

Streamlined Design Review

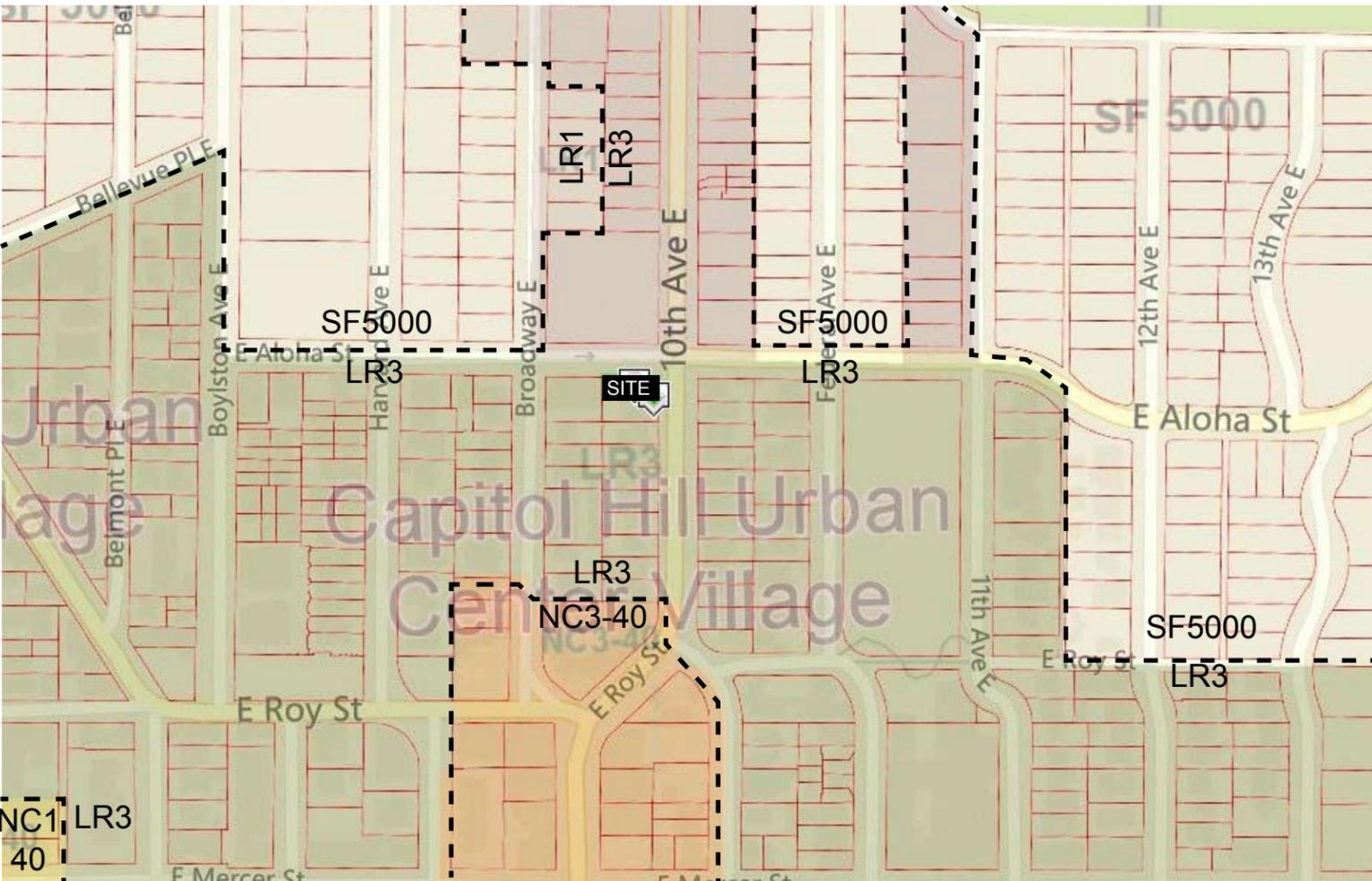
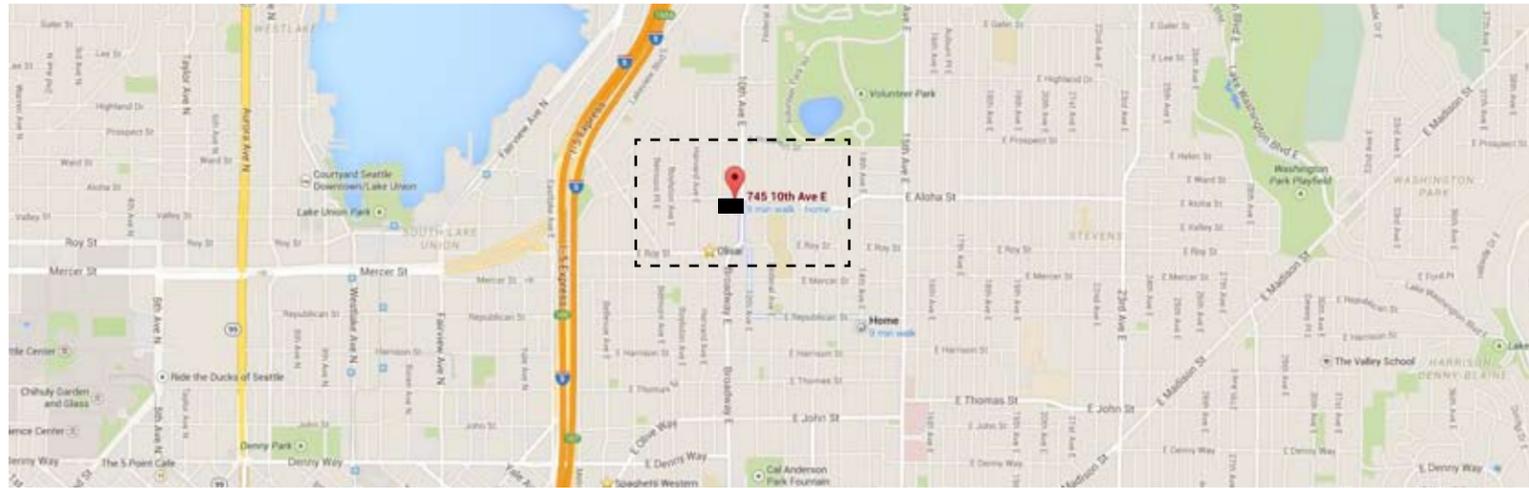
06/04/15

745 10th Ave E
3019748

Development Objectives:

Streamline Design Review of 4 story building (plus basement) apartment project with 11 units on 4,000 SQ Ft site in LR3 zone of Capitol Hill Urban Center Village. No vehicle parking provided as required. Bicycle parking to be provided as required. Existing structure to be demolished.





Site Location:	745 10th Ave E / 98102
Parcel:	2663000545
Site Zoning:	LR3
Residential Units:	11 (6 units) < 400SF / (5 units) > 400SF
Overlay:	Capitol Hill Urban Center Village
SEPA Review:	Not required
Parking:	No Vehicular Parking Required / None Provided 11 bicycle spots provided - complies
Height:	40' allowed +4'-0" for partially below grade story 44' max height. measured from AGP
Site Area	4000 SF
Floor Area Ratio	2.0 b/c inside urban village 2.0 x 4000 = 8,000 SF to FAR allowed
Floor Area	7,768 SF to FAR - complies 8,440 SF Gross
Setbacks	5' min front / 15' min rear (no alley) 5' min & 7' average side
Facade Length	65% of lot line length w/ 15' min setback 65' maximum facade length allowed - complies
Amenity area	25% of 4000sf = 1,000 sf req 500 sf Common AA req at grade

