

# 1001 BROADWAY

CITY OF SEATTLE DESIGN REVIEW

RECOMMENDATION MEETING #2

DPD PROJECT #3019050

JANUARY 13, 2016

## TABLE OF CONTENTS

Introduction	
Site & Development Information	2
Zoning Requirements	3
Recap of DRB Comments 11.18.2015	4
Recommendation #2 Proposal	
Massing and Madison Street	5-9
Context	10-11
Materials and Colors	12-17
Spring Street	18-19
Alley Trash/Truck Diagram	20
Departures	21
Appendix	22-30



# SITE & DEVELOPMENT INFORMATION



## EXISTING SITE:

The existing site occupies half a block at the intersection of Madison Street and Broadway. Harvard Avenue runs along the northeast edge of the site, Spring Street bounds the site on the north, and an alley runs along the rear property line. There is an existing 3-story medical office building on the site with some retail uses on Harvard and on Madison and a parking entrance on Harvard Ave. There is an approximate ten foot grade change from the south corner to the lowest point at the east corner of the site.

## ZONING & OVERLAY DESIGNATION:

The site is zoned NC3P-160 (Neighborhood Commercial) and is in the First Hill Urban Center Village. Madison and Broadway are principle pedestrian streets. Adjacent zones include NC3-65, NC3-85, NC3-160, HR, MIO-70 and MIO-160.

## NEIGHBORHOOD DEVELOPMENT & USES:

This site is located at the intersection of several different uses, including Seattle University to the east, Swedish Medical campus to the south, the Broadway business district to the north, and a mix of commercial and residential uses in the high-rise zone to the west.

## DEVELOPMENT OBJECTIVES:

The applicant proposes a mixed-use building that includes a two-story grocery at the base, grocery-related offices and mechanical on the 3rd floor, 14 residential stories above, and five stories of underground parking.

## DEPARTURES:

See page 44 for requested departures.

## URBAN CONTEXT



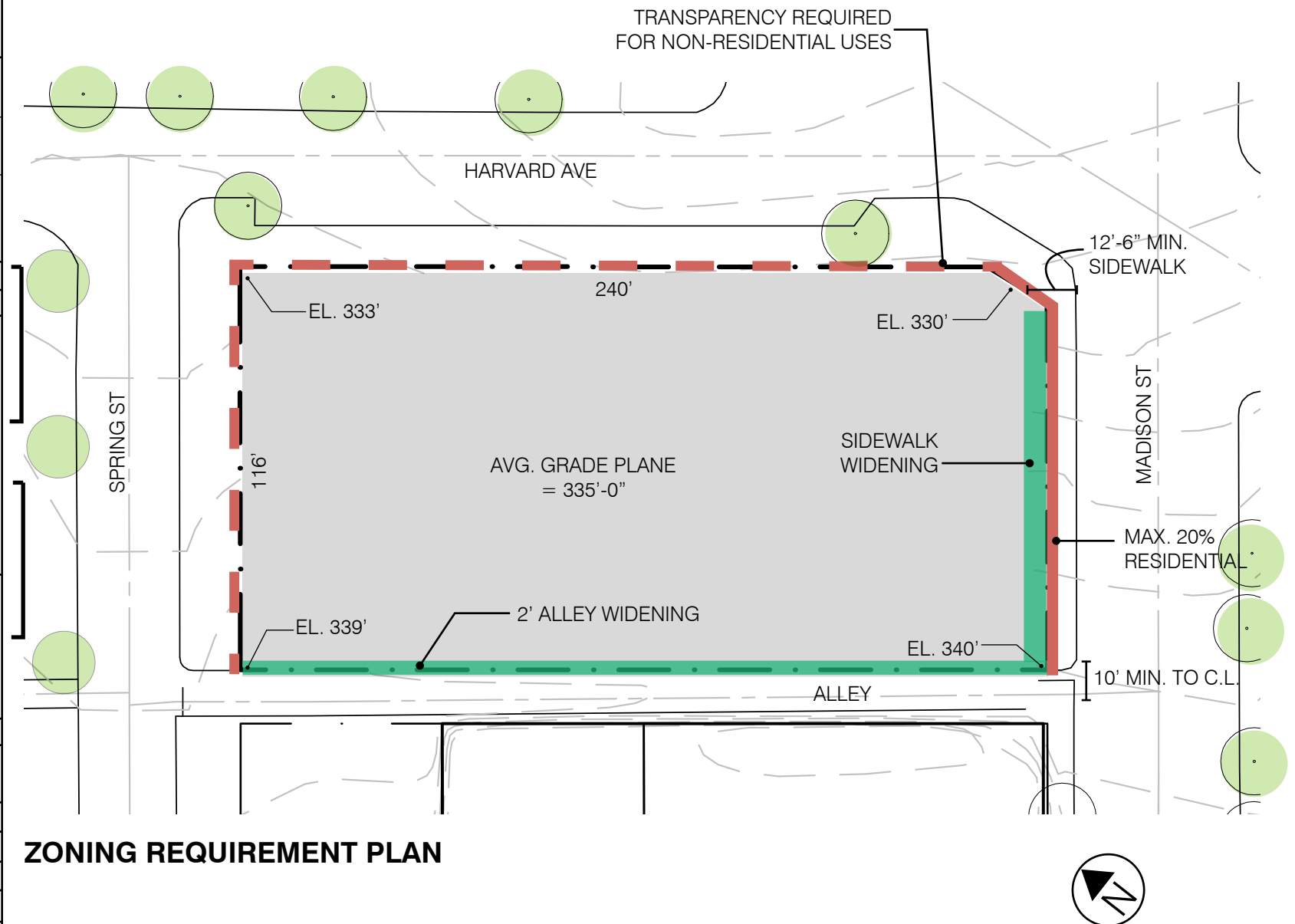
### PROPOSED BUILDING SUMMARY: (all numbers approximate)

