

EARLY DESIGN GUIDANCE MEETING

SEATTLE HOTEL on 2ND & Stewart Street

1608 Second Avenue, Seattle, Washington 98101

Project Number : 3019290

July 28, 2015

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PROJECT SUMMARY

Prominently located at the very active corner of 2nd and Stewart in downtown Seattle, the proposed project is a 16 story, upscale boutique hotel with approximately 230 guestrooms featuring a top floor lounge with an outdoor terrace capitalizing on surrounding views of the downtown area and Puget Sound. Hotel amenities include a full service restaurant at street level designed to capture and enhance the essence of the neighborhood, a fitness and spa facility for guest use, and approximately 5,000 square feet of meeting space on the second level of the hotel.

The hotel building will anchor the north end of a city block shared with the proposed 40 story EQR Residential tower to the south which is currently under construction (DPD #3014773). The hotel parcel is bordered by an alley to the east, shared with the 10 story Macy’s Parking Garage.

There is no parking associated with the proposed hotel construction. The adjacent EQR Residential Building is constructing a 5 level, subterranean parking garage across the entire footprint of the site, from Pine Street to Stewart Street. All parking spaces from this garage are dedicated to the residential tower. The north portion of this subterranean garage (DPD #3016586) is being constructed as accessory and connecting to the 204 Pine Street Garage. The core and structural system for the north portion of the new garage has been designed to accommodate the structural loads and vertical transportation systems of the proposed 16 story hotel. The top level of the parking garage, Level P-1, being constructed by EQR will be utilized as back of the house and service areas for the proposed hotel. The bottom 4 levels will connect to the garage beneath the residential tower to the south.

The placement and size of the parking garage core and associated columns present a significant site constraint on the layout and configuration of the proposed hotel.

DEVELOPMENT OBJECTIVES

Create a structure that is engaged with the context of the surroundings

Anchoring the prominent corner of Second and Stewart with direct views down Stewart to Pike Place Market, the corner of the building is accentuated by a form and volume that acknowledges the importance of the intersection.

This corner feature culminates in a roofline that also frames the outdoor terrace area of the rooftop lounge and is expressive of the spectacular views toward the west and north while creating visual interest at the top of the building.

The preferred scheme acknowledges the shift in street grid which occurs along Second Avenue at Stewart Street. The shift in grid is directly represented in the building façade as well as in plan and is resolved just beyond the hotel entry on Second Avenue. The architectural shift is echoed throughout the façade along Second as well as Stewart, creating dramatic façade modulation.

The Second Avenue façade is further articulated at the base as an acknowledgement of the expressed podium of the adjacent EQR Residential Tower, creating a strong connection between the two buildings on the same block along Second.

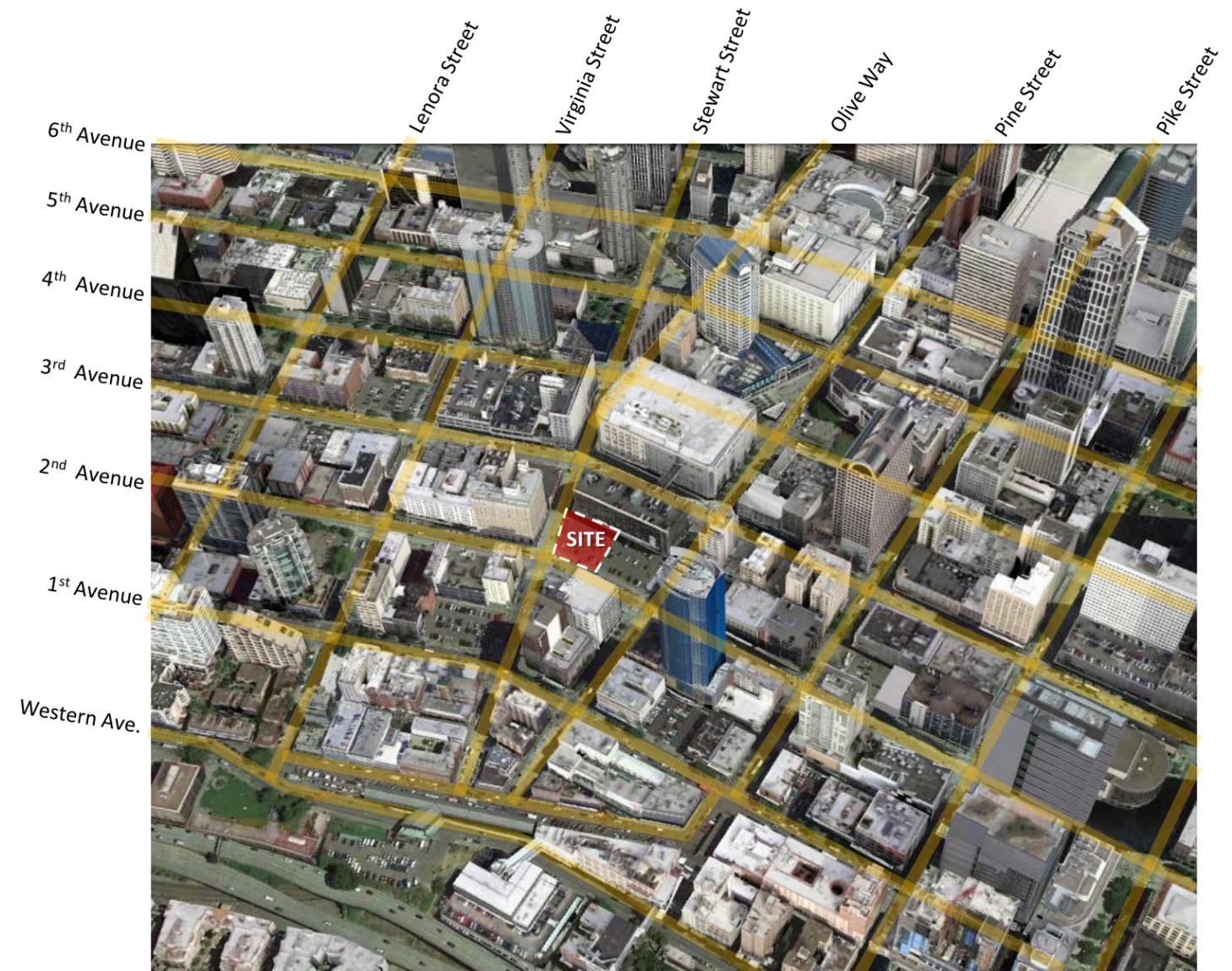
Encourage visual interaction

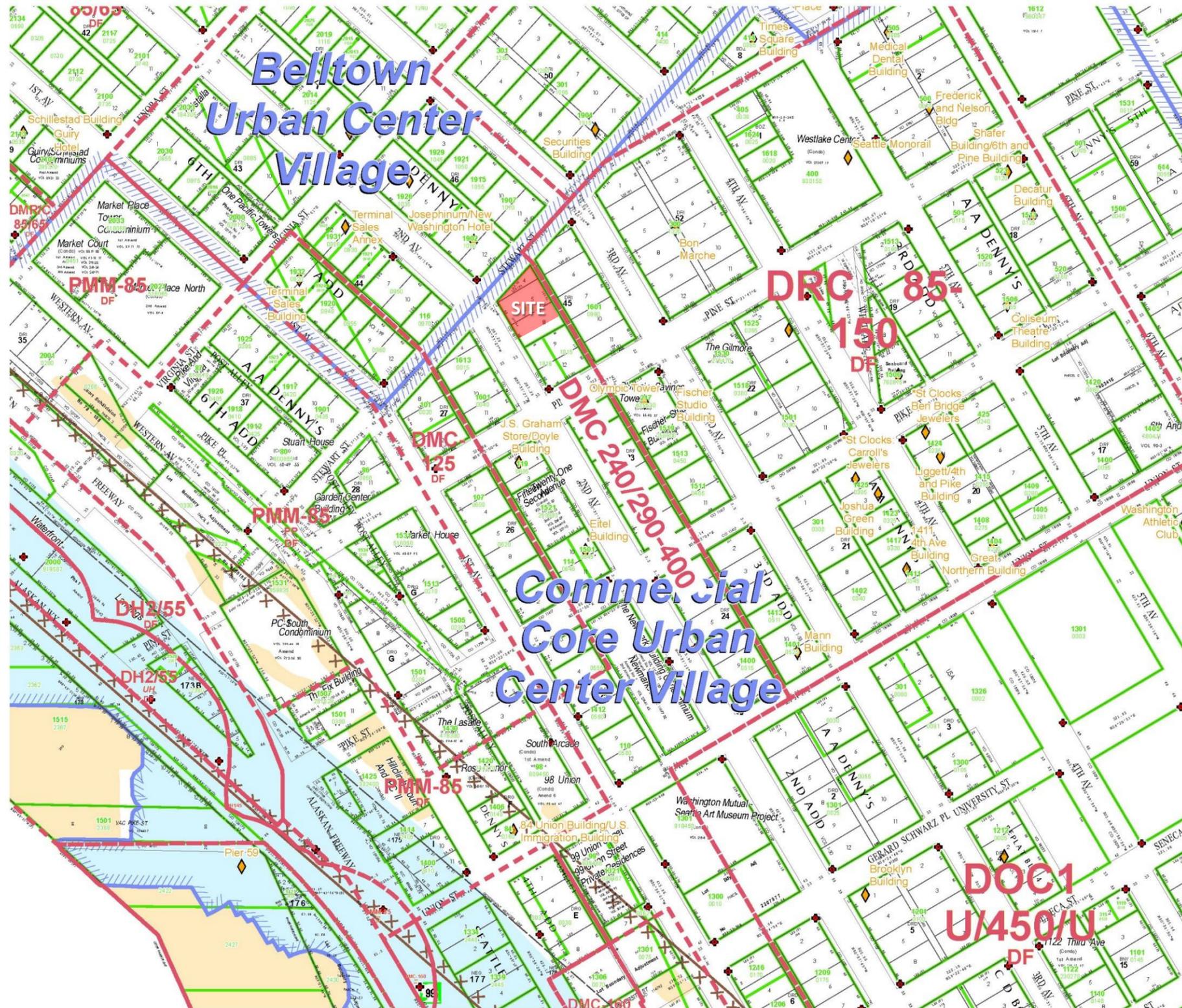
The area surrounding the project site is a very active pedestrian zone. The hotel project proposes to array the restaurant, bar, and hotel lobby functions along the street frontages to the fullest extent possible, in order to enhance the pedestrian experience as well as to encourage patronage to the restaurant and bar from passers-by. It is anticipated that the hotel bar will be situated directly at the corner, with large expanses of glass allowing pedestrians ample view into the building as well as guest and visitor views from the restaurant, bar, and lobby with views back out to the sidewalk and street. The restaurant space would turn the corner and occupy 100% of the Stewart Street frontage.

The hotel lobby is anticipated to be an active area, seamlessly open to the bar and restaurant, and oriented directly onto Second Avenue with a double high section directly at the hotel entrance and expressed through the exterior architecture. Administrative office spaces are limited along Second and will be provided with ample glazing to minimize blank façade areas.

The mass of the building breaks down from the tower above beginning with a pronounced recess in the façade at level two, the meeting room level, providing a more pedestrian scaled massing at the corner. The projected overhang following the plan of the building provides ample pedestrian cover at the sidewalk level.

The dramatic corner element, shifted in plan to acknowledge the street grid change is vertically culminated through the expression of an open air terrace at the top floor, directly connected to a hospitality lounge. The roof covering of this terrace pushes above the main roof level to mark the distinct termination of the expressive corner form. Echoes of the shift in grid create a folded façade effect continuing eastward down Stewart Street.





PROJECT ADDRESS
1608 Second Avenue, Seattle, Washington 98101

KING COUNTY PARCEL NUMBERS
1977200990

SITE AREA
13,116 SF

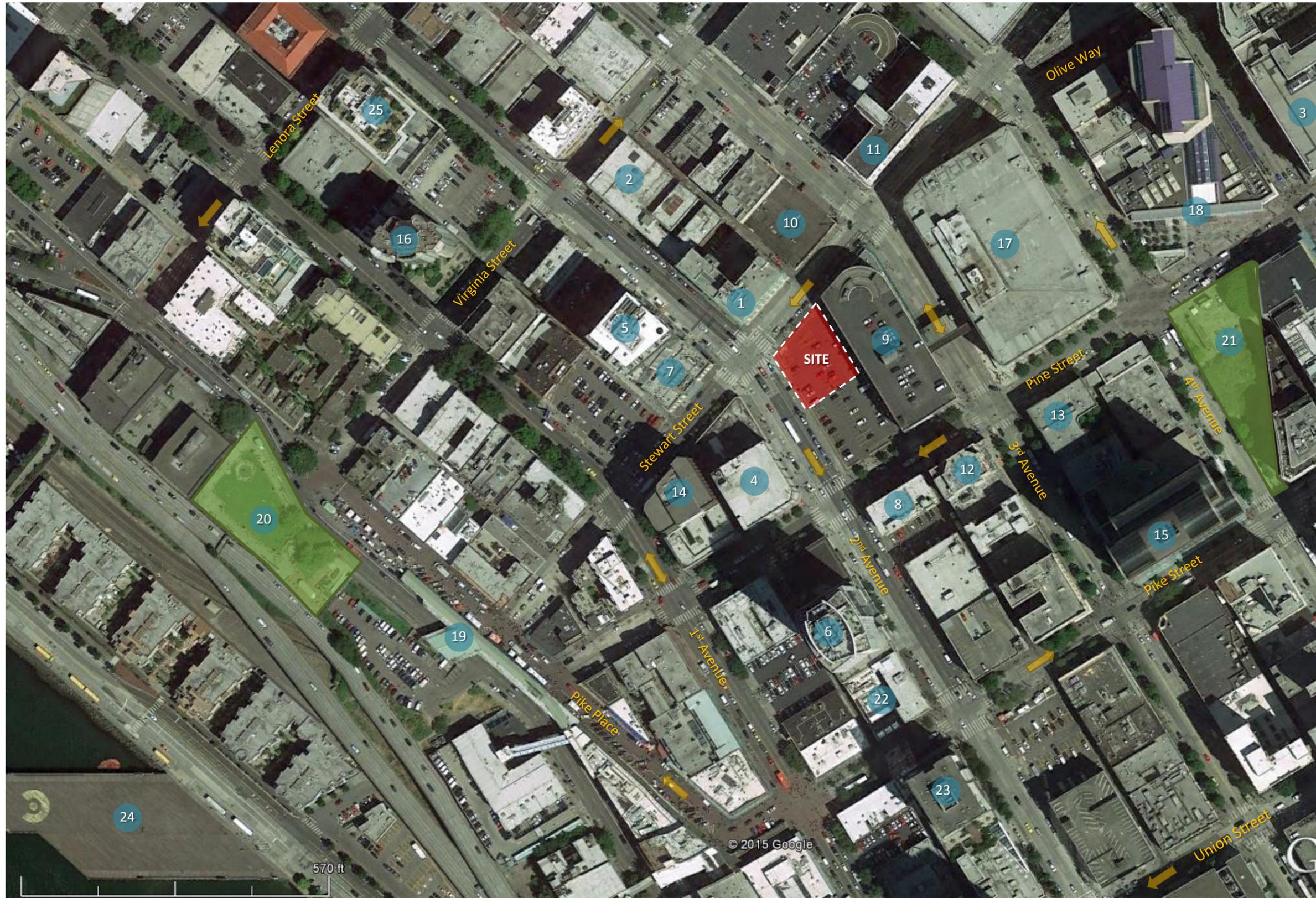
GROSS BUILDING AREA ABOVE GRADE
178,867 SF

OVERLAY DISTRICT
Commercial Core Urban Center Village

ZONING CLASSIFICATION
DMC 240/290-400

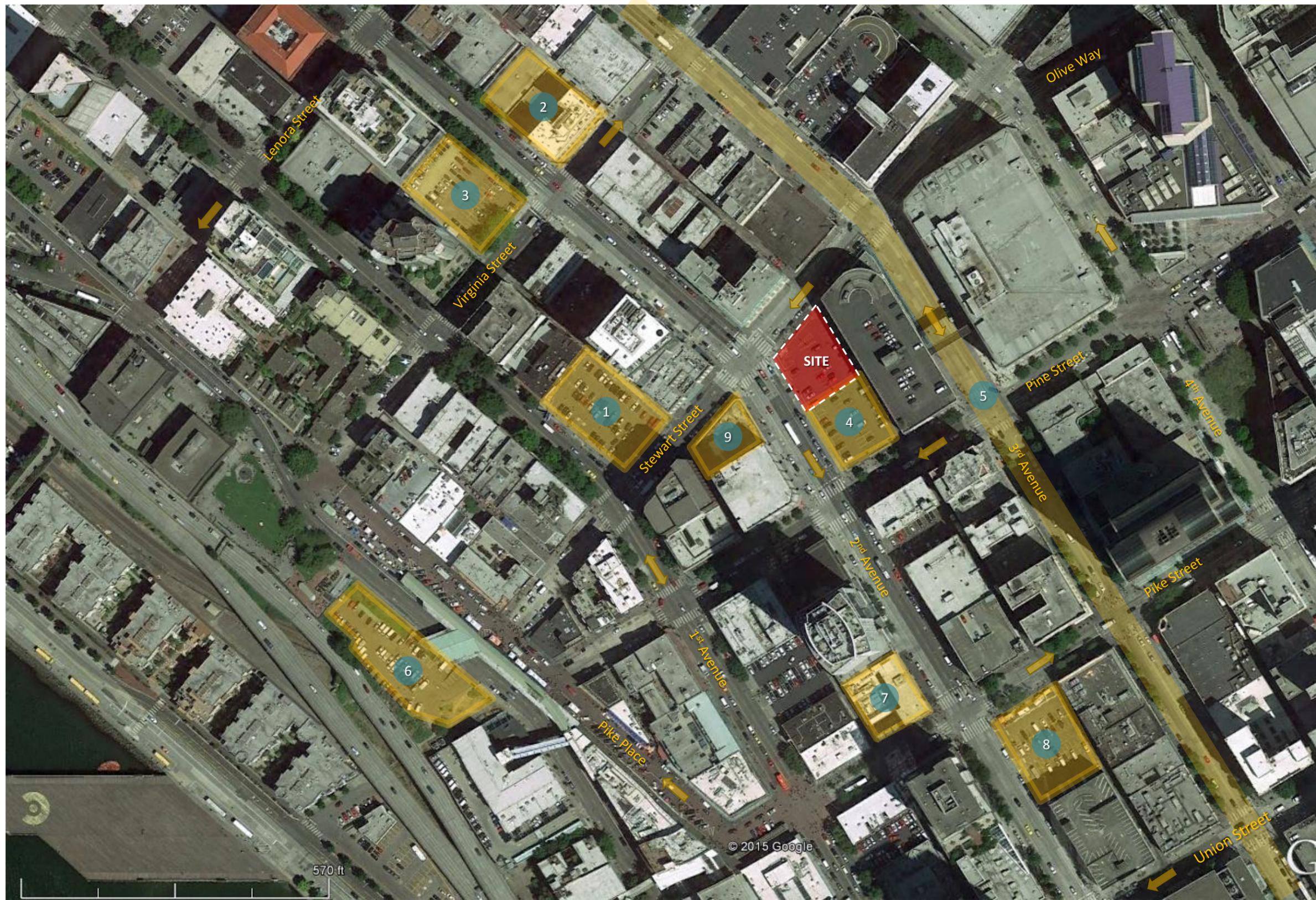
STREET CLASSIFICATIONS
Stewart Street:
Class | Pedestrian Street
Principal Transit Street:
No view corridors
Second Avenue:
Class | Pedestrian Street
Principal Transit Street:
No view corridors





