



Noren Pinehurst

Design Review Meeting
11202 Roosevelt Way NE
DPD #3019728

nk

NICHOLSON KOVALCHICK ARCHITECTS

Index

Current Design:

Project Introduction	4-5
Floor Plans	6-9
Conceptual Diagrams	10-11
Elevations + Materials	12-15

Landscape Design:

Landscape Plan	16
Plantings + Materials	17

Response to Board:

Commercial Streetscape Experience	18-19
Massing Orientation Studies	20-21
Urban Alley Experience	22-23
Urban Alley Case Studies	24
Site Wayfinding	25
Woonerf + Neighboring Properties	26
Woonerf (SDOT Turnaround)	27
112th Parking Garage Facade	28
Site Lighting Plan	29

Appendices:

A: Site Information	30-31
B: Zoning Summary	32-33
C: EDG Design Guidelines Reference	34
D: Shadow Studies	35
E: Materials Board + Recent Projects	36-37

Current Design

Project Rendering



Development Analysis

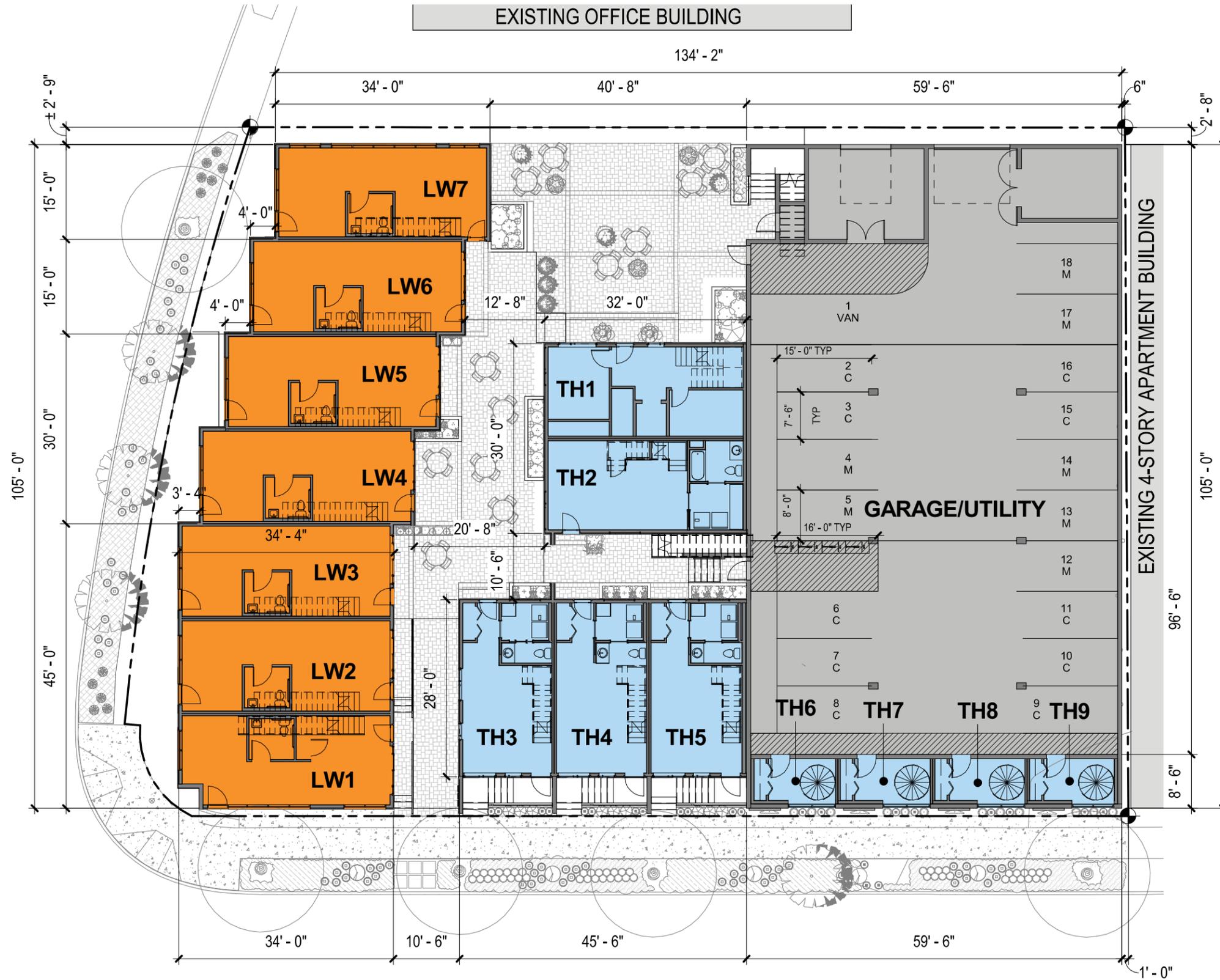
NEIGHBORING DEVELOPMENT

The project site is located at the northeast corner of the Northgate Urban Center, and directly abuts a 4-story apartment building site to the East, a QFC grocery store is across NE 112th Street to the South, a party supply store is across Roosevelt to the West, and an alley separates the site from a senior-living provider's office building and parking lot to the North. The NC zoning changes to single-family about halfway down 112th Street to the East, while to the west development is consistently NC commercial with shopping centers, apartment complexes, grocery stores, cafes and restaurants and all within walking distance of the site. There are also several churches and parks in the immediate vicinity. The site is along the arterial of Roosevelt Way and Pinehurst Way which makes it close to transportation services.

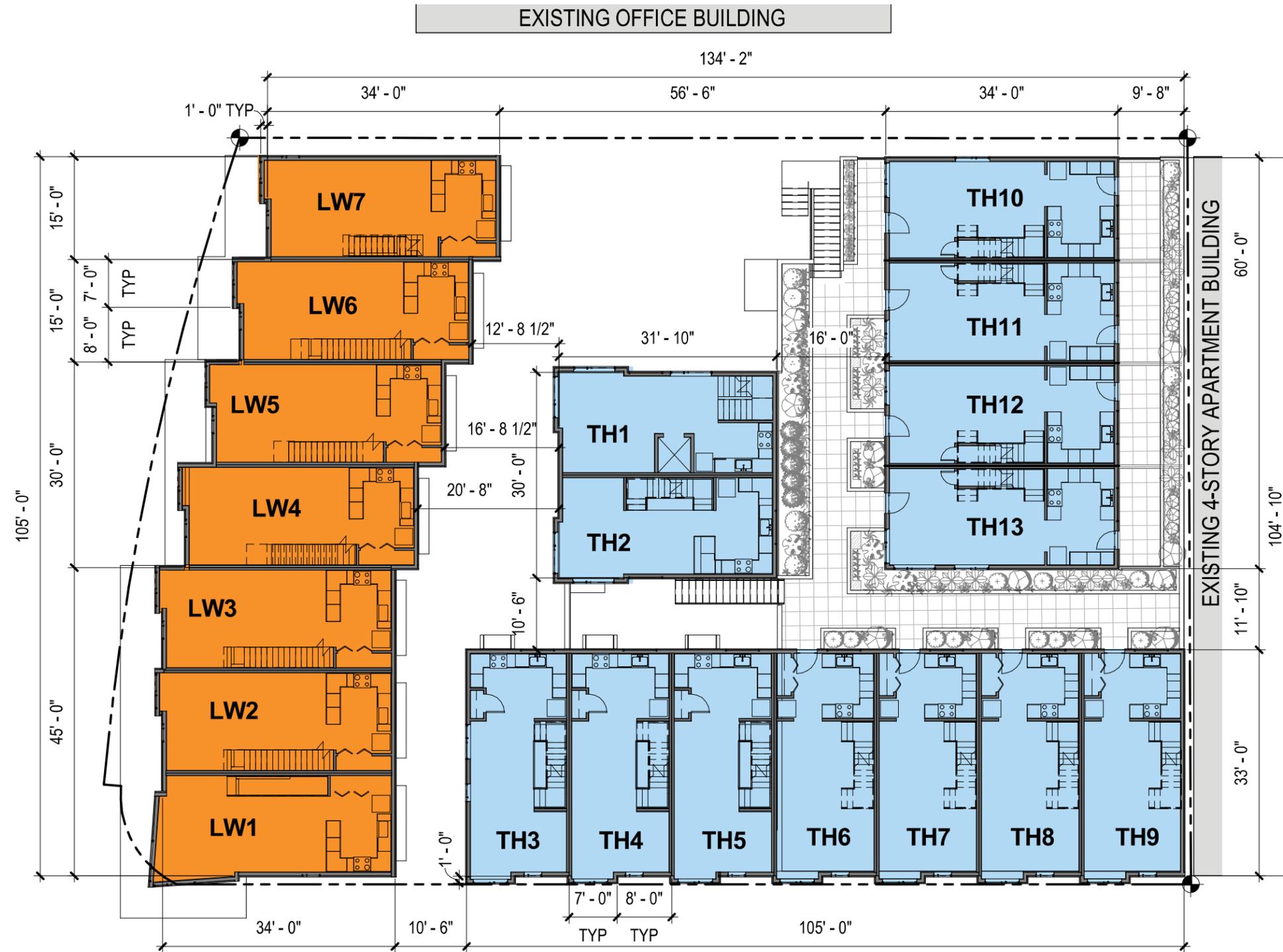
DEVELOPMENT OBJECTIVES

The proposed project consists of 20 units, including 7 Live/Work units along Roosevelt and a mix of 13 townhomes both at grade and on top of an at-grade parking garage podium. The development is near Metro transit stops, and positioned to take advantage of light rail service in the near future. To respond to existing transportation demands, parking for 18 vehicles is proposed within an enclosed garage. The site will transition from the commercial scale of the Northgate Urban Center to the adjacent, more residentially scaled, blocks through thoughtfully designed Live/Work units along NE Roosevelt Way, screening clustered townhouses and actively landscaped open spaces behind. These homes will present attractive, modulated, and durable facades that engage the neighbors and the streets.