Section 1 - Context Analysis

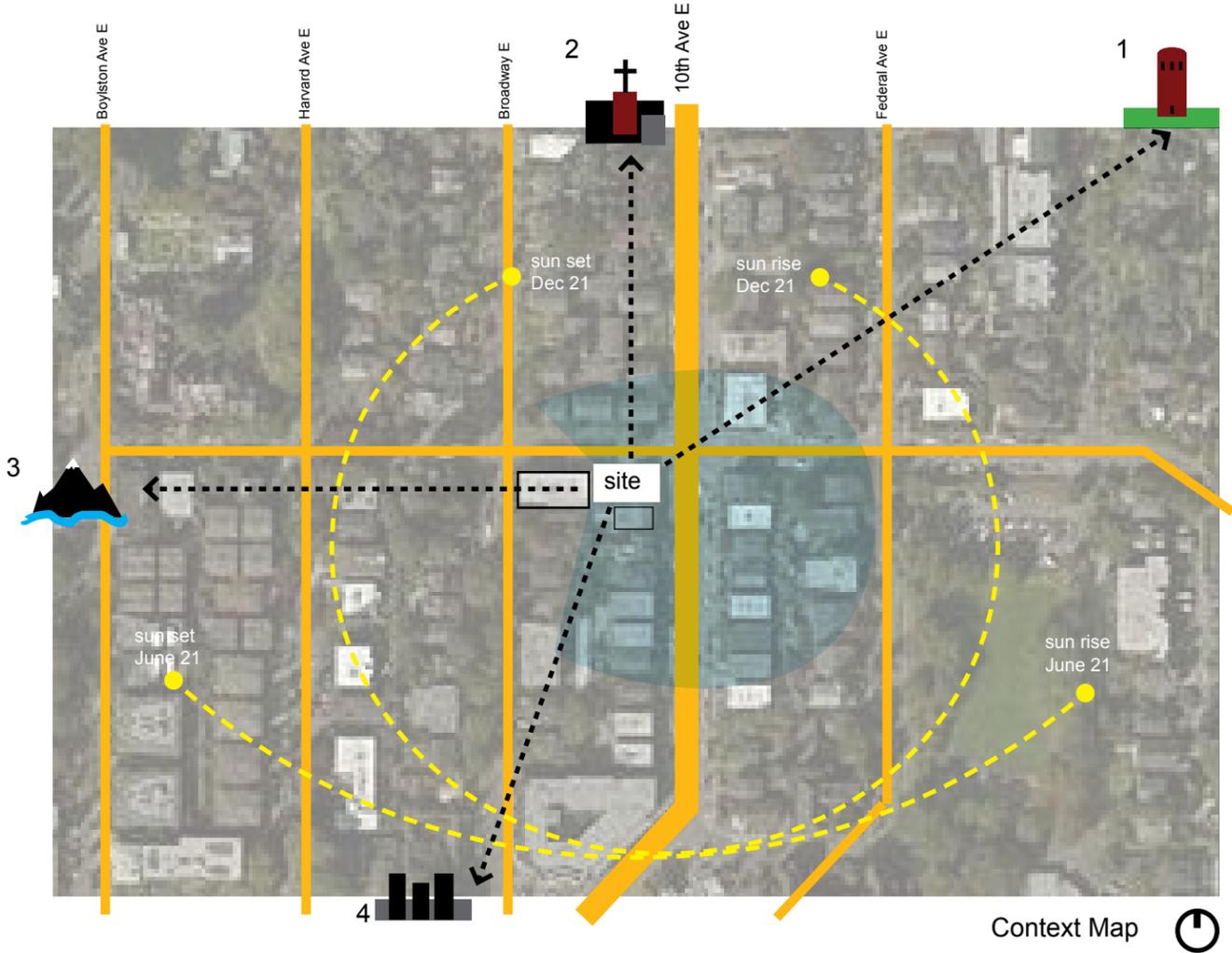
Zoning

Streamlined Design Review



Birds Eye View

The site is at the northern edge of the Capitol Hill neighborhood and is located on 10th Avenue E, which is a major thoroughfare for vehicular and pedestrian traffic in the north / south directions. To the south is Broadway E, which represents an active commercial district with shops, restaurants, grocery stores and other amenities. To north, 10th Ave eventually slopes downhill towards Lake Union and the University of Washington. The site is also within several blocks of Volunteer Park to the east, which contains the SAM Asian Art Museum, the Orchid House and a historic Watertower.



Context Map

Solar Access and view opportunities are represented in the context map above.
 1 - Volunteer Park / Watertower. 2- St. Mark's Cathedral.
 3 - Puget sound and Olympic mountains. 4 - Capitol Hill, First Hill, Downtown



Site Analysis Summary

10th Ave E

- Major N/S thoroughfare
- Active bus / bike / vehicular / pedestrian traffic
- Predominantly Apartment buildings w/ some Single Family / Duplex structures

E Aloha Street

- E/W thoroughfare east of 10th Ave E
- Apartment buildings at intersection / Single family to east & west
- Quieter than 10th, but still very active street

Solar Access

- Eastern morning light allowed in due to street
- Southern light partially blocked at lower levels due to 2+ story structure to south
- Western afternoon light mostly blocked due to 4 story structure to west

Views

- Views north up 10th / towards St. Mark's Cathedral
- Views south towards Downtown from roof deck / top floor
- Partial views west towards Olympic mountains from roof deck

Amenities

- Central location - accessible from bus lines 49/9 (stops 1 block away)
- Parks - 1 block from Lowell Park / +2 blocks from Volunteer Park
- Food / Grocery - 3 blocks south is QFC / Restaurants on Broadway
- School - Lowell Elementary / Gage Academy of Art / Cornish / SCCC

- Single Family Homes
- Townhomes / Condo
- Duplex / 4 Plex
- Apartments
- Commercial / Mixed Use
- Park / Public

Section 1 - Initial Site Analysis Lot and Structure Use



East Elevation



West Elevation

10th Avenue

The west side of 10th Ave E contains 1+ to 3 story single and multifamily structures that range in material from wood and horizontal cladding to brick masonry. There is also a strong presence of natural vegetation along the sidewalk. The east side of the street contains mostly 3-4 story apartment structures in similar materials to the west side of the street.



North Elevation

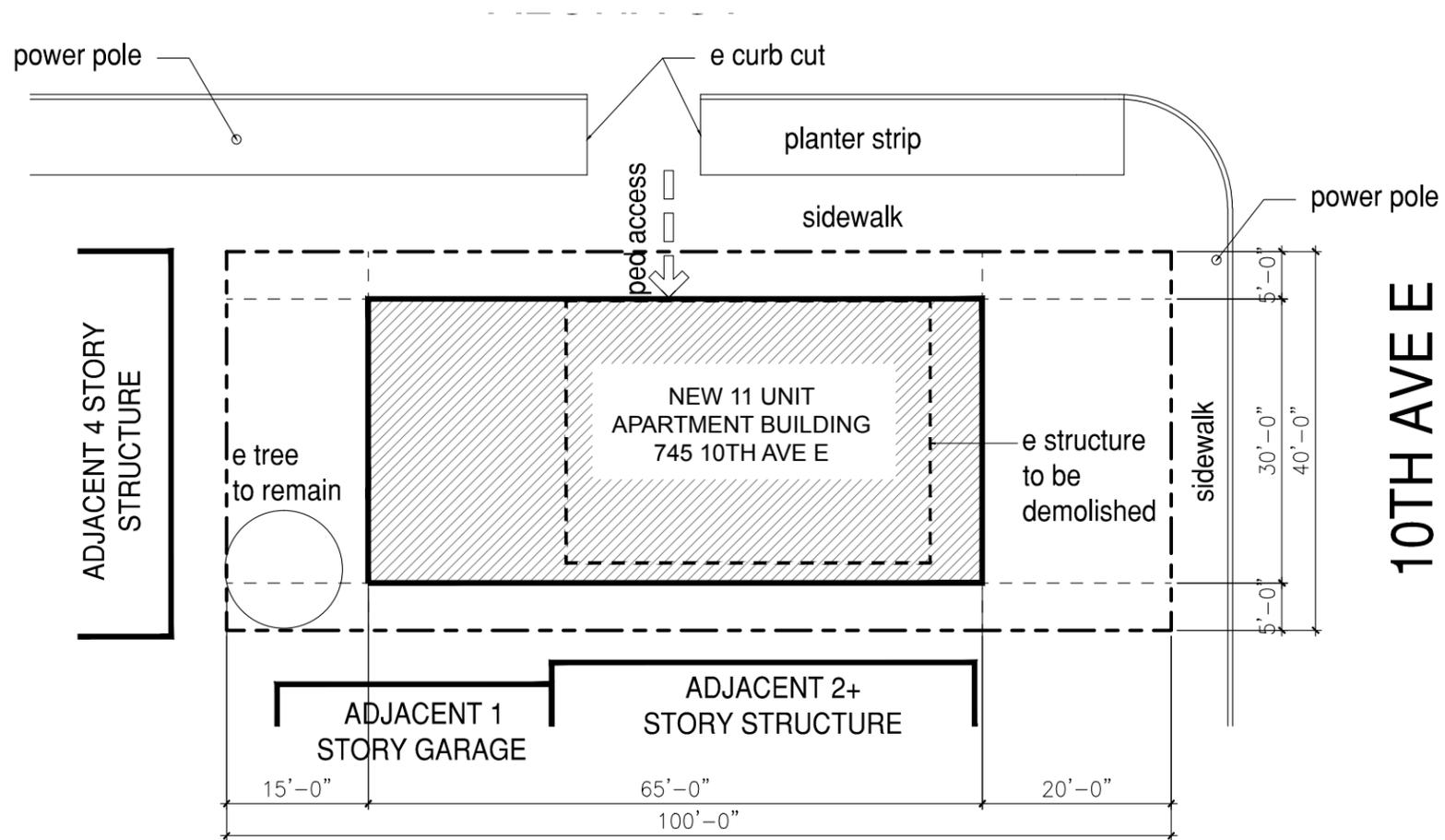


South Elevation

Aloha Street

The street slopes gradually downhill from the east towards the west. The structures immediately to the east and west of the site are 3+ to 4 stories tall and made of brick and wood. The north side of Aloha features the historic Aloha Terrace apartment complex immediately across the street from the project site. There is a bus layover spot along the south side of Aloha, at the western edge of the site.