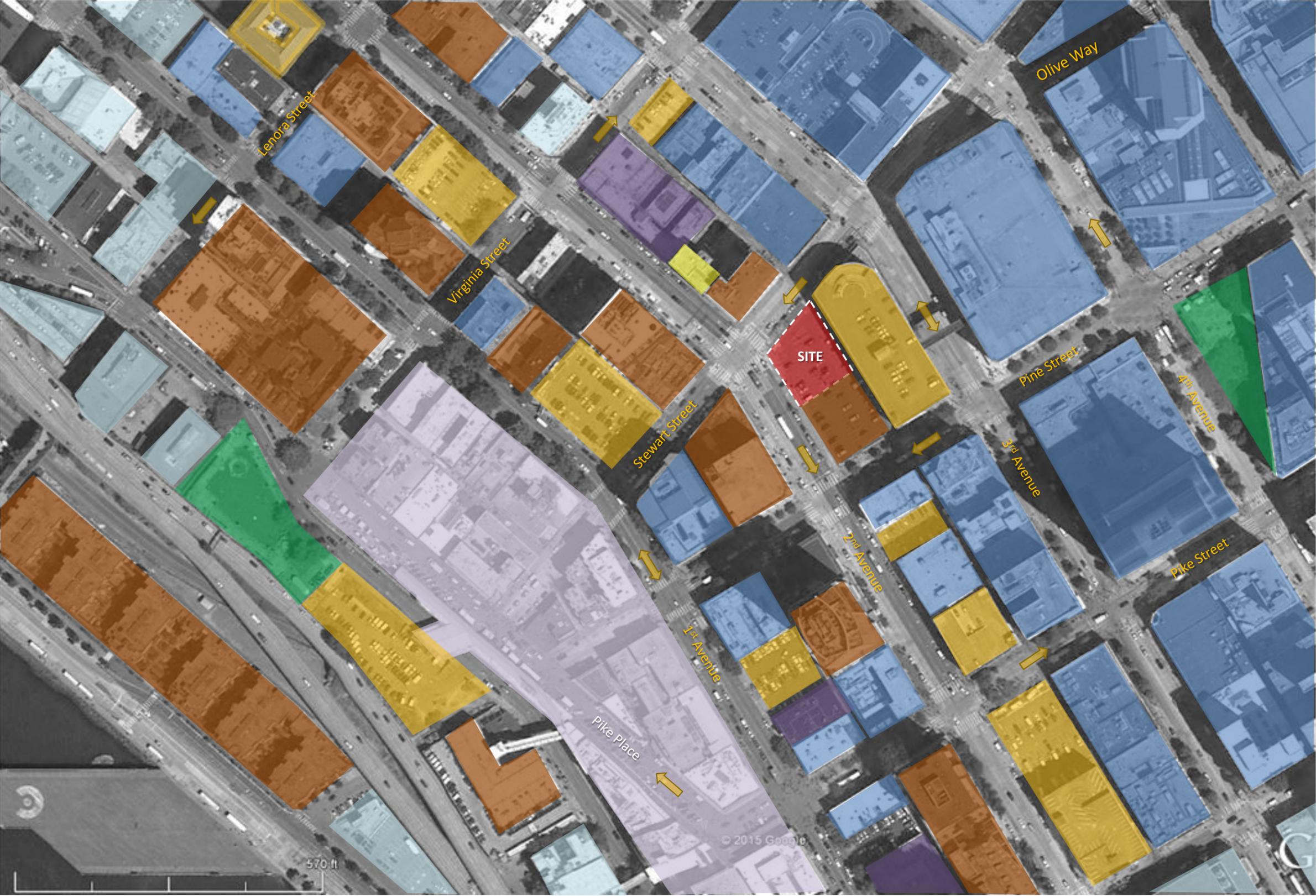
1. Josephinum
2. Moore Hotel & Theatre
3. Nordstrom
4. Broadacres Building
5. Viktoria Apartments
6. Fifteen Twenty-One 2nd Avenue Condo
7. Plymouth on Stewart
8. Second & Pine Apartments
9. Bon Macy's Parking Garage
10. Bergman's Luggage
11. Securities Building
12. Olympic Tower Condominium
13. The Gilmore
14. First & Stewart Building
15. Century Square 1
16. One Pacific Towers Condominium
17. Macy's Downtown Seattle
18. Westlake Center
19. Pike Place Market
20. Victor Steinbrueck Park
21. Westlake Park
22. Eitel Building
23. Newmark Tower/ Target
24. Pier 62 & 63
25. Cristalla Residences





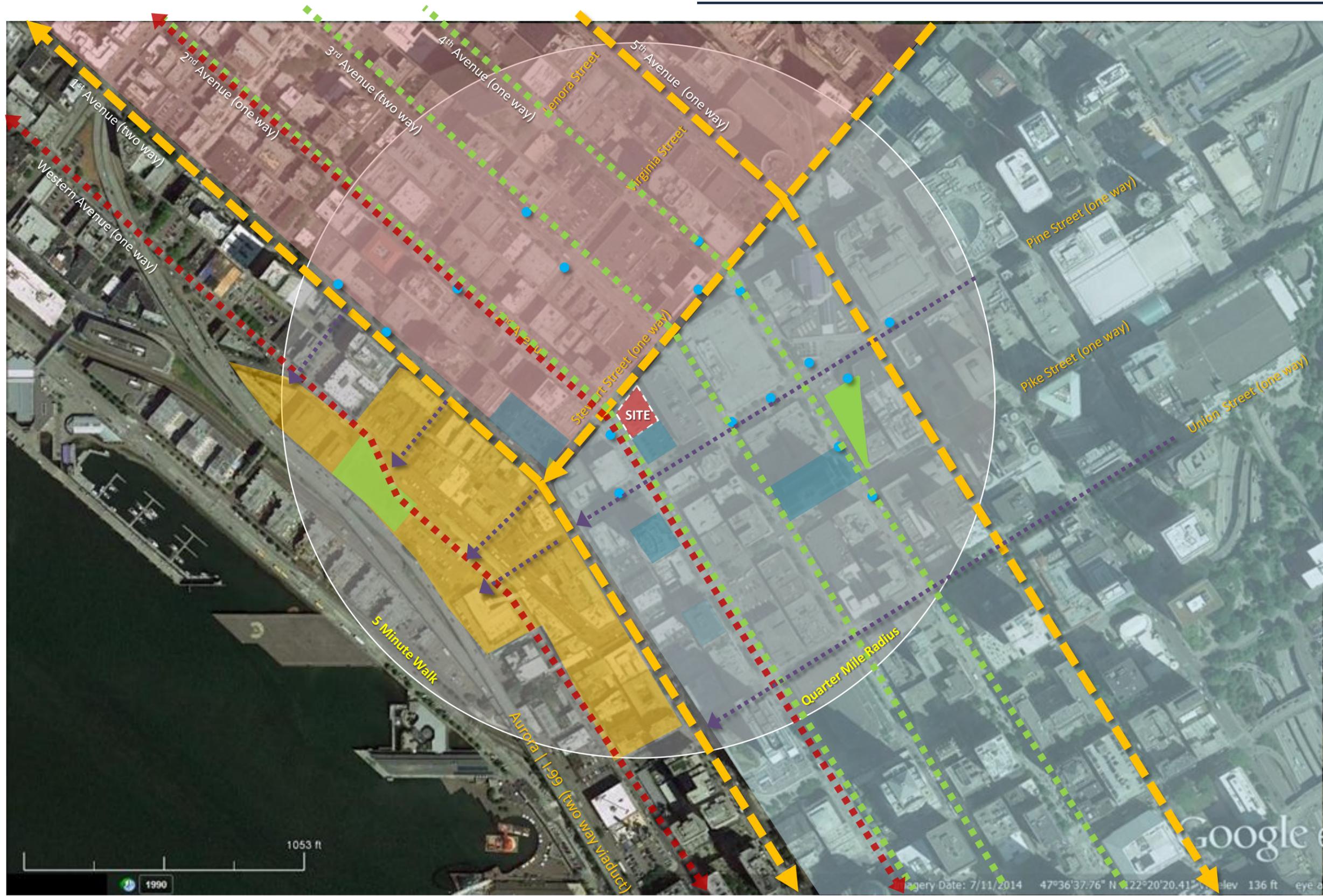
- 1. 1900 1st Avenue - Apartments / Hotel
- 2. 2000 2nd Avenue - 9-story Hotel
- 3. 2001 2nd Avenue
- 4. 204 Pine Street
- 5. 3rd Avenue Bus Corridor Improvements
- 6. PC1-North
- 7. Eitel Building
- 8. 1430 2nd Avenue
- 9. 121 Stewart – 39-story Mixed-Use





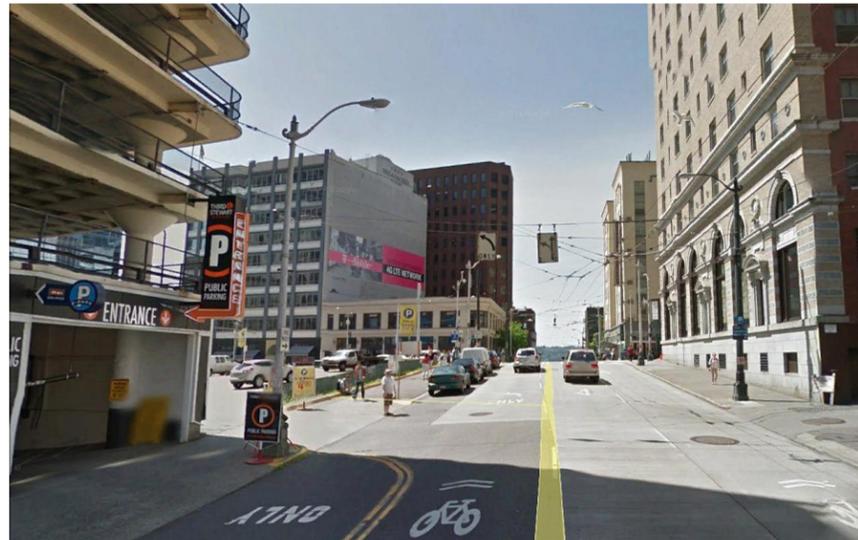
- Commercial / Office
- Residential Mixed-Use
- Parking
- Hotel
- Cultural
- Arts & Entertainment
- Park
- Site



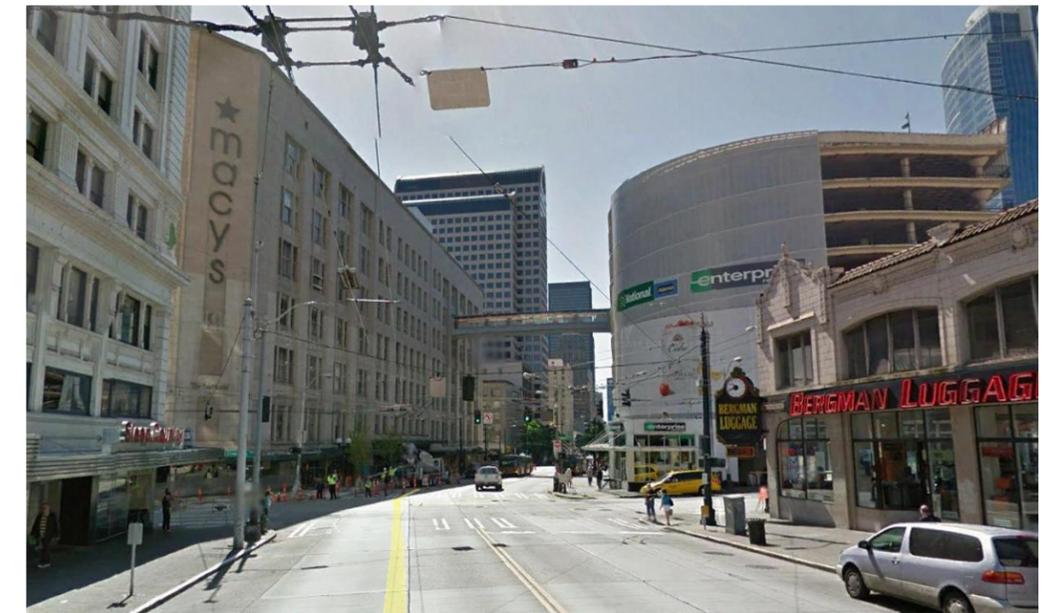
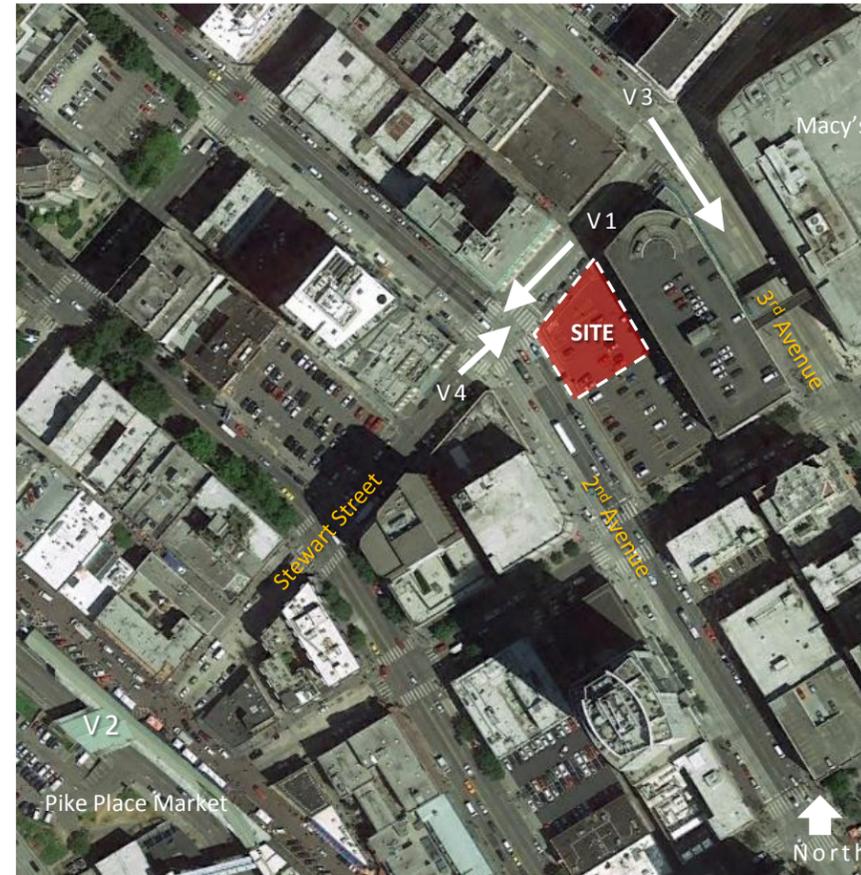


- Commercial Core
- Belltown
- Pike Place Market
- Towers
- Park
- Transit
- Main Street
- Major Bus Route
- Bike Route
- View Corridors





V1 – View looking down Stewart Street towards Pike Place Market



V3 - Intersection of Stewart Street and 3rd Avenue showing Macy's building and the 10 level parking structure located adjacent to the project site.



V2 - Pike Place Public Market



The First Starbucks Coffee Shop



V4 - Intersection of Stewart Street and 2nd Avenue showing Christ Our Hope Catholic Church on the left and the 10 level parking structure located adjacent to the project site.

* Photos from Google Earth



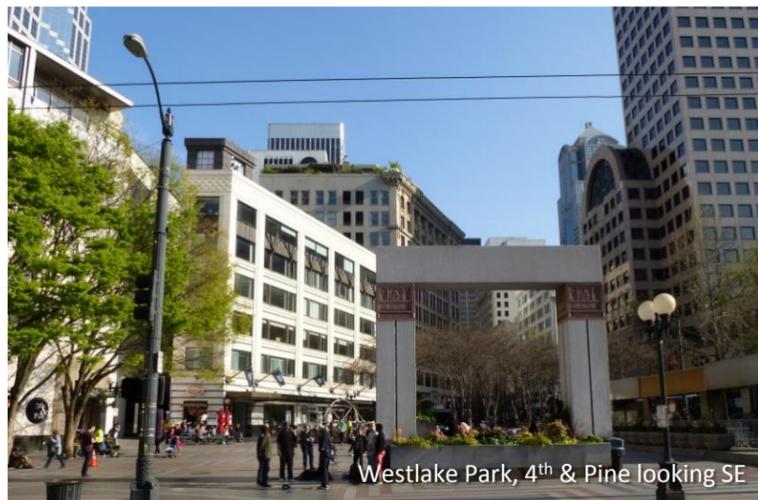
Bell Street Park, 2nd & Bell St looking SW



Pike Place Market entrance, 1st & Pike St looking SW



Westlake Center, 4th & Pine looking N



Westlake Park, 4th & Pine looking SE



Sanitary Public Market, 1st & Pine St looking S



Macy's, 4th & Pine looking SW



3rd & Stewart looking W



Escala Condominiums, 414 Stewart St Building, The Westin Hotel, Time Square Building, 4th & Stewart looking N



