

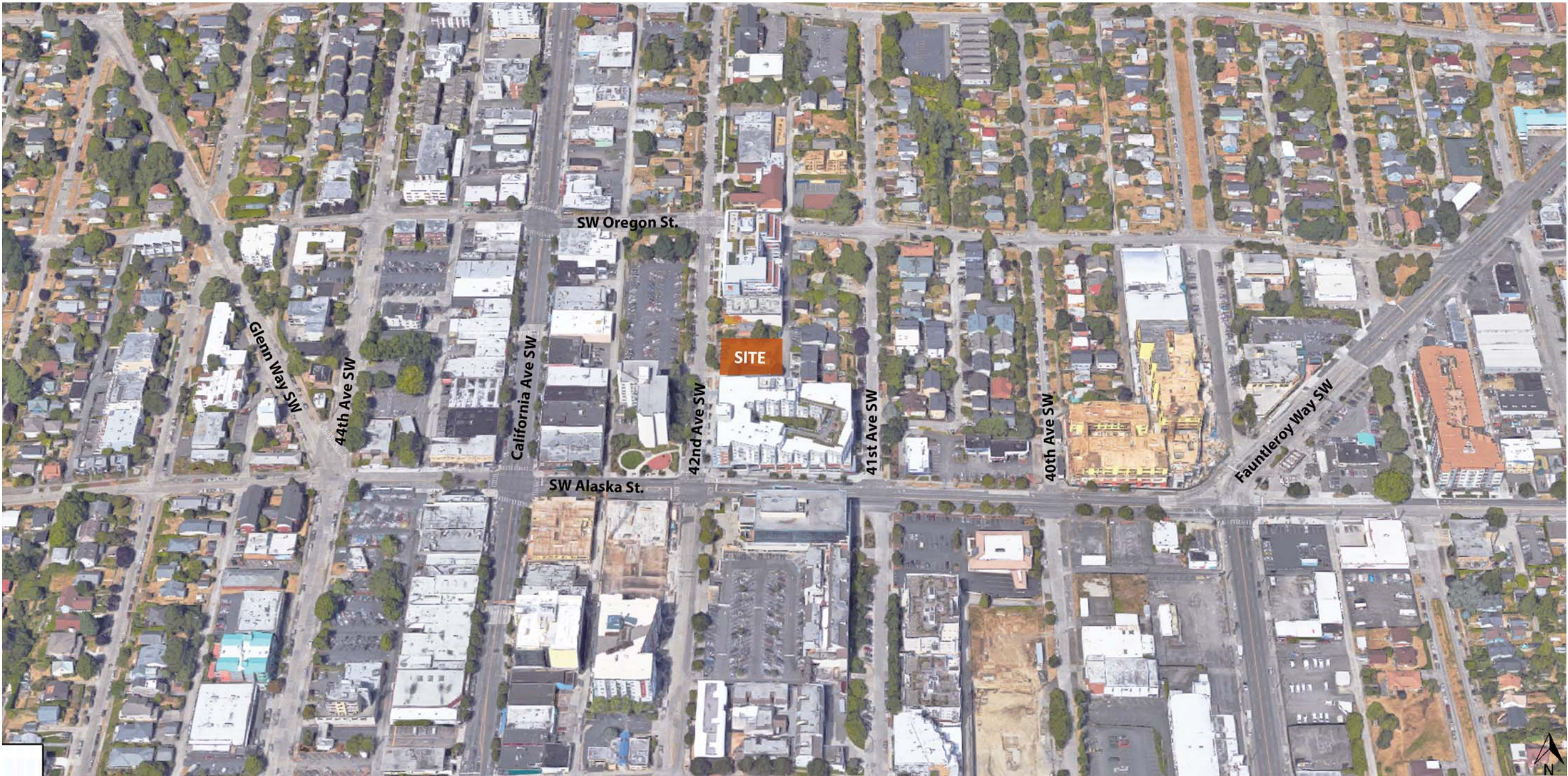
42nd Avenue - Proposed New Residential Construction Project (SDCI #3019962)

SEATTLE DESIGN REVIEW

July 16, 2015 | Early Design Guidance Meeting 1
November 5, 2015 | Early Design Guidance Meeting 2
April 21, 2016 | Early Design Guidance Meeting 3
December 1, 2016 | Recommendation Meeting



- 2. Vicinity Map
- 3. Zoning Map
- 4. Existing Site Plan
- 5. Project Overview
- 6. Massing Overview
- 8. North Setback
- 9. Transition at East Facade
- 10. Alley & Service Use
- 11. Architectural Composition & Massing
- 14. Architectural Composition & Massing - Details
- 15. Materials
- 16. Lighting
- 18. Signage
- 21. Proposed Site Plan
- 22. Landscape - Ground Floor Plan
- 23. Landscape - Roof Plan
- 24. Landscaping - Plant Species
- 25. Proposed Floorplans
- 26. Proposed Elevations
- 28. Sections
- 30. Sun Studies



WEST SEATTLE AERIAL VIEW LOOKING NORTH

ZONING MAP



1 Capco Plaza



2 Oregon 42



3 Junction 47



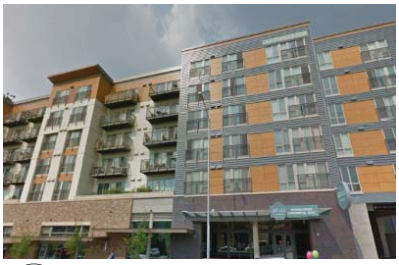
4 4730 California



5 Broadstone Sky



6 The Whittaker




7 Spruce West Seattle


● ● ● Pedestrian Connectors

— Commercial Core Boundary

 Bus Stop

 NC-65 Zone (NC2 or NC3)

 NC3P-65 Zone

 NC-85 Zone (NC2 or NC3)

