

THE STAX
5001 Brooklyn Ave NE
Design Review Recommendation Meeting
February 8, 2016
Project #3019997



[this page intentionally left blank]



PARCEL: 8817400180 5001 BROOKLYN AVE NE

SITE AREA: 5,008 sf (approximately 83.46' deep x 60' wide)

ZONING: Current: LR-3 (University District Northwest Urban Center Village Overlay)
Proposed contract re-zone: NC3-65
(Univ District NW Urban Center Village Overlay)

PROJECT DESCRIPTION: Proposal for new 7 story mixed use building with no on-site vehicle parking, including:

- 60 efficiency apartment units
- 47 onsite bike parking stalls
- 1,191sf retail space to serve as an amenity for neighbors and community
- exceptional tree retention

SUMMARY OF DEVELOPMENT STANDARDS:
(under proposed NC3-65 Contract Re-Zone)

HEIGHT LIMIT: 65' (SMC 23.47A.012)

PARKING: Vehicle: None required (due to urban village overlay)
Bike: Residential: .75 per unit x 60 units = 45 spaces
Retail: 1/12,000 sf + 1/2,000 sf short term = 2 spaces
(SMC 23.54.015)

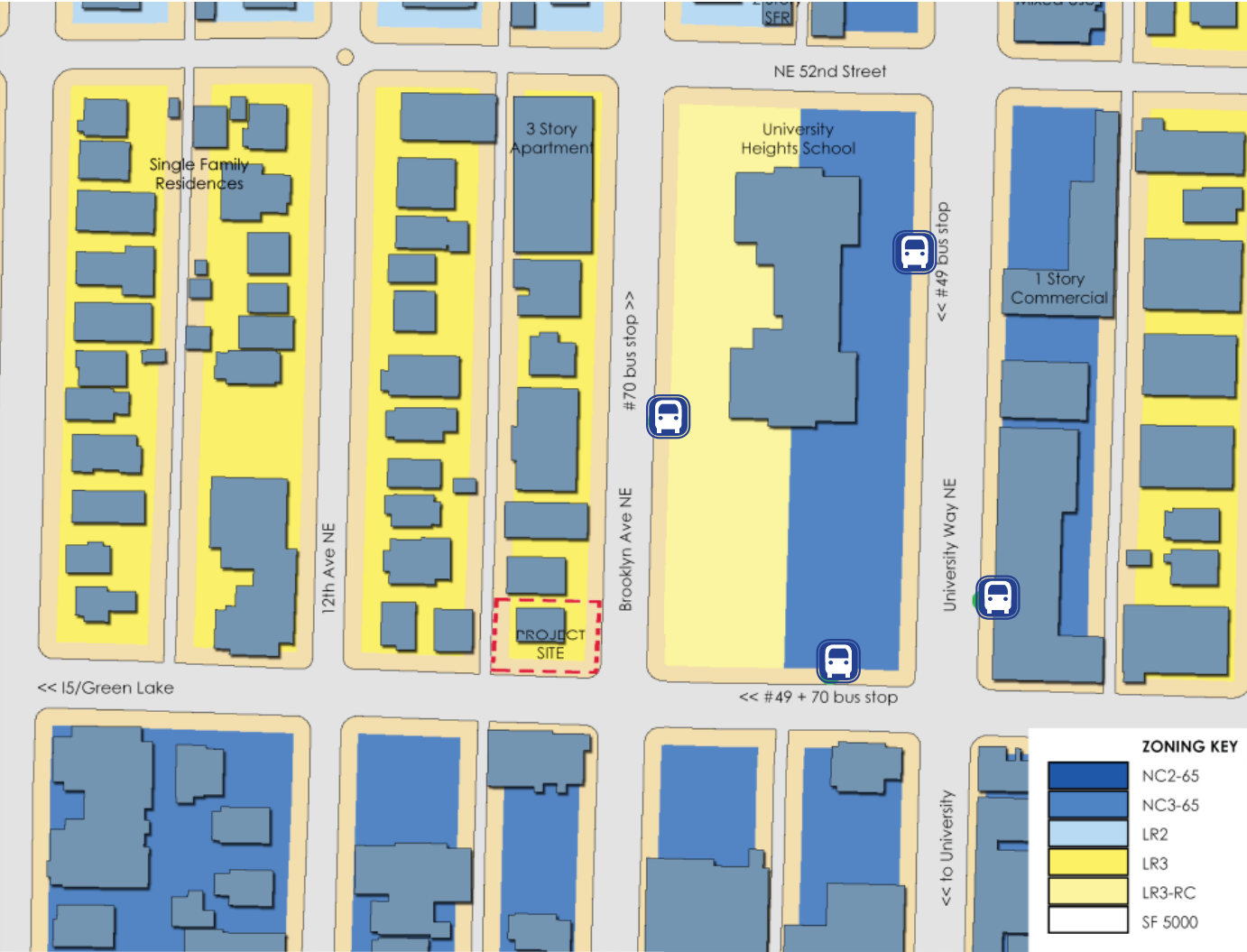
FAR: 4.75 (mixed-use)
5,008 sf site x 4.75 = 23,783 sf
(SMC 23.47A.013)

SETBACKS:

- Front and Side Yard Setback = 0' (where not abutting res zone)
- Rear Setback (where abutting a residential zone):
 - Below 13' in height = 0'
 - Above 13' in height = 15'
 - Above 40' in height = 15' + Add'l 2:10 sloped setback
- Additional setbacks: 5' Min distance to building opening from residential zoned lot. (SMC23.47A.014)

SOLID WASTE STORAGE:

51-100 Units: 375 sf plus 4 sf for every unit over 50 = 415 sf
Non-Res: 1/2 of req'd 82sf (mixed use) = 41sf
Combined required total = 456 sf
(SMC 23.54.040)

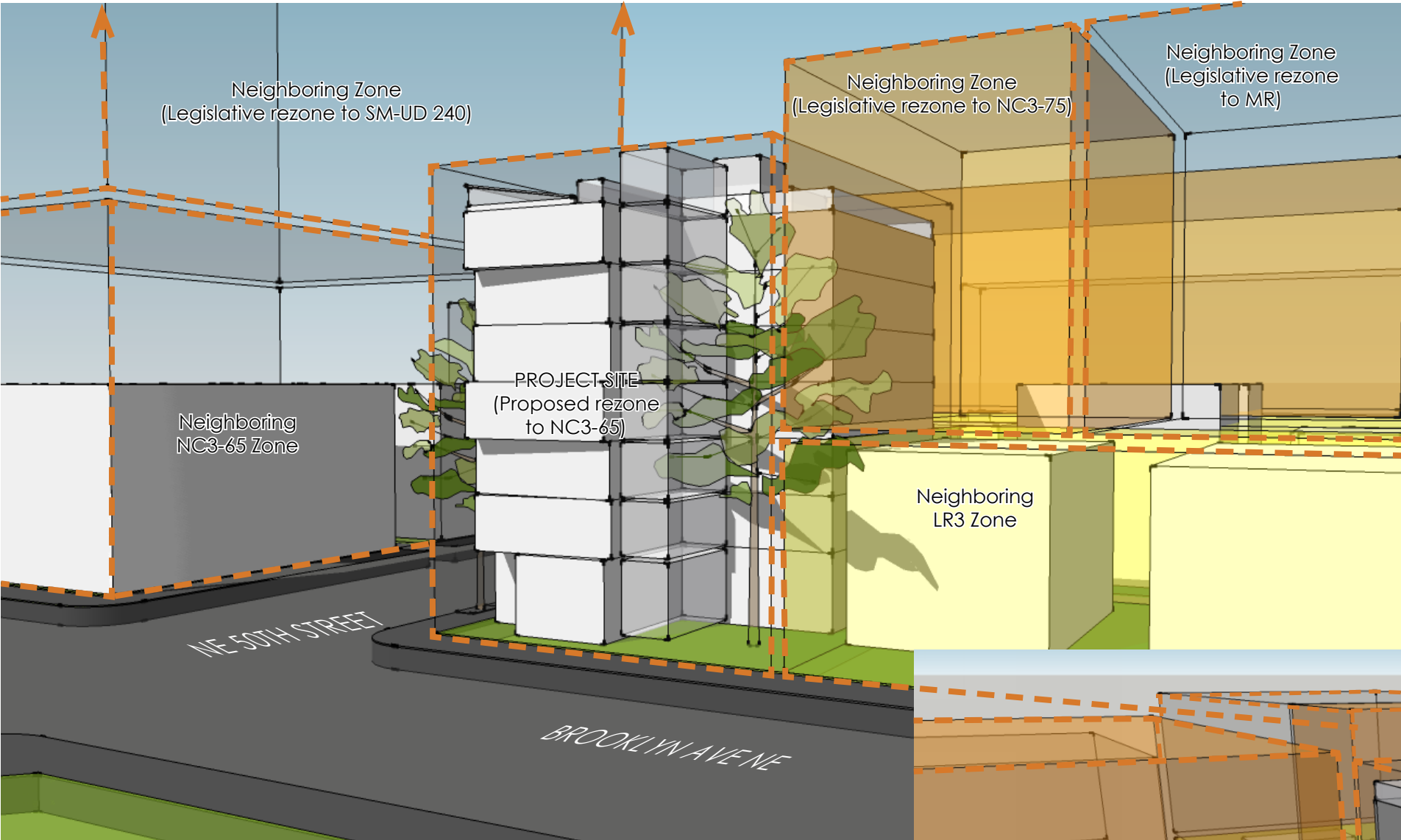


EXISTING ZONING



PROPOSED ZONING
AFTER PLANNED LEGISLATIVE REZONE

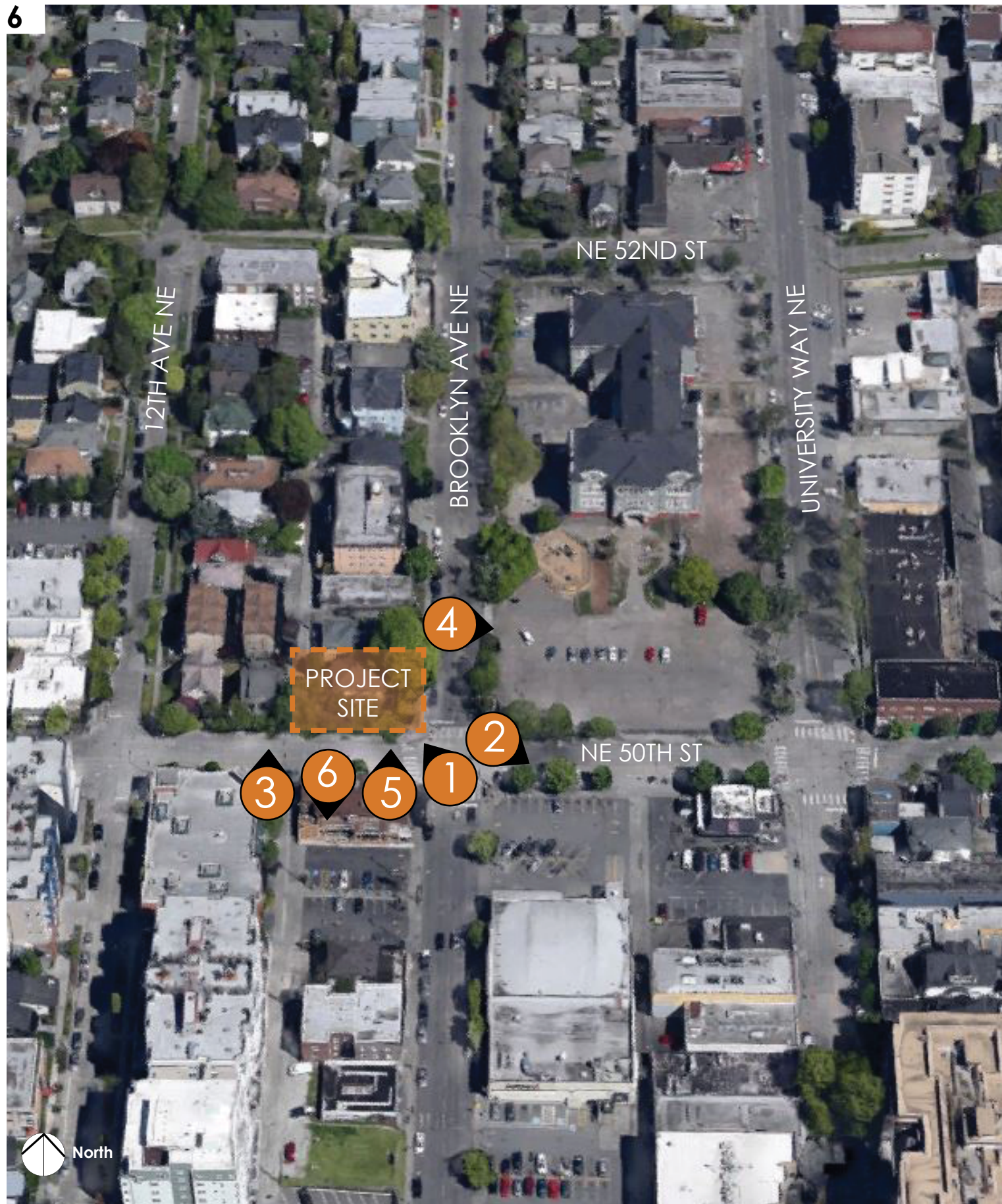




Project proposal in context with future legislative zoning changes: Brooklyn Ave view



Project proposal in context with future legislative zoning changes: NE 50th St view