3rd & Virginia view looking SW



2nd & Pine – Doyle Building



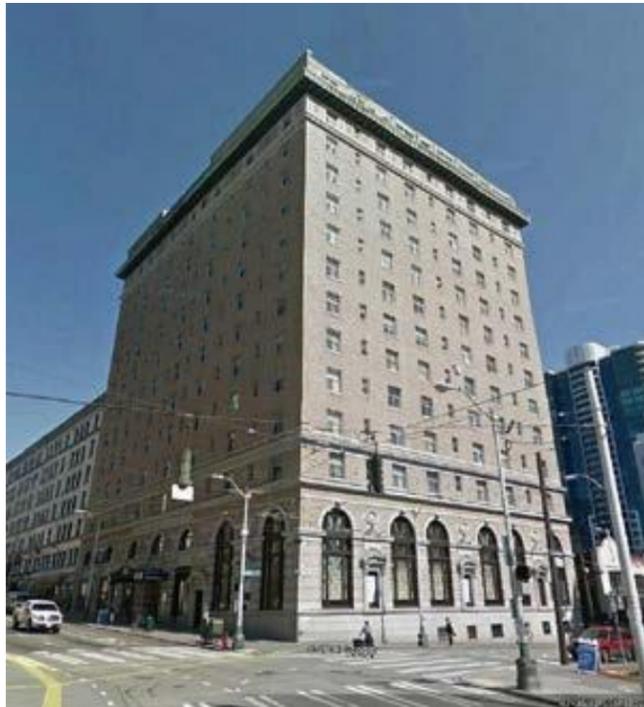
1st & Virginia



101 Stewart



204 Pine Street



Josephinum Building



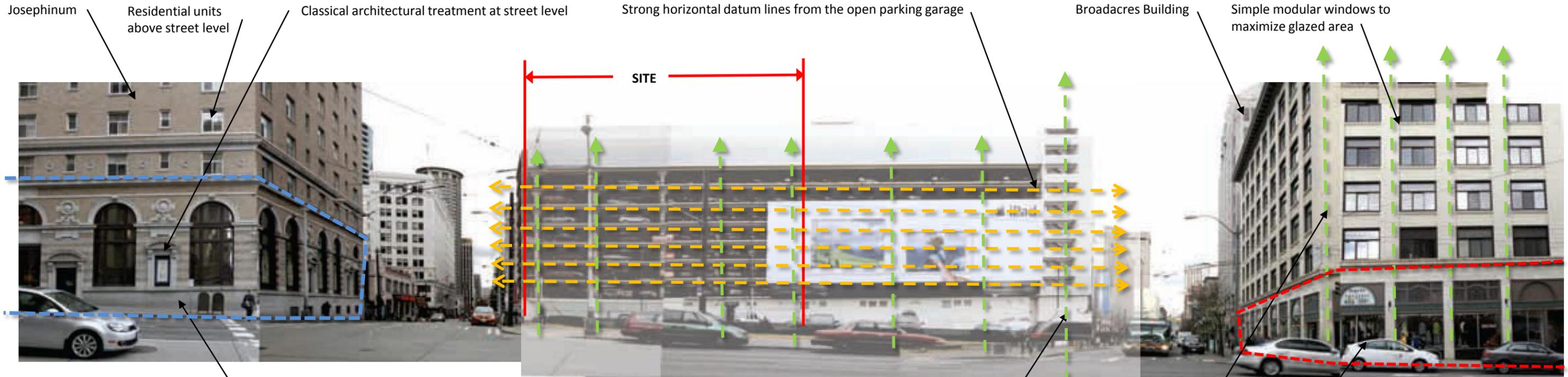
Proposed Hotel for 1st & Stewart



Crystallia Building

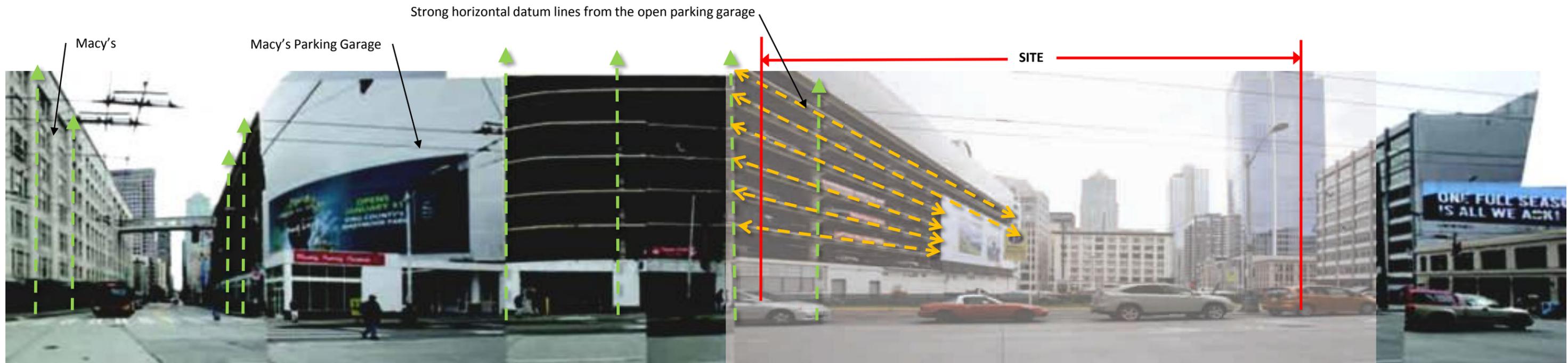


Terminal Sales Building

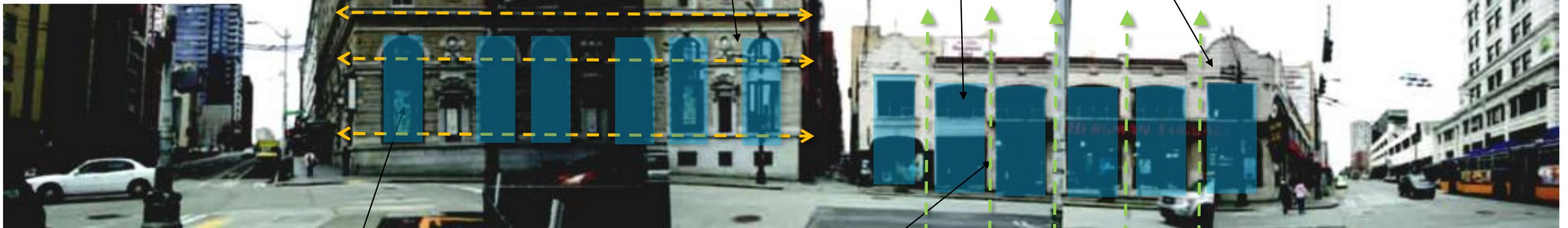


EAST SIDE OF SECOND AVENUE

WEST SIDE OF SECOND AVENUE

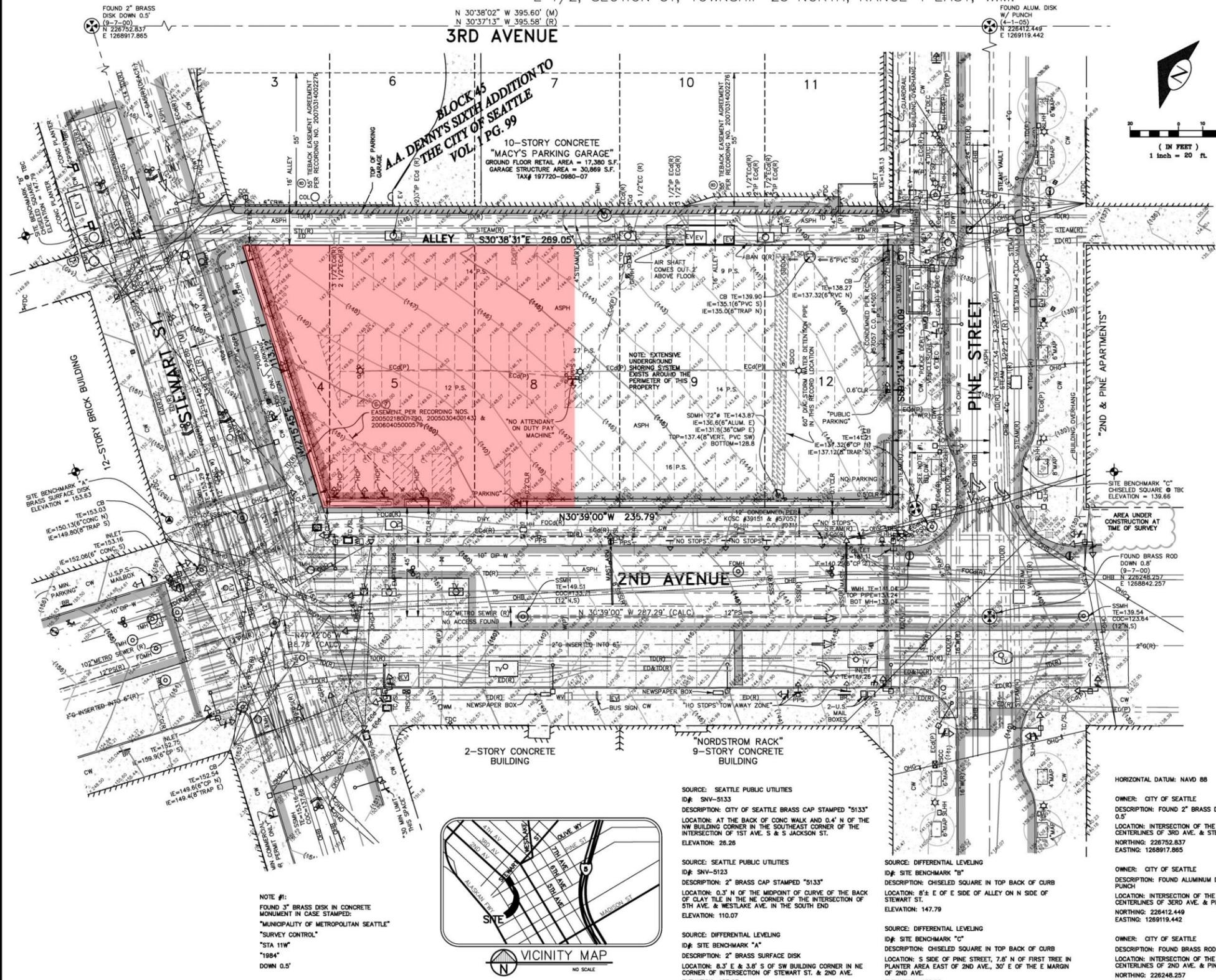


SOUTH SIDE OF STEWART STREET



NORTH SIDE OF STEWART STREET

E 1/2, SECTION 31, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M.



- LEGEND**
- ABAN ABANDONED
 - ASPH ASPHALT
 - BR ASPHALT EDGE
 - BLDNG LINE BUILDING LINE
 - BC BUILDING CORNER
 - BOLLARD BOLLARD
 - CANOPY CANOPY
 - CB CATCH BASIN
 - CC CONCRETE CURB
 - CO CONCRETE SURFACE (CONC)
 - COL CONDEMNATION ORDINANCE COLUMN
 - COLN CONIFEROUS TREE
 - CP CENTERLINE
 - CP CONCRETE PIPE
 - CRW CONCRETE RETAINING WALL
 - CW CHAIN LINK FENCE (CLF)
 - CONC WALK CONCRETE WALK
 - DEC DECIDUOUS TREE
 - DWY DRIVEWAY
 - ED ELECTRICAL DUCT (BURIED)
 - EDH ELECTRICAL HANDHOLE
 - EM ELECTRICAL METER
 - EMH ELECTRICAL MANHOLE
 - EV ELECTRICAL VAULT
 - FFE FINISHED FLOOR ELEVATION
 - FOCD FIBER OPTICS CONDUIT (BURIED)
 - FOMH FIBER OPTICS MANHOLE
 - FM FOUND MONUMENT IN CASE
 - FSM FOUND SURFACE MONUMENT
 - GAS MAN GAS MAN
 - GM GAS METER
 - GV GAS VALVE
 - GV GAS VAULT
 - GP QUY POLE (WOOD)
 - HCP HANDICAPPED PARKING
 - HCP HANDICAPPED PARKING
 - HH HANDHOLE
 - IE INVERT ELEVATION
 - IP IRON PIPE
 - LM LIGHT POLE (METAL)
 - LO LIGHT POLE (ORNAMENTAL)
 - LSCAPE LANDSCAPE PLANTER
 - MANHOLE MANHOLE
 - ML MONUMENT LINE
 - MAP MAPLE TREE
 - MW MONITOR WELL
 - OHBC OVERHEAD BUS CABLE
 - OHG OVERHEAD GUY LINE
 - OHP OVERHEAD POWER LINE
 - OHT OVERHEAD TELEPHONE LINE
 - OFIL OIL FILL CAP
 - PAINTED UTILITY LOCATION PAINTED UTILITY LOCATION
 - PL PLANTER
 - PPS PARKING PAY STATION
 - PSP PARKING SPACE
 - PS PEDESTRIAN SIGNAL
 - PSD COMBINED SEWER
 - PSS PIPE STORM DRAIN
 - PSS SANITARY SEWER
 - PCB PRIVATE CATCH BASIN
 - RD RECORD DATA
 - SD SERVICE DRAIN
 - SDO STORM DRAIN CLEANOUT
 - SSS SANITARY SIDE SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SIGN SIGN
 - SP STRAIN POLE (METAL)
 - SL STRAIN POLE W/LUMINAIRE
 - STREET LIGHTING STREET LIGHTING
 - TC TRAFFIC CONTROL
 - TRSCC TRAFFIC CONTROL CABINET
 - Tcd TELEPHONE CONDUIT (BURIED)
 - TD TELEPHONE DUCT (BURIED)
 - TMH TELEPHONE MANHOLE
 - TV TELEPHONE VAULT
 - TS TRAFFIC SIGNAL
 - TFD TRAFFIC FLOW DIRECTION
 - MAILBOX - FEDERAL MAILBOX - FEDERAL
 - WL WATER LINE
 - WG WATER GATE VALVE/ CHAMBER
 - WM WATER METER
 - M WATER VALVE
 - WV WATER VAULT

TOPOGRAPHIC & BOUNDARY SURVEY

QUARLES & BRADY, LLP

VICINITY OF 2ND AVE. & PINE ST.

SEATTLE KING COUNTY WASHINGTON

DATE: 09/27/13

NO.	REVISION	DATE
1	ADDED 60" DETENTION SYSTEM	

drawn by: FWH checked by: DAB

scale: 1" = 20' date: 09/13

job no.: 2005056.16

sheet 1 of 1



BUSH, ROED & HITCHINGS, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 LICENSE NO. 1460-232-0008
 SEATTLE, WASHINGTON
 98102-3013
 PAPER TITLE: BTRC-0206

SOURCE: SEATTLE PUBLIC UTILITIES
 ID#: SNV-5133
 DESCRIPTION: CITY OF SEATTLE BRASS CAP STAMPED "5133"
 LOCATION: AT THE BACK OF CONC WALK AND 0.4' N OF THE NW BUILDING CORNER IN THE SOUTHEAST CORNER OF THE INTERSECTION OF 1ST AVE. S & S JACKSON ST.
 ELEVATION: 26.26

SOURCE: SEATTLE PUBLIC UTILITIES
 ID#: SNV-5123
 DESCRIPTION: 2" BRASS CAP STAMPED "5133"
 LOCATION: 0.3' N OF THE MIDPOINT OF CURVE OF THE BACK OF CLAY TILE IN THE NE CORNER OF THE INTERSECTION OF 5TH AVE. & WESTLAKE AVE. IN THE SOUTH END
 ELEVATION: 110.07

SOURCE: DIFFERENTIAL LEVELING
 ID#: SITE BENCHMARK "A"
 DESCRIPTION: 2" BRASS SURFACE DISK
 LOCATION: 8.3' E & 3.8' S OF SW BUILDING CORNER IN NE CORNER OF INTERSECTION OF STEWART ST. & 2ND AVE.
 ELEVATION: 153.83

SOURCE: DIFFERENTIAL LEVELING
 ID#: SITE BENCHMARK "B"
 DESCRIPTION: CHISELED SQUARE IN TOP BACK OF CURB
 LOCATION: 8' E OF E SIDE OF ALLEY ON N SIDE OF STEWART ST.
 ELEVATION: 147.79

SOURCE: DIFFERENTIAL LEVELING
 ID#: SITE BENCHMARK "C"
 DESCRIPTION: CHISELED SQUARE IN TOP BACK OF CURB
 LOCATION: S SIDE OF PINE STREET, 7.8' N OF FIRST TREE IN PLANTER AREA EAST OF 2ND AVE., 30' E OF THE E MARGIN OF 2ND AVE.
 ELEVATION: 139.66

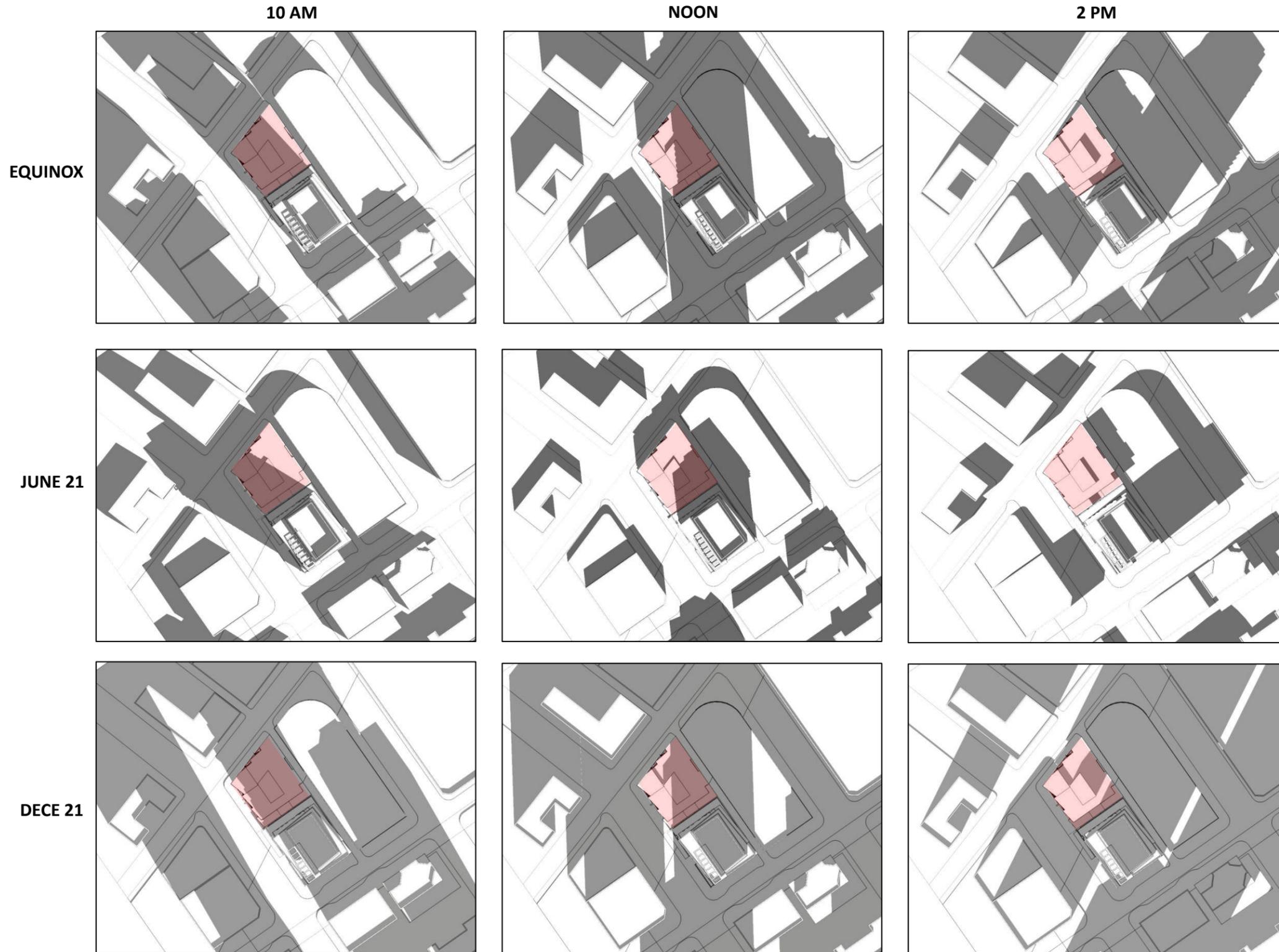
HORIZONTAL DATUM: NAVD 88

OWNER: CITY OF SEATTLE
 DESCRIPTION: FOUND 2" BRASS DISK DOWN 0.5'
 LOCATION: INTERSECTION OF THE CENTERLINES OF 3RD AVE. & STEWART ST.
 NORTHING: 228752.837
 EASTING: 1268917.865

OWNER: CITY OF SEATTLE
 DESCRIPTION: FOUND ALUMINUM DISK W/ PUNCH
 LOCATION: INTERSECTION OF THE CENTERLINES OF 3RD AVE. & PINE ST.
 NORTHING: 228412.449
 EASTING: 1269119.442

OWNER: CITY OF SEATTLE
 DESCRIPTION: FOUND BRASS ROD DOWN 0.8'
 LOCATION: INTERSECTION OF THE CENTERLINES OF 2ND AVE. & PINE ST.
 NORTHING: 228248.257
 EASTING: 1268842.257

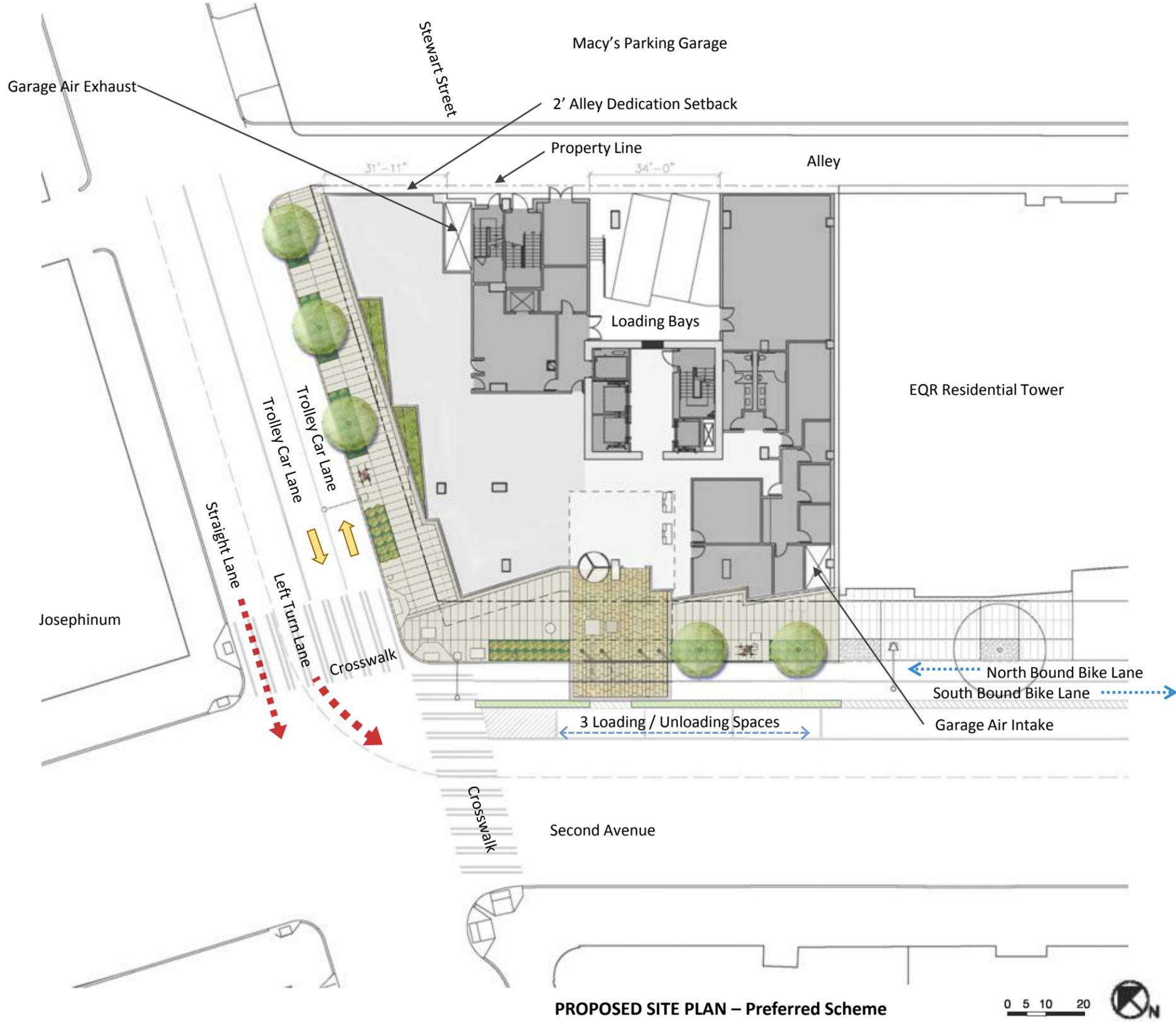




SHADOW ANALYSIS SUMMARY

The Building Shadow Analysis of the proposed hotel indicates a modest impact to the surrounding area and sidewalks due to the limited height of the structure at 160'. The sun shading impact of the immediate area is dominated by the adjacent 400' EQR Residential Tower along with the proposed 400' residential development directly across Second Avenue, along with other high-rise structures in the immediate area.