Proposed Uses:	Grocery, Residential, Ancillary Parking & Food Producing Greenhouse
Structure Height:	160' Above Average Grade, Plus Rooftop Mechanical
Number of Residential Units:	265
Building Area:	480,109 SF
Residential Area:	246,602 SF
Retail Related Area:	49,393 SF
Number of Parking Stalls:	358
Number of Bicycle Spaces:	99



URBAN CENTER VILLAGE OVERLAYS

ZONING OVERVIEW	
Zone	NC3P-160
Adjacent zones	NC3-160, NC3-85, NC3-65, HR, MIO-70, MIO-160
Zoning overlay	First Hill Urban Center Village
R.O.W. Designation	Madison: Principal arterial, principal pedestrian street Broadway: Minor arterial, principal pedestrian street Spring: Neighborhood Green Street
Permitted uses	Eating and drinking establishments, lodging, offices, general sales and services, residential, live-work. Residential uses limited to 20% of street-level, street-facing facades. On a principal pedestrian street, 80% of the street-level street-facing facade shall including eating and drinking establishments or general sales & services (partial list)
DEVELOPMENTAL POTENTIAL	
Lot size	28,695 sf
Allowable FAR	7.0 for all uses 5.0 for any single use within a mixed-use structure Gross floor area not counted toward FAR: <ul style="list-style-type: none"> <li>Gross floor area underground</li> <li>All residential floor area in the First Hill Urban center Village on lots zoned NC3 with a 160' height limit</li> <li>All portions of a story that extend no more than 4' above existing or finished grade, whichever is lower</li> <li>Area of rooftop, food-producing greenhouse</li> </ul>
Structure height	160' base height allowed Rooftop features: <ul style="list-style-type: none"> <li>Max. 25% of roof area; 50% if food-producing greenhouse incl.</li> <li>15' above base ht for mech. equip. and food-producing grnhse</li> <li>16' above base height for stair and elevator penthouse</li> </ul>
Setbacks	None required
STREET-LEVEL STANDARDS	
Blank facade	Limited to 40% of street-level, street-facing facade and 20' in width.
Transparency	60% minimum at non-residential uses.
Height	Non-residential uses: minimum 13' Floor to floor
Depth	Non-residential uses: 30' average, 15' minimum depth
PARKING REQUIREMENTS	
Automobiles	No minimum required in an urban center
Parking access	If access is not provided from alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines as approved by the Director
Bicycles	Nonresidential: 1 per 12,000 sf long term 1 per 2,000 sf short term Residential: 1 spot per 4 units



# DRB COMMENTS 11.18.2015

## MASSING

The revised massing proposal incorporates the articulation of the Early Design Guidance Massing Scheme C but lacks Massing Scheme B's strong street wall along Madison Street. The Board noted that the building design should treat Madison as a primary façade and not the side of the structure.