1 Brooklyn Ave and 50th intersection: Looking northwest at project site



2 Looking SE from project site to Brooklyn Ave/50th intersection



3 Looking north up the alley from NE 50th St



4 Looking east across Brooklyn Ave NE



5 Looking north at site from NE 50th St



6 Looking south across NE 50th from site



1 Looking west at apartment on Brooklyn Ave NE



2 Looking west at apartment on Brooklyn Ave NE



3 Looking south at commercial space on NE 50th St



4 Looking southwest at mixed-use building on NE 50th St



5 Looking west at the YMCA center on 12th Ave NE



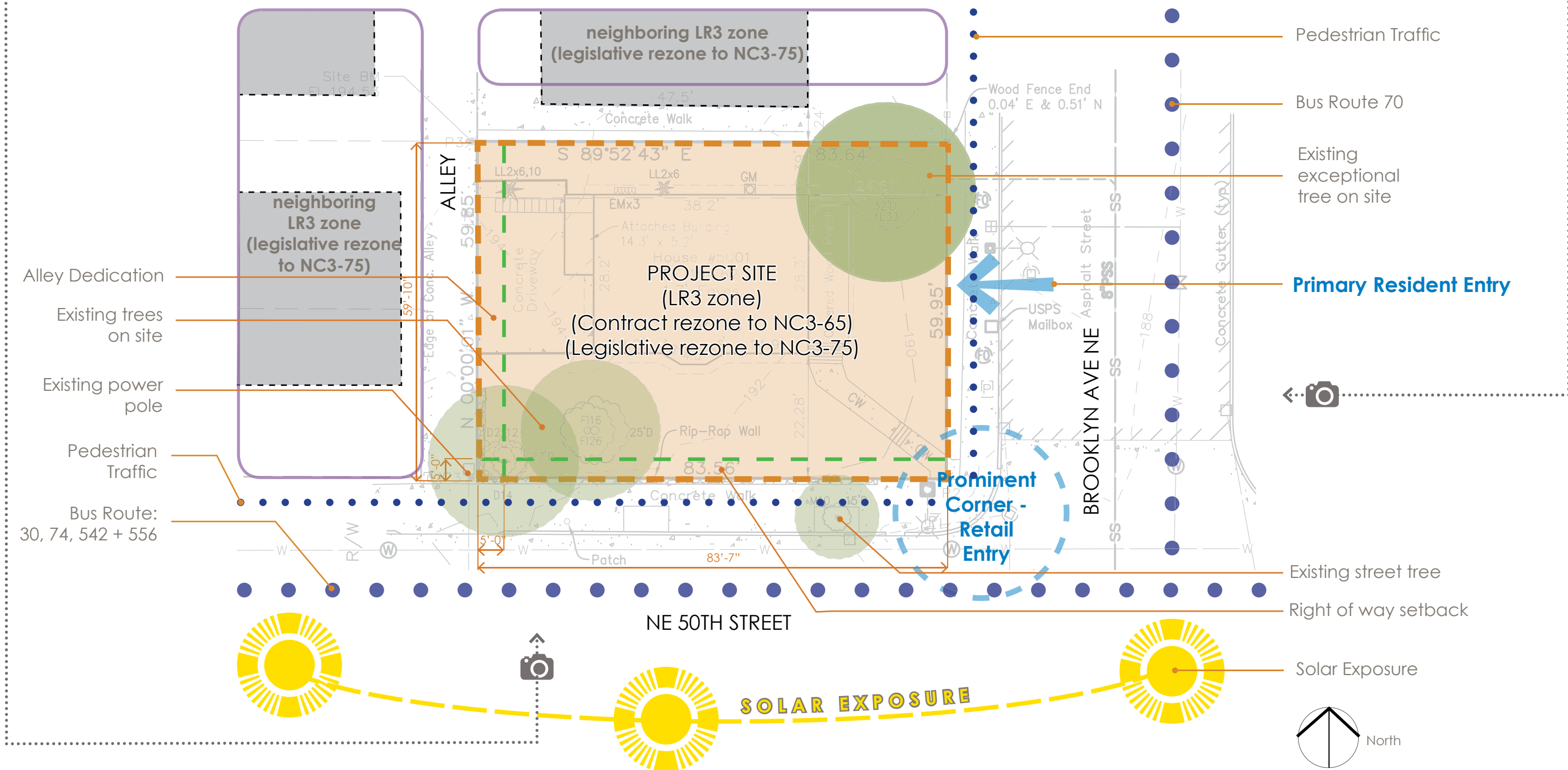
6 Looking SW at the fire station on NE 50th St and 11th Ave NE

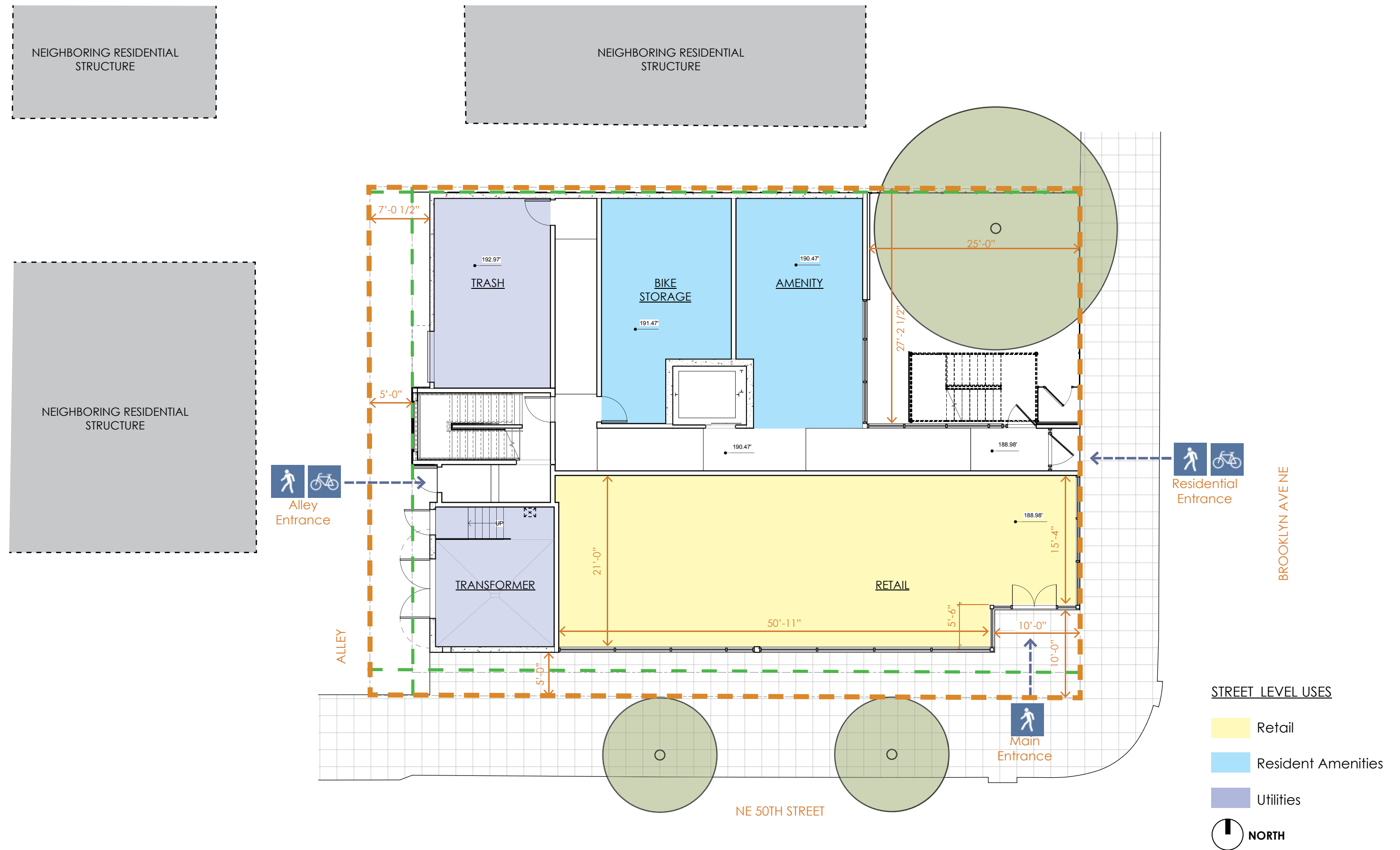


7 Looking SW at University Heights on NE 52nd and 15th Ave NE



8 Farmers market looking towards project site







CONTEXT & SITE

> CS1 D 1: On-Site Features and CS1 II i: Existing Trees

The building mass/site plan is configured to wrap around the existing 'exceptional' tree at the NE corner

> CS2 B 2: Connection to Street

Massing holds street wall along 50th (an arterial with major retail), but steps back along Brooklyn Ave to respond to more residential character and open space along that frontage

> CS2 C 1: Corner Sites

The recessed retail entry provides a focal point at the ground floor. The skewed/shifting masses of the upper floors take advantage of the variety of viewing angles provided by the corner lot.

> CS2 D 3: Zone Transitions

The project steps down in height and back from the street toward the LR zone and steps up in height/scale and holds the streetwall as it faces the commercial zone across 50th

> CS2 D 5: Respect for Adjacent Sites

The proposed project will not include window openings facing the North property line to protect the visual and acoustic privacy of the neighboring residents.



PUBLIC LIFE

> PL1 B 2: Pedestrian Volumes

Recessed corner retail allows for pedestrian flow.

> PL2 C 3: People Friendly Spaces

Recessed entries with accent soffiting above create welcoming human-scale entries along the street



DESIGN CONCEPT

> DC2 A 2: Reducing Perceived Mass

The stacked angled masses of the upper stories help to break down the perceived mass of the building.

> DC2 B 1: Facade Composition

All of the building facades reflect the overarching design concept of a series of skewed masses anchored by a rectilinear mass. The slanted masses provide visual interest from different vantage points and break down the scale of the building, while the rectilinear mass juxtaposes the shifted masses and anchors the building into its context. Each facade provides a different perspective on the interplay of these design components.

> DC2 C 3: Fit with Neighboring Buildings

The more sedate rectilinear facade facing Brooklyn Ave fits in well with the more residential character of that street, while the dynamic angled facade addresses the more active more eclectic character of 50th St.





PRIORITIES & RESPONSES

1

THE EXCEPTIONAL TREE SHOULD BE RETAINED:

Early Design Guidance: ...“Saving the tree is important; provides green space, and allows for striking residential entry and open stairway.”

Proposed massing based on retaining a significant European Beech tree at the Northeast corner of the site has been maintained. The existing beech tree is 35 inches in diameter and 70 feet tall. The building mass has been designed to wrap around the existing tree and preserve the tree and the space around it.

2

PEDESTRIAN ENTRIES & RELATIONSHIP WITH OPEN STAIR NEEDS MORE DETAIL:

Early Design Guidance: ...“Retail entry seemed to be the proper arrangement, but more detail needed on relationship between retail and residential entries, as well as the relationship between the open stairway and residential entry.”

Retail and residential entries have been studied in greater detail - both are recessed and their respective scales and locations are expressive of their function. The hierarchy between the primary resident entry and adjacent open stair exit has been clarified.

3

OVERALL MASSING AND EXTERIOR DESIGN SHOULD STRONGLY PURSUE THE “STACKED BOOK” CONCEPT:

Early Design Guidance: ...“The board encouraged design team to be bold in pursuing the ‘stack of books’ concept.”

The design continues to be driven by the “stacked book” concept both at massing and detail levels. Warm-toned soffits are used to accentuate shifting floor plates, ribbed metal siding to approximate pages in a book and ornamental panels used to reflect books shelved up on end.

4

DEPARTURE REQUEST FROM NORTH SETBACK SHOULD BE FURTHER EXPLORED:

Early Design Guidance: ...“The tree’s retention results in significant loss of developable space, so the board was sympathetic to the setback departure, but would like to see further design exploration along the north face of the proposed building and friendlier aspects to the North.”

Massing relationship to the northern neighboring site has been further studied. Proposed massing is pulled to the west and south in response to the exceptional tree and 50th St commercial arterial/transition to lower-scale existing uses to the north, respectively. The roof profile rises towards 50th St and steps down toward the LR zone to the North. The building holds the streetwall along 50th to connect to the pedestrian environment of the busy commercial arterial. The building pulls back along Brooklyn Ave, connecting to the open space of the street and providing an appropriate transition to the more residential character. To protect the visual and acoustic privacy of the neighboring uses, the building does not include window openings facing the North property line. The project will include an ornamental siding pattern on the north façade to provide visual interest facing the neighboring property.



Commercial arterial character of NE 50th St



Existing 'Exceptional' European Beech

EDG RESPONSE: EXCEPTIONAL TREE RETENTION

- The Board-preferred EDG scheme that retains the existing tree has been further developed.
- In addition to respecting the tree, the proposed massing reflects the urban and environmental context and aids in the transition to the existing LR-3 zone to the north:

> scale is larger at the south side of the site, adjacent to NE 50th St (a busy commercial arterial)

> setbacks along a portion of Brooklyn Ave break down the scale of the mass facing a relatively quieter and more residentially-oriented street



< Overall massing of design proposal is shaped by the 'Exceptional Tree'

EDG RESPONSE: PEDESTRIAN ENTRIES and EXTERIOR RESIDENTIAL STAIR

- The retail and residential entries have been further developed to provide clarity and human scale:
 - > corner retail entry: located at prominent corner intersection, but is recessed to provide more room for pedestrian movement and a greater sense of entry. Overhead soffit is warm wood material
 - > residential entry: located mid-block on Brooklyn (a relatively quieter and more residential street) with a smaller-scale recess to differentiate from the retail entrance
- hierarchy and wayfinding between residential entrance and adjacent exterior exit stair has been clarified: residential entrance is incorporated into the storefront (making it a clear entry point) while the exit stair is located behind the privacy fence
- the building massing (including proposed exit stair position) has been reviewed by a certified arborist, who has prepared pruning recommendations to ensure continued health of the tree

Brooklyn Ave NE
NE 50th St

GROUND FLOOR PLAN



warm soffit/
overhead
weather
protection

recessed
entry

enlarged
sidewalk at
intersection

storefront
windows wrap
corner



RETAIL ENTRY (corner of 50th & Brooklyn)

recessed retail
entry

overhead
weather
protection

small recessed
area for residential
entry door

exterior stair
located behind
fence

attractive
fence for
security



RESIDENTIAL ENTRY (mid-block along Brooklyn)

EDG RESPONSE: CONTINUATION OF 'STACKED BOOKS' CONCEPT

- The project design continues to draw inspiration from "a stack of books" initial concept:

- > Overall massing: floors vary in alignment, accentuated by warm-toned wood soffits, and ribbed metal siding evokes individual pages
- > North Facade treatment: The project will include an ornamental siding pattern on the north façade to provide visual interest facing the neighboring property, patterned after books shelved up on end



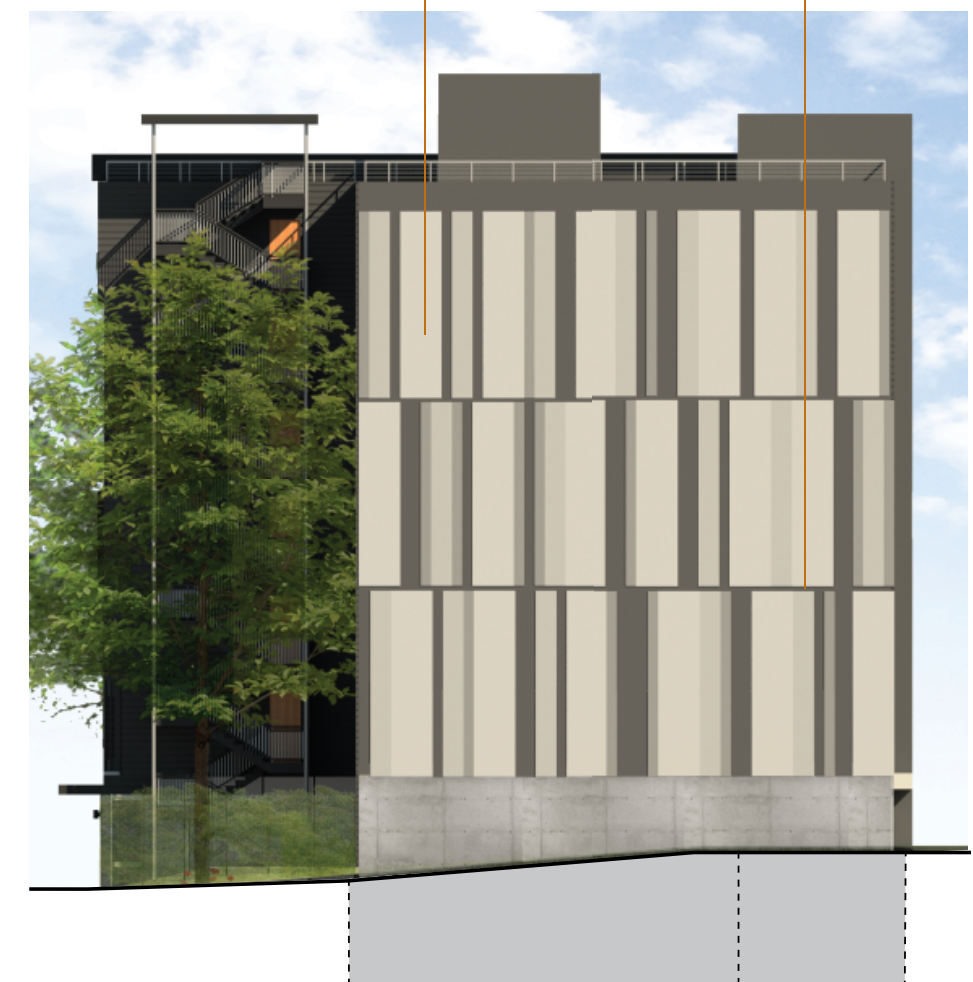
'books, loosely stacked'