PROPOSED SITE PLAN – Preferred Scheme



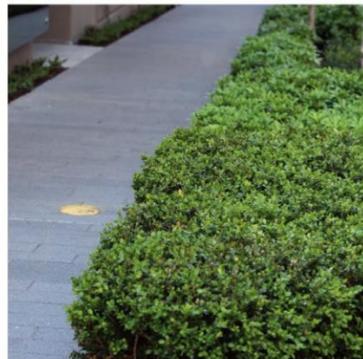
4



5



3



Buxus sempervirens
Boxwood (dwarf)



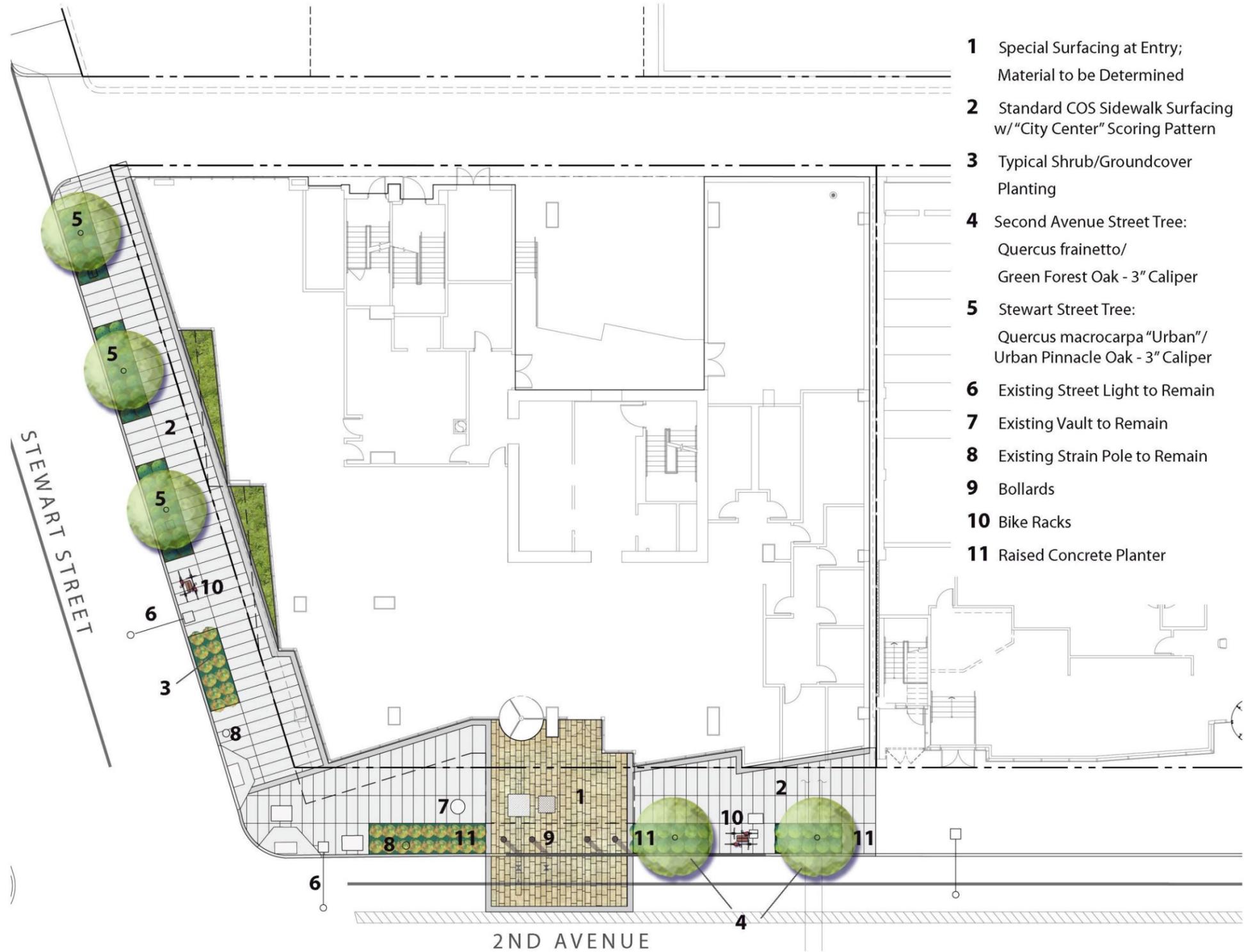
Pennisetum alopecuroides
Fountain Grass



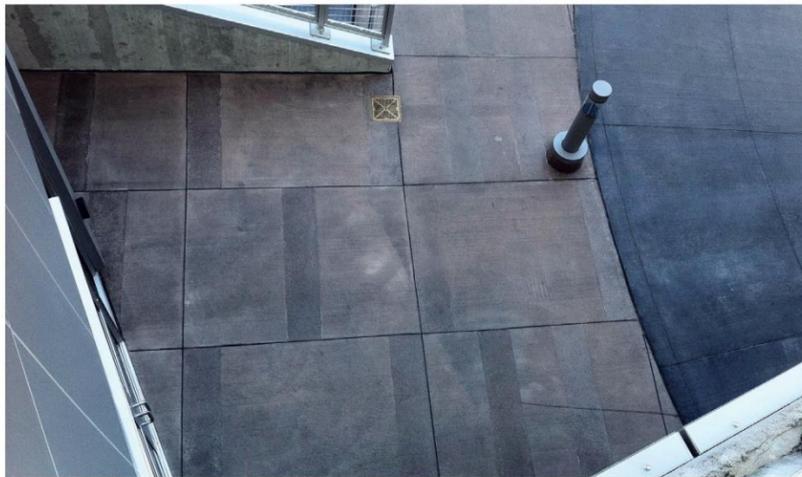
Liriope spicata
Creeping Lily Turf



Nandina domestica ssp.
Heavenly Bamboo



- 1 Special Surfacing at Entry;
Material to be Determined
- 2 Standard COS Sidewalk Surfacing
w/"City Center" Scoring Pattern
- 3 Typical Shrub/Groundcover
Planting
- 4 Second Avenue Street Tree:
Quercus frainetto/
Green Forest Oak - 3" Caliper
- 5 Stewart Street Tree:
Quercus macrocarpa "Urban"/
Urban Pinnacle Oak - 3" Caliper
- 6 Existing Street Light to Remain
- 7 Existing Vault to Remain
- 8 Existing Strain Pole to Remain
- 9 Bollards
- 10 Bike Racks
- 11 Raised Concrete Planter



Potential Hardscape Materials



Street Furnishing Palette

LAND USE CODE SUMMARY

King County Parcel # 1977200990
Zoning Classification DMC240/290-400

23.49.008 Structure Height

The base structure height for non-residential use is 240'.

The proposed structure height is 160' to the top floor roof line and is restricted by 23.49.058 F.2 Tower Spacing.

23.49.011 Floor area ratio

Table A: Base = 5; Max = 7. Combined lot development (23.49.041) for the lot area.
 Bonus FAR 23.49.011; 23.49.012; 23.49.013-015

The proposal complies utilizing the combined lot development and bonus FAR.

23.49.018 Overhead Weather Protection and Lighting.

A. Continuous overhead weather protection shall be required for new development along the entire street frontage of a lot except along those portions of the structure facade that:

A1. are located farther than five (5) feet from the street property line

B. Overhead weather protection shall have a minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less.

The proposal complies.

23.49.019 Parking quantity, location and access requirements, and screening and landscaping of surface parking areas.

The proposal provides no parking for the hotel. All vehicles will be parked via valet parking.

23.49.019.E Bicycle parking

Table A for 23.39.019 Minimum Bicycle Parking Requirement: Hotel: .05 spaces per hotel room

The proposal intends to comply.

23.49.022 Minimum Sidewalk and Alley Width

MAP C; Stewart Street to be increased 3'; a 2' alley dedication is required.

The proposal complies on 2nd Avenue as the sidewalk already meets the required width;

The proposal complies with the 2' alley dedication;

The proposal complies on Stewart Street with exception of one required structural columns to the garage structure below at the corner of 2nd and Stewart. The column and cladding projection into the required sidewalk width is 12". Column cannot be relocated due to existing location at garage levels below.

SMC 23.49.056 Street facade, landscaping, and street setback requirements

A. Minimum Facade Height. Table A, Class 1 pedestrian streets: 25'

The facade heights on Stewart and 2nd Ave. will exceed 25'.

C. Facade Transparency Requirements.

4.a. Class I pedestrian streets: A minimum of 60 percent of the street level street-facing facade shall be transparent.

The proposed facades provides 60% or greater transparency for the required portions of the structure at street level.

D. Blank Facade Limits.

2.a. Blank facades shall be no more than 15 feet wide except segments with garage doors may exceed a width of 15 feet and may be as wide as the driveway plus 5 feet. Blank facade segment width may be increased to 30 feet if the Director in a Type I decision determines that the facade segment is enhanced by features with visual interest such as architectural detailing, artwork, landscaping, or similar features.

b. Any blank segments of the facade shall be separated by transparent areas at least 2 feet wide.

c. The total width of all blank facade segments, including garage doors, shall not exceed 40 percent of the street-facing facade of the structure on each street frontage, or 50 percent if the slope of the street frontage of the facade exceeds 7.5 percent.

The proposed structure intends to comply. The southern portion of the 2nd Avenue façade which may exceed 15' will provide an appropriate treatment (living wall, materiality change, etc.) to mitigate the blank wall length.

E. Street Tree Requirements. Street trees are required on all streets that have a pedestrian classification and abut a lot.

The proposal complies.

23.49.058.C Facade Modulation

Facade modulation required above 85' for portions of the structure within 15' of a street property line. Length of unmodulated facades decreases per Table 23.49.058A

Façade modulation not required as width of tower above 85' is less than 155' per Table 23.49.058 A

23.49.058.E Tower Floor Area Limits

Table 23.49.058D1: 10,700 sf average floor area for structures exceeding the base height; The maximum floor area of any story in a tower is 11,500 sf

This section does not apply to this proposal.

23.49.058.E.2 Maximum Tower Width

Maximum facade width above 85' along 2nd Ave. Limited to 80% of the street frontage or 120' whichever is less

The proposal's maximum tower width above 85' along Second Avenue is 90'. The proposal complies.

23.49.058.F Tower Spacing

No separation required between structures on the same block that is 160 feet or less, excluding rooftop features permitted above the applicable height limit for the zone pursuant to Section 23.49.008.

The proposal complies as the height of the proposed building is 160 feet.

DOWNTOWN DESIGN GUIDELINES

A-1 Respond to the physical environment.

Develop an architectural concept and compose the building’s massing in response to geographic conditions and patterns of urban form found beyond the immediate context of the building site.

The proposal site is located at a street grid change along Second Avenue at Stewart. The preferred scheme acknowledges this shift in grid in a dramatic fashion, both in building massing at the corner as well as in plan. The shift is echoed along the building façade along Second and Stewart.

The building corner is located at the obtuse angle of the site created by the intersection of Second and Stewart, allowing for more visibility and presence. The hotel capitalizes on the lively pedestrian environment by orienting the lobby level public functions of restaurant, bar, and hotel lobby along the street frontages to the fullest extent possible.

The façade along Second acknowledges the podium level of the adjacent EQR Residential Tower currently under construction by creating a change in massing and presents an interesting dialogue between the buildings along Second.

The location of the building provides opportunity for views to Elliot Bay, north into Belltown and south into downtown’s cityscape. The hotel building responds to this by providing an open air terrace at the top floor of the hotel, creating visual termination of the corner element while enhancing guest and visitor enjoyment of the spectacular views.

A-2 Enhance the skyline.

Design the upper portion of the building to promote visual interest and variety in the downtown skyline.

Although significantly smaller than some surrounding developments under or soon to be under construction, the hotel design emphasizes the roof line at the prominent northwest corner of the building and addresses the importance of the roof line and visual appearance from the street, its context within the overall skyline, and the view from the taller surrounding structures.

B-1 Respond to the neighborhood context.

Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

The proposal’s location is unique in proximity to Pike Place Market, the Moore Theatre, Macy’s, Westlake Center and easy walking to Belltown, Downtown Core, Retail District, and the Seattle Waterfront. Contributing to the pedestrian experience on Stewart Street and 2nd Avenue become a driving force in determining the proposal’s street level facades.

The main programmatic elements of the lobby level of the hotel are arrayed along the street frontages of Stewart and Second with ample amounts of glazing encouraging views from the sidewalks into the interior spaces of the hotel while providing direct visual connection to the street from inside the hotel.

By activating nearly 100% of the building edges along the sidewalk, the hotel will enhance the already highly active pedestrian area.

B-2 Create a transition in bulk & scale.

Compose the massing of the building to create a transition to the height, bulk, and scale of development in neighboring or nearby less intensive zones.

The mass of the building breaks down from the tower above beginning with a pronounced recess in the façade at level two, the meeting room level, providing a more pedestrian scaled massing at the corner. The projected overhang following the plan of the building provides ample pedestrian cover at the sidewalk level.

The Second Avenue façade is further articulated at the base as an acknowledgement of the expressed podium of the adjacent EQR Residential Tower, creating a strong connection between the two buildings on the same block along Second.

B-3 Reinforce the positive urban form & architectural attributes of the immediate area.

Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.

The predominant attribute of the immediate areas of Second Avenue is a high concentration of retail and restaurant uses. By positioning the bar and restaurant elements in a recessed area along the street frontages, the hotel project continues the active store frontages along the street.

The building massing is broken down to a more pedestrian scale as the tower elements transition to the base of the building.

B-4 Design a well-proportioned & unified building.

Compose the massing and organize the publicly accessible interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.

The proposal intends to present a unified building through selection and use of complimentary materials and details. The massing responds to the shift in street grid and the idea of this shift is repeated down both street frontages to appear unified in concept.



C-1 Promote pedestrian interaction.

Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should be open to the general public and appear safe and welcoming.

The proposed facades on Stewart Street and 2nd Avenue are transparent to the restaurant and hotel lobby to increase the interaction between the interior spaces and exterior sidewalk activity. At the building entry on Second Avenue, the entry area is recessed providing a wider sidewalk for the interaction of pedestrian cross traffic and the presence of entry. Overhead cover on both Stewart Street and 2nd Avenue provide weather protection.

C-2 Design facades of many scales.

Design architectural features, fenestration patterns, and materials compositions that refer to the scale of human activities contained within. Building facades should be composed of elements scaled to promote pedestrian comfort, safety, and orientation.

The proposal breaks down the façade in various steps in response to the shift in street grid. The intent is to further break down the scale of large expanses of glass into varying grids of glazing and spandrel, creating a more detailed breakdown of scale.

Most importantly, the tower elements begin to change scale at level two, reinforcing the pedestrian scale at street level.

C-3 Provide active—not blank—facades.

Buildings should not have large blank walls facing the street, especially near sidewalks.

Both street facades are nearly 100% activated by public area functions of the hotel including the hotel lobby, bar and restaurant. The sidewalk level will have extensive transparency designed to encourage views from within to the street as well as from the sidewalks into the hotel.

C-4 Reinforce building entries.

To promote pedestrian comfort, safety, and orientation, reinforce the building’s entry.

At the building entry on Second Avenue, the entry area is recessed providing a wider sidewalk for the interaction of pedestrian cross traffic and the presence of entry. As it is the entry to the hotel lobby, the entry will be well illuminated and protected from weather overhead with a large porte-cochere canopy and pedestrian/building lighting. The entry is articulated by a double high space that will be a feature of the Second Avenue façade.

C-5 Encourage overhead weather protection.

Encourage project applicants to provide continuous, well-lit, overhead weather protection to improve pedestrian comfort and safety along major pedestrian routes.

Both street facades include nearly continuous canopy protection with lighting integral to the design to shield the pedestrian from the weather and illuminate the sidewalk during the darker days and evenings and nights.

C-6 Develop the alley facade.

To increase pedestrian safety, comfort, and interest, develop portions of the alley façade in response to the unique conditions of the site or project.

The alley façade will provide both recessed and surface mounted lighting to enhance the lighting levels in the alley. The façade above the adjacent Macy’s Garage will be articulated to break down the mass and provide articulation of the east façade when viewed from afar.

D-1 Provide inviting & usable open space.

Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.

Program elements of the hotel for guest access and restaurants at street level, combined with an existing structural core and columns on a relatively small site prevent the incorporation of any significant useable open space on the site.

D-2 Enhance the building with landscaping.

Enhance the building and site with substantial landscaping—which includes special pavements, trellises, screen walls, planters, and site furniture, as well as living plant material.

Special pavements will be utilized along the sidewalk directly associate with the entrance to the hotel. Tree wells. Standard sidewalk scoring with “Cityscape Pattern” will be utilized everywhere else. Street trees include Urban Pinnacle Oak and Green Forest Oak.

See proposed siteplan for more information.



D-3 Provide elements that define the place.

Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable “sense of place” associated with the building.

Memorable, sense of place elements proposed for the hotel include the corner shift in massing to recognize the shift in street grid, the emphasis of the hotel entry with proposed accent wall and two story interior space; and the roof top lounge with open terrace marked by a raised roof element at the corner.

D-4 Provide appropriate signage.

Design signage appropriate for the scale and character of the project and immediate neighborhood. All signs should be oriented to pedestrians and/or persons in vehicles on streets within the immediate neighborhood.

Proposed signage will include pedestrian scaled signage at street level marking the name of the hotel and independently marking the name of the restaurant. Signage at the top of the hotel will be proposed that will conform to the signage ordinance of downtown Seattle.

D-5 Provide adequate lighting.

To promote a sense of security for people downtown during nighttime hours, provide appropriate levels of lighting on the building facade, on the underside of overhead weather protection, on and around street furniture, in merchandising display windows, and on signage.

Exterior, recessed canopy mounted lighting will illuminate the sidewalk areas along with decorative building mounted lighting at the main entrance of the hotel. Significant amount of light is also anticipated from the interior lighting levels of the restaurant, bar and hotel lobby, visible through the large amount of glass at the sidewalk.

D-6 Design for personal safety & security.

Design the building and site to enhance the real and perceived feeling of personal safety and security in the immediate area.

The hotel lobby oriented along Second Avenue is a 24 hour operation, while the restaurant and bar will be open late into the evening contributing to the number of people in the area as well as the number of people watching activities on the sidewalk, enhancing both the perceived and real personal safety of the pedestrian.

E-1 Minimize curb cut impacts.

Minimize adverse impacts of curb cuts on the safety and comfort of pedestrians.

There will be no curb cuts for access to this building on Stewart Street or 2nd Avenue.

E-2 Integrate parking facilities.

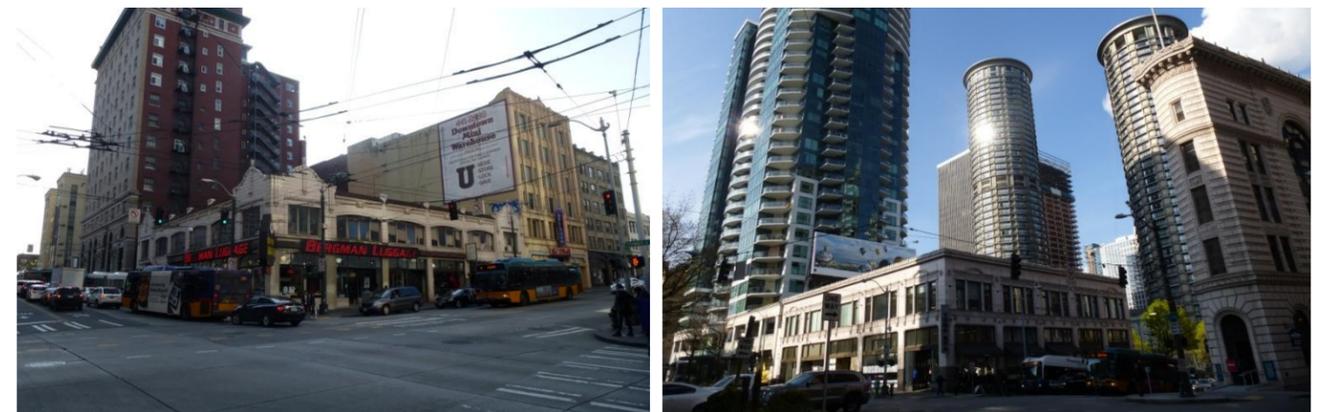
Minimize the visual impact of parking by integrating parking facilities with surrounding development. Incorporate architectural treatments or suitable landscaping to provide for the safety and comfort of people using the facility as well as those walking by.