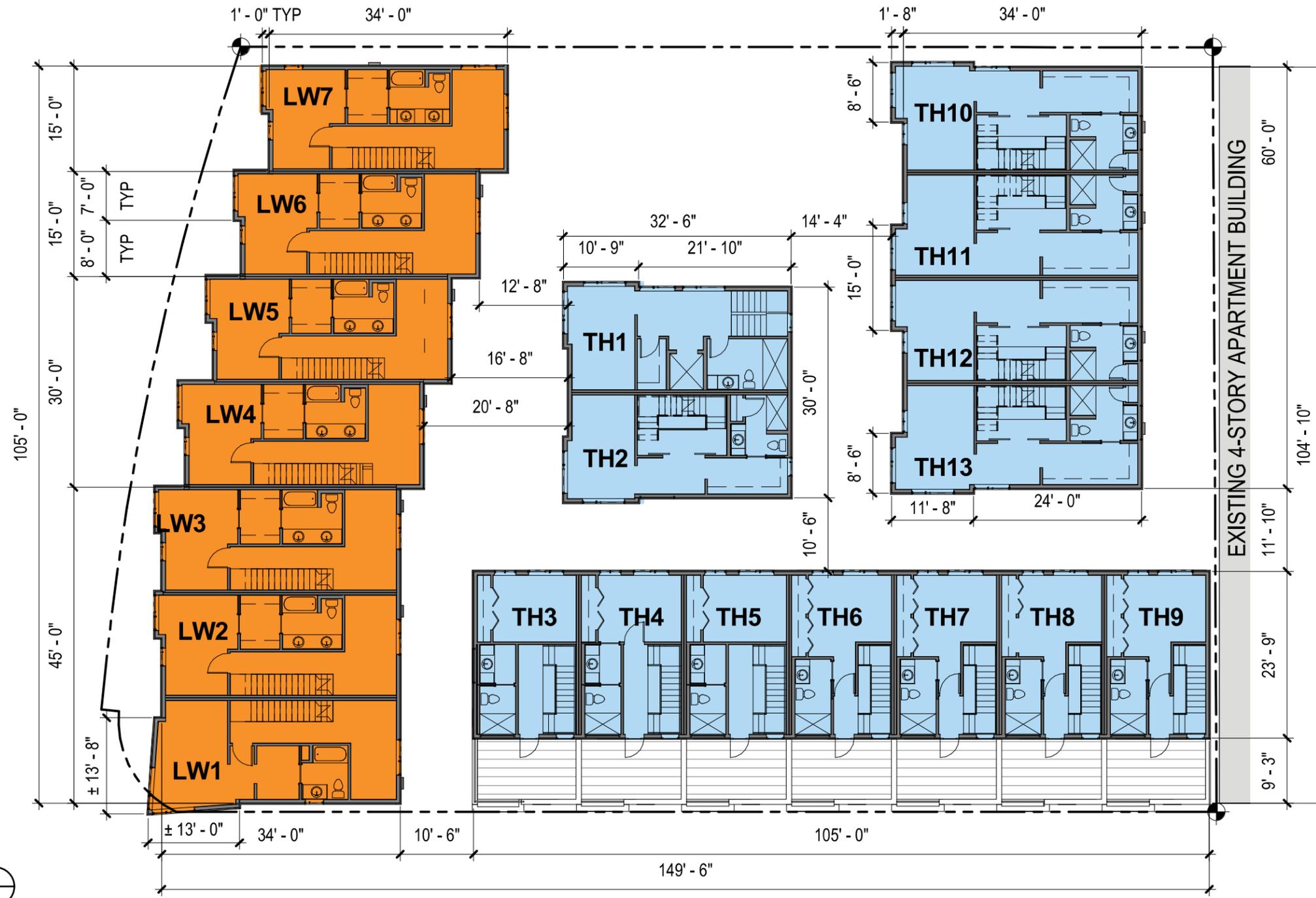


LEVEL 1 PLAN 



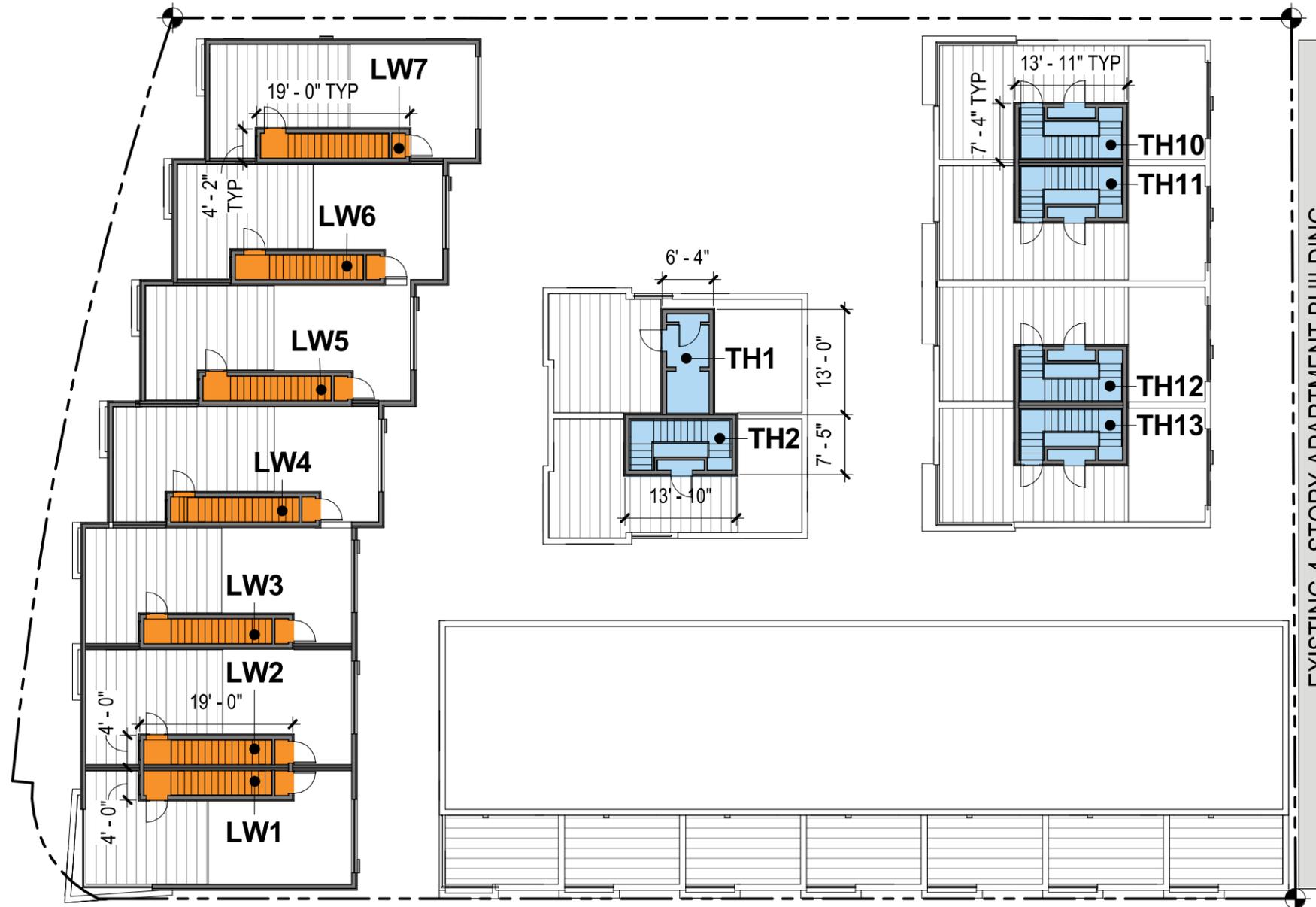
⊕ LEVEL 2 PLAN

EXISTING OFFICE BUILDING



LEVELS 3-4 PLAN 

EXISTING OFFICE BUILDING



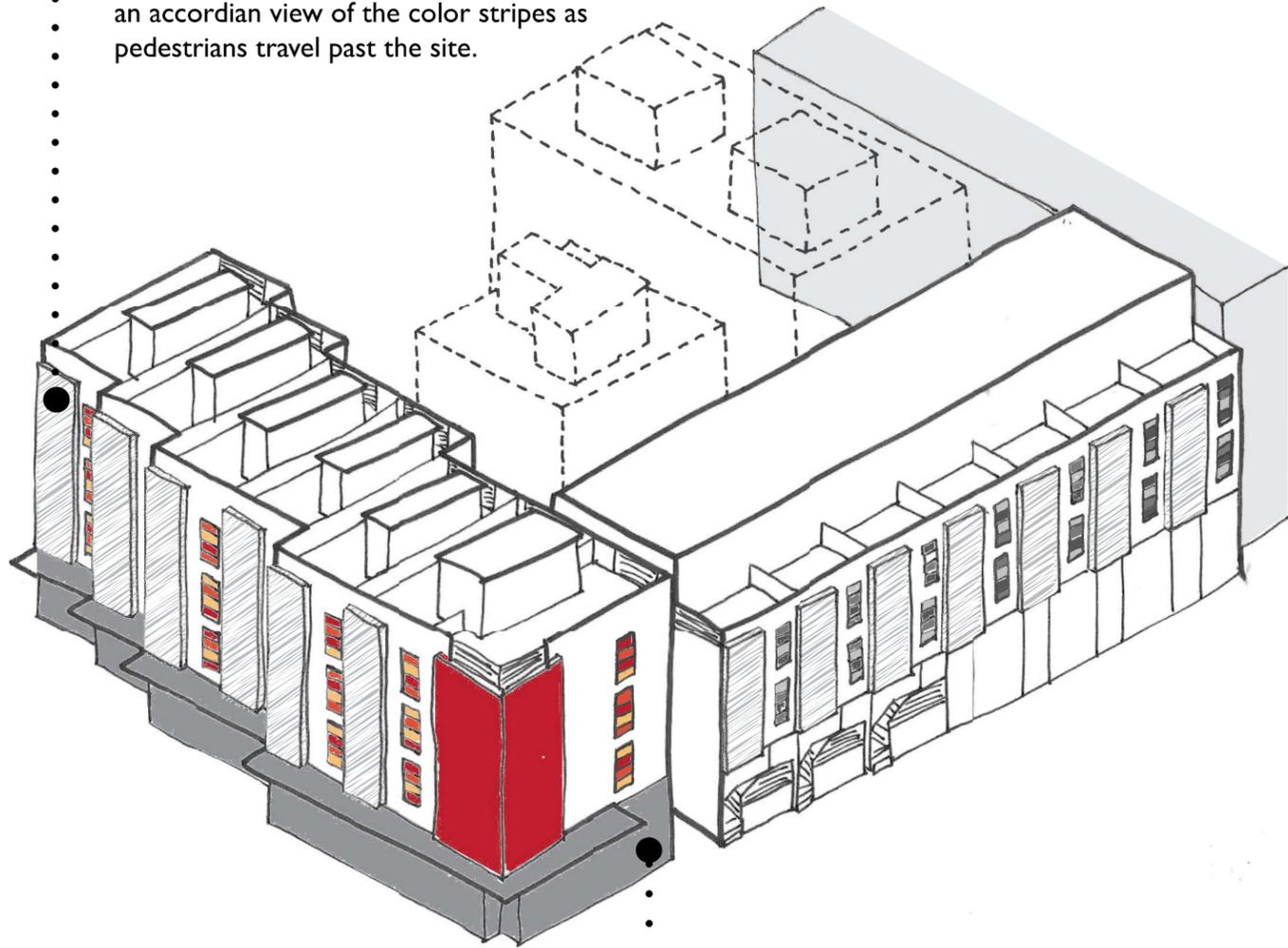
EXISTING 4-STORY APARTMENT BUILDING

⊕ ROOF PLAN

Overall Concept Diagram

••• **BAYS ALONG ROW'S:**

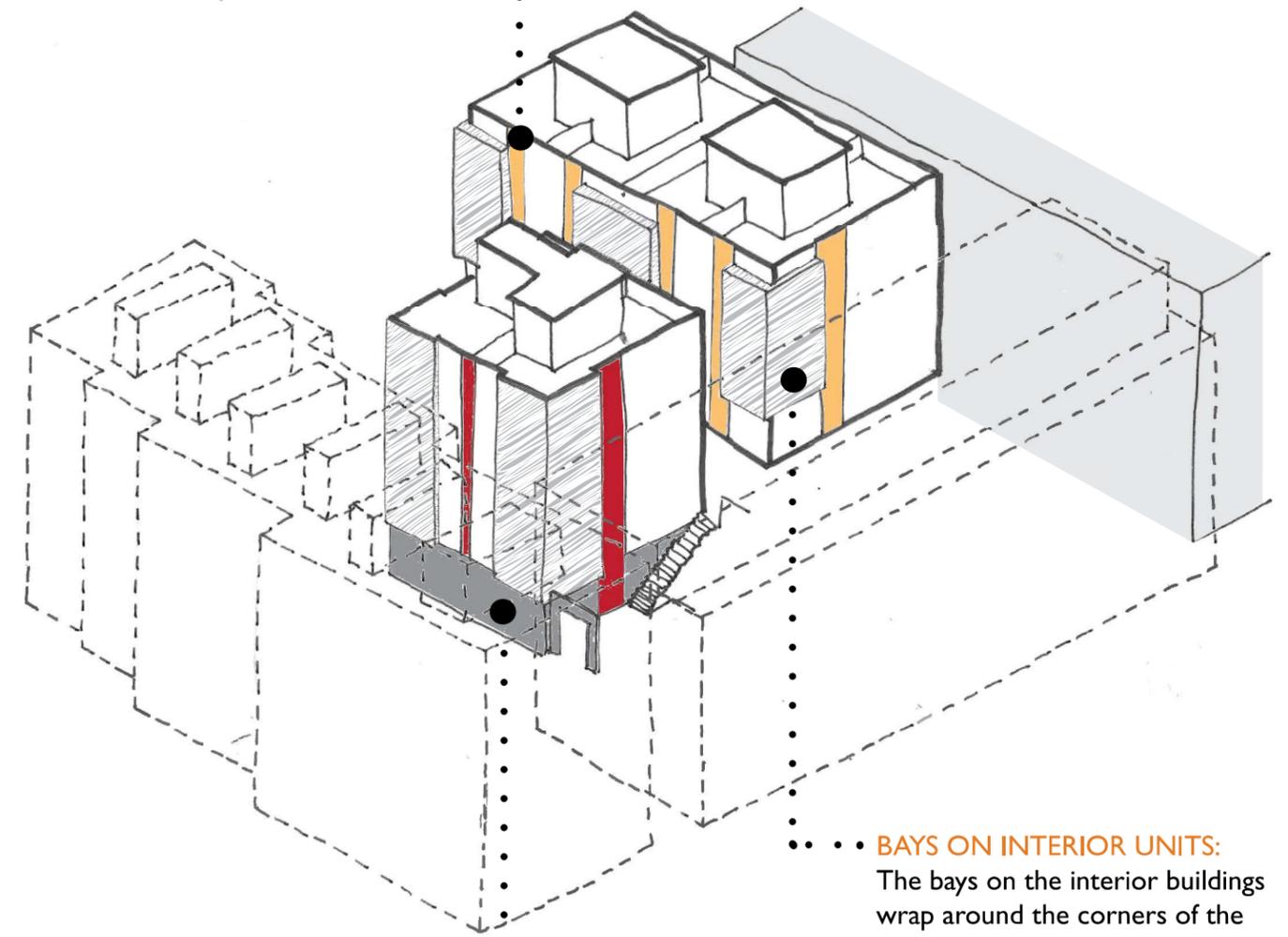
- The bays along the street facade buildings
- grow from the commercial canopies to
- the base of the roof parapet. These create
- an accordian view of the color stripes as
- pedestrians travel past the site.



••• **COMMERCIAL BRICK BASE:**

The brick base from the Livework building has been applied to the internal buildings at ground level to signify the continuation of the Urban Alley and Woonerf at a human-scale.

- **RESIDENTIAL COLOR SLICES:** Similar to the color slices on the streetscape buildings, the interior buildings have color slices that are carried down to the ground level or podium level at unit entries to highlight significance. These slices of color can also be a wayfinding tool when tenants have visitors. The same three accent colors are transitioned throughout the project for conceptual consistency.



••• **BAYS ON INTERIOR UNITS:**

The bays on the interior buildings wrap around the corners of the structures and have a color strip directly abutting the edge of each bay.

Project Corner Concept Diagram



CORNER ELEMENT:
The Board encouraged us to treat the corner as a different design element from the rest of the building concept. In order to relate the angled corner design to the surrounding buildings, the color reflected throughout the site come together to anchor the main approach to the building.

COMMERCIAL COLOR SLICES:
Similar to the color slices on the interior buildings, the commercial accents are carried down to the base of the building at the unit entries to highlight significance. We pictured this as being a translucent color film, applied to the storefront glass, allowing light to pass through.

TRANSITION TO SINGLE-FAMILY ZONE:
The color accents wrap around the side of the Livework building as a continued theme along NE 112th Street. To respect the transition from NC to SF zoning, the color palette along NE 112th Street has been modified to the opposite transition of gray slices on a field of color, as a distinct identifier between the livework buildings and the residential buildings.

Current Design

Elevations + Materials - Building 1



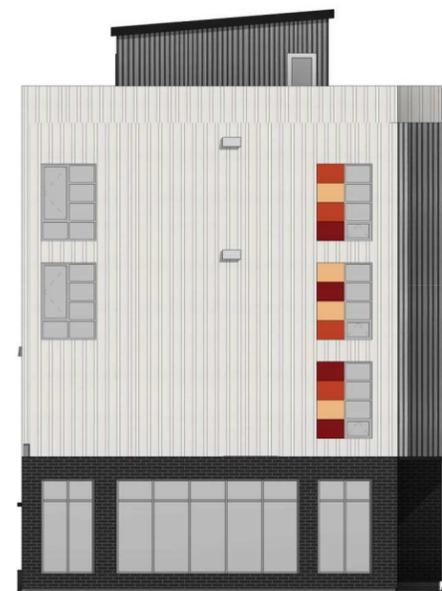
SOUTH ELEVATION



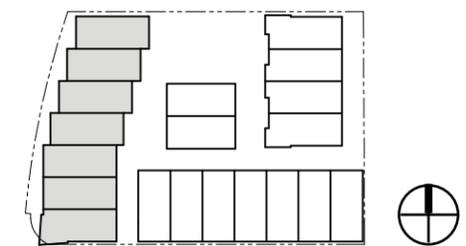
WEST ELEVATION



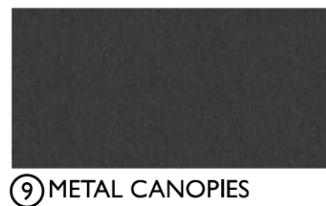
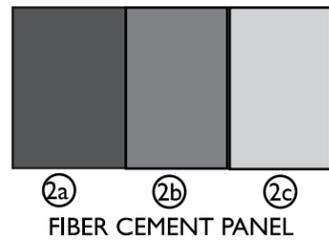
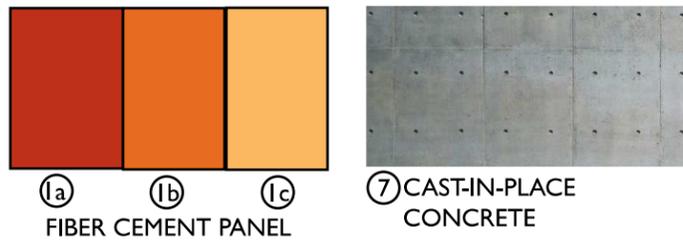
EAST ELEVATION



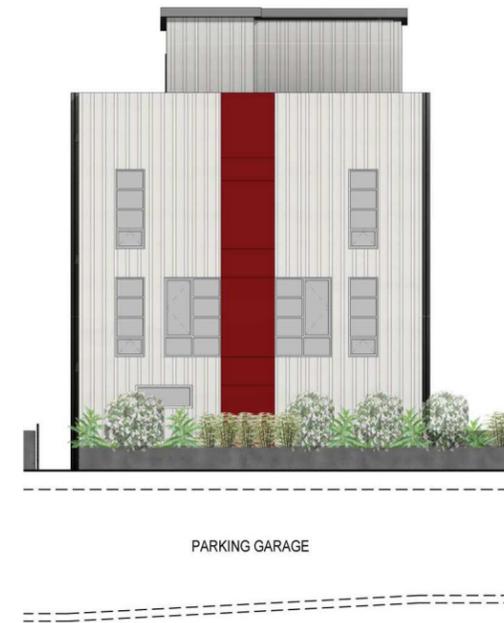
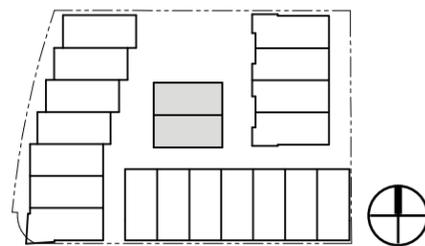
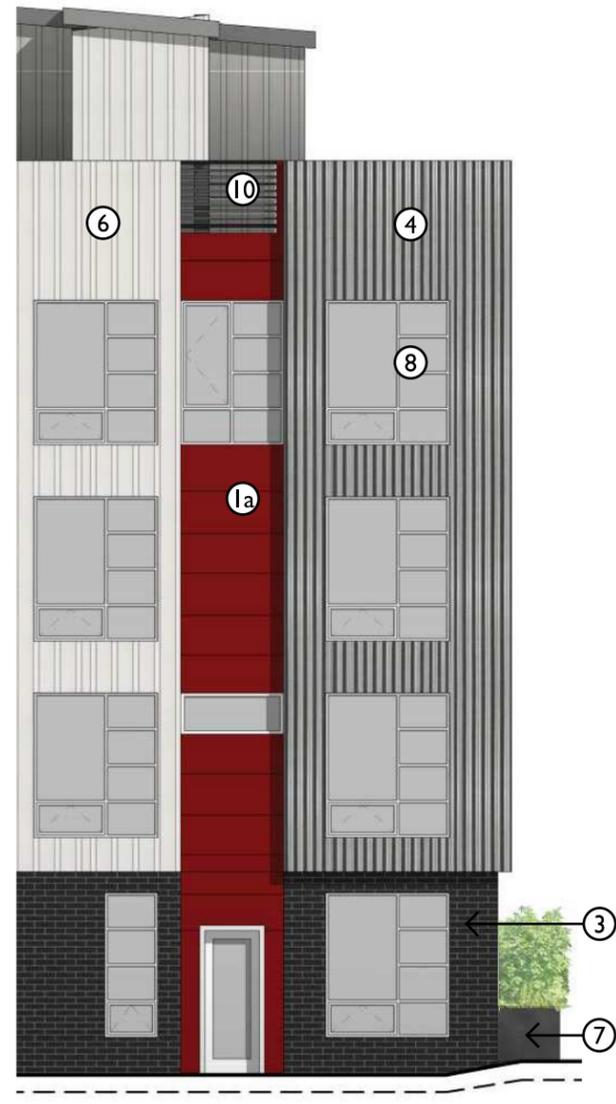
NORTH ELEVATION