Perspective from 50th & Brooklyn



'books shelved up on end'



North (Block Interior) Elevation



ZONING KEY	
■	NC3-75
■	MR
■	SM-UD 65
■	LR3
■	NC3P-65
■	SM-UD 240

massing pulled toward NE 50th St

roof slopes down to north

clerestory roof at south side does not continue to north portion

massing pulls back from street and adjacent neighboring front yard



SE Aerial Perspective

* Actual Street View



area of increased setback of 27.5' adjacent to front yard

no windows proposed on this portion for privacy (note: future zoning will be NC3-75 with zero setback req'd)

existing neighboring structure has a 24' setback



NE Perspective view from Brooklyn (Exposing Facades)

EDG RESPONSE: MASSING ADJACENT TO NORTH NEIGHBOR

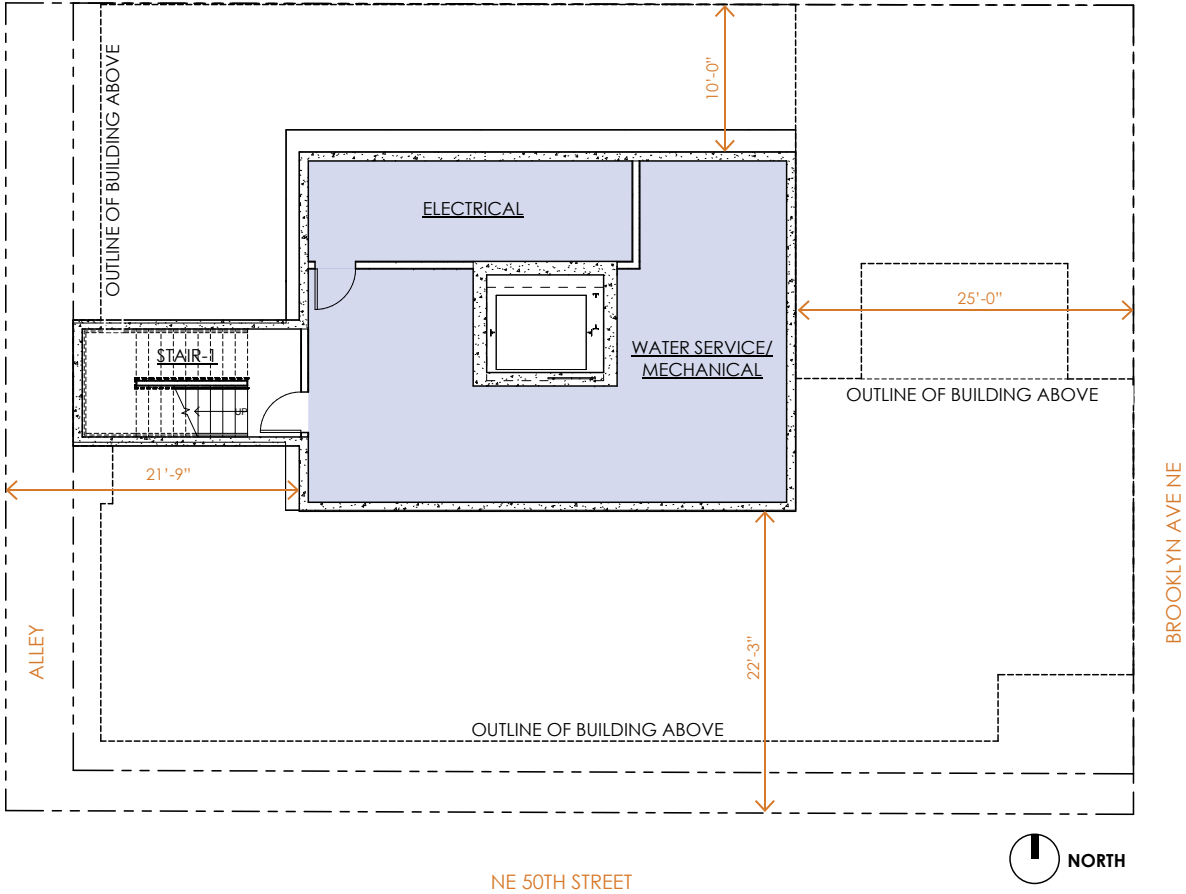
- Massing relationship to the northern neighboring site has been further studied. Current proposed design allows for retention of the significant European Beech and balances privacy of adjacent neighboring properties

- The building mass is reflective of the surrounding urban and environmental context:

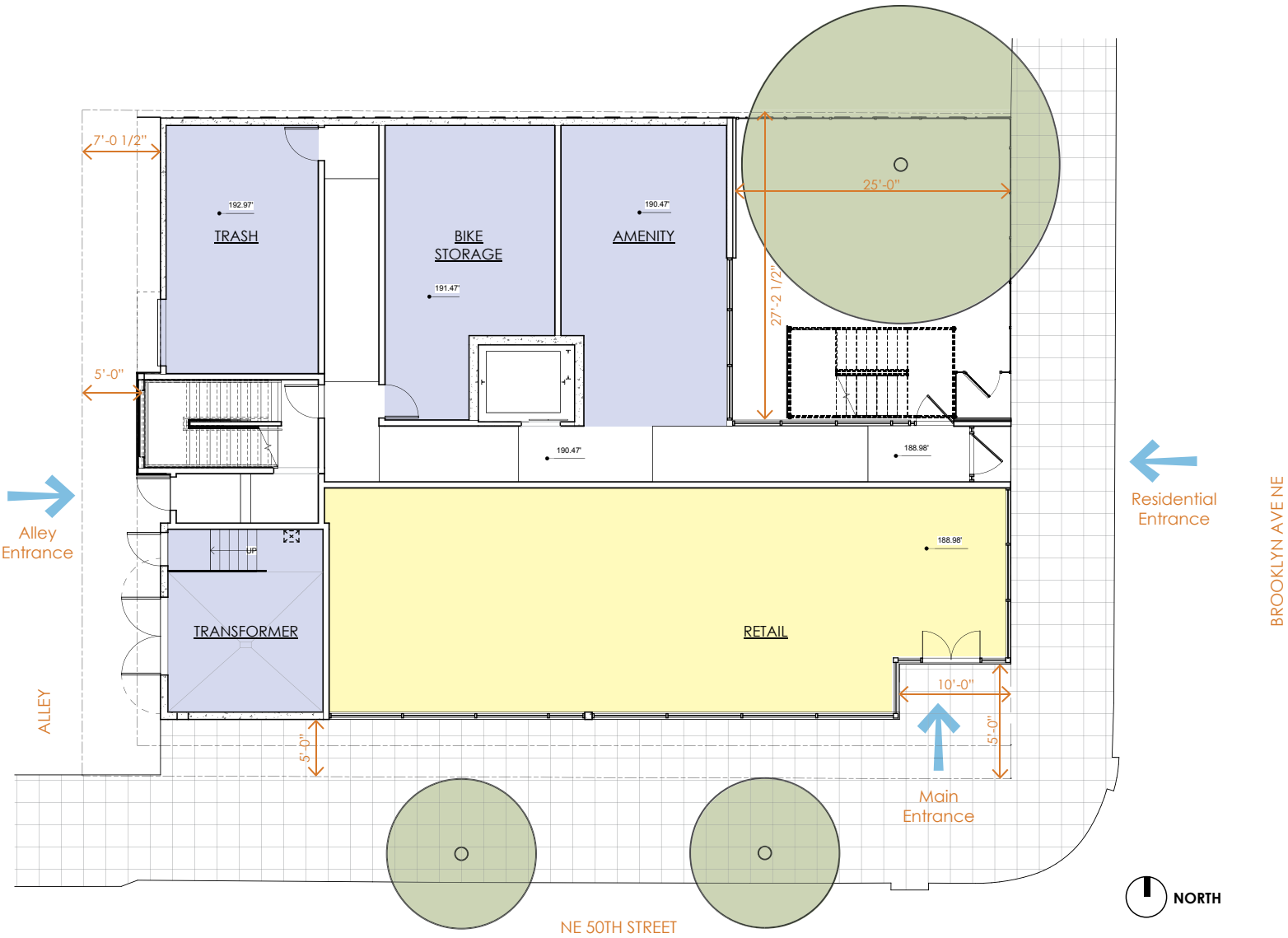
> the building is higher at the south edge and holds the streetwall along NE 50th St (a commercial arterial street) and reduces in scale to the north

> The building massing pulls back along Brooklyn Ave, connecting to the open space of the street and providing an appropriate transition to the more residential character of the street. Carving away mass at the NE corner both respects adjacent neighboring front yards and the existing 'Exceptional Tree' and provides an appropriate height, bulk, and scale transition to the north properties (currently zoned LR3, soon to be NC3-75 and MR)

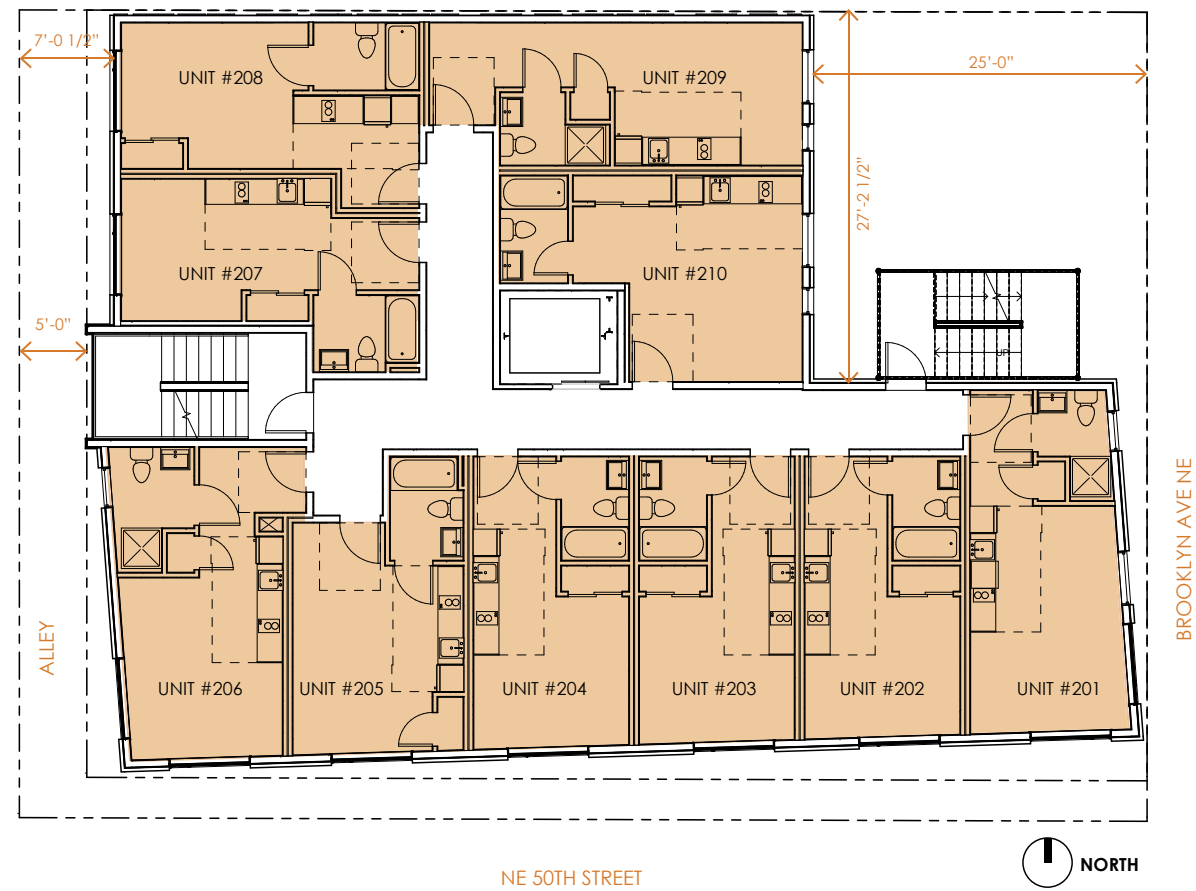
- After considering visual and acoustic privacy impacts, it was determined undesirable to include windows facing directly north onto the adjacent properties. The project will include an ornamental siding pattern on the north façade to provide visual interest facing the neighboring property.