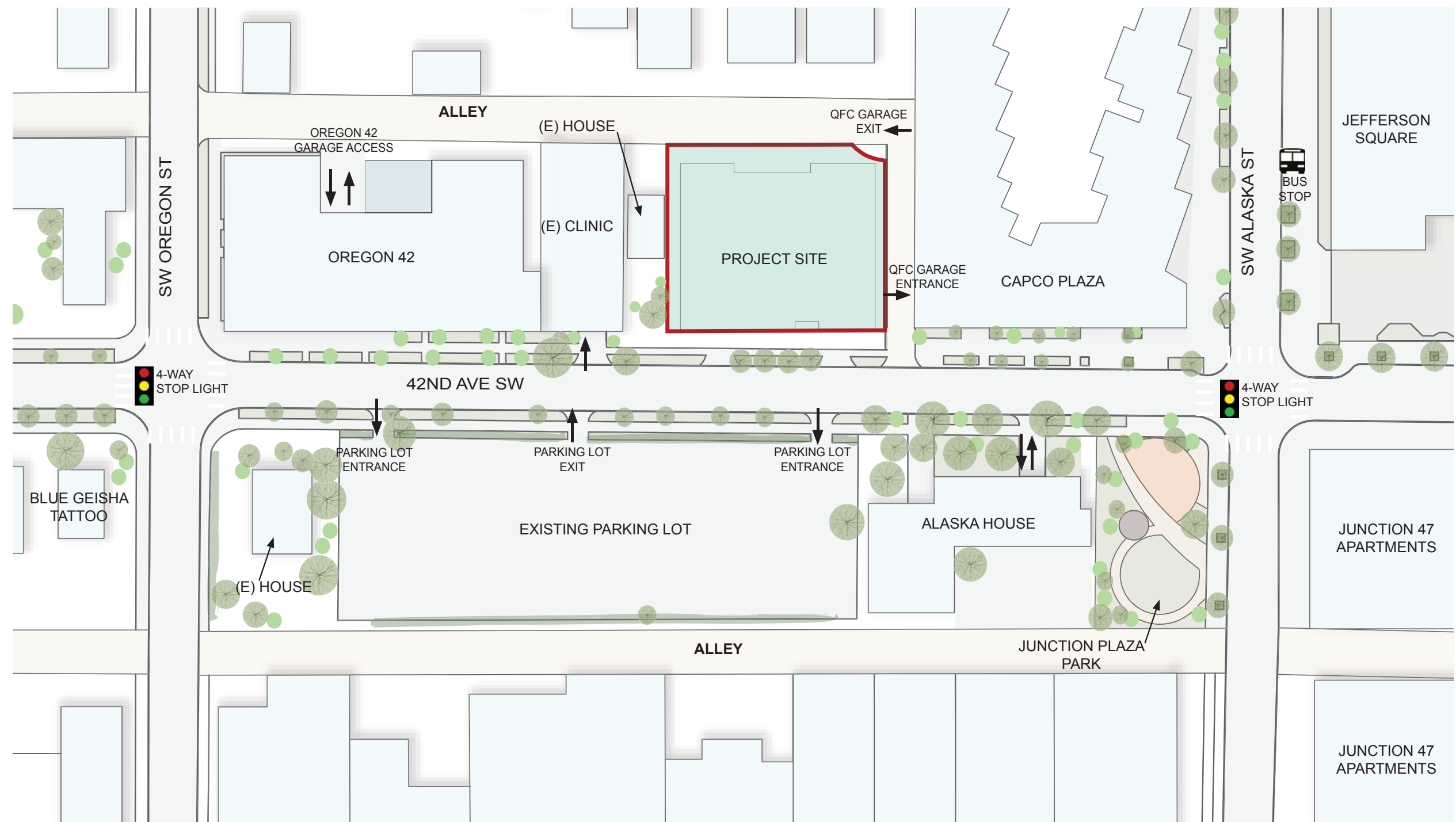
 NC3P-85 Zone

 SF Zone

 NC3-40 Zone

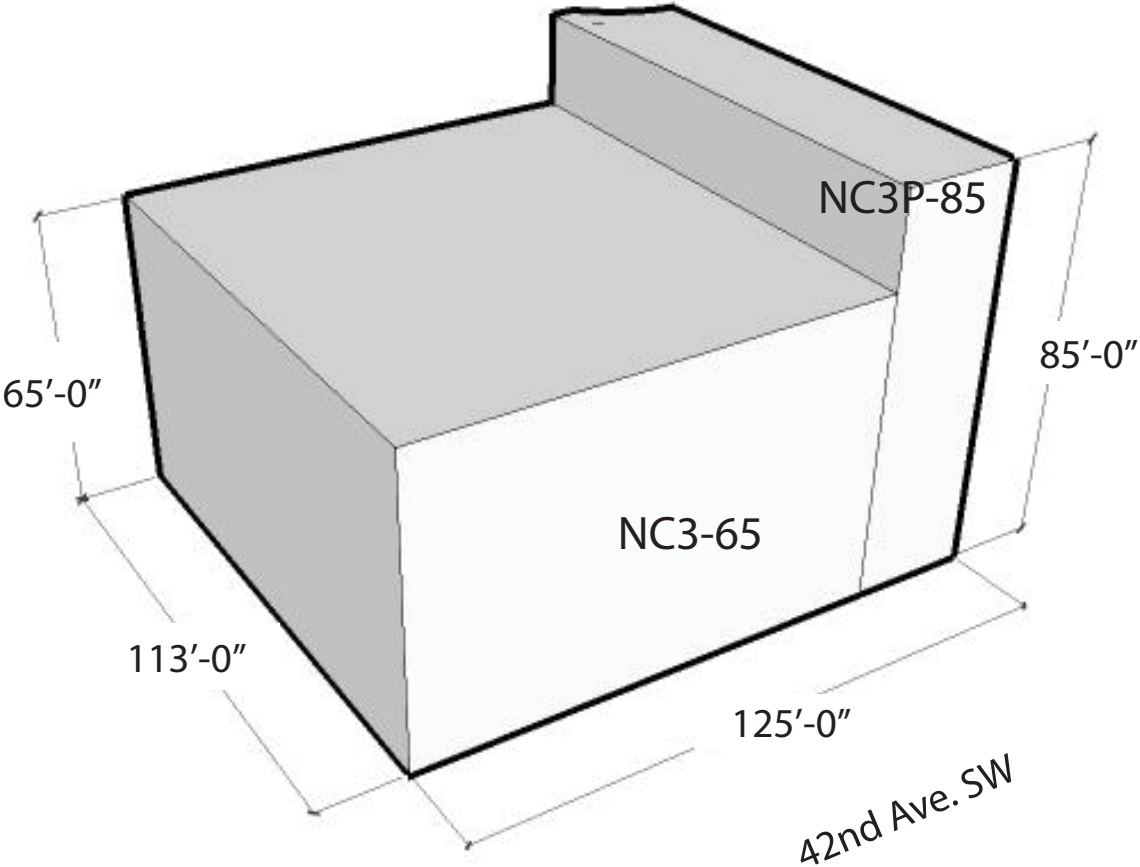
 LR Zones

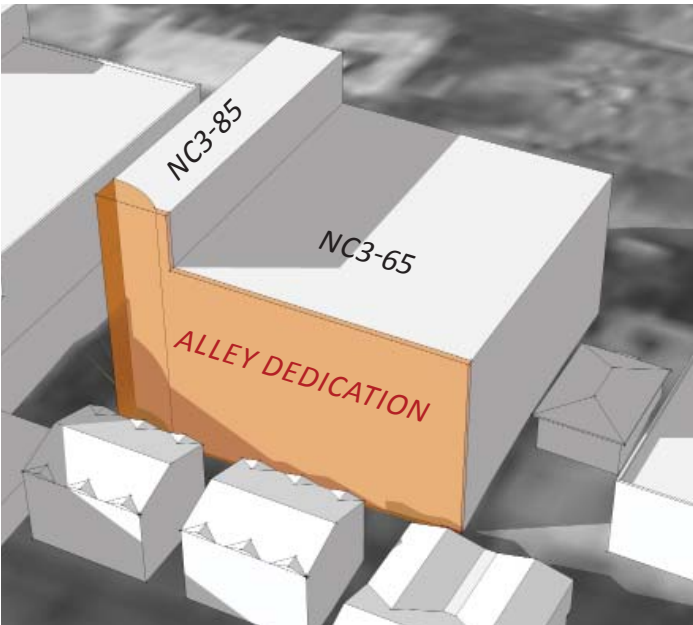
EXISTING SITE PLAN



PROJECT OVERVIEW

Project Description:	This proposal is for a 6-story residential building with ground floor commercial and parking. Two levels of parking will be provided below grade. Access to parking will be from the alley on the east side of the building.		
Project Number:	3019962		
Parcel Numbers:	0952006565, 0952006580		
Zones:	NC3-65 (Neighborhood Commercial 3- 65); NC3P-85 (Neighborhood Commercial 3- 85)		
Overlays:	West Seattle Junction (Hub Urban Village), Pedestrian (85’ zone only)		
Total Lot Area:	13,985 SF		
Adjacent Properties:	The property is adjacent to a five story mixed use residential building to the south, a one story single family home to the north, and several townhomes to the east, separated from the property by an alley.		
FAR:	NC3-65’	NC3P-85’	
23.48.009 Table A	4.75	5.5	
Height Limit:	65’	85’	
23.47A.012	4’ additional allowed for parapets 15’ additional for mech. equipment 16’ additional allowed for stair/elevator	4’ additional allowed for parapets & shed roofs 15’ additional for mech. equipment 16’ additional allowed for stair/elevator	
Amenity Area:	5% of total gross residential floor area	5% of total gross residential floor area	
23.47A.024			
Permitted Uses:	Residential, Retail, Office		
23.47A.004 Table A	Residential	54,183 sf (76 units)	
	Commercial	5,008 sf	
	Parking	25,218 sf (70 stalls)	
	Amenity	1,478 sf	
	Total	85,887 sf	
Street Level Development Standards:	Basic Street-Level Requirements:		
SLUC 23.48.014	- Blank segments of the street-facing facade between 2’-8’ above sidewalk may not exceed 20’ in width. - Total of blank facade segments may not exceed 40% of the width of a street-facing facade. - Street- level street-facing facades shall be located within 10’ of the street lot line unless wider sidewalks, plazas, landscaped or open space is provided.		
	Non-Residential Street-Level Requirements:		
	- 60% of the street-facing facade between 2’-8’ above the sidewalk shall be transparent. - Non-residential uses shall extend 30’ deep average, 15’ minimum deep from the street-level, street-facing facade - Non-residential uses at street level shall have a minimum floor-to-floor height of 13’		

