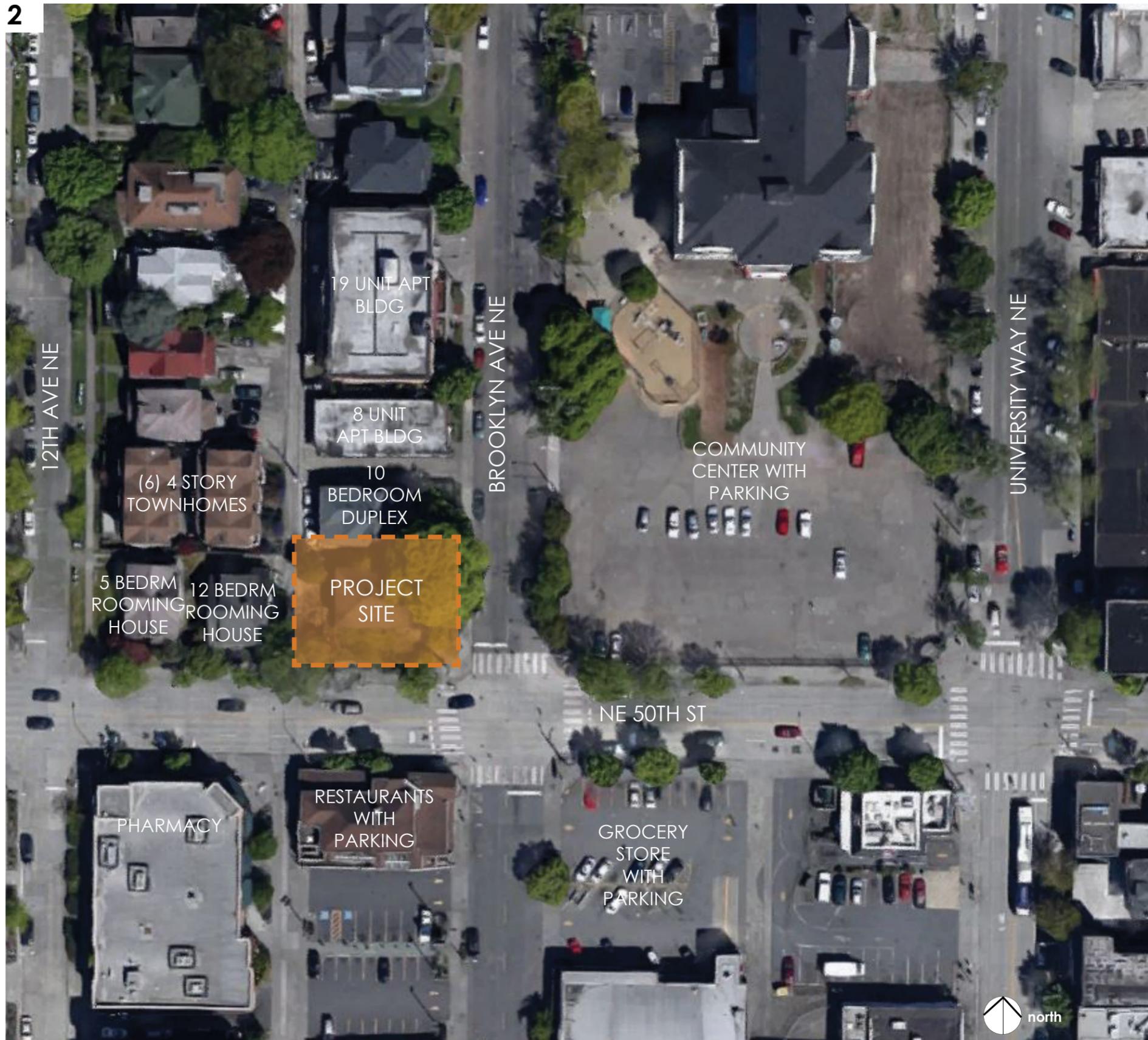




5001 Brooklyn Ave NE

Early Design Guidance
June 29, 2015
DPD Project # 3019997



PARCEL: 8817400180 5001 BROOKLYN AVE NE 5,008 sq ft

SITE AREA: 5,008 sf (approximately 83.46' deep x 60' wide)

ZONING: This project is being designed as if the site has been rezoned to: NC3-65 (University District Northwest Urban Center Village)

PROJECT DESCRIPTION: Proposal for new multi-story mixed use building 7 stories above grade with no on-site parking. Development objectives include: 60 efficiency units.

SUMMARY OF DEVELOPMENT STANDARDS:

HEIGHT LIMIT: 65' (SMC 23.47A.012)

PARKING: Vehicle: None required in University District Northwest Urban Center Village
Bike: 1 per/4 units : 15 spaces (SMC 23.54.015)

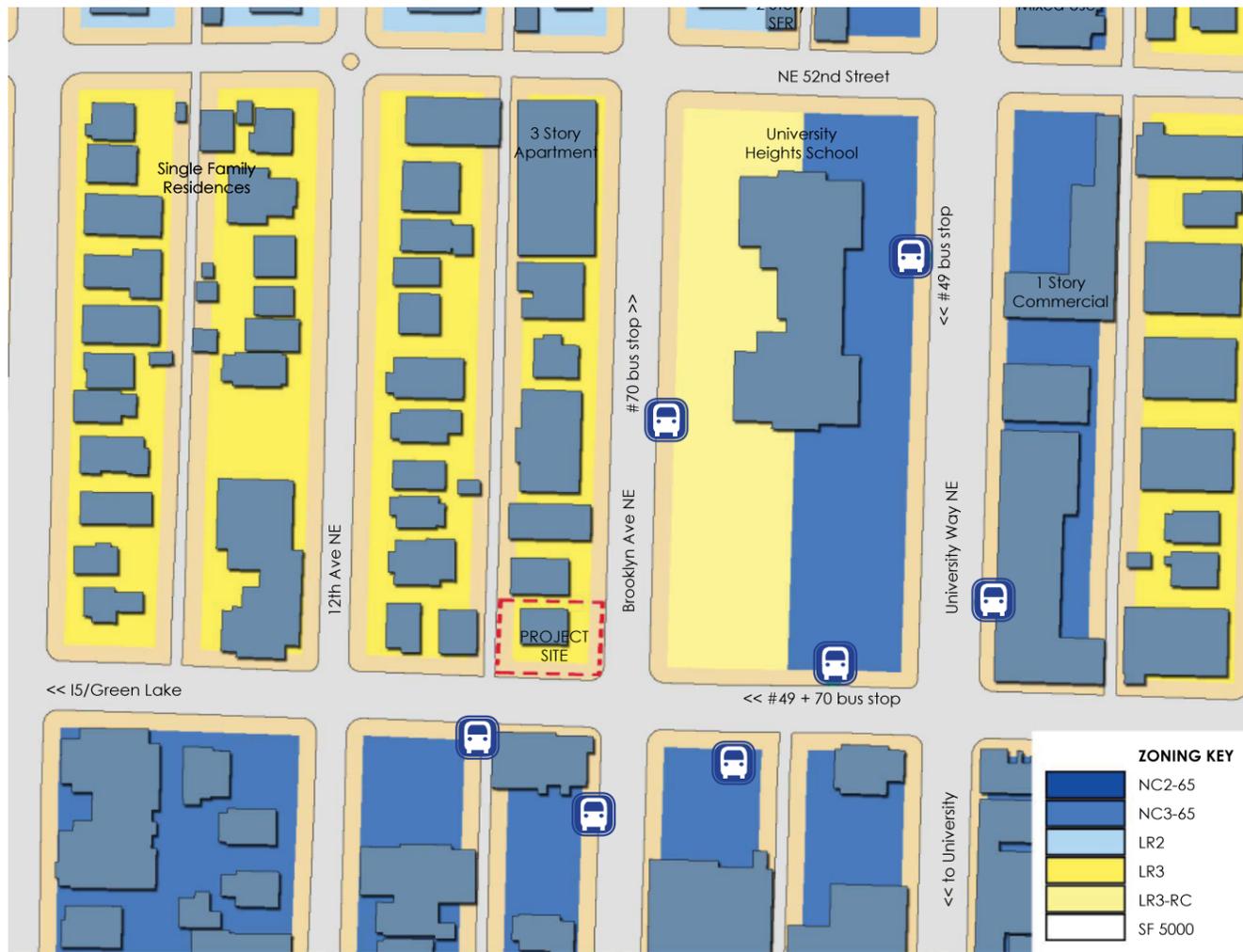
FAR: 4.75 (mixed-use) 4.25 (single use)
5,008 sf x 4.25 = 21,284 sf
5,008 sf x 4.75 = 23,783 sf
(SMC 23.47A.013)

SETBACKS:

- Front and Side Yard Setback (where not abutting residential zone): 0'
- Rear Setback (where abutting a residential zone):
 - Below 13' in height = 0'
 - Above 13' in height = 15' for building with residential use that abuts a residential zone. Add 1:10 setback > 40' above grade.
- Additional setbacks: 5' Min distance to building opening from residential zoned lot. (SMC23.47A.014)

SOLID WASTE STORAGE:

51-100 Units: 375 sf plus 4 sf for every unit over 50 = 415sf.
Non-Res: 1/2 of req'd in mixed use = 41sf
Combined total sf for trash assuming 60 units = 456 sf.
(SMC 23.54.040)