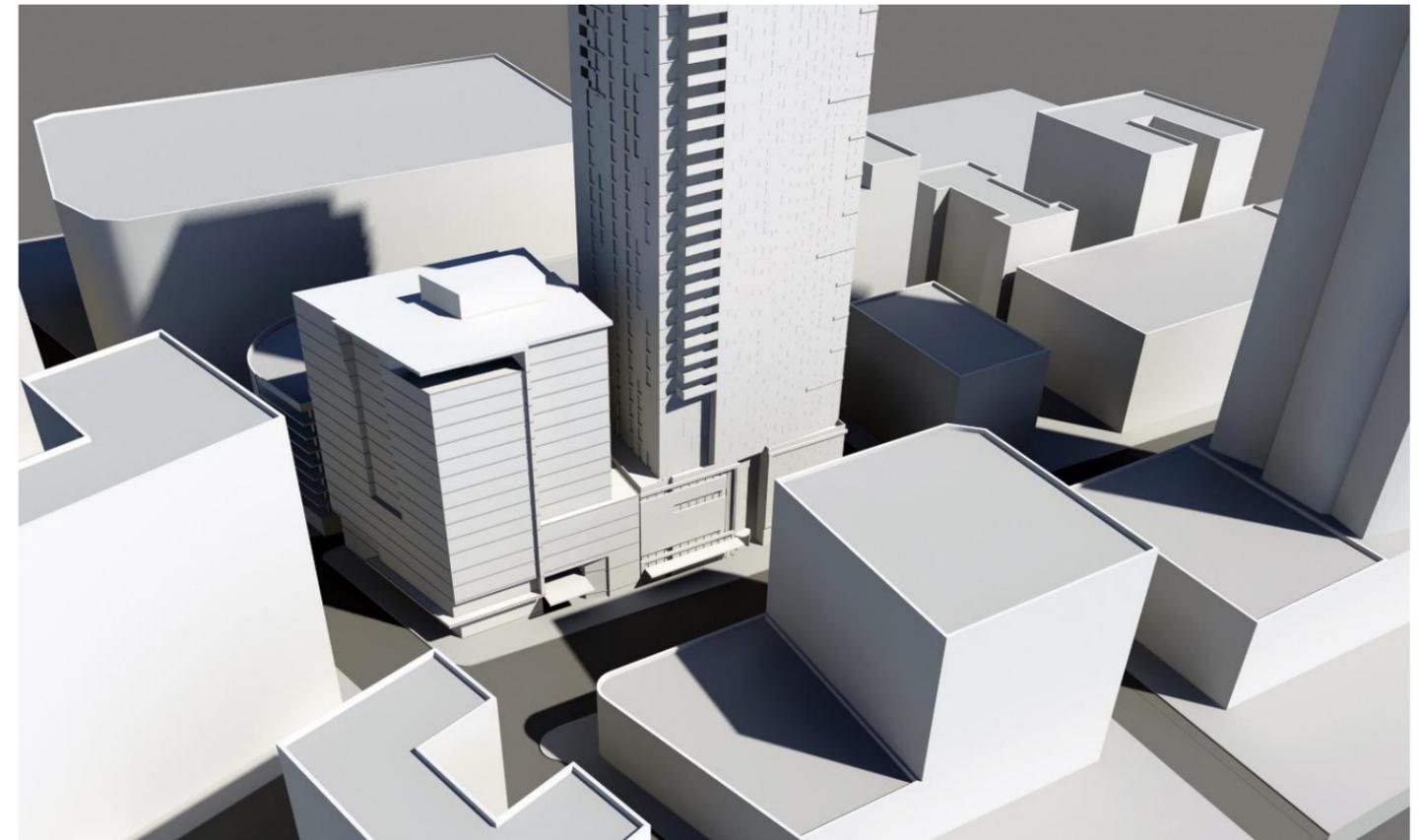
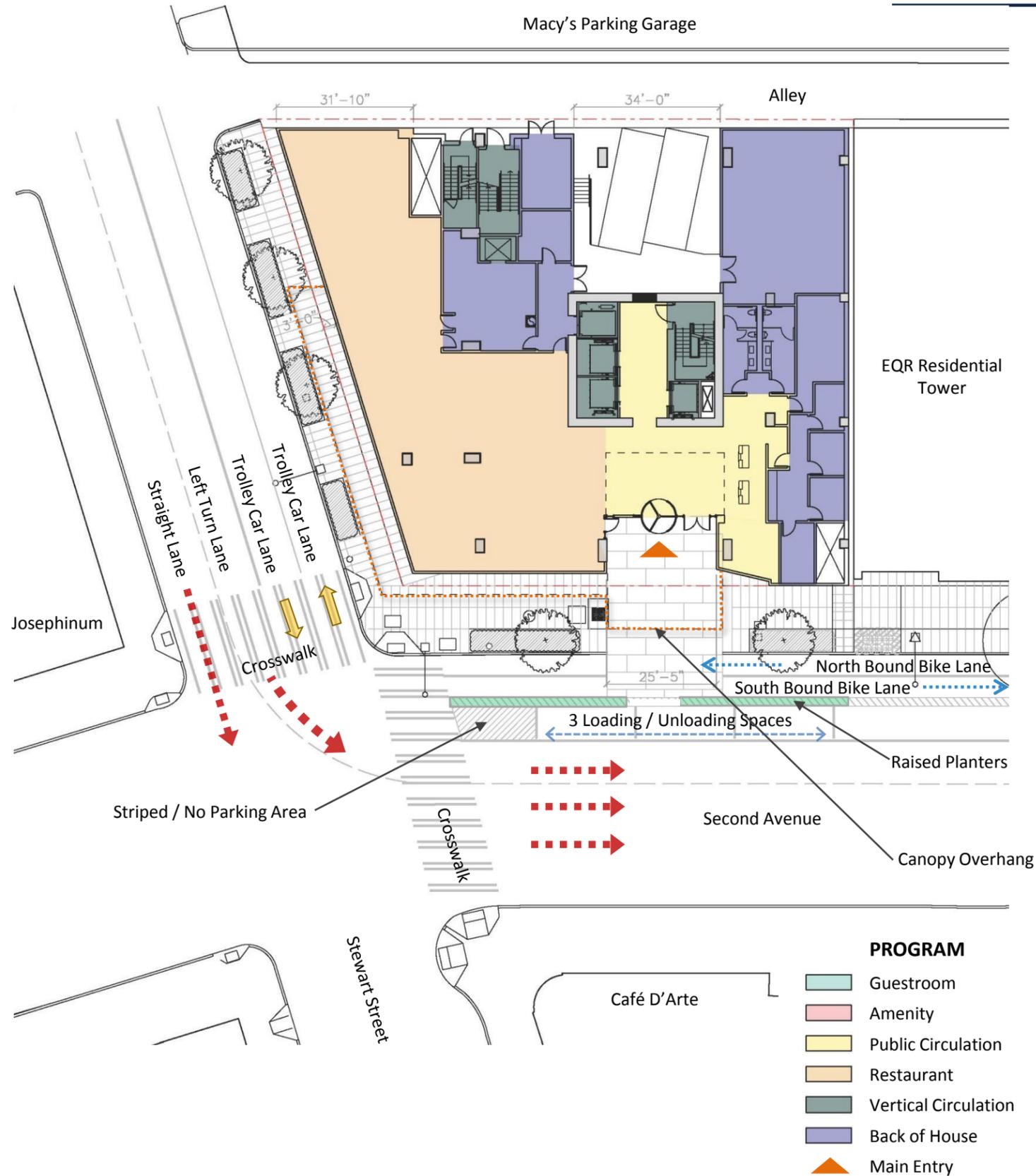
There will be no parking on or above grade for this proposal on this site. All parking for the proposal will be through valet or utilizing nearby existing parking garages.

E-3 Minimize the presence of service areas.

Locate service areas for trash dumpsters, loading docks, mechanical equipment, and the like away from the street front where possible. Screen from view those elements which for programmatic reasons cannot be located away from the street front.

All service areas are to be accessed from the alley including the trash, deliveries, electrical/gas services, etc.





View from west looking east

ALTERNATE 1 SUMMARY

OPPORTUNITIES

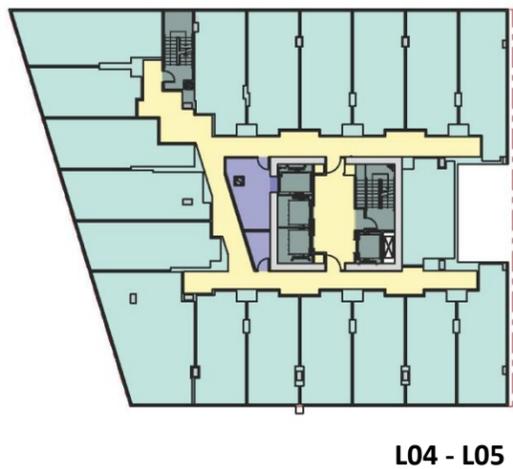
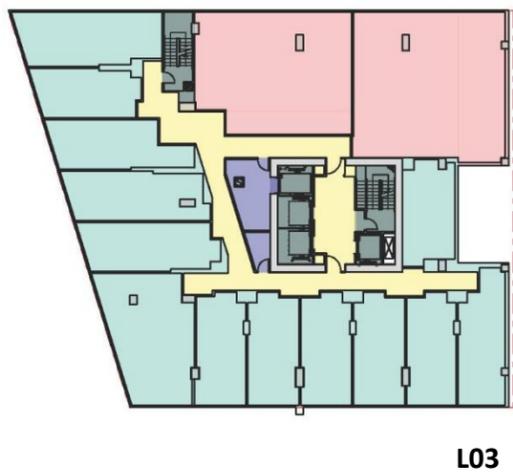
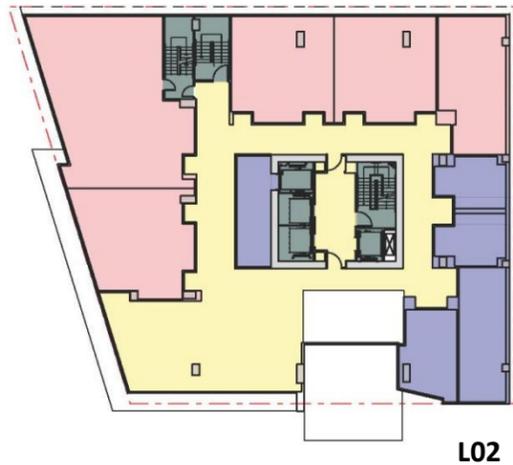
1. Building massing acknowledges significant street corner.
2. Continuous pedestrian level overhang wraps the corner and continues along Stewart.
3. Significant view opportunity and skyline enhancement offered from top level terrace.
4. Massing of building breaks down at building base to more pedestrian scale.

CONSTRAINTS

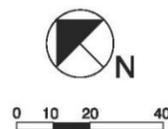
1. Corner element does not acknowledge shift in street grid.
2. Building maximizes site footprint, creates a more "boxy" proportion.
3. Column at corner protrudes 18" into required 15' sidewalk setback. Departure required.

GROUND FLOOR PLAN

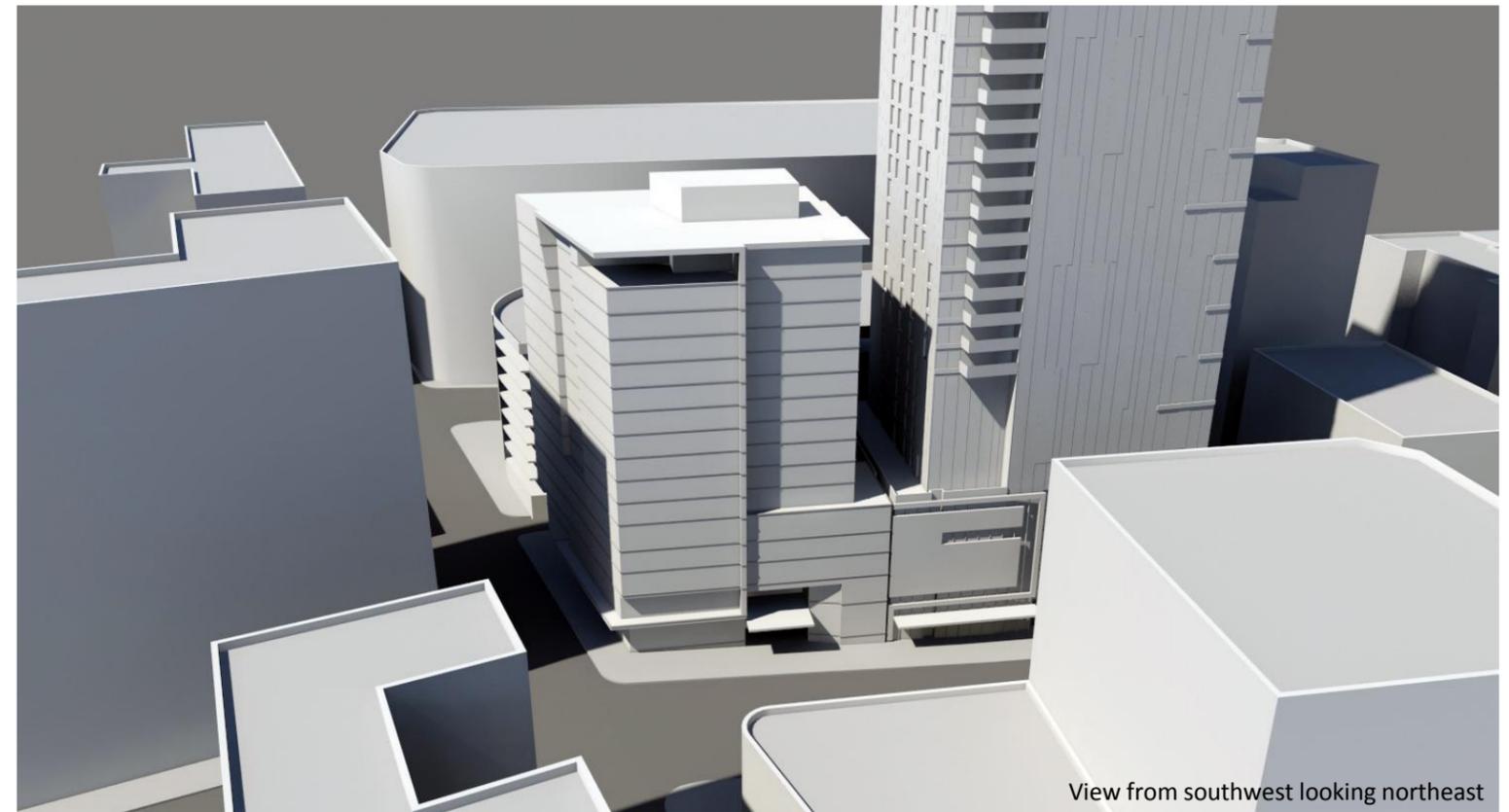




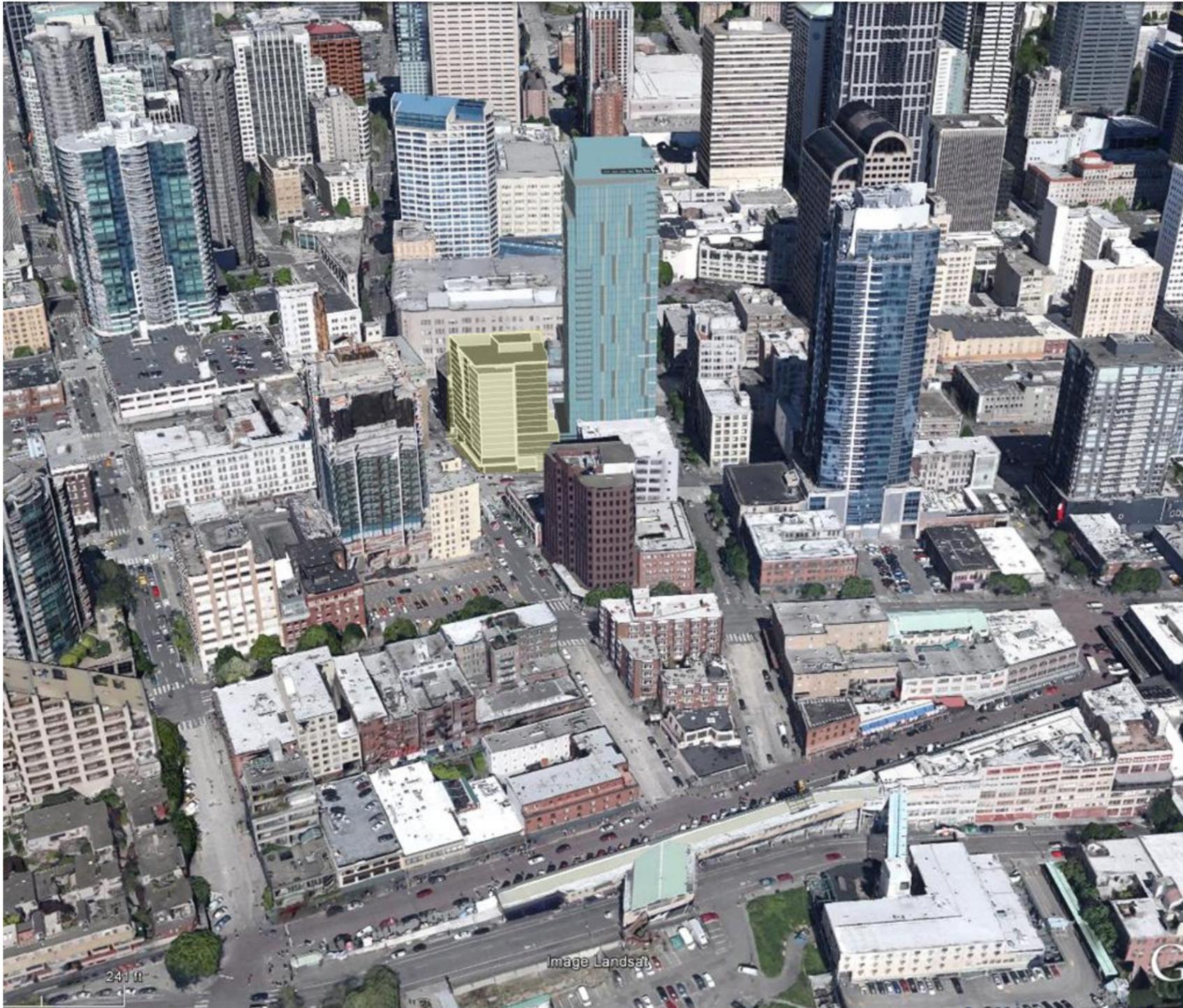
- PROGRAM**
- Guestroom
 - Amenity
 - Public Circulation
 - Restaurant
 - Vertical Circulation
 - Back of House