Section 1 - Initial Site Analysis
Adjacent buildings



Existing Site

Uses

There is an existing 1.5 story single family residence on the site that to be demolished.

Topography

The site slopes up 4'-0" from the existing sidewalk elevation at both the north and east extents of the site. This slope is consistent with the adjacent properties to the south and is retained by a concrete wall to the west. The site flattens out at the top of the 4'-0" incline.

Access

The site has pedestrian access via existing concrete stairs at both the southeast and northeast corners of the site. There is an existing curb cut located along Aloha Street that leads to a driveway and garage under the existing structure.

Vegetation

There is an existing tree at the southwest corner of the site that is to remain. There are also 2 existing smaller trees adjacent to the east side of the existing structure that are to be removed. The site features bushes and vines along the uphill slope at both the east and north edges of the site. To the north, the bushes are 8'-12' tall and to the east they are 3'-4' tall. There is also a rear yard that is to be maintained as open space in the future development.

Views and Solar Access

The existing 4 story structure to the west of the property will hinder most views. The existing 2+ story structure to the south will block views / sun to the lower units and entry but the higher units and roof deck will be able to look over it and towards the capitol hill neighborhood to the south. From the roof deck, there are partial views south and west towards downtown and the Olympic mountains.

10TH AVE E

Section 2 - Existing site conditions

Streamlined Design Review



1 - NE View



2 - South Side Yard



3 - SW Corner



4 - North Sidewalk



5 - East Sidewalk



6 - Looking south down 10th Ave E
Aerial View of the Site



7 - Looking north up 10th Ave E

Key Plan

THE FOLLOWING DESIGN GUIDELINES ARE CONSIDERED BY THE APPLICANT TO BE PRIORITIES IN THE DEVELOPMENT OF THE PROJECT:

CONTEXT AND SITE

CS2 - URBAN PATTERN AND FORM

- a. location in the city and neighborhood
- c. Relationship to the block
- d. Height Bulk and Scale

1. Most projects along 10th Avenue have an increased front setback. This space is predominantly used for landscaping but more importantly creates a uniform street facade along the block.

2. Traffic is heavy along 10th Avenue with a constant flow of busses, cars and bikes throughout the day. It is very active and moderately noisy. Aloha, on the other hand, is much quieter and is only a one way street to the west of 10th.

3. The adjacent project to the west features windows and a secondary entrance to the building along its eastern edge. The project also features a beautiful maple tree and has the potential for southern and western sunlight from this edge. Therefore, the project will feature a 15' rear setback to allow relief and provide space for these elements.

CS3 - ARCHITECTURAL CONTEXT AND CHARACTER

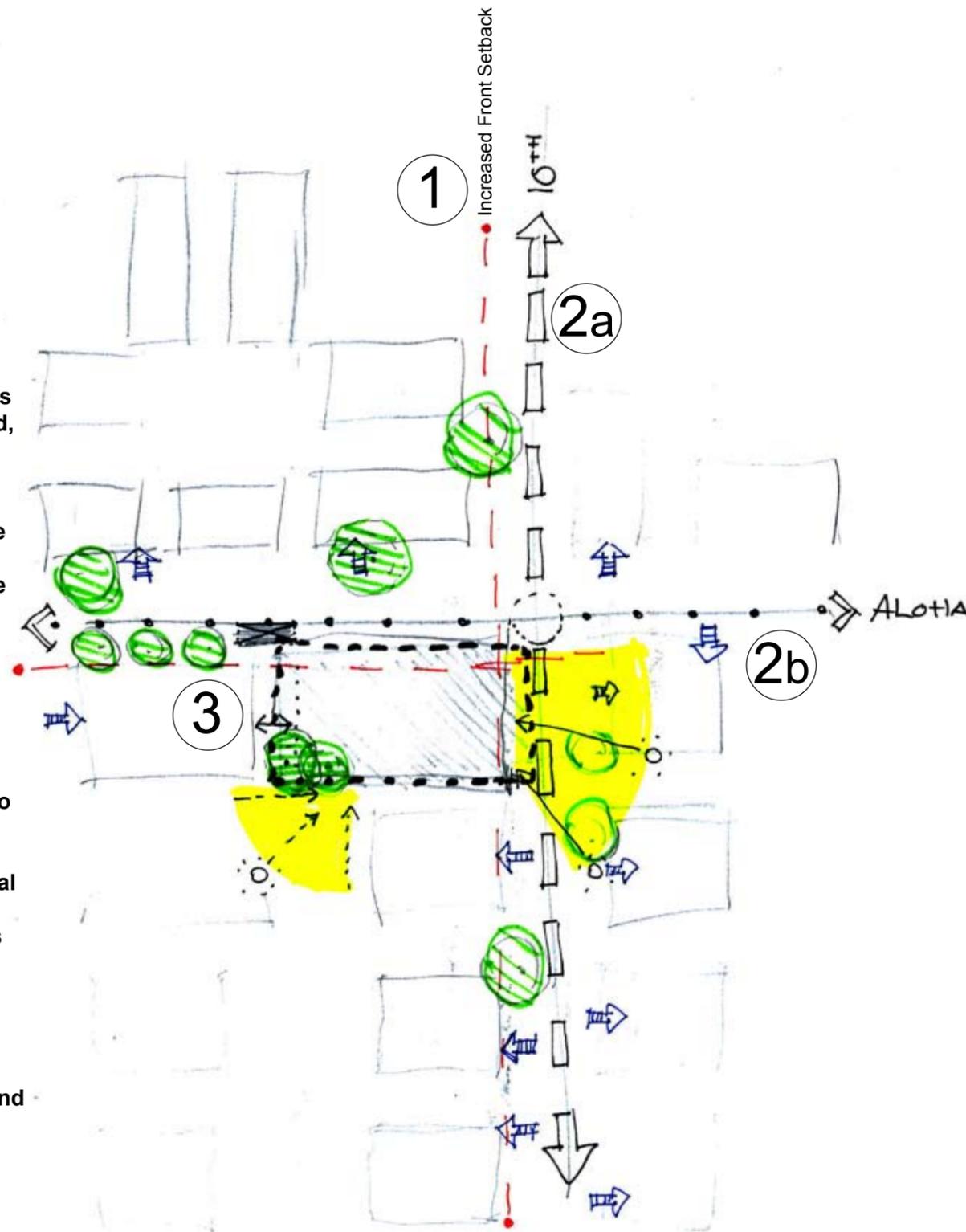
- a. Emphasizing positive neighborhood attributes

The project takes several sources of inspiration from the neighborhood:

4. The simple form and ornamentation of the brick building to the west lends a classic but still modern nature to the project. This new development will respond to that simplicity of form and modern detailing.

5. Most projects along 10th Avenue as well as Aloha Street feature raised residential entries that are also recessed into the structure. This entry sequence helps foster a sense of ceremony and arrival for the residents and will be incorporated into this project as well.

6. Landscaping and outdoor space is prevalent along 10th Avenue and the form of private and public yards. It is important for this project to provide a variety of both communal and personal outdoor space so that people who live here have a connection with their neighbors as well as a direct connection with the elements and the activity of the city.