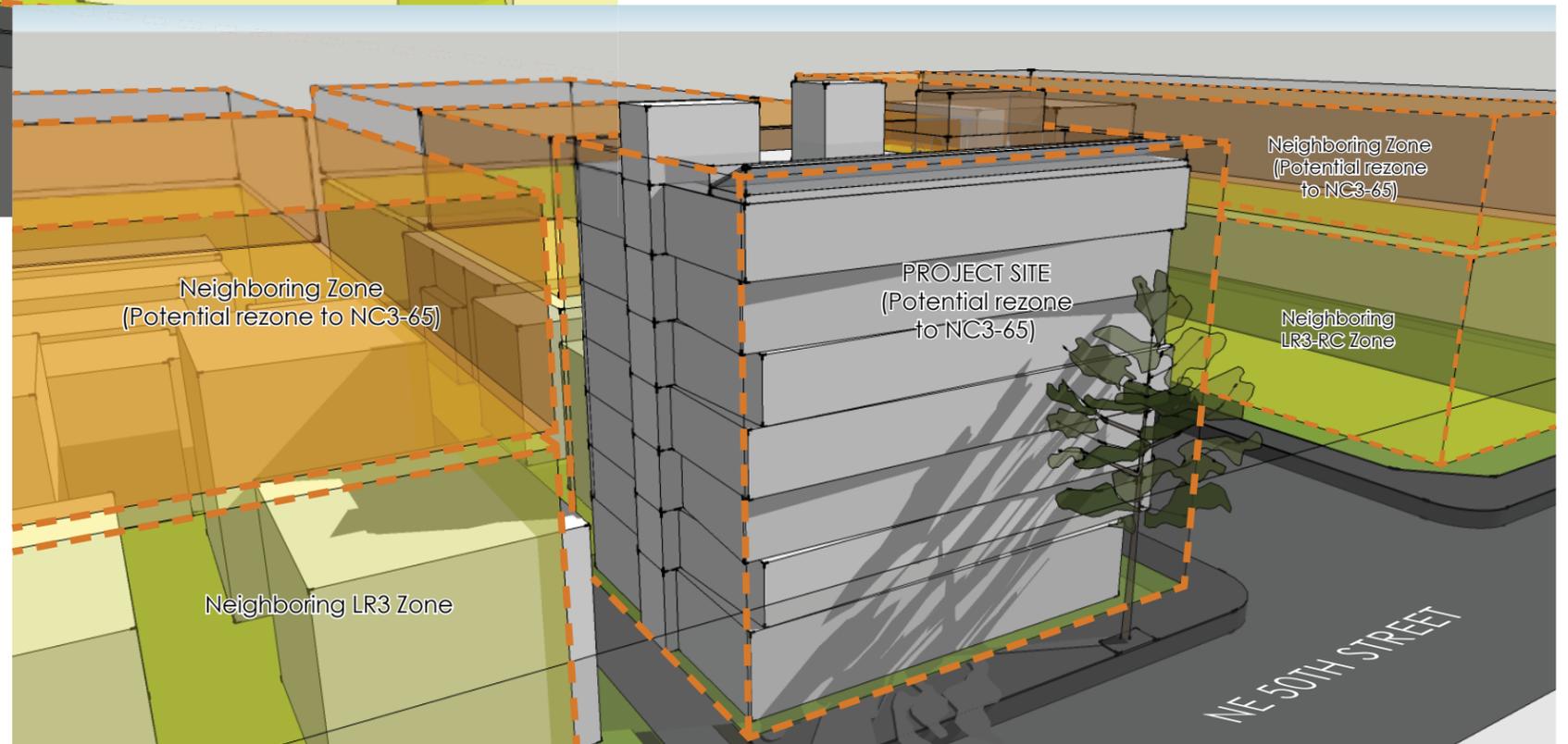
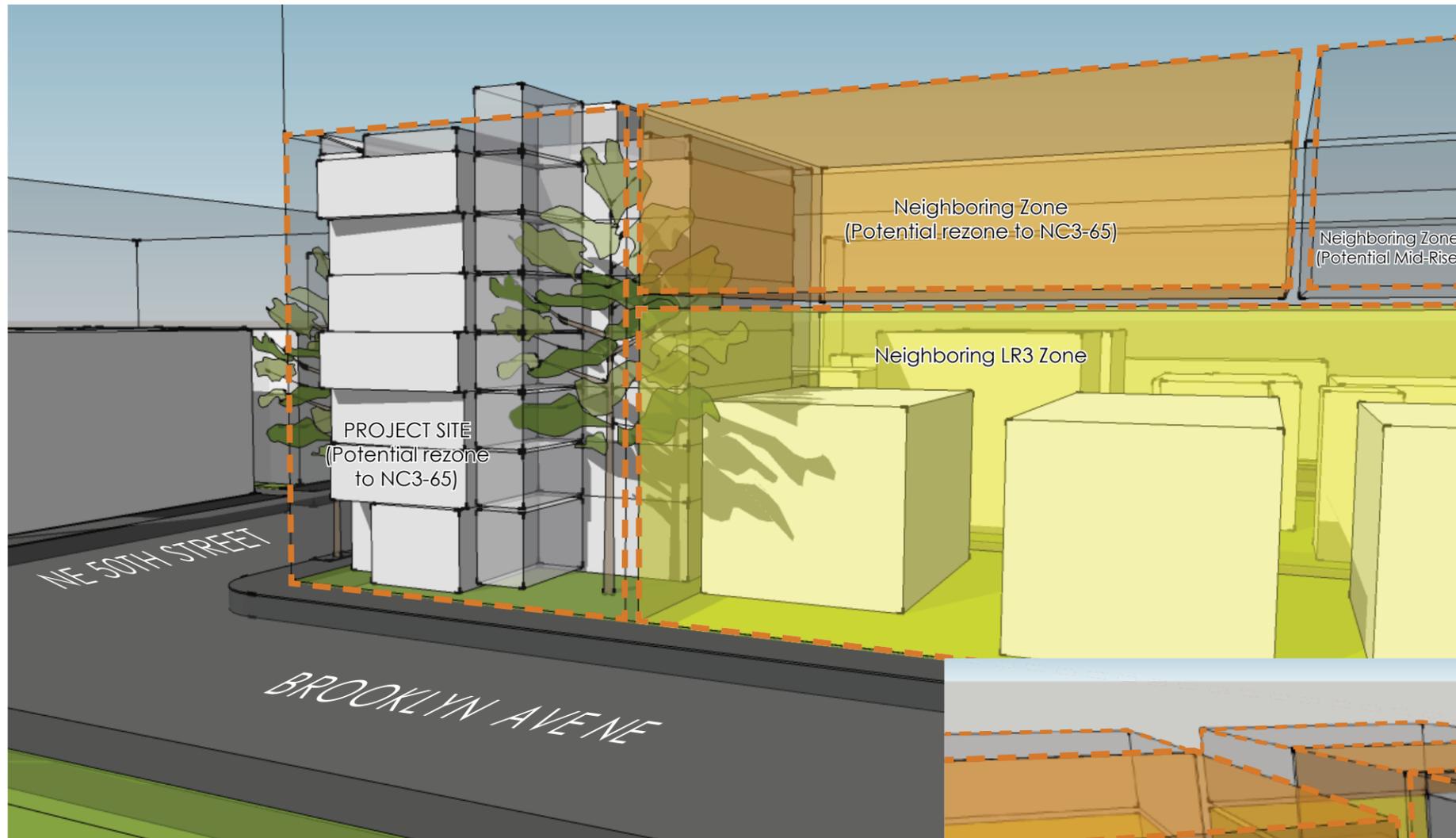


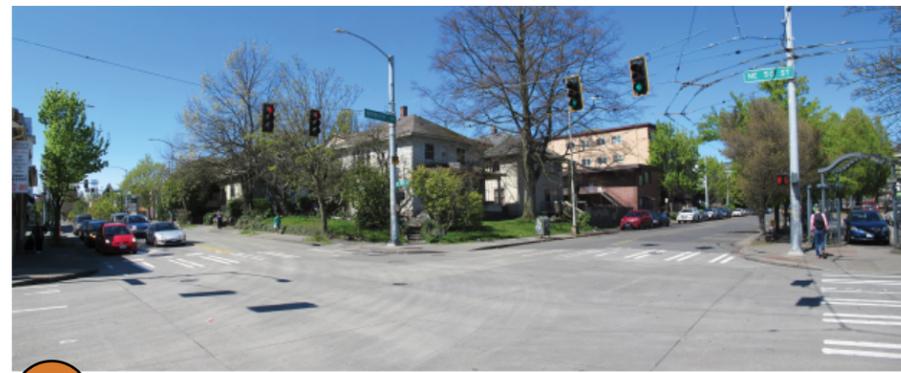
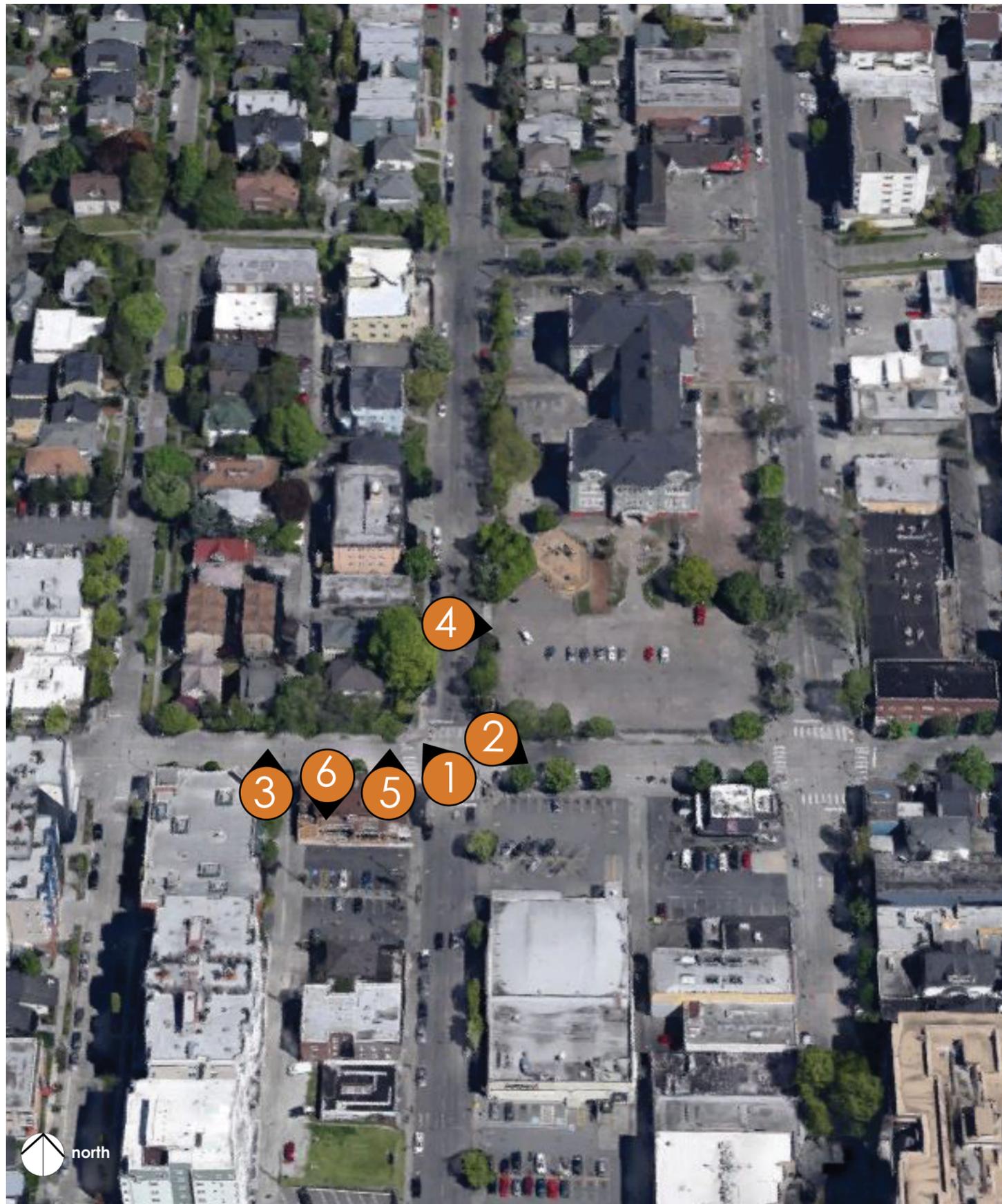
EXISTING ZONING