Elevations + Materials - Building 2



MATERIAL ANALYSIS



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



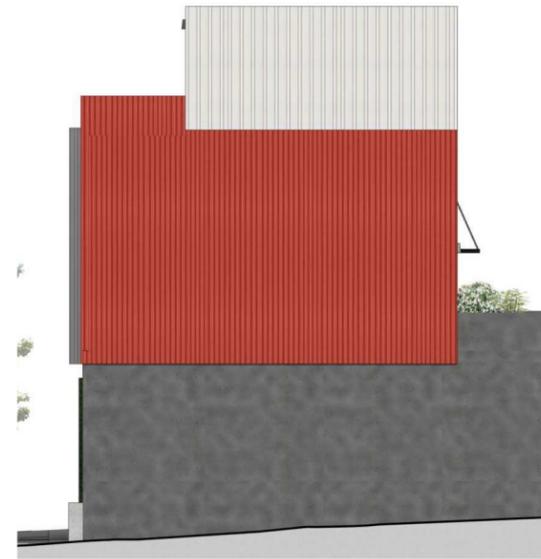
WEST ELEVATION

Current Design

Elevations + Materials - Building 4



NORTH ELEVATION



EAST ELEVATION

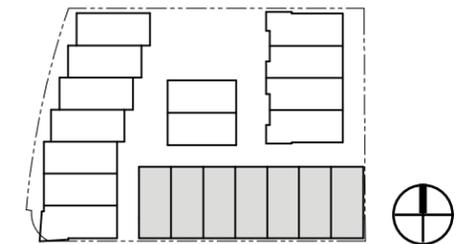
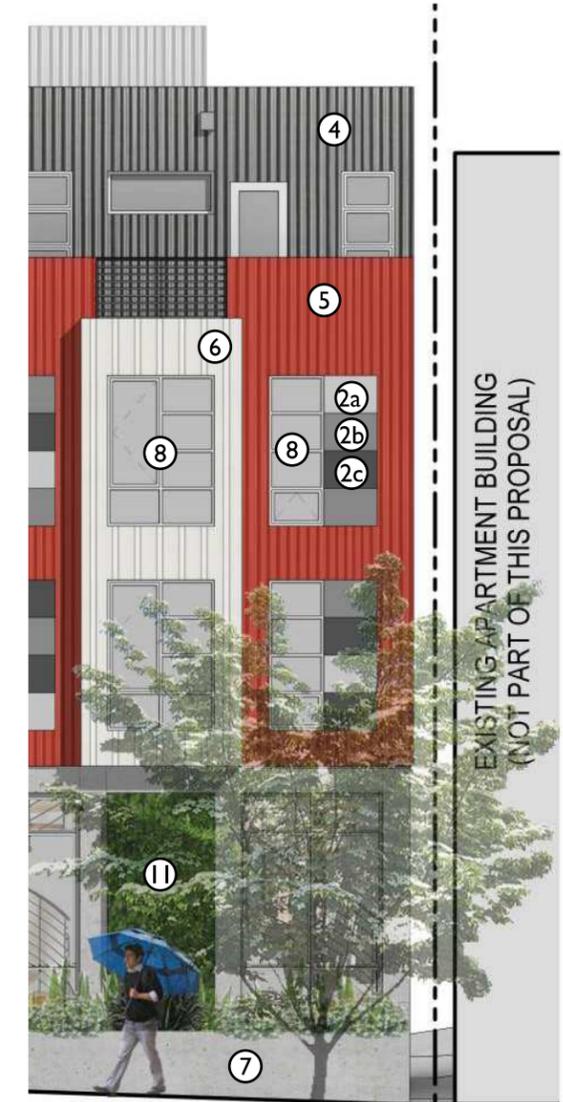


WEST ELEVATION

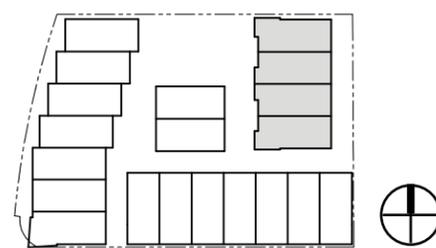
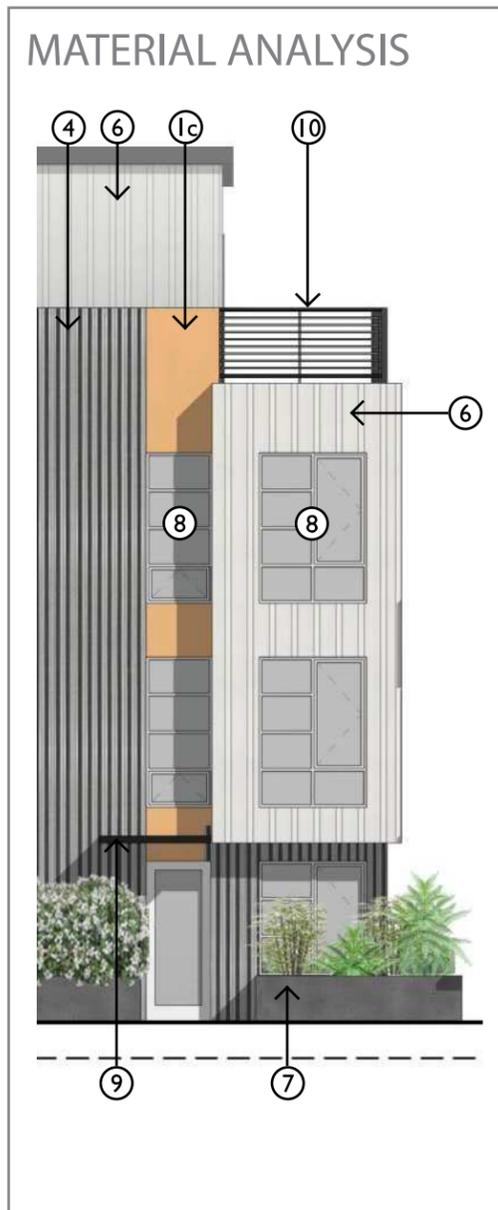
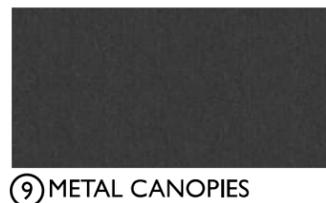
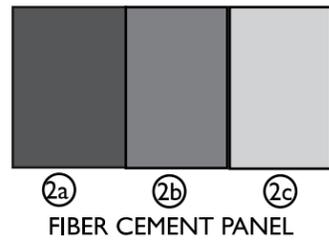
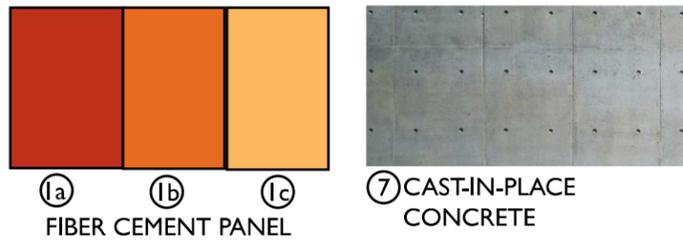


SOUTH ELEVATION

MATERIAL ANALYSIS



Elevations + Materials - Building 2 + 3



Landscaping

Landscape Plan



①



ALUMINUM PLANTERS ON WHEELS

②



BANDED PAVING PATTERN DELINEATING PRIVATE ENTRIES AND COURTYARD SPACE

③

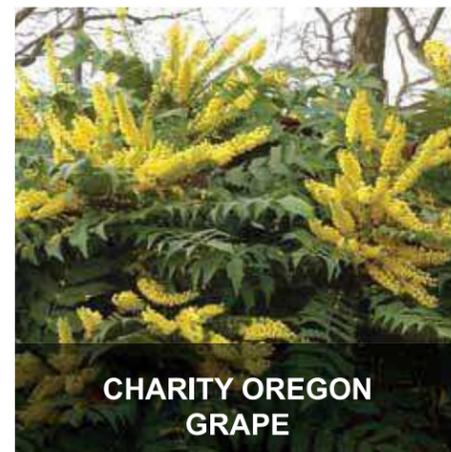
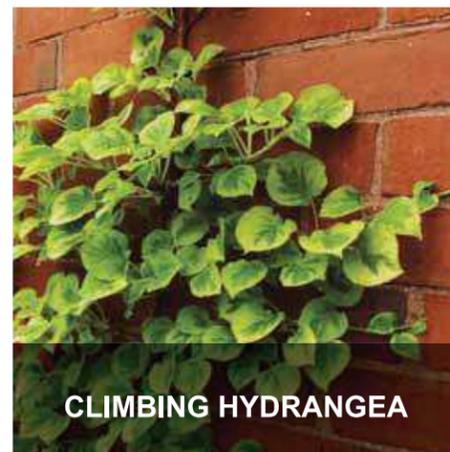
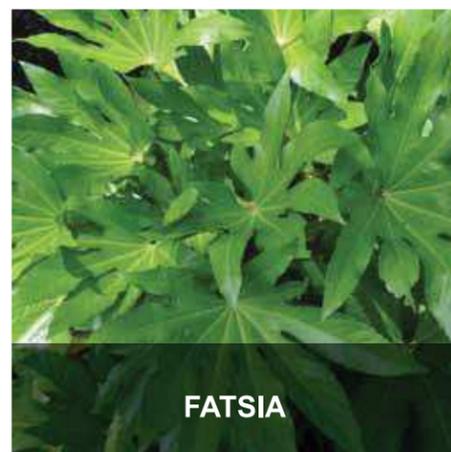
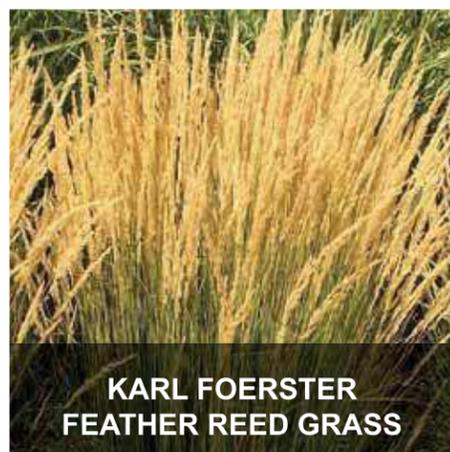
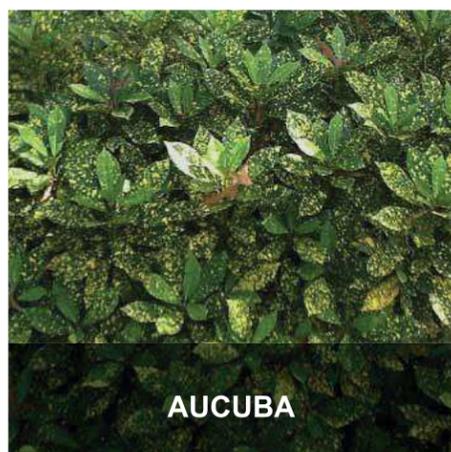
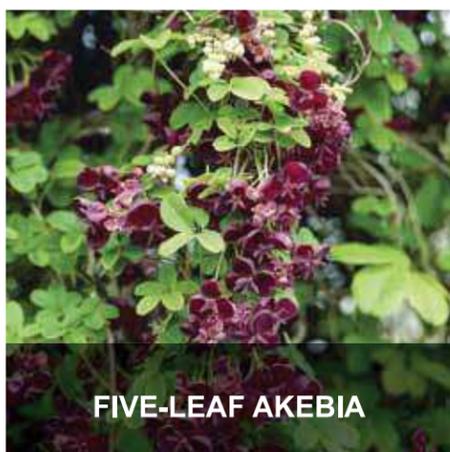
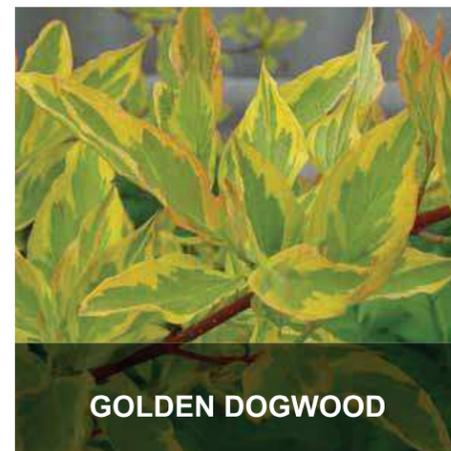
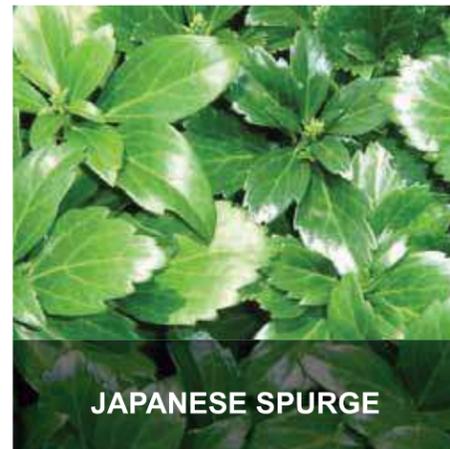
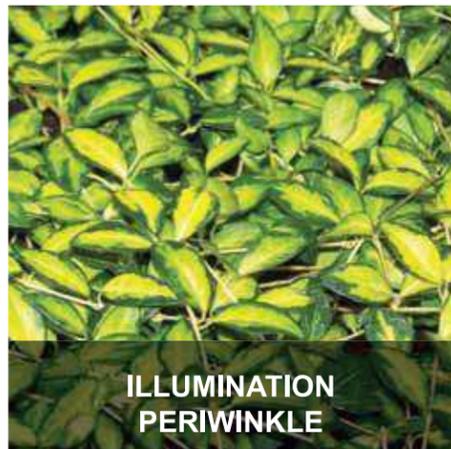


FIBERGLASS PLANTERS

④



VEGETATED WALL WITH HANGING PLANTERS



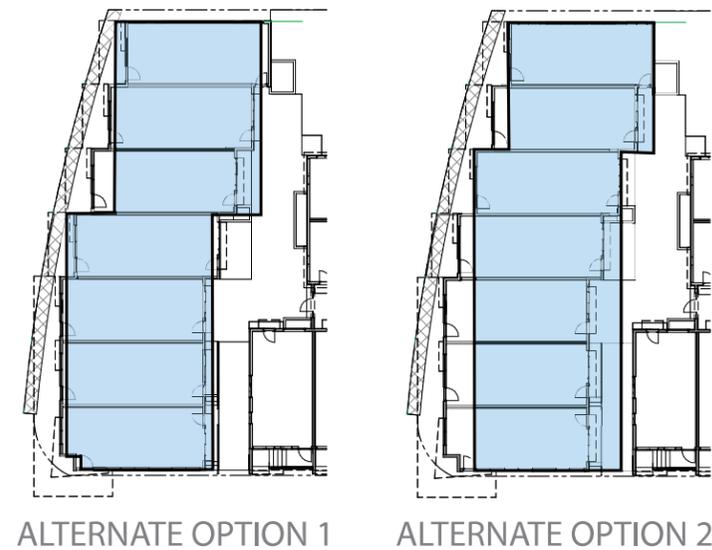
Response to Board

Commercial Streetscape Experience
(Street to Live/Work)

DESIGN PRESENTED AT EDG



STUDY: LESS FACADE STEPS

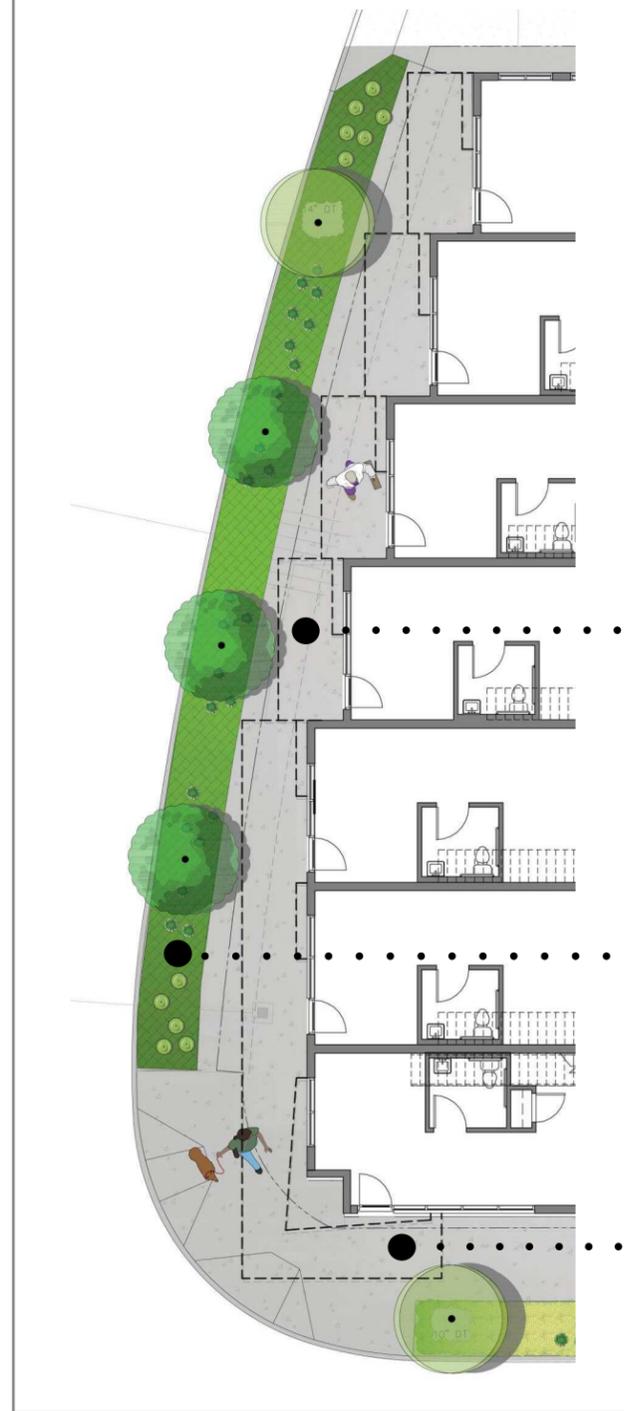


STEPPING BUILDING FACADE:

As shown in the diagrams above, we have explored the number of steps in Building 1. Since the EDG design contained two steps, we explored reducing the steps further. In both options, reducing the building steps also reduces the usability of the Urban Alley. This is shown where the blue translucent pattern overlaps the walls of the current design below it.