4. Neighbor to the west



5. Raised / Recessed entry



6. Landscaping

Section 4 -Design Guidelines Priorities

PUBLIC LIFE

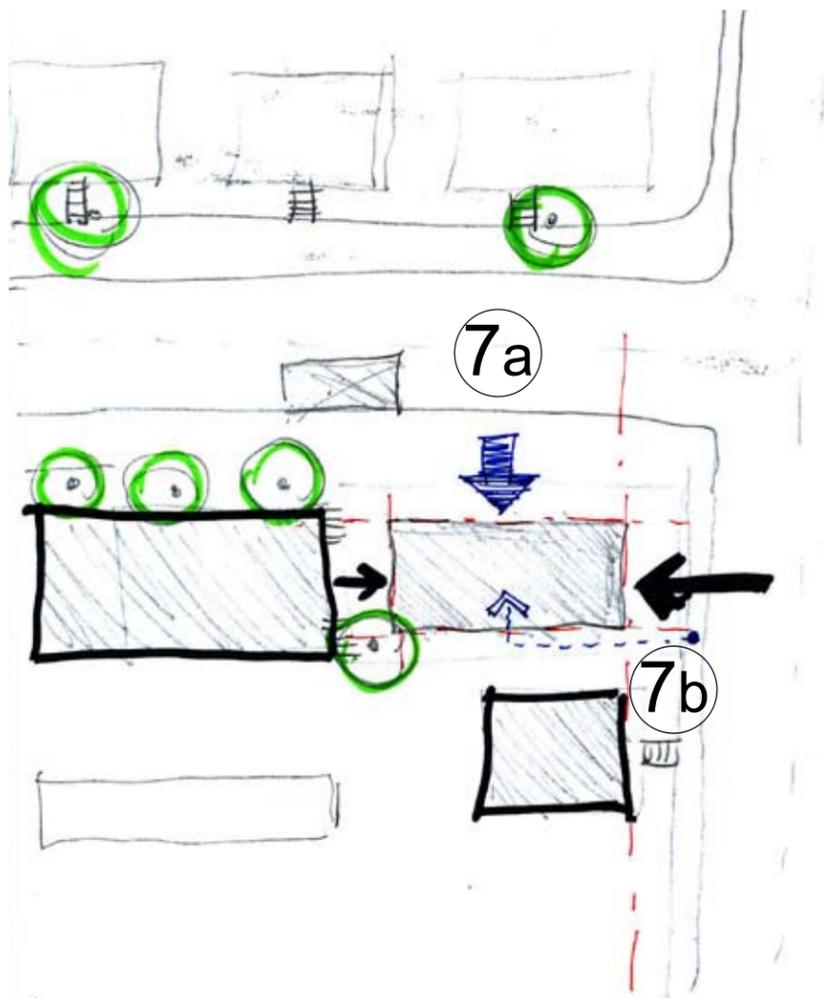
PL3 - STREET LEVEL INTERACTION

c. residential edges

7. Along 10th Avenue, most projects enter off the street, as there is no rear alley to use for access. As a congested and active thoroughfare it is vibrant but not always a pleasant atmosphere to enter / exit from

Aloha is much quieter and more residential and features the main pedestrian entrances to the Aloha Terrace Apartments to the north as well as the main entrance to the apartment building to the northeast as well.

The project's entrances will be located along Aloha Street where the activity is more residential and less congested and noisy than on 10th Ave E which will lend a more welcoming entrance for both residents and guests.



DESIGN CONCEPT

DC2 - ARCHITECTURAL CONCEPT

- a. massing
- b. architectural and facade composition
- c. scale and texture

The massing is composed in a way that respects the increased front setback of the adjacent properties along 10th Avenue, while also adequate relief from the project's neighbors to the west and south. The scale of the building will respond to the scale of the neighbor to the west, while also providing a new interpretation of its simple, unornamented form. It is important that scale of the facade is broken down to the scale of the individual and provides a variety of openings and transparency.

DC3 - OPEN SPACE CONCEPT

- a. building-open space relationship

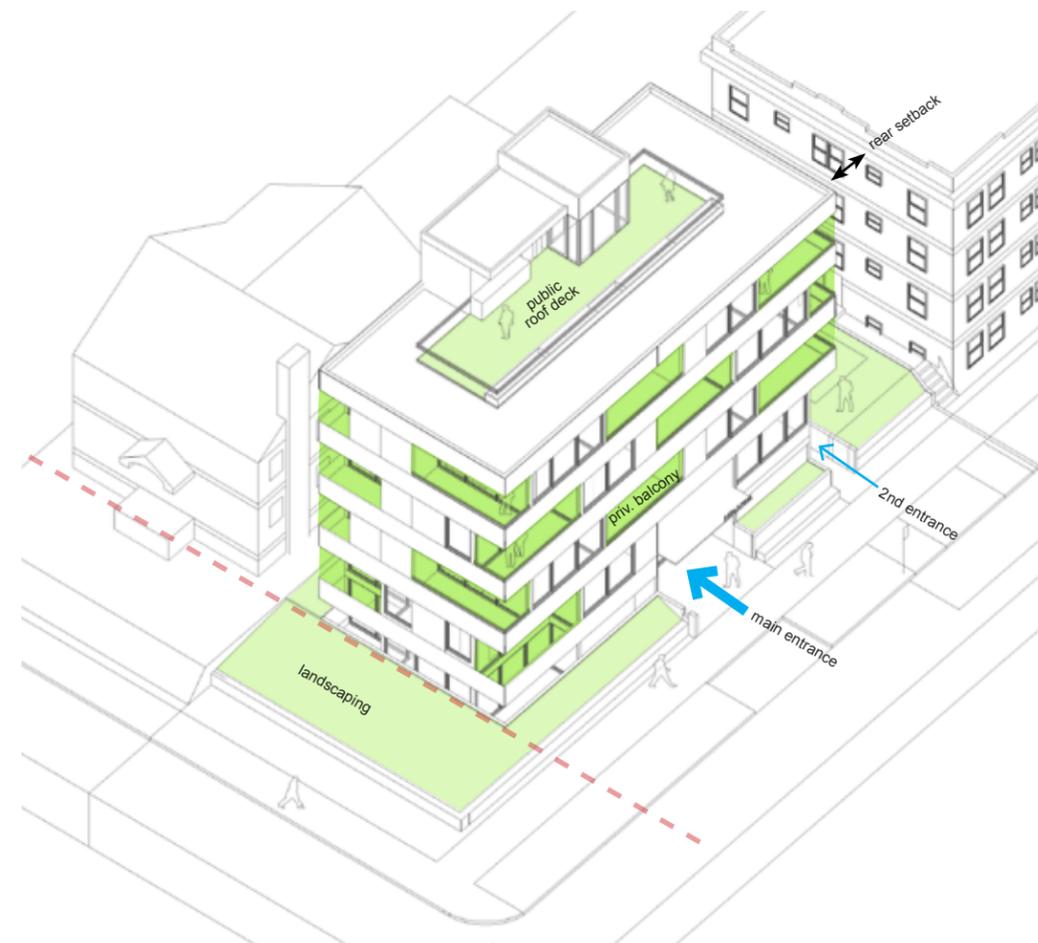
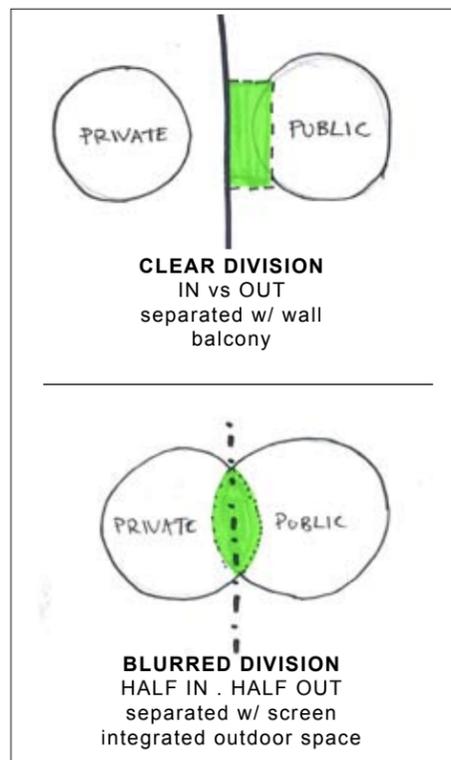
Ample landscaping space will be provided at the front of the site that responds to traditional landscaping along 10th Avenue. The rear yard will maintain the existing maple tree and provide private terraced outdoor space for the tenants. A main design feature will also be the incorporation of private outdoor space that is enclosed within the volume of the building and integrated into the experience of the units and not an additive element.