PROPOSED ZONING
AFTER LEGISLATIVE REZONE



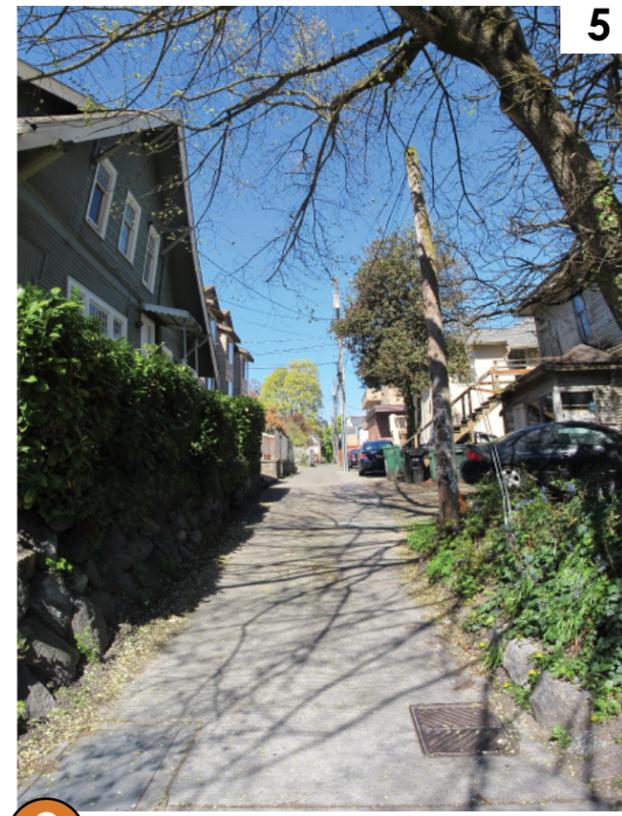




1 Looking northwest from ne 50th st and brooklyn ave ne into project site



2 Looking south east from project site



3 Looking north up the alley from ne 50th st



4 Looking east across brooklyn ave ne



5 Looking north at site from across ne 50th st



6 Looking south across ne 50th from site



1 Looking west at apartment on brooklyn ave ne



2 Looking west at apartment on brooklyn ave ne



3 Looking south at commercial space on ne 50th street



4 Looking southwest at mixed-use building on ne 50th street



5 Looking west at the YMCA center on 12th ave ne



6 Looking northwest at the fire station on ne 50th street and 11th ave ne



7 Looking southwest at University Heights on NE 52nd and 15th ave ne



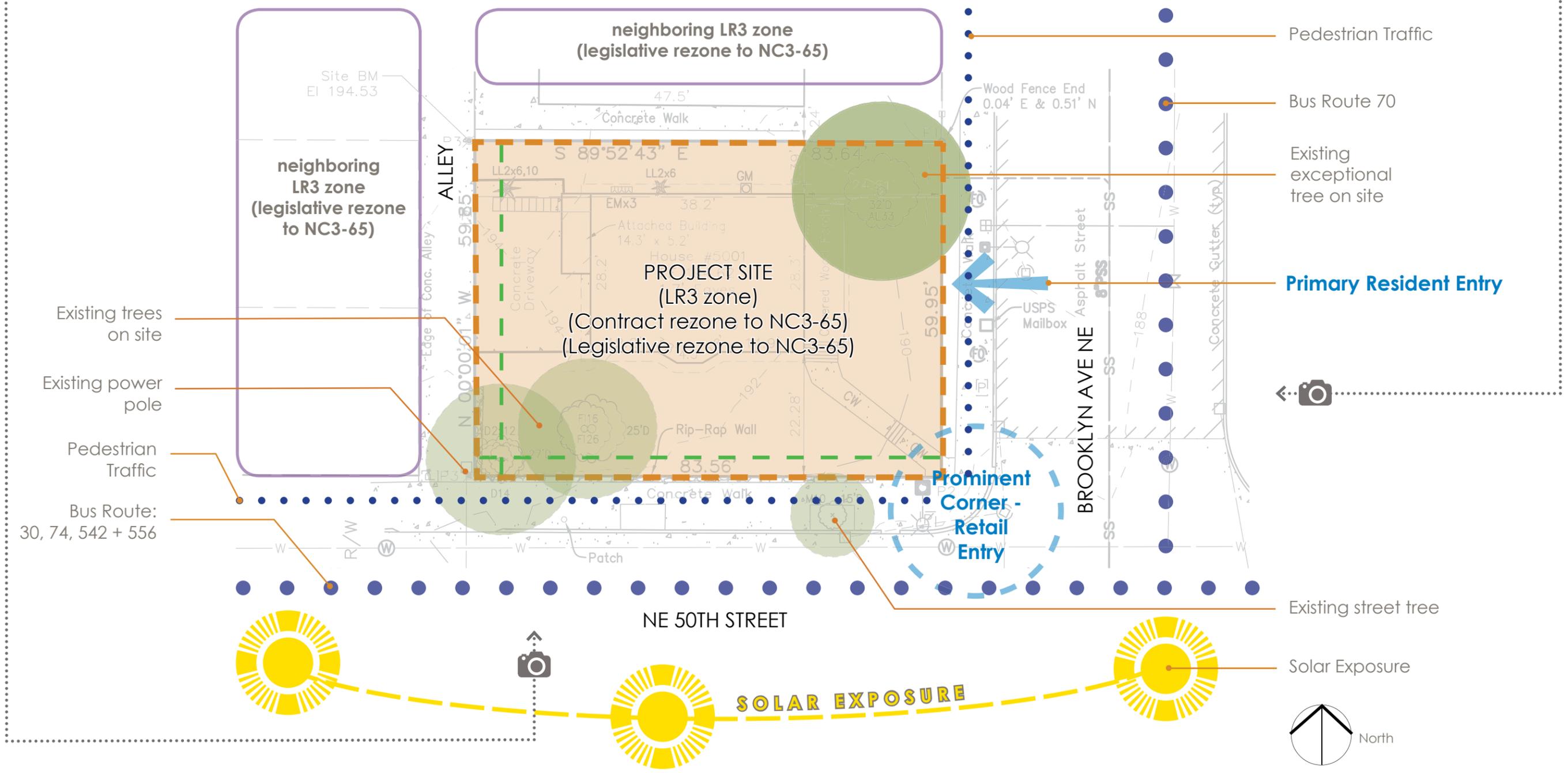
8 Farmers market looking west at site



Looking N to site from NE 50th Street



Looking W to site from Brooklyn Ave NE





Promotion of local goods at the University District Farmers Market



Availability of transit network



Family oriented community centers found in close proximity, such as the local YMCA



Recent development with modular features, an eclectic mix of cladding materials and colors





CONTEXT & SITE

> CS2 A 1: Sense of Place

Sites with prominent visibility to iconic transportation junctions should serve as a gateway to the community

> CS2 A 2: Architectural Presence

Development should contribute to a strong street edge and the creation of a quality public realm

> CS2 B 2: Connection to Street

Functions should be tied to character of a street and contribute to the quality and character of the streetscape

> CS2 A 1: Sense of Place

Create a sense of place where the physical context is established.

> CS2 D 1: Existing Development and Zoning

Scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition.

> CS2 D 3: Zone Transitions

For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Projects should create a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development.

> CS3 A 2: Contemporary Design

Explore how contemporary designs can contribute to the development of attractive new forms and architectural styles: as expressed through use of new materials or other means.

> CS3 A 4: Evolving Neighborhoods

In neighborhoods where architectural character is evolving or otherwise in transition, explore ways for new development to establish a positive and desirable context for others to build upon in the future.



PUBLIC LIFE

> PL1 B 3: Pedestrian Amenities

Contribute lively, pedestrian-oriented open spaces & prominent entrances

> PL1 C 1: Selecting Activity Areas

Concentrate activity areas in places with sunny exposure, views across spaces.

> PL2 A 1: Access for All

Design points of entry with accessibility in mind and refrain from creating "back door" entrances

> PL2 B 1: Eyes on the Street

Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.



DESIGN CONCEPT

> DC1 B 1: Vehicular Access Location and Design

Choose locations for service and vehicle access to minimize conflict with the public realm

