILDING
RESPONSE TO THE CORNER
AND STREET GRID:
ARCS, PROWS AND CHAMFERS

Buildings along Madison Avenue have responded to the corner and the shifting street grid in three primary ways, in the form of the arc, prow and chamfer. The arched and chamfered facades are typically composed of brick or masonry, and carry this geometric expression at the ground level. The older masonry buildings have classical detailing, while the newer buildings are stockier in comparison. There is typically a clearly defined base, middle and top, regardless of whether it holds residential, retail or commercial uses at the ground level.

In general, newer buildings use edges and planes to define the corner. They are characterized by a flatness to their facades, with very little articulation to them. Materially, they use metal panel, or fiber cement to achieve this expression.

Taking cues from the buildings along Madison Avenue, the buildings hold the corner, regardless of what era they were built, what materials were used, whether an entry occupies it or not, or what use it holds. With the exception of the 2 and 3-story buildings, there is also a clearly defined base and top.

ARCS

CHAMFERS

PROWS

SITE



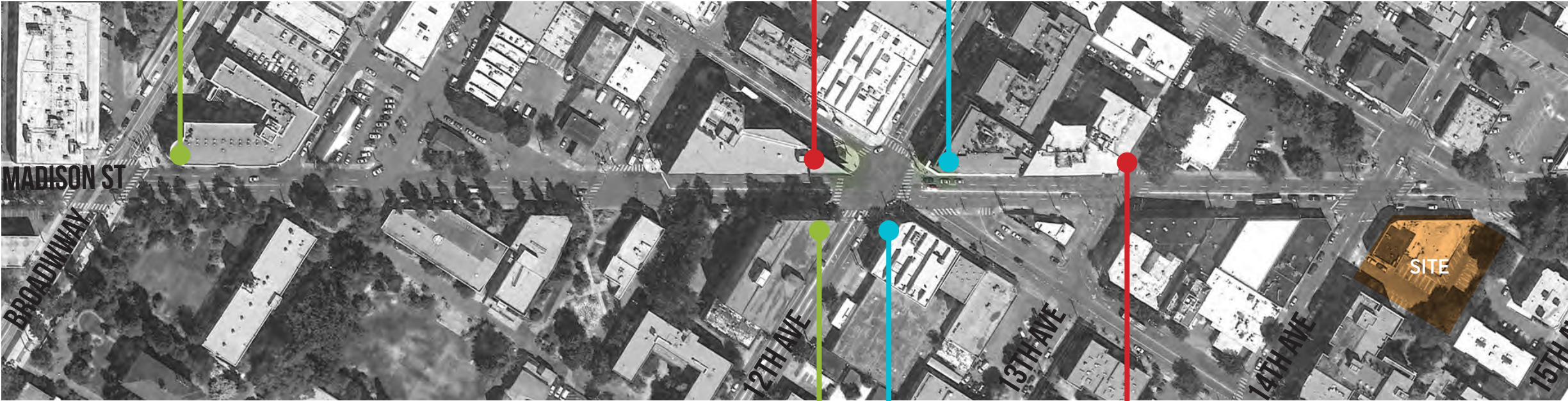
SILVER CLOUD HOTEL



VIVA



TRACE LOFTS



STORAGE



SAAS



CITIZEN



PEARL APARTMENTS



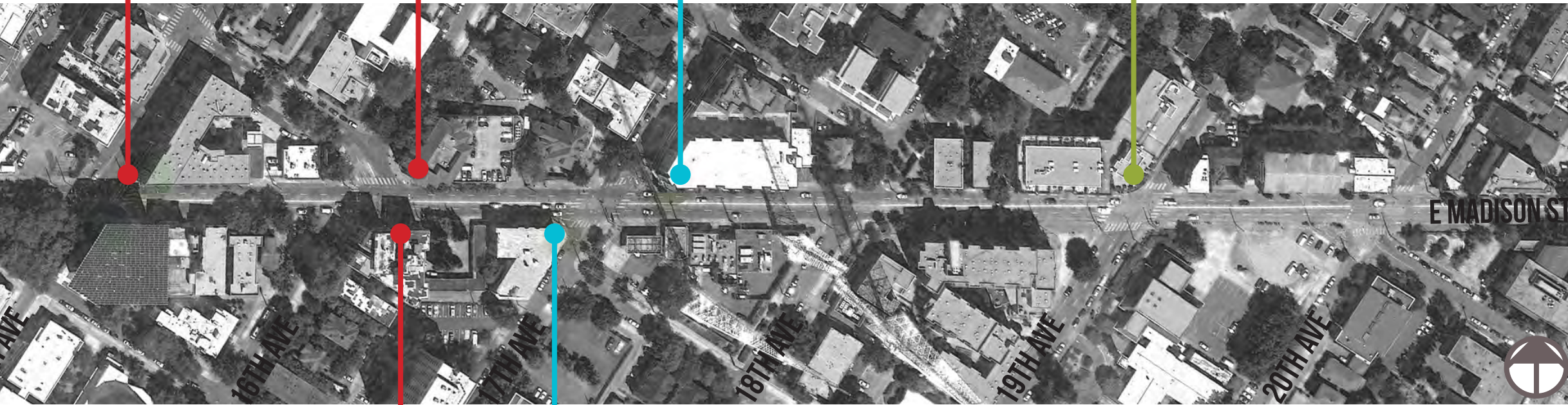
CENTRAL CO-OP



1700 MADISON



LAWRENCE LOFTS



1605 E MADISON

1785 E MADISON



NODES, NOTABLE
PATTERNS &
DESIGN CUES

THE MADISON AVENUE BUILDING
RESPONSE TO THE TOPOGRAPHY
HOLDING THE STREET EDGE

Buildings along Madison Avenue all hold the street edge, regardless of whether they hold residential or retail uses. They step up with the topography. Modulation, if any, occurs at building entries. The level and type of transparency varies depending on use. In general, a punched opening denotes residential uses, the use of storefront denotes retail uses.

In general, newer residential buildings have their primary entry off of Madison Avenue, using the busy street for secondary means of egress only. This is also true of the main commercial and retail entries: these entries mainly occur at the corner or just off the corner at the intersecting street. Older buildings, especially those that are all residential in function, have their primary entry along Madison. Often recessed, these entries utilize stairs to mitigate the grade change.

There has been some softening and creative treatment of the building edges along Madison; however most hold the edge firmly. We propose to use some landscaping to soften the transition between the building edge and Madison as the building ramps up toward East Pike Street and to hold the corner firmly at the retail edge. Keeping in line with the newer building precedents, we also propose to create an inviting residential building entrance off of Madison, just as the building turns the corner east, right on E Pike Street.

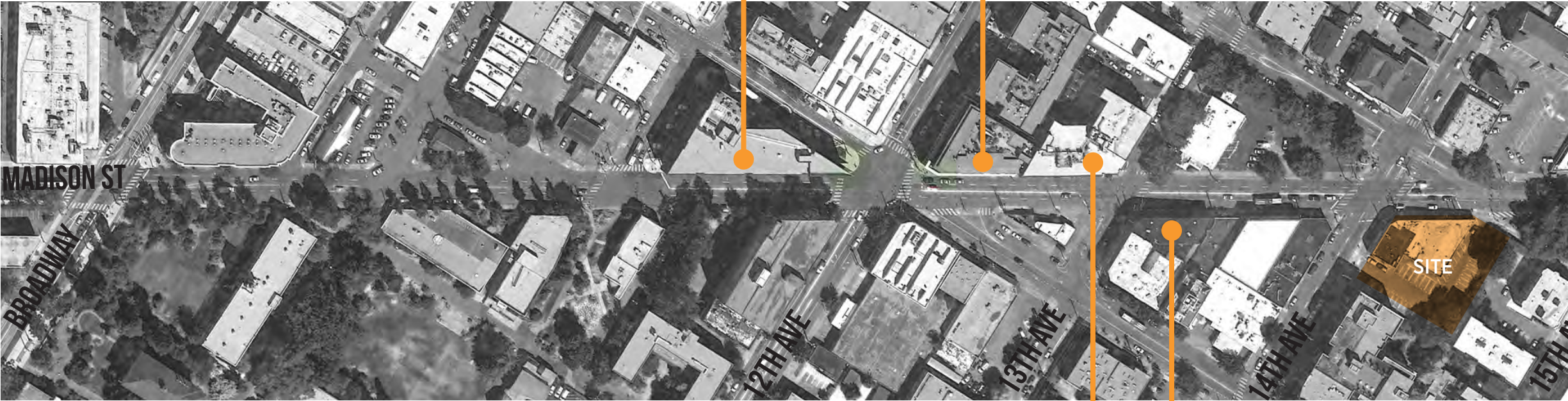
✕ SITE



VIVA



TRACE LOFTS



CITIZEN



1305 E MADISON



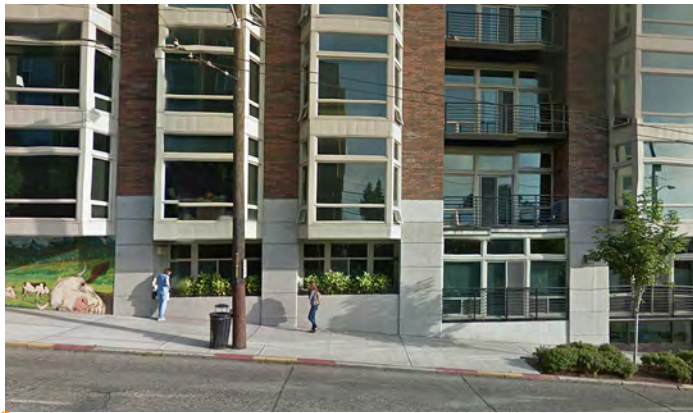
PEARL APARTMENTS



CENTRAL CO-OP



1700 MADISON



LAWRENCE LOFTS



BULLITT CENTER



1605 E MADISON



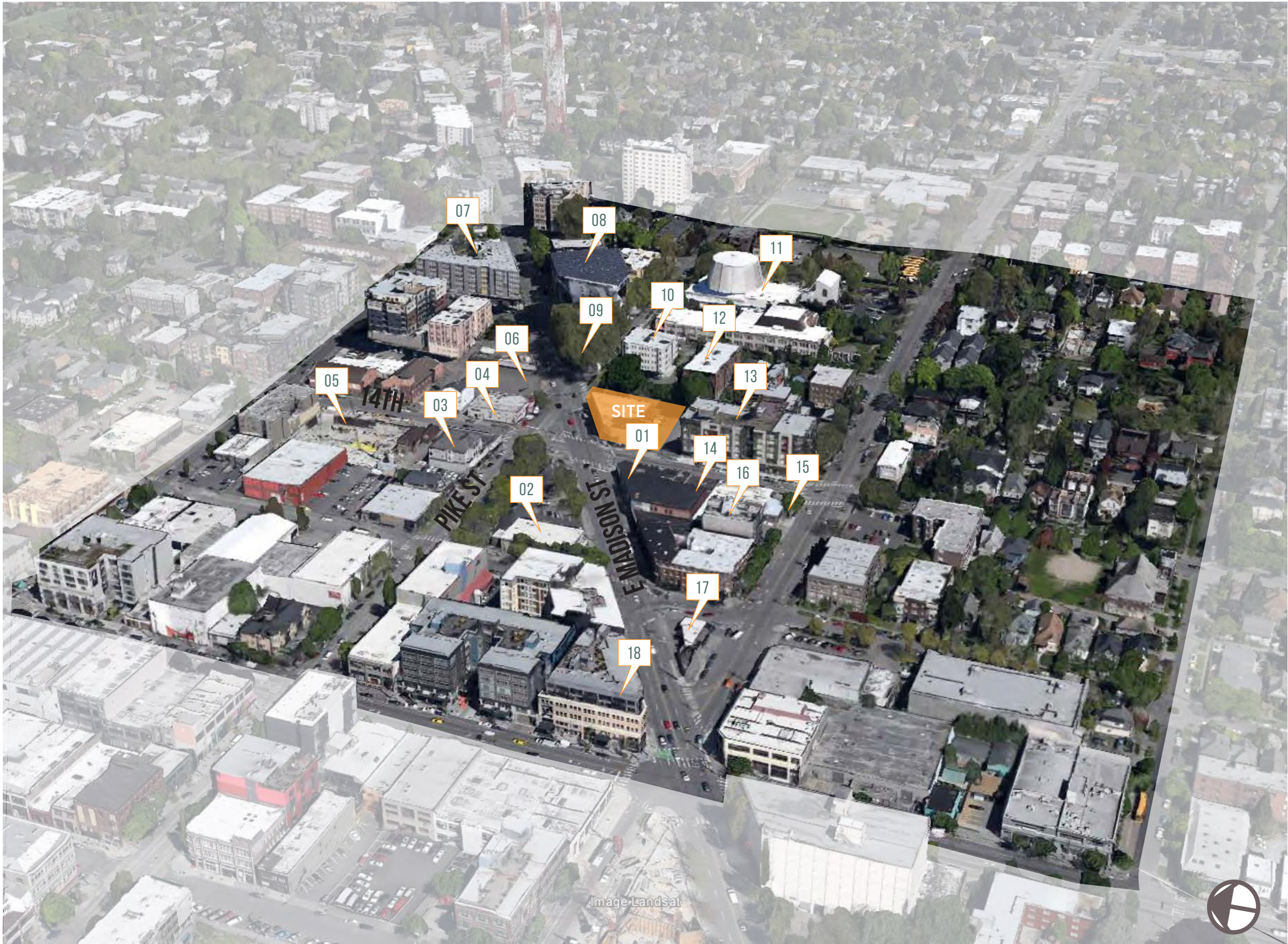
1785 E MADISON

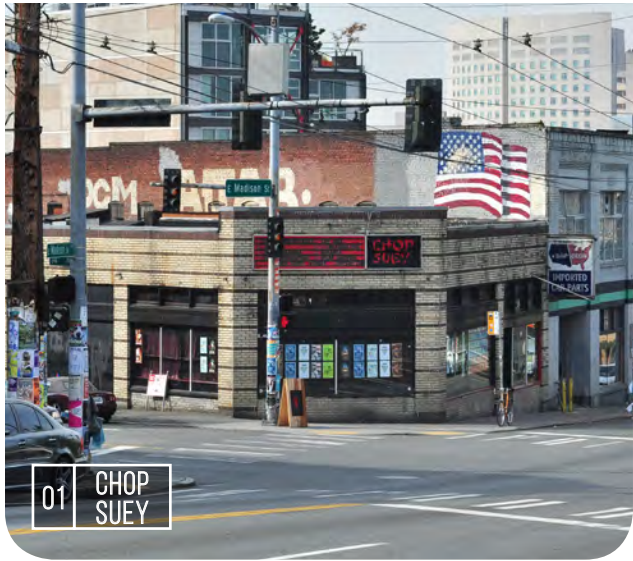


SURROUNDING USES & STRUCTURES

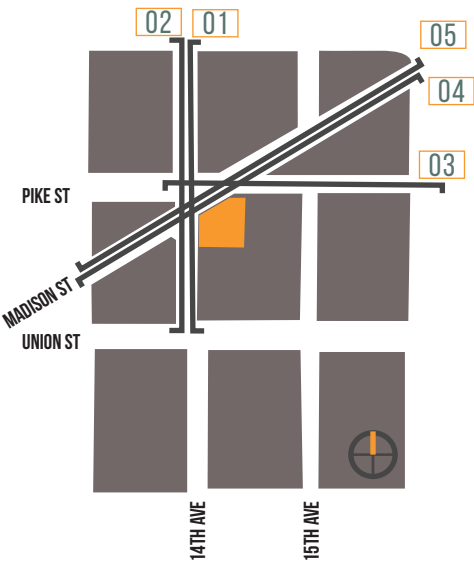
Surrounding uses and structures include an eclectic mix of old and new residential and commercial developments. The surrounding context continues to evolve, with a large mixed-use residential development just completed and a new one in the planning stages across the street. While there are a stock of classically detailed brick buildings, most new buildings tend to use modern materials and massing to add a new character to the neighborhood.

- 1 CHOP SUEY
- 2 BANK OF AMERICA
- 3 ARTIFICIAL LIMB CO (COMMERCIAL BUILDING)
- 4 COMMERCIAL BUILDING
- 5 REO FLATS
- 6 1420 E MADISON (FUTURE MIXED-USE/FORMER TACO TIME SITE)
- 7 PEARL APARTMENTS
- 8 BULLITT FOUNDATION
- 9 MCGILVRA PLACE PARK
- 10 IMPERIAL APARTMENTS
- 11 TEMPLE DE HIRSCH SINAI
- 12 QUALMAN APARTMENTS
- 13 CHLOE APARTMENTS
- 14 DIESEL/BAR SUE
- 15 RESTAURANT ZOE
- 16 1310 E UNION LOFTS
- 17 PONY BAR
- 18 TRACE LOFTS





STREETSCAPES





SURROUNDING USES & STRUCTURES

IMMEDIATE CONTEXT

As commented on previous pages, the site is surrounded by a wide range of structures and uses, from parks, restaurants, nightlife, as well as a wide range of housing—all using a mix of materials and styles.

- BAR/NIGHTLIFE
- RESTAURANTS/CAFE
- RELIGIOUS INSTITUTIONS
- OFFICE
- MULTI-FAMILY RESIDENTIAL
- BUSINESS
- EDUCATION



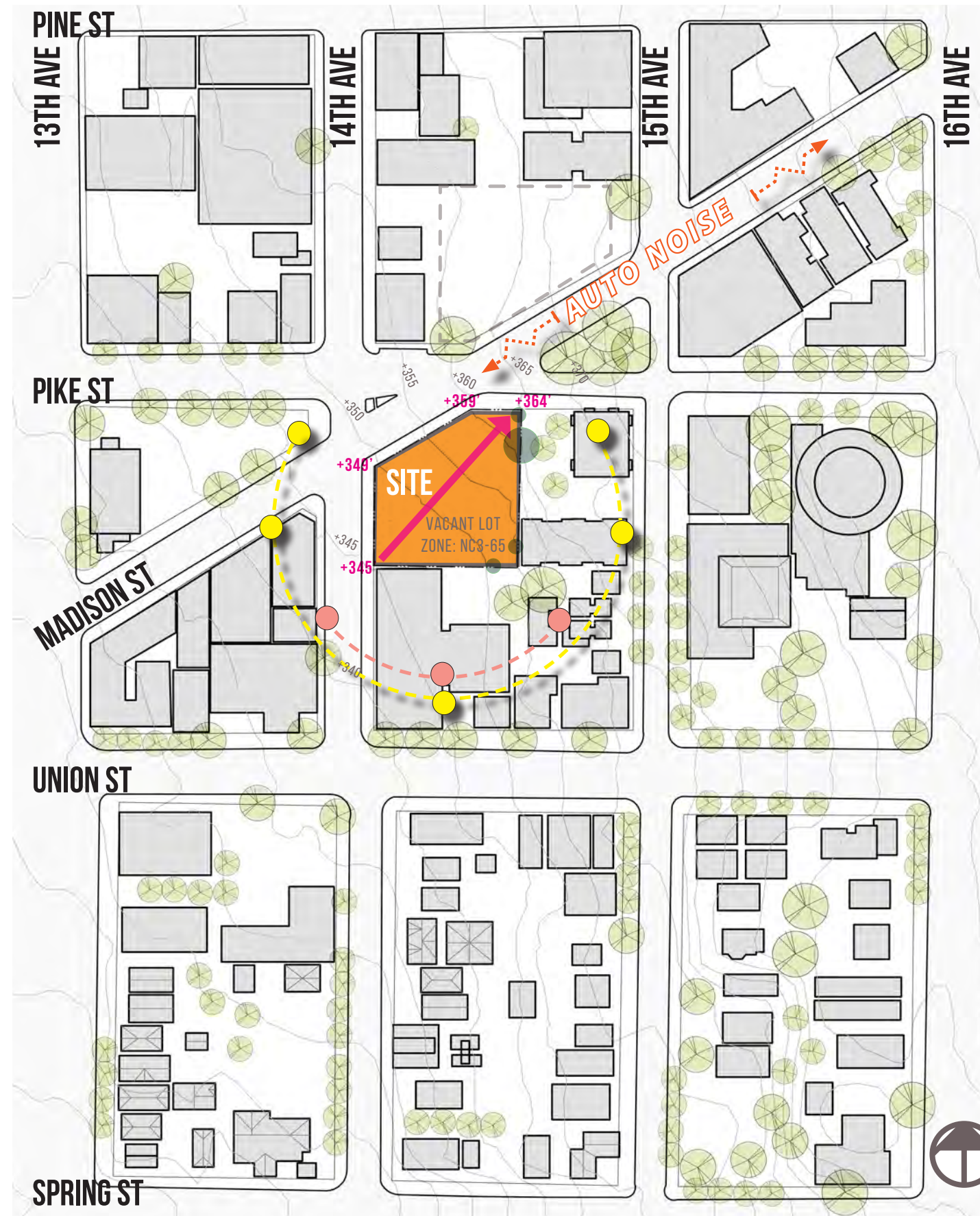
TOPOGRAPHY, PHYSICAL FEATURES & LANDSCAPE ELEMENTS

IMMEDIATE CONTEXT

Located at 1401 E Madison Street, the site area is approximately 26,068 SF and fronts 14TH Avenue, East Madison Street and East Pike Street.

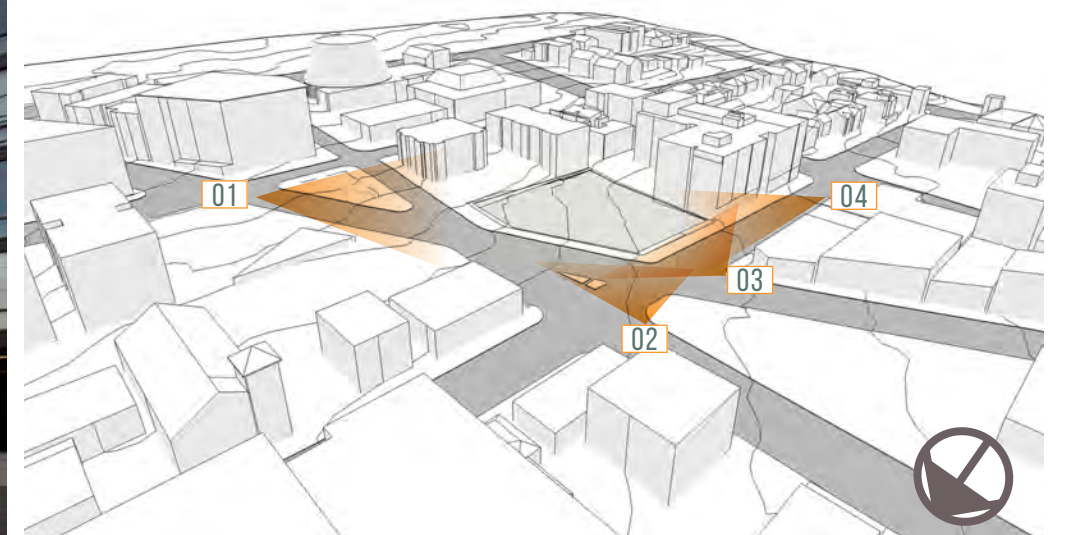
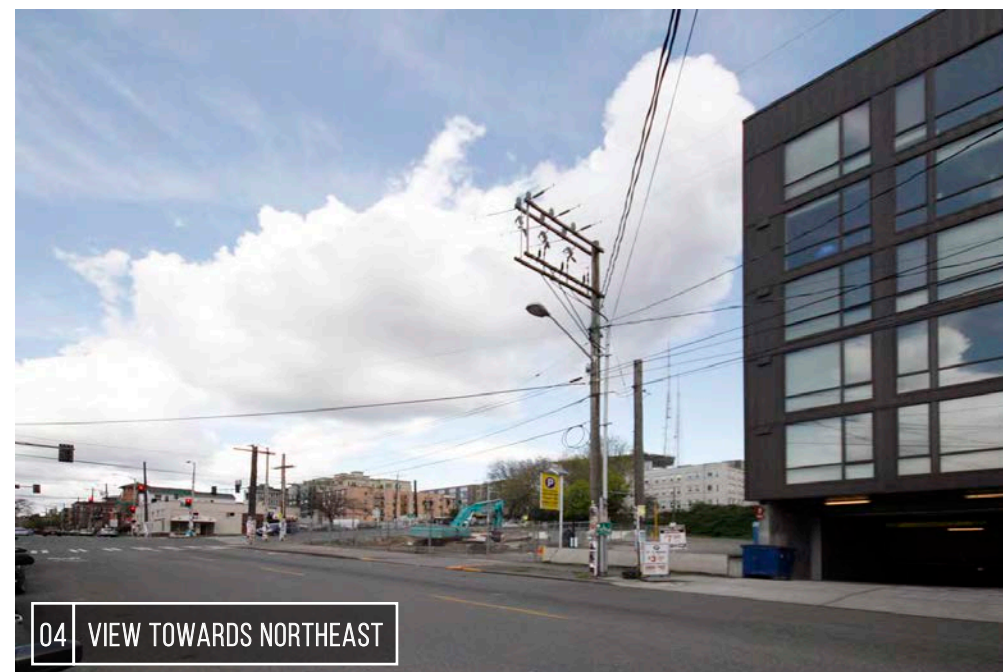
The site slopes uphill from a low point at the southwest corner to a high point at the northeast corner. There is an elevation gain of almost 20 feet between the southwest and northeast corner.

There are no structures on site.



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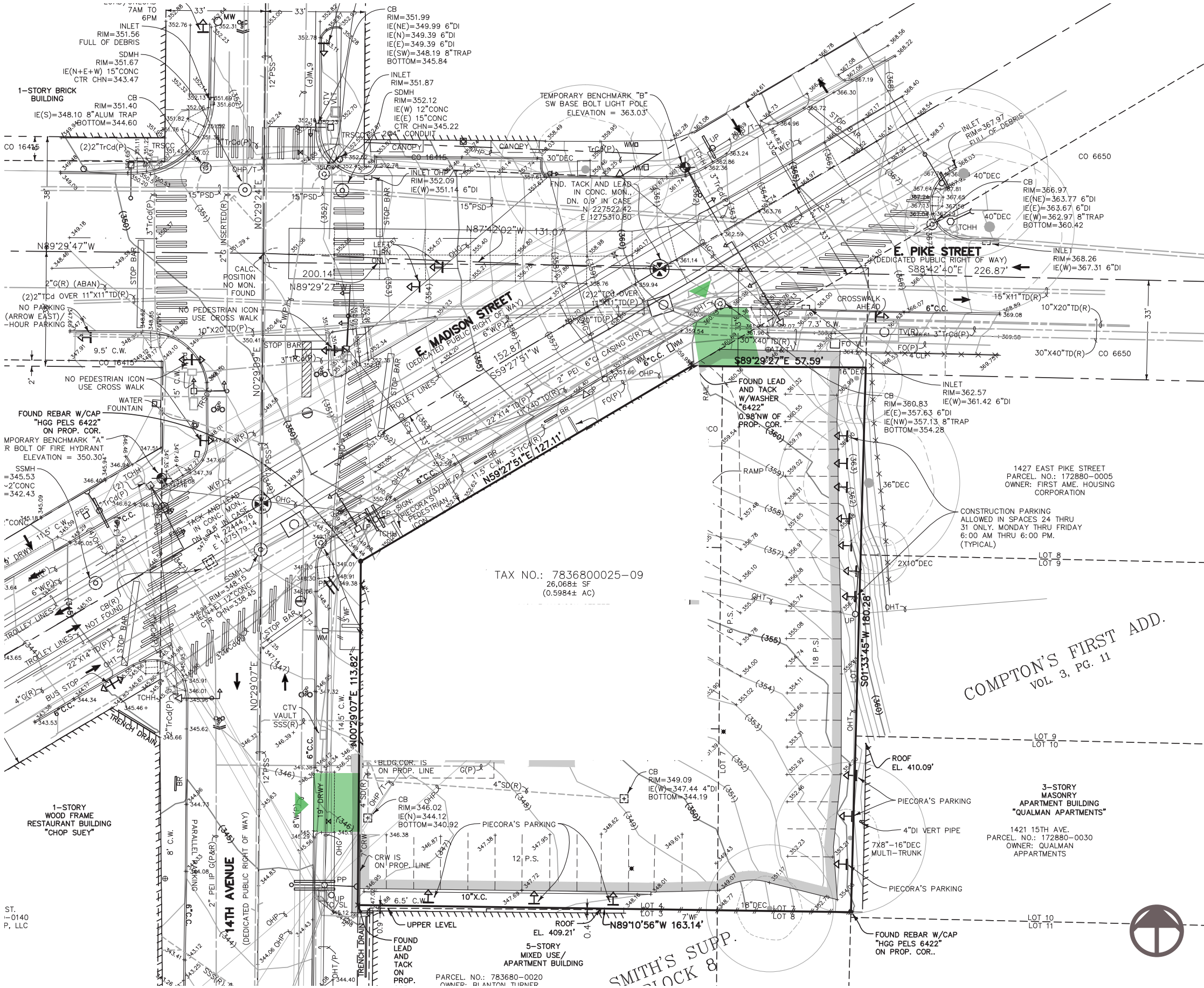
SITE PHOTOS



EXISTING SITE
CONDITIONS

The site is currently vacant.

Access to the site currently occurs in two places: along
14TH Avenue and East Madison Street



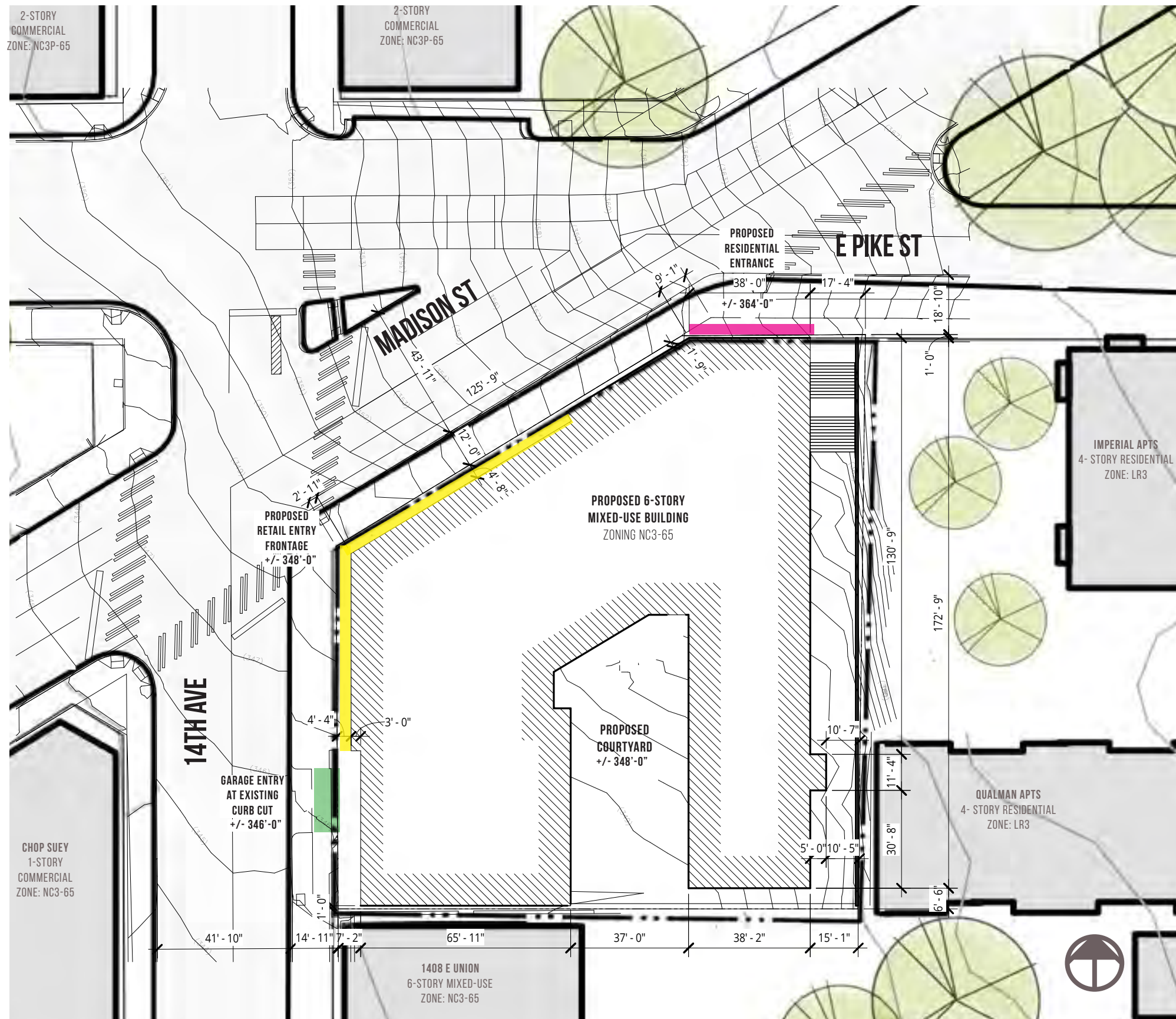
Existing Vehicular Entry

PRELIMINARY SITE PLAN

To allow for the strongest, most viable retail, we propose a highly transparent commercial street front along 14th and Madison. The proposed retail entry/entries will mainly be along 14th or at the building corner due to the grade change along Madison. The proposed residential entry is along E Pike, allowing for some visual and physical separation from vehicle-oriented Madison. The residential entry will be setback from the property line to help with the slight grade change (+/- 4') along E. Pike. As the grade steps up along Madison (+/- 10'), a landscape buffer is proposed to help with the transition from retail to residential uses.

A break in the Madison street frontage separates retail from residential, with the proposed residential entry off of E Pike Street. Conceptually, the E Pike Street frontage signifies the start of the private “Mews”, and is the beginning of a pedestrian experience that is more residential in character. Also, in keeping with the established Madison Avenue building precedents, the primary residential entry is located off the busy street.

The proposed vehicular entry is along 14th Avenue. Due to the limited street frontage and pedestrian curb ramps/crossing along E Pike there is no room for vehicular entry at this location. Moreover, a vehicular entry along the heavily trafficked Madison Street frontage would negatively affect the streetscape and potential pedestrian safety. The most logical location is at the southeast corner of the site.



Retail Entry

Residential Entry

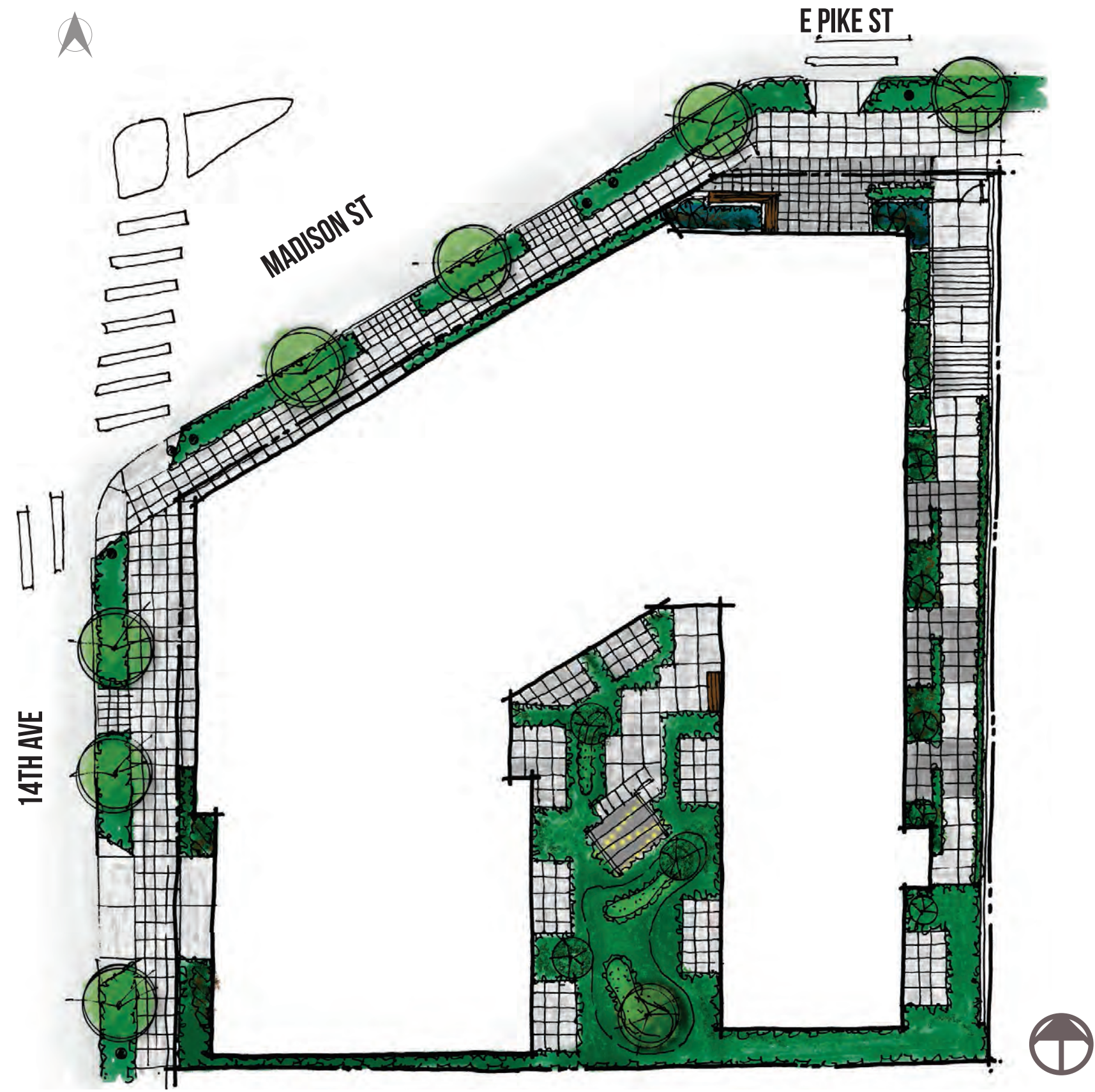
Vehicular Entry at Existing Curb Cut

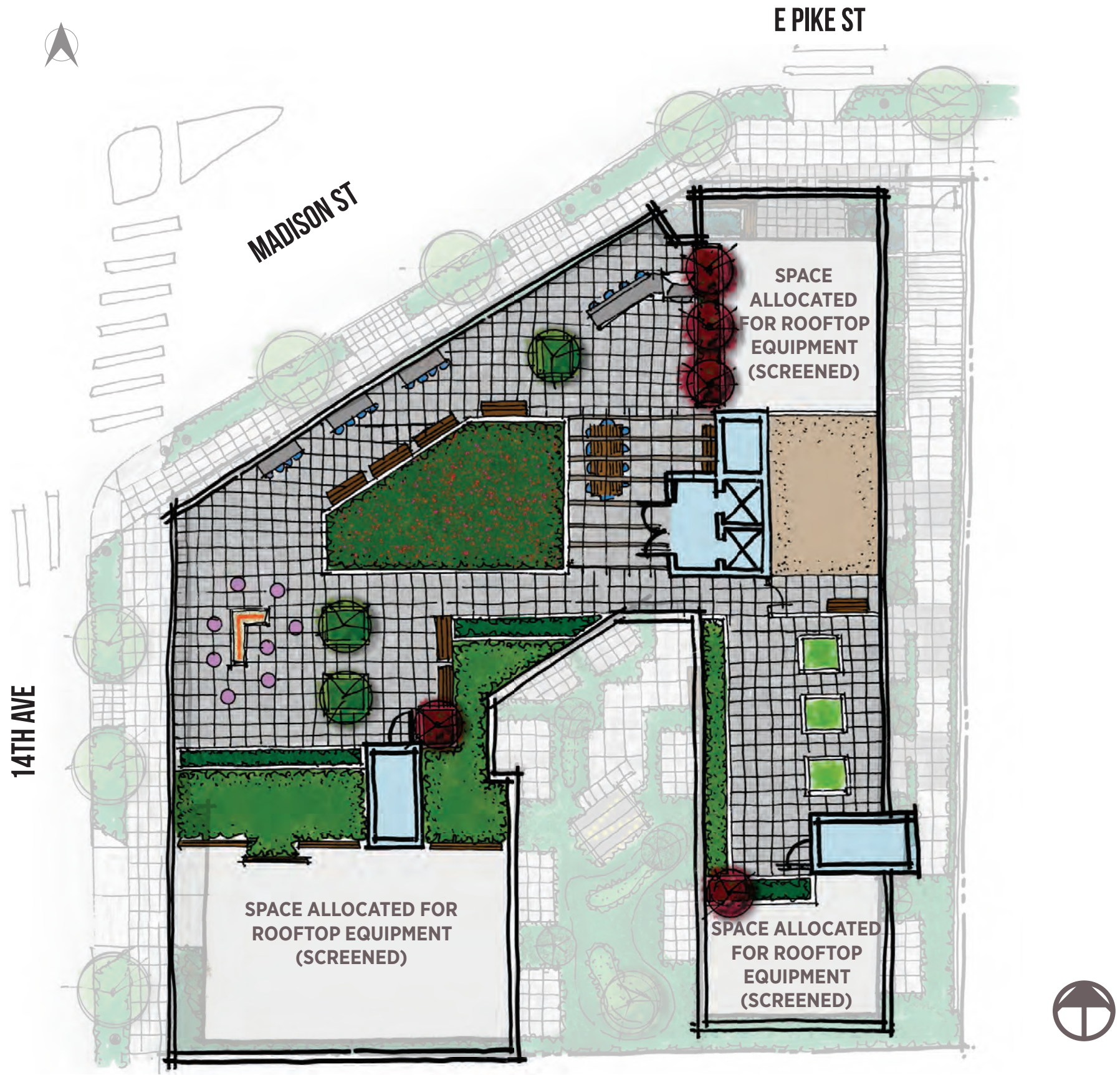
PRELIMINARY LANDSCAPE PLAN

GROUNDPLANE

A generous building setback along 14th Avenue offers opportunities for landscape design that responds to pedestrian wayfinding mechanisms as well as the experience to the user. The streetscape along 14th Avenue will accommodate a planting strip that compliments the planting to the recently completed development to the south. The 6.5'-wide (min.) planter strip will have new street trees, low shrubs and groundcover. The selected plant palette will take into account the transparency for the proposed retail along 14th Ave., as it transitions to the E. Madison intersection.

The potential for accent paving may also reinforce the pedestrian experience while also act as a wayfinding mechanism, once the interior program is defined. A small planting area between the property line and building façade will help provide a soft, strategic buffer along the sidewalk and interior private-programming, when needed. As the pedestrian experience transitions onto E. Madison, a 5.5'-wide planter strip will accommodate new street trees, low shrubs and groundcover. The planting will reflect the transitioning from the retail component to the residential entry/lobby space, as well as the private Mews along the east property-line, at E. Pike. To navigate the grade down to the private mews, the design team will integrate tiered planters, a staircase with a bike runnel and adequate lighting to provide a safe and energetic space. Private terraces will be defined by the use of special accent paving and privately reinforce with the use of buffered planting and potential fence/gate elements.





PRELIMINARY LANDSCAPE PLAN

COURTYARD

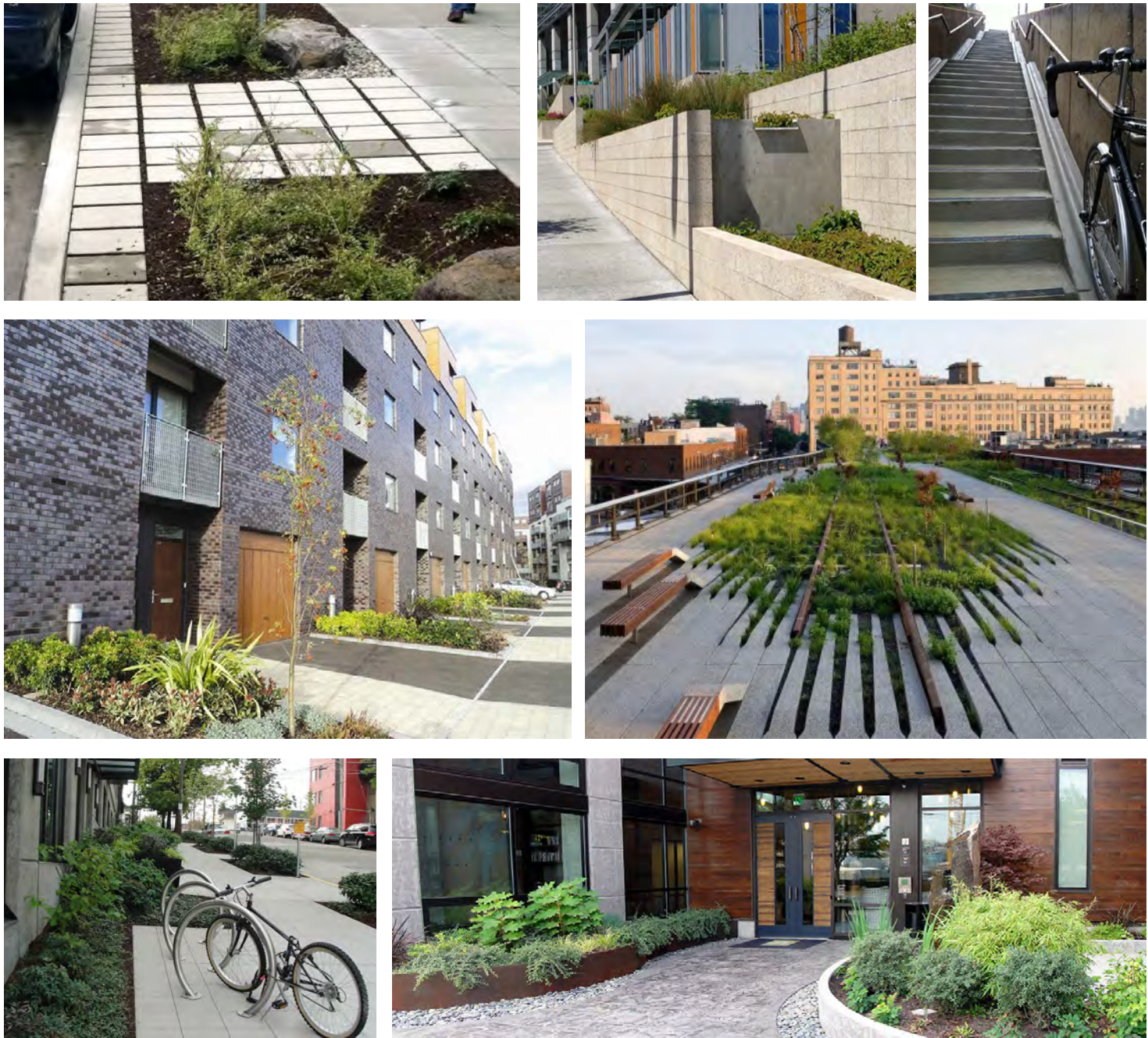
The private interior courtyard will be surrounded by private terraces that will be buffered by planting. The vegetated oasis will be reinforced by incorporating low berming to provide another organic element while adding to the verticality and variety of the planting scheme. The planting will consists of a plant palette that plays with the senses with various textures, colors, fragrances and scales. The focal point of the courtyard will be an open-cabana structure that will have seating and ambient lighting. This semi-open air structure will provide the user a special place to reflect, socialize and experience the meandering landscaped oasis, while also providing an ambient beacon for those tenants that surround the courtyard.

ROOFDECK

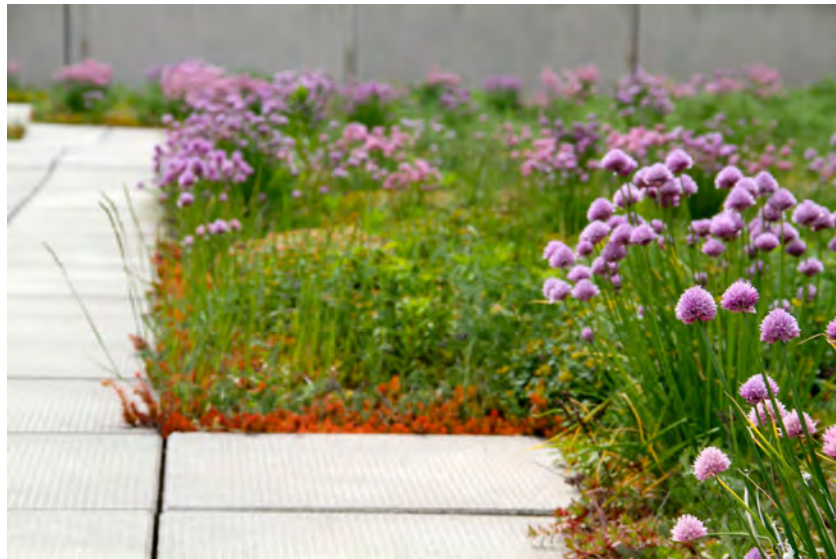
The roof deck terrace will include such program elements as the following: areas allocated for pet parks, semi-open trellis structures that help define activated areas for outdoor dining/socializing, outdoor kitchen/BBQ, small and large group seating, and areas for active p-patch/food cultivation, green roof components as well as raised planters. The pedestrian wayfinding will be reinforced by different paver colors and textures as well as the use of decking to signify special spaces and sense of arrival.

There will also be areas for rooftop equipment at the south end of the site.

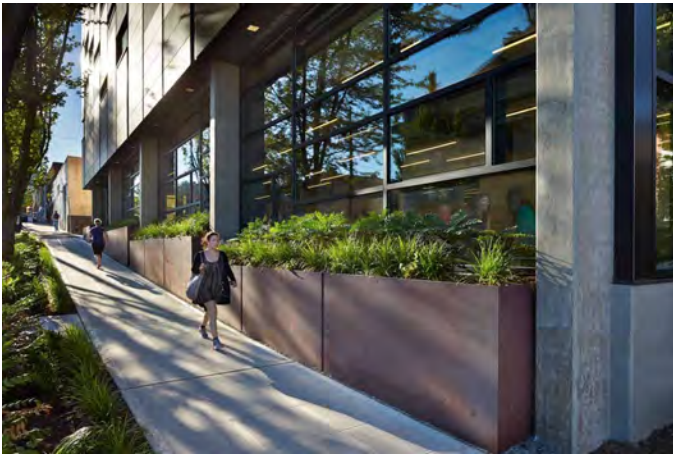
LANDSCAPE
CHARACTER



ground plane elements



roof deck elements



Key Seattle Design Guidelines	Related Capitol Hill supplemental guidance (NOTE: the site falls just OUTSIDE the boundaries of the Capitol Hill Urban Center Village; however we want to respond to the overall neighborhood goals.)	Project Response
<p>CS1: Natural Systems and Site Features:</p> <p>Use natural systems and features of the site and its surroundings as a starting point for project design.</p>		<p>A significant feature of the site is the sloping street topography, especially along Madison. There is a 20-foot change in elevation from the southwest corner of the site, at 14th, and the northeast corner of the site, at E Pike Street. Another feature of the site is its corner location. The proposed massing responds architecturally to the grade change and its corner location by holding the corner and sloping up with the site, as do most buildings along the Madison Avenue corridor as previously outlined in the Design Cues study.</p> <p>The preferred plan takes advantage of the site features and natural systems through:</p> <ul style="list-style-type: none">•Solar exposure by orienting the largest percentage of open space to allow the most light to reach residents, while also respecting the open space and solar access of the neighbor to the south.•Natural ventilation by creating an open south-facing courtyard to allow breezes to pass through.•Plants and habitats by helping to mitigate stormwater runoff and the heat island effect through providing appropriate landscaping and green roofs.
<p>CS2: Urban Pattern and Form:</p> <p>Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.</p>	<p>Neighborhood Priority: Siting of a new building should reinforce the existing desirable spatial characteristics of the Capitol Hill streetscapes.</p> <p>I. Streetscape Compatibility</p> <p>II. Corner Lots: Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from the corners.</p>	<p>The preferred site plan enhances and strengthens the desirable forms, characteristics and patterns of the street and adjacent developments.</p> <p>I. The proposed building orientation continues the pattern of development of holding the street edge. The introduction of landscaping along Madison, in the form of terraced planters, responds to the sloping topography and softens the pedestrian experience along this auto-oriented street.</p> <p>II. A continuous street edge along 14th & Madison, with a clearly articulated upper and lower base reflects the building program and use. Retail will occupy the corner of 14th & Madison, allowing for greater transparency and a strong presence along the street. The parking entry will be at the southeast corner of 14th, occupying the previous curb cut.</p>
<p>CS3: Architectural Context and Character:</p> <p>Use natural systems and features of the site and its surroundings as a starting point for project design.</p>	<p>I. Architectural Concept and Consistency</p> <p>iv. Use materials and design that are compatible with the structures in the vicinity if those represent the desired neighborhood character.</p>	<p>Taking cues from the buildings along Madison Avenue, the buildings hold the corner, regardless of what era they were built, what materials were used, whether an entry occupies it or not, or what use it holds. In general, newer buildings use edges and planes to define the corner. They are characterized by a flatness to their facades, with very little articulation to them. Materially, they use metal panel, or fiber cement to achieve this expression. This project responds to the general scale of these existing developments, and seeks to further break down the massing at the ground level, particularly at the 14th & Madison corner. High quality materials, emphasizing a simple, yet elegant, form will be used to enliven the corner.</p>

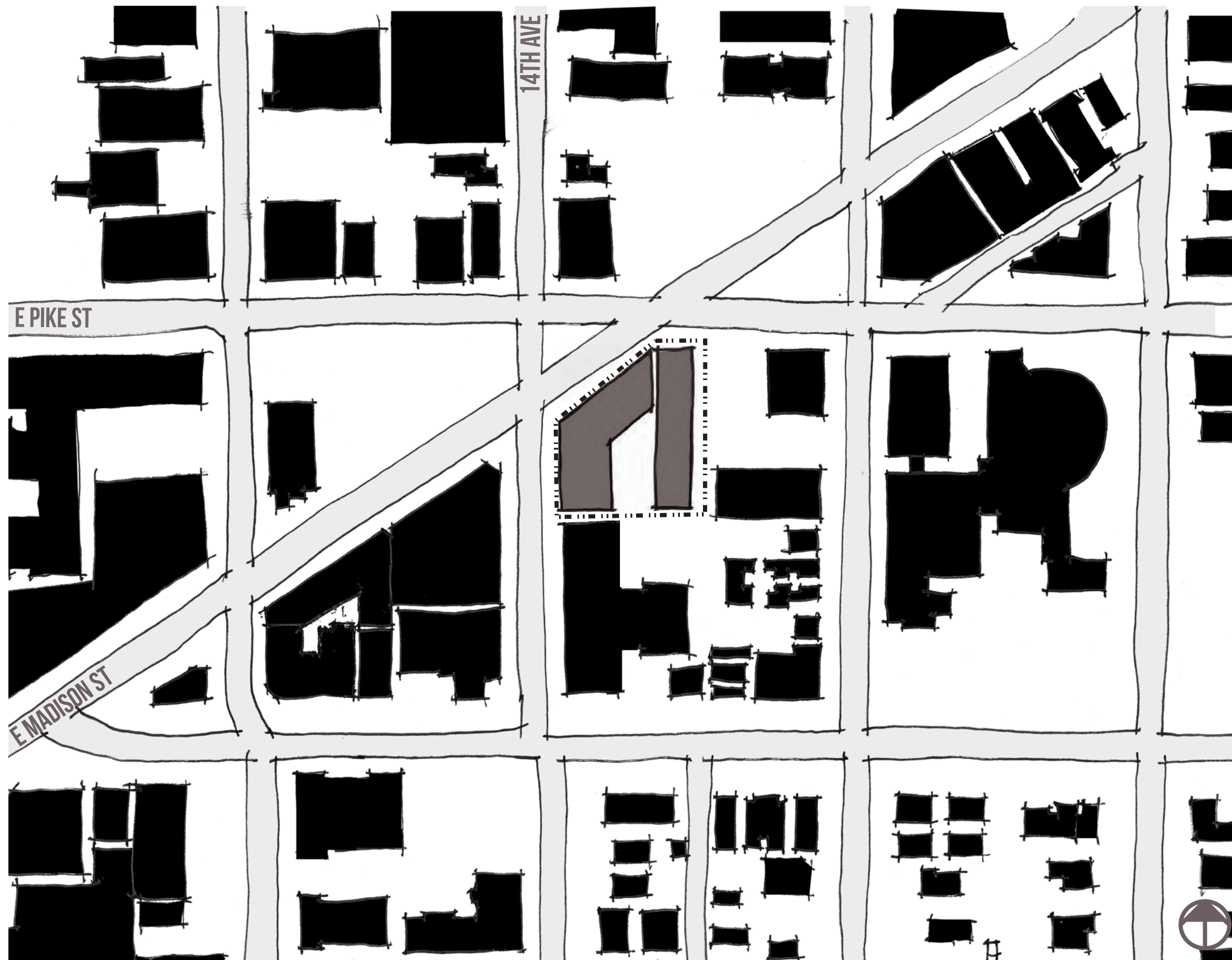
Key Seattle Design Guidelines 2013	Related Capitol Hill supplemental guidance (NOTE: the site falls just OUTSIDE the boundaries of the Capitol Hill Urban Center Village; however we want to respond to the overall neighborhood goals.)	Project Response
<p>PL2: Walkability:</p> <p>Create a safe & comfortable walking environment that is easy to navigate and wall-connected to existing pedestrian walkways and features.</p>	<p>I. Human Scale</p> <p>i. Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the building’s architecture.</p> <p>II. Pedestrian Open Spaces and Entrances</p> <p>iii. Building entrances should emphasize pedestrian ingress and egress as opposed to accommodating vehicles.</p> <p>III. Personal Safety and Security</p>	<p>A walkable streetscape that is compatible and enhances the character of 14th Avenue includes widening the sidewalk and continuing the landscaping/streetscape rhythm established by our neighbor to the south. At Madison Avenue the goal is to soften the transition from building edge to sidewalk through the use of integrated planters. At this corner, the retail entrance(s) will be emphasized, encouraging activity along the street. Along East Pike Street, a recessed entry and landscaping elements create a welcoming entry for residents, defining private and social space. The garage entry is located at the southeast corner of the site, far from either of these locations, creating a safe environment for pedestrians.</p>
<p>PL3: Street-Level Interaction:</p> <p>Encourage human interaction and activity at the street-level with clear connections to building entries and edges.</p>	<p>I. Human Activity</p> <p>New development should be sited and designed to encourage human activity on the street.</p> <p>i. Provide for sidewalk retail opportunities and connections by allowing for the opening of the storefront to the street and displaying goods to the pedestrian.</p> <p>iii. Install clear glass windows along the sidewalk</p>	<p>The preferred concept encourages human interaction and activity at the street level, providing clear connections for the public and residents. Retail will anchor the corner of 14th & Madison, creating a welcoming, transparent base to encourage activity. Landscaping and a clear retail entry promotes neighborhood interactivity. Preferred primary resident access to the lobby and amenities is from East Pike Street and is activated with an ensemble of elements: an appropriately designed lighting scheme to promote safety and security, landscaping to enhance and soften the transition between public and private.</p>
<p>DC1: Project Uses/Activities:</p> <p>Optimize the arrangement of uses/activities on site.</p>	<p>I. Parking and Vehicle Access</p>	<p>The project will provide below-grade parking. There is no alley on site. It consolidates the vehicle entry into one location on the site. It eliminates an existing curb cut at Madison site and replaces the curb cut at the southeast corner of the site, on 14th Avenue.</p>
<p>DC2: Architectural Concept:</p> <p>Develop an architectural concept that will result in a unified/functional design that fits well on the site and within its surroundings.</p>	<p>I. Consider an architectural concept that will contribute to distinct building design identities that function as a whole.</p>	<p>The relationship between the two building massings of the “urban edge” and the private “mews” (see pages 28-29 for a more detailed description of concept), the modulation that occurs between them and how the building engages with the ground to achieve an appropriate human scale will all contribute to the creating a well-proportioned and unified building form. In addition, all of the courtyards and “roofscapes” of the building will be considered.</p>
<p>DC4: Exterior Elements and Finishes:</p> <p>Use appropriate and high quality elements/finishes for the building open spaces.</p>	<p>I. Height, Bulk, and Scale</p> <p>II. Exterior Finish Materials</p>	<p>Our project proposes to use materials that are attractive, robust and maintainable. Details will be considered and executed with care. Material differentiation and color will help to distinguish and express various parts of the façade, with particular attention given to the human-scaled elements at the street.</p>



URBAN DESIGN
ANALYSIS

This site exists on two scales: the overall existing urban fabric and that of its immediate context. These scales inform the building design itself and overlap in our concept, illustrating the opportunity to create two contrasting resident experiences, connected by an interior courtyard.





CONCEPT DEVELOPMENT

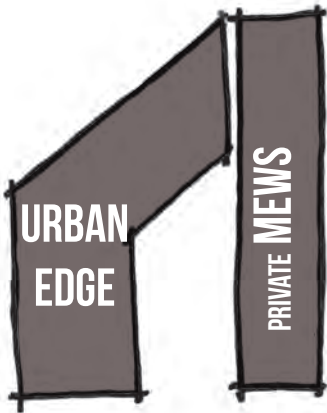
Conceptually, the massing of the building seeks to address the two scales of the street and immediate context. The massing responds to the hard, urban street edge of 14th and Madison, breaking down in mass as it responds to the low rise residential development to the east, the open space of its neighbor to the south as well as to the open space of nearby McGilvra Place park to the northeast.

Our concept plays with the idea of creating two conditions: that of the “urban edge” and that of the private “mews”. Our goal is to unify the block—building upon the existing urban patterns while sensitively responding to the immediate context.

CONCEPT DEVELOPMENT

The massing breaks down into two distinct residential experiences:
the URBAN EDGE and
the PRIVATE MEWS.

Conceptually, each massing has its own character, in response to the street, neighborhood and site context

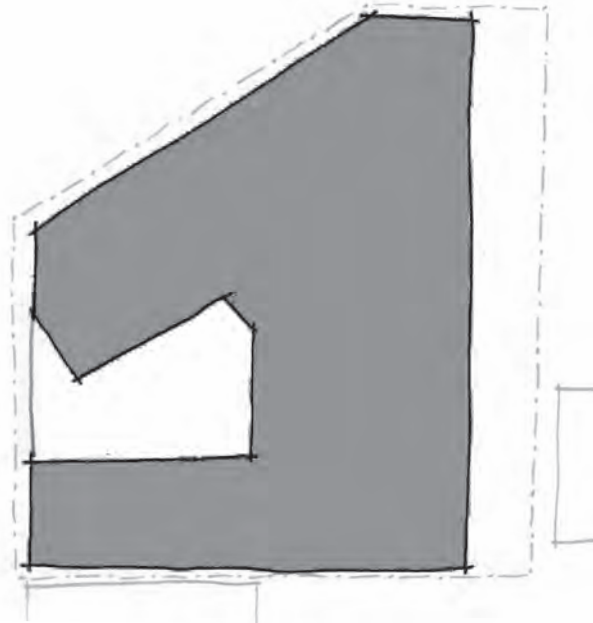


views to the city, the street



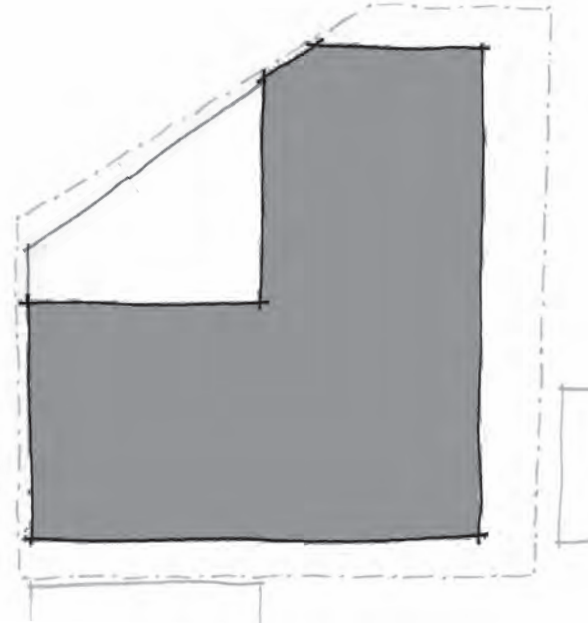
views to nature, the garden

architectural concepts | non-integration of the urban street edge



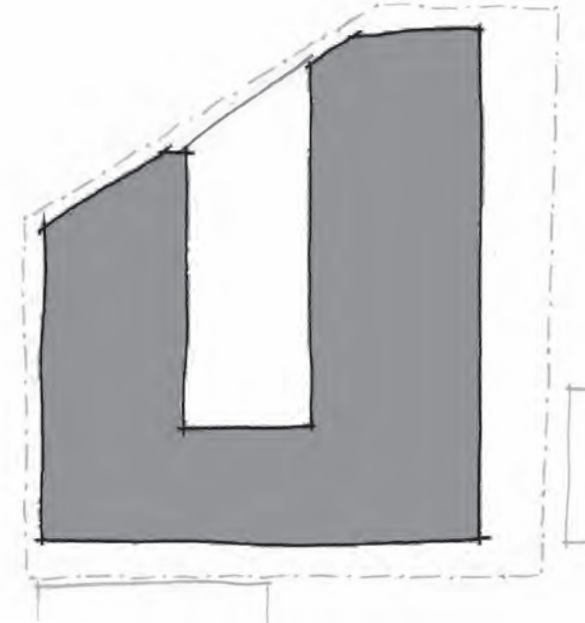
non-concept 1 | west-facing courtyard

- breaks up the 14th AVE street edge
- bulky massing along residential east edge
- blank wall to south
- noisy courtyard



non-concept 2 | corner courtyard

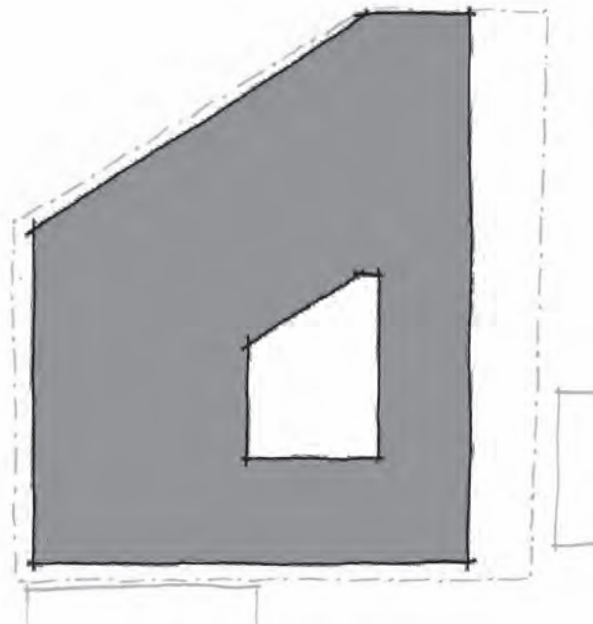
- does not hold the street corner
- bulky massing along the south,
- blocking light to south & east neighbors
- blank wall to south
- noisy courtyard
- bad solar access



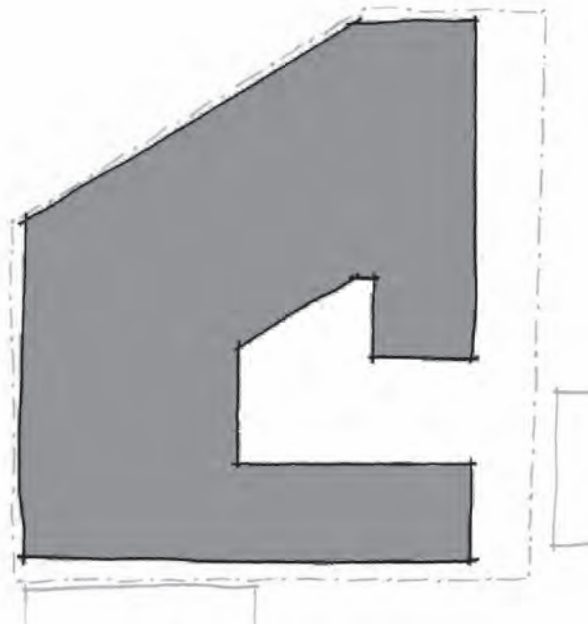
non-concept 3 | north-facing courtyard

- breaks up the Madison AVE street edge
- bulky massing along residential east edge
- blank wall to south
- noisy courtyard
- bad solar access

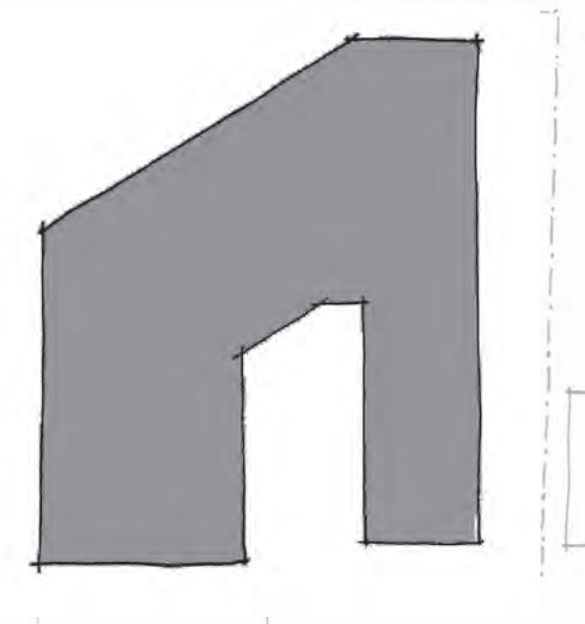
architectural concepts | integration of the urban street edge



concept 1 | internal courtyard scheme



concept 2 | east-facing courtyard scheme



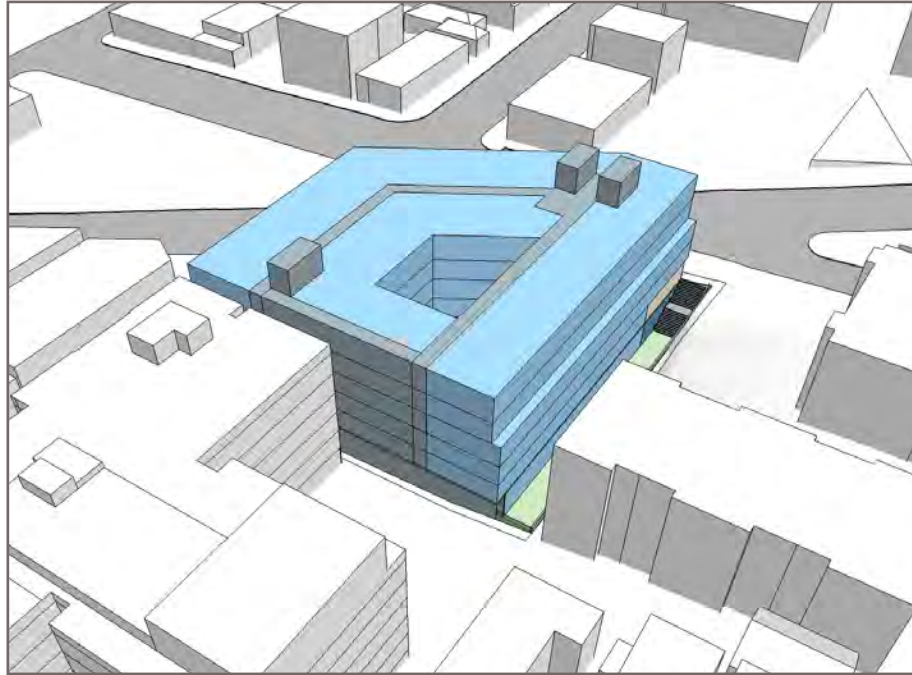
concept 3 | south-facing courtyard scheme

CONCEPT DEVELOPMENT

A variety of massing schemes were explored for the site. Key considerations for massing design were

- reinforcing our project goals for the site: creating a dense, vibrant place to live; contributing to the character of the neighborhood; and addressing the site context
- strengthening the existing urban form
- strengthening the prevalent neighborhood precedents
- being a good neighbor to the properties to the south and east
- creating the most desirable courtyard space for residents
- allowing the most light to reach residents
- creating a friendly, walkable environment by locating retail and its entrance(s) along the streetscape of 14th and the corner of 14th & Madison.
- creating a safe, pedestrian friendly experience for residents by separating them from vehicular traffic as much as possible and providing a building entrance that achieves a more comfortable human scale, connecting with the low rise residential development to the east of the site and the open space of the park at the northeast.

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Concept 1 (Code Compliant)

INTERNAL COURTYARD SCHEME

95,000 net rentable square feet

Opportunities

- Quiet courtyard
- Allows for greater density
- Holds the 14th & Madison street edge
- No departures

Constraints

- Small courtyard
- Minimal daylighting opportunities for units
- Closed to neighbor's courtyard.



Concept 2

EAST-FACING COURTYARD SCHEME

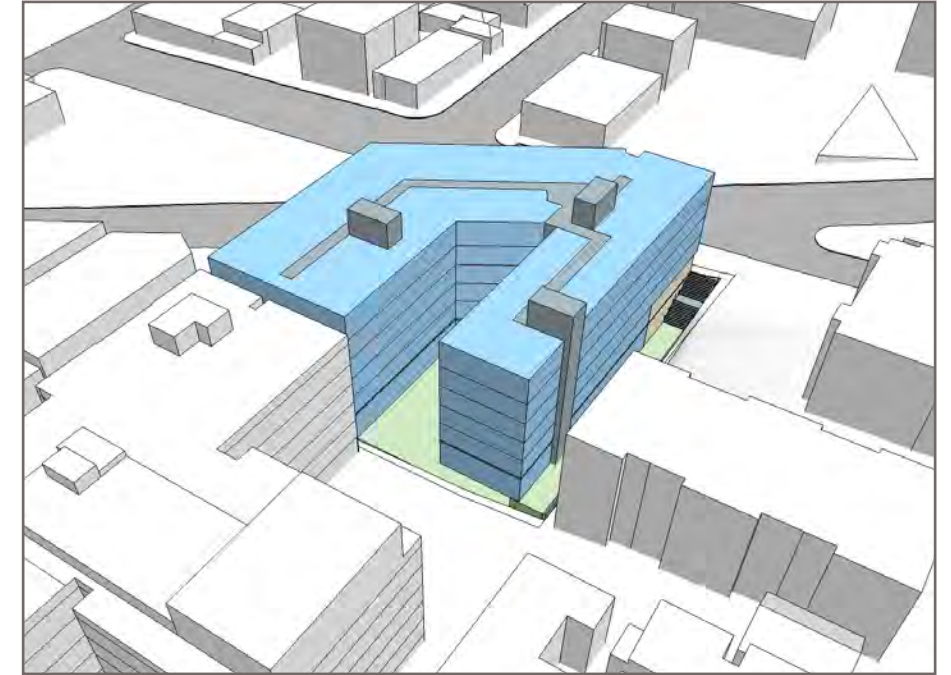
80,000 net rentable square feet

Opportunities

- Quiet courtyard
- Holds the 14th & Madison street edge
- Good daylighting opportunities
- Courtyard connection to private mews

Constraints

- Closed to south-facing neighbor's courtyard
- Light reaching residents
- Potential neighboring building adjacency
- Departures



Concept 3 (Preferred)

SOUTH-FACING COURTYARD SCHEME

79,800 net rentable square feet

Opportunities

- South-facing, quiet courtyard
- Holds the 14th & Madison street edge
- Best daylighting opportunities
- Open to south-facing neighbor's courtyard

Constraints

- Potential neighboring building adjacency
- Departures

ARCHITECTURAL
CONCEPT 1

INTERNAL COURTYARD SCHEME

Opportunities

- Quiet courtyard
- Allows for greater density
- Holds the 14th & Madison street edge
- No departures

Constraints

- Small courtyard
- Minimal daylighting opportunities for units
- Closed to neighbor's courtyard.

Development Summary

Net Rentable Square Footage: 95,000 SF

Unit Count: 150

Parking Count: 150

Ground Floor Uses:

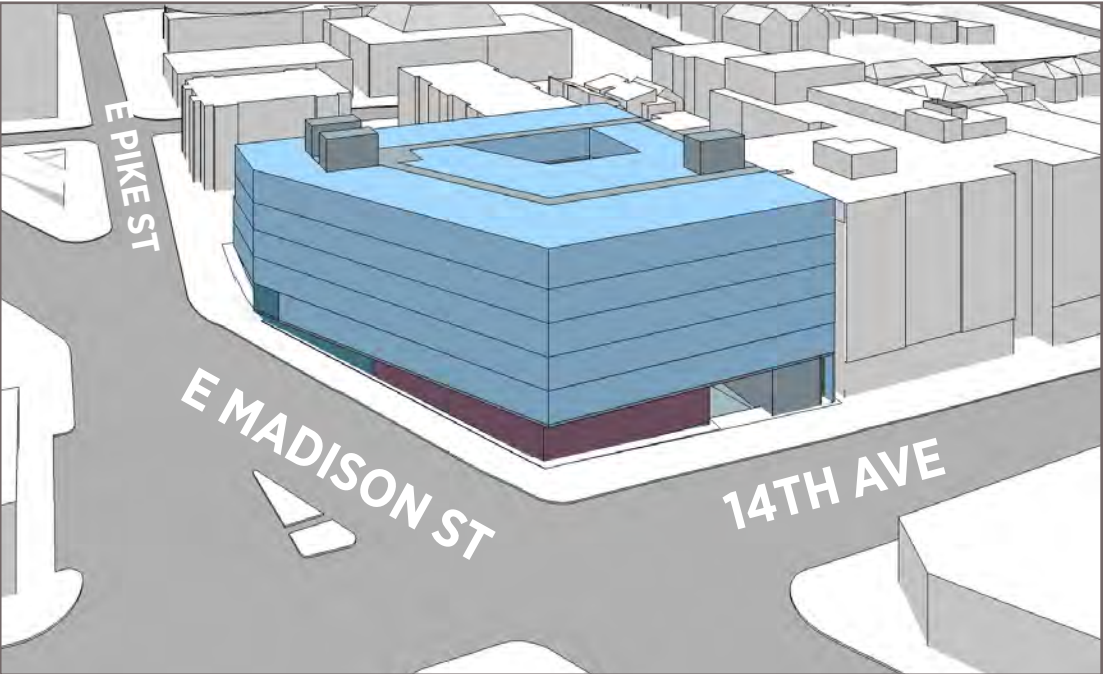
- Madison: Retail, Residential (amenity)
- 14th: Retail, Parking Access
- E Pike: Residential (lobby/amenity)

Potential Departures

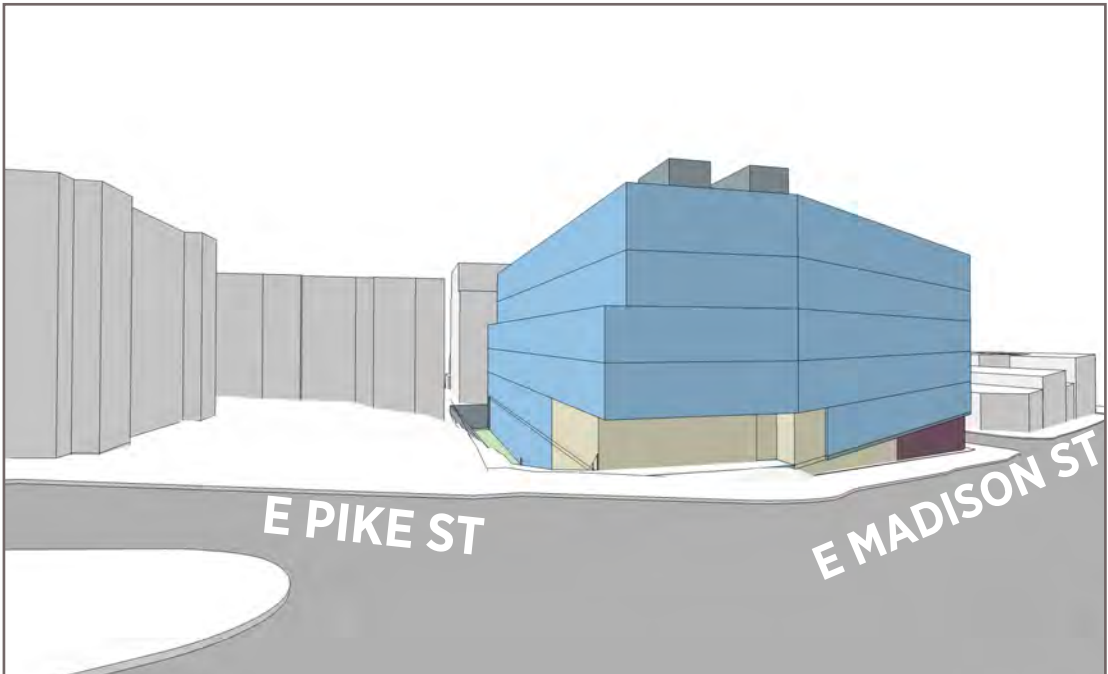
- None



BIRD'S EYE VIEW LOOKING NORTHWEST



BIRD'S EYE VIEW LOOKING SOUTHEAST



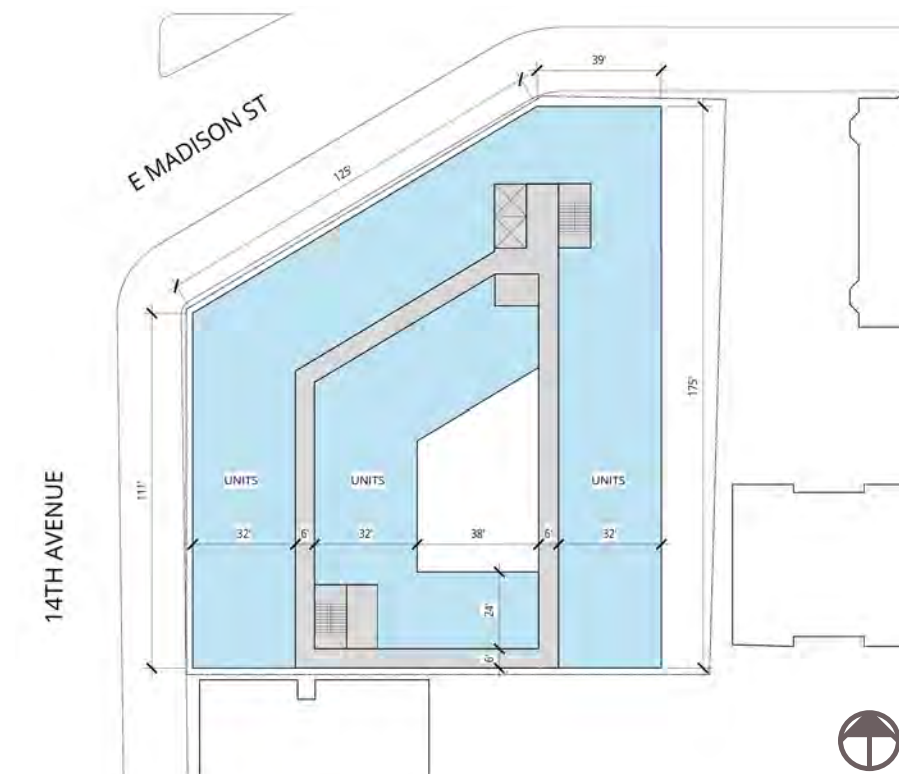
VIEW FROM NORTHEAST CORNER



VIEW LOOKING NORTH



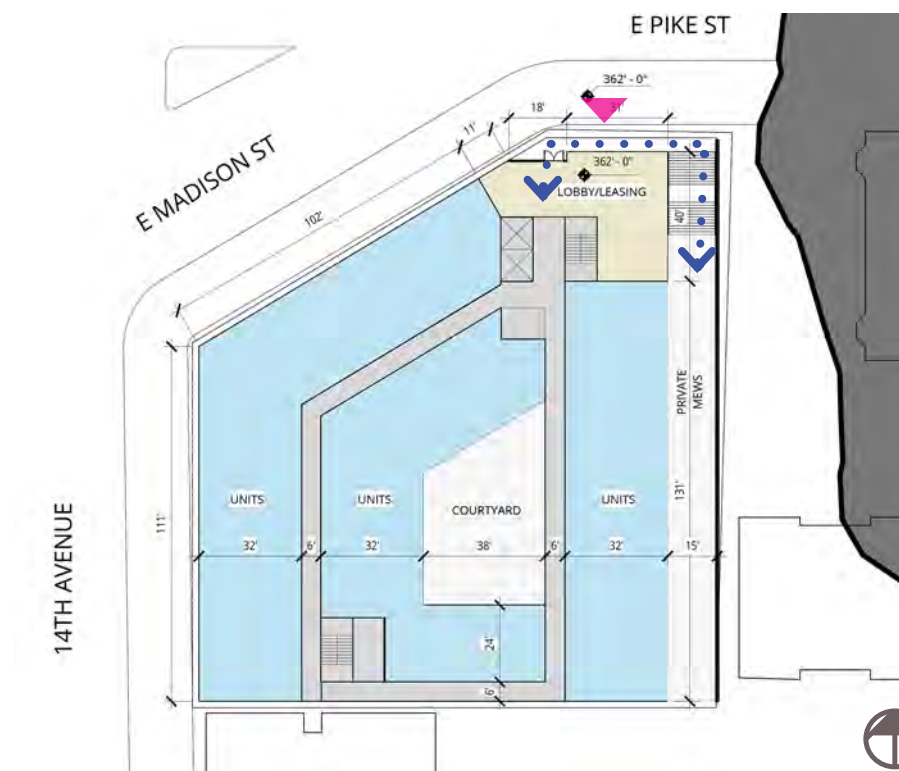
L1 - STREET LEVEL PLAN AT 14TH AVENUE



L3-L5 TYPICAL RESIDENTIAL FLOOR PLAN



PEDESTRIAN VIEW FROM MCGILVRA PARK LOOKING SOUTHWEST



L2 - STREET LEVEL PLAN AT E MADISON/PIKE

- Leasing/Lobby/Amenity
- Retail/Commercial
- Residential
- Parking
- Pedestrian Entry
- Vehicular Entry
- Site Circulation

ARCHITECTURAL CONCEPT 2

EAST-FACING COURTYARD SCHEME

Opportunities

- Quiet courtyard
- Holds the 14th & Madison street edge
- Good daylighting opportunities
- Courtyard connection to private mews

Constraints

- Closed to south-facing neighbor’s courtyard
- Light reaching residents
- Potential neighboring building adjacency
- Departures

Development Summary

Net Rentable Square Footage: 80,000 SF

Unit Count: 140

Parking Count: 140

Ground Floor Uses:

- Madison: Retail, Residential (amenity)
- 14th: Retail, Parking Access
- E Pike: Residential (lobby/amenity)

Potential Departures

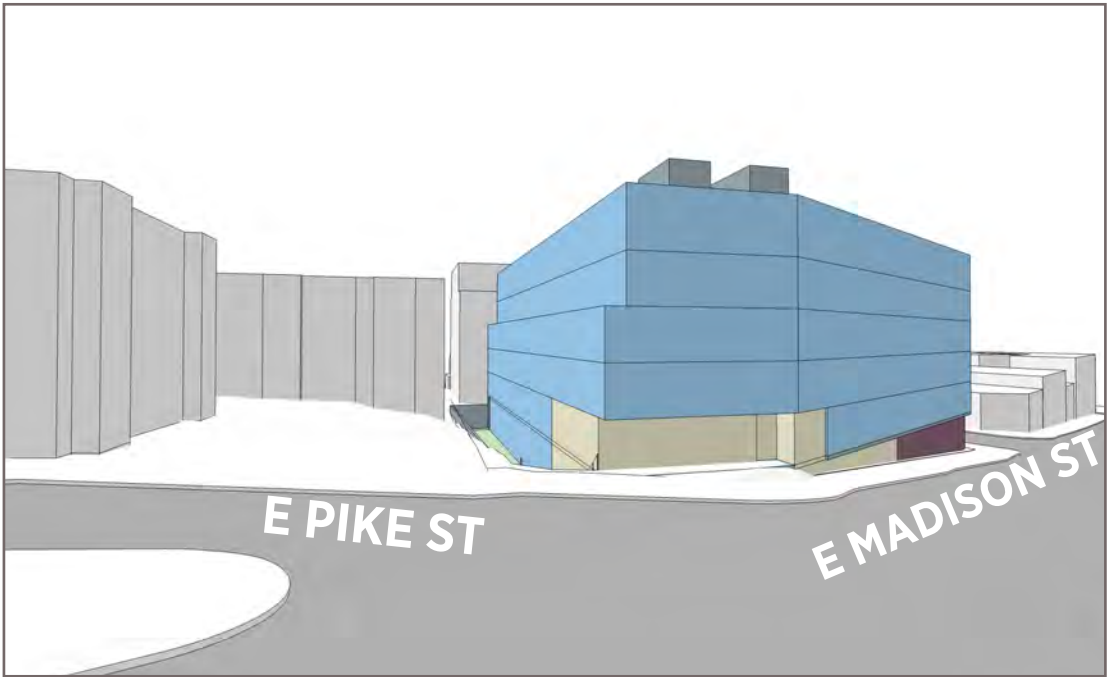
- Sight Triangles
- Side setback over 40 feet



BIRD’S EYE VIEW LOOKING NORTHWEST



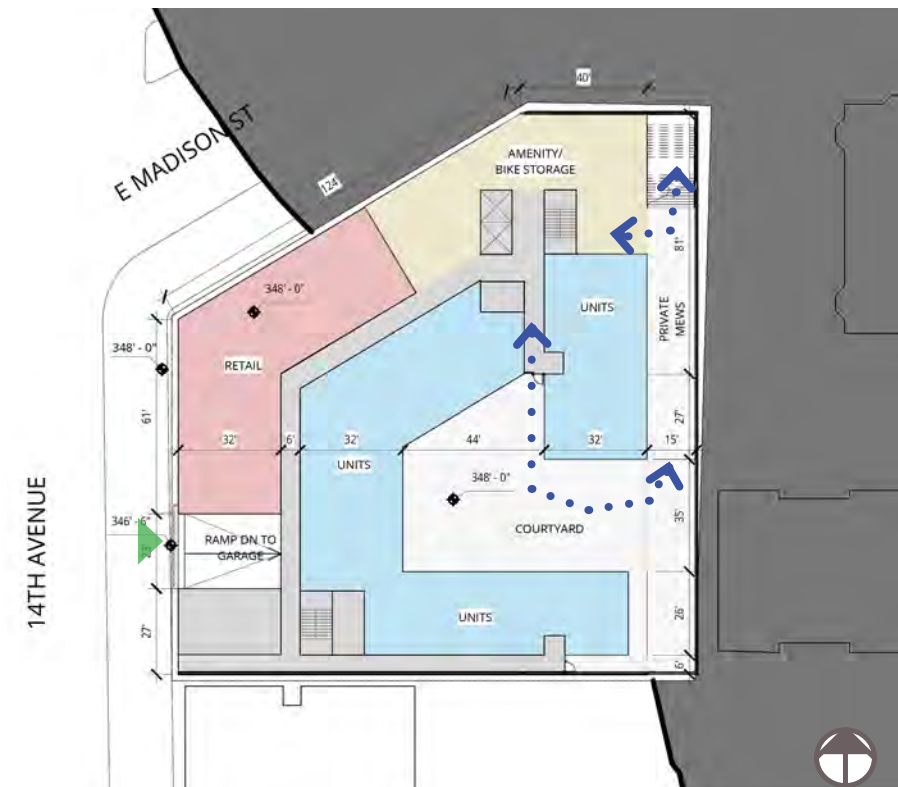
BIRD’S EYE VIEW LOOKING SOUTHEAST



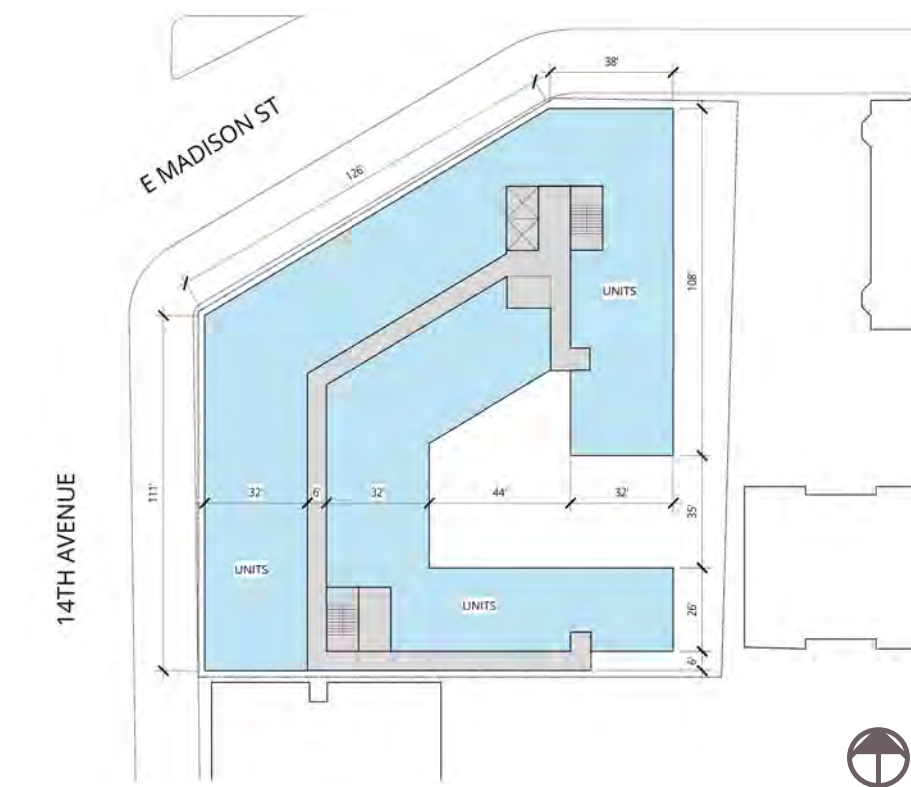
VIEW FROM NORTHEAST CORNER



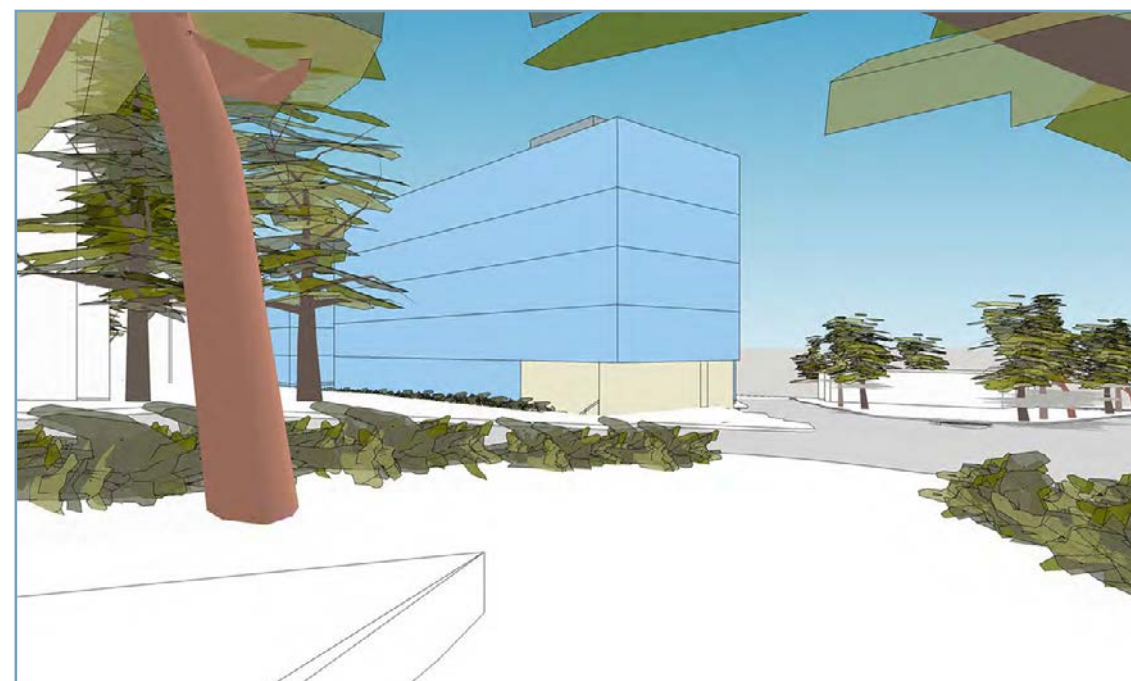
VIEW LOOKING NORTH



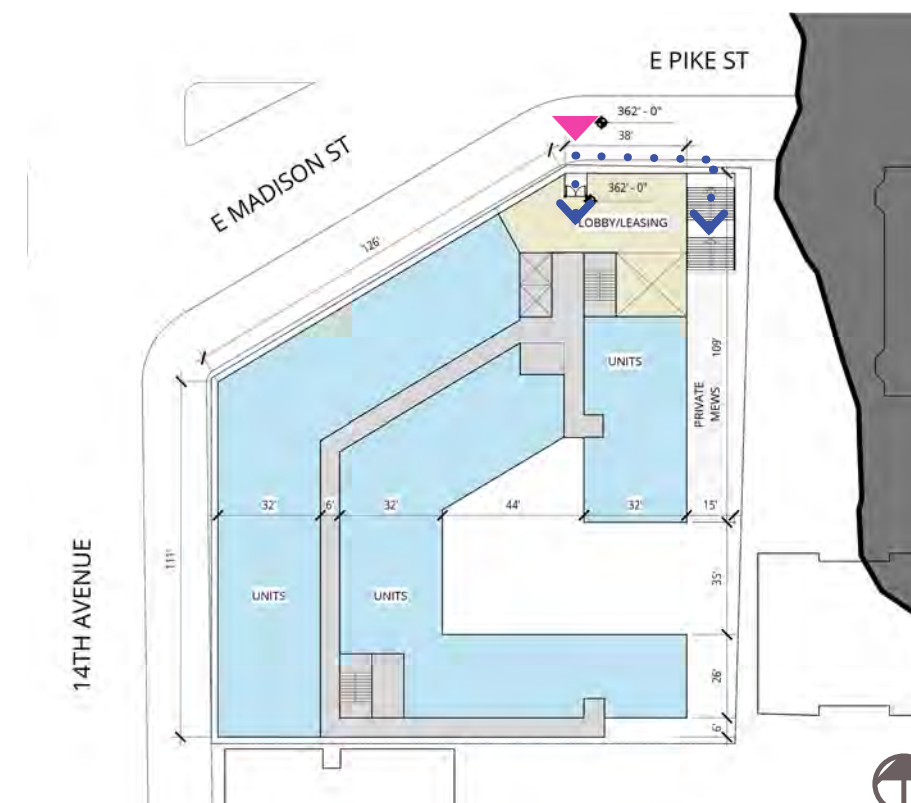
L1 - STREET LEVEL PLAN AT 14TH AVENUE



L3-L5 TYPICAL RESIDENTIAL FLOOR PLAN



PEDESTRIAN VIEW FROM MCGILVRA PARK LOOKING SOUTHWEST



L2 - STREET LEVEL PLAN AT E MADISON/PIKE

- Leasing/Lobby/Amenity
- Retail/Commercial
- Residential
- Parking
- Pedestrian Entry
- Vehicular Entry
- Site Circulation

ARCHITECTURAL
CONCEPT 3 -
PREFERRED

SOUTH-FACING COURTYARD SCHEME

Opportunities

- South-facing, quiet courtyard
- Holds the 14th & Madison street edge
- Best daylighting opportunities
- Open to south-facing neighbor's courtyard

Constraints

- Potential neighboring building adjacency
- Departures

Development Summary

Net Rentable Square Footage: 79,800 SF

Unit Count: 140

Parking Count: 140

Ground Floor Uses:

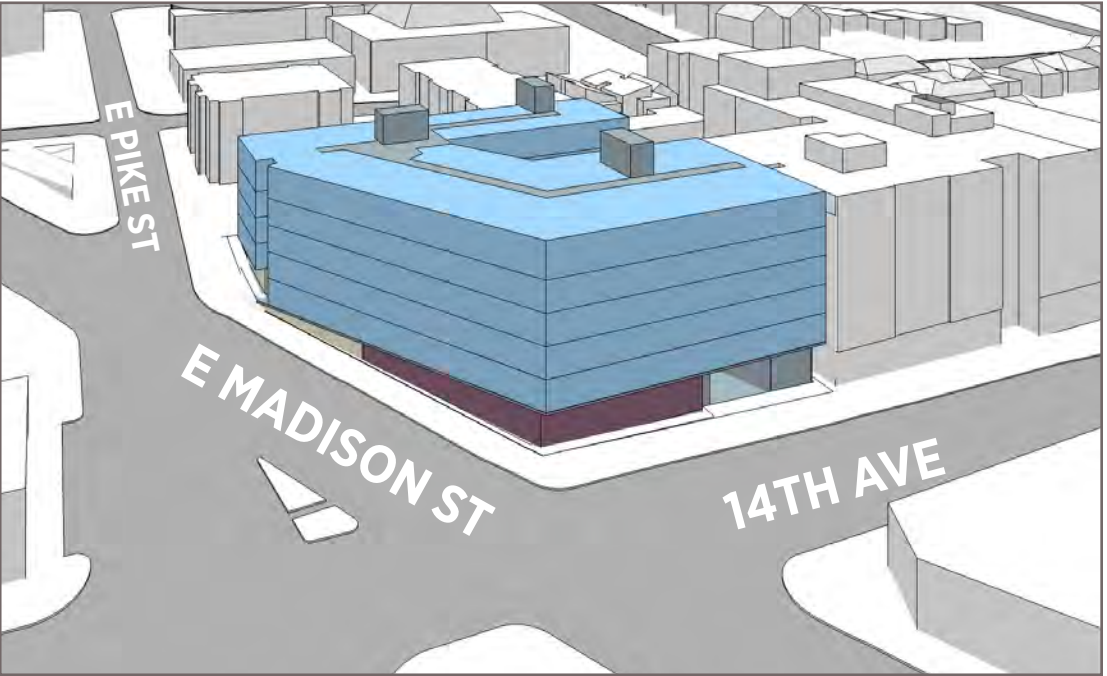
- Madison: Retail, Residential (amenity)
- 14th: Retail, Parking Access
- E Pike: Residential (lobby/amenity)

Potential Departures

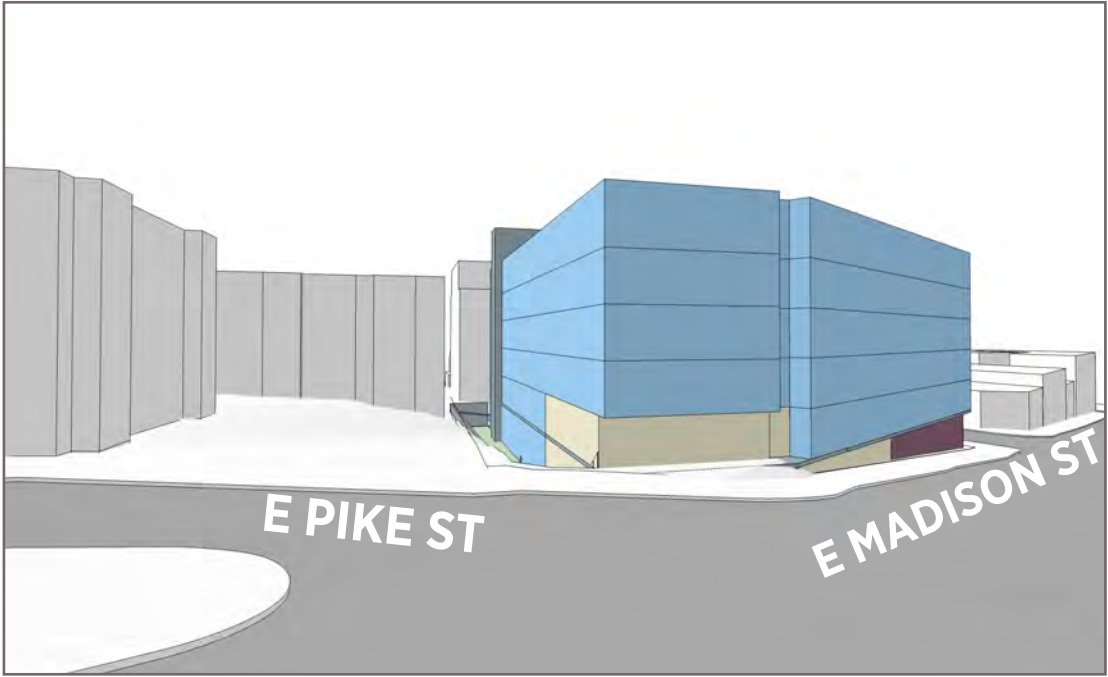
- Sight Triangles
- Side setback over 40 feet
- Side setback encroachment over 20'



BIRD'S EYE VIEW LOOKING NORTHWEST



BIRD'S EYE VIEW LOOKING SOUTHEAST



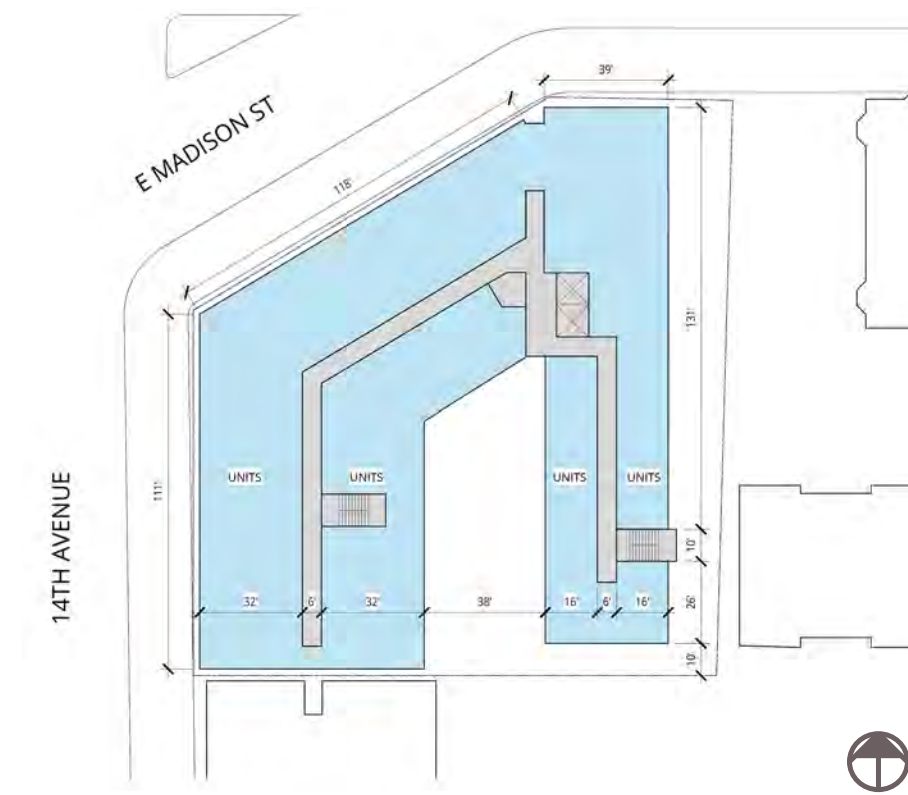
VIEW FROM NORTHEAST CORNER



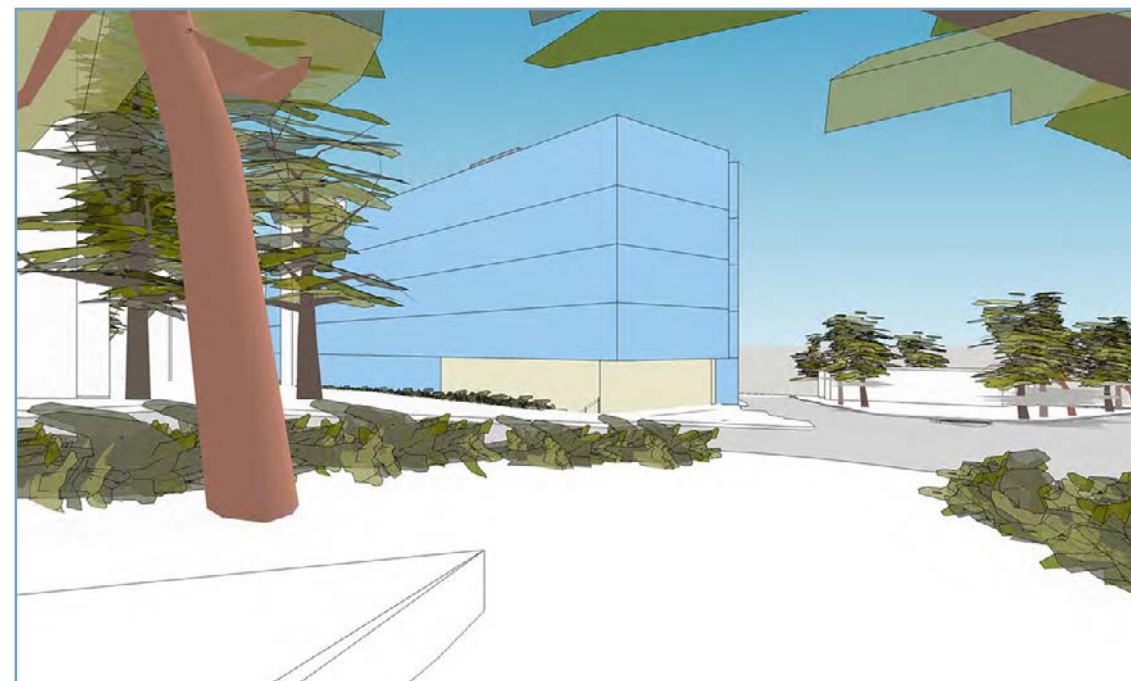
VIEW LOOKING NORTH



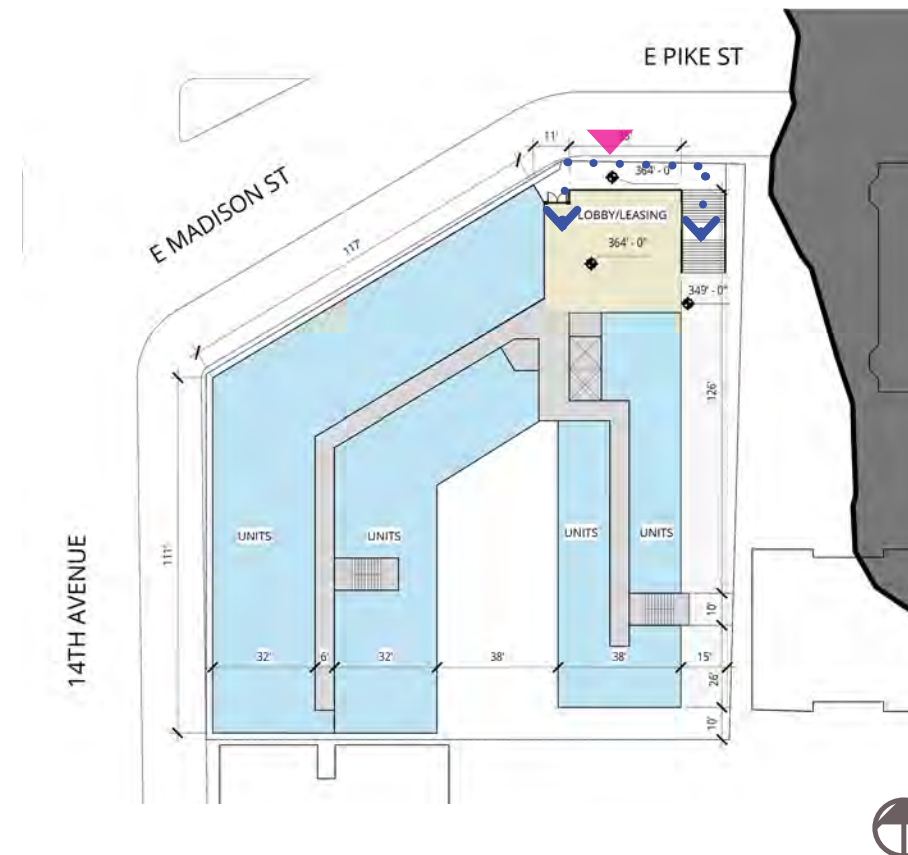
L1 - STREET LEVEL PLAN AT 14TH AVENUE



L3-L5 TYPICAL RESIDENTIAL FLOOR PLAN



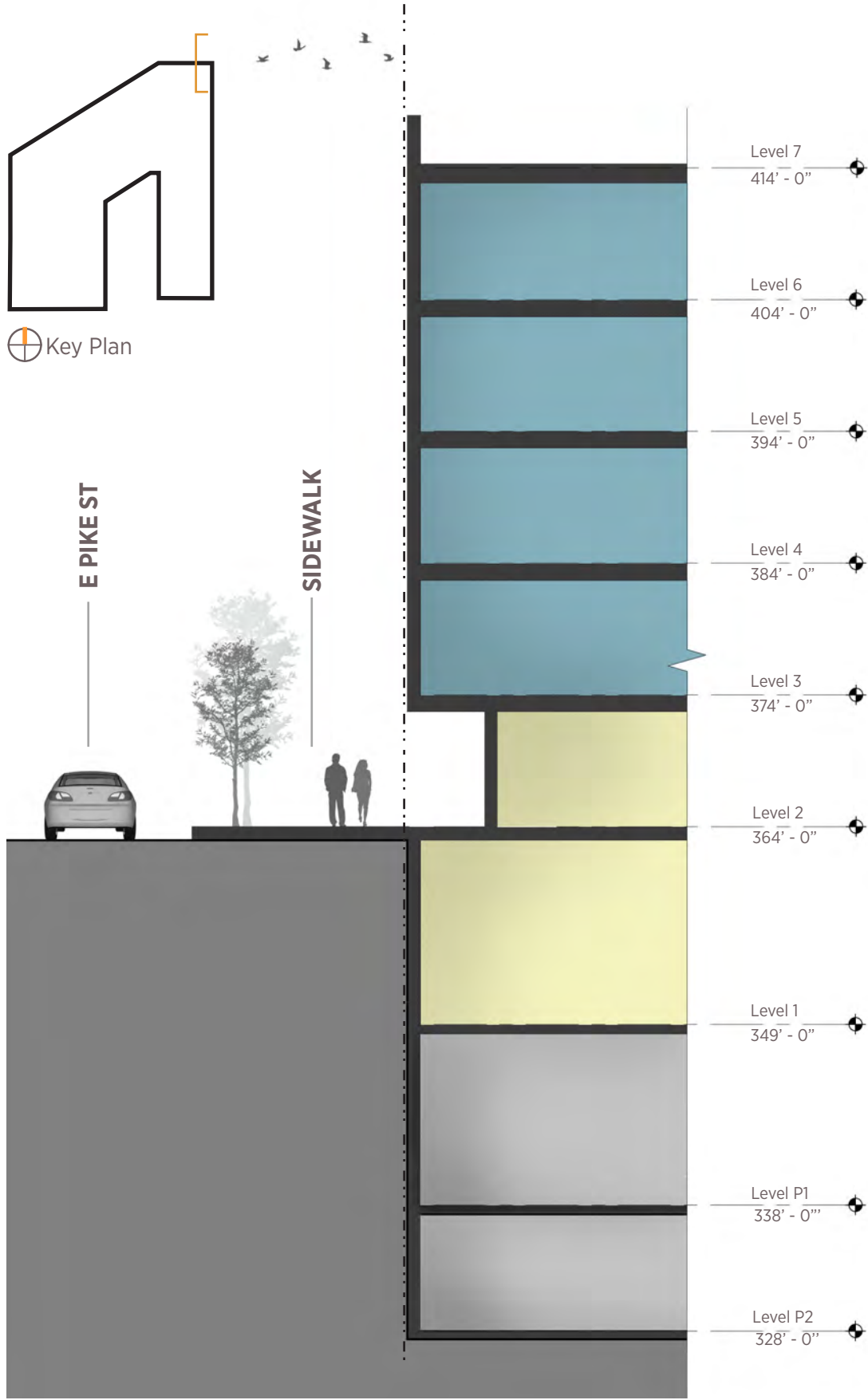
PEDESTRIAN VIEW FROM MCGILVRA PARK LOOKING SOUTHWEST



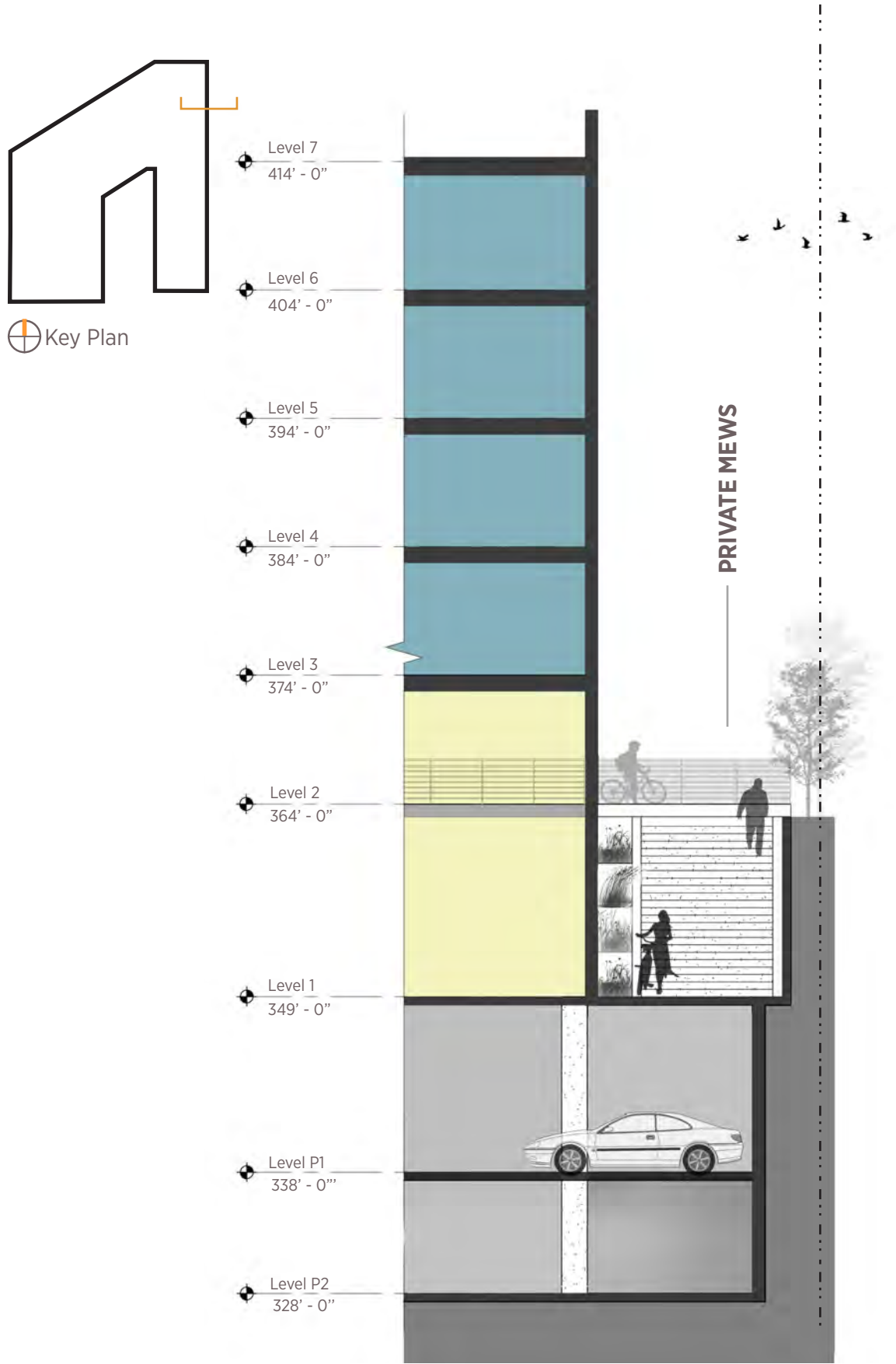
L2 - STREET LEVEL PLAN AT E MADISON/PIKE

- Leasing/Lobby/Amenity
- Retail/Commercial
- Residential
- Parking
- Pedestrian Entry
- Vehicular Entry
- Site Circulation

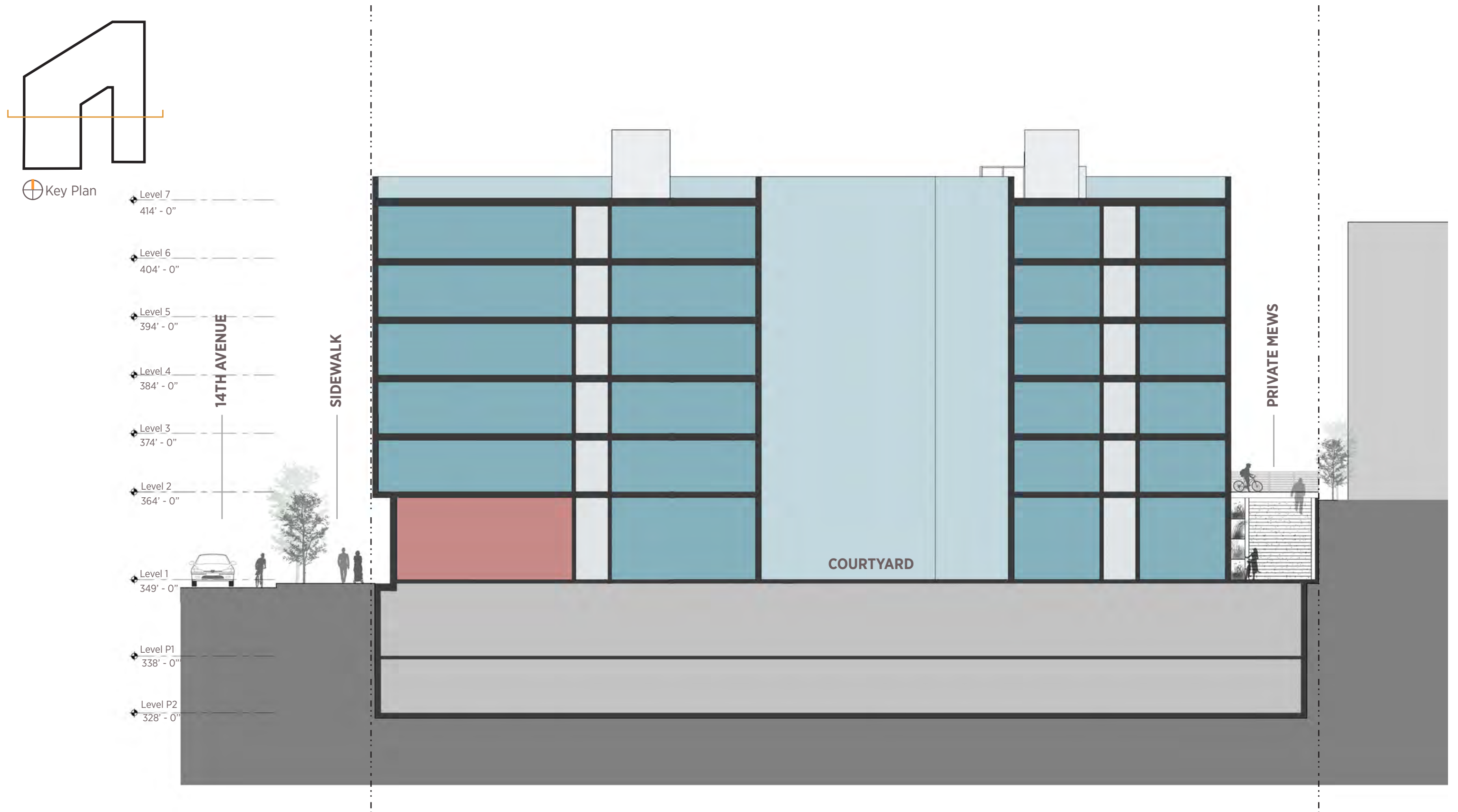
- Residential
- Leasing/Lobby/Amenity
- Retail
- Parking



SECTION THROUGH E PIKE AT LOBBY & AMENITY, FACING EAST

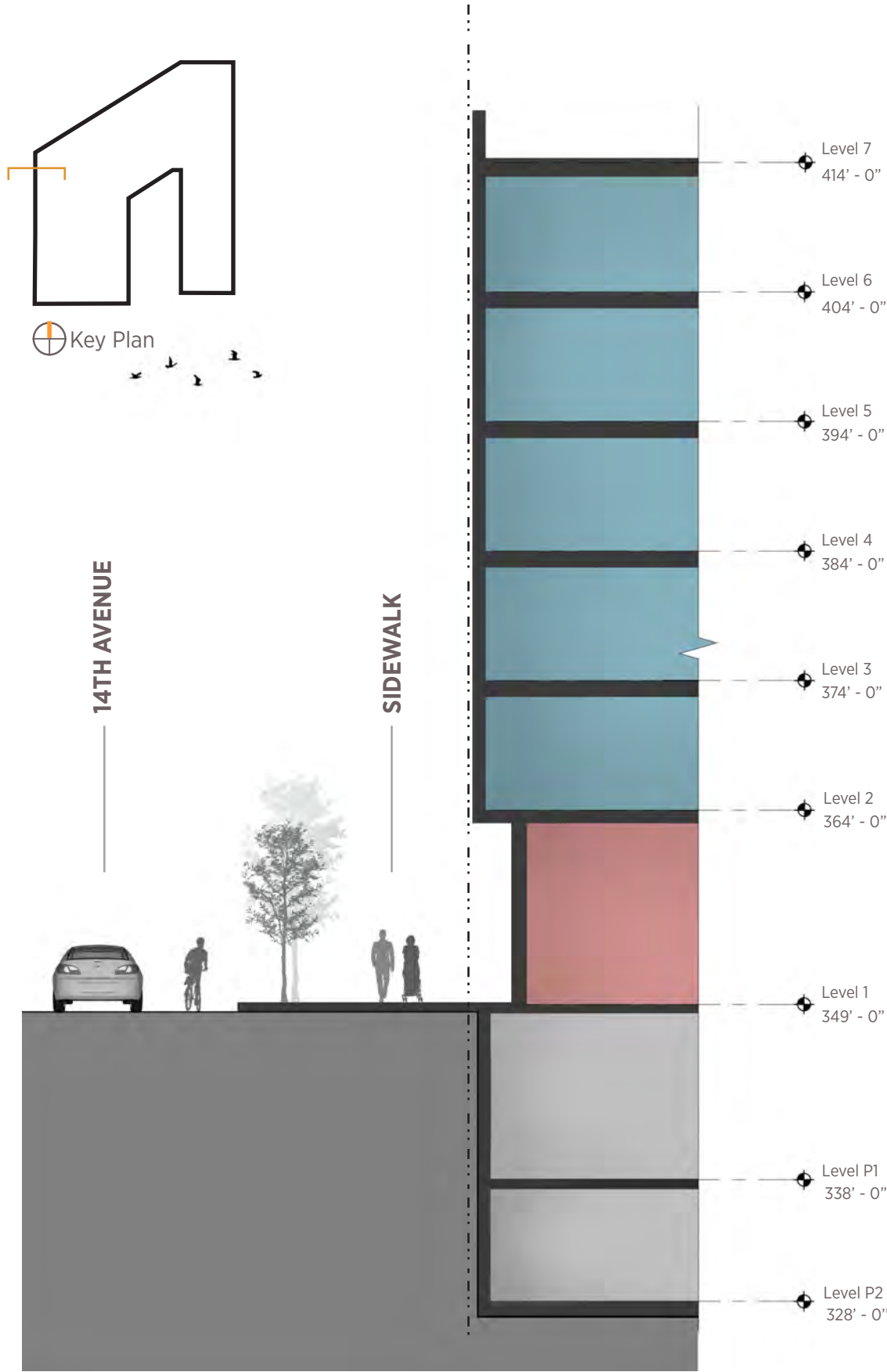


SECTION THROUGH MEWS AT LOBBY & AMENITY, FACING NORTH

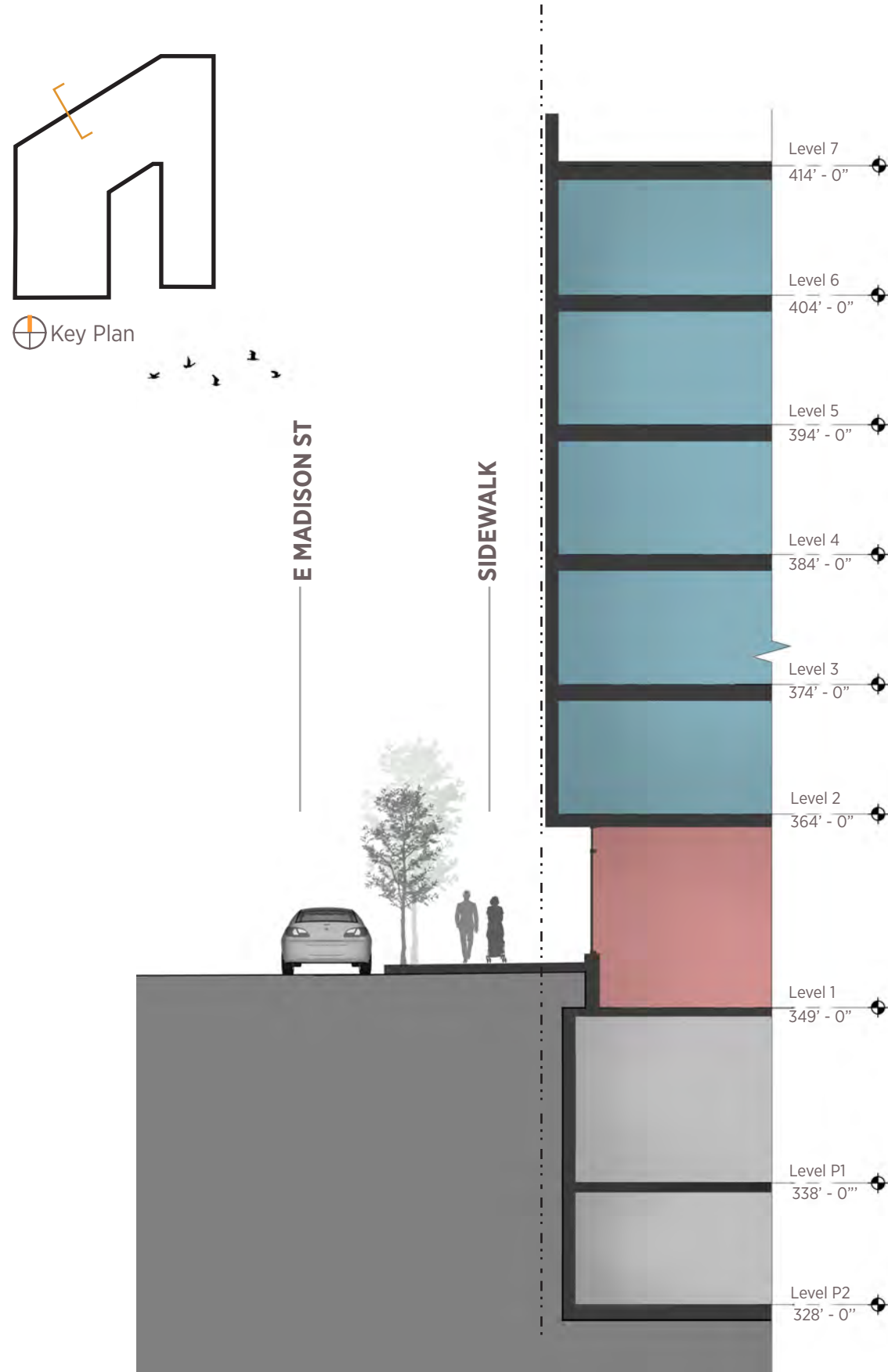


BUILDING SECTION THROUGH COURTYARD, FACING NORTH

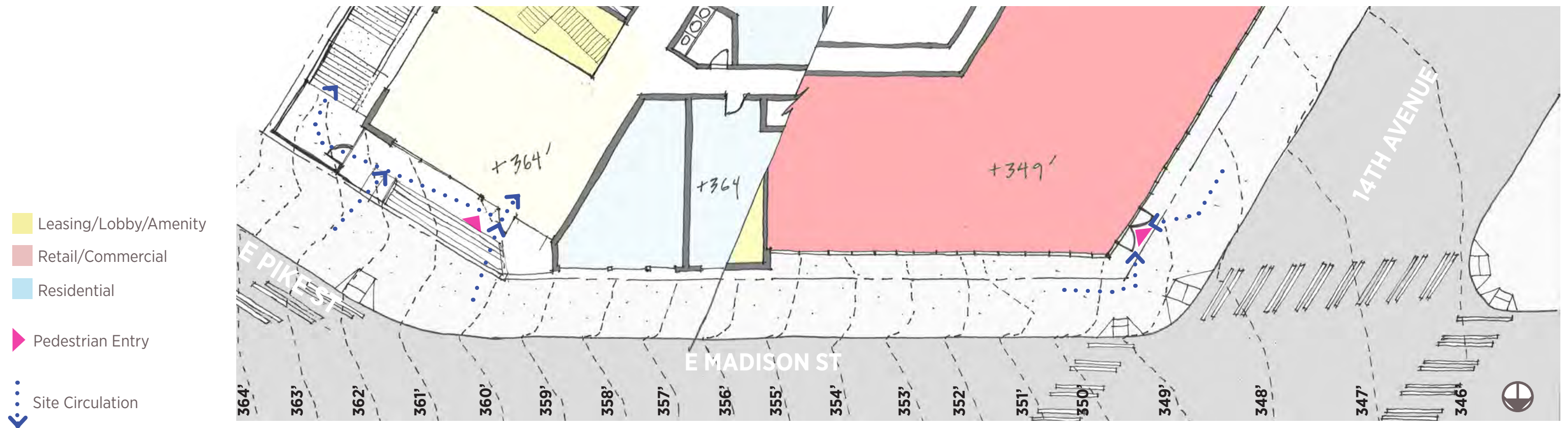
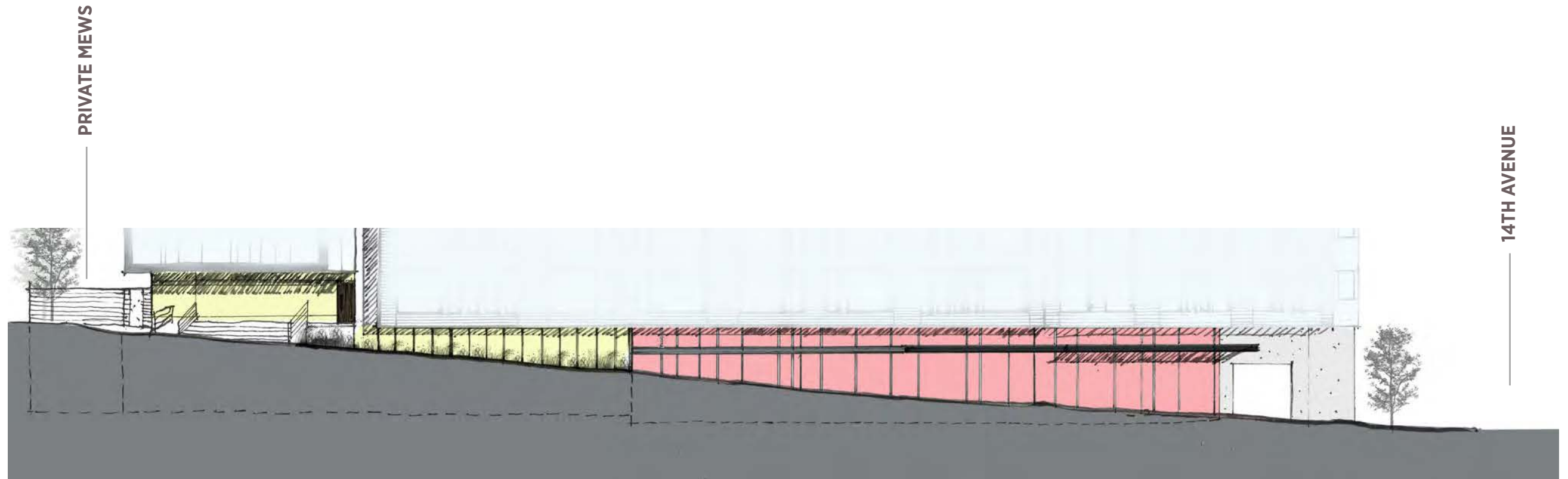
- Residential
- Leasing/Lobby/Amenity
- Retail
- Parking



SECTION THROUGH 14TH AVENUE AT RETAIL, FACING SOUTH



SECTION THROUGH E MADISON AT RETAIL, FACING NORTHEAST



MADISON AVENUE PEDESTRIAN EXPERIENCE

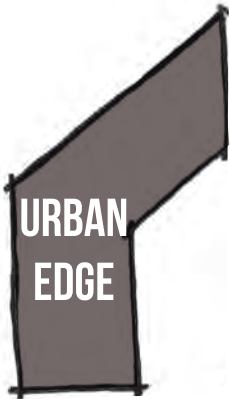
ARCHITECTURAL
CHARACTER

The massing of the building can be separated into two ideas, the URBAN EDGE and the PRIVATE MEWS.

Occupying the 14th & Madison facade, the urban edge massing will have a strong, uniform expression, characterized by tactility, texture and refined detail.

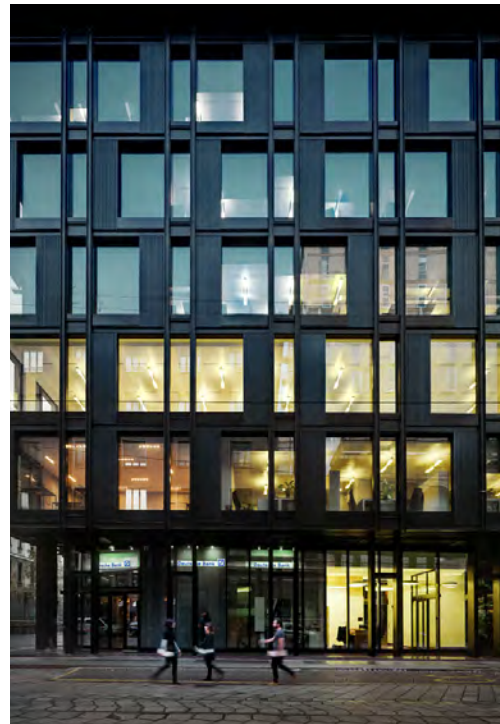
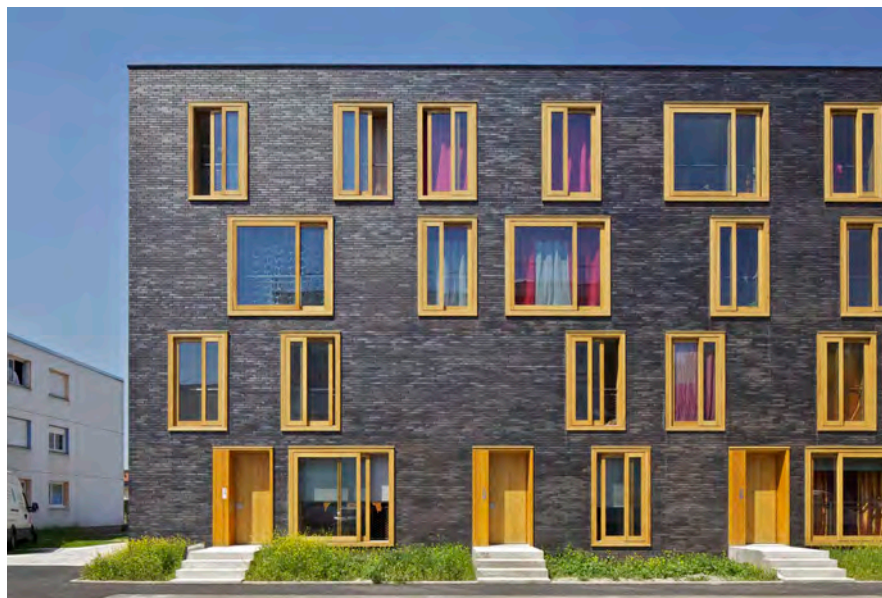
As the building transitions to the low rise residential neighborhood to the east, the massing breaks down in scale. The private “mews” massing will be characterized by playfulness—either expressed in the facade or fenestration.

These two ideas will be separated by a vertical notch breaking up the massing along Madison, just before it turns up East Pike. With a large amount of glazing, and relatively simple massing, our intent is to design a straightforward, refined and elegant building that will fit into the existing fabric of the Capitol Hill neighborhood.



urban edge: uniform, straightforward expression, transparent / defined base, dark windows

PRIVATE MEWS



mews: playful expression, ground floor unit entries

EQUINOX

existing conditions

concept 1

concept 2

concept 3

SUN/SHADOW ANALYSIS

A variety of massing schemes were explored for the site. Key considerations for the preferred massing design were

- strengthening the existing urban form
- strengthening the prevalent neighborhood precedents
- being a good neighbor to the properties to the south and east
- creating the most desirable courtyard space for residents
- allowing the most light to reach residents

10 AM



12 PM



2 PM



SUMMER SOLSTICE

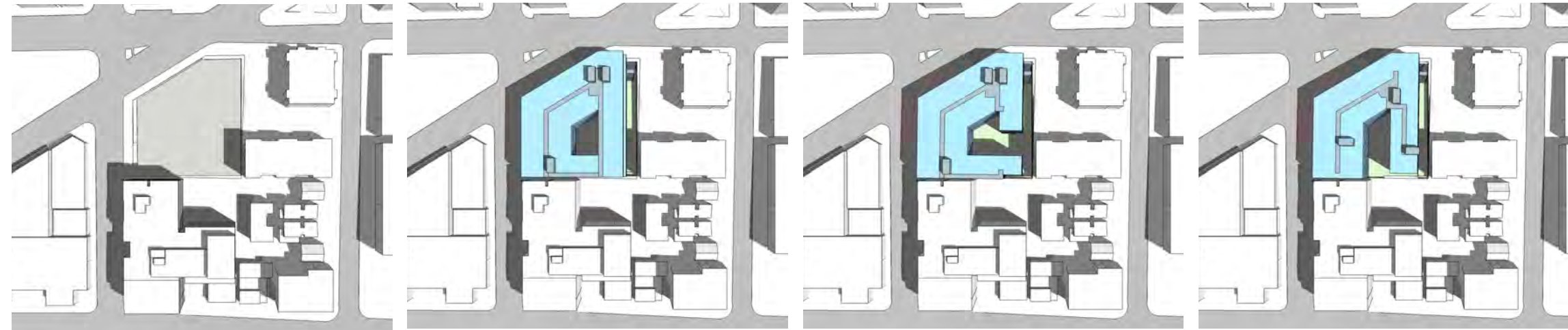
existing conditions

concept 1

concept 2

concept 3

10 AM



12 PM



2 PM



WINTER SOLSTICE

existing conditions

concept 1

concept 2

concept 3

10 AM



12 PM

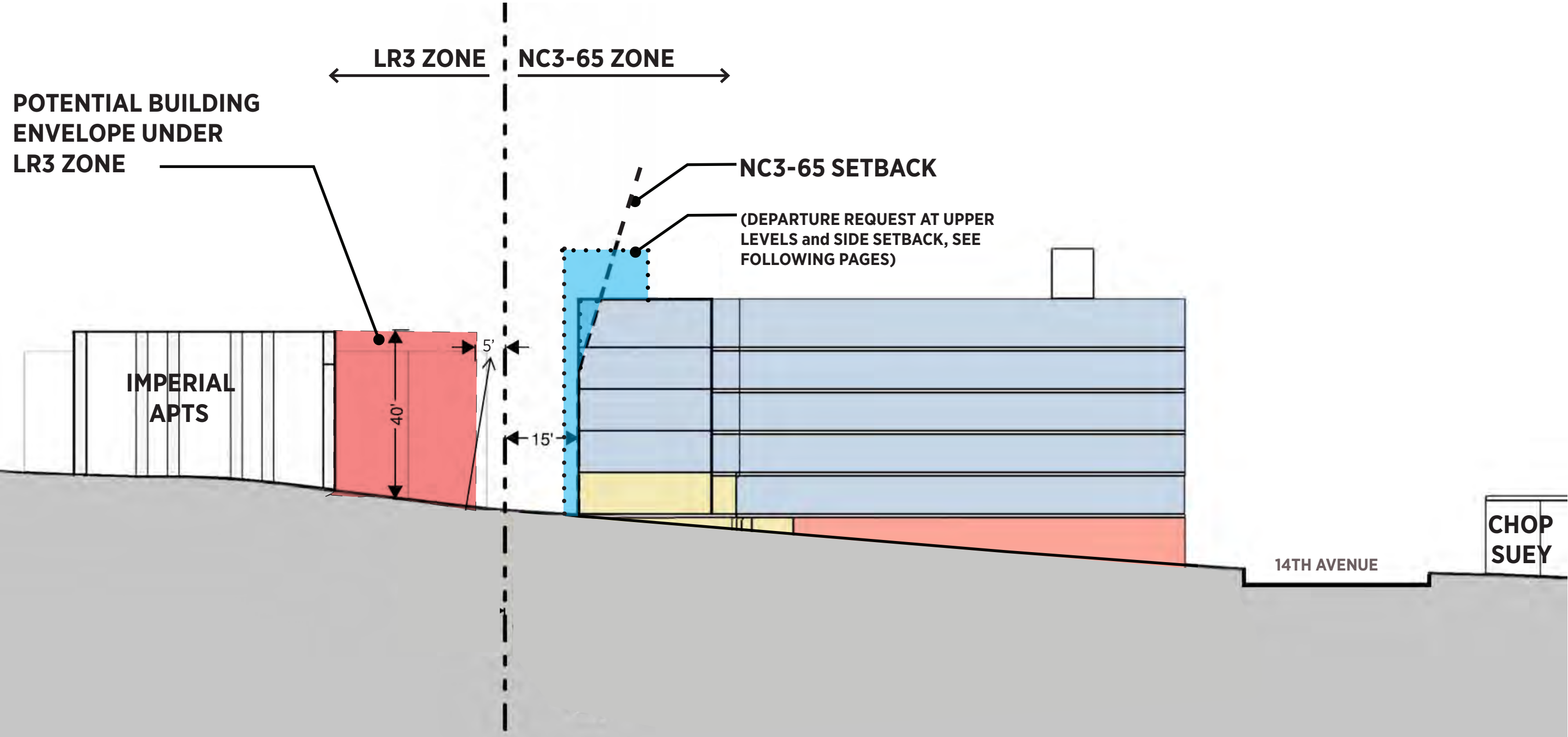


2 PM



POTENTIAL
DEPARTURES

Standard	Departure Request	Rationale for Departure Request
CODE: SMC 23.47A.014 B2: Side Setback above 13': A 15' side setback is required for structures containing a residential use that abuts a residentially zoned lot for portions above 13' and 40' above grade, and an additional 2' setback for every 10' above 40'.	1. We propose a portion of the structure approximately 170' in length to encroach up to 6' into the required setback for the portion of the building above 40' in height.	<p>The building proposal includes setbacks at the ground level in the NC3 zone where no setbacks are required. It also includes almost 20 feet of setback at the north end of the property where only 15 feet is required, serving as a generous buffer between the NC3 and LR3 zones, allowing for greater privacy and open space between buildings.</p> <p>In order to offset the loss of square footage at the ground level, we request a departure at the uppermost two levels. This departure allows for an architecturally consistent form of the proposed massing, meeting the intent of the Design Guidelines DC2 (Architectural Concept) and DC3 (Open Space Concept). Given the grade change with the property to the east, we believe the proposed setback achieves the intent of the side setback requirement (light and air, stepping down to a residential zone).</p>
CODE: SMC 23.47A.014 B2: Side Setback above 13': A 15' side setback is required for structures containing a residential use that abuts a residentially zoned lot for portions above 13' and 40' above grade, and an additional 2' setback for every 10' above 40'.	2. We propose a portion of the structure approximately 10' in length to encroach up to 5' into the required setback for the rear egress stair tower for the portion of the building above 13' in height.	<p>The building proposal includes setbacks at the ground level in the NC3 zone where no setbacks are required. It also includes almost 20 feet of setback at the north end of the property where only 15 feet is required, serving as a generous buffer between the NC3 and LR3 zones, allowing for greater privacy and open space between buildings.</p> <p>In order to meet the intent of Design Guidelines CS2 (Urban Pattern & Form) and DC2 (Architectural Concept) as well as create an efficient building plan (corridor alignments and circulation) we request a departure to allow the egress stair tower to encroach into the setback. This encroachment allows us to respect and increase the visual privacy of the adjacent residents of the Qualman Apartments (our neighbor to the east). Special treatment in the of the stair tower will be provided.</p>
CODE: SMC23.54.030 G: Parking space standards - Site Triangles: 10' min. site triangle required on either side of driveway.	3. The Land Use Code is unclear as to the location of the site triangle. Code language says a sight triangle is required, and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway and sidewalk. According to the code language, we are compliant. The diagram (Exhibit E for 23.54.030) shows the site triangle to be within the property line, thus rendering us non-compliant. We propose the use of mirrors to help drivers see pedestrians if this is the case.	<p>The property line is approximately 15 feet from the edge of the sidewalk. The driveway entrance is setback approximately 6 feet from the property line. If a departure is required, we propose the use of mirrors to help aid drivers see pedestrians, creating a uniform elevation along 14th Avenue East.</p>



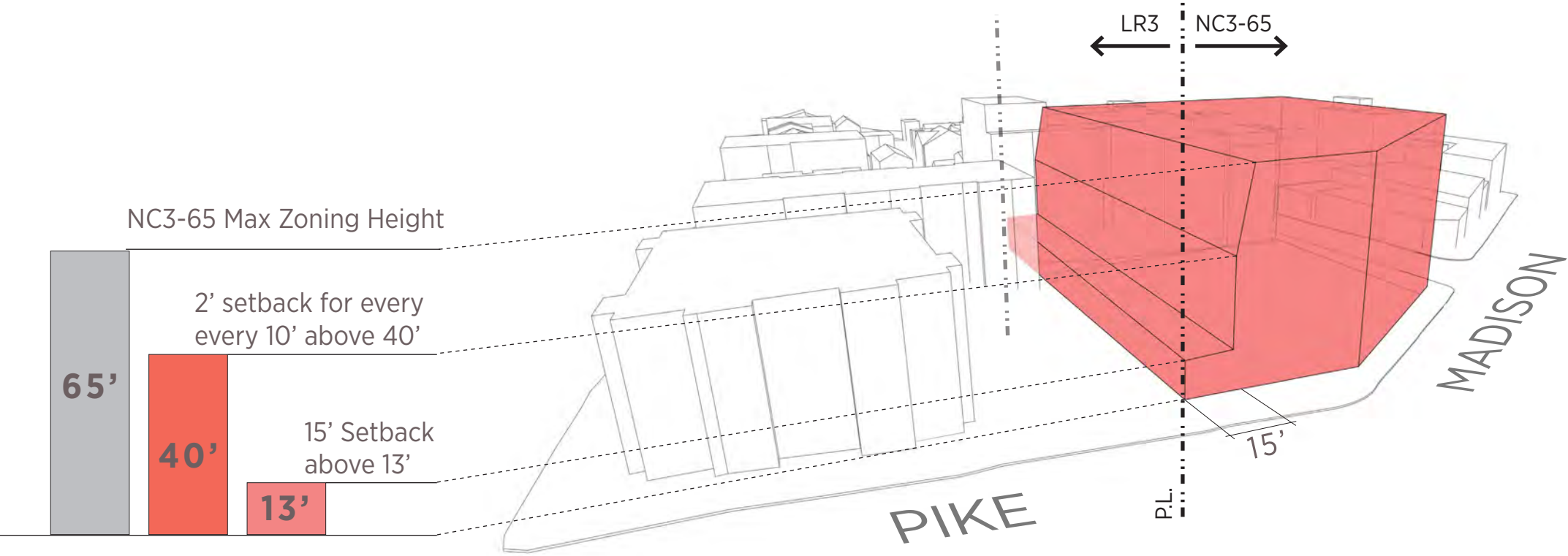
ZONING HEIGHT DIAGRAM
AT PINE STREET
NOT TO SCALE

DEPARTURE REQUEST DIAGRAM #1

REQUEST #1:
We propose a portion of the structure approximately 170' in length to encroach up to 6' into the required setback for the portion of the building above 40' in height.

RATIONALE:
The building proposal includes setbacks at the ground level in the NC3 zone where no setbacks are required. It also includes almost 20 feet of setback at the north end of the property where only 15 feet is required, serving as a generous buffer between the NC3 and LR3 zones, allowing for greater privacy and open space between buildings.

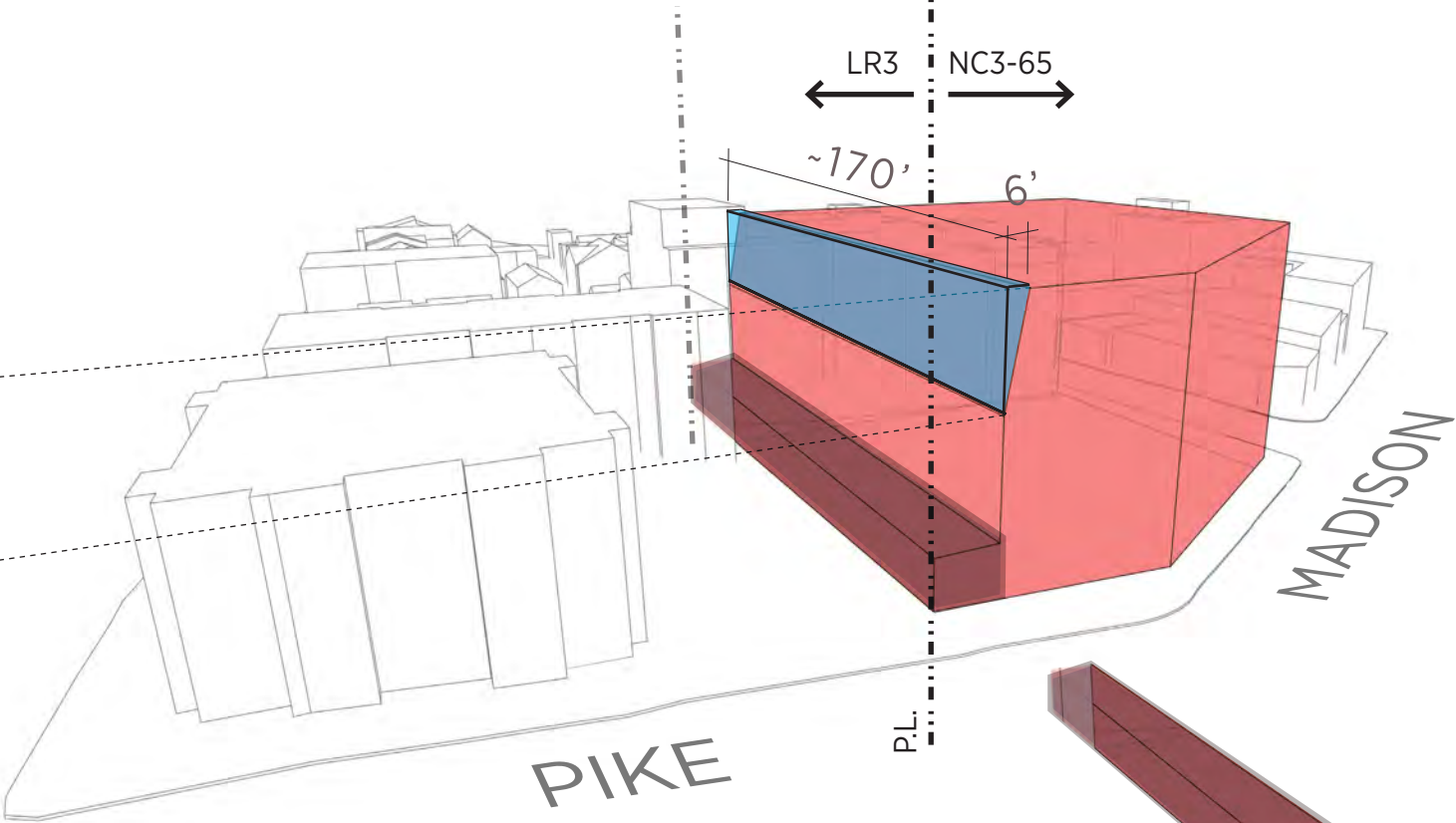
In order to offset the loss of square footage at the ground level, we request a departure at the uppermost two levels. This departure allows for an architecturally consistent form of the proposed massing, meeting the intent of the Design Guidelines DC2 (Architectural Concept) and DC3 (Open Space Concept). Given the grade change with the property to the east, we believe the proposed setback achieves the intent of the side setback requirement (light and air, stepping down to a residential zone).



CODE-COMPLIANT BUILDING ENVELOPE

+ ~12,750 SF

NC3-65 Max Zoning Height
We propose a portion of the structure approx. 170' in length to encroach up to 6' into the required [2' setback for every 10' above 40'] setback.



DEPARTURE REQUEST #1 DIAGRAM

Not utilizing ~33,150 square footage/building into allowed zoning envelope

— ~33,150 SF

DEPARTURE REQUEST DIAGRAM #2

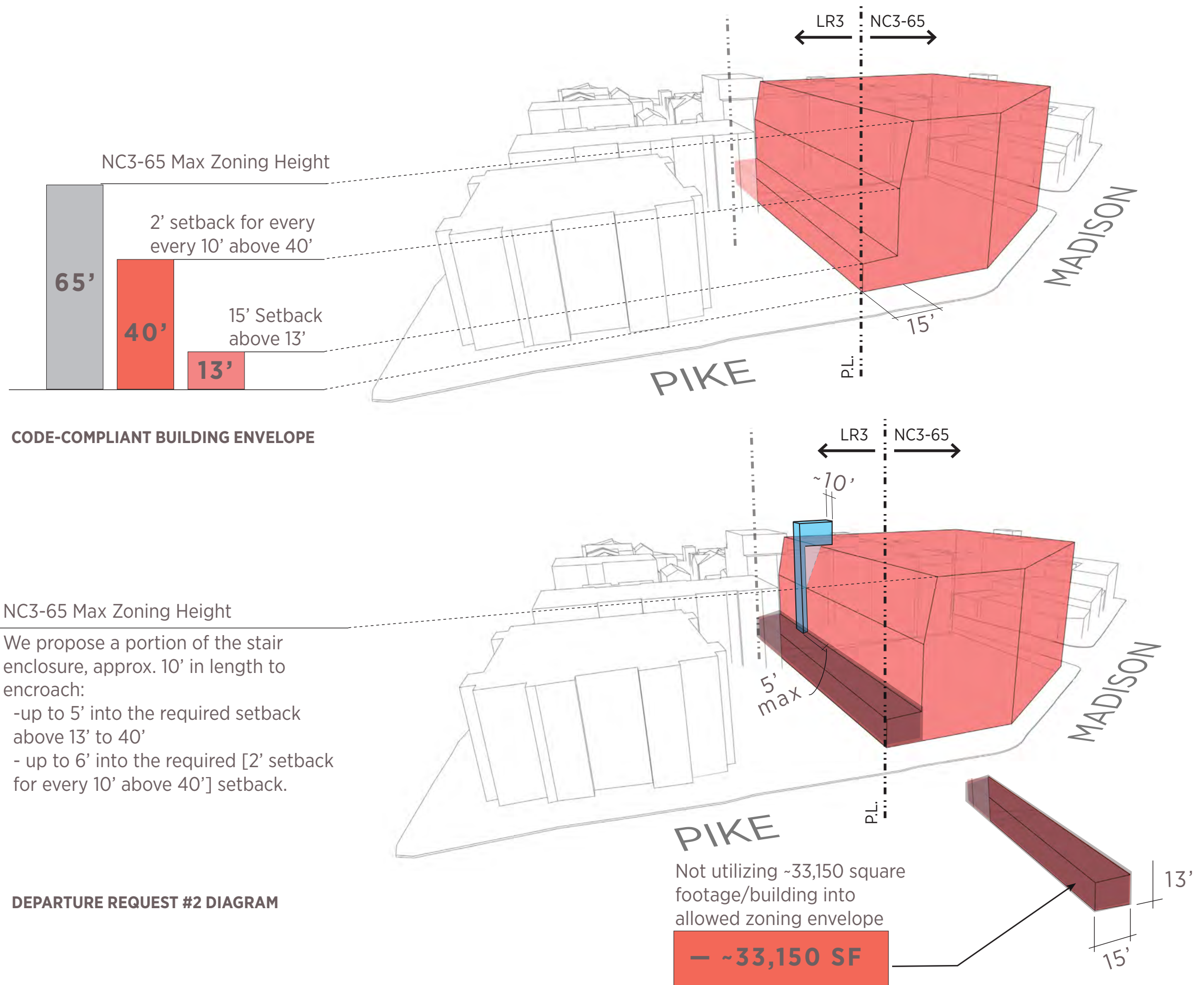
REQUEST #2:

We propose a portion of the structure approximately 10' in length to encroach up to 5' into the required setback for the rear egress stair tower for the portion of the building above 13' in height.

RATIONALE:

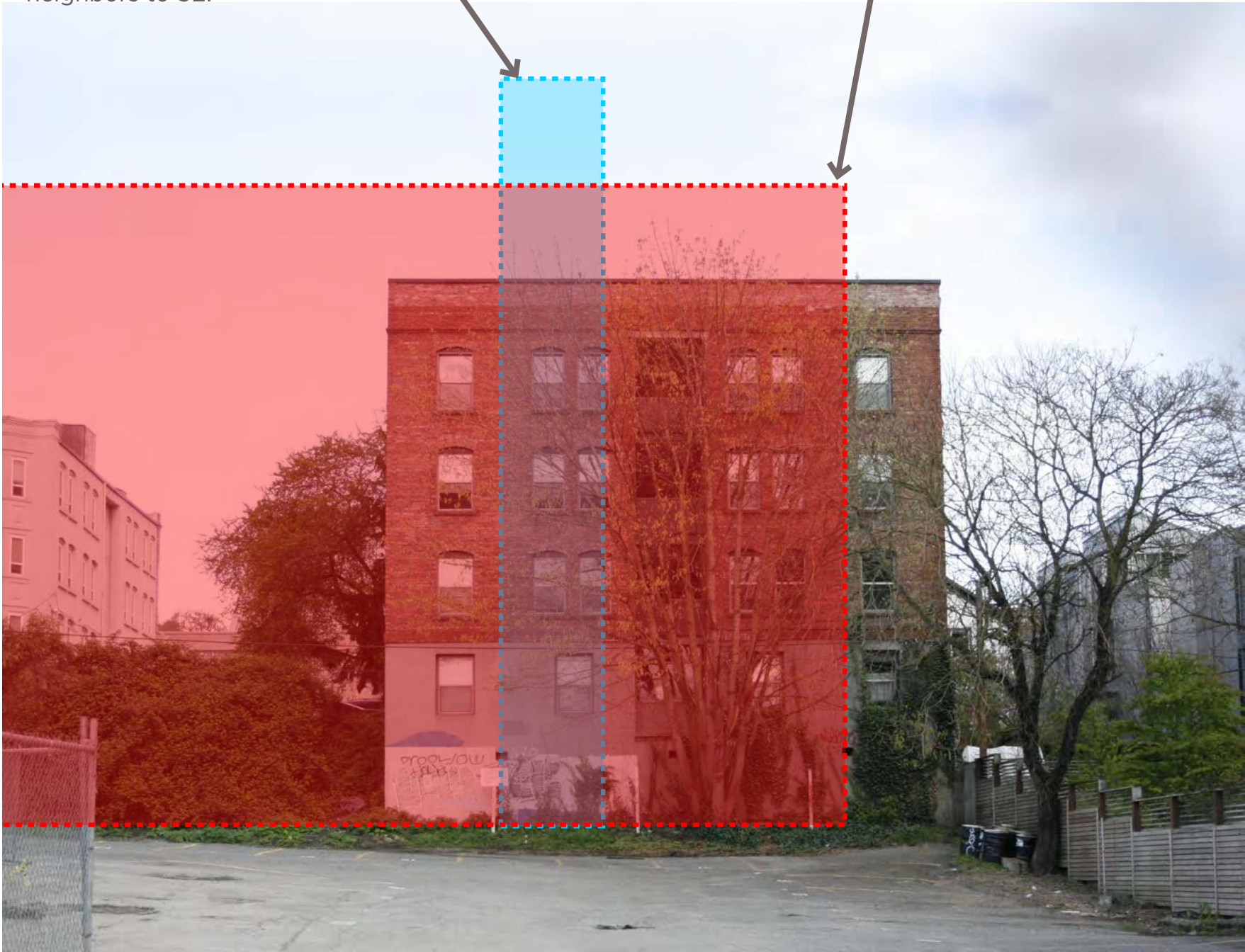
The building proposal includes setbacks at the ground level in the NC3 zone where no setbacks are required. It also includes almost 20 feet of setback at the north end of the property where only 15 feet is required, serving as a generous buffer between the NC3 and LR3 zones, allowing for greater privacy and open space between buildings.

In order to meet the intent of Design Guidelines CS2 (Urban Pattern & Form) and DC2 (Architectural Concept) as well as create an efficient building plan (corridor alignments and circulation) we request a departure to allow the egress stair tower to encroach into the setback. This encroachment allows us to respect and increase the visual privacy of the adjacent residents of the Qualman Apartments (our neighbor to the east). Special treatment in the of the stair tower will be provided.



Stair Tower (with departure #2)
-Allows for greater privacy
between both neighbors.
-Allows for more light to reach
Qualman apartments and
neighbors to SE.

Building Envelope



SQUARE FOOTAGE OFFSET

By not building into the code allowed building envelope adjacent to the LR3 zone (15 feet wide, 13 feet high allowed), we are creating a better, more unified building massing while also being a good neighbor, giving open space back to the neighborhood and respecting our residentially zoned neighbor.

This results in approximately 33,150 SF that we are not using; however, we request two departures to offset the loss, as shown to the left. Even with two departures, we are still leaving -17,500 SF unused to allow for a better, more unified massing.

DEPARTURE REQUEST DIAGRAM #3

REQUEST #3:
The Land Use Code is unclear as to the location of the site triangle. Code language says a sight triangle is required, and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway and sidewalk. According to the code language, we are compliant. The diagram (Exhibit E for 23.54.030) shows the site triangle to be within the property line, thus rendering us non-compliant. We propose the use of mirrors to help drivers see pedestrians if this is the case.

RATIONALE
The property line is approximately 15 feet from the edge of the sidewalk. The driveway entrance is setback approximately 6 feet from the property line. If a departure is required, we propose the use of mirrors to help aid drivers see pedestrians, creating a uniform elevation along 14th Avenue.



TRACE NORTH | no use of mirrors | no apparent site triangle
NEIGHBORHOOD PRECEDENTS

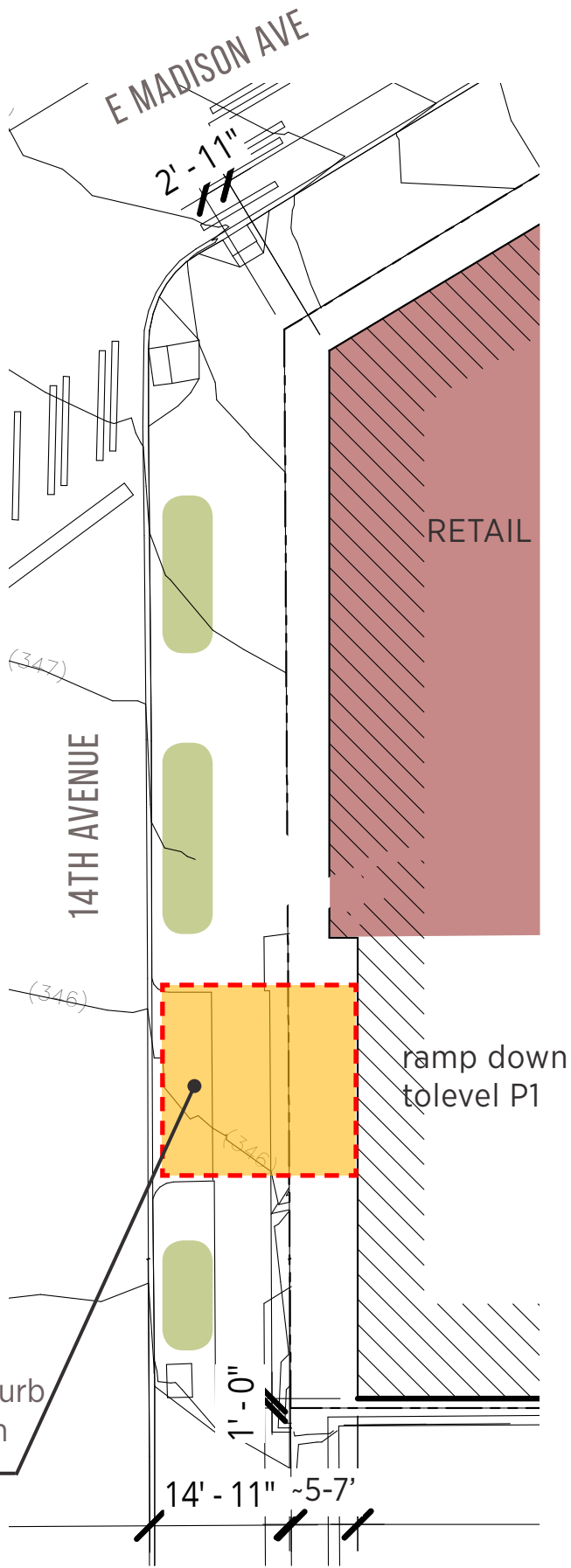


SEATTLE POLICE DEPARTMENT EAST PRECINCT | use of mirrors



CHLOE | use of mirrors | no site triangle

Parking Entrance and Exit, utilizing existing curb cut, setback ~5-7' from property line



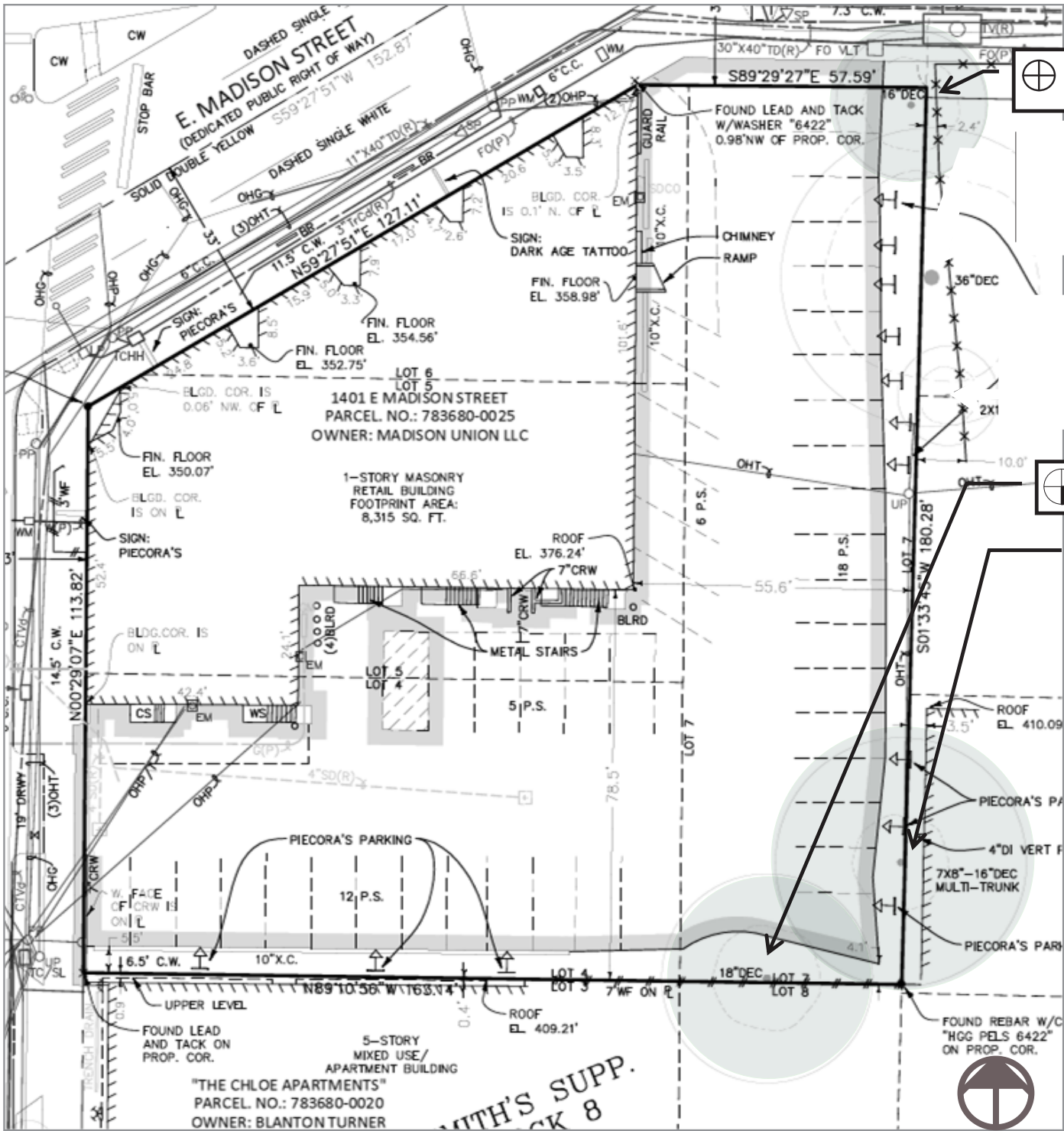
TREE SURVEY

According to licensed arborist, Urban Forestry Services, none of the trees assessed at this site qualify as an Exceptional Tree as defined in the City of Seattle's DPD Director's Rule 16-2008. The three trees assessed within the property line boundaries are not appropriate candidates for protection and preservation due to the species and poor physical condition:

Tree #1, a common apple is a Hazard or Dead. Tree is dead or in very poor condition and should be removed.

Tree #3, a big leaf maple is a Hazard or Dead. Tree is dead or in very poor condition and should be removed.

Tree #4, a tree of heaven, has a low possibility of preservation. It is a poor specimen or species.



⊕ #1 Common apple, *Malus sp.*, estimated 16"

⊕ #4 Tree of heaven, *Ailanthus altissima*, 17.7"

⊕ #3 Big leaf maple, *Acer macrophyllum*, 7 trunks: 12.4, 13.2, 11.5, 10.6, 8.7, 9.4, and 6.7"

KEY	
Tree# / Name / Trunk Diameter	

PRESERVATION VALUE SYMBOLS	
●	<u>SPECIAL</u> , UNIQUE SPECIES, SPECIMEN OR FORM. .
◐	<u>HIGH</u> , GOOD QUALITY, CHARACTER TREE.
◑	<u>MODERATE</u> , COMMON SPECIES, FAIR CONDITION. MAY NEED SPECIAL ATTENTION TO PRESERVE.
◒	<u>LOW</u> , POOR SPECIMEN OR SPECIES. HIGH MAINTENANCE OR SOME CAUTION IF RETAINED.
⊕	<u>HAZARD OR DEAD</u> . TREE IS DEAD OR IN VERY POOR CONDITION AND SHOULD BE REMOVED.

Tree Inventory by Urban Forestry Services, Inc.
15119 McLean Road, Mount Vernon, WA 98273
360-428-5810 Match 6, 2015

ANKROM MOISAN REPRESENTATIVE PROJECTS

Ankrom Moisan Architects create places that encourage human interaction and help establish or define a community. This includes vibrant, connected public areas with active pedestrian realms and welcoming gathering spots. In neighborhoods like Capitol Hill, that means designing modern, flexible spaces that keep residents engaged with the pulse of the neighborhood. When a place is well designed at every scale it feels dynamic, alive with potential, and serves as an extension of the values of the surrounding community.

To the right are a few of our representative projects from the Capitol Hill neighborhood and beyond.



EQUITY RESIDENTIAL REPRESENTATIVE PROJECTS

Equity Residential's passion is providing great lifestyles in places people want to live, work and play. Driving this passion is Equity Residential's commitment to serving the neighborhoods and cities in which they do business. Equity Residential ensures that their communities contribute in a positive way to the environment, as well as to the greater social fabric of which their residents and employees are a part.

To the left are a few of Equity Residential's representative projects from the Seattle area.