DC4 - EXTERIOR ELEMENTS AND MATERIALS

- a. exterior elements and finishes

The surrounding buildings feature a variety of durable and lasting materials. It is important for this project to feature high quality materials to better fit into this context. Wood will be the predominant material of this project and will be used in a variety of ways to both clad and screen the massing of this project.

PARTI DIAGRAM



CS2: Urban Pattern And Form
Strengthen The Most Desirable Forms, Characteristics, And Patterns Of The Streets, Block Faces, And Open Spaces In The Surrounding Area.

A. LOCATION IN THE CITY AND NEIGHBORHOOD

1. Sense of Place:

An important feature in many adjacent apartment buildings is the building's entry. This project will take inspiration from this element and provide a formal yet intriguing entry to the building.

2. Architectural Presence:

Due to the prominent location of this site, it is important for this project to have a strong presence to respond to the activity of this vibrant urban corner. The building facades that face Aloha and 10th will feature articulated wood facades with screened outdoor balconies above and ample landscaping below.

B. ADJACENT SITES, STREETS, AND OPEN SPACES

1. Site Characteristics:

There is a strong front setback along 10th Ave E established by the projects to the south. This new building will respect that increased front setback to more closely align its context.

2. Connection to the Street:

Terraced landscaping is a predominant feature of the properties along 10th and the proposed landscaping will take inspiration from its context with a low gabion wall at the sidewalk with bermed planting up to the building.

3. Character of Open Space: Contribute to the character and proportion of surrounding open spaces.

Open space will be provided along 10th in the form of landscaping that will reflect the context along the block. At the rear of the site, the project will create an outdoor gathering space for the building with both landscape and hardscape opportunities.

C. RELATIONSHIP TO THE BLOCK

1. Corner Sites:

This project is located at the corner of 10th and Aloha, which is a very active vehicular and pedestrian corridor. The project will provide relief from the corner at the ground level, with an increased front setback. Above, the project will feature dynamic north (Aloha) and east (10th) facades that will incorporate natural materials and will feature ample balconies that will provide both an interesting facade and an "eyes on the street" approach to encourage private & public interaction.

D. HEIGHT, BULK, AND SCALE

2. Existing Site Features:

Increased front setback, landscaping along 10th and a rear public yard are all features this project will incorporate to tie it into the existing site features of the area.

CAPITOL HILL SUPPLEMENTAL GUIDANCE

CS2: Urban Pattern And Form

Strengthen The Most Desirable Forms, Characteristics, And Patterns Of The Streets, Block Faces, And Open Spaces In The Surrounding Area.

I. Streetscape Compatibility

Neighborhood Priority:

i. Retain or increase the width of sidewalks.

ii. Provide street trees with tree grates or in planter strips, using appropriate species to provide summer shade, winter light, and year-round visual interest.

II. Corner Lots

The building will have landscaping at the sidewalk edge along the corner and will have recessed exterior balconies at the above stories to encourage "eyes on the street" and create a dynamic corner condition.

III. Height, Bulk, and Scale Compatibility

The new building will respect the front setback of its neighbors to the south and will feature wood cladding, which is a durable and regional material that ties in with the tactile elements of wood cladding and brick masonry of the adjacent properties

CS3: Architectural Context And Character

Contribute To The Architectural Character Of The Neighborhood.

A. EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES

2. Contemporary Design:

The proposed design will take inspiration from existing architectural elements (entries and use of materials) but will utilize them in a modern way that is reflective of the current needs and atmosphere of seattle.

3. Established Neighborhoods: In existing neighborhoods with a well defined architectural character, site and design new structures to complement or be compatible with the architectural style and siting patterns of neighborhood buildings.

CAPITOL HILL SUPPLEMENTAL GUIDANCE

CS3: Architectural Context And Character

Contribute To The Architectural Character Of The Neighborhood.

I. Architectural Concept and Consistency

Neighborhood Priority: Preserve and augment the neighborhood's architectural qualities, historic character and pedestrian scale. There are many elements in the Capitol Hill neighborhood that lend to its unique and thriving character, especially its active street life. There are a variety of ways—architectural concept, human scale and high-quality materials—that can honor this architectural context.

Building design elements, details and massing should create a well proportioned and unified building form and exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its facade walls.

i. Incorporate signage that is consistent with the existing or intended character of the building and the neighborhood.

ii. Solid canopies or fabric awnings over the sidewalk are preferred.

PL1: Connectivity

Complement And Contribute To The Network Of Open Spaces Around The Site And The Connections Among Them.

A. NETWORK OF OPEN SPACES

2. Adding to Public Life: Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life. Consider features such as widened sidewalks, recessed entries, curb bulbs, courtyards, plazas, or through-block connections, along with place-making elements such as trees, landscape, art, or other amenities, in addition to the pedestrian amenities listed in PL1.B3.

B. WALKWAYS AND CONNECTIONS

3. Pedestrian Amenities: Opportunities for creating lively, pedestrian oriented open spaces to enliven the area and attract interest and interaction with the site and building should be considered. Visible access to the building's entry should be provided. Examples of pedestrian amenities include seating, other street furniture, lighting, year-round landscaping, seasonal plantings, pedestrian scale signage, site furniture, art work, awnings, large storefront windows, and engaging retail displays and/or kiosks.

CAPITOL HILL SUPPLEMENTAL GUIDANCE

PL1: Connectivity

Complement And Contribute To The Network Of Open Spaces Around The Site And The Connections Among Them.

I. Human Scale

The project will utilize horizontal stained wood cladding to provide a tactile natural element in the building facade. At the street grade, gabion walls will create a low definition to the landscaping at the street grade with lush landscaping that surrounds the building.

i. Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the building's architecture.

II. Pedestrian Open Spaces and Entrances

Neighborhood Priority: Maintain and enhance pedestrian scale, activity and comfort. The pedestrian environment (sidewalks, pathways, crossings, entries and the like) should be safe and accessible. The pedestrian environment should connect people to places they want to go, and should provide good spaces to be used for many things. New development should reflect these principles by enhancing commercial district streetscapes that make street-level pedestrian activity a priority.

Convenient and attractive access to the building's entry should be provided to ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

ii. Create open spaces at street level that link to the open space of the sidewalk.

PL2: Walkability

Create A Safe And Comfortable Walking Environment That Is Easy To Navigate And Well-Connected To Existing Pedestrian Walkways And Features.

B. SAFETY AND SECURITY

1. Eyes on the Street: Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.

PL3: Street-Level Interaction

Encourage Human Interaction And Activity At The Street-Level With Clear Connections To Building Entries And Edges.

A. ENTRIES

1. Design Objectives:

c. Common entries to multi-story residential buildings need to provide privacy and security for residents but also be welcoming and identifiable to visitors. Design features emphasizing the entry as a semi-private space are recommended and may be accomplished through signage, low walls and/or landscaping, a recessed entry area, and other detailing that signals a break from the public sidewalk.

d. Individual entries to ground-related housing should be scaled and detailed appropriately to provide for a more intimate type of entry. The design should contribute to a sense of identity, opportunity for personalization, offer privacy, and emphasize personal safety and security for building occupants.

PL4: Active Transportation

Incorporate Design Features That Facilitate Active Forms Of Transportation Such As Walking, Bicycling, And Use Of Transit.

B. PLANNING AHEAD FOR BICYCLISTS

1. Early Planning: Consider existing and future bicycle traffic to and through the site early in the process so that access and connections are integrated into the project along with other modes of travel.

Design Guidelines Summary

2. Bike Facilities: Facilities such as bike racks and storage, bike share stations, shower facilities and lockers for bicyclists should be located to maximize convenience, security, and safety.

C. PLANNING AHEAD FOR TRANSIT

2. On-site Transit Stops:

There is a bus stop and layover spot at the northwestern end of the site. The main building entrance will be adjacent but set back from this stop. There will be landscaping elements and a screened trash enclosure that will help foster a pleasant environment for the public as they wait for the bus.

3. Transit Connections:

There are bus stops along 10th Ave that carry riders north to the U-District and South downtown via Capitol Hill.

CAPITOL HILL SUPPLEMENTAL GUIDANCE

DC1: Project Uses and Activities

Optimize the arrangement of uses and activities on site.

II. Screening of Dumpsters, Utilities, and Service Areas

New developments should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

i. Consolidate and screen dumpsters to preserve and enhance the pedestrian environment.