> DC2 D 1: Human Scale

Incorporate fine-grain design elements to engage the pedestrian

overview

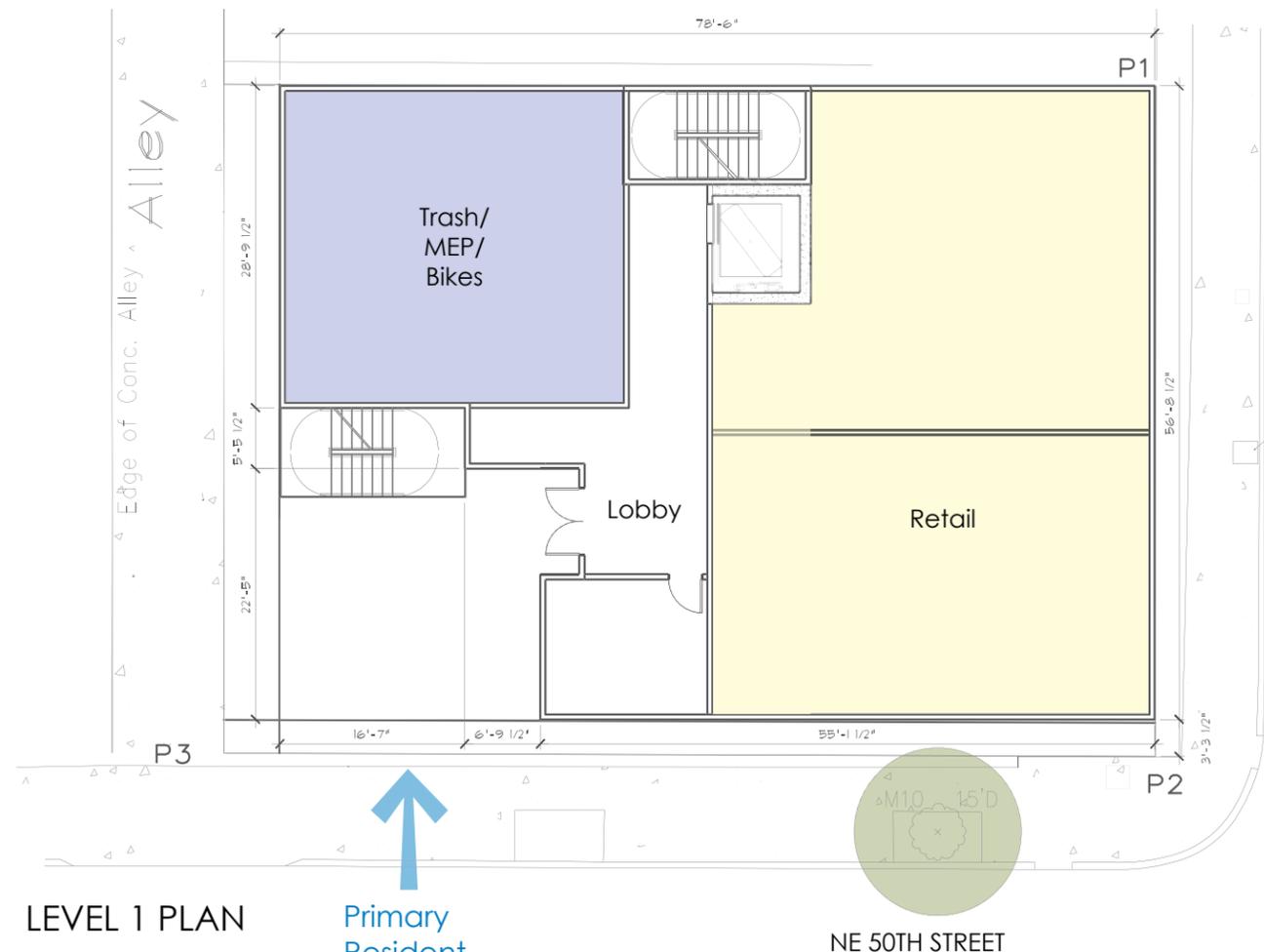
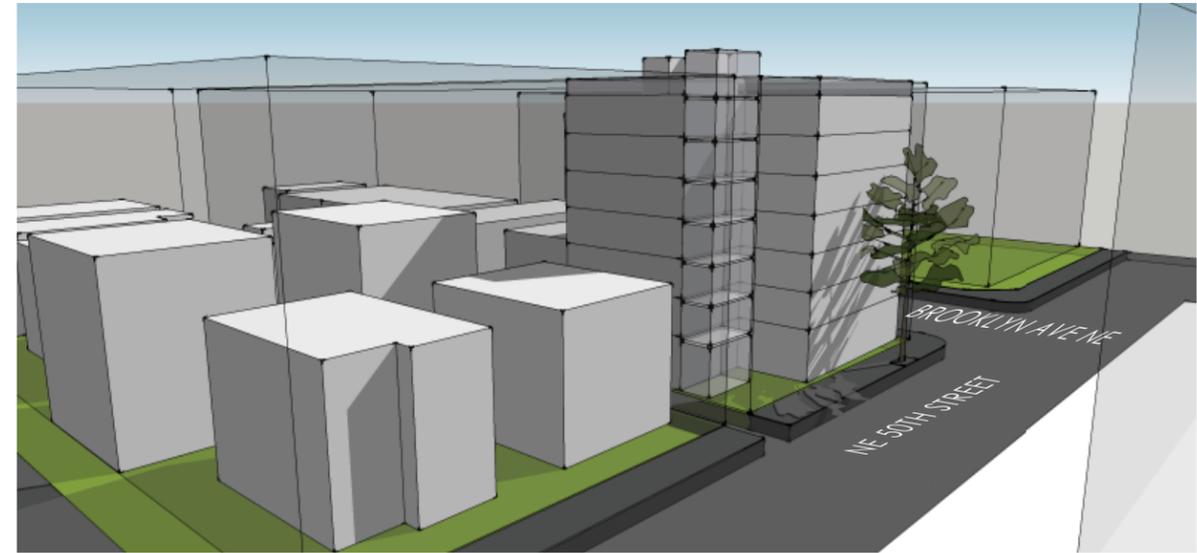
- 7 story massing; 65' height Code compliant provided legislative rezone passes
- 60 apartment units and 1,496 sf ground floor retail
- FAR shown: 23,550 sf (limit is 23,783)
 - 1st: 3,254 sf
 - 2nd: 3,382 sf
 - 3rd: 3,382 sf
 - 4th: 3,382 sf
 - 5th: 3,382 sf
 - 6th: 3,382 sf
 - 7th: 3,382 sf

opportunities

- Bike parking outside envelope not counted towards FAR. Entry to be accessed through courtyard.
- SW facing courtyard welcoming to residents, possible corner entry for retail.

challenges

- Alley dedication required.
- ROW setback along 50th required.
- Exceptional tree on site to be removed.
- Grade difference across site provides challenge to entries.