View from west looking at Stewart Street & 2nd Avenue intersection



View from southwest looking northeast



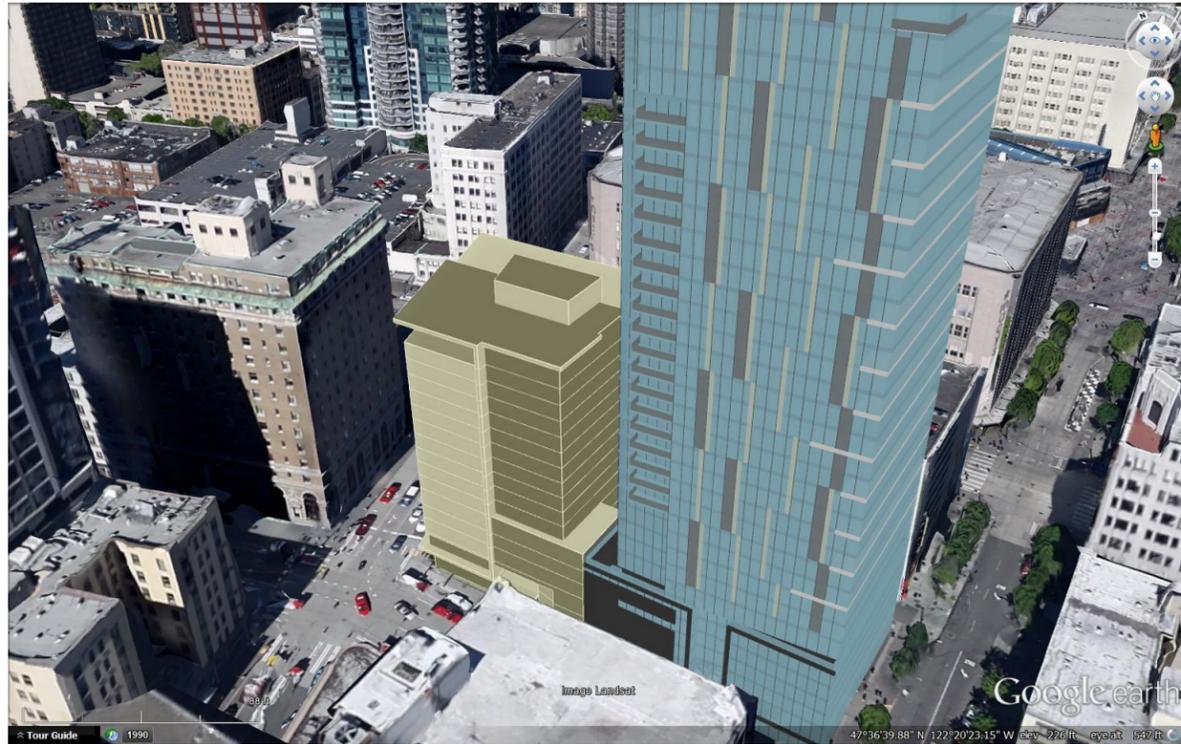
Aerial view from west



View from west looking east



View from north looking towards Pike Market



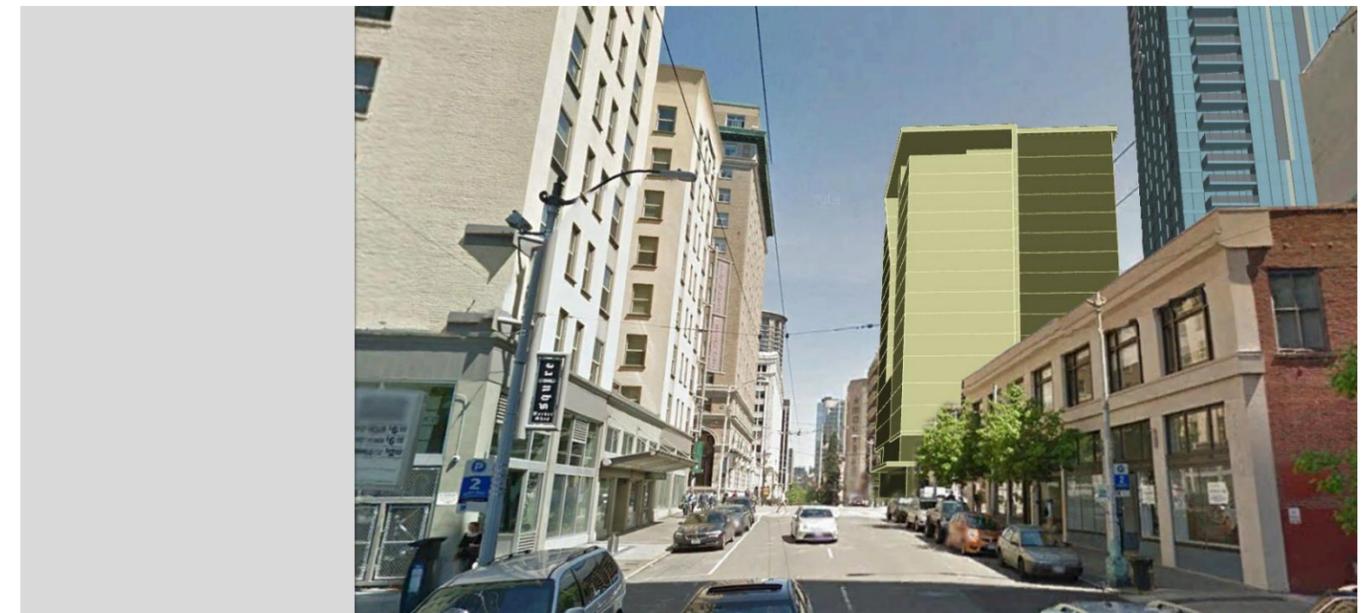
View from south looking north



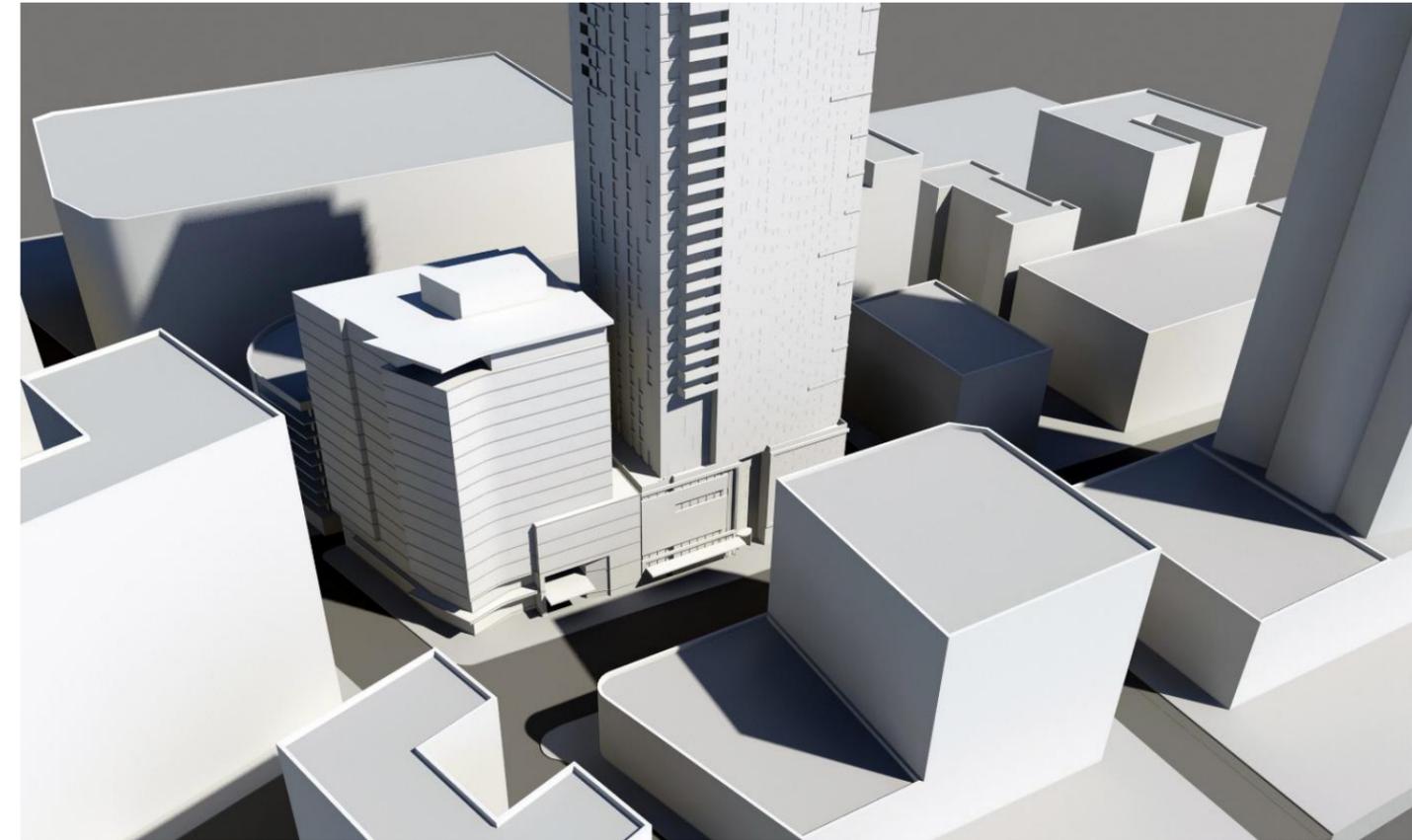
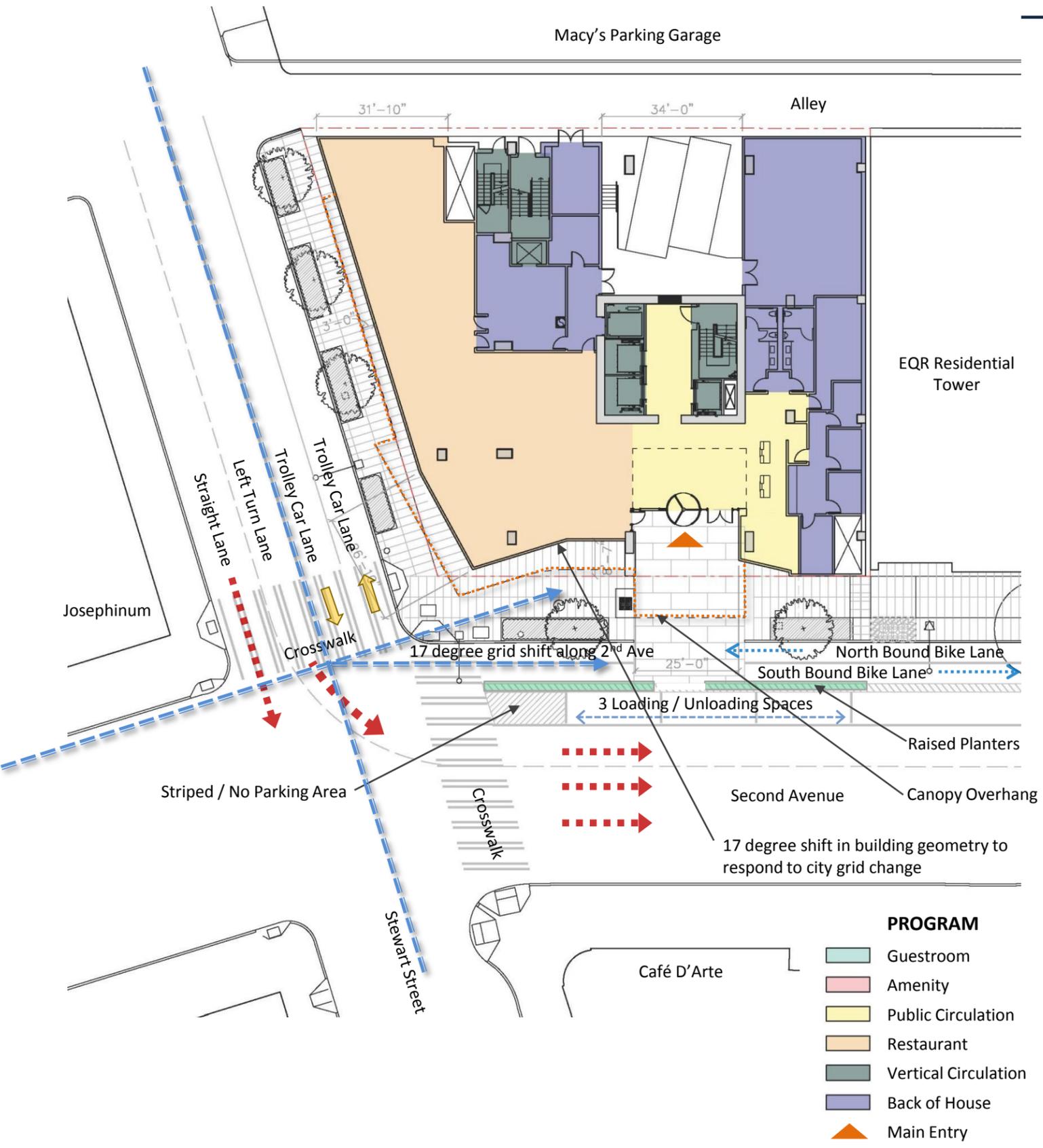
Massing view from Stewart Street & 2nd Avenue intersection



View down Second Avenue looking southeast



View down Stewart Street looking northeast



View from west looking east

ALTERNATE 2 SUMMARY

OPPORTUNITIES

1. Building massing acknowledges significant street corner.
2. Subtle acknowledgment of the shift in street grid creates visual interest at corner.
3. Continuous pedestrian level overhang wraps the corner and continues along Stewart.
4. Significant view opportunity and skyline enhancement offered from top level terrace.
5. Massing of building breaks down at building base to more pedestrian scale.

CONSTRAINTS

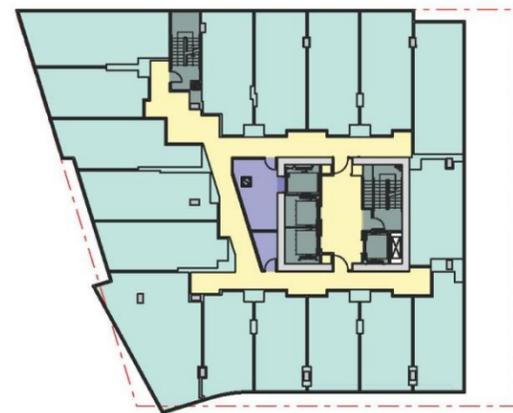
1. Column at corner protrudes 18" into required 15' sidewalk setback. Departure required.
2. Corner of building overhang of property line above level 2. Departure required.

GROUND FLOOR PLAN





L02



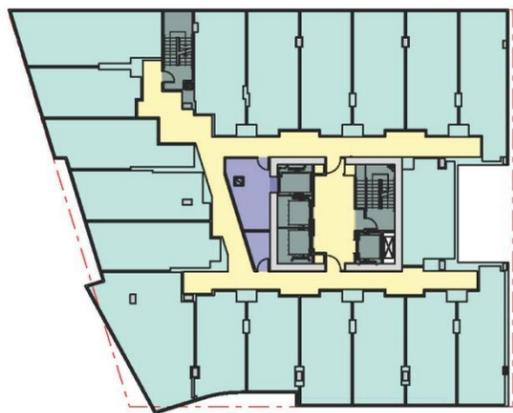
L06 - L15



L03

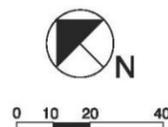


L16

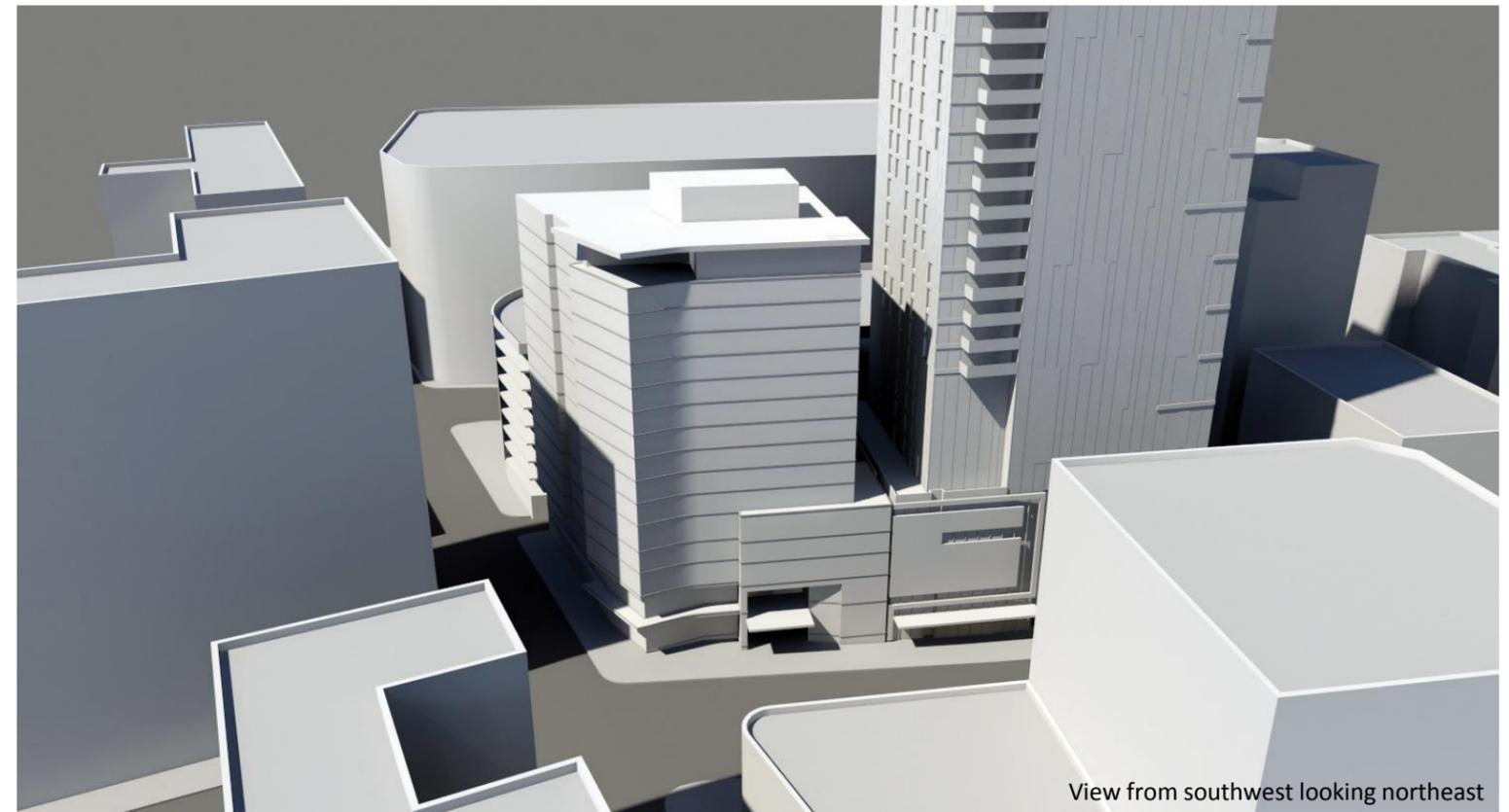


L04 - L05

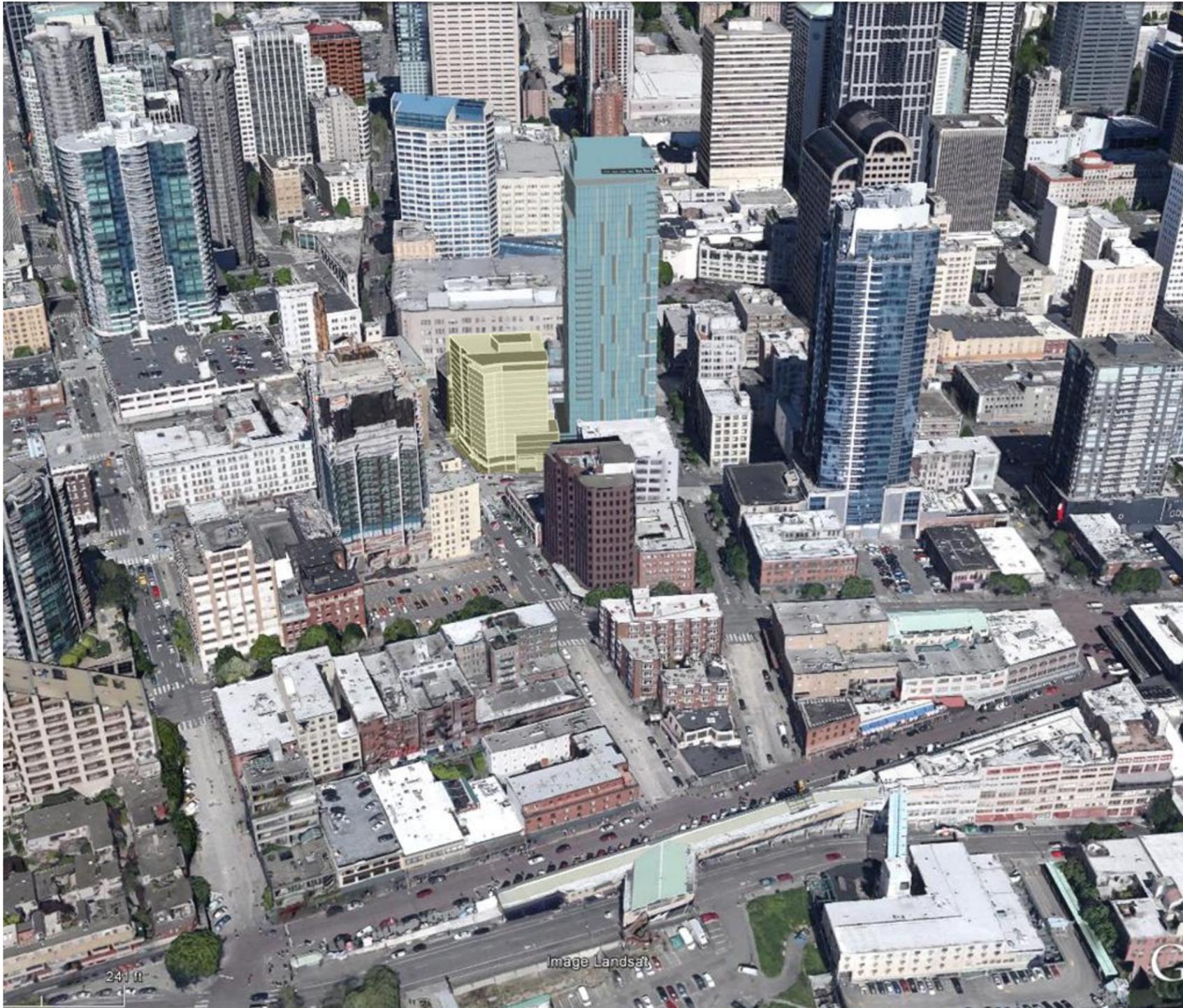
- PROGRAM**
- Guestroom
 - Amenity
 - Public Circulation
 - Restaurant
 - Vertical Circulation
 - Back of House



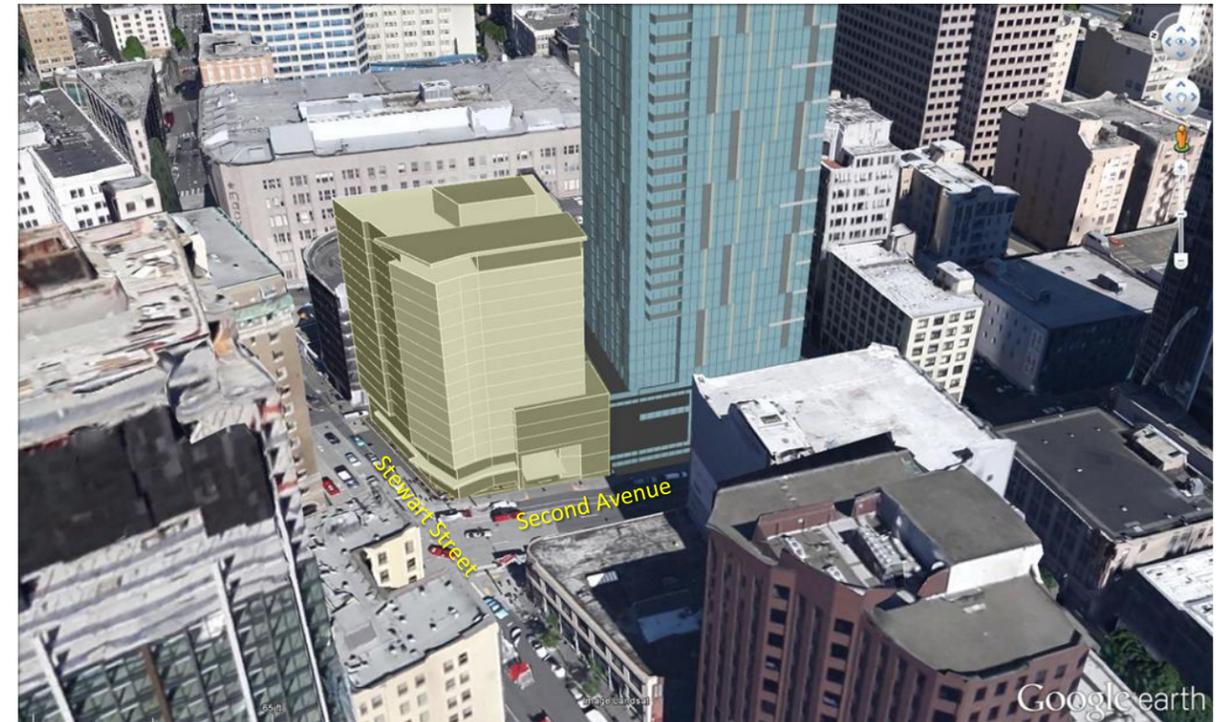
View from west looking at Stewart Street & 2nd Avenue intersection