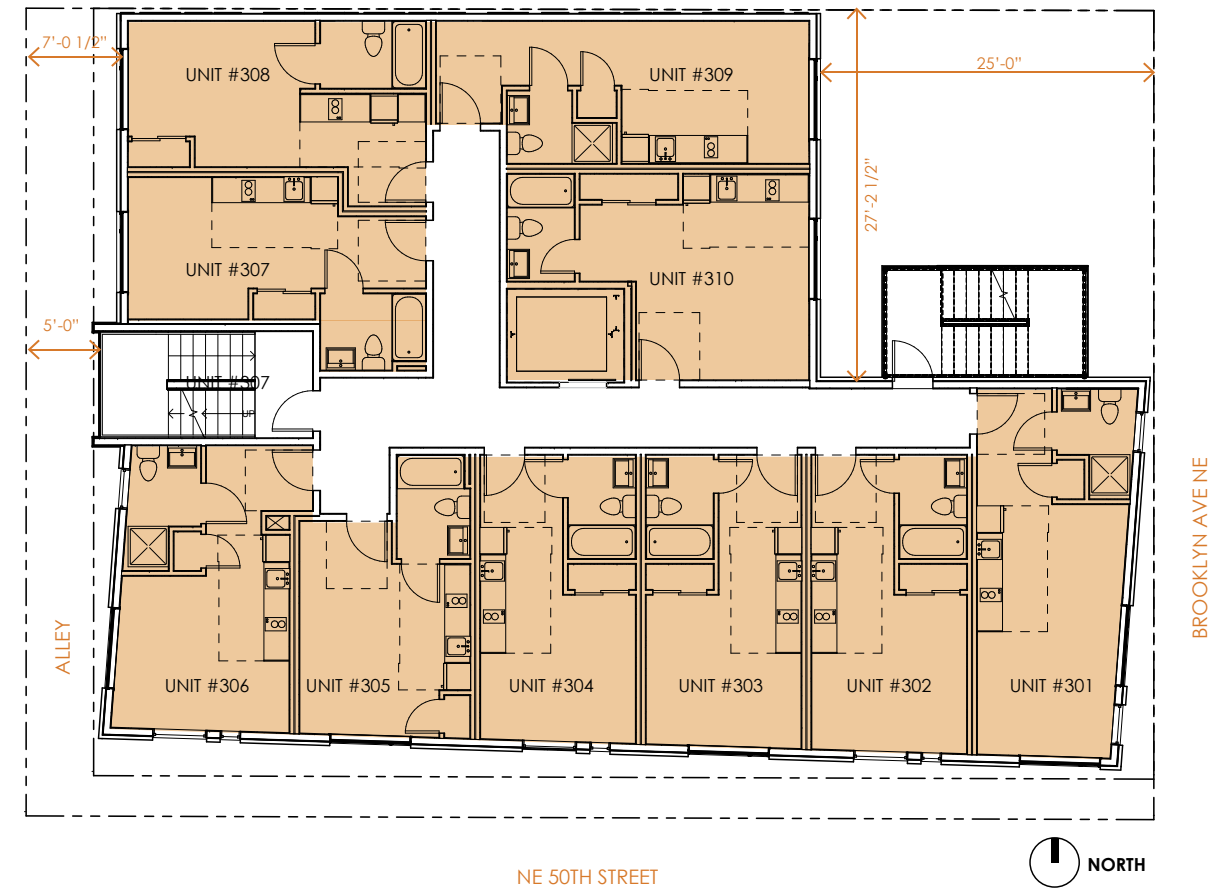
BASEMENT PLAN



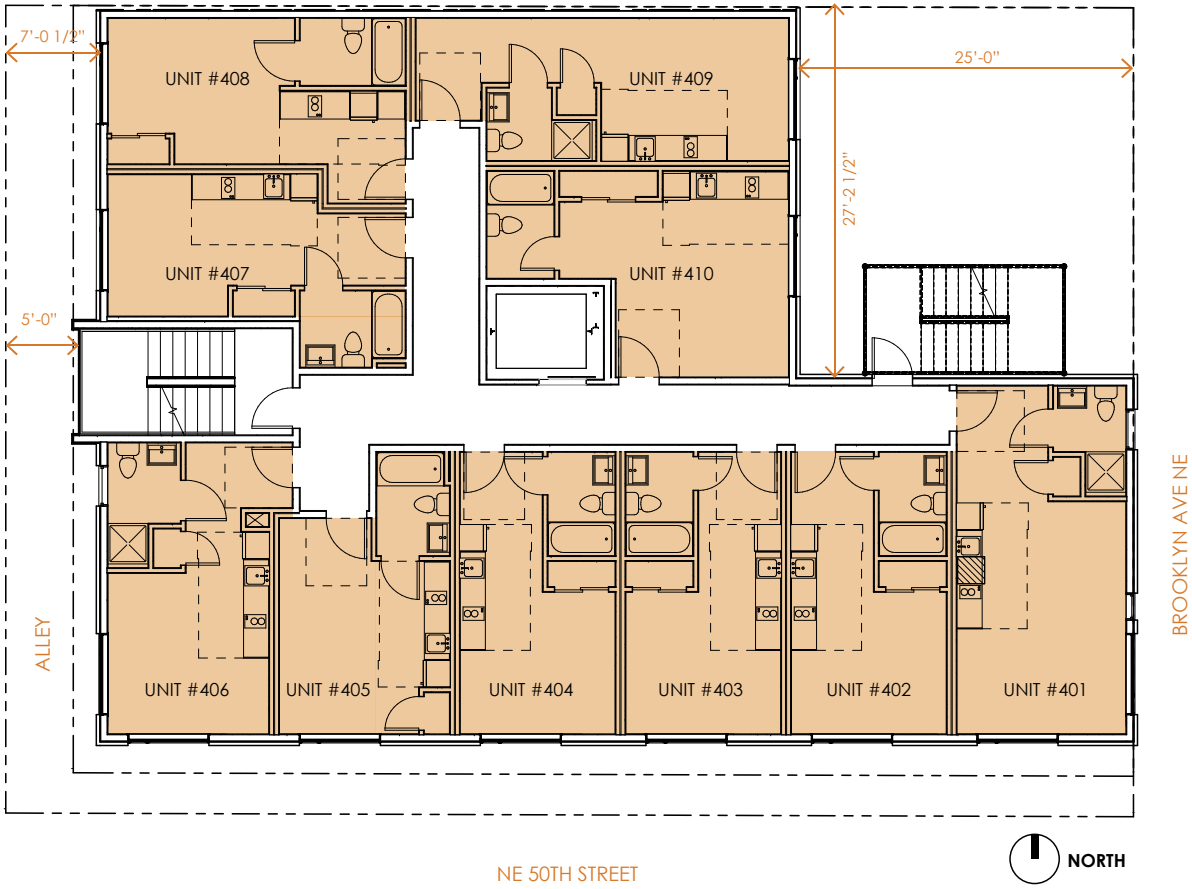
GROUND FLOOR PLAN



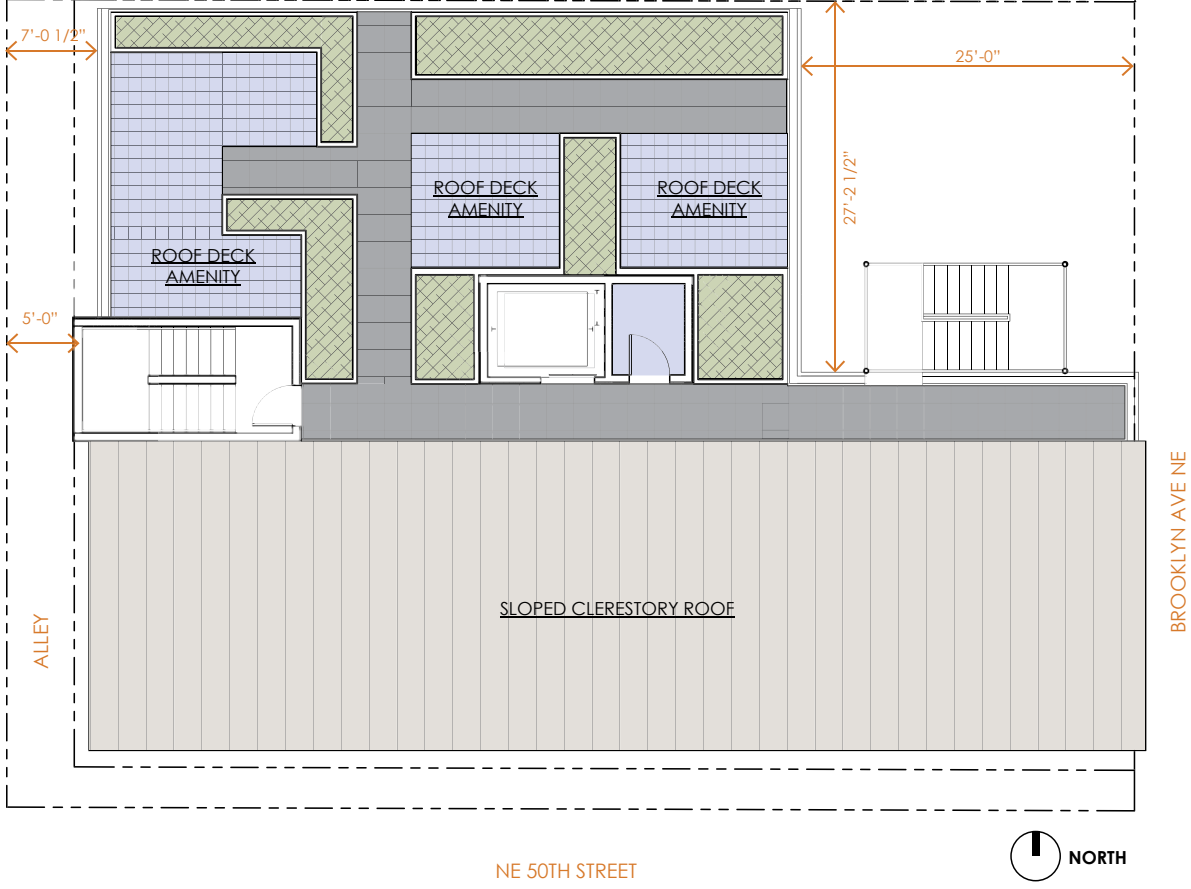
2ND & 5TH FLOOR PLAN



3RD & 6TH FLOOR PLAN



4TH & 7TH FLOOR PLANS



ROOF PLAN

PLANT SCHEDULE

A

H2

1

M

PS

VID

QUANT		BOTANICAL NAME	COMMON NAME	SIZE
1		ACER PSEUDOPLATANUS	SYCAMORE MAPLE	2" CAL
		MATCH VARIETY TO EXISTING STREET TREE		
*	4 #	ARBUTUS U. COMPACTA	COMPACT STRAWBERRY BUSH	2 GAL
*	5 #	HYDRANGEA QUERCIFOLIA PEE WEE	OAKLEAF HYDRANGEA PEE WEE	2 GAL
*	19 #	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	2 GAL
	56 #	MAHONIA NERVOSA	LOW OREGON GRAPE	4" POT
*	10 #	POLYSTICHUM SETIFERUM	SOFT SHEILD (ALASKAN) FERN	1 GAL
*	4 #	VIBURNUM DAVIDII	VIBURNUM DAVIDII	2 GAL
	40 #	VINCA MINOR WINE	WINE FLOWERING DWARF VINCA	4" POT
		LANDSCAPE PLANTINGS		

FOR EACH HATCH AREA PROVIDE AMOUNT OF PLANTINGS LISTED ADJACENT TO HATCH

★ SHRUB WITH A MATURE HEIGHT OF 24" OR GREATER, (FOR GREEN FACTOR CALCULATIONS)

PLANT SHRUBS AND GROUNDCOVERS A MINIMUM OF 18" FROM PAVED SURFACES

DROUGHT TOLERANT SHRUB OR GROUNDCOVER, ONCE ESTABLISHED, NOTE SOME SPECIES ARE DRAUGHT TOLERANT WHEN GROWN IN SHADE AS THEY ARE ON THIS PLAN

SEE ARCHITECTURAL PLANS FOR ALL RAILS AND RAILINGS

COORDINATE ALL WORK WITH ARCHITECTURAL AND CIVIL DRAWINGS.

CONTACT SDOT URBAN FORESTRY (206-684-5693) TO COORDINATE STREET TREES **BEFORE** WORK COMMENCES ON-SITE. INSTALL STREET TREES PER DETAILS SHEET L1.3. STREET TREE AND ITS PLANTING WILL NEED TO BE INSPECTED BY SDOT URBAN FORESTRY. TREES MUST BE LOCATED PER CITY OF SEATTLE CODE, WITH A MINIMUM 5' HORIZONTAL CLEARANCE TO UNDERGROUND UTILITIES, VERIFY WITH CIVIL DRAWINGS.

PROTECT EXISTING STREET TREES IN RIGHT OF WAY PER SDOT DETAIL 132A, CONTACT SDOT URBAN FORESTRY (206-684-5693) FOR INSPECTION OF PROTECT MEASURES PRIOR TO CONSTRUCTION. PROTECT ON SITE SIGNIFICANT TREE PER ARBORIST'S REPORT AND ARCHITECTURAL SITE PLANS.

PROTECT 35" DECIDUOUS TREE ON SITE PER ARBORISTS' REPORT AND ARCHITECTURAL PLANS



Existing 'Exceptional' European Beech Tree

Clearance pruning will likely be necessary to construct the new building. The crown on the west side of the tree can be reduced without having adverse impacts on health or stability. Encroaching branches shall be properly pruned back to a main scaffold branch and by using natural target pruning methods. I have attached some pruning guidelines for your reference. The best time to prune the beech tree would be after the first hard frost; normally December through February would be ideal.

Bob Layton
ISA Certified Arborist #PN-2714A
ISA Tree Risk Assessment Qualified (TRAQ)



Viburnum Davidii



Vinca Minor Wine



Kinnikinnick Ground Cover



Golden Pillar Barberry



Sedum Autumn Joy



Alaskan Fern



Low Oregon Grape



Rosemary Arp



Coreopsis Flying Saucers



White Flowering Carpet Rose



Pee Wee Oakleaf Hydrangea



Compact Strawberry Bush



Ski Pencil Holly



Karl Foerster Grass



Green Spire Euonymus



Clematis "Henry"