LEVEL 1 PLAN

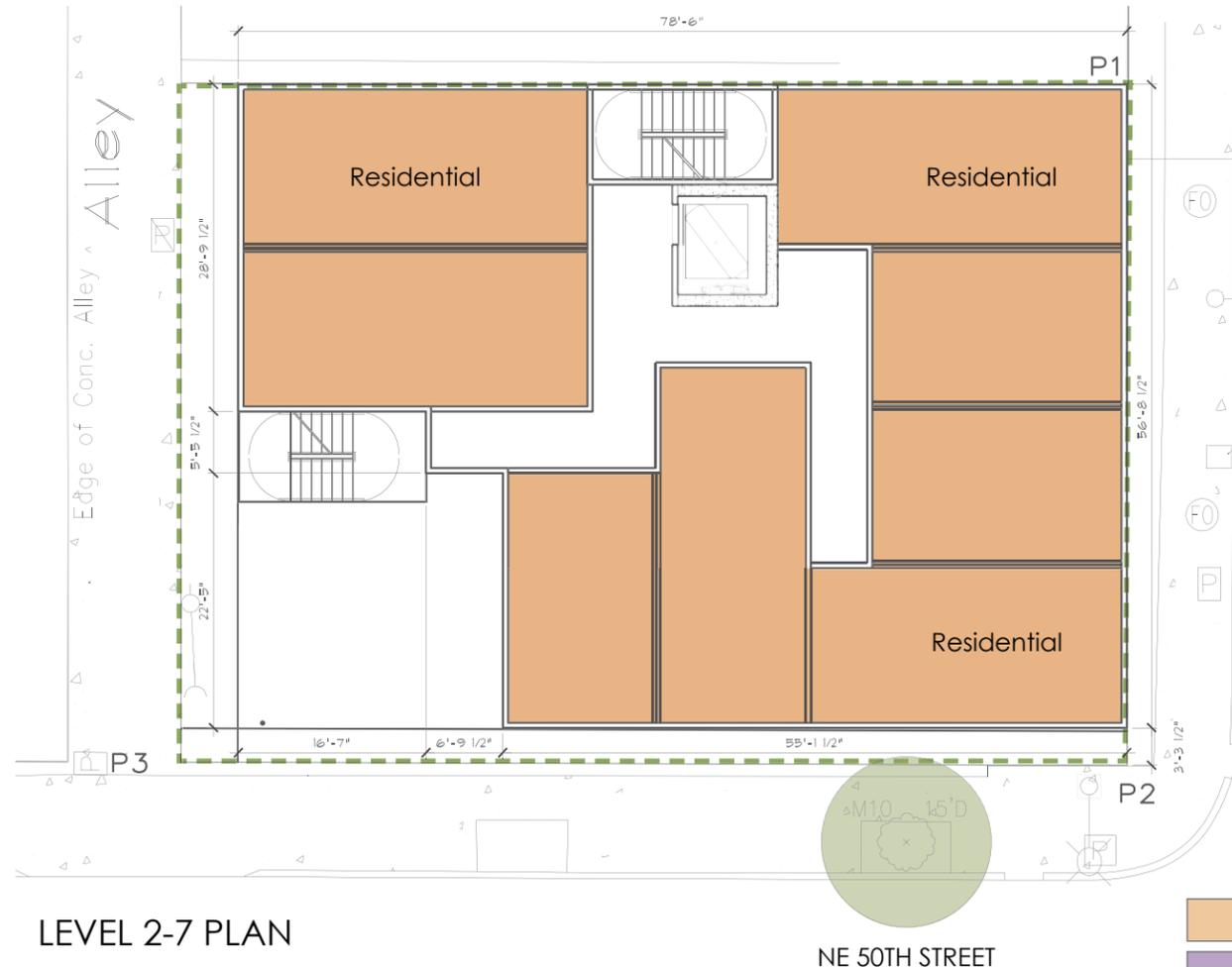


Primary Resident Entry

NE 50TH STREET

BROOKLYN AVENUE

BROOKLYN AVENUE

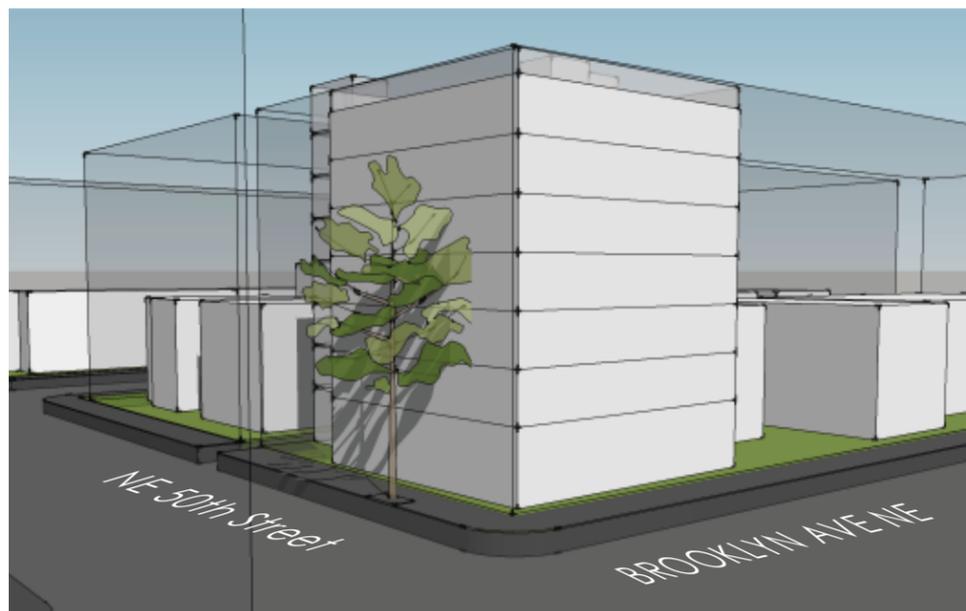


LEVEL 2-7 PLAN

NE 50TH STREET

- RESIDENTIAL
- UTILITY
- RETAIL

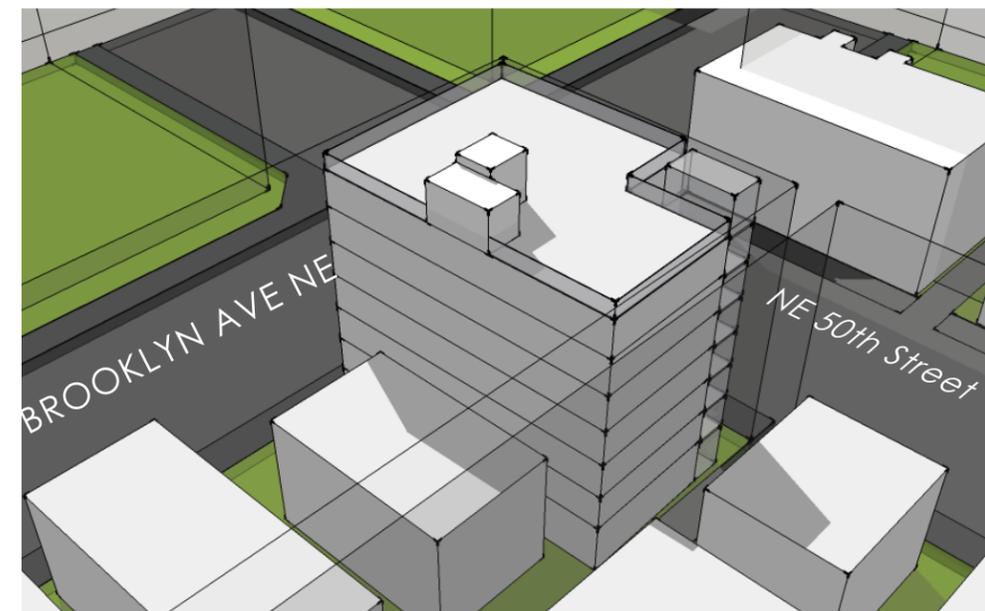




Brooklyn Ave NE + NE 50th St looking at SE corner



Brooklyn Ave NE looking SW at Site



Perspective Birds-Eye exposure looking SE

overview

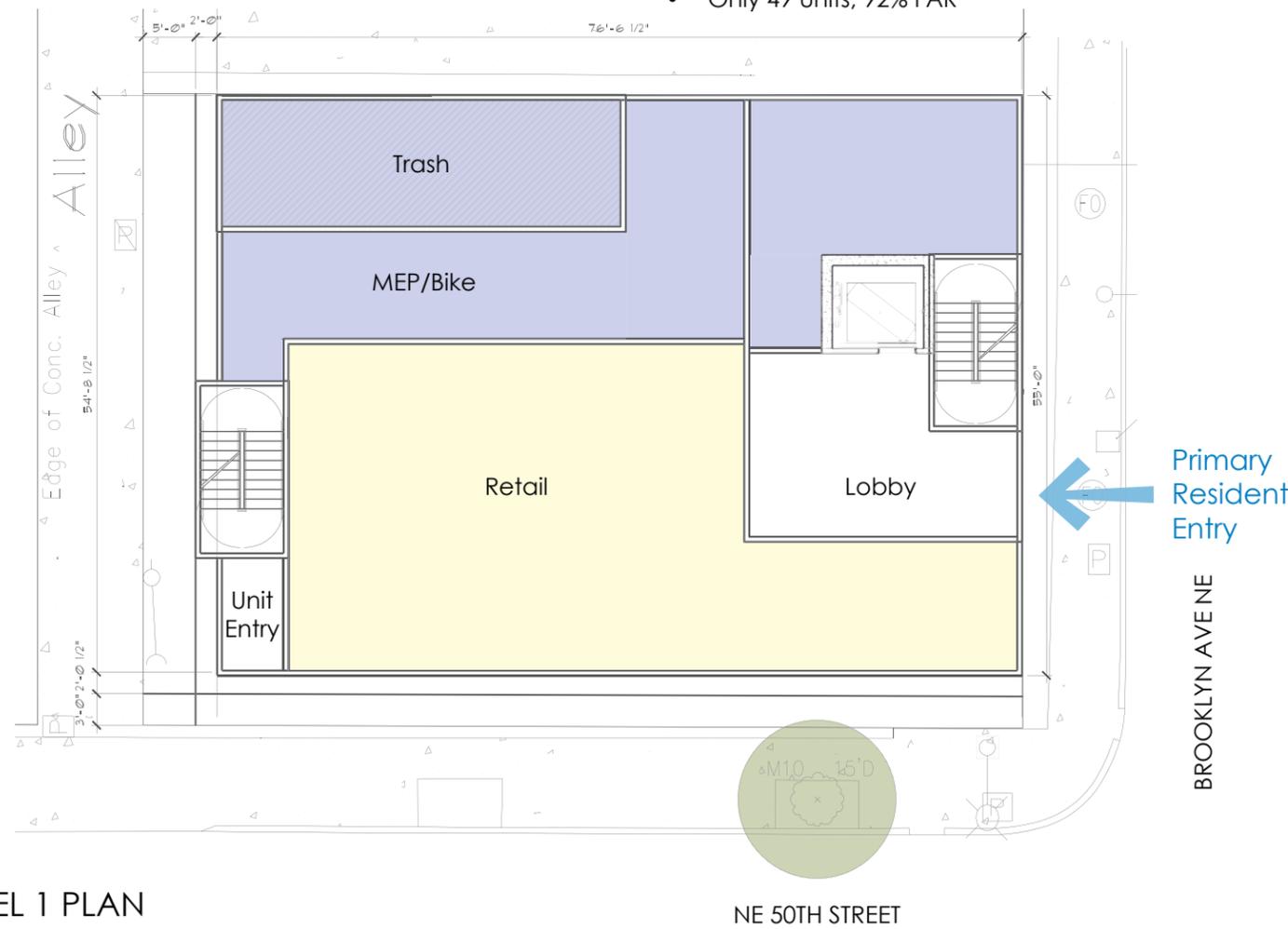
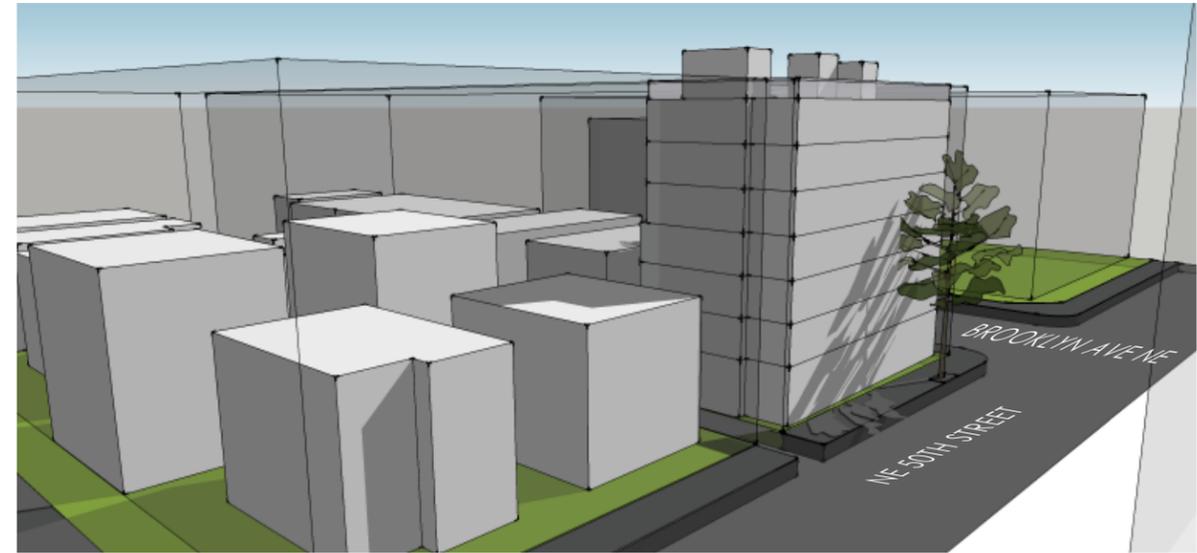
- 7 story massing; 65' height - Code compliant without legislative rezone.
- 49 apartment units and 1,734 sf ground floor retail
- FAR shown: 21,986 sf (limit is 23,783)
 - 1st: 4,249 sf
 - 2nd: 3,121 sf
 - 3rd: 3,121 sf
 - 4th: 3,121 sf
 - 5th: 2,959 sf
 - 6th: 2,818 sf
 - 7th: 2,595 sf