Moving the structure farther west, as the Board recommended, naturally creates more steps in the building rather than fewer. The design team has embraced this as a feature of the building concept that follows the natural curve of Roosevelt Way NE. This also creates an eye-catching accordion affect as one drives or walks past the site, gradually showing the color slices along the facade.

CURRENT STREETSCAPE DESIGN



Priorities + Board Recommendations:

- 1.b: Further develop the ground level setback, upper level overhang, and overhead wether protection along Roosevelt Way NE.
- 1.c: Adjust the landscape to provide an intervening landscape buffer between the street and the sidewalk, allowing the live/work uses to spill out to the sidewalk.
- 1.d: Explore shifting the western structure closer to Roosevelt Way NE, possibly creating two setbacks instead of three setbacks.

GROUND LEVEL STREETFRONT:

The sidewalk in front of the Livework Units has been increased to allow the Commercial uses to spill out to the sidewalk. This will activate this space as a commercial use, and will catch the attention of passersby.

INTERVENING LANDSCAPE BUFFER:

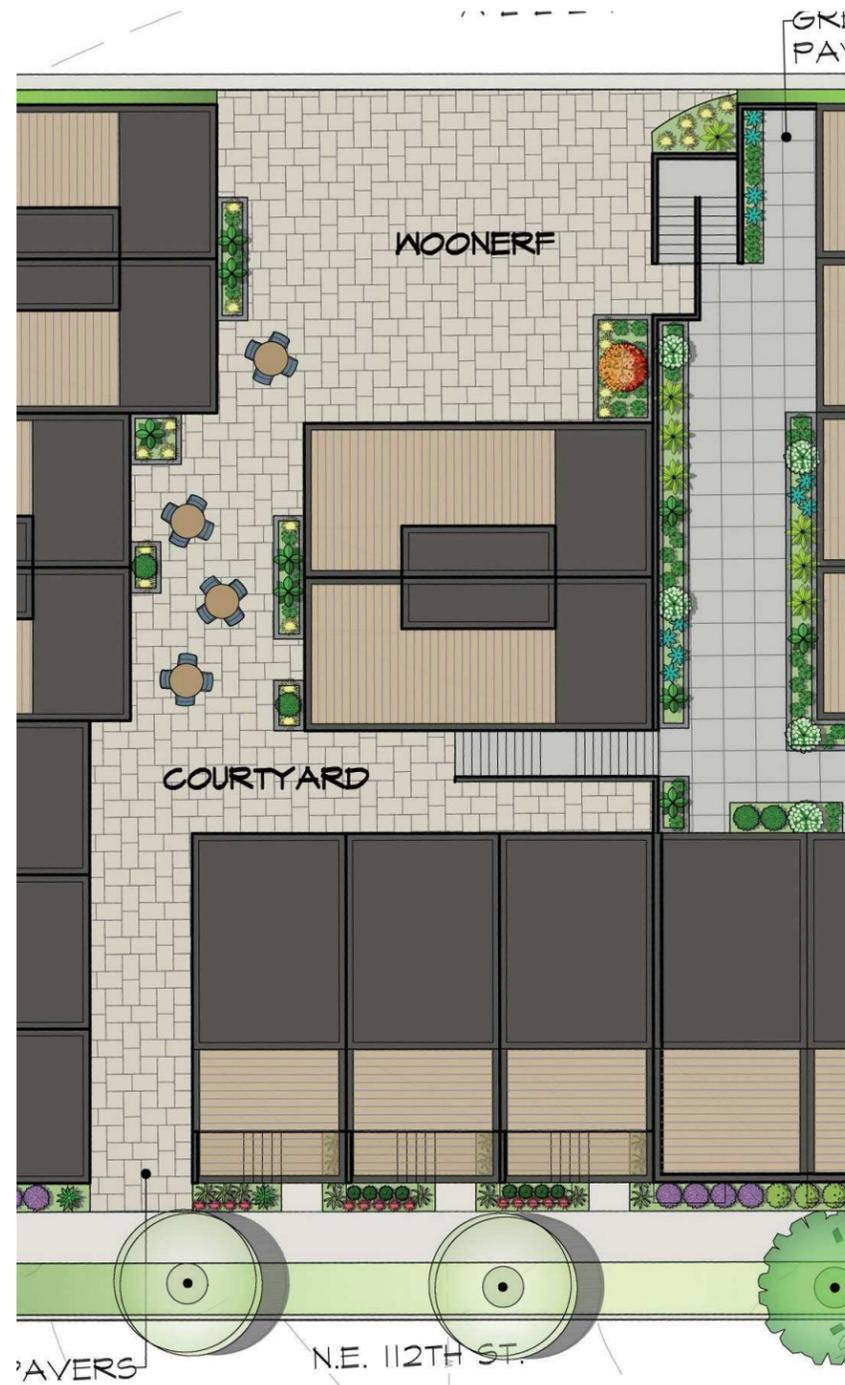
A six foot landscape buffer has been located between Roosevelt Way NE and the Livework entries, shielding the pedestrians from the busy arterial.

OVERHEAD WEATHER PROTECTION:

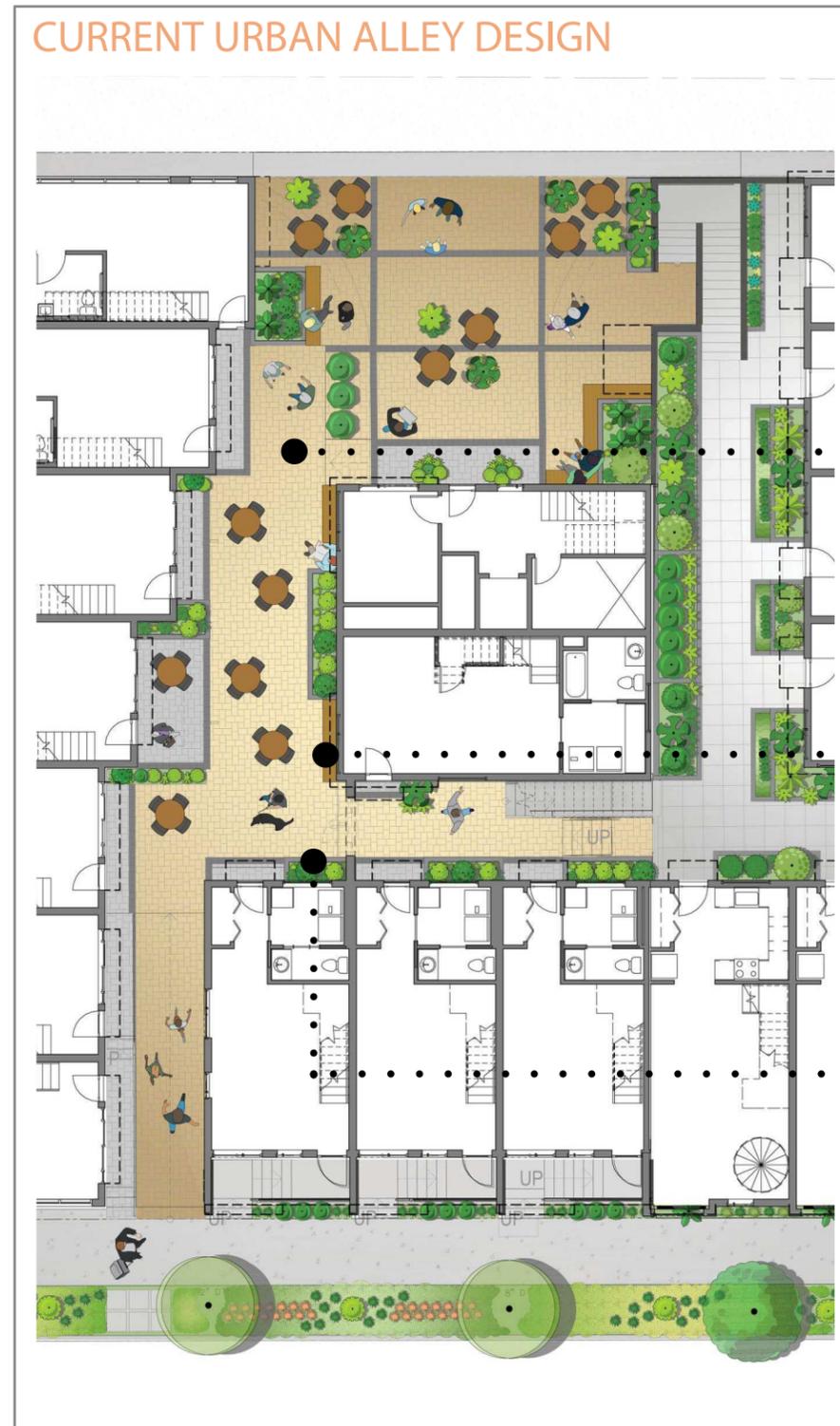
Six foot metal canopies will be provided at each Livework entry to protect passersby as well as the commercial customers.

Commercial Streetscape Experience
(Live/Work to Urban Alley)

DESIGN PRESENTED AT EDG



CURRENT URBAN ALLEY DESIGN



Priorities + Board Recommendations:

- 4.a: Soften the internal spaces by including additional landscaping
- 4.c: Design the units adjacent to the woonerf and Urban Alley in a way that will encourage uses, such as cafe seating, to spill out onto the public spaces.

GROUND LEVEL "SPILL-OUT":

The Design Team embraced the Board's concerns regarding the access from the Livework Units to the Urban Alley. Large sliding glass doors with relites have been added to the eastern sides of the Livework Units to create maximum light and visibility into the Urban Alley.

HUMAN SCALE ELEMENTS:

Wall sconces, metal canopies, signage, and ample public seating have been added to these units so that the entrances along the Urban Alley is just as inviting as along Roosevelt Way NE.

ADDITIONAL LANDSCAPING:

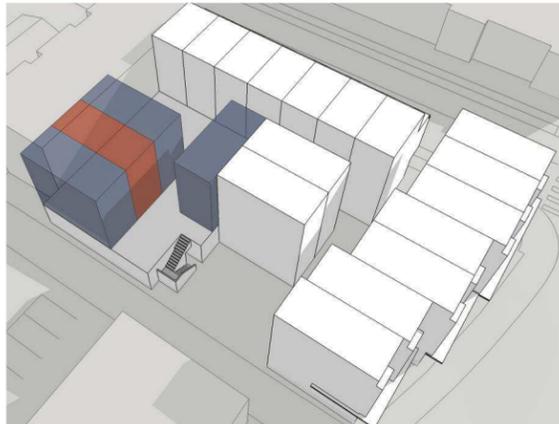
Maximum landscaping has been incorporated into the Urban Alley and Podium spaces to soften the space and encourage "spill-out" from the Livework units.

Orientation of Units on Top of Podium

Priorities + Board Recommendations:

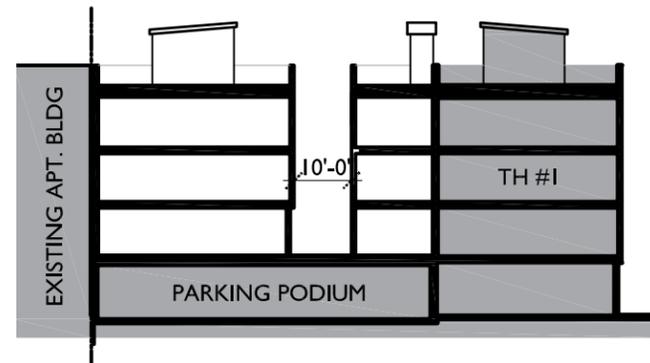
- 3.a: The Board expressed concern with the orientation and siting of the internal townhome units and their relationship to the woonerf/turnaround and existing blank wall condition to the east. The Board directed the applicant to explore ways to rotate or reorient the internal townhome units to minimize the impacts from the existing blank wall and create the most successful outdoor spaces.

ALTERNATE OPTION 1

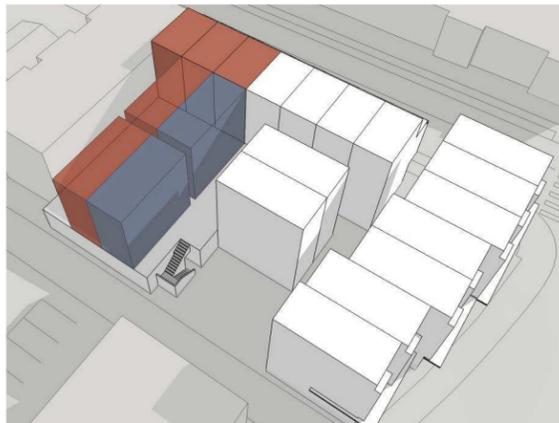


Rationale:

- This option pushes the unit group up against the existing neighboring apartment building, leaving one of the units with no fenestration opportunities except for the front facade. The Design Team explored attaching one of the units to the back of the TH1/TH2 group, which only creates a "winding canyon" effect by enclosing the podium courtyard further.

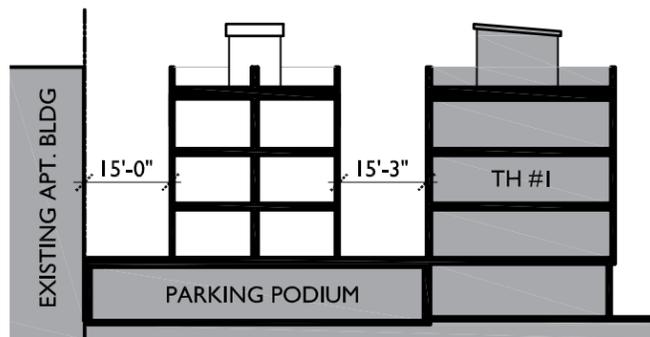


ALTERNATE OPTION 2



Rationale:

- This option rotates the units 90 degrees. This leaves a narrow 3' pathway between unit groups, leaving the two East units and three Southeast units along NE 112th Street without an efficient means of access.

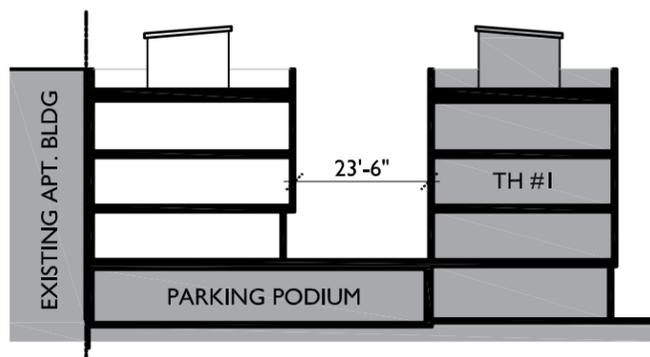


ALTERNATE OPTION 3



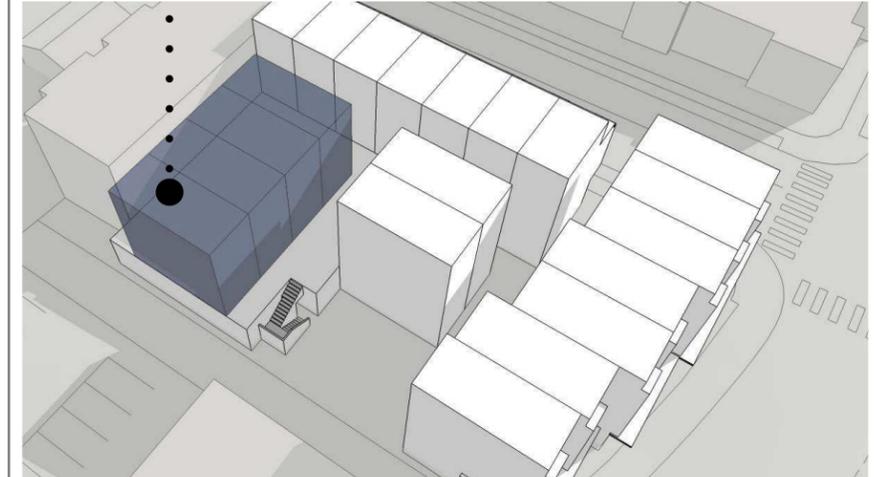
Rationale:

- This option keeps the preferred grouping and orientation of the units, but pushes the unit group to the East, against the existing neighboring apartment building. While this creates a larger podium courtyard, this leaves two units with fenestration only on the front facade.

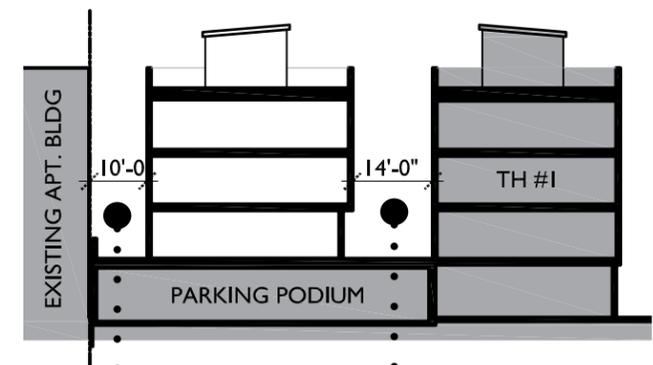


CURRENT DESIGN

- SITING AND REORIENTATION:** The most efficient and aesthetic design comes from treating the podium units as one group, allowing for glazing on all sides and a consistent design. As shown in Alternate Options 1 + 2, the broken up units create odd pocket spaces that interrupt the overall concept of the site.