Variegated Akebia Vine



Viburnum Davidii



Vinca Minor Wine



Kinnikinnick Ground Cover



Alaskan Fern



Low Oregon Grape



Rosemary Arp



Ski Pencil Holly

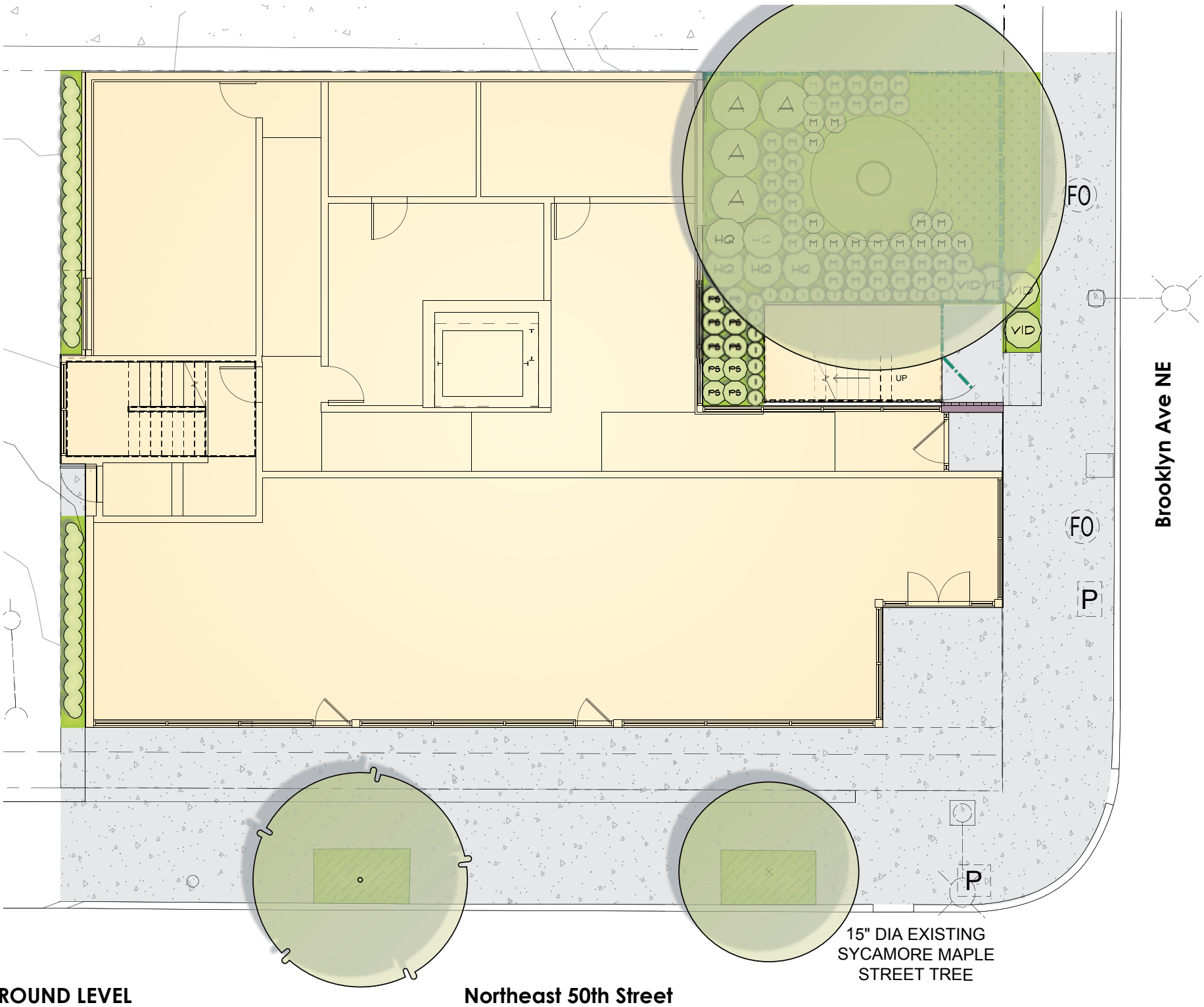


Pee Wee Oakleaf Hydrangea



Compact Strawberry Bush

STREETSCAPE PLANTINGS





Golden Pillar Barberry



Sedum Autumn Joy



Coreopsis Flying Saucers



White Flowering Carpet Rose

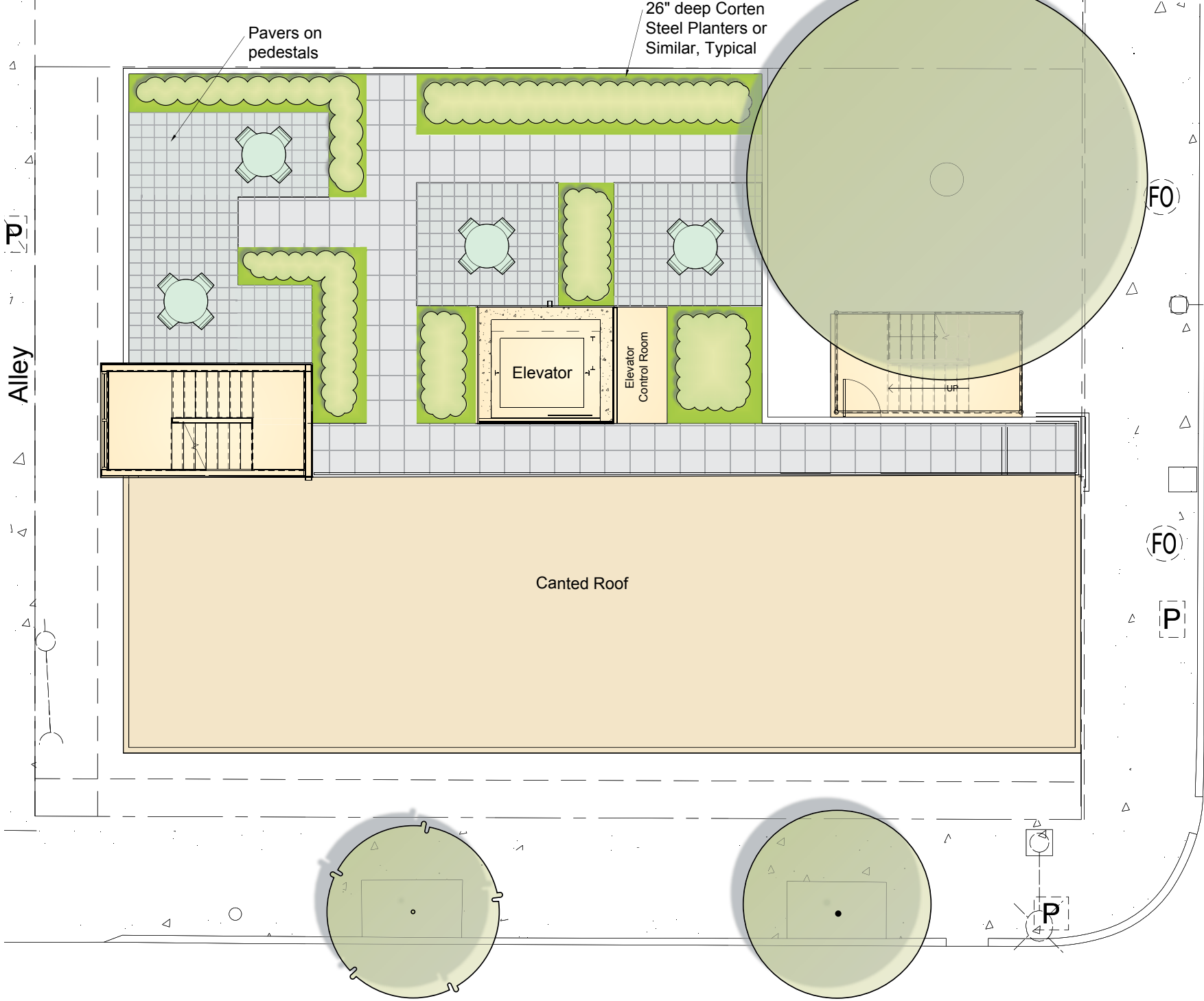


Karl Foerster Grass



Green Spire Euonymus

ROOF TOP PLANTINGS



ROOF LEVEL

Northeast 50th Street



SOUTH ELEVATION (NE 50TH ST)









EAST ELEVATION (BROOKLYN AVE NE)

- MATERIALS**
- Painted Fiber Cement Board
 - Exterior Concrete Wall
 - Green Screen Fence
 - Box Rib Metal Siding
 - Black Windows (Storefront at base, vinyl above)
 - Parklex Wall Panel at Soffit Overhangs

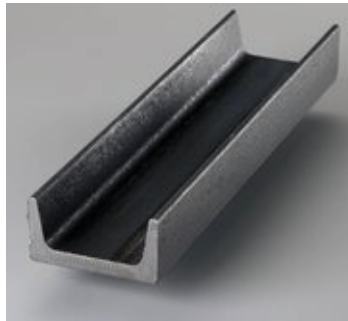


NORTH ELEVATION (BLOCK INTERIOR)

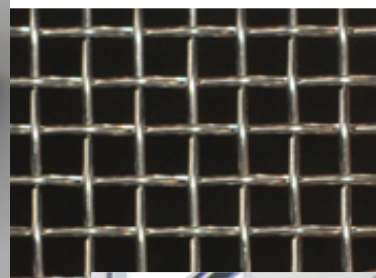
- FACADE MATERIALS**
-  Painted Fiber Cement Board
 -  Exterior Concrete Wall
 -  Green Screen Fence
 -  Box Rib Metal Siding
 -  Black Windows (Storefront at base, vinyl above)
 -  Parklex Wall Panel at Soffit Overhangs



WEST ELEVATION (ALLEY)



steel and woven mesh railings



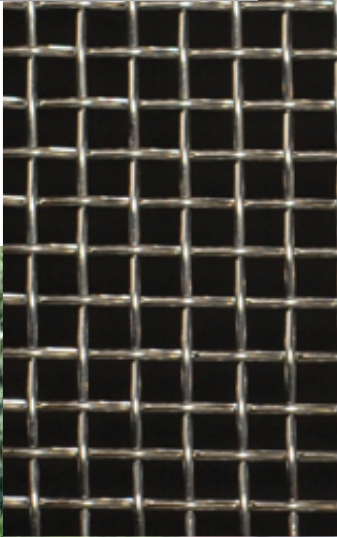
steel awning with parklex wood panel

floor-to-ceiling
black vinyl
windows



painted cement
board panel siding

green screen fence with courtyard
facing steel planter box



parklex wood panel

FACADE MATERIALS



Painted Fiber Cement Board



Exterior Concrete Wall



Green Screen Fence



Box Rib Metal Siding



Black Windows
(Storefront at base, vinyl above)