opportunities

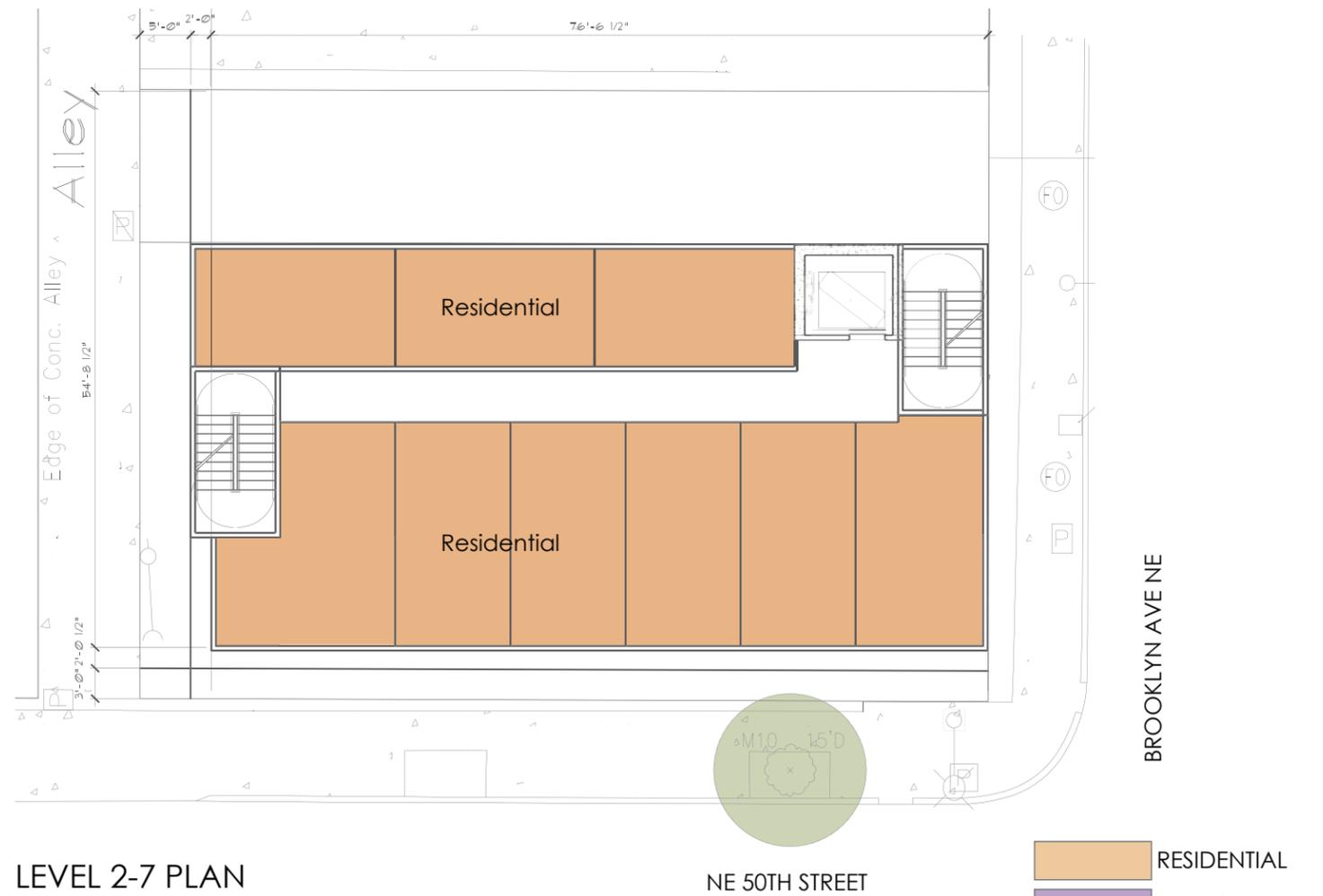
- Bike parking outside envelope not counted towards FAR.
- Efficient building shape.
- Opportunity for modulation.
- Conforms to code.

challenges

- Alley dedication required.
- ROW setback along 50th required.
- Exceptional tree on site to be removed.
- Grade difference across site provides challenge to entries.
- Only 49 units, 92% FAR



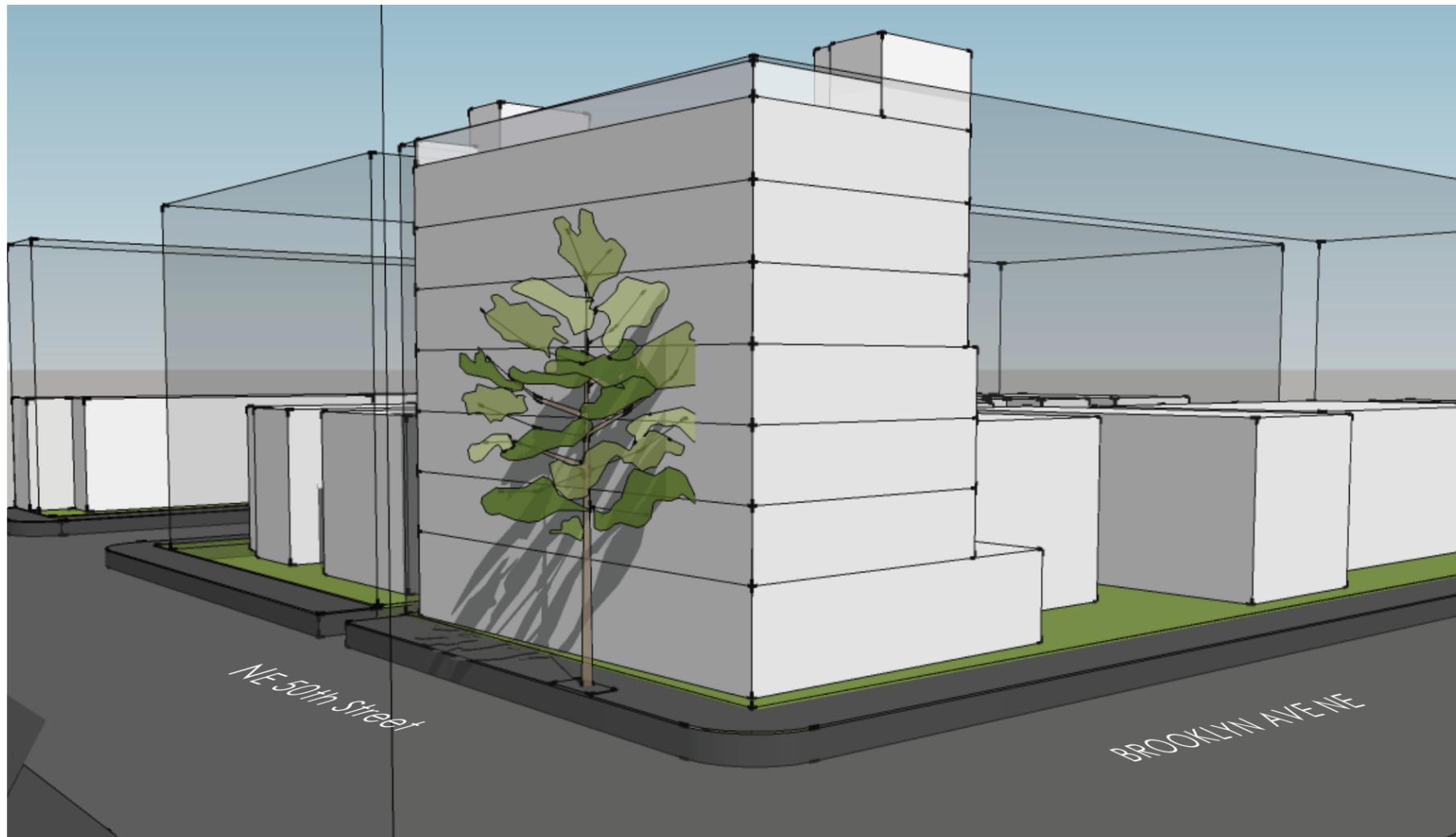
LEVEL 1 PLAN



LEVEL 2-7 PLAN

	RESIDENTIAL
	PUBLIC/UTILITY
	RETAIL





Brooklyn Ave NE looking SW at site



NE 50th St looking NE at Site



Perspective Birds-Eye exposure looking SE

14 overview

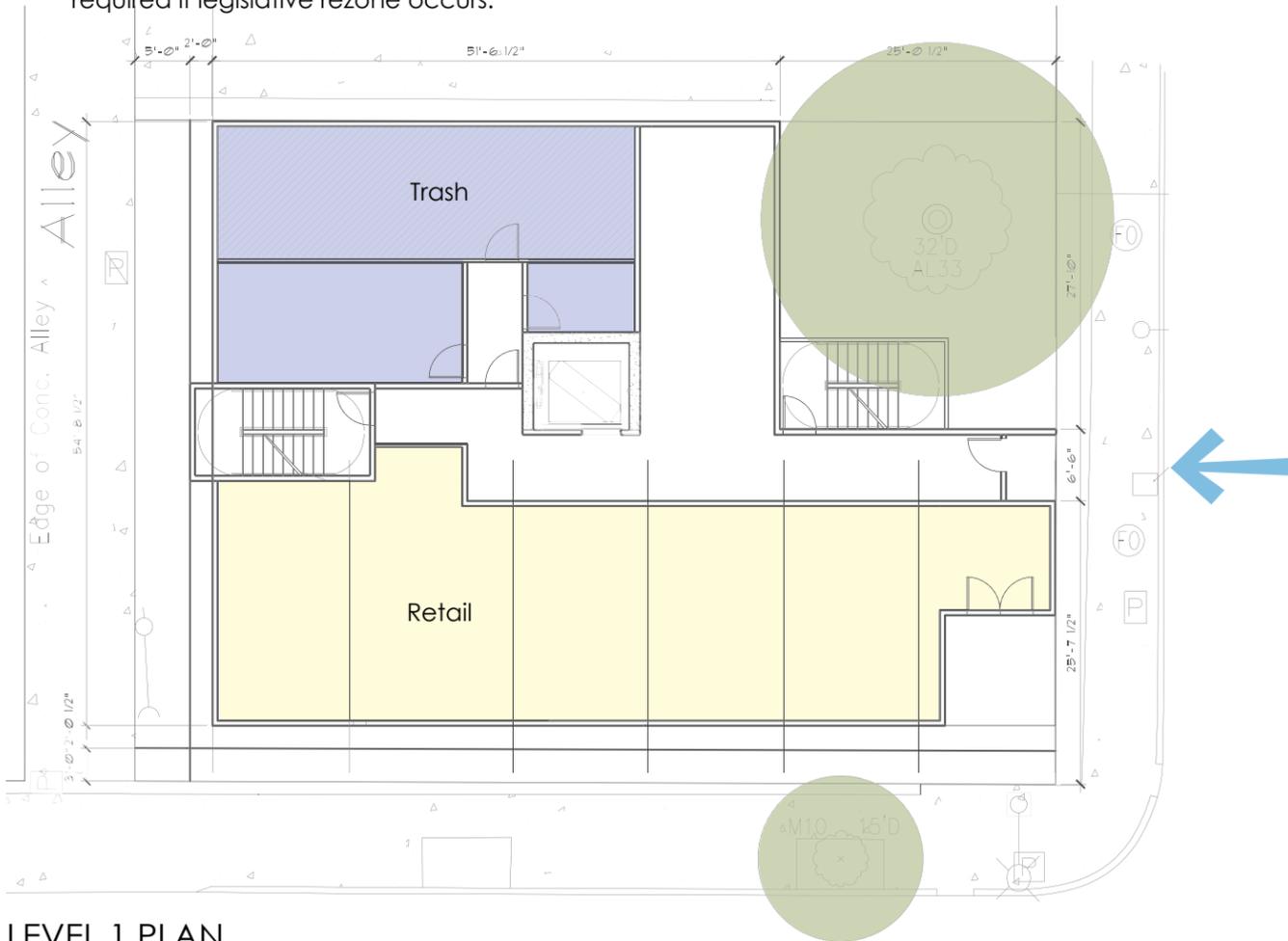
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 - 5th: 3,382 sf
 - 6th: 3,382 sf
 - 7th: 3,382 sf

opportunities

- Bike parking outside envelope not counted towards FAR. Entry to be accessed through landscaped courtyard.
- Organizing the site around saving the tree could allow for trade-off departures through DRB. No departures required if legislative rezone occurs.

challenges

- Alley dedication required.
- Exceptional tree to be retained.
- Setbacks from adjacent property do not meet current zoning code.