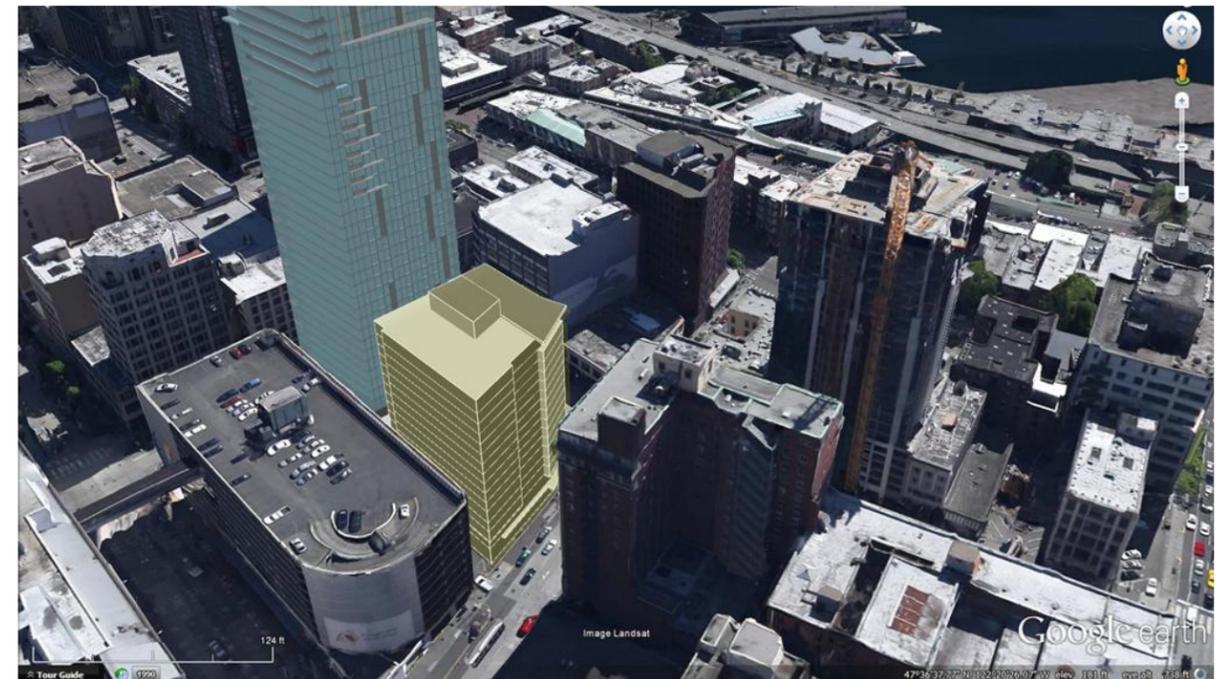
View from southwest looking northeast



Aerial view from west



View from west looking east



View from north looking towards Pike Market



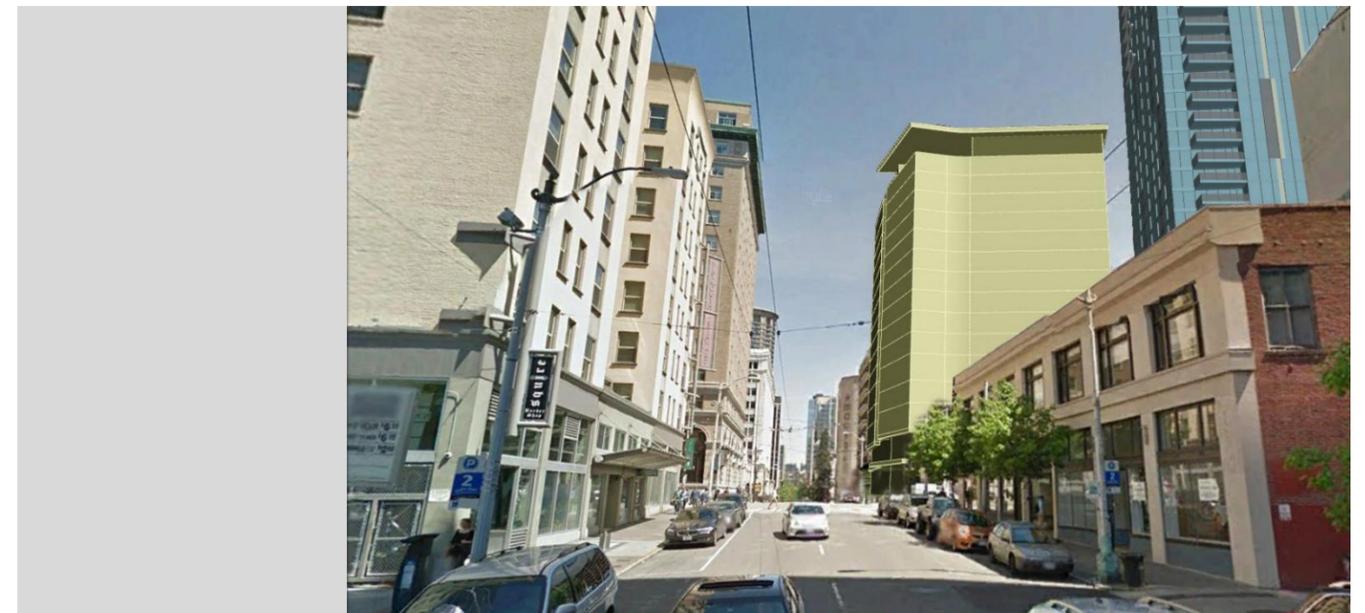
View from southwest looking northeast



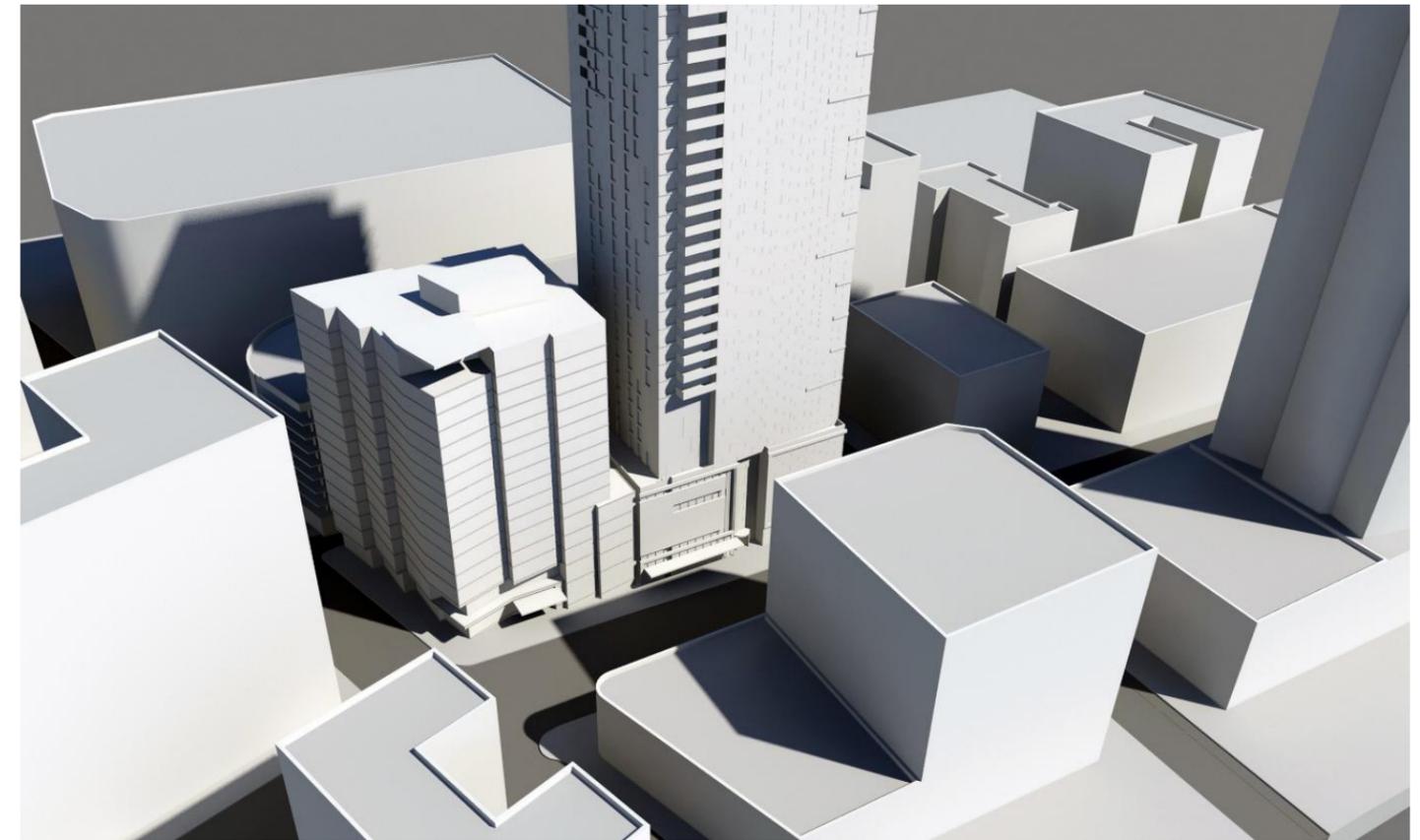
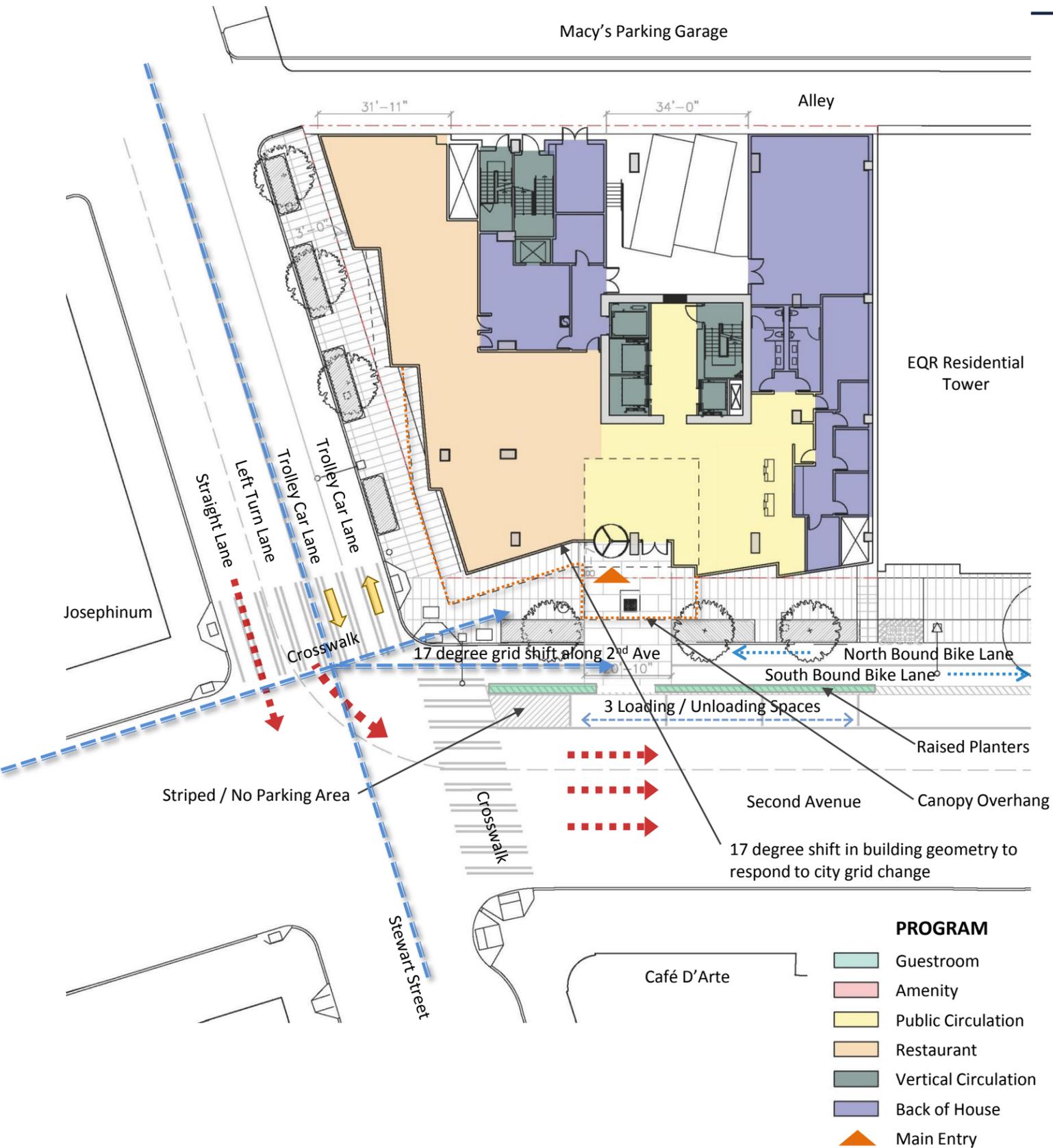
Massing view from Stewart Street & 2nd Avenue intersection



View down Second Avenue looking southeast



View down Stewart Street looking northeast



View from west looking east

ALTERNATE 3 – PREFERRED SCHEME SUMMARY

OPPORTUNITIES

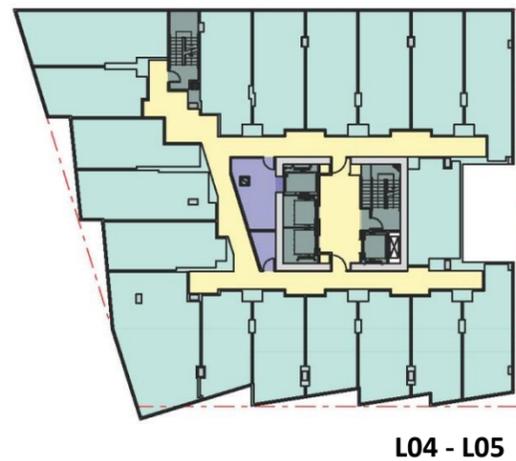
1. Building massing acknowledges significant street corner.
2. Significant acknowledgment of the shift in street grid creates dramatic visual interest at corner.
3. Massing of the grid shift is echoed along the facades of both street frontages creating visual interest as well as enhanced view opportunities from within the hotel.
4. Significant view opportunity and skyline enhancement offered from top level terrace.
5. Massing of building breaks down at building base to more pedestrian scale.

CONSTRAINTS

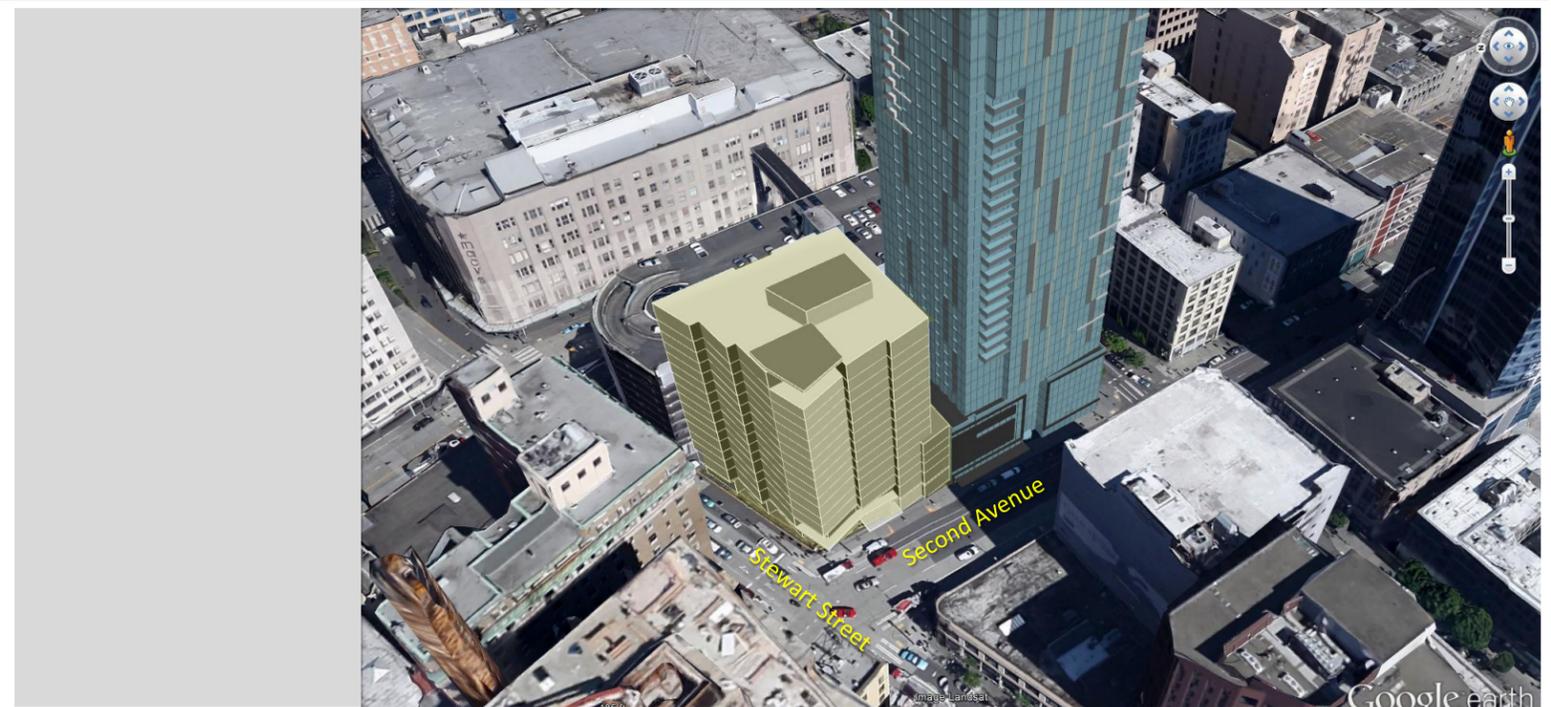
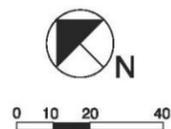
1. Roof element at outdoor terrace projects 10' above the 160' height limit. Departures required.
2. Column at corner protrudes 18" into required 15' sidewalk setback. Departure required.
3. Corner of building overhang of property line above level 2. Departure required.
4. Loss of useable interior square footage as compared to other schemes.