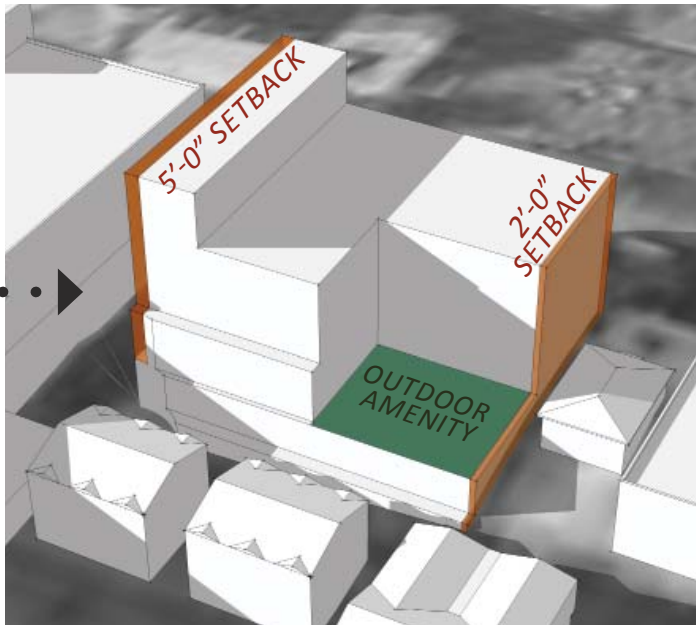




ZONING DIAGRAM



ALLEY SETBACKS



EDG MASSING



EDG DESIGN



REVISED MASSING



REVISED DESIGN

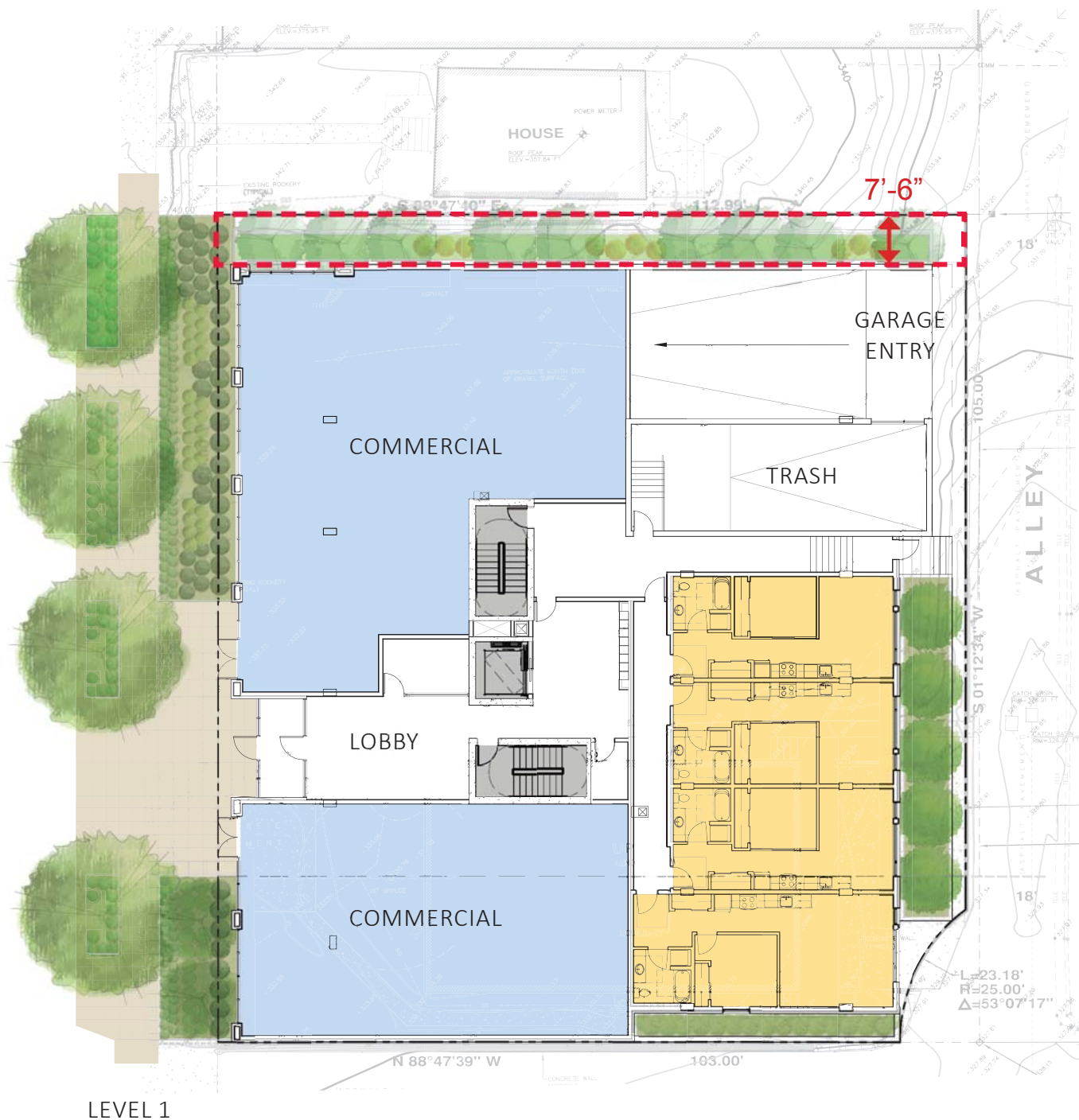


NORTH SETBACK

8

- The board felt that a continuous setback was necessary for providing access to light and air and would create a positive context for future development to respond to.
- The board recommended the structure be set back a minimum of 7.5' from the north property line. No additional modulation is necessary.

The building has been setback 7.5' from the North property line and is now 10' from the residential house to the North. This setback provides the house with sunlight and natural ventilation and will be planted with native plant species and other vegetation to create a natural buffer. Additional articulation has been incorporated to break up the height of the facade and add interest including concrete columns & 8" modulation at white panels. (CS1-B, CS1-D, CS2-B, CS2-D, CS3-A, PL1-A, DC2-A, DC2-B, DC3-A, DC3-B)