LEVEL 1 PLAN



NE 50TH STREET

Primary Resident Entry

BROOKLYN AVE NE



LEVEL 2-7 PLAN



NE 50TH STREET

- RESIDENTIAL
- UTILITY
- RETAIL





Clearance pruning will likely be necessary to construct the new building. The crown on the west side of the tree can be reduced without having adverse impacts on health or stability. Encroaching branches shall be properly pruned back to a main scaffold branch and by using natural target pruning methods. I have attached some pruning guidelines for your reference. The best time to prune the beech tree would be after the first hard frost; normally December through February would be ideal.

Bob Layton
ISA Certified Arborist #PN-2714A
ISA Tree Risk Assessment Qualified (TRAQ)



Brooklyn Ave NE + NE 50th St looking at SW corner

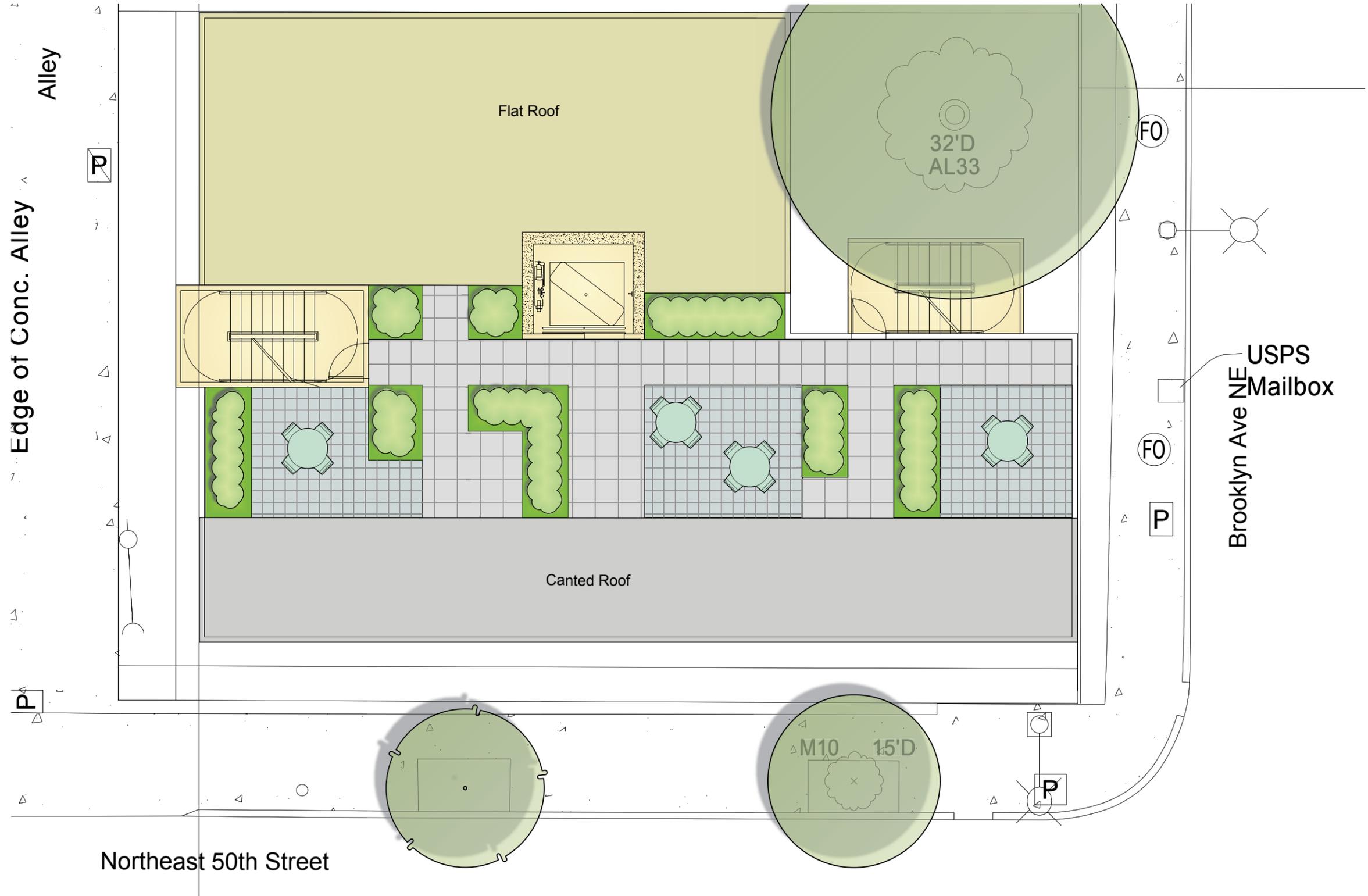


NE 50th St looking NE at Site



Perspective Birds-Eye exposure looking SE



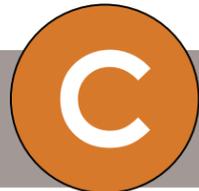
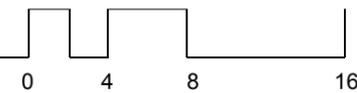


1

CONCEPTUAL ROOF GARDEN

1/8" = 1'-0"

6-19-2015



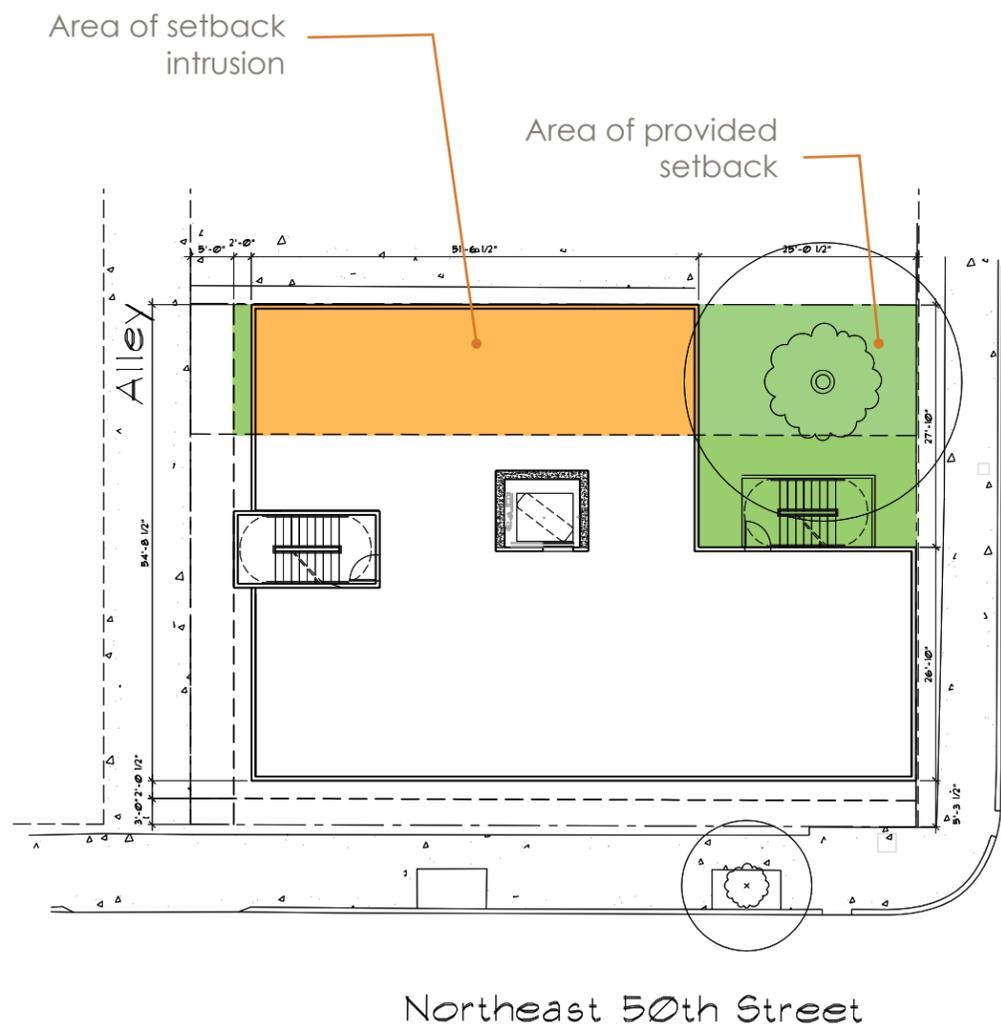
DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
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Setback requirements adjacent to residential zones