Parklex Wall Panel at Soffit Overhangs

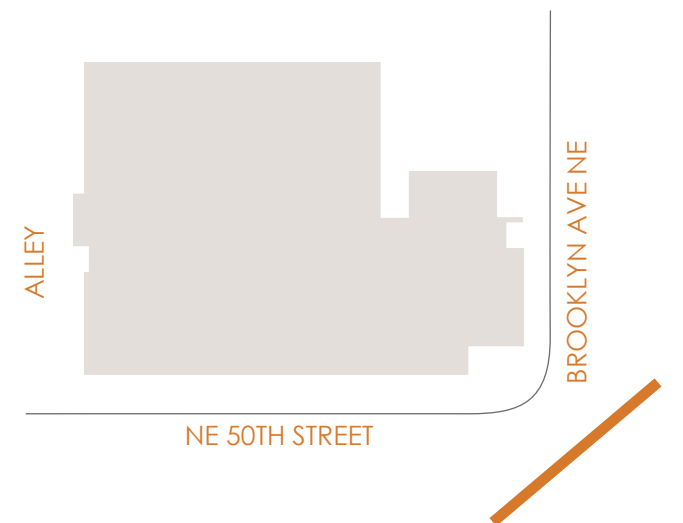


box rib metal siding



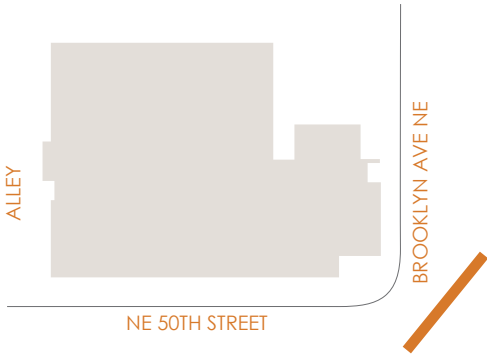
up-down bldg-
mounted sconce
lighting

black anodized
aluminum storefronts

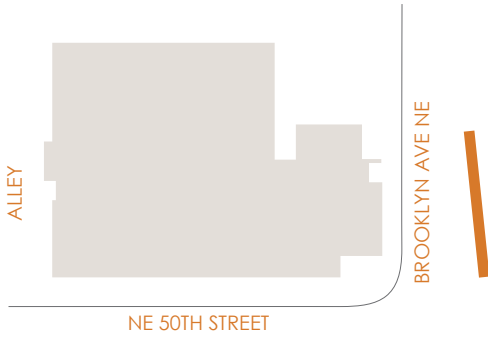


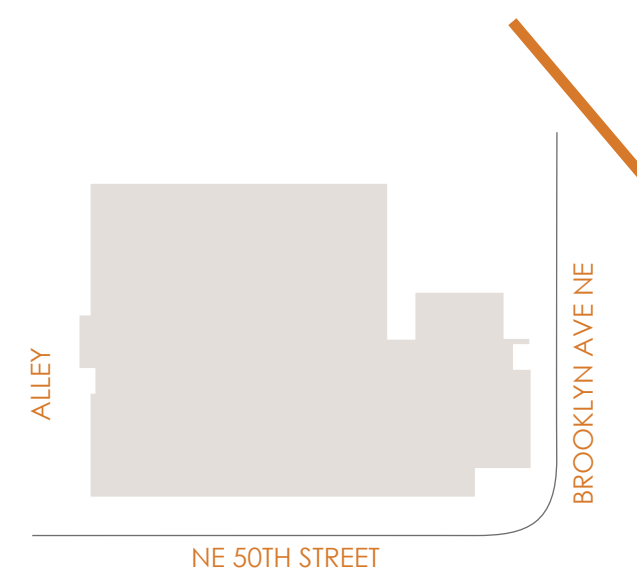


Retail entry at corner of Brooklyn & 50th



Residential Entry along Brooklyn Ave







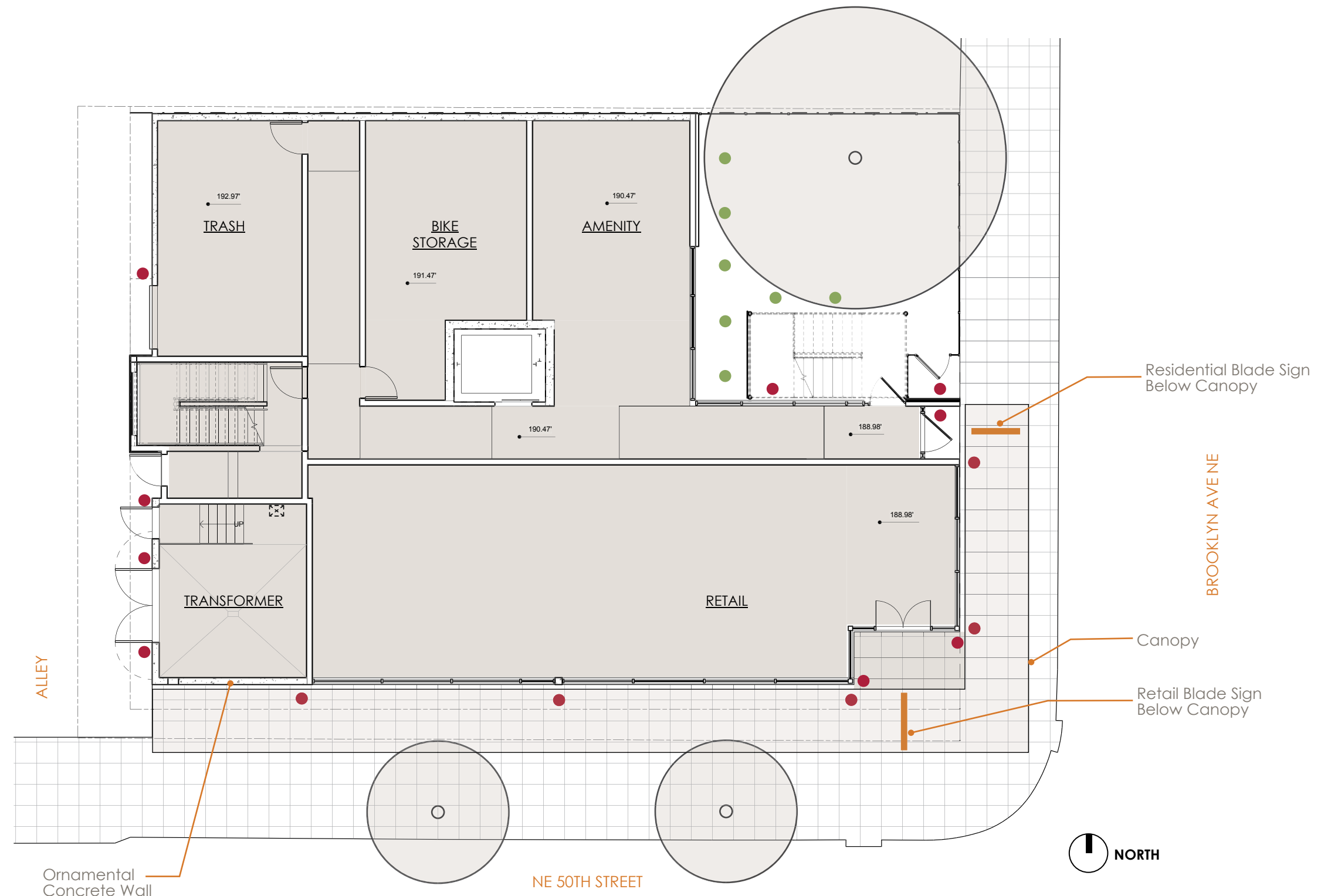
LEGEND

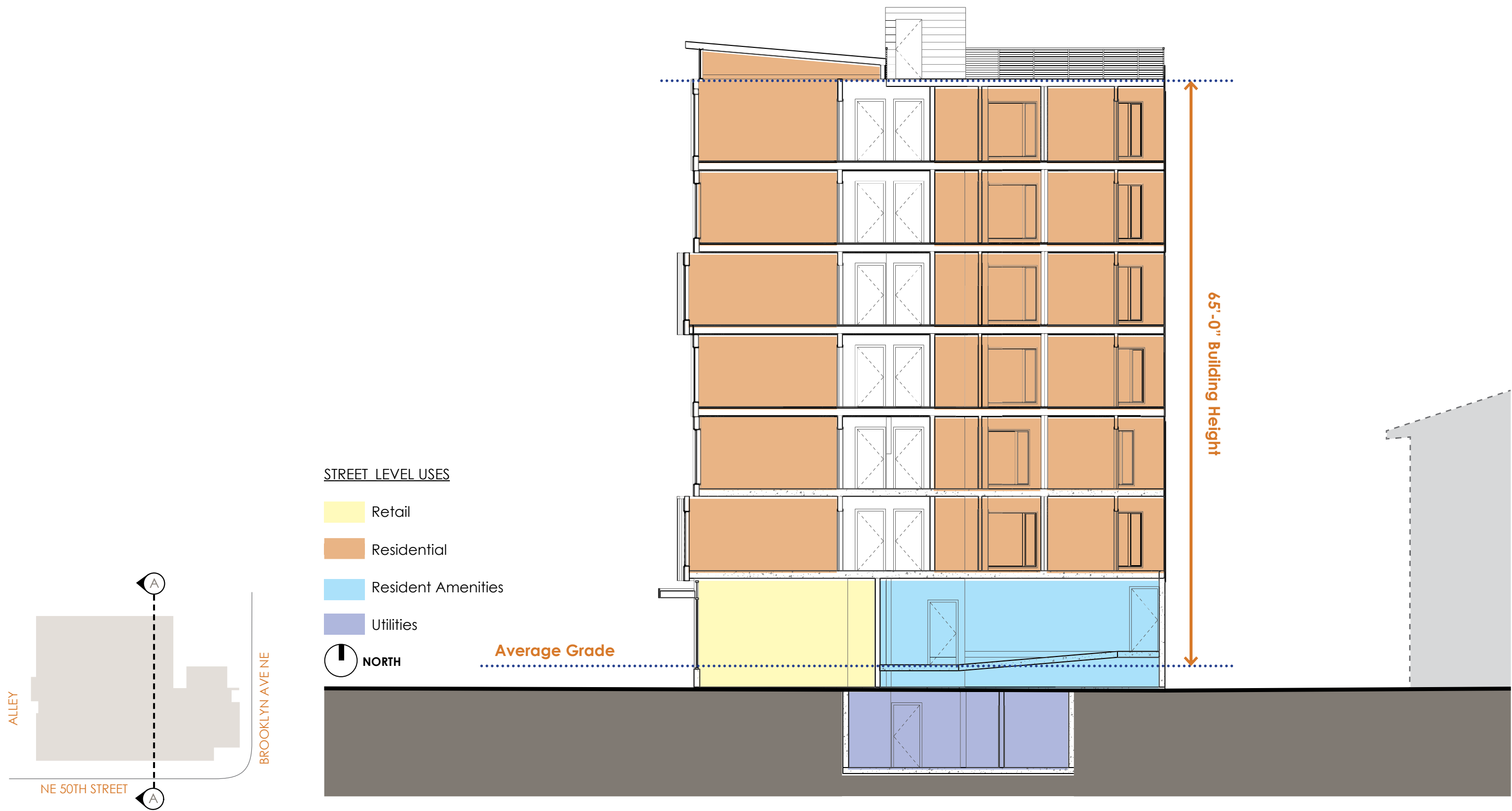


Wall-mounted sconce lighting

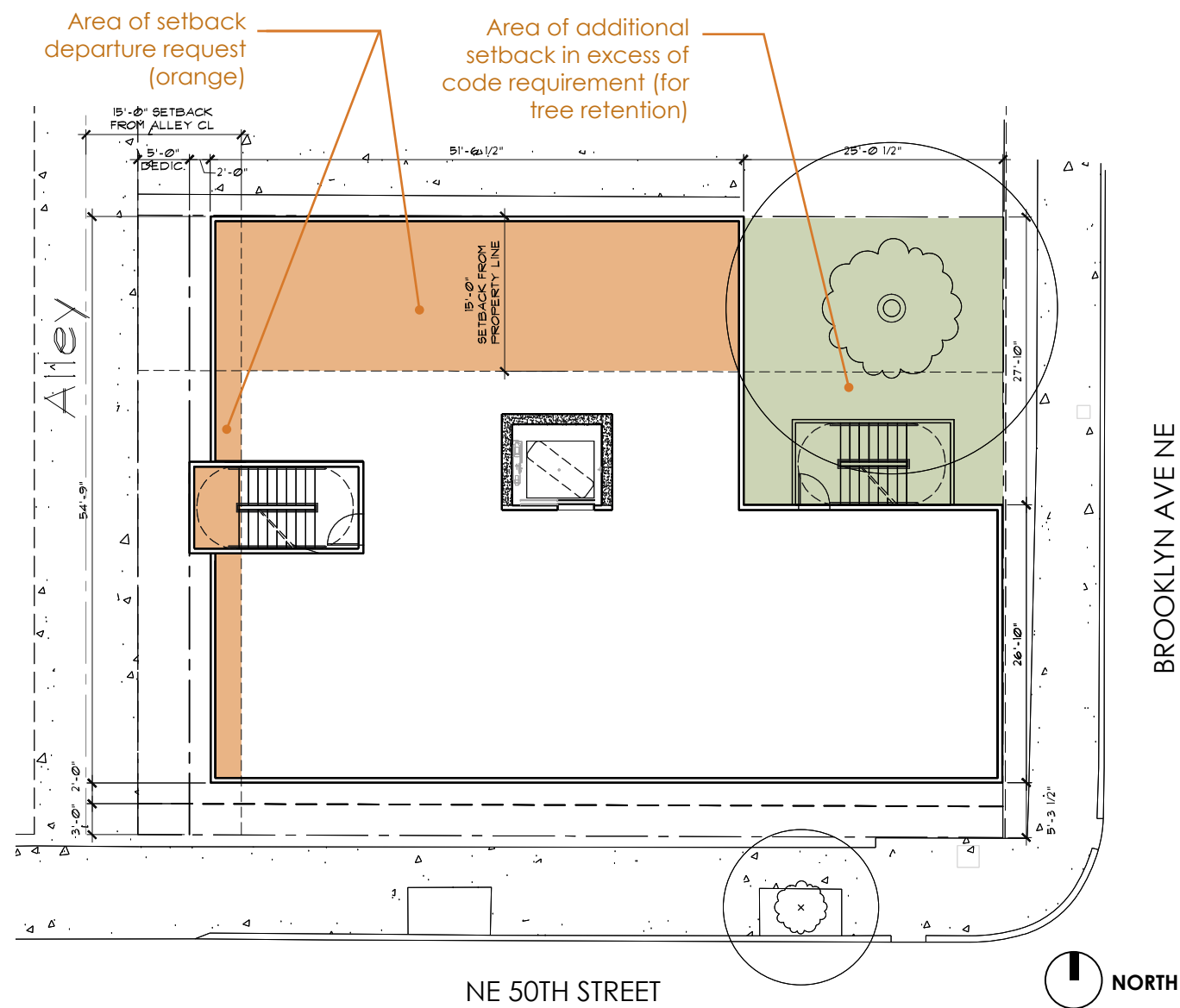


Landscape lighting





DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Setback requirements adjacent to residential zones	<p>SMC 23.47A.014.B.3</p> <p>Code requires a 15' setback for portions of structures above 13' in height. Above 40' with an additional setback at the rate of 2 ft of setback for every 10ft by which the height of the structure exceeds 40 ft</p> <p>SMC 25.11.080.A.2 : The Director may permit an exceptional tree to be removed only if the applicant demonstrates that protecting the tree by avoiding development in the tree protection area could not be achieved through the development standard adjustments permitted in Section 23.41.018 or the departures permitted in Section 23.41.012, a reduction in the parking requirements of Section 23.54.015, and/or a reduction in the standards of Section 23.54.030.</p>	<p>The proposed design has a setback from the ground level of approximately 27'-6" along one third (25 ft) of the north facade. The remaining 2/3 of the facade (75 ft) has 6" setback. The structure is setback 12 ft from the centerline of the alley and setback 10 ft from the alley at the projecting rear stair.</p>	<p>Setback relief is requested in order to preserve the European Beech tree at the NE corner of the site which is considered an exceptional tree (Guidelines CS1-D-1: On Site Features and CS1-II-i: Existing Trees). The proposed design also enhances visual and acoustic privacy of the northern neighboring properties, as the views of the units bordering the north property line are oriented east and west--towards the street and alley, respectively (Guideline CS2-D-5: Respect for Adjacent Sites).</p> <p>The proposed structure will fall short of its allowed 4.75 FAR despite the requested development standard departures. The shortage of the development potential of the property is due to protection of the exceptional beech tree. If the departure is not granted, the tree will have to be removed to make the project financially feasible and realize the property's development potential, and the project would need to be redesigned to conform to the setback requirements. Given the proportion of the property and the setback requirements the resulting design would be a narrow bar with the majority of units oriented toward the north and south property lines.</p> <p><u>All setbacks and the proposed design will be code-compliant once the adjacent properties are rezoned NC3-75, as currently proposed by the City</u></p>

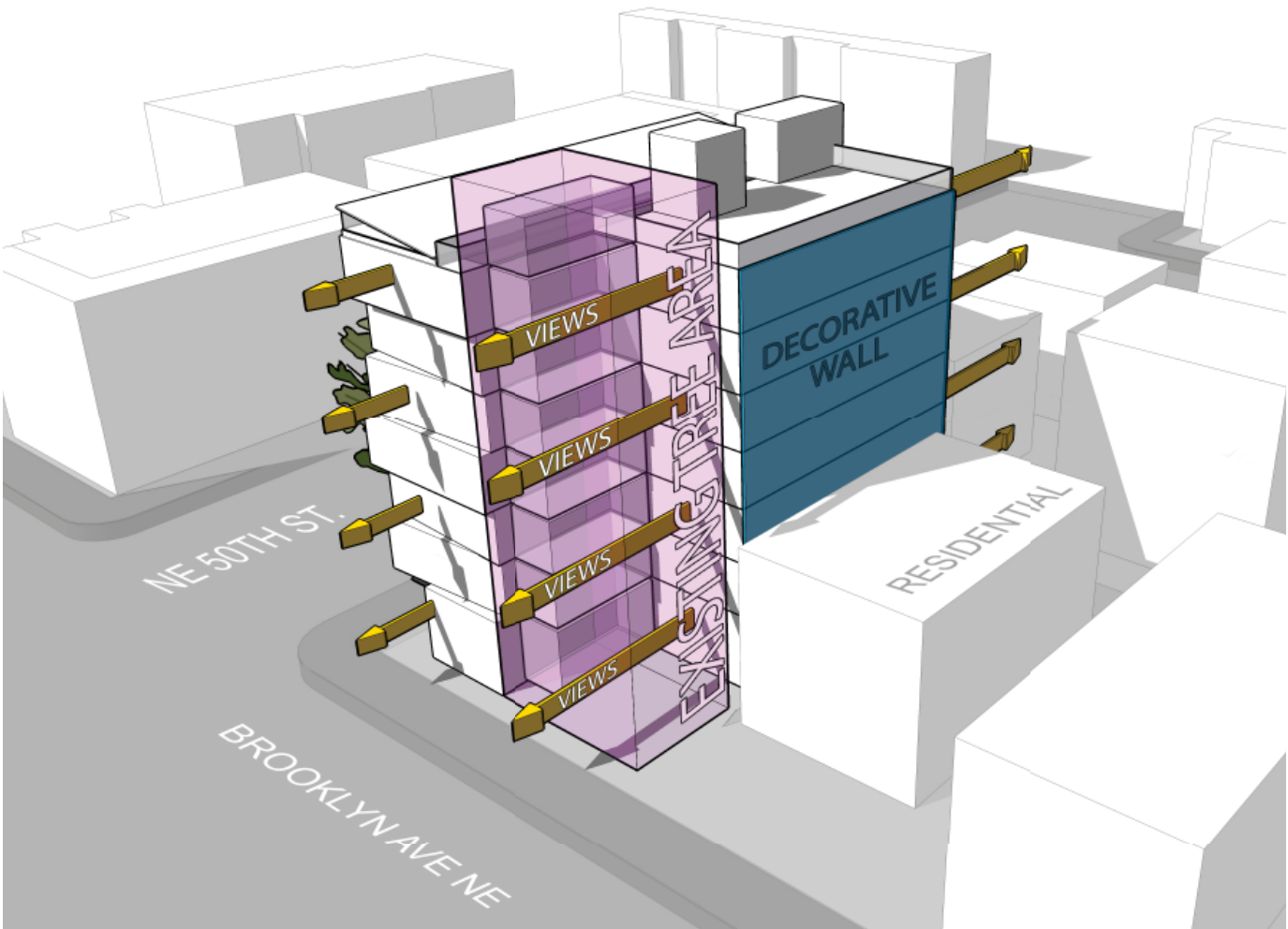


DEPARTURE REQUEST (PROPOSED DESIGN SHOWN)

- Area/Volume of existing site tree to remain**

 - Directs views eastward & westward, away from neighboring residential sites to the north producing more privacy.
 - Maintains more of site for landscaping improvements.
 - Deciduous tree allows solar gain in the winter & limits solar gain in the summer, reducing the amount of energy spent heating/cooling the building.
- Decorative Clad/Designed North Wall**