LEVEL 1



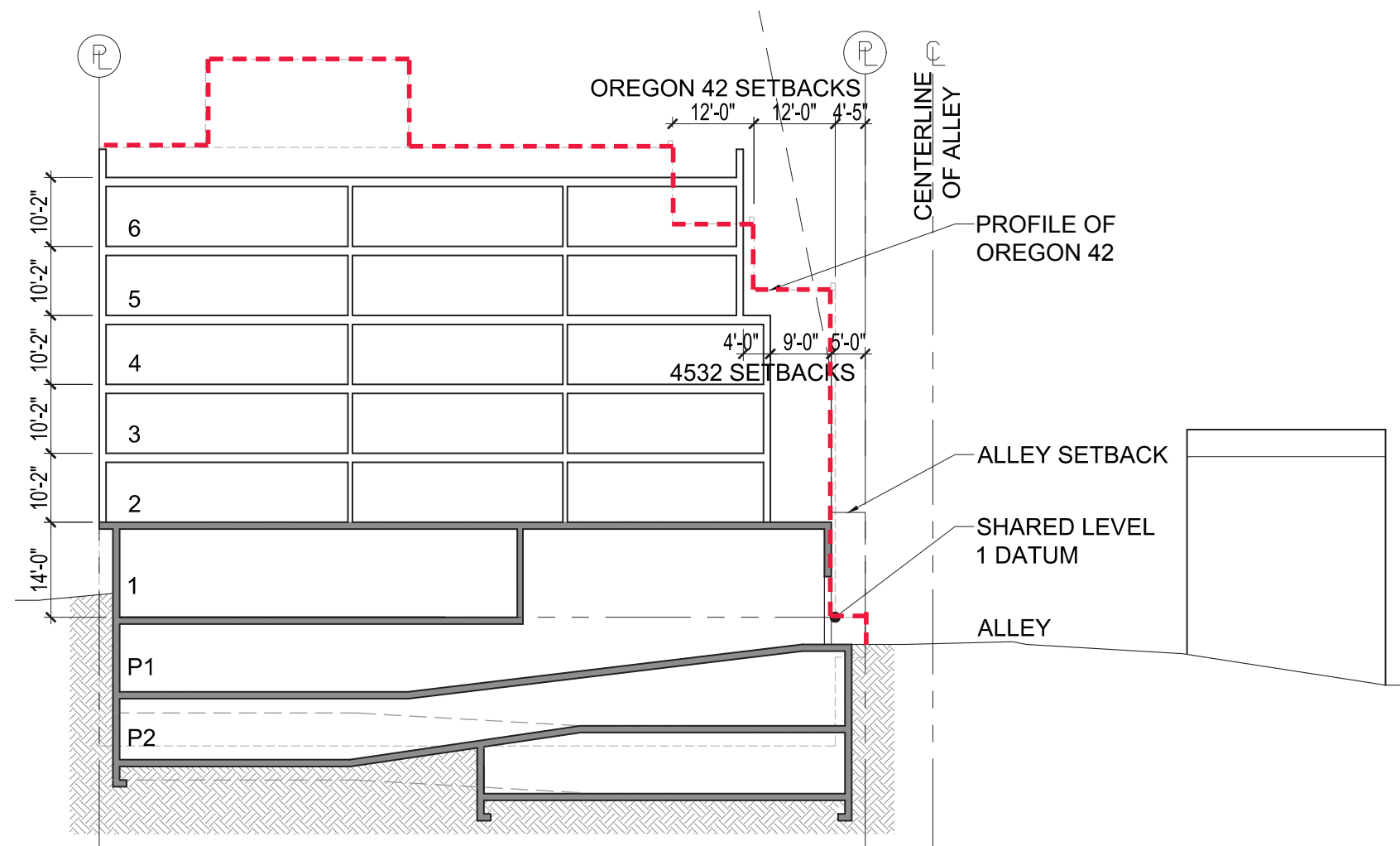
NW VIEW

TRANSITION AT EAST FACADE

9

- The board requested the massing be revised to incorporate setbacks at the upper levels to maximize the potential for amenity space at the east of the site to receive sunlight and reduce the perceived height, bulk, and scale of the east facade.
- The board suggested taking cues from the Oregon 42 development for how to provide an appropriate massing transition using upper level terraces.
- The board felt a more linear amenity space along the east would be appropriate for providing access to light

The massing has been revised to incorporate upper level setbacks providing private amenity spaces along the East facade. The design incorporates a stepped design similar to Oregon 42 and provides a more gradual transition to the adjacent LR zone to the East. (CS1-B, CS2-B, CS2-D, CS2-III, DC2-A, DC2-B, DC3-A)



EAST / WEST SECTION



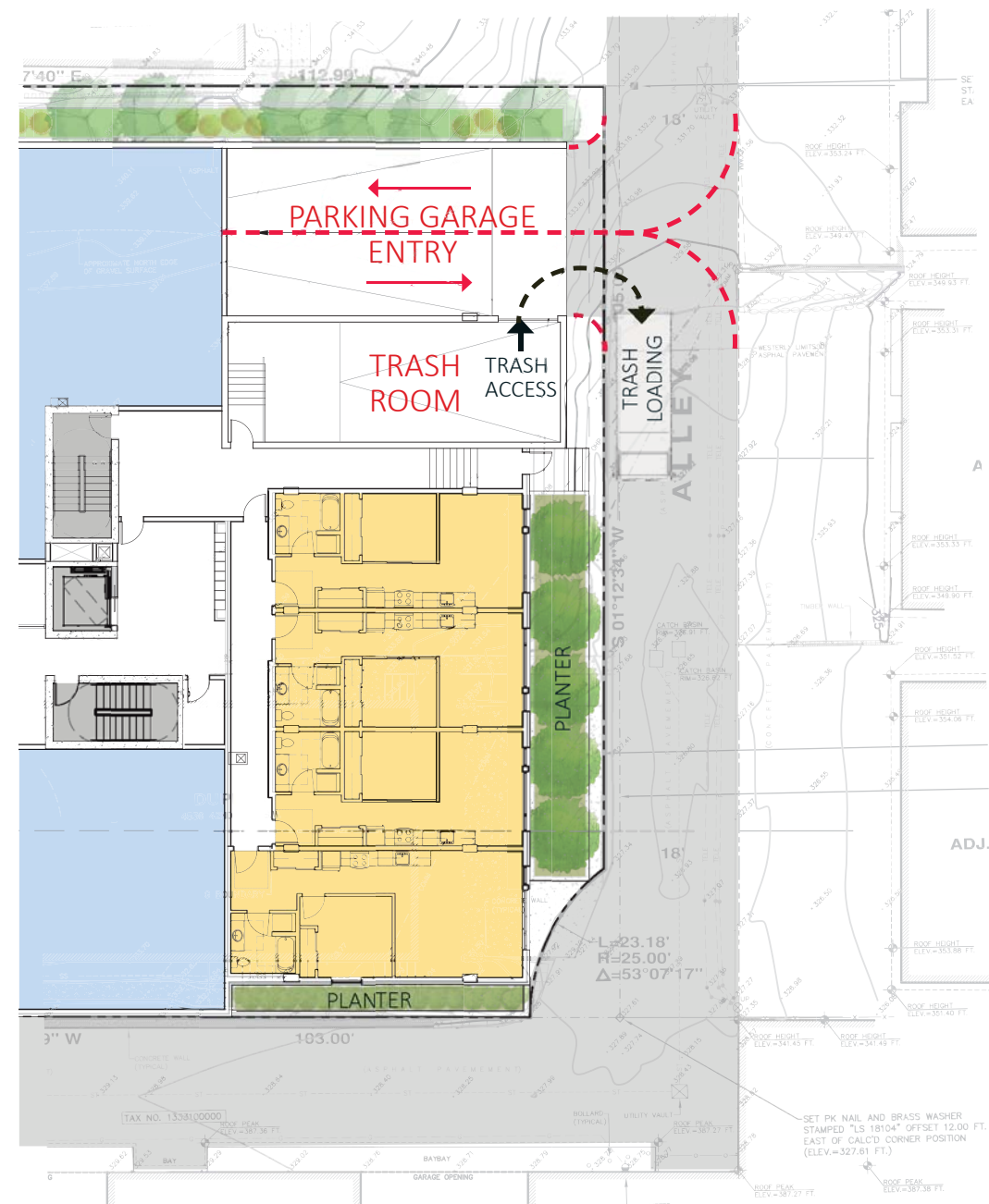
LOOKING NORTH FROM EAST ALLEY

ALLEY & SERVICE USE

10

- Access to parking should be limited to one entry to minimize conflicts with pedestrian and vehicular traffic in the alley.
- The entry should be located farther to the north to provide adequate sightlines for traffic turning the corner
- The board supported the planter at the alley, noting that it provides visual relief and improves the scale transition
- The board supported the location of the trash room on the east side of the structure, abutting the north-south alley

Parking access has been limited to one entry and moved to the north end of the site. Two planters remain to provide visual relief and transition from the adjacent LR zone. The trash room is on the east alley and is accessed from within the parking ramp. (DC1-B, DC1-C, DC1-I)



LEVEL 1

4532 42nd Avenue SW
Recommendation Meeting- SDCI #3019962



NE VIEW

December 1, 2016

ARCHITECTURAL COMPOSITION & MASSING

11

- The board noted that as a mid-block site, the design should respond accordingly

Study below studies key features of adjacent buildings and highlights important influences in the development of the proposed building facade. (CS2-C, CS3-I, DC1-A, DC2-A, DC2-B, DC3-A)



OREGON 42

- Orientation is focused to East, West and South. Main apartment entry is to the West. QFC main entry at the SW corner.
- Vehicle garage for QFC and Petco is accessed from the alley, off 42nd Ave SW.
- Primary facade elements is a metal panel and brick facade, broken up by glazing.
- Use of flush window stacks to create vertical ribbons, breaking up the brick and metal, emphasizes the contrast between the transparent and opaque.
- No major geometries except for monolithic “bay” above the apartment entry. Emphasizes the entry location, and breaks down the scale of the building.
- Ground level is set back only at the apartment pedestrian entry and the retail entry.
- Non-symmetrical layout of vertical ribbons creates facade movement, increasing towards retail corner to lead the eye and user to the primary retail entry.