- a) The Board noted the stone material application at the second level continuing to the roof unsuccessfully bifurcates the façade (CS2-A-2, DC2-A, DC2-B).
- b) The Board recommended that the building massing, articulation and material treatment be resolved to treat Madison as a primary façade unifying the structure from ground level to the roof (CS2-A-2, DC2-A, DC2-B).
- c) The Board noted that the revised massing could involve exploring alternative roof lines CS2-A-2, DC2-A, DC2-B).
- d) The Board recommended the 2nd commercial entry on Madison should be developed as a 2nd primary entry (PL3-A, PL3-C).

## MADISON STREET AND BROADWAY

The Board applauded the evolution of the corner massing and ground level pedestrian experience.

- a) The Board supported the elongated chamfer at the corner. The Board agreed that the chamfer is particularly successful since it helps inform the plaza space below (DC2, PL1-A and PL1-B).
- b) The Board agreed the public plaza was integral to the success of the project. The Board commended the plaza design which provides opportunities for outdoor seating and thoughtful landscaping planning (PL1-A, PL1-B, PL3-A, PL3-C).

## SPRING STREET

The Board was pleased with the increased transparency along the Spring Street façade but recommended that the design required resolution on each corner.

- a) The Board recommended that the residential trash storage be relocated so it is not along the street facing façade (DC1-C4).
- b) The Board questioned whether the bike room at the corner of Spring Street and Harvard Street would successfully activate the corner. The Board recommended that the space be designed to include an active use such as retail (PL2-B, PL3-C).

## ALLEY

The Board continued support for the enclosed truck loading area, located at the alley at the end of the building. The Board agreed that Harvard Street was an appropriate location for vehicular access (DC1-C).

## MATERIALS

The Board applauded the highly transparent material application but questioned the material color choice. The Board noted the majority of the building is composed of blue transparent and spandrel glass. The color selection detracts from massing moves to break down the building scale of the Harvard Avenue façade. The Board observed that the light spandrel glass in shadow would be a similar color to the dark glass making the modulation on the Harvard Avenue facade less apparent.

- a) The Board recommended a subtler color palette to unify each of the facades, including Madison Street, while accentuating the modulation on the Harvard Avenue and reinforcing the articulation of each façade (DC2-A, DC2-B, DC2-C, DC2-D).
- b) The Board agreed that the color palette should be drawn from local neighborhood context (DC4-A).



OLD RENDERING 11.18.2015



OLD RENDERING 11.18.2015

MADISON STREET ELEVATION UPDATES

Revised parapet/roof overhang fascia color to match the titanium colored accent bands on the face of the facade

Titanium accent bands at each floor have been extended to west end of the facade

Deleted stone at residential levels

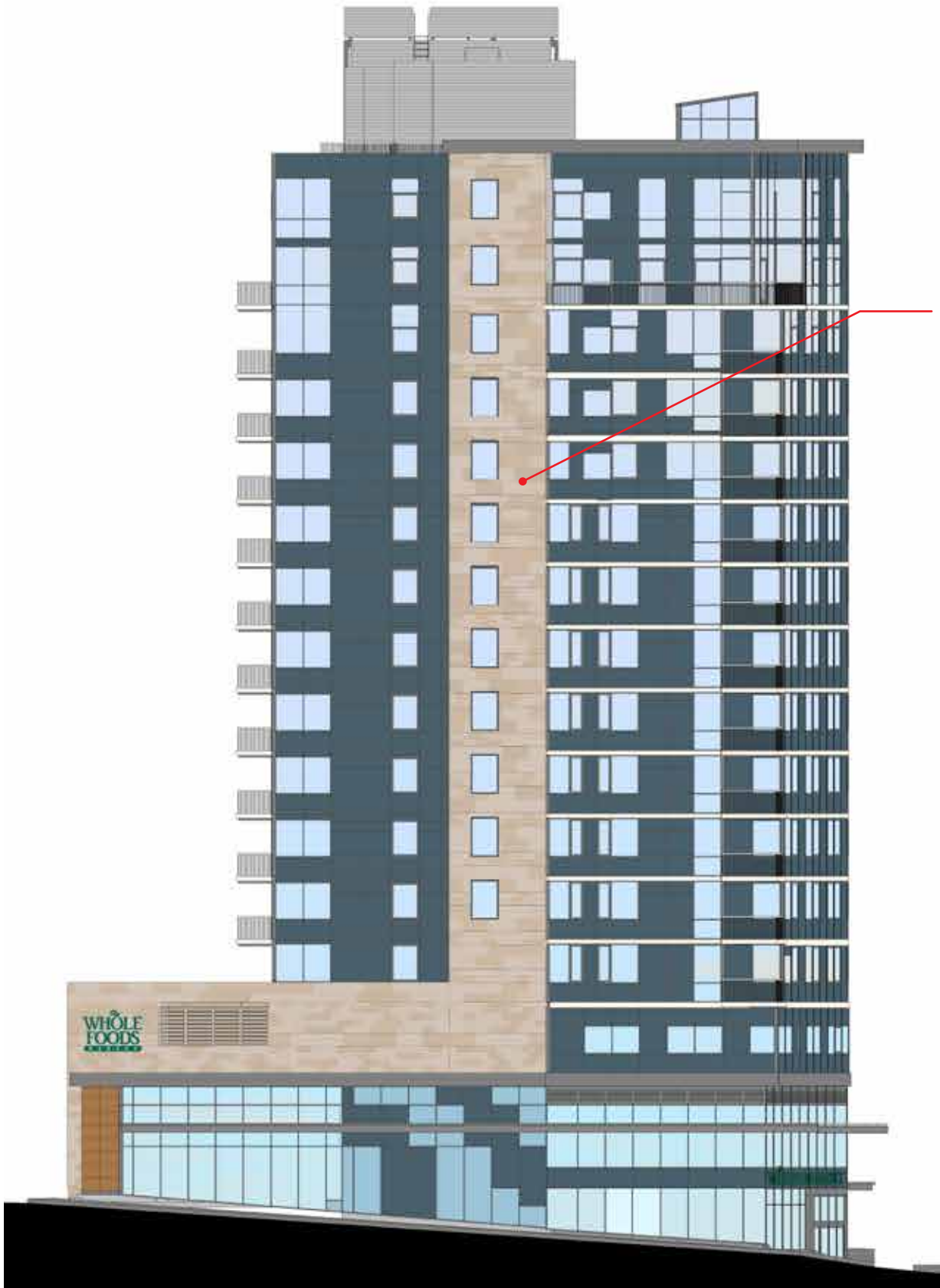
Provided additional chamfer to unify facade - see page 6 for better view for this revision