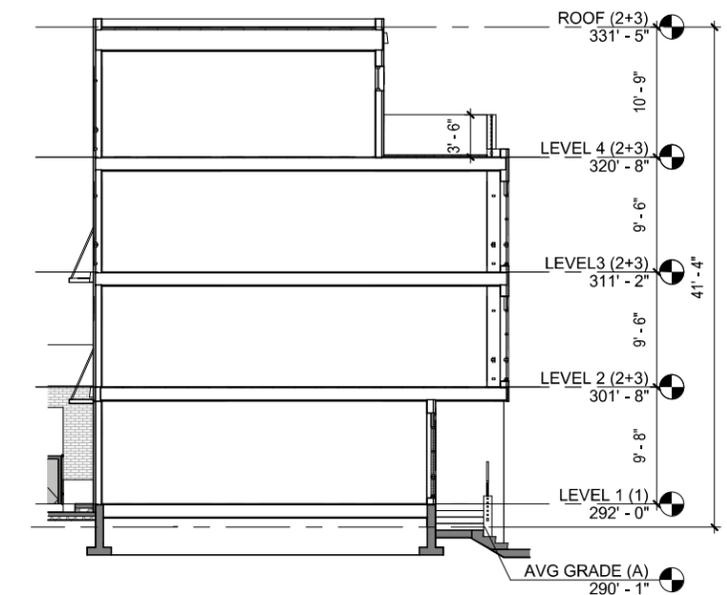
BLANK WALL: The current design respects the neighbors request of leaving access to the utilities mounted on their building, while accenting the wall with vegetation. The neighboring apartment can act as part of a lightwell for the maximum glazing that has been added to the East side of the podium building.



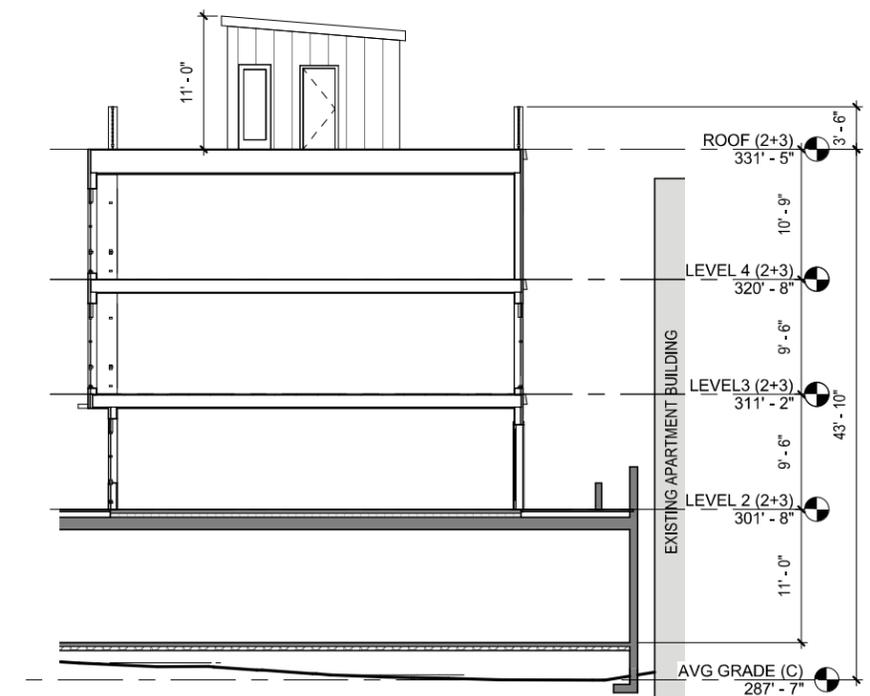
- SUCCESSFUL OUTDOOR SPACE:** The proposed design allows for outdoor space at the front and back of each unit, allowing for maximum glazing opportunities where the Alternate Options do not.

Orientation of Center Townhome Units

TYPICAL BUILDING SECTIONS

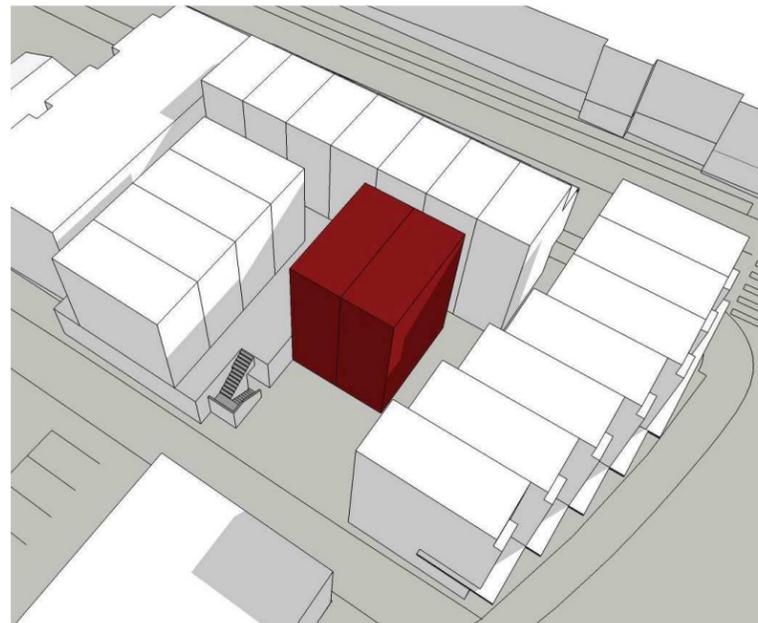


TYPICAL SECTION ALONG NE 112TH STREET



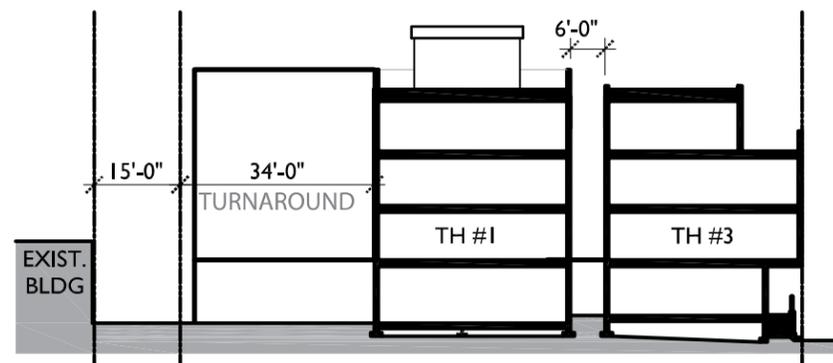
TYPICAL SECTION ON TOP OF PODIUM

ALTERNATE OPTION 1

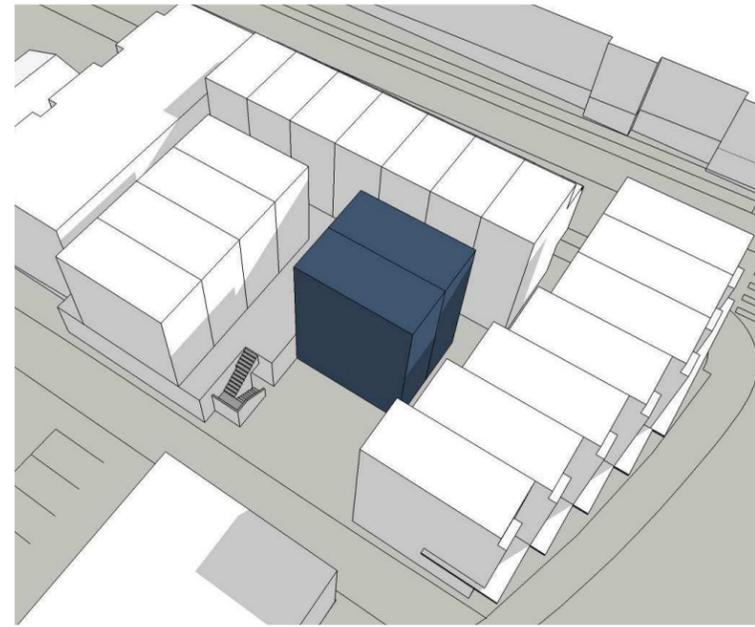


Rationale:

- This option explores rotating the two center units 90 degrees while this option adds 4'-0" to the width of the center portion of the Urban Alley, it also reduces the southern access to these units to 6'-0" (rather than the original 10'-0" Egress Court width). This creates a very narrow corridor that would eliminate secondary access to several units, as well as greatly reduce the allowed glazing along these facades.

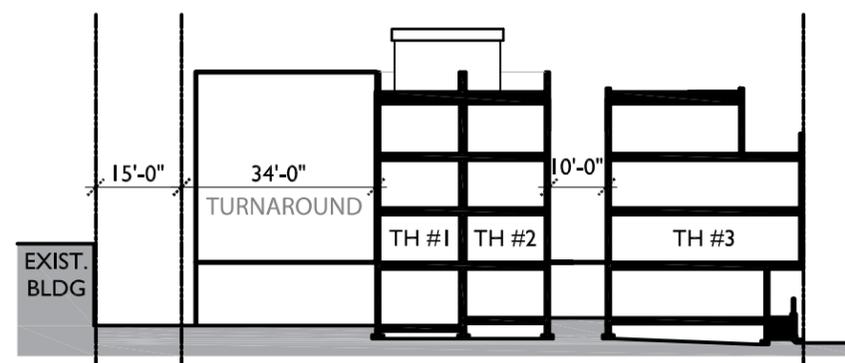


CURRENT DESIGN



Rationale:

- This is the current orientation of the two center townhome units, which provides access and fenestration on all sides. This layout respects the alley turnaround depth, with approval from SPU, while maintaining a 10'-0" Egress Court according to SBC.

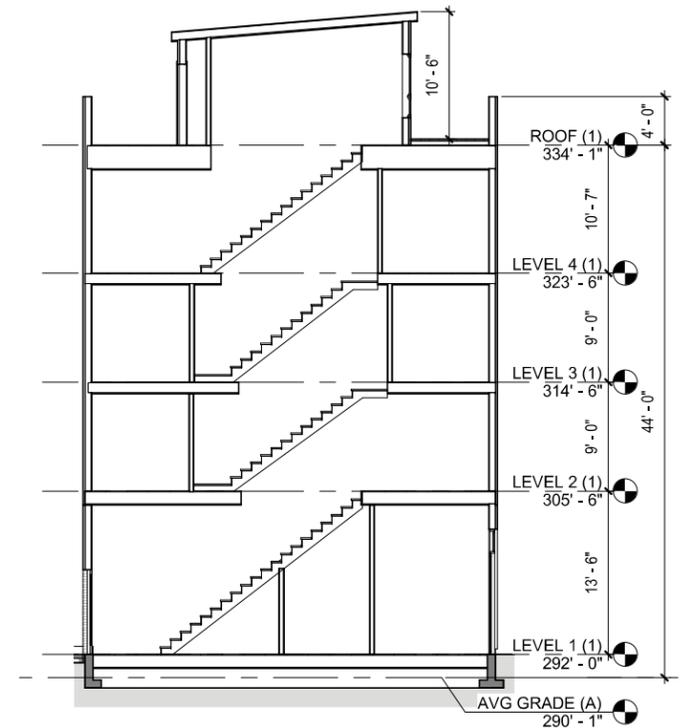




Priorities + Board Recommendations:

- 4.a: Soften the internal spaces by including additional landscaping
- 4.c: Design the units adjacent to the woonerf and Urban Alley in a way that will encourage uses, such as cafe seating, to spill out onto the public spaces.

- • **LIVEWORK:** Business signage will be provided at the front and back entrances to all live/work units to create a clear distinction between the live/work units and internal townhomes.
- • **ADDITIONAL LANDSCAPING:** Maximum landscaping has been incorporated into the Urban Alley and Podium spaces to soften the space and encourage “spill-out” from the Livework units. In this area we have also added hanging vegetation to soften the perceived mass.
- • **LIVEWORK ENTRIES AT URBAN ALLEY:** These entries will encourage activity “spill” into the Urban Alley through the sliding glass doors. Maximum glazing has been added to the ground level at the Urban Alley to encourage natural light and views to the activity and landscaping throughout the Urban Alley. These entries will be brought to life by the sconces, canopies, and signage at each unit, helping tenants and pedestrians easily maneuver their way around the Urban Alley space.



TYPICAL SECTION AT LIVEWORK

..... **ELIMINATING THE CANYON AFFECT:**

As your eye moves up the building, lighter materials continue up the facade. The brick base remains only at the ground level of the Urban Alley, and sections of each roof deck including open rail parapets to allow even more light to pour into the space.



..... **ADDITIONAL LANDSCAPING:**

Maximum landscaping and permanent public seating has been implemented to soften the Urban Alley, Woonerf, and Podium Unit spaces.



SECTION THROUGH URBAN ALLEY + PODIUM ENTRY

Response to Board

Urban Alley Experience (Case Studies)

PLANTER + BENCH EXAMPLE



WOONERF EXAMPLE



PODIUM LANDSCAPING EXAMPLE



EXAMPLES OF URBAN ALLEY "SPILL-OUT"



URBAN ALLEY ENTRY EXAMPLE



EXAMPLES OF THE URBAN ALLEY ENTRY



WAYFINDING SIGNAGE EXAMPLES



Unit Designation Signage

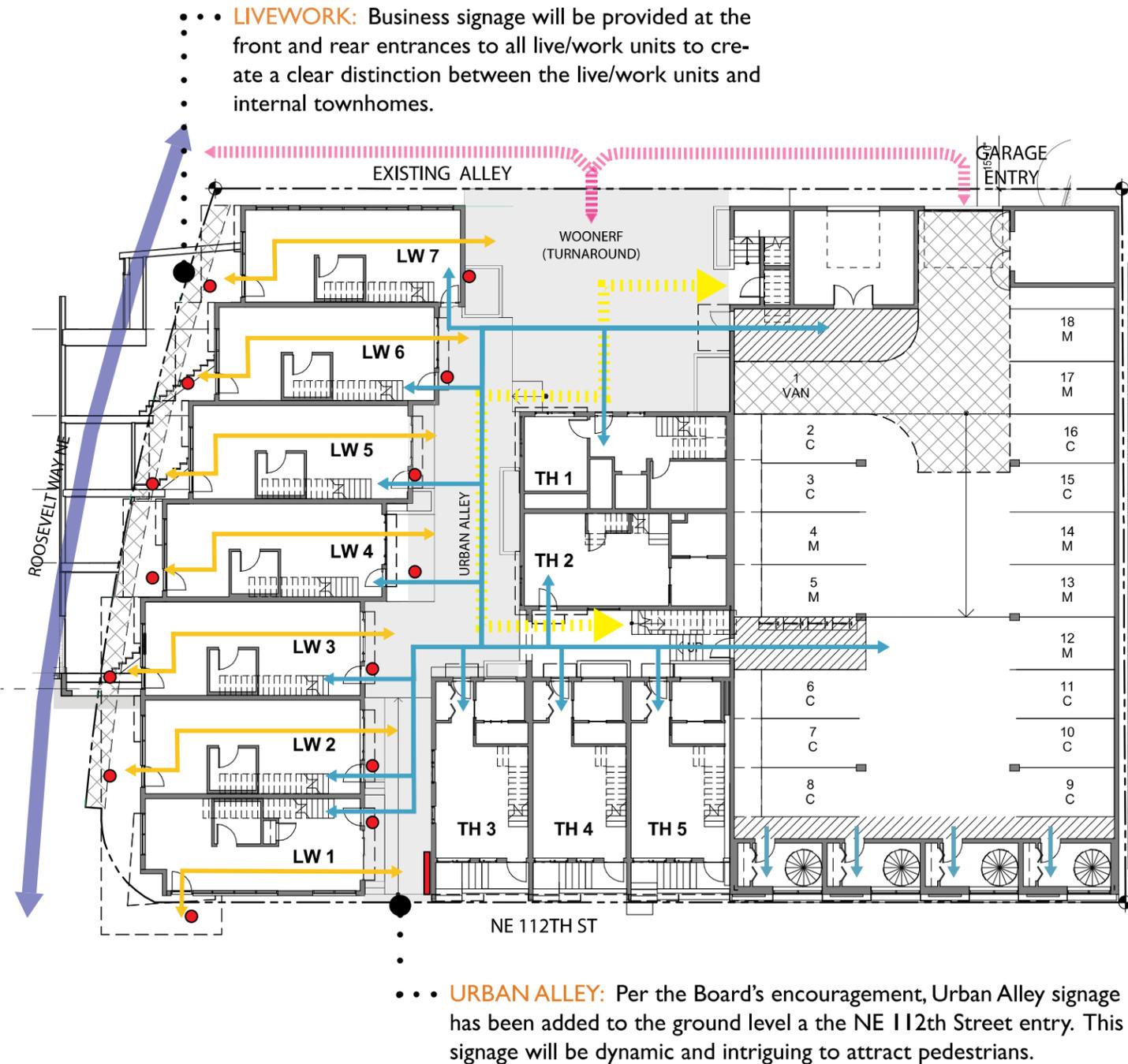


Live/Work Signage
(Roosevelt Way NE - Attached to Canopy)