4532 42nd Avenue SW
Recommendation Meeting- SDCI #3019962

- Orientation is focused to East and West, with the main resident entry to the West.
- Vehicle garage is accessed from the alley, off Oregon St.
- Primary facade elements is the white “frame”, unifying the building and emphasizing the different opening types and depths.
- Use of flush bay stacks and “punched” openings to create varying window geometries and groupings.
- Large scale “bar” and “L” geometries wrapping the penthouse levels help ground the structure and reduce the symmetry of the overall building.
- Ground level is set back to give potential outdoor space to the live/work units and the retail spaces.
- Main entry is designated by large central geometry created by recessed units above it, and emphasized by an inverted “buttress” component, tying the roof to the ground.



ALTA MIRA/CAPCO

December 1, 2016

ARCHITECTURAL COMPOSITION & MASSING

12

- The board supported the articulation of a base, middle, and top
- The board noted that as a mid-block site, the design should respond accordingly

The design maintains a strong street-edge and incorporates key elements of adjacent buildings while maintaining originality. Facade articulation has been incorporated by varying heights of the brick columns and white panels. This stepped movement further emphasizes the sloped grade and connects the facade to the surrounding context. (CS2-C, CS3-I, DC1-A, DC2-A, DC2-B, DC3-A)





ARCHITECTURAL COMPOSITION & MASSING - DETAILS

14

- The board was highly supportive of the layered materials that create depth and interest
- The board suggested restraining the number of window types
- Notches and accents should be used for meaningful moves that relate to the overall parti

The design incorporates layered materials to create depth and interest. The number of window types has been reduced from 9 to 4. Accents and notches have been placed to respond to the context and the spaces within. Textured ribbed metal panels create shadow & depth contrasted with flat white panels. Quality, durable materials such as brick & wood composite are used at ground level to enhance the pedestrian experience. (CS3-I, DC1-A, DC2-A, DC2-B)



ARCHITECTURAL COMPOSITION & MASSING - DETAILS

15

- Details at street-level that enhance the sense of place and create an inviting, human-scaled pedestrian experience

Details at street-level have been further developed to enhance the sense of place including brick columns that extend two stories to create height and interest. (CS2-C, CS3-I, PL1-B, DC1-A, DC2-A, DC2-B, DC3-A)



VIEW FROM QFC ALLEY



VIEW OF RESIDENTIAL ENTRY



VIEW OF OFFICE ENTRY



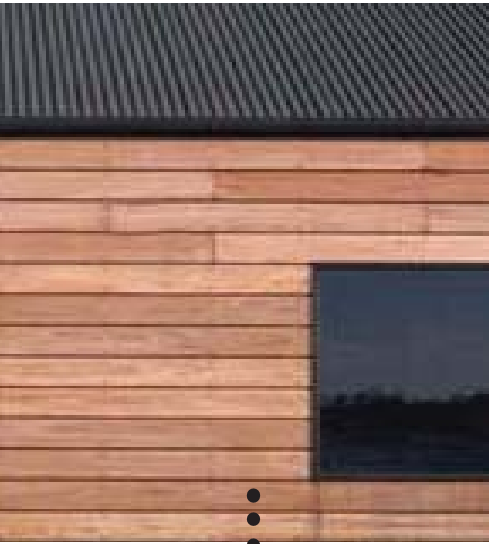
HARDIE PANEL
PAINTED WHITE



METAL PANEL
TAYLOR - DARK BRONZE



WOOD SIDING
RESYSTA C51- WALNUT



STOREFRONT



BRICK COLUMNS



PACIFIC CLAY
DARK IRON SPOT



Lighting Legend

- ① Recessed Canopy Downlight
- ② Sconce Above Door
- ③ Wall Sconce Lights
- ④ Recessed Wall Light
- ⑤ Existing Street Lights



Exterior Sconce



Recessed Wall Light



Canopy Downlight





APARTMENT SIGNAGE



OFFICE SIGNAGE



PROPOSED SITE PLAN

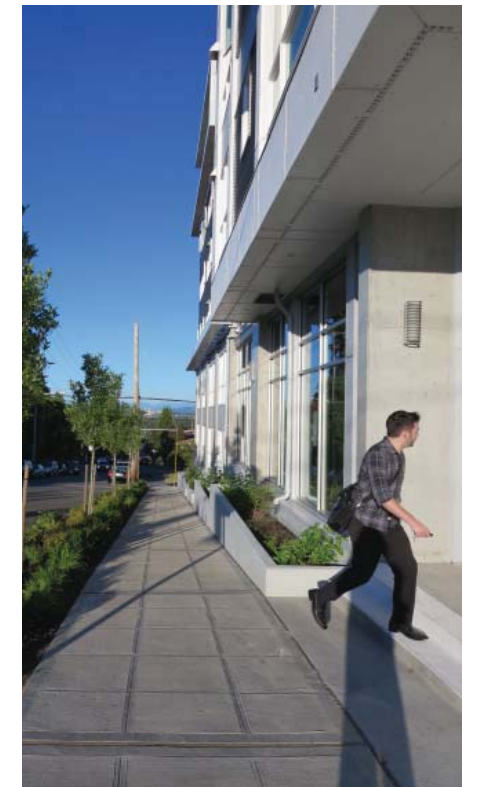


22



A wide, paved pedestrian walkway, likely a boardwalk or promenade, stretches into the distance. The path is flanked by lush green trees and modern, multi-story buildings with large glass windows. A person is walking on the path, and a woman in a blue shirt and white shorts is standing near a railing on the right. The scene is bright and sunny, with shadows cast by the trees onto the pavement.

*Oregon+42nd, w/ 6' sidewalk,
generous R.O.W. landscape*



*Oregon+42nd, northside
stormwater planters*



Borrowing native planting cues from Junction Plaza Park

LANDSCAPE- ROOF PLAN



informal gathering



Parrotia Trees in Pots



Sedums with Grasses

0' 8' 16' ^
N

LANDSCAPING - PLANT SPECIES

PLANTING

SYMBOL

BOTANICAL NAME/ COMMON NAME

STREET TREES:

STREET TREE SPECIES HAVE BEEN APPROVED BY BILL AMES, SDOT URBAN FORESTER

BETULA JACQUEMONTII / JACQUEMONTI BIRCH

ON-SITE TREES:

CORNUS 'EDDIE'S WHITE WONDER' / 'EDDIE'S WHITE WONDER' DOGWOOD

ACER CIRCINATUM / VINE MAPLE

AMELANCHIER ALNIFOLIA / SASKATOON SERVICEBERRY

SHRUBS & GROUNDCOVER

VIBURNUM DAVIDII / DAVID'S VIBURNUM

BUXUS MICROPHYLLA 'WINTER GEM' / WINTER GEM JAPANESE BOXWOOD

LONICERA PILEATA / BOXLEAF HONEYSUCKLE

SPIRAEA X BUMALDA 'DENISTAR' / SUPERSTAR SPIREA

CORNUS SERICEA 'ISANTI' / RED-OSIER DOGWOOD

ROSA 'AMBER' / FLOWER CARPET AMBER GROUNDCOVER ROSE

PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY DWARF FOUNTAIN GRASS

LIRIOPE SPICATA / CREEPING LILYTURF

ASTILBE X ARENDSII 'DEUTSCHLAND' (50%)