Revised color of lower fascia to match titanium bands on face and roof

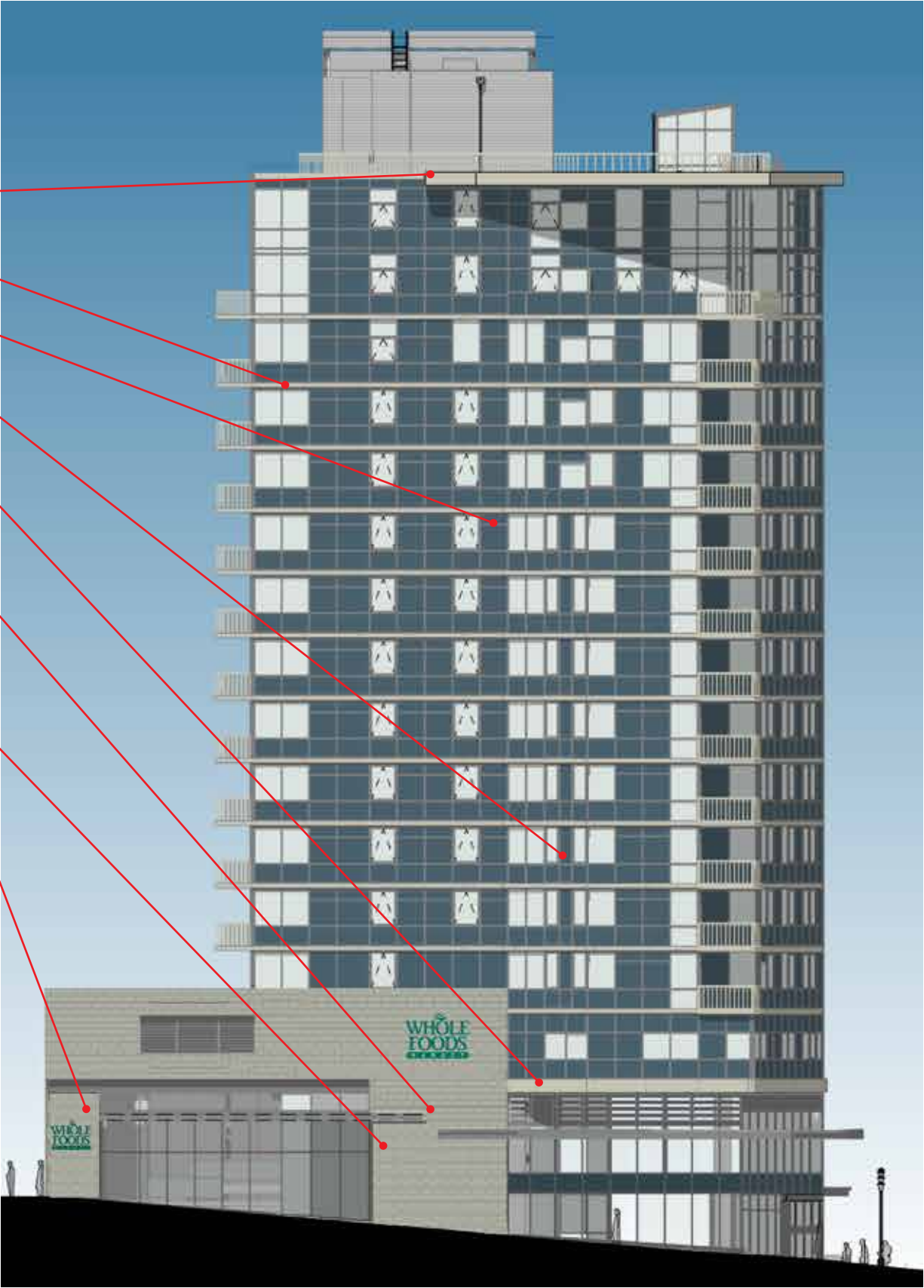
Stepped canopy shape to tie in better with shape of building above - see page 7 for further information