DC2: Architectural Concept

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

A. MASSING

1. Site Characteristics and Uses:

The building massing has been designed to respect the rhythm of 10th Ave E and to provide a compact and efficient form that incorporates a mixture of public and private outdoor space.

2. Reducing Perceived Mass:

The perceived mass has been broken down with a generous double height entry along the northern facade as well as by the ‘carving out’ of generous 5’-0” deep recessed exterior balconies that will provide depth and variation to the facades on all elevations.

B. ARCHITECTURAL AND FAÇADE COMPOSITION

1. Façade Composition:

The facades of all elevations have been composed in a rational yet playful way. Established on a 5’-0” grid, the facade pushes in and out, creating recessed exterior balconies to provide depth. The entire facade is then clad in wood cladding to unify its form and expression with a natural and durable material.

2. Blank Walls:

Blank walls have been avoided on most walls and where there is an expanse of opaque wall (south facade) where the elevator and stair are located, these facades are still treated with the same material treatments as the rest of the building to provide a human scale to the elevation. There will also be a feature “slot” window in this facade, which will provide a unique character and distinct relief in the massing of the facade but also a fun moment within the interior experience of the building.

C. SECONDARY ARCHITECTURAL FEATURES

1. Visual Depth and Interest: Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the façade design. Add detailing at the street level in order to create interest for the pedestrian and encourage active street life and

window shopping (in retail areas). Detailing may include features such as distinctive door and window hardware, projecting window sills, ornamental tile or metal, and other high-quality surface materials and finishes.

2. Dual Purpose Elements: Consider architectural features that can be dual purpose—adding depth, texture, and scale as well as serving other project functions. Examples include shading devices and windows that add rhythm and depth as well as contribute toward energy efficiency and/or savings or canopies that provide street-level scale and detail while also offering weather protection. Where these elements are prominent design features, the quality of the materials is critical.

3. Fit With Neighboring Buildings: Use design elements to achieve a successful fit between a building and its neighbors, such as:

a. considering aspects of neighboring buildings through architectural style, roof line, datum line detailing, fenestration, color or materials,

b. using trees and landscaping to enhance the building design and fit with the surrounding context, and/or

c. creating a well-proportioned base, middle and top to the building in locations where this might be appropriate. Consider how surrounding buildings have addressed base, middle, and top, and whether those solutions—or similar ones—might be a good fit for the project and its context.

D. SCALE AND TEXTURE

1. Human Scale: Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept. Pay special attention to the first three floors of the building in order to maximize opportunities to engage the pedestrian and enable an active and vibrant street front.

2. Texture: Design the character of the building, as expressed in the form, scale, and materials, to strive for a fine-grained scale, or “texture,” particularly at the street level and other areas where pedestrians predominate.

E. FORM AND FUNCTION

1. Legibility and Flexibility: Strive for a balance between building legibility and flexibility. Design buildings such that their primary functions and uses can be readily determined from the exterior, making the building easy to access and understand. At the same time, design flexibility into the building so that it may remain useful over time even as specific programmatic needs evolve.

DC3: Open Space Concept

Integrate open space design with the design of the building so that each complements the other.

4. Multifamily Open Space: Design common and private open spaces in multifamily projects for use by all residents to encourage physical activity and social interaction. Some examples include areas for gardening, children’s play (covered and uncovered), barbecues, resident meetings, and crafts or hobbies.

C. DESIGN

2. Amenities and Features: Create attractive outdoor spaces well-suited to the uses envisioned for the project. Use a combination of hardscape and plantings to shape these spaces and to screen less attractive areas as needed. Use a variety of features, such as planters, green roofs and decks, groves of trees, and vertical green trellises along with more traditional foundation plantings, street trees, and seasonal displays.

Streamlined Design Review

CAPITOL HILL SUPPLEMENTAL GUIDANCE

DC3: Open Space Concept

Integrate open space design with the design of the building so that each complements the other.

I. Residential Open Space

i. Incorporate quasi-public open space with new residential development or redevelopment, with special focus on corner landscape treatments and courtyard entries.
iii. Set back development where appropriate to preserve a view corridor.

II. Landscape Design to Address Special Site Conditions

Neighborhood Priority: Maintain and enhance existing landscape patterns in commercial and residential areas.

i. Maintain or enhance the character and aesthetic qualities of neighborhood development to provide for consistent streetscape character along a corridor.
iii. Incorporate street trees in both commercial and residential environments in addition to trees onsite.

DC4: Exterior Elements and Finishes

Use appropriate and high quality elements and finishes for the building and its open spaces.

A. BUILDING MATERIALS

1. Exterior Finish Materials: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

2. Climate Appropriateness: Select durable and attractive materials that will age well in Seattle’s climate, taking special care to detail corners, edges, and transitions. Highly visible features, such as balconies, grilles and railings should be especially attractive, well crafted and easy to maintain. Pay particular attention to environments that create harsh conditions that may require special materials and details, such as marine areas or open or exposed sites.

LIGHTING

1. Functions: Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as entries, signs, canopies, plantings, and art.

D. TREES, LANDSCAPE AND HARDSCAPE MATERIALS

1. Choice of Plant Materials: Reinforce the overall architectural and open space design concepts through the selection of landscape materials. Choose plants that will emphasize or accent the design, create enduring greenspaces, and be appropriate to particular locations taking into account solar access, soil conditions, and adjacent patterns of use. Select landscaping that will thrive under urban conditions.

CAPITOL HILL SUPPLEMENTAL GUIDANCE

DC4: Exterior Elements and Finishes

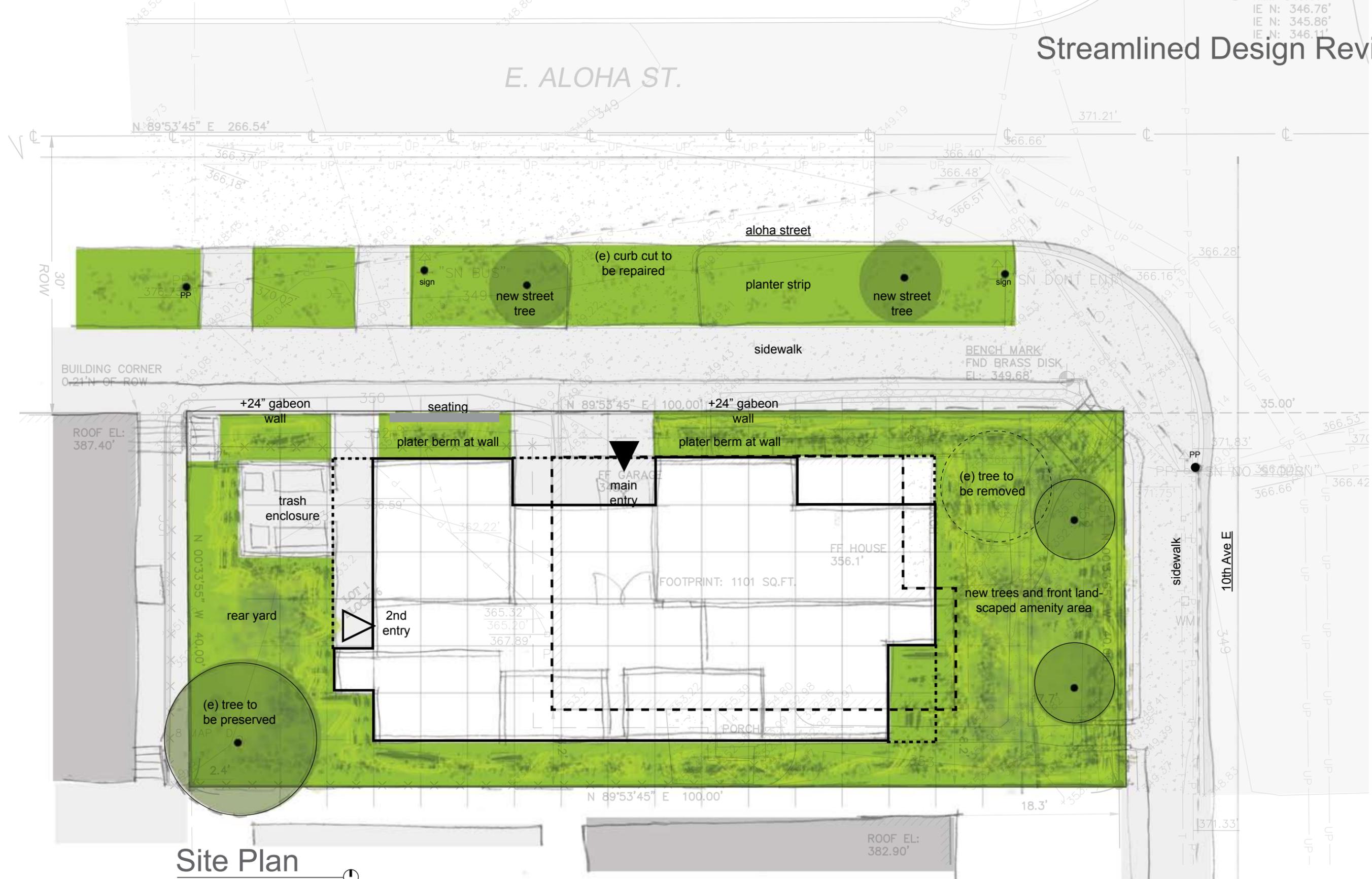
Use appropriate and high quality elements and finishes for the building and its open spaces.

II. Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern or lend themselves to a high quality of detailing are encouraged.

Streamlined Design Review

E. ALOHA ST.



Site Plan

scale: 1"=10'



roof deck
public roof deck
allows for views
towards olympics

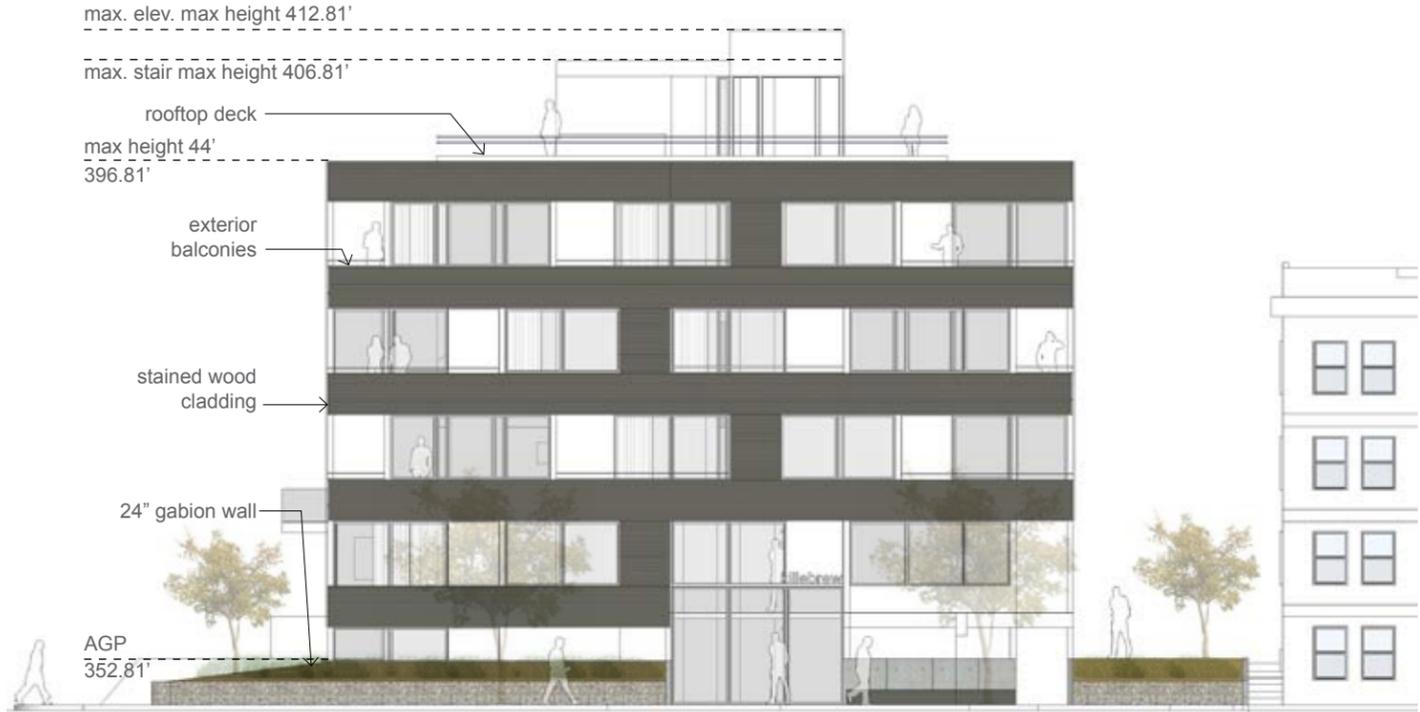
exterior balconies
private outdoor
space for each unit

increased front setback
alignment with context
generous front yard

main entry
ceremonious passage
double height
located on aloha st

AERIAL VIEW

Streamlined Design Review



NORTH EXTERIOR ELEVATION
scale: 1/16"=1'-0"



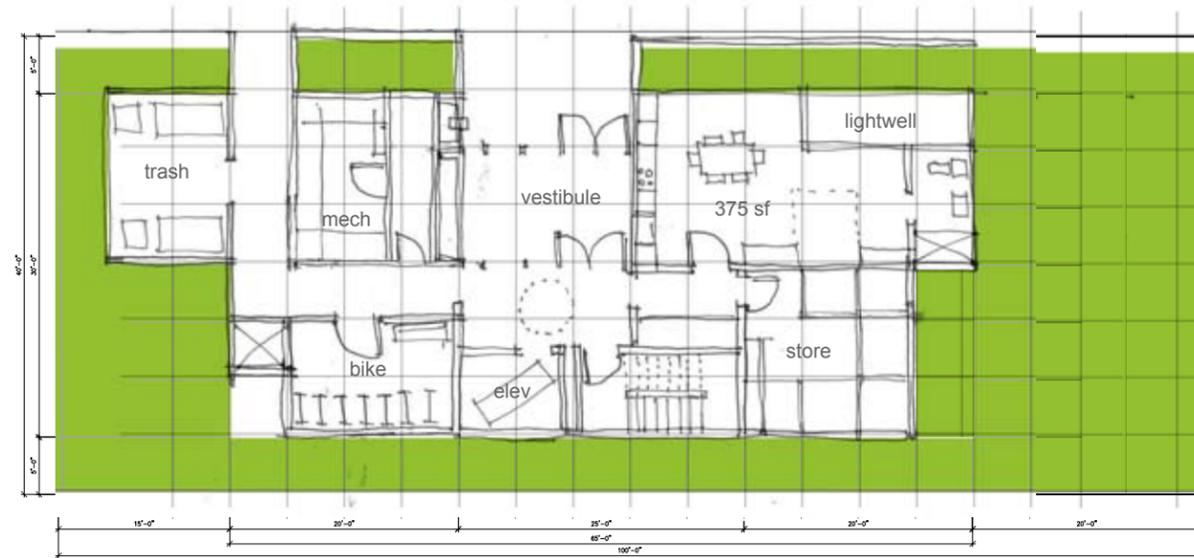
EAST EXTERIOR ELEVATION
scale: 1/16"=1'-0"



SOUTH EXTERIOR ELEVATION
scale: 1/16"=1'-0"



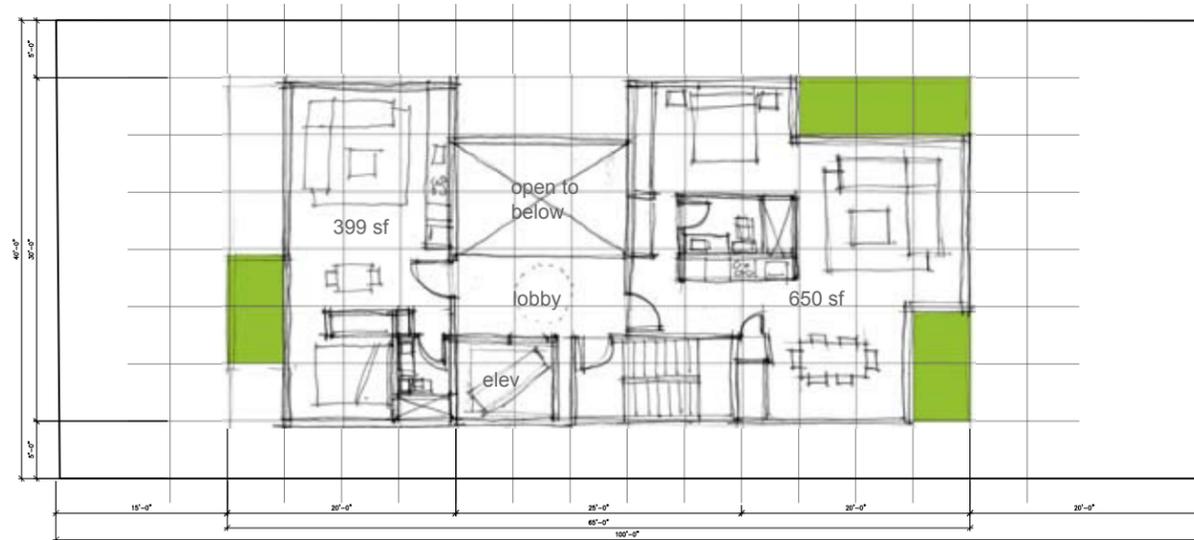
WEST EXTERIOR ELEVATION
scale: 1/16"=1'-0"