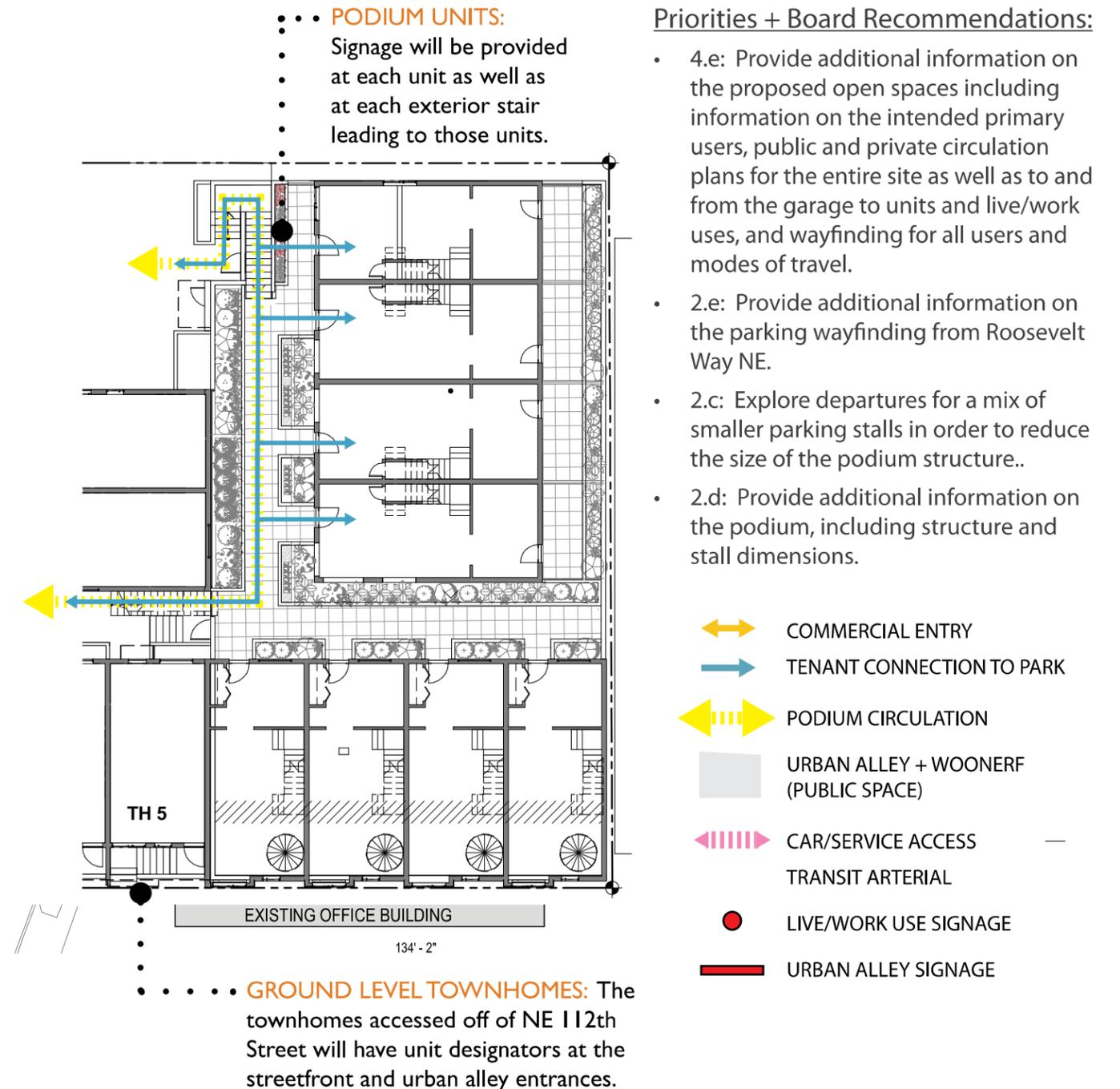


Live/Work Signage
(Urban Alley - Above Door)

GROUND FLOOR WAYFINDING DIAGRAM



PODIUM WAYFINDING DIAGRAM

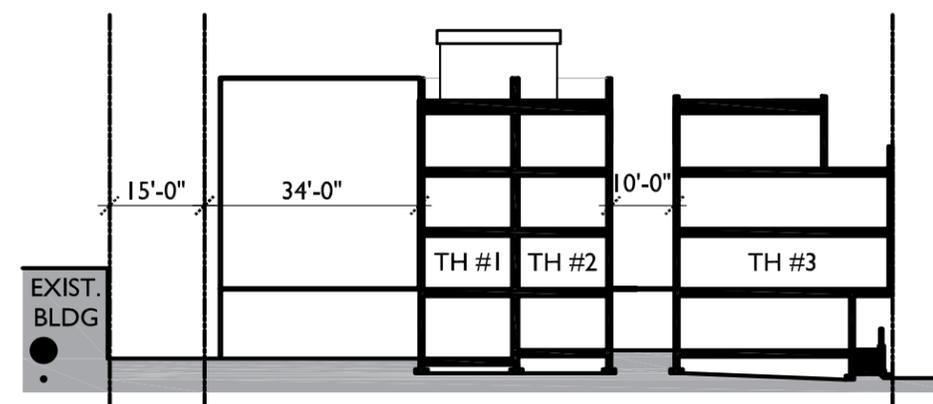
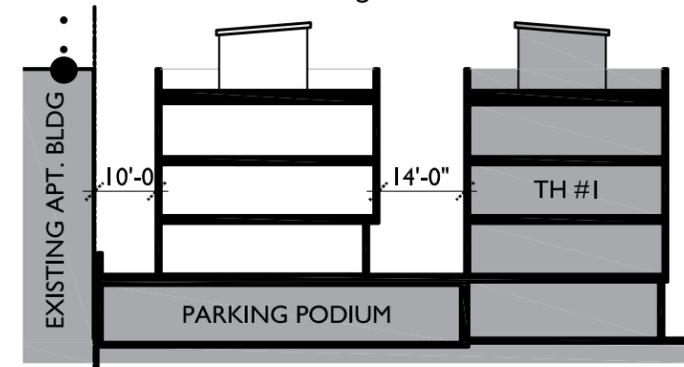




Priorities + Board Recommendations:

- 3.a: The Board directed the applicant to explore ways to rotate or reorient the internal townhome units to minimize the impacts from the existing blank wall and create the most successful outdoor spaces.
- 4.a: Soften the internal spaces by including additional landscaping
- 4.c: Design the units adjacent to the woonerf and Urban Alley in a way that will encourage uses, such as cafe seating, to spill out onto the public spaces.

- • • **EASTERN NEIGHBOR:** Only a small portion of the development is designed to be built directly against the neighboring apartment building to the East, per the request of the owner, to be able to access their building for maintenance.



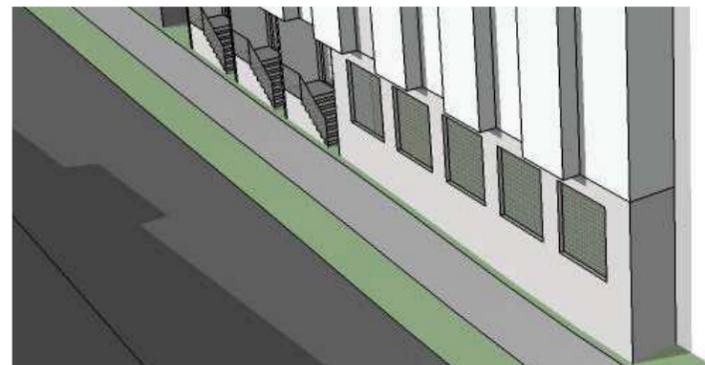
- • • **NORTHERN NEIGHBOR:** The proposal respects the development directly to the North by creating a pleasant public Woonerf directly across from the building which prevents the building from being completely shaded and gives the neighbor a view of an active courtyard rather than the side of a building.

112th Street Parking Garage Facade

Priorities + Board Recommendations:

- 2.c: Explore departures for a mix of smaller parking stalls in order to reduce the size of the podium structure.
- 2.b: Explore a residential intervening use, such as a second entry, between the parking structure and the right-of-way.

EVOLUTION 1: EDG MEETING



EVOLUTION 2: ORIGINAL BRAINSTORM

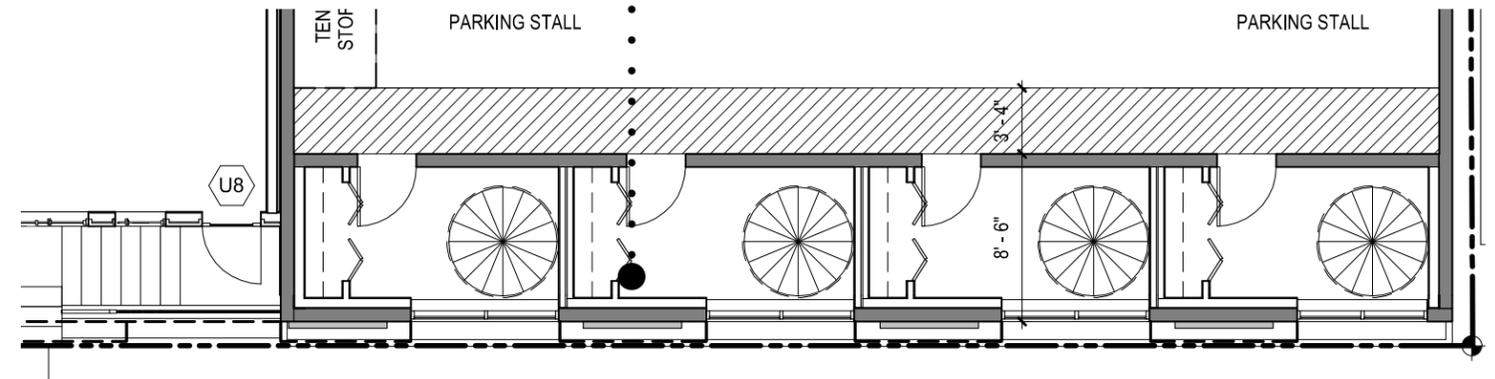


EVOLUTION 3: MUP SUBMITTAL



DESIGN SOLUTION - INTERVENING RESIDENTIAL SPACE

- • • **INTERVENING USE:** Per the Board's recommendation, the design team has incorporated an intervening residential use between the parking garage and NE 112th Street. A secondary entry has been created from the parking garage into units TH6-TH9, giving these four units a private and covered access to their vehicles.



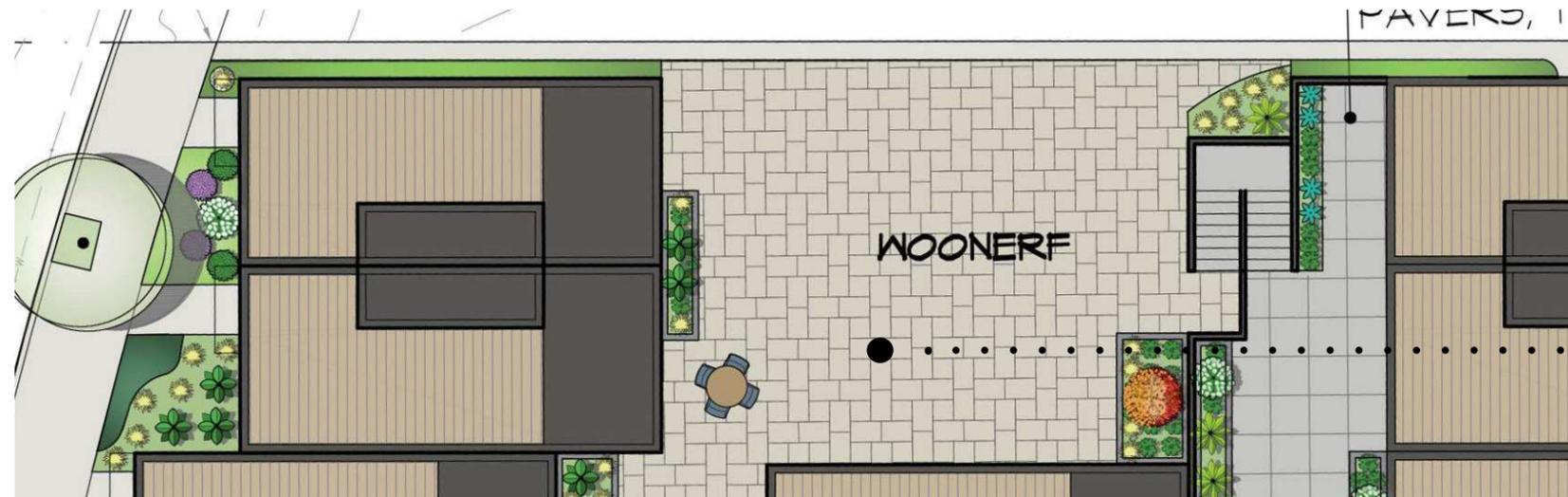
- • • **SPECIAL EXCEPTION FOR RESIDENTIAL USES:** A Special Exception has been submitted to Janet Oslund (Addressing Reviewer) and Emily Loftstedt (Zoning Reviewer) to increase the percentage of residential use along NE 112th Street.



- • • **BLANK WALL CONDITION:** The current design has presented the opportunity for a mix of large glazing and landscaping along what was originally a concrete street facade. It has reduced the parking garage capacity from 20 to 18 stalls, and now includes 10 compact, 7 medium stalls, and 1 accessible van stall instead of the original 20 medium sized stalls. Typical stall dimensions are shown on the First Floor Plan in this packet.

Woonerf (SDOT Turnaround)

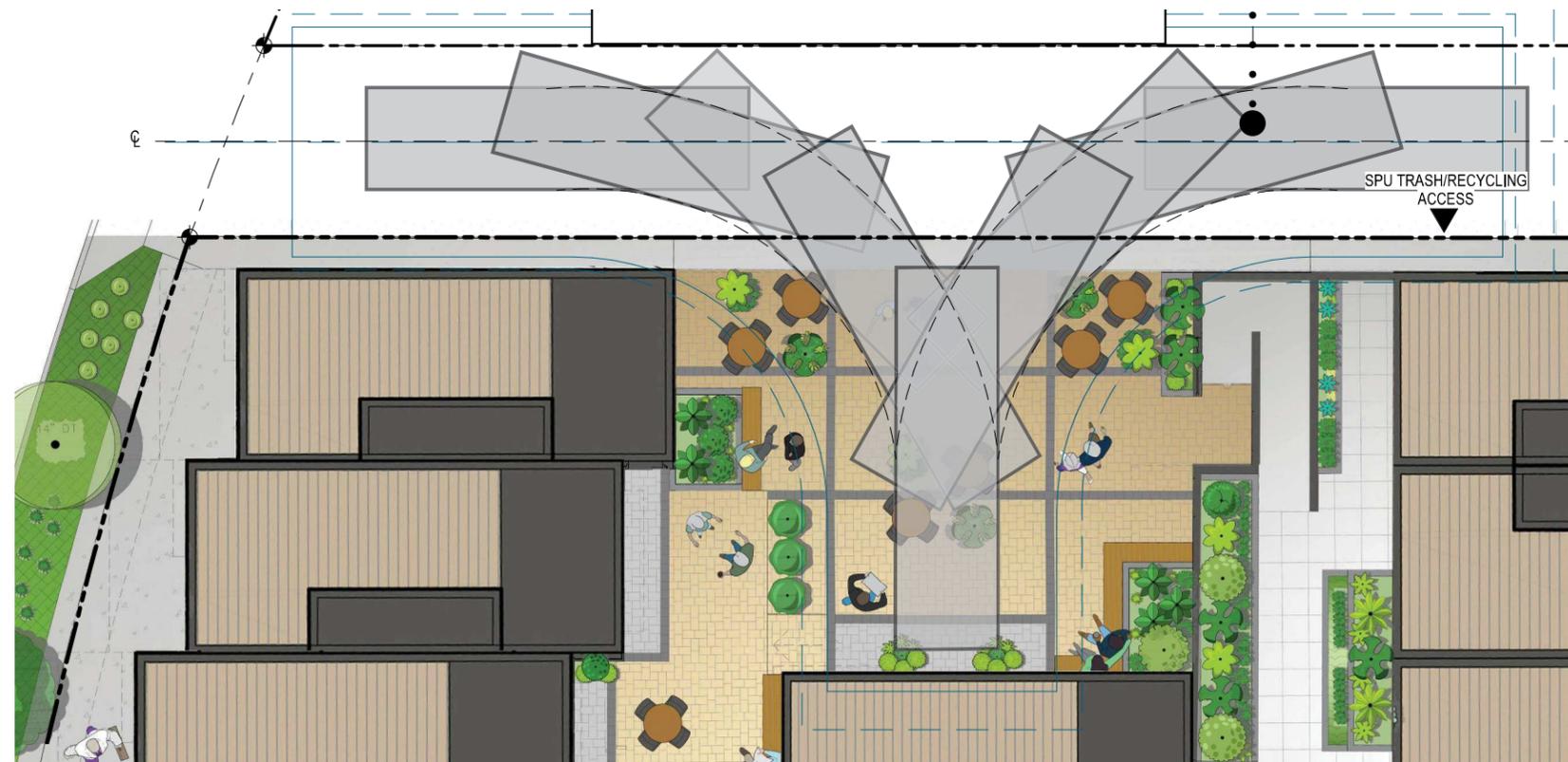
PRESENTED AT EDG



Priorities + Board Recommendations:

- 3.b: Provide additional context on how the proposal responds to the adjacent uses and development, including vignettes.
- 4.b: Provide additional information on how the woonerf and turnaround will function and details on the landscape/hardscape

CURRENT DESIGN



..... **WOONERF LANDSCAPE:** A mix of permanent and moveable public seating and planters have been added in comparison to what was proposed at EDG, in order to liven up the Woonerf space and encourage activity spilling from the Urban Alley. The moveable planters can be rolled to different areas of the Woonerf and Urban Alley to clear the SDOT turnaround for SPU access.