Returned stone to sidewalk to emphasize the second level entrance and to unify this facade with stone treatment on Harvard and Spring elevations

Revised second level entry wall to stone to help frame entrance and unify similar approach on the Spring Street elevation



OLD SOUTH ELEVATION ON MADISON STREET 11.18.2015



SOUTH ELEVATION ON MADISON STREET (CURRENT)

# MASSING ON MADISON STREET



VIEW AT MADISON (CURRENT)

Titanium band wraps around south massing.

The corner roof brow is extended to engage Madison Street.

Chamfer expression added to help unify Madison Street facade.

Titanium-colored bands wrap around the corner to reinforce the chamfer expression, from the roof to the ground.

Stone turns the corner and is continued into the vestibule to enhance the interior and exterior pedestrian experience.



VIEW AT MADISON AND BROADWAY (CURRENT)



# MASSING ON MADISON STREET



REC #1 - 11.18.2015

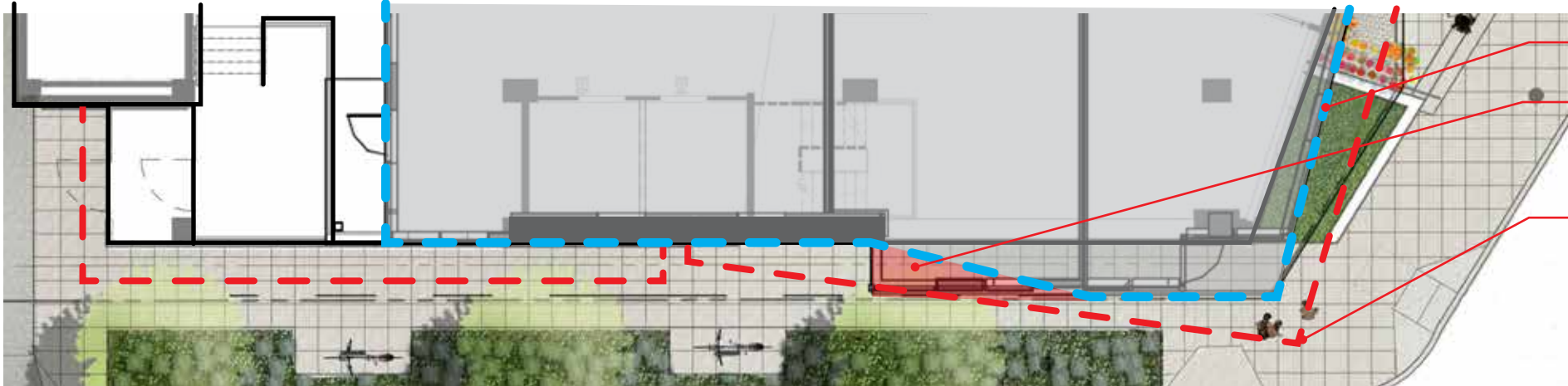


16' - 0"

20' - 0"

VIEW AT MADISON ST. ELEVATION (CURRENT)

- Extended accent bands
- Stepped canopy reacts to grade change and provides a more grand Level 2 entrance
- Stone expression to match Harvard and Spring facades
- Bringing stone down to the sidewalk creates a distinctive separate entrance for the Level 2 entrance.