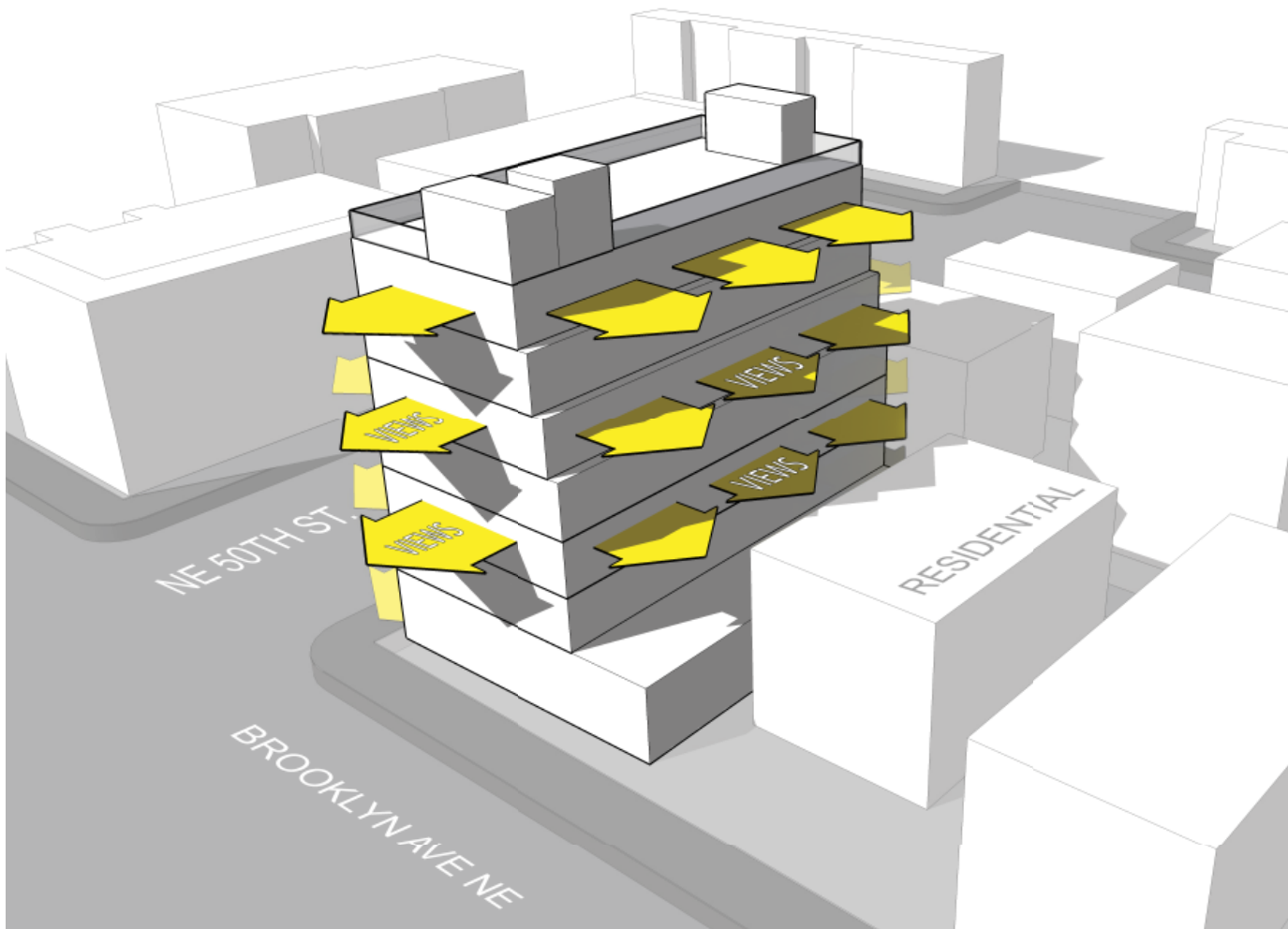
 - Produces privacy for surrounding residential neighbors, while harmoniously incorporating unique design with potential patterns, textures and subtle color.



ZONING-COMPLYING DESIGN

- Views from Individual Units**

 - Directs views in all directions, leaving little privacy of neighboring north residential lot.
 - Less of site retained for landscaping etc.



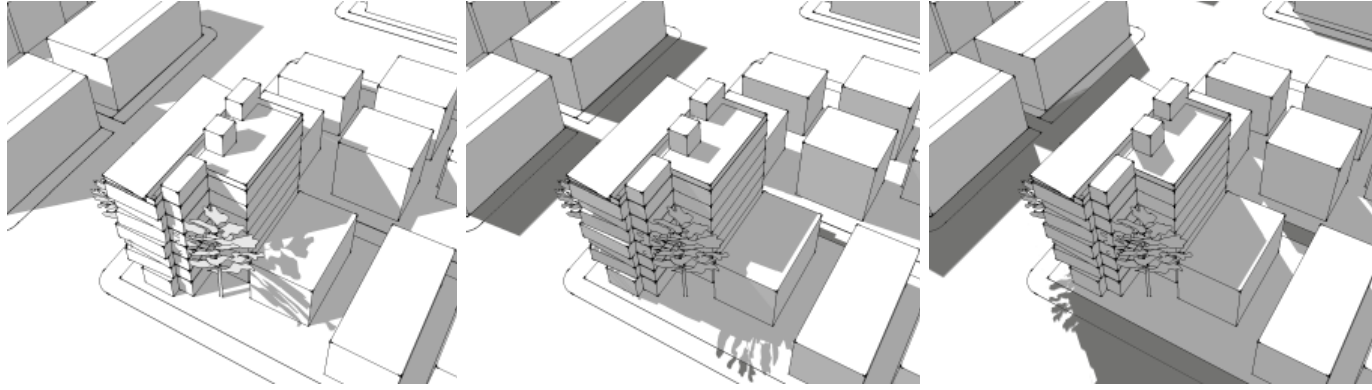
**PROPOSED SCHEME
(with REZONE to NC3-65)**

10 AM

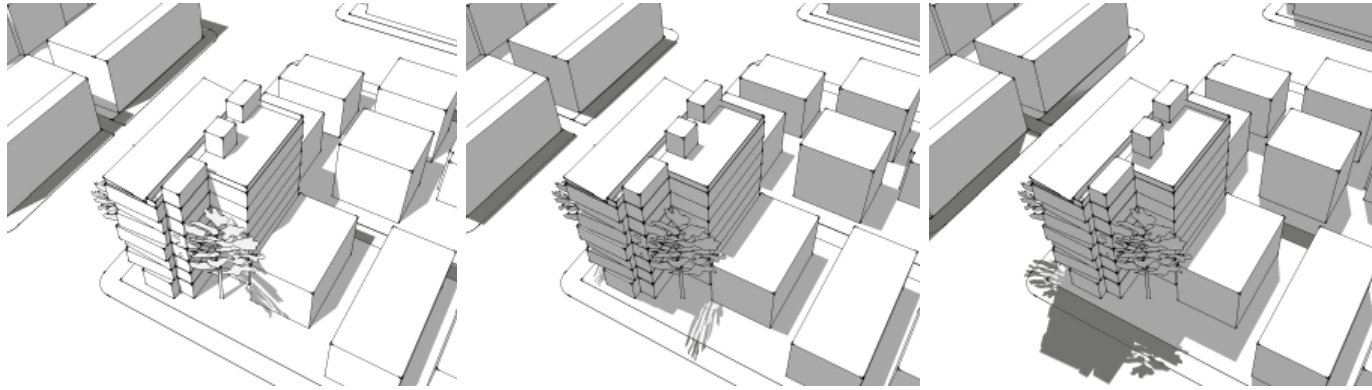
12 PM

2 PM

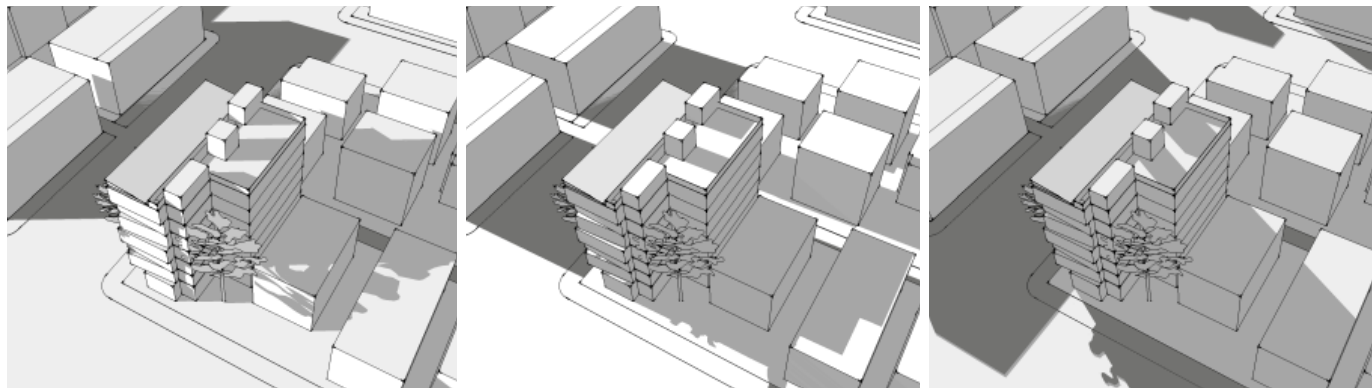
**SPRING/FALL
(equinox)**



SUMMER



WINTER

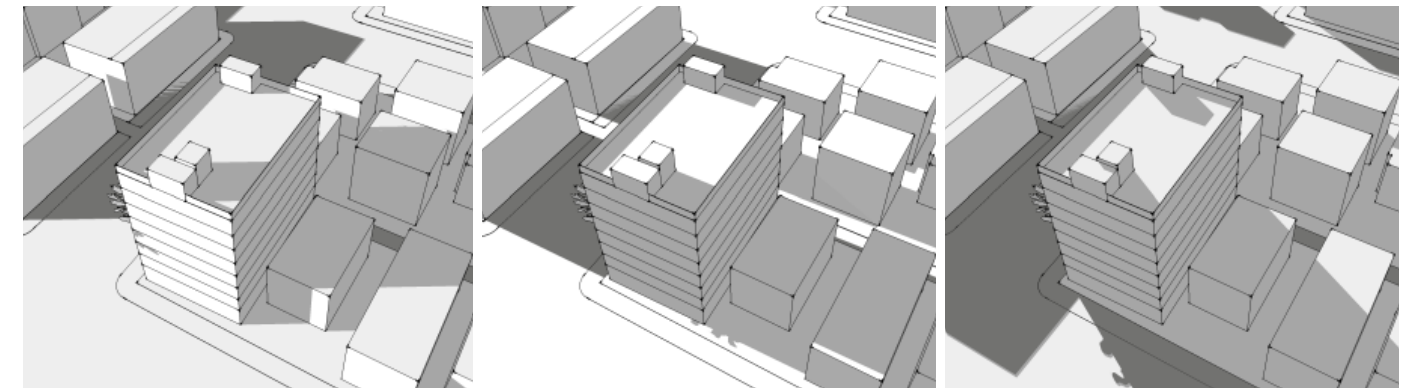
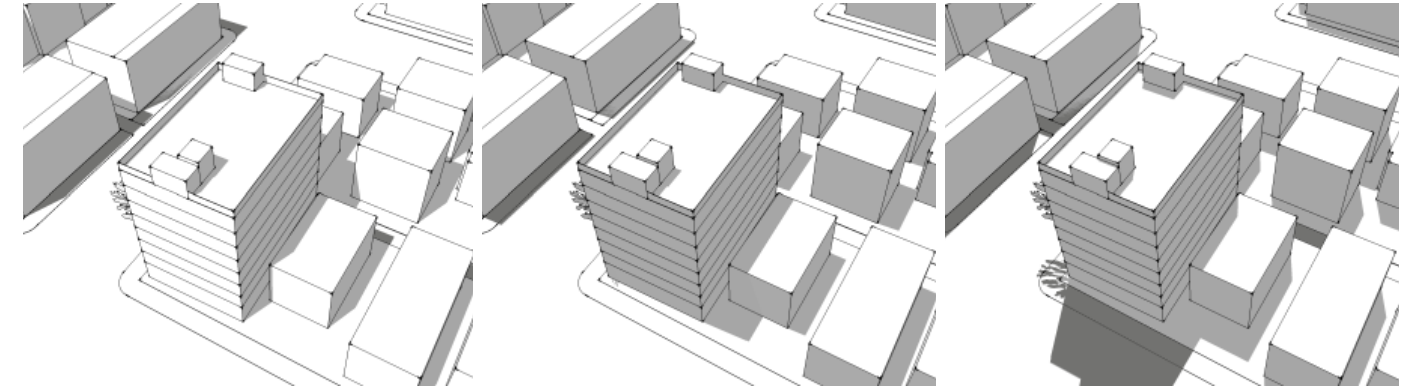
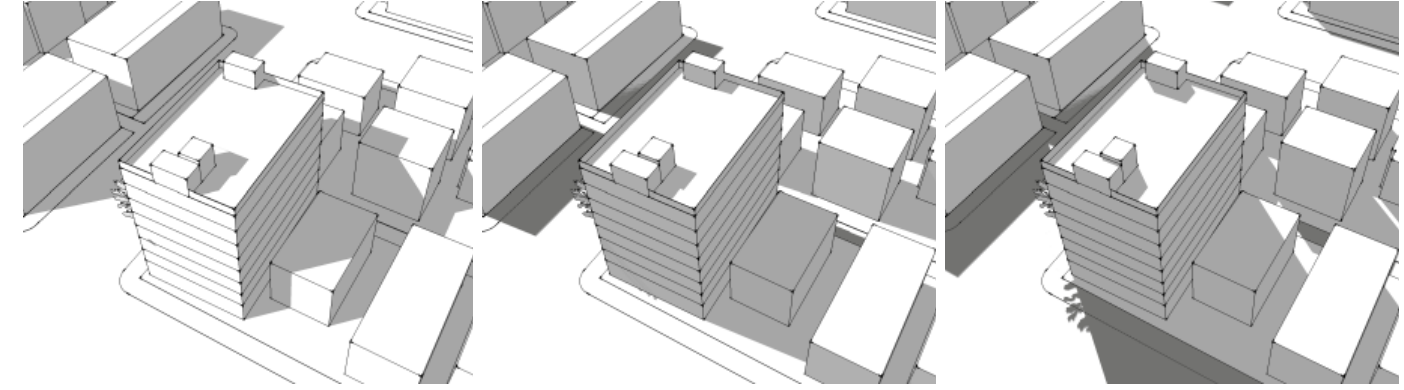