ASTILBE X ARENDSII 'RHEINLAND' (50%)

NANDINA DOMESTICA 'EMERALD SEA' / EMERALD SEA HEAVENLY BAMBOO

RHODODENDRON 'DORA AMATAEIS' / 'DORA AMATAEIS' RHODODENDRON

FRAGARIA CHILOENSIS/ COASTAL STRAWBERRY

POLYSTICHUM MUNITUM / SWORD FERN

MAHONIA NERVOSA/ LOW OREGON GRAPE

GAULTHERIA SHALLON/ SALAL

POLYSTICHUM MUNITUM / SWORD FERN

LIRIOPE SPICATA / CREEPING LILYTURF

TREES

Acer circinatum
Vine Maple

Betula jacquemontii
Jacquemontii Birch

Cornus 'Eddie's White Wonder'
'Eddie's White Wonder' Dogwood

Amelanchier alnifolia
Saskatoon Serviceberry

SHRUBS

Viburnum davidii
David's Viburnum

Buxus japonica 'Winter Gem'
'Winter Gem' Japanese Boxwood

Lonicera pileata
Boxleaf Honeysuckle

Spiraea x bumalda 'Denistar'
Superstar Spirea

Cornus sericea 'Isanti'
'Isanti' Red-Osier Dogwood

Rosa 'Amber Flower Carpet'
'Amber Flower Carpet' Rose

Nandina 'Emerald Sea'
'Emerald Sea' Heavenly Bamboo

Rhododendron 'Dora Amateis'
'Dora Amateis' Rhododendron

GROUNDCOVERS ETC.