LEVEL 1 PLAN
scale: 1/16"=1'-0"



LEVEL 3-4 PLAN
scale: 1/16"=1'-0"

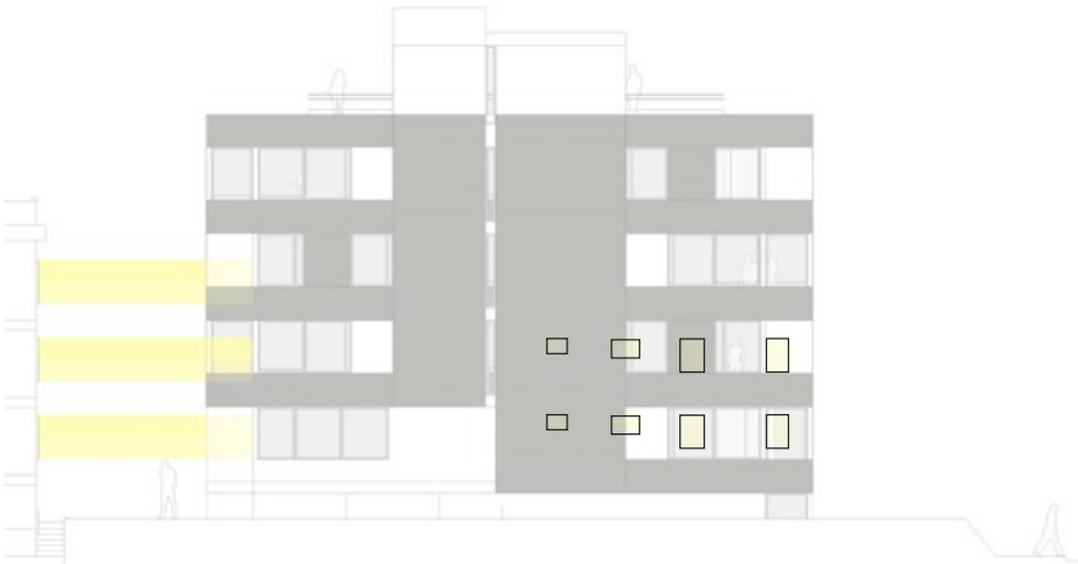


LEVEL 2 FLOOR PLAN
scale: 1/16"=1'-0"

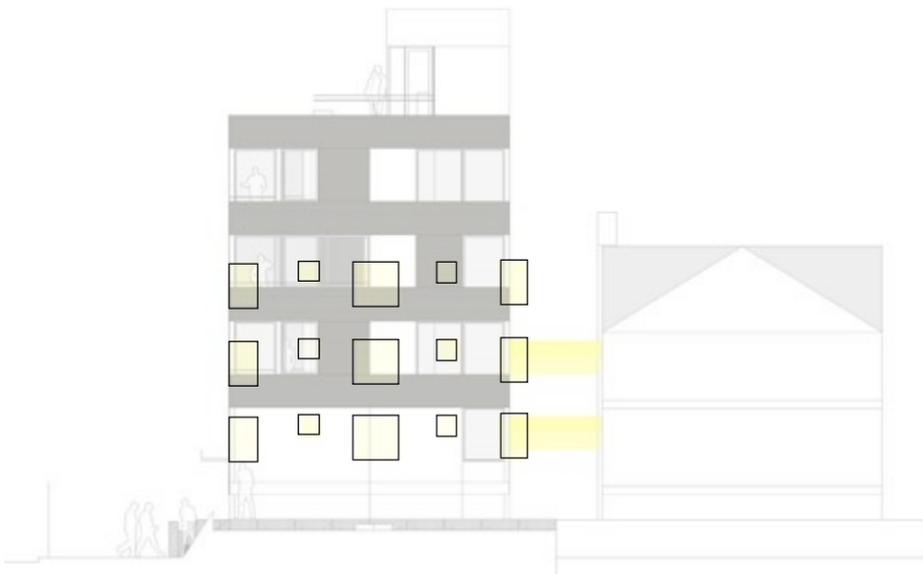


LEVEL 5 PLAN
scale: 1/16"=1'-0"

Streamlined Design Review



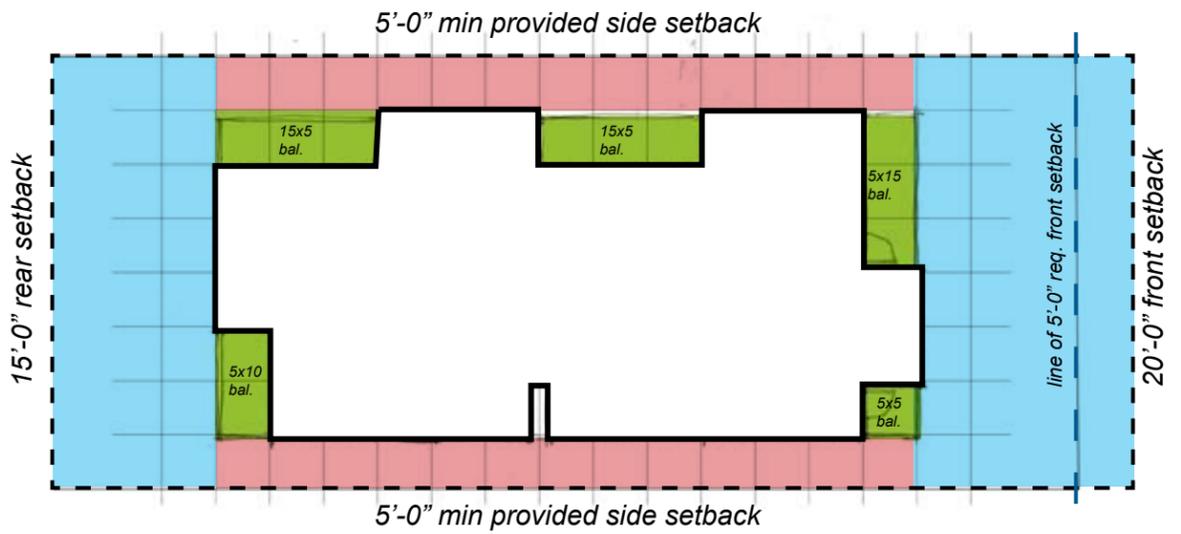
Privacy Study - South Elevation
 There are (8) windows that face into the property from the neighbor to the south. There will be minimal intrusions into the privacy of this neighboring structure to the south as the existing windows primarily face blank wood walls and exterior balconies.



Privacy Study - West Elevation
 There are (15) total windows on the adjacent property to the west. Of these only 12 directly face this new building and an additional are small windows for bathrooms. The remaining windows primarily face blank wood walls or exterior balconies.

Departure Request
 per SMC 23.45.518. Table A - Apartments are required to have a 5'-0" minimum side setback & 7'-0" average across the entire length of the facade. The applicant is requesting a departure from this development standard.

Rationale:
 The project maintains a required rear set back of 15', which allows ample relief from the adjacent apartment building to the west and will result in the preservation of an existing Japanese maple tree. The project also provides a generous front setback to align with the adjacent properties along 10th Ave E. Code requires a 5'-0" minimum front setback, but the project currently provides a 20'-0" front setback (a 400% increase). Due to the large front and rear setbacks, the project has a very compact footprint but will require a departure to meet the side setback averaging requirement of 7'-0". The project does respect the 5'-0" side setback minimum and features open balconies at the ends of the north and south facades to help provide relief in the perceived depth of the facade.





STREET LEVEL PERSPECTIVE IN CONTEXT

Streamlined Design Review



Bellevue Ave Midrise (Left)
Remington Court (Top Right)
Ravine House (Bottom Right)



Previous Project Experience