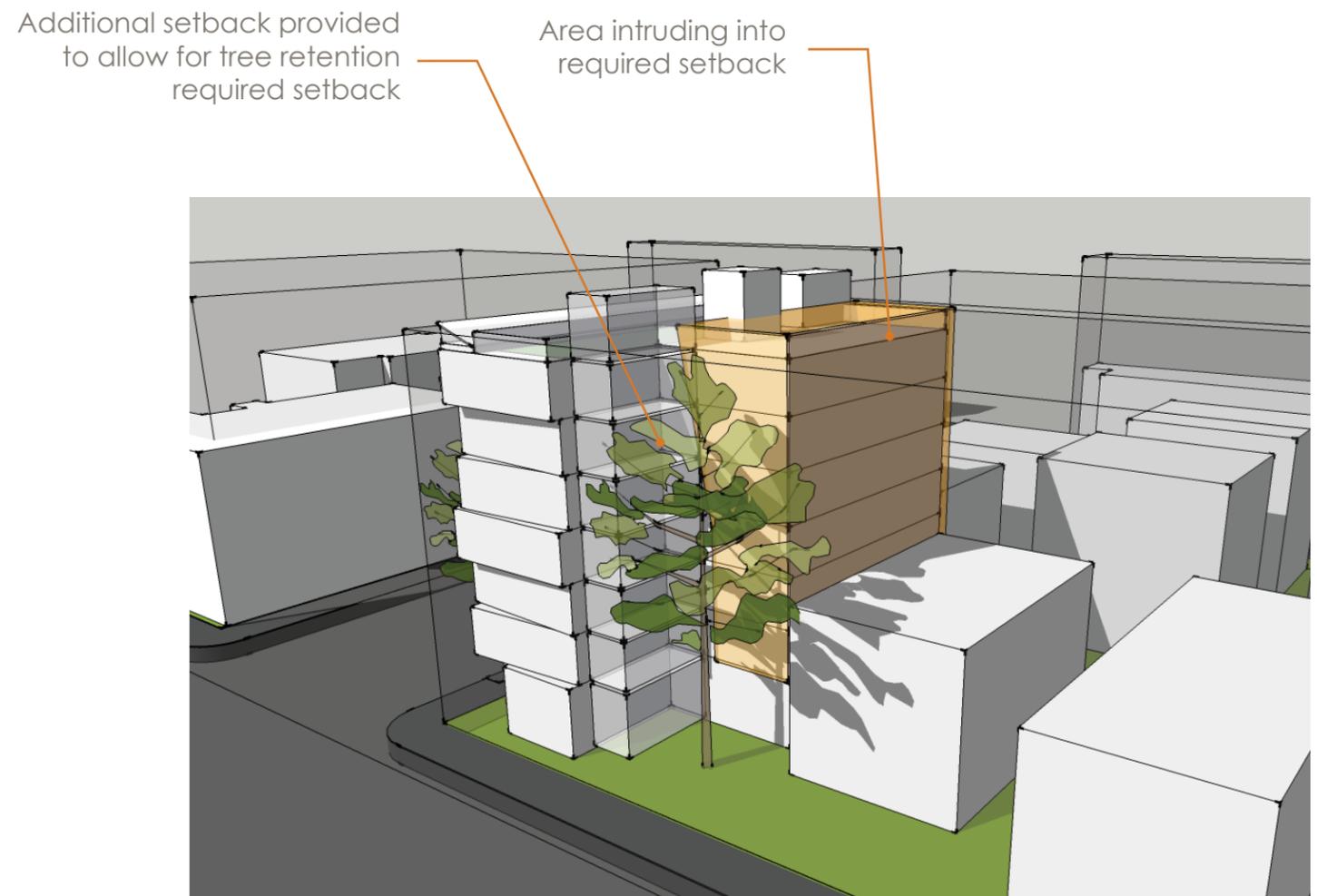
SMC 23.47A.014.B.3
 For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows:
 a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and
 b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet

The preferred scheme has a setback from ground level of approximately 27'-6" along one third (25') of the north façade. The remaining 2/3 of the façade (50') has zero setback.

The site has an exceptional European Beech tree of 35" DBH in the northeast corner of the site that the project is required to retain. In order to retain this tree adequate root zone protection is needed. This results in a large green area around the tree adjacent to the neighboring property to the north. This departure is only required if the current UDistrict legislative rezone to NC3-65 is not completed.



Brooklyn Ave NE

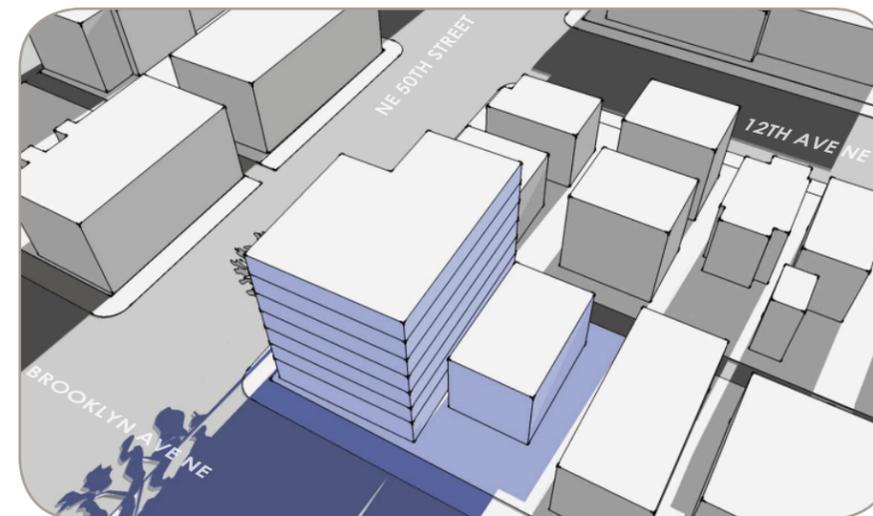
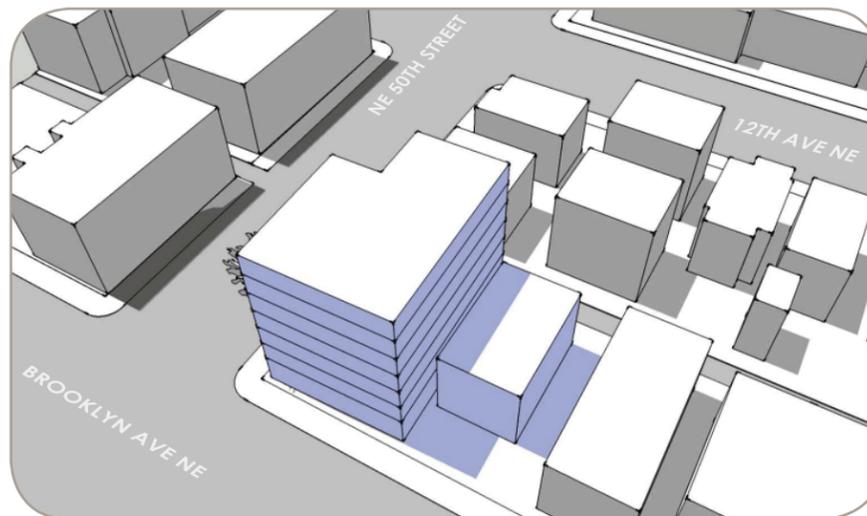
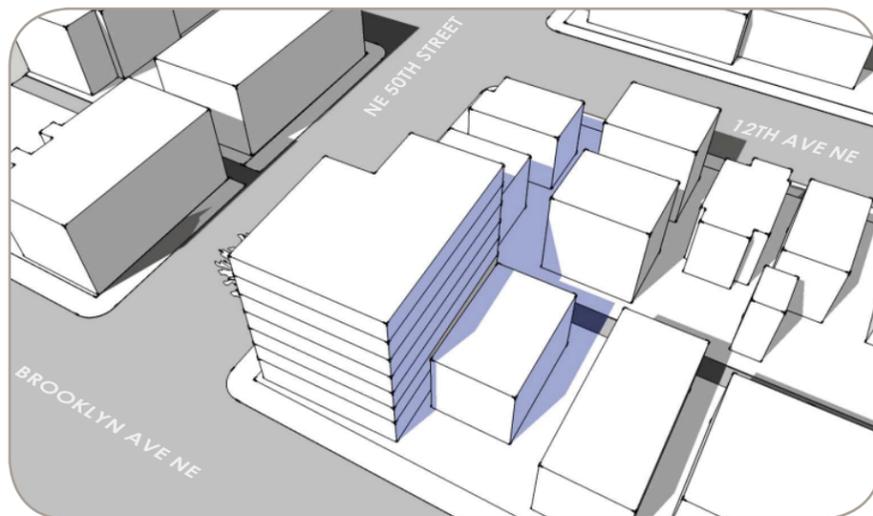






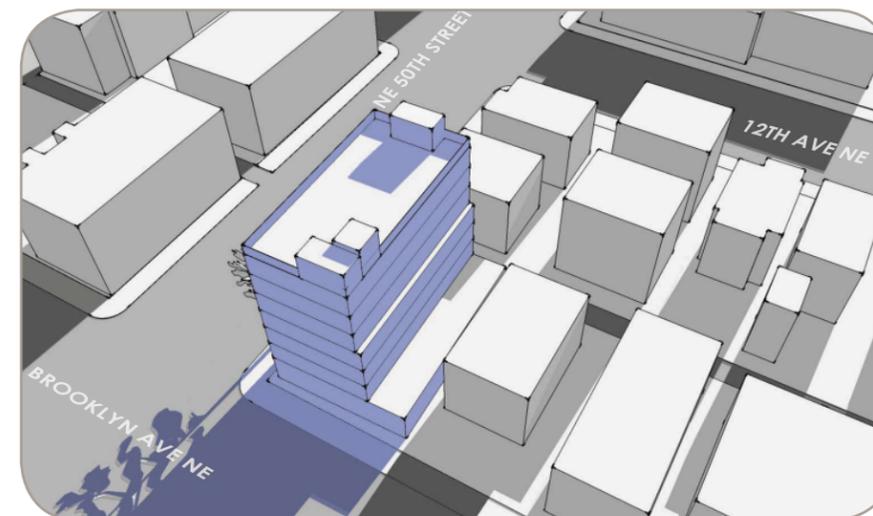
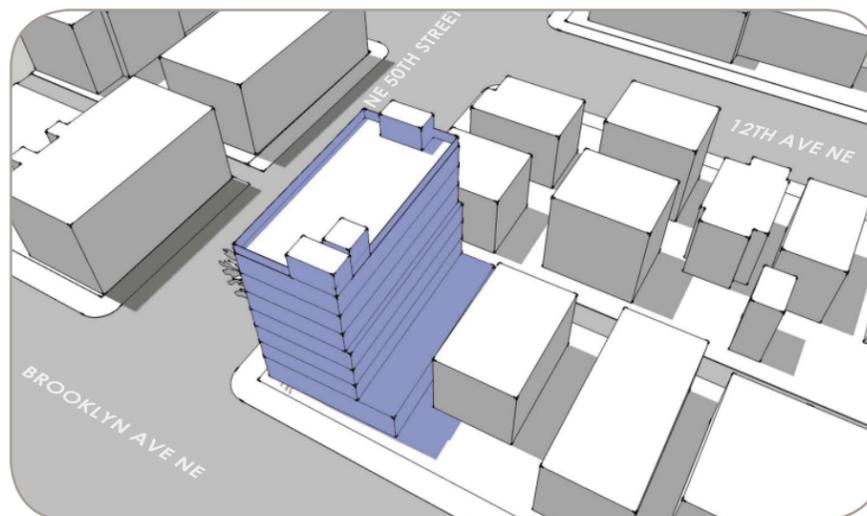
A

SCHEME A
PRIVATE COURT YARD



B

SCHEME B
CODE COMPLIANT



C

SCHEME C
PREFERRED SCHEME