GROUND FLOOR PLAN

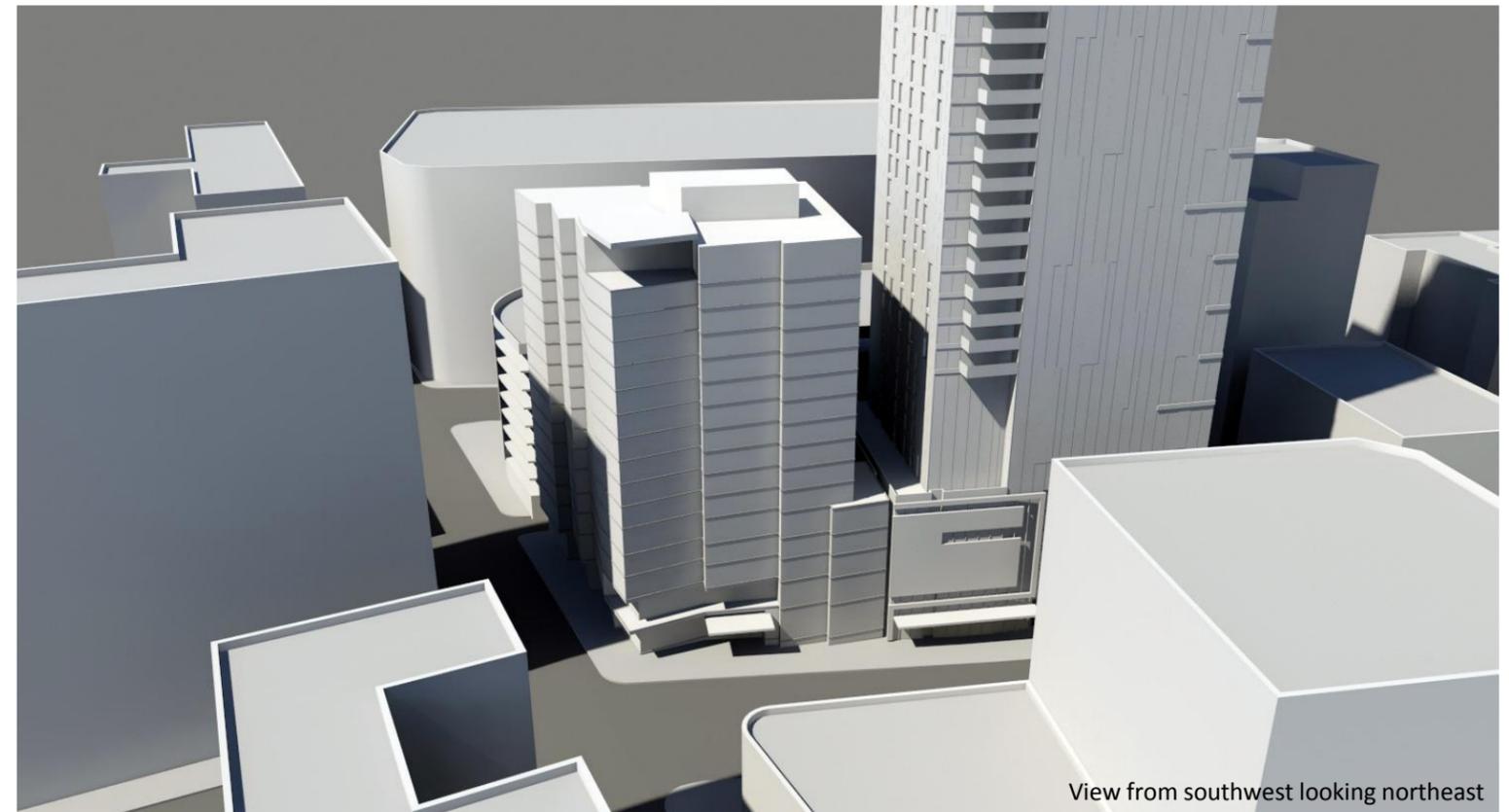




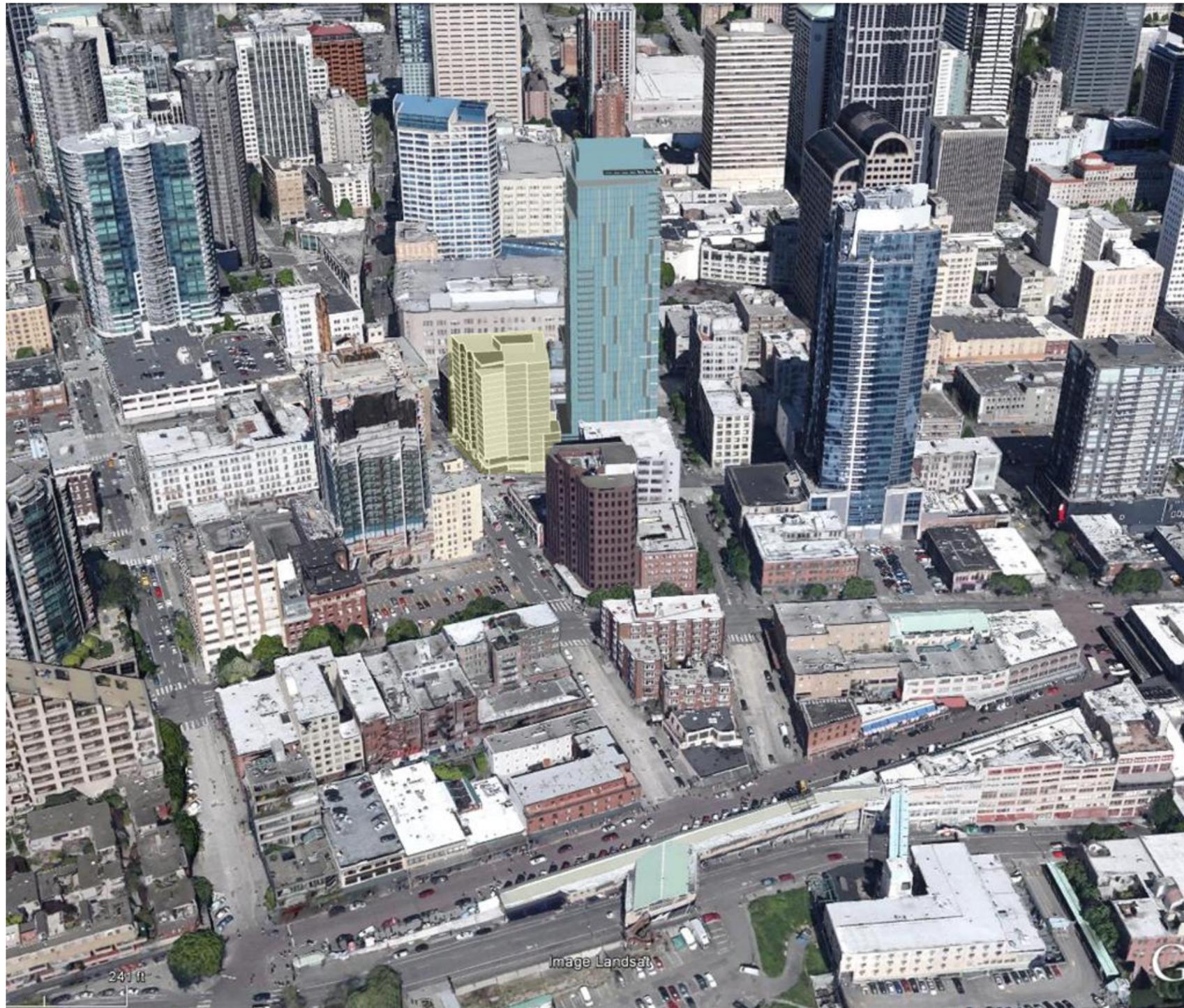
- PROGRAM**
- Guestroom
 - Amenity
 - Public Circulation
 - Restaurant
 - Vertical Circulation
 - Back of House



View from west looking at Stewart Street & 2nd Avenue intersection



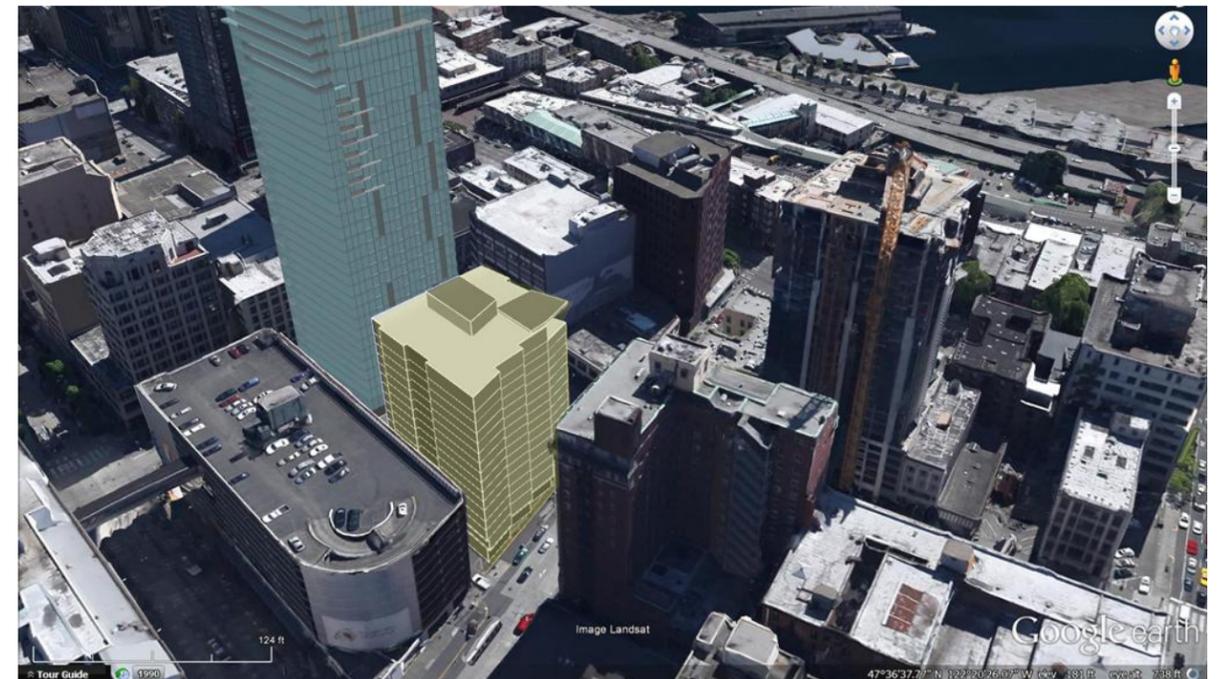
View from southwest looking northeast



Aerial view from west



View from west looking east



View from north looking towards Pike Market



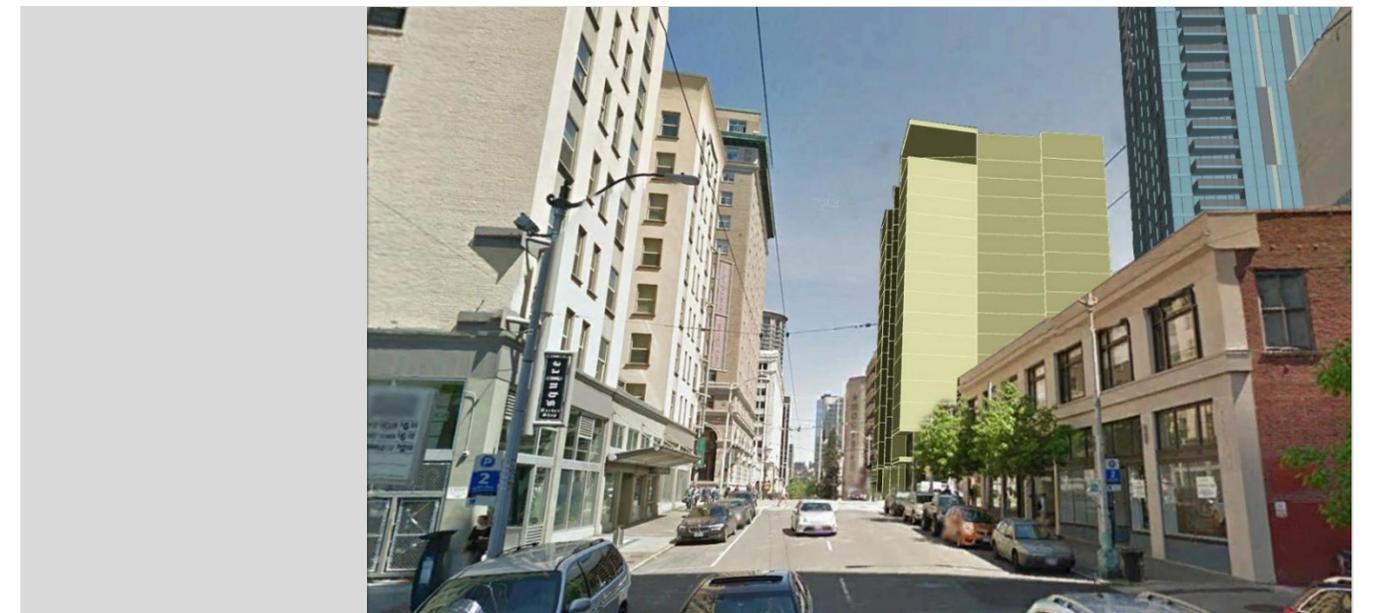
View from south looking north



Massing view from Stewart Street & 2nd Avenue intersection



View down Second Avenue looking southeast



View down Stewart Street looking northeast

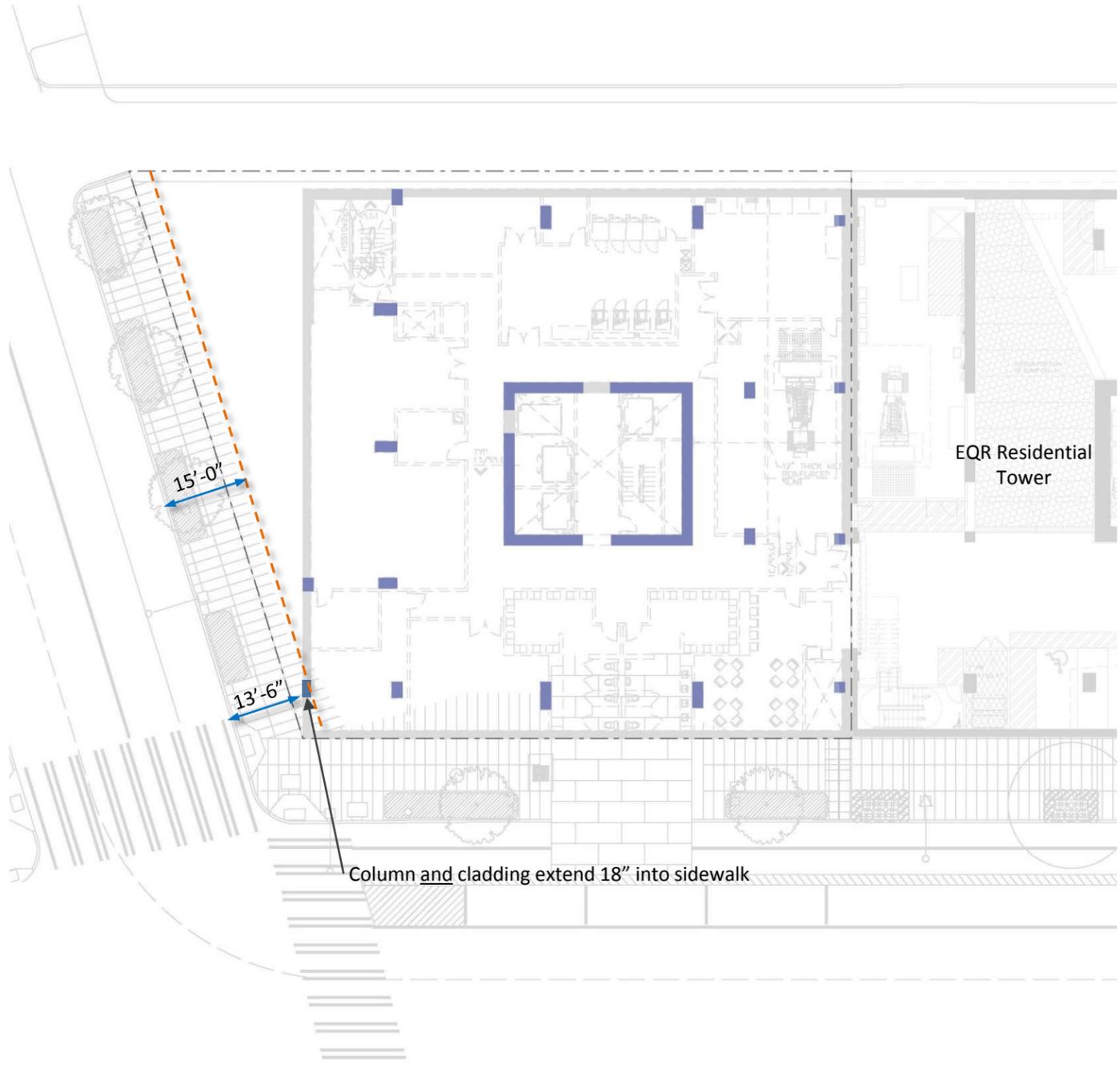


BUILDING SECTION – Alternate 3 - Preferred Scheme

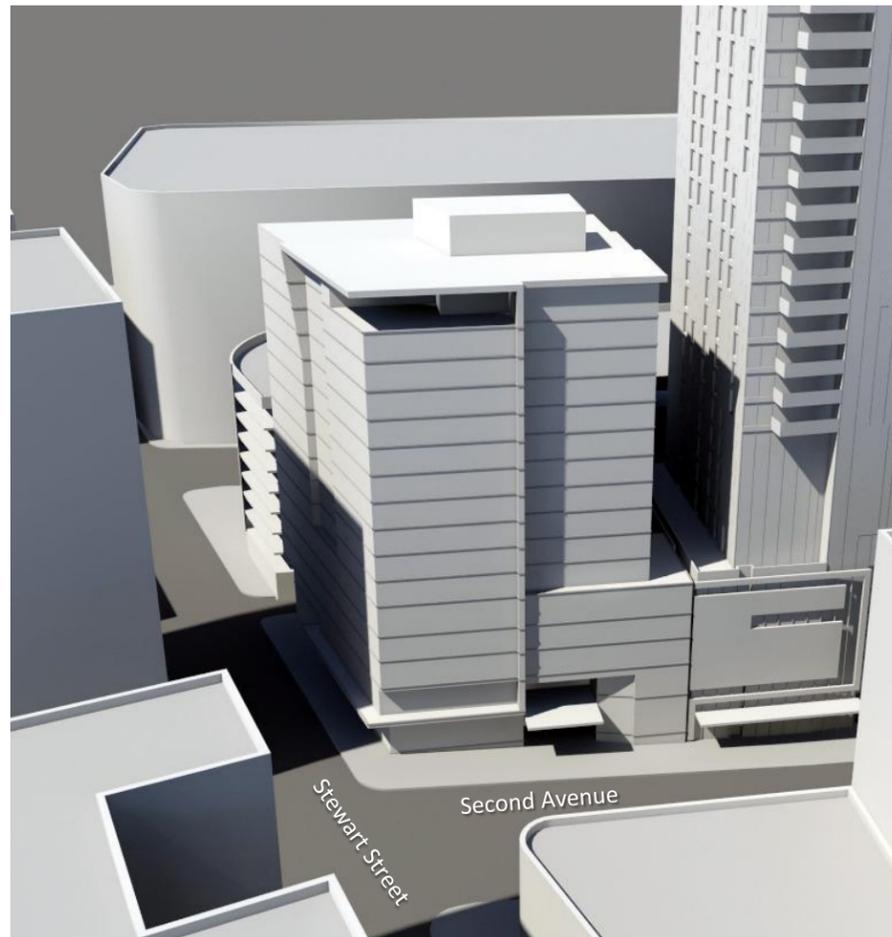
PROGRAM

- Guestroom
- Amenity
- Public Circulation
- Restaurant
- Vertical Circulation
- Back of House
- Parking

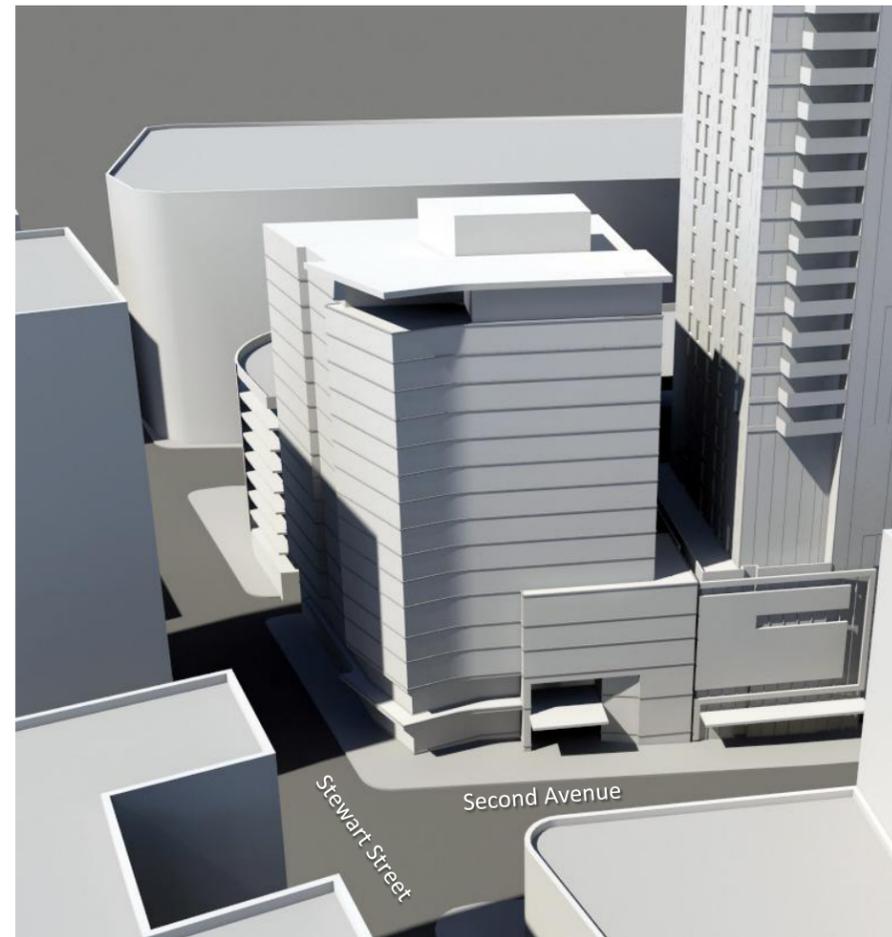
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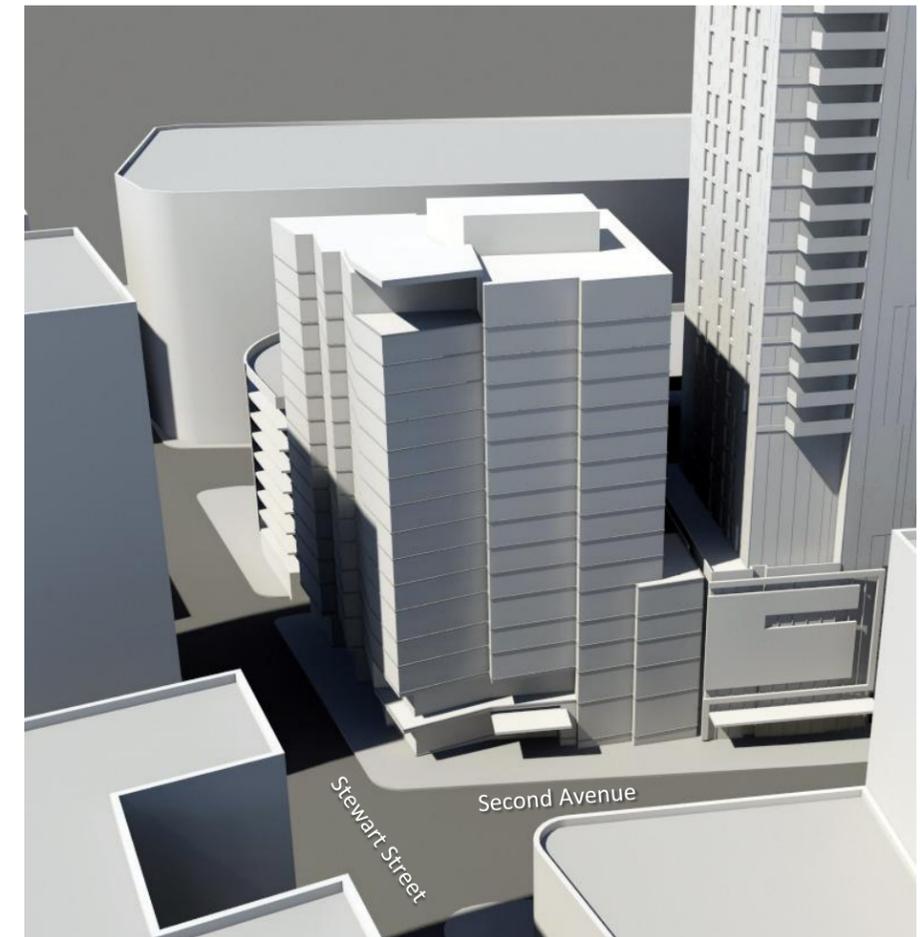
EXISTING STRUCTURAL CONSTRAINTS
Existing structural columns and elevator core from EQR residential tower parking garage.



ALTERNATE 1



ALTERNATE 2



ALTERNATE 3 – Preferred Scheme