Fragaria chiloensis
Coastal Strawberry

Native Mix - Salal, Ferns,
Mahonia

Liriope spicata
Creeping Lilyturf

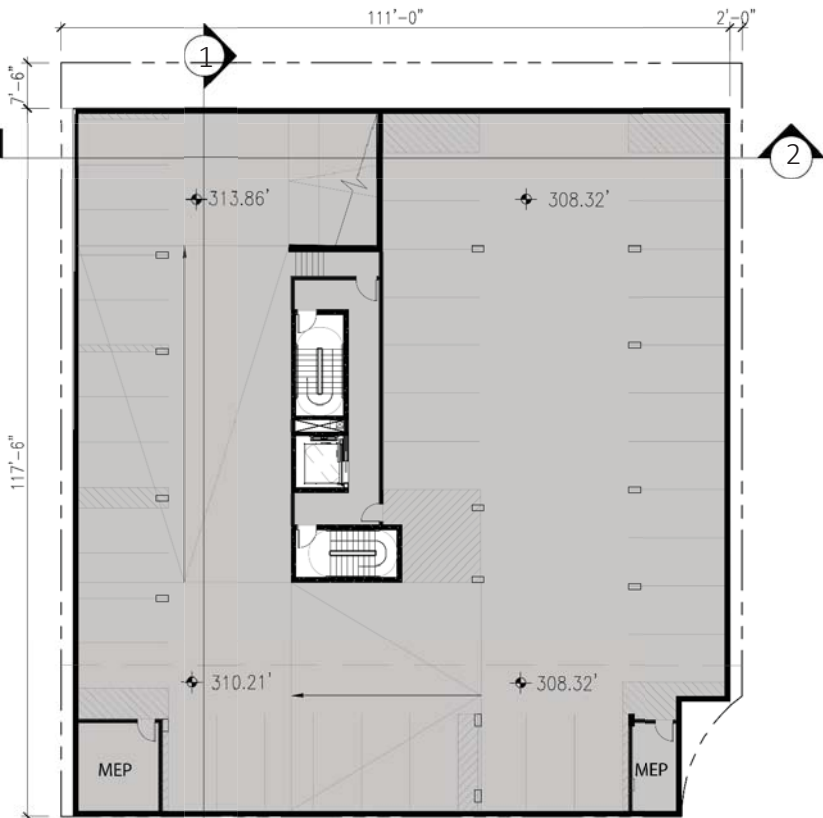
Juncus effusus
Common Rush

4532 42nd Avenue SW
Recommendation Meeting- SDCI #3019962

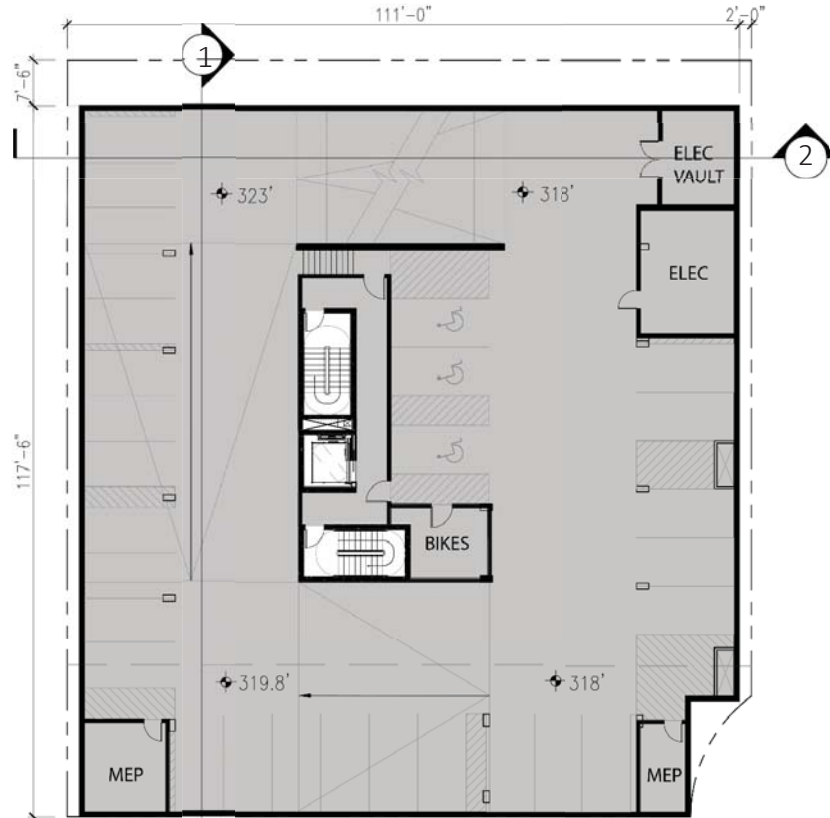
December 1, 2016

CLARK
DESIGN GROUP PLLC

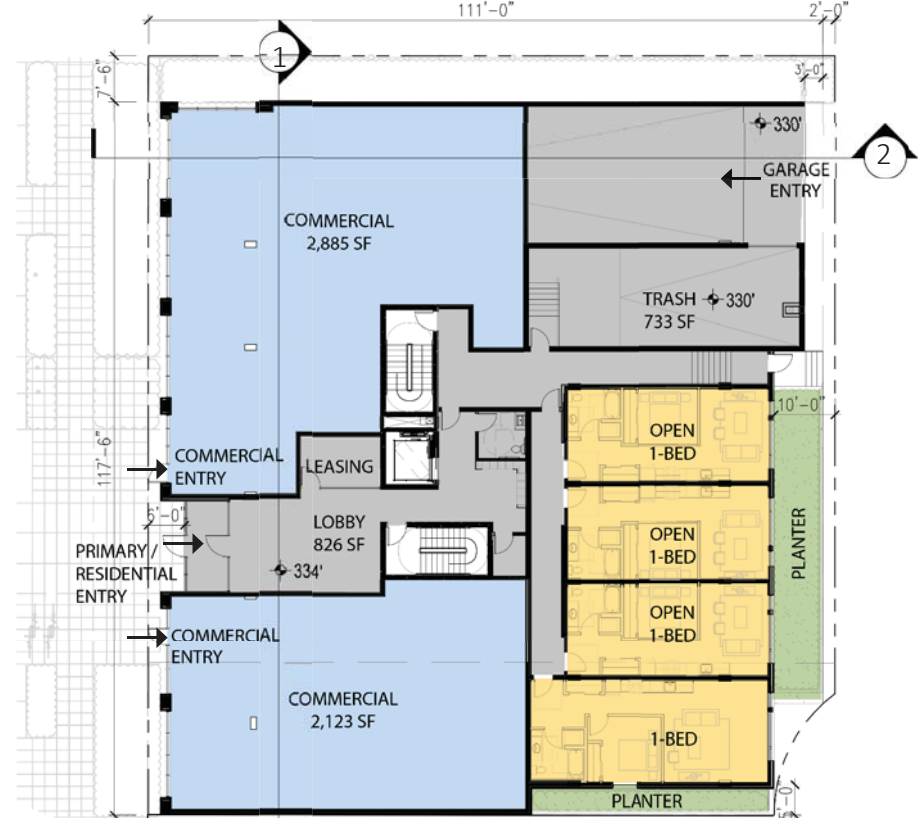
PROPOSED FLOOR PLANS



LEVEL P2



LEVEL P1



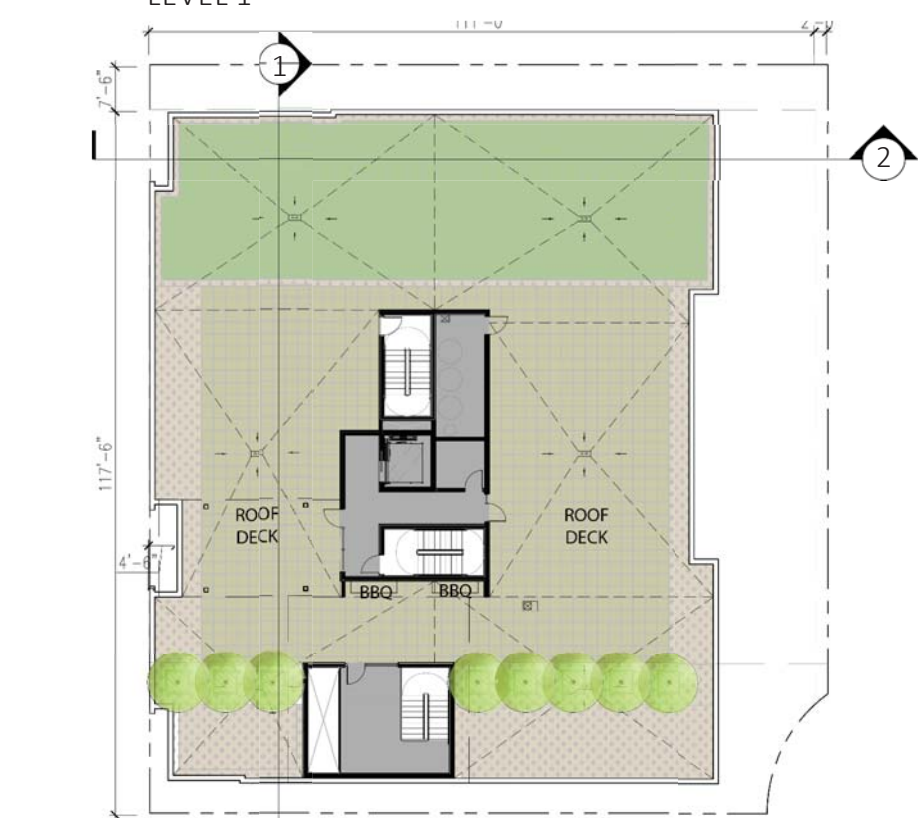
LEVEL 1



LEVEL 2-4



LEVEL 6 (5 SIM)