..... **WOONERF HARDSCAPE:** While the Woonerf space functions as an SDOT turnaround, the intent of the paving is to welcome tenant uses and activity, delineating between unit entries or and the public activity spaces.



INSPIRATION IMAGES

SCONCE LIGHTING



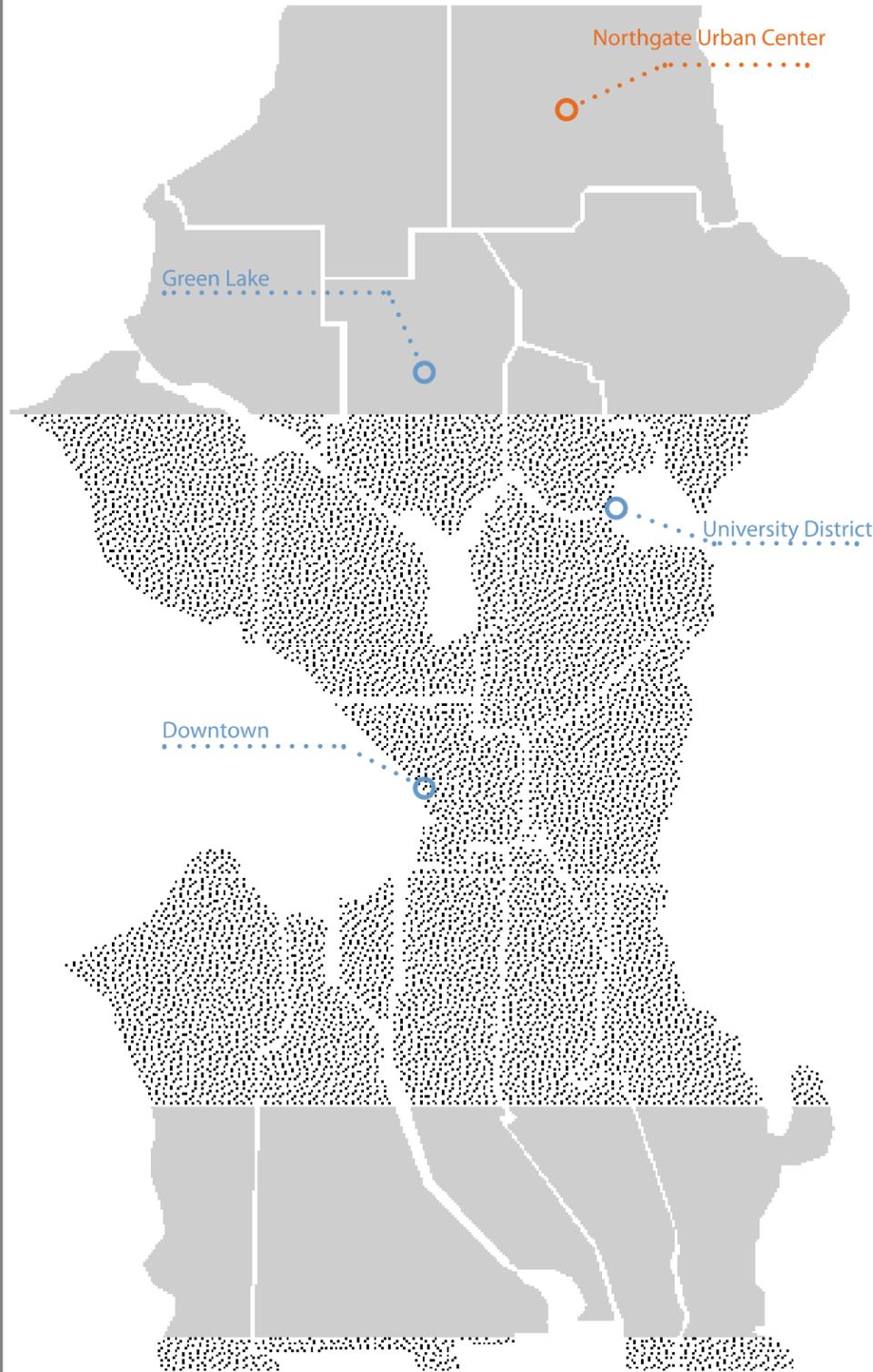
PLANTER LIGHTING



CABLE LIGHTING



A: Site Information



③ NORTHGATE MALL



④ NORTH SEATTLE COLLEGE



⑥ THORNTON PLACE - TOWNHOMES



⑦ NORTHGATE COMMUNITY CENTER



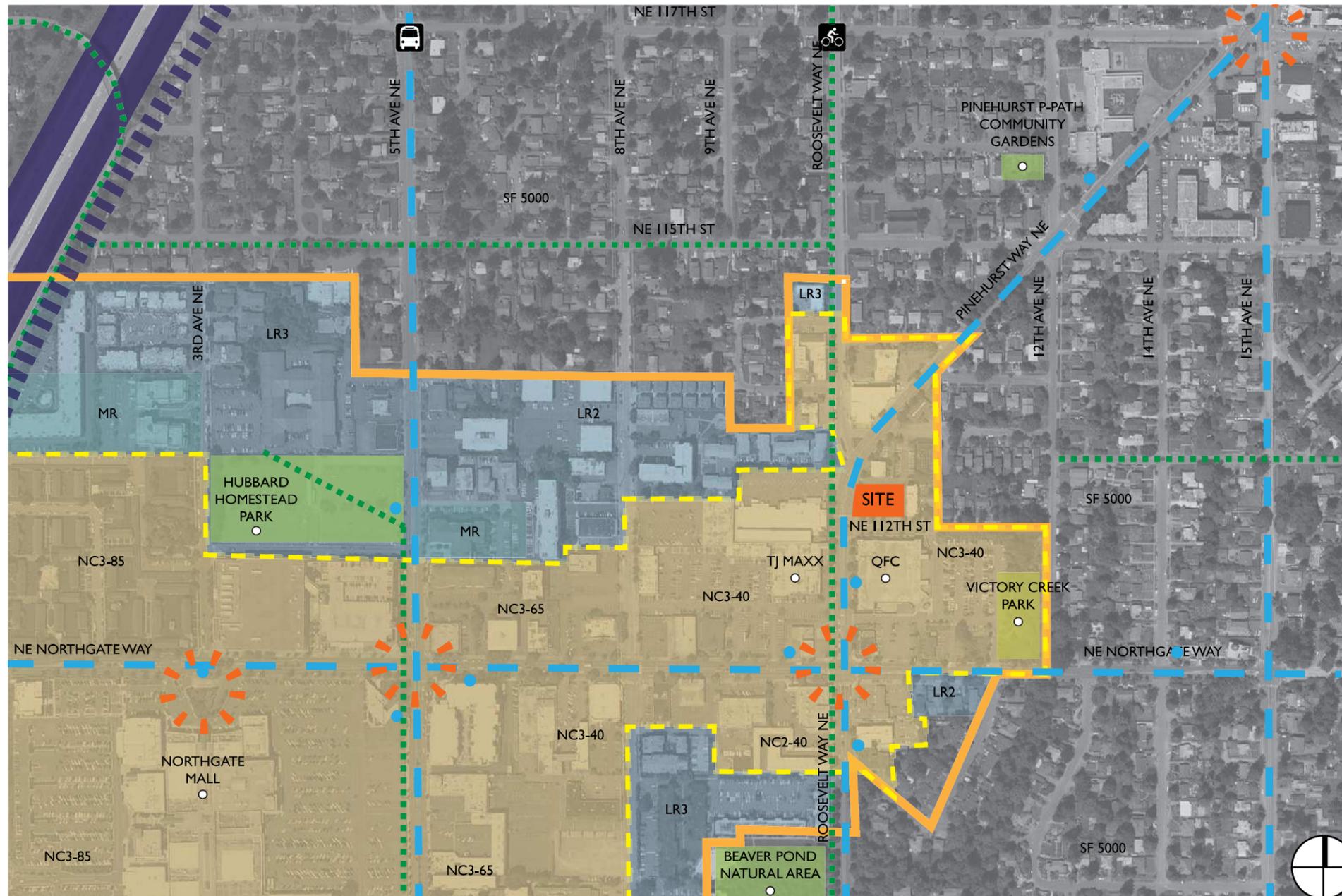
⑧ SEATTLE PUBLIC LIBRARY



⑨ HUBBARD HOMESTEAD PARK



⑫ VICTORY CREEK PARK



KEY

- | | | | | | |
|---|------|---|------------------------|---|-----------|
|  | SITE |  | LANDMARK |  | BUS STOP |
|  | PARK |  | NORTHGATE URBAN CENTER |  | BIKE PATH |
|  | NODE |  | BUS ROUTE |  | NC ZONING |

EXISTING SITE

Address: 11202 Roosevelt Way NE

Lot Area: 16,485 SF

Description: The project site consists of one parcel located at the northeast corner of the intersection of Roosevelt Way NE with NE 112th Street, and has a total area of 16,485 sf. There is an alley along the north side of the parcel. The parcel faces Roosevelt Way to the west and 112th Street to the south. The site slopes gradually from the northwest to the southeast by approximately 7 feet. The project includes the demolition of an existing unoccupied former restaurant.

NEIGHBORING DEVELOPMENT

The project site is located at the northeast corner of the Northgate Urban Center, and directly abuts a 4 story apartment building site to the east, A QFC grocery store is across NE 112th Street to the south, a party supply store is across Roosevelt to the west, and an alley separates the site from an senior-living provider's office building and parking lot to the north. The NC zoning changes to single family about halfway down 112th Street to the east, while to the west development is consistently NC commercial with shopping centers, apartment complexes, grocery stores, cafes and restaurants and all within walking distance of the site. There are also several churches and parks in the immediate vicinity. The site is along the arterial of Roosevelt Way and Pinehurst Way which makes it close to transportation services and pedestrian

ZONING AND OVERLAY DESIGNATION

The parcel is zoned NC3-40 and is within the Northgate Urban Center.

DEVELOPMENT OBJECTIVES

The proposed project consists of 20 four-story residential units, including 7 Live/Work units along Roosevelt and a mix of 13 townhomes both at grade and on top of an at-grade parking garage podium. The development is near Metro transit stops, and positioned to take advantage of light rail service in the near future. To respond to existing transportation demands, parking for 20 vehicles is proposed within an enclosed garage. The site will transition from the commercial scale of the Northgate Urban Center to the adjacent more residentially scaled blocks through thoughtfully designed Live/Work units along NE Roosevelt Way screening clustered townhouses and actively landscaped open spaces behind. These homes will present attractive, modulated, and durable facades that engage with their neighbors and the streets.

Appendix

B: Zoning Summary

PARCEL #: 5724500590
ZONING: NC3-40
OVERLAYS: Northgate Overlay District, Northgate Urban Center
LOT AREA: 16,485 SF

23.47A.004 PERMITTED USES

Residential uses, retail, office, and others not listed

23.34.086 PEDESTRIAN DESIGNATION

- Pedestrian-designated zones are most appropriate on land that is generally characterized by the following conditions:
 1. Pedestrian district surrounded by residential areas or major activity centers; or a commercial node in an urban center or urban village;
 2. NC zoned areas on both sides of an arterial

23.47A.013 FLOOR AREA RATIO

Min FAR: 1.5 Max FAR: 3.25 (Mixed-Use Development)
 Max FAR for residential uses shall not exceed 3.0

Proposed FAR: 2.46 Proposed Residential FAR: 1.26

23.48.010 STRUCTURE HEIGHT

Allowed Maximum Structure Height:
 - Base Height: 40'-0"
 - 4' additional w/ 13' floor to floor comm. space
 or if res. first floor is raised 4': 44'-0"

23.47A.014E SETBACK REQUIREMENTS

- Setbacks:
- 3' setback on Roosevelt Way NE for future street improvements
 - 2.5' setback for alley dedication
- Additional setbacks:
- Cornices, eaves and gutters may project into required setbacks a maximum of 18 inches.
 - Ramps or devices for access which meet SBC Chapter 11 are permitted in setbacks.
 - Dumpsters or other trash receptacles except for trash compactors, are not permitted within 10 feet of any lot line that abuts a res. zone and must be screened per 23.47A.016.

23.45.522 AMENITY AREA

Required: 5% of gross floor area in residential use, excluding mechanical spaces and accessory parking:

Total GSF of Residential Uses: 22,137 SF
 5% of total GSF of Residential Uses: 1,107 SF

Provided: 6,451 SF

Maximum 50% of Amenity Area can be Woonerf: 3,225.5 SF
 Proposed Wooner Amenity Area: 1,253 SF

23.47A.016 LANDSCAPING REQUIREMENTS

- Green Factor score minimum 0.3 required
- General standards for screening and landscaping where required for specific uses.
 - Screening shall consist of fences, walls, hedges, or landscaped berms. Any type of screening shall be at least as tall as the height specified in subsection 23.47A.016.D.

23.47A.005 STREET-LEVEL USES:

- In pedestrian designated zones, along designated principal pedestrian streets, one or more of the following uses are required along 80% of the street level street facing facade: General Sales, retail, restaurants, etc.

23.54.040 SOLID WASTE

Residential minimum area for shared storage space:
 For 9-15 residential dwelling units: 150 SF
 [13 total residential units]

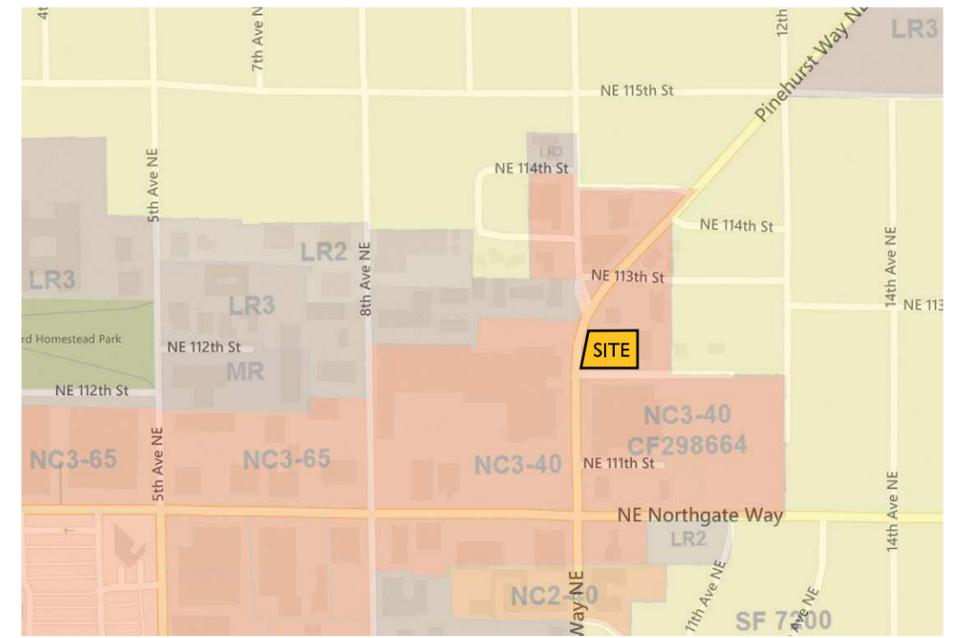
Non-Residential minimum area for shared storage space:
 For 15,000 - 50,000 SF non-residential development = 175 SF
 [21,646 SF total non-residential development]

Required Storage: 237.5 SF
 Provided Storage: 263 SF

23.54.015 + 23.54.030 AUTOMOBILE AND BICYCLE PARKING

Residential + Non-residential - No automobile parking stalls required
 Bicycle Parking - 1 space per every 4 residential units (13 res. units = 4 stalls)

Provided: 4 bicycle stalls + 18 automobile stalls



DPD ZONING MAP

RESIDENTIAL ENTRY LOCATION

4' above or below sidewalk grade
 or 10' from sidewalk for residential uses at street level and street facing

Proposed: Residential units accessed off of NE 112th Street are located on stoops at least 4' above sidewalk grade.

23.47A.008 STREET-LEVEL DEVELOPMENT STANDARDS

Blank Segments of the street-facing facade between 2' and 8' above the sidewalk may not exceed 20' in width.

Total Blank Facade Segments may not exceed 40% of the width of the facade of the structure along the street.