- Levels 3-14 above (blue dashed line)
- Removed floor area on Levels 3-14 to provide chamfer and unify massing (red overlay)
- Edge of canopies above - Angle follows chamfer and roof overhand above

# MASSING ON MADISON STREET



REC #1 - 11.18.2015

Eliminated stone and added a chamfer to unify the south façade

Extended titanium bands to west end of facade

Raised canopy at Level 2 entrance

Stone extended around corner to the alley

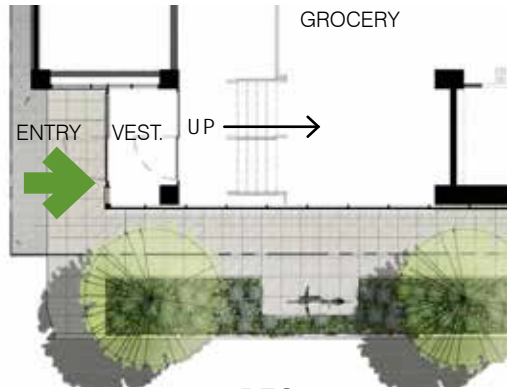
VIEW AT MADISON STREET ENTRY





# MASSING ON MADISON STREET

OLD PARTIAL LEVEL 2 PLAN @ MADISON STREET



REC #1 - 11.18.2015

EXAMPLES OF SIMILAR RETAIL SPACES



## MADISON STREET EXPERIENCE

Wood at soffits at Whole Foods entries, residential entry, and roof brow.

Reorganized retail concept with revised stair location, lobby and seating

Metal canopies typical

Stone turns the corner and is continued into the vestibule to enhance the interior and exterior pedestrian experience.



PARTIAL LEVEL 2 PLAN @ MADISON STREET (CURRENT)



MADISON ENTRY VIGNETTE

# CONTEXT



**1 LUMA CONDOMINIUMS (UNDER CONSTRUCTION)**

- Twenty-four multifamily residential levels. Approx. 168 units. open 2016.
- Residential use with terracotta-clad entrances.
- Contrasting colors define and modulate facade massing.



**3 1001 MINOR (FUTURE)**

- Proposed seventeen multifamily residential levels. Approx. 200 units. In DRB process.
- Vertical bays reduce bulk and accentuate modulation.
- Contrasting colors define and modulate massing.



**2 AVA CAPITOL HILL (UNDER CONSTRUCTION)**

- Six multifamily residential levels. Estimated completion 2016.
- Simple massing cues visually, describes uses within structure.
- Specular blue metal tile bays contrasting with neutral background define and modulate facade massing.



**4 SKYLINE CONDOMINIUMS**

- Twenty-seven multifamily residential levels. Constructed in 2009.
- Vertical bays reduce bulk and accentuate modulation.
- Contrasting colors define and modulate facade massing.
- Lighter precast accent





5

**CIELO APARTMENTS**

- 31 multifamily residential levels. Constructed in 2014.
- Residential use with blue vision and spandrel glass.
- Contrasting colors define and modulate massing.



6

**MADISON CENTER - THE POLYCLINIC**

- Nine medical care levels. Constructed in 2009.
- Medical use with simple massing and detail.
- Chamfered corner responding to site.



7

**FIRST HILL MEDICAL PAVILION**

- Six medical care levels. Constructed in 2013.
- Medical use with blue vision glazing and light colored precast panels.
- Protruding corner expression responds to site.



8

**600 BROADWAY**

- Five medical office levels. Constructed in 1990.
- Blue vision and spandrel glazing express simple massing.
- Contrasting colors define and modulate facade massing.



9

**SWEDISH MEDICAL CENTER ORTHOPEDIC INSTITUTE**

- Eleven medical care levels. Constructed in 2008.
- Medical use with light blue spandrel glazing.
- Contrasting materials and colors define and modulate facade massing.



10

**TOWN HALL SEATTLE**

- Terracotta running bond pattern-similar to other buildings in community.



11

**9TH AND JEFFERSON**

- 14 medical office levels. Constructed in 2009.
- Light-colored stone.
- Contrasting materials and colors define and modulate facade massing.

# MATERIALS & COLOR

## RECOMMENDATION #2 PALETTE

GLAZING - RESIDENTIAL  
(CARDINAL 272 CLEAR)