ROOF

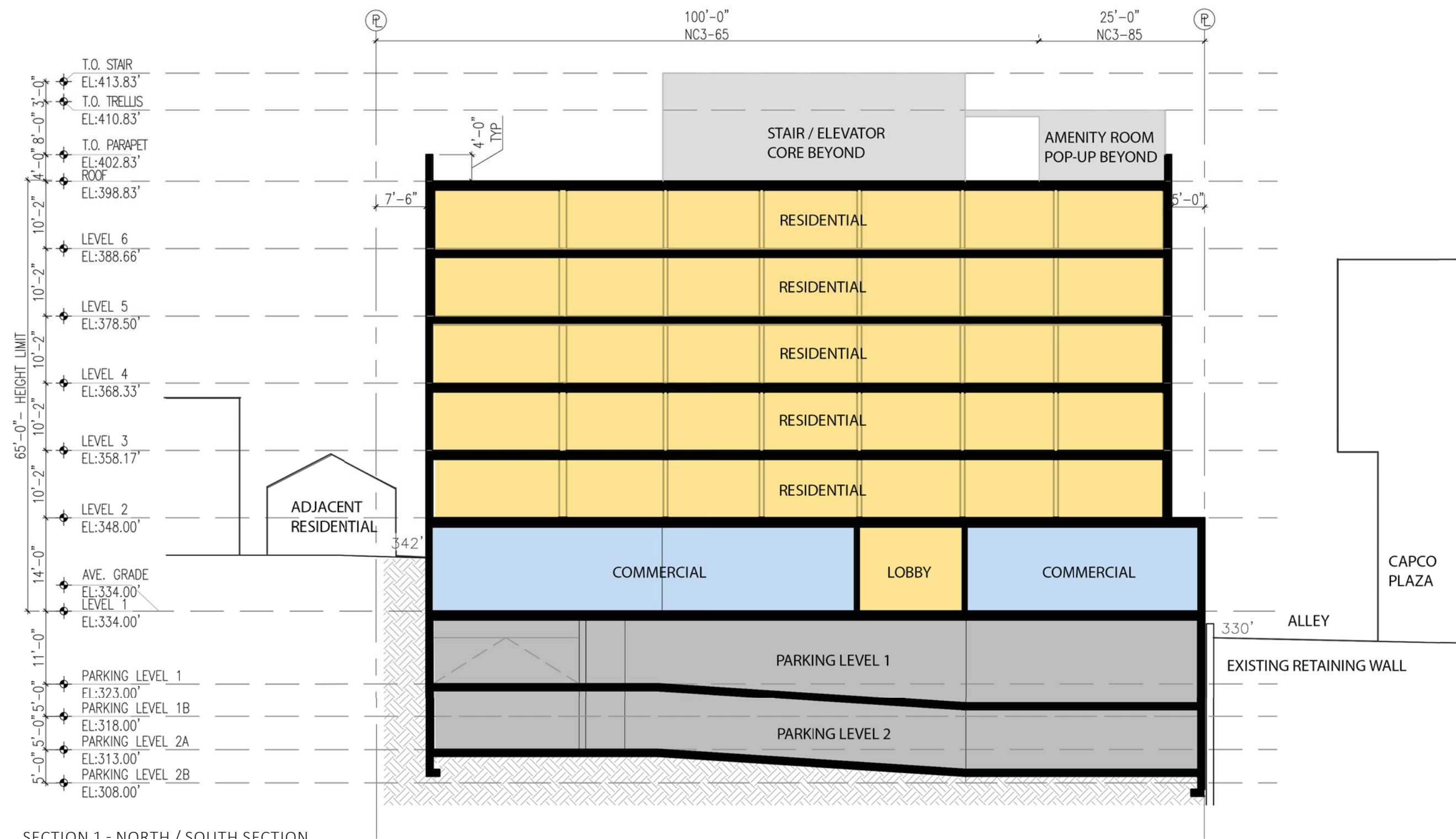
26



27

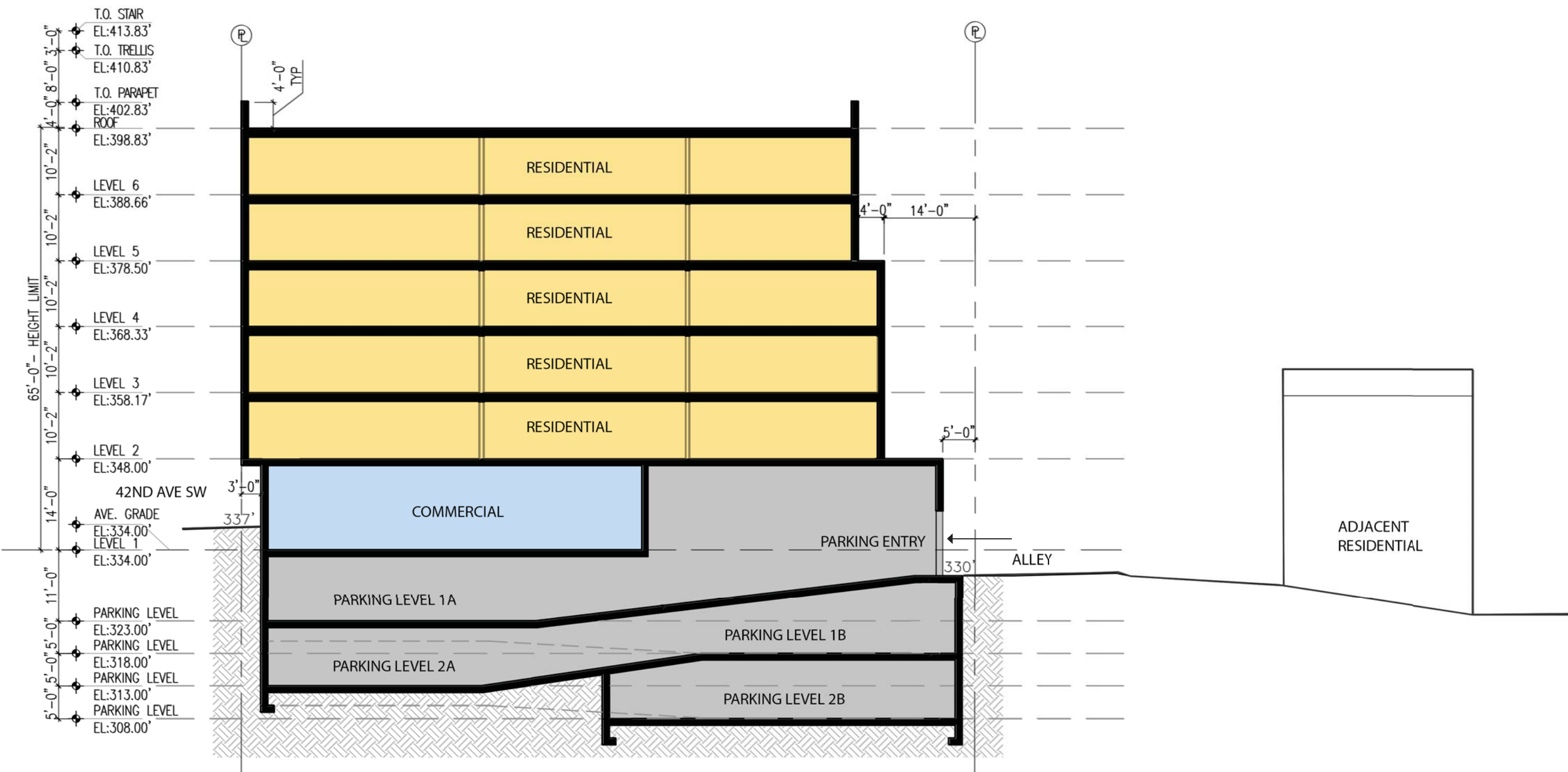


PROPOSED SECTIONS



SECTION 1 - NORTH / SOUTH SECTION

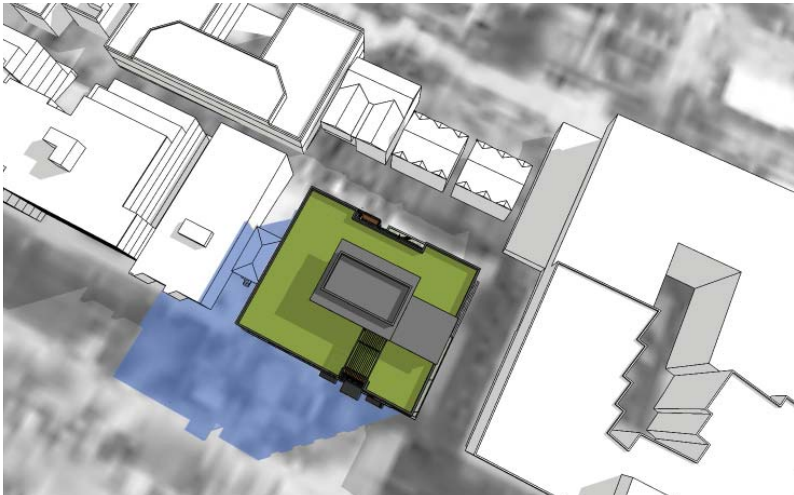
PROPOSED SECTIONS



SECTION 2 - EAST / WEST SECTION

SUN STUDIES

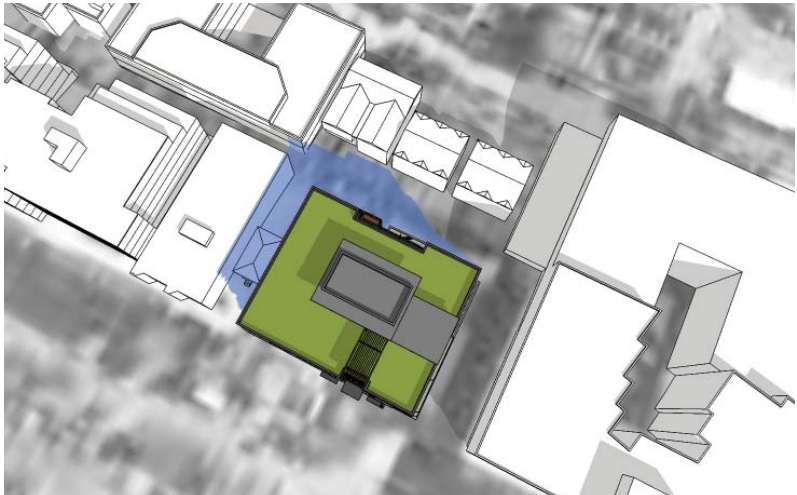
MARCH 21



10AM



12PM



2PM

JUNE 21



10AM

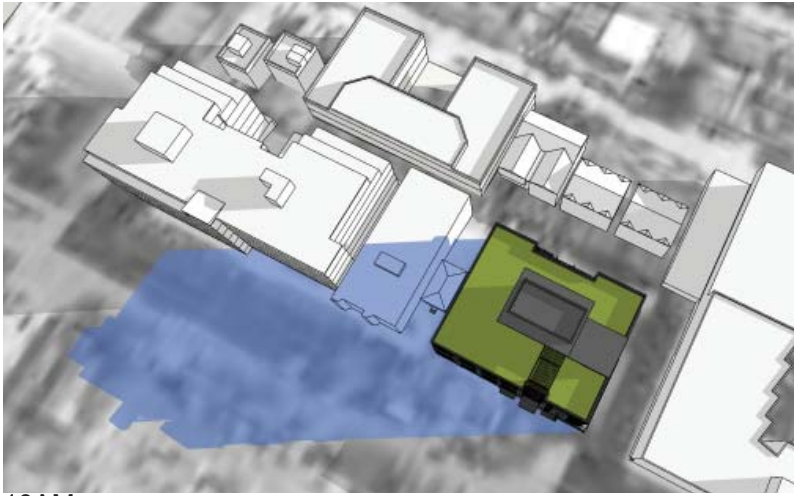


12PM



2PM

DECEMBER 21



10AM



12PM



2PM