Street-level, street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas or other approved landscaped or open spaces are provided.

The above provisions should also apply to structures with street level non-residential uses in NC zones and in all structures in pedestrian designated zones.

60% of the street-facing façade between 2 feet and 8 feet above the sidewalk

shall be transparent. Transparent areas of facades shall be designed and maintained to allow unobstructed views from the outside into the structure or, in the case of live-work units, into display windows that have a minimum 30 inch depth.

Nonresidential uses shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level, street-facing façade.

Nonresidential uses at street level shall have a floor-to-floor height of at least 13 feet.

For purposes of calculating 80% of a structure's street-level façade, the width of a driveway at street level, not to exceed 22 feet, may be subtracted from the width of the street-facing façade if the access cannot be provided from an alley

At least one of the street-level, street-facing facades containing a residential use shall have a visually prominent pedestrian entry; and

The floor of a dwelling unit located along the street-level, street-facing façade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.

When a live-work unit is located on a street-level street-facing facade, the provisions of subsections 23.47A.008.A and 23.47A.008.B apply, and the portion of each such live-work unit in which business is conducted must be located between the principal street and the residential portion of the live-work unit.

23.71.012 SPECIAL LANDSCAPED ARTERIALS

If an owner proposes substantial development on lots abutting special landscaped arterials, the owner shall provide the following:

- Street trees meeting standards established by the Director of Seattle Department of Transportation.
- A 6 foot planting strip and 6 foot sidewalk if the lot is zoned SF, LR1, or LR2.
- A 6 foot planting strip and a 6 foot sidewalk, or, at the owner's option, a 12 foot sidewalk without a planting strip, if the lot is zoned NC2, NC3, RC, LR3, or MR.

Pedestrian improvements, as determined by the Director of the Seattle Department of Transportation, such as, but not limited to special pavers, lighting, benches and planting boxes.

23.71.014 OPEN SPACE

Summary of applicable Zoning Code Items:

- In all Commercial zones with a permitted height limit of 40 feet or less, a minimum of 10 percent of lot area or proposed gross floor area, shall be provided as landscaped or usable open space for all commercial and mixed use substantial development
- A minimum of 1/2 of the required open space shall be landscaped open space
- A minimum of 1/3 of the required open space shall be usable open space
- Remaining space shall be either landscaped or usable open space or may be provided in accordance with subsection 23.71.014.A.8
- (referencing the payment to the Northgate Open Space Fund to use the space for alternate purposes)
- Open space may be provided as interior or exterior open space, as long as the interior portion does not exceed 20% of open space
- Landscaped open space shall have a minimum horizontal dimension of six feet (6'), since the project lot area is over 10,000 square feet
- Usable open space shall be located within three feet (3') of the elevation of abutting sidewalks, provide access of at least ten feet (10') in width and provide barrier-free access according to the Washington State Rules and Regulations for Barrier-Free Design
- Interior usable open space shall provide direct pedestrian connections, with a clear path at least ten feet (10') wide, to exterior usable open space or public right-of-way. Such pedestrian connections shall not count toward interior usable open space requirements

23.71.040 DENSITY LIMITS FOR RESIDENTIAL USES IN COMMERCIAL ZONES WITHIN THE NORTHGATE OVERLAY DISTRICT

Residential uses in commercial zones with a forty (40) foot height limit may not exceed a density of one (1) dwelling unit for every six hundred (600) square feet of lot area.

Required: $16,485 \text{ SF (Lot Area)} / 600 \text{ SF} = 27.5$ (27 Units)
 Provided: 20 Units

23.71.044 STANDARDS FOR RESIDENTIAL USES IN COMMERCIAL ZONES WITHIN THE NORTHGATE OVERLAY DISTRICT

In C and NC zones with height limits less than eight-five (85) feet, residential uses, in aggregate, may exceed 20% of the street-level street-facing facade only as a special exception under the following conditions or criteria:

I. Either:

- Due to location or parcel size, the proposed site is not suited for commercial development; or
- There is substantial excess supply of land available for commercial use near the lot, as evidenced by conditions such as lack of commercial activity in existing commercial structures for a sustained period, commercial structures in disrepair, or vacant or underused commercially zoned land; and

2. The residential structure would not interrupt an established commercial street front. As used in this subsection, the phrase "established commercial

ALL ITEMS ARE ADDRESSED IN DEPTH ON PAGES 18-29, IN RESPONSE TO THE BOARD'S "PRIORITIES & RECOMMENDATIONS"

CONTEXT AND SITE

CS2.A - URBAN PATTERN AND FORM

- A2. ARCHITECTURAL PRESENCE (NCG 2.1 - STREETScape COMPATIBILITY)

CS2.B - ADJACENT SITES, STREETS, AND OPEN SPACES

- B2. CONNECTION TO THE STREET (NCG 3.1 - INCORPORATE OPEN SPACE)

CS2.C - RELATIONSHIP TO THE BLOCK

- C1. CORNER SITES (NCG 2.2 - CORNER LOTS TREATMENTS)

CS2.D - HEIGHT BULK + SCALE

- D1. EXISTING DEVELOPEMENT + ZONING (NCG 2.1 - STREETScape COMPATIBILITY)

Located on a the border of the Northgate Overlay District, adjacent to vehicle-oriented commercial uses, and near low-rise and single-family zones, this proposal eases the transition from busy commercial activity to quieter residential neighborhoods. The site is densely developed as appropriate for the zone and adjacent big-box retail, but is broken into discrete, modulated masses that respond to the nearby apartments and private residences. The building facing Roosevelt features true live/work commercial spaces and screens the more private residential uses internally and along NE 112th street.

The "Urban Alley", accessed from 112th near the corner, functions as the heart of the project. Access to parking, trash storage, gathering spaces, and the upper level townhomes all circulate through this space. This works in conjunction with additional setbacks in front of the Live/Works to provide possibilities for cafe seating, plantings, broader walkways, and opportunities for interaction. Large windows in the commercial spaces are anticipated to give direct visual connection to these spaces and the street beyond.

Taking advantage of the corner location, this project will wrap the commercial use around the corner and continue architectural elements such as bays and canopies, to create a solution that addresses both streets while acknowledging the primacy of Roosevelt Way. The townhomes on 112th feature setbacks on the top floor to reduce perceived scale, and are stepped in height to integrate the parking garage into the building form.

PUBLIC LIFE

PL1.A - NETWORK OF OPEN SPACES

- A1. ENHANCING OPEN SPACE (NCG 3.1 - INCORPORATE OPEN SPACE)

PL2.B - SAFETY AND SECURITY

- B3. STREET-LEVEL TRANSPARENCY (NCG 1.3 - PROMOTE PEDESTRIAN INTERACTION)

PL3.A - ENTRIES

- A1-d. INDIVID. ENTRIES TO GROUND-RELATED HOUSING (NCG 1.2 - COMMERCIAL AND MIXED-USE BUILDINGS)

PL3.B - RESIDENTIAL EDGES

- B2. GROUND-LEVEL RESIDENTIAL
- B3. BUILDINGS WITH LIVE/WORK USES (NCG 1.2 - COMMERCIAL AND MIXED-USE BUILDINGS)

PL3.C - RETAIL EDGES

- C3. ANCILLARY ACTIVITIES (NCG 1.3 - HUMAN ACTIVITY)

The courtyard meanders through the center of the site to provide a mix of landscaped and paved community spaces at grade, and connects via a landscaped path to the top of the podium for acces to upper level homes and private yards. These tiered public and private spaces will create opportunities for varied landscape design and character. The townhomes atop the podium feature higher roof decks that allow them capture views over the street-facing homes.

The Live/Work storefronts, canopies, and generous setbacks will provide these businesses a welcoming and direct connection to their customers and passers-by. There is also the possibility for access to the interior courtyard areas, keeping these spaces engaging, safer, and offering an expanded sense of community for residents and guests of the site alike.

Along 112th, the ground level of the townhomes has been set back five feet to accommodate private stoops up to raised entries. This creates separation and protection from pedestrian traffic, and combines with screening elements between each stoop to provide additional privacy and richer architectural detailing. Along NE Roosevelt Way, the ground entries to the commercial spaces have also been set back beyond the setback requirements to allow for activity directly in front of the varied live/work uses. Maximum transparency along these ground-level uses will extend retail uses and encourage pedestrian interaction.

DESIGN CONCEPT

DC1.B - VEHICULAR ACCESS AND CIRCULATION

- B1. ACCESS LOCATION AND DESIGN (NCG 3.3 - PARKING STRUCTURES)

DC1.C - PARKING AND SERVICE USES

- C2. VISUAL IMPACTS (NCG 3.3 - PARKING STRUCTURES)

DC2.A - MASSING

- A2. REDUCING PERCEIVED MASS (NCG 2.3 - HEIGHT, BULK + SCALE COMPATIBILITY)

DC2.D - SCALE AND TEXTURE

- D2. TEXTURE (NCG 2.3 - HEIGHT, BULK + SCALE COMPATIBILITY)

DC3.B - OPEN SPACE USES AND ACTIVITIES

- B4. MULTIFAMILY OPEN SPACE (NCG 3.1 - INTERIOR BLOCK PEDESTRIAN CONNECTIONS)

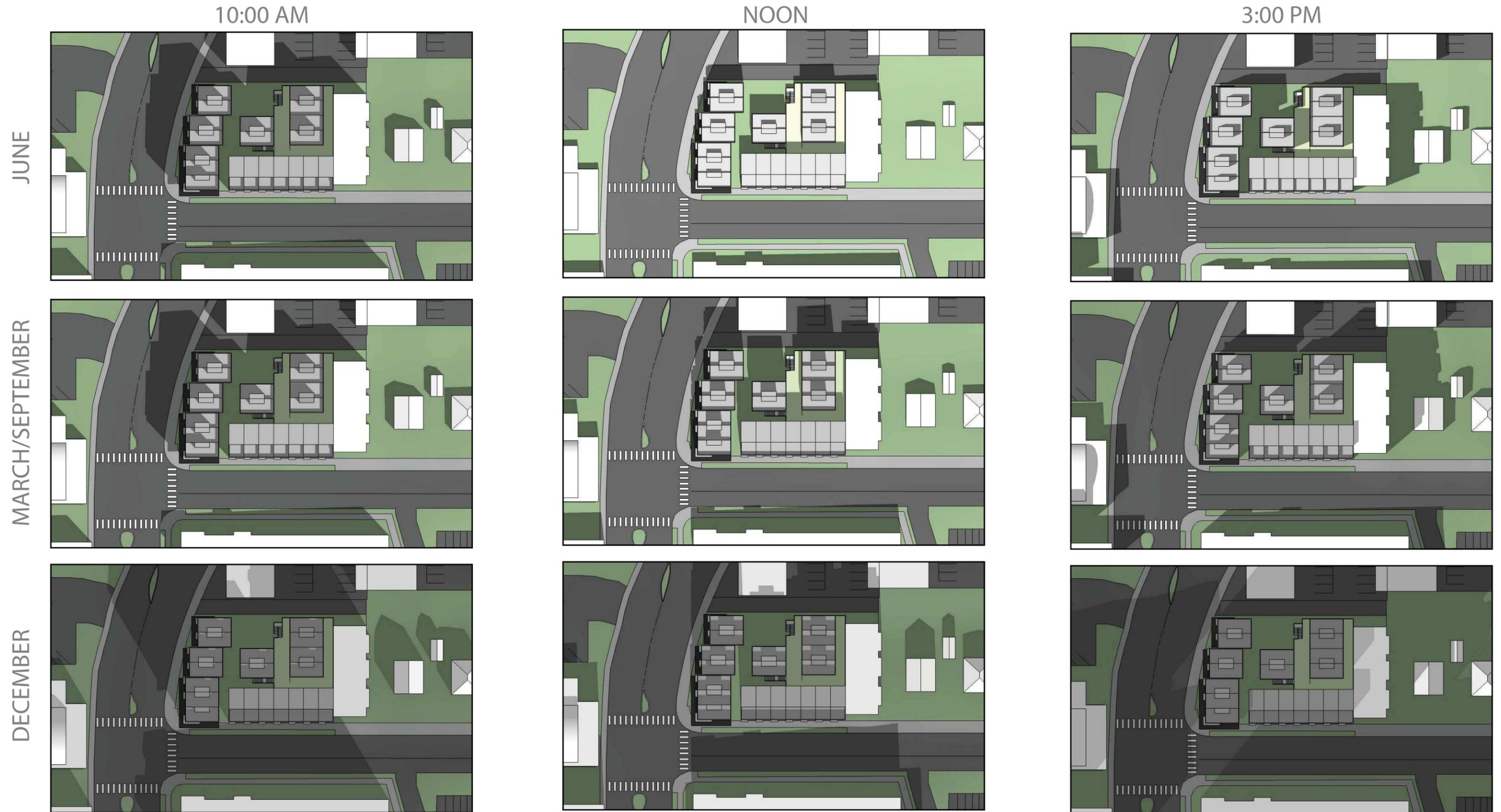
DC4.A - EXTERIOR ELEMENTS + FINISHES

- A1. EXTERIOR FINISH MATERIALS

The preferred scheme for this proposal includes an above-ground parking podium accessed from the existing alley, eliminating one existing sidewalk curb-cut and minimizing interference with the pedestrian flow along the street and when accessing interior courtyard spaces. The visible portions of the parking podium provide opportunities for expressive detailing, trellises, and decorative fresh-air grilles as appropriate.

The Live/Work units have been grouped into clusters and set back from the street in response to the curve of Roosevelt at this location, enhancing modulation and allowing a sense of verticality to what could be a very horizontally oriented building. On 112th, in addition to protected stoops, the top floor of each townhome along has been generously set back to provide roof decks and reduce the perceived mass along this side as it transitions to lower-density development beyond, and also allow territorial views from interior unit roof decks to be unobstructed.

The sense of community amongst the tenants and neighbors alike will be strengthened by the inclusion of viable commercial uses and shared open spaces. Additionally, this project will carefully develop a design and material palette that expresses the commercial elements while still complementary to the residential and open spaces. We look forward to adding a handsome and handy new member to this active neighborhood.



Appendix

E: Project Materials Board + Recent Noren Projects



PAINT COLORS (BENJAMIN MOORE)

RED ACCENTS

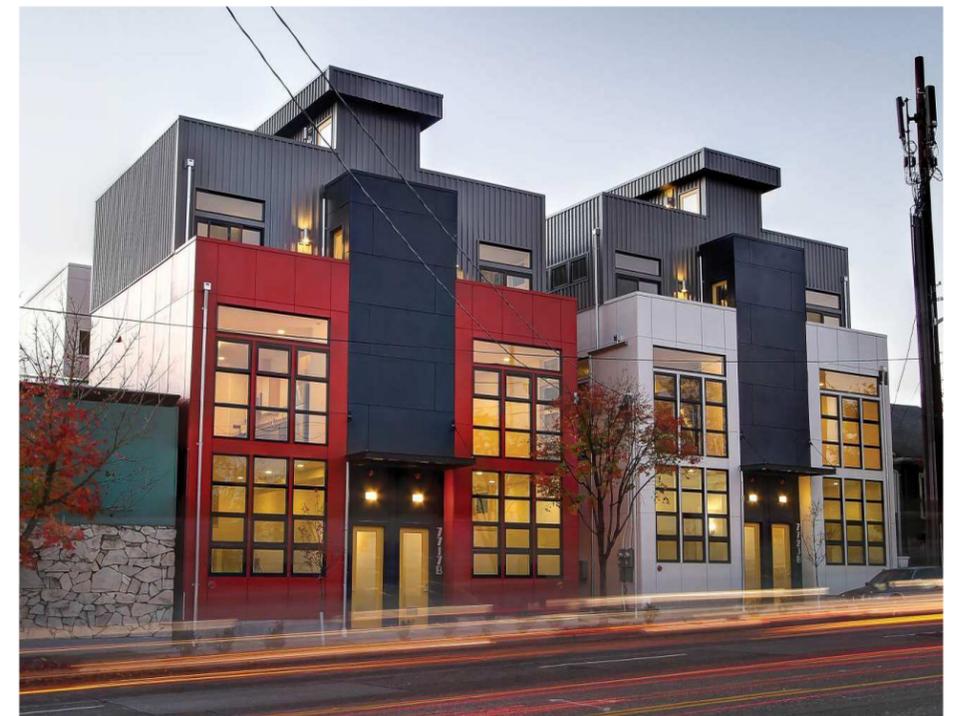
Dark	Candy Cane Red	[2079-10]
Medium	Blazing Orange	[2011-20]
Light	Mandarin Orange	[2018-20]

GRAY ACCENTS

Dark	Midsummer Night	[2134-20]
Medium	Whale Gray	[2134-40]
Light	Genesis White	[2134-70]

BOARD + BATTEN

Antiquity	[OC-107]
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Recent NK Projects



FOURTH + ROY TOWNHOMES



DAKOTA - MULTI-FAMILY



WOODLAND PARK TOWNHOMES



CREEKSIDE TOWNHOMES



HARBOR LIVE/WORK



GALER 8 TOWNHOMES



ADMIRAL LOFT TOWNHOMES



WALLINGFORD GREEN TOWNHOMES



SALVEO TOWNHOMES