**LEGISLATIVE REZONE
(to NC3-75)**

10 AM

12 PM

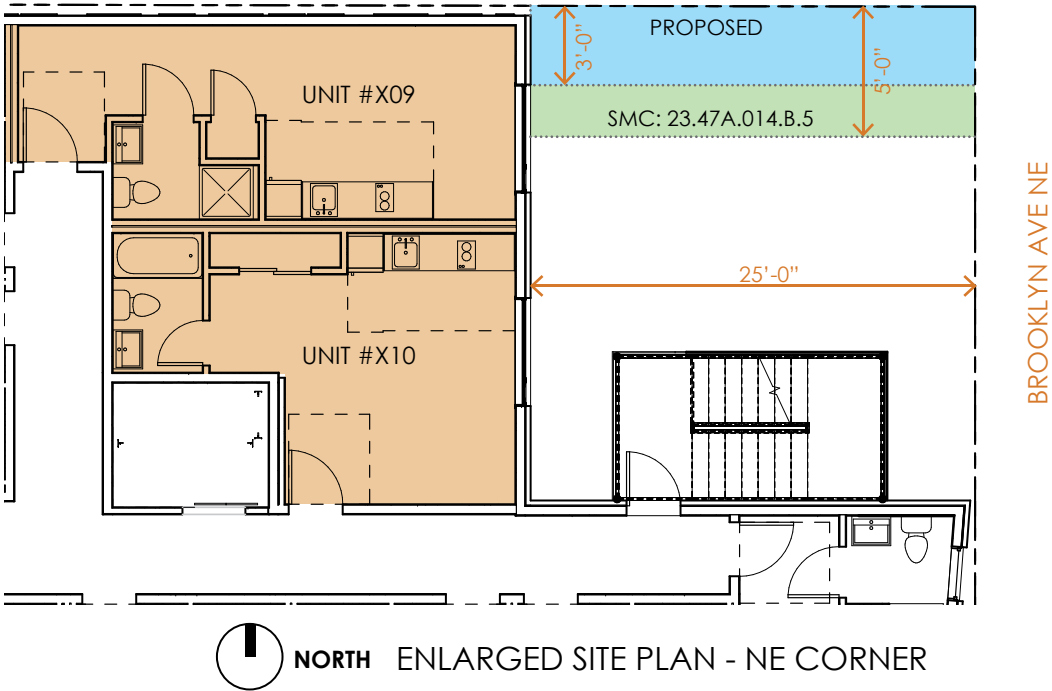
2 PM



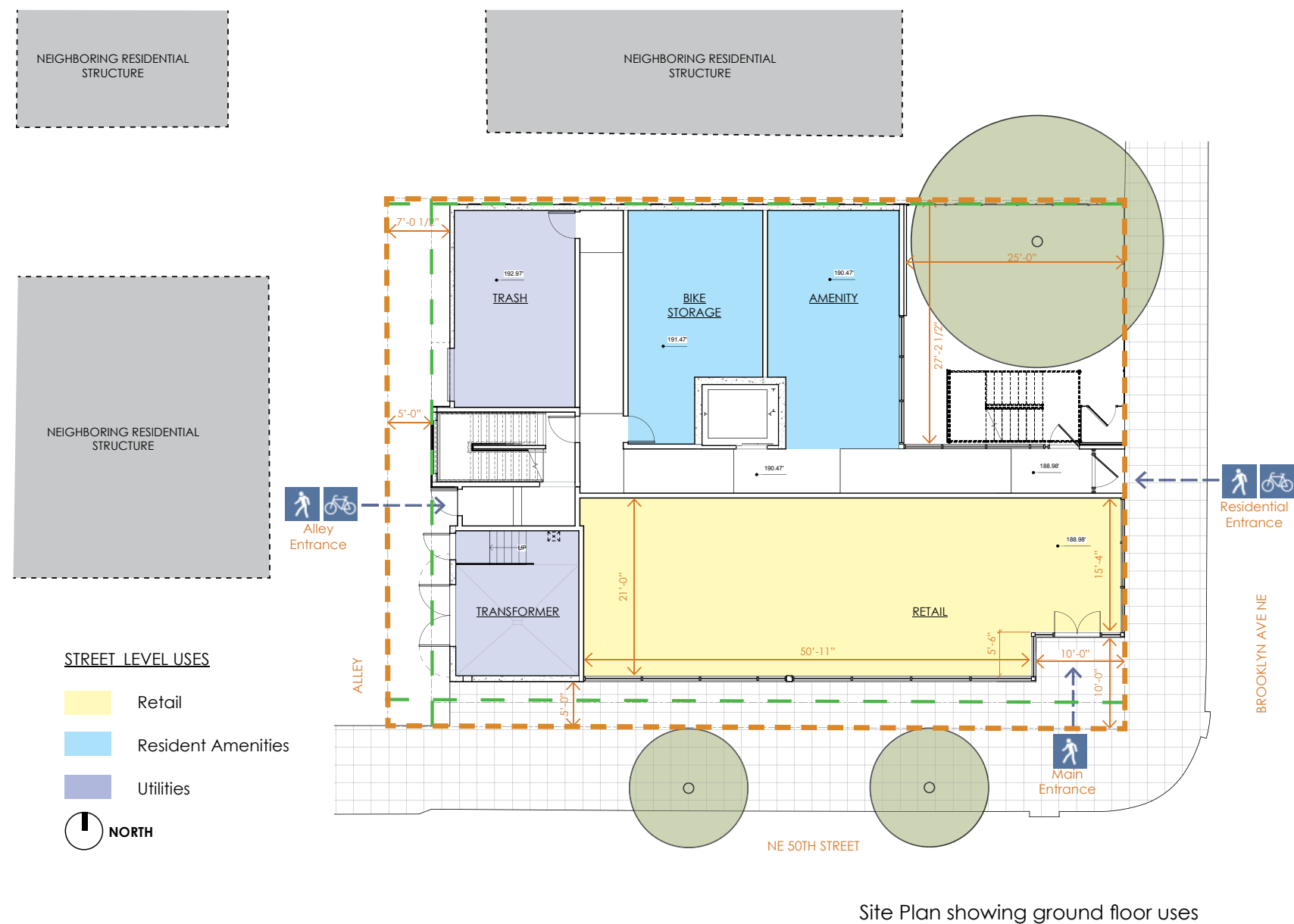
DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Building openings adjacent to residential properties	SMC 23.47A.014.B.5 No openings are permitted within 5 ft of an adjacent residential lot.	The proposed project includes openings on the East facade which are 3'-0" from the adjacent residential property	<p>This departure is requested to maintain a balanced facade composition and to allow adequate light into the residential units which are adjacent to the northern property line. The requested departure is consistent with Design Guideline CS2-D-5: Respect for Adjacent Sites and DC2-B-1: Façade Composition.</p> <p>If the proposed site strategy did not involve preserving the existing exceptional tree, a more conventional narrow bar massing would be pursued which would involve more units and windows oriented toward the adjacent property to the north. The proposed design does not include any units or windows facing the property to the north, but does require adequate fenestration for the east-facing units. The proposed design includes windows which are within 5' of the residential property to the north, but no operable openings are proposed within 5ft of the adjacent property in order to protect the acoustic privacy of the neighboring property.</p> <p><u>All openings and the proposed design will be code-compliant once the adjacent properties are rezoned NC3-75, as currently proposed by the City</u></p>

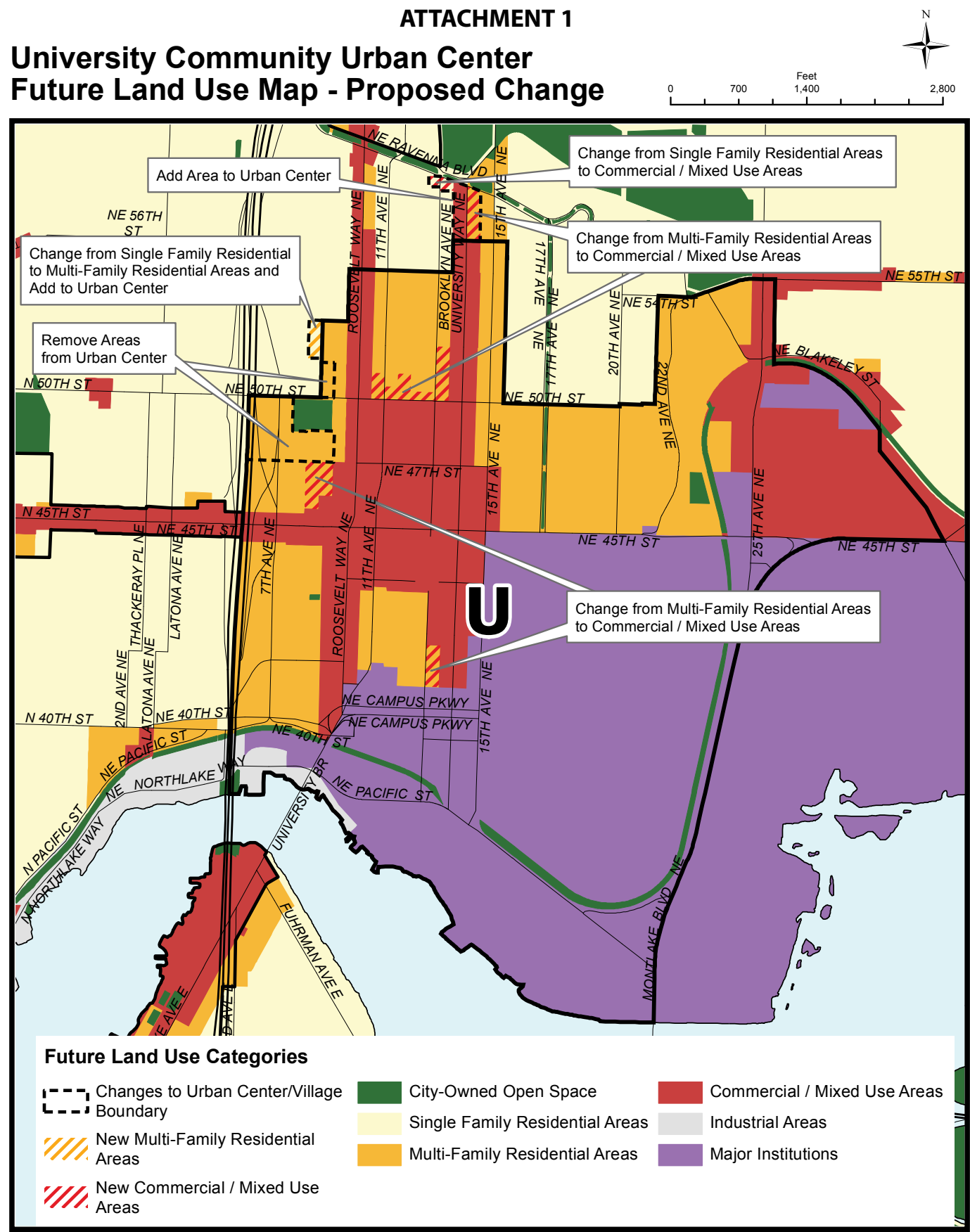


- Project Proposal:**
Windows on east facade set back 2'-6" from face of North Elevation.
- Departure Request:**
SMC: 23.47A.014.B.5
No entrance, window, or other opening is permitted closer than 5'-0" to an abutting residentially-zoned lot.

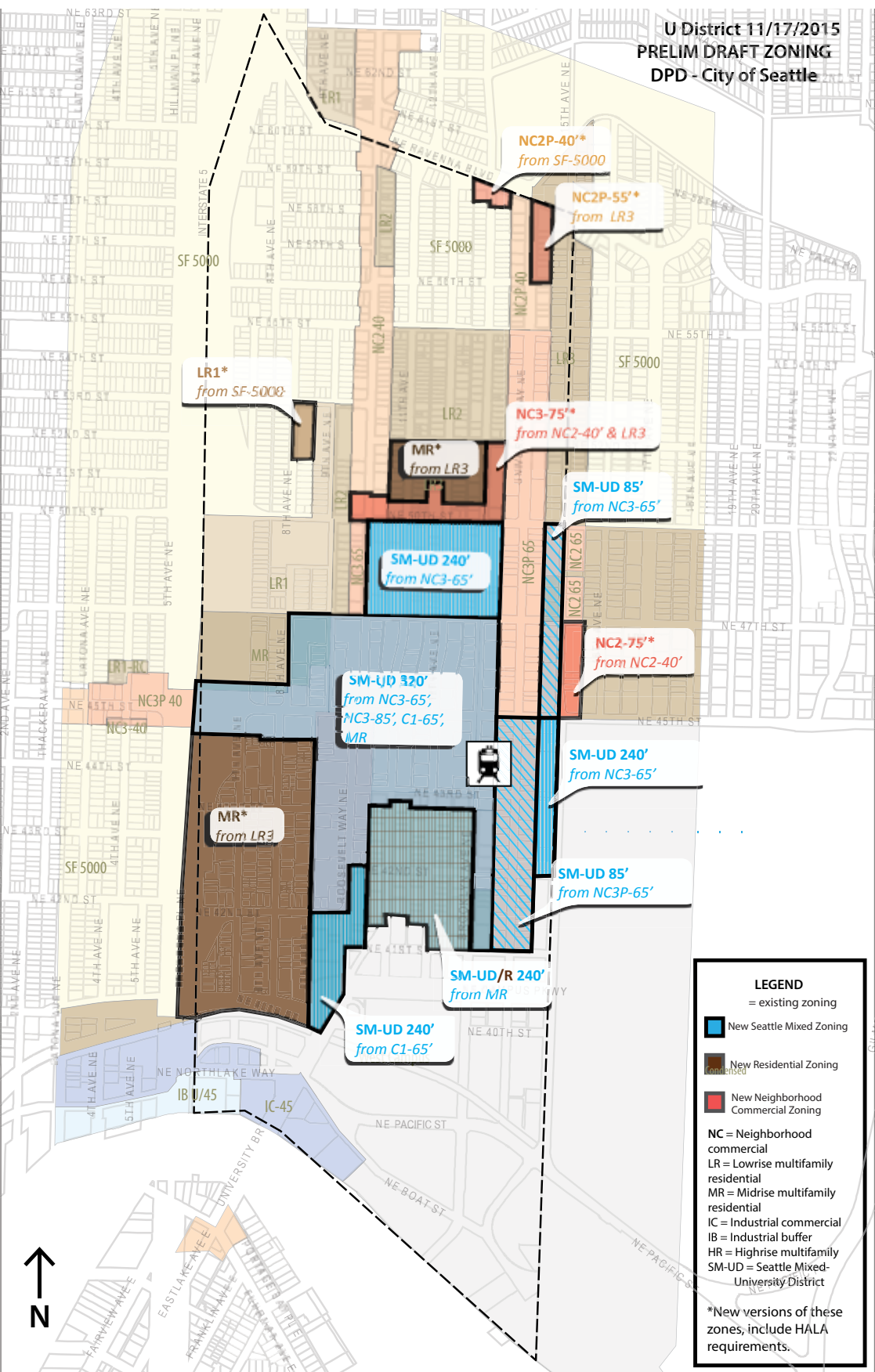


DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Depth of ground floor non-residential uses	<p>SMC 23.47A.008.B.3</p> <p>Code requires non-residential depth to be 30 ft average and 15 ft minimum.</p> <p>Note: If the combination of the zoning depth and frontage requirements would result in a requirement that an area greater than 50 percent of the structure's footprint be dedicated to non-residential use, the Director may modify the street-facing facade or depth requirements, or both, so that no more than 50 percent of the structure's footprint is required to be non-residential.</p>	The proposed retail depth is 19'-4" average and 15'-4" minimum	<p>This departure is requested to allow the ground floor uses to follow the building massing. The building mass along 50th St responds to the commercial nature of this arterial street, while the building steps back from Brooklyn Ave to respect the residential character of this street. The residential entry on Brooklyn Ave divides the retail uses to the south from the residential uses to the north. This requested departure is consistent with Design Guideline CS2-D-3. Zone Transitions.</p> <p>Note: a code-compliant retail depth would require the project to dedicate over 50% of the ground floor plate to non-residential uses</p>





FUTURE LAND USE MAP
Approved by City Council Bill 118470 on 10/12/2015



REZONING MAP
5001 Brooklyn Ave NE and all adjacent properties are proposed to be rezoned to NC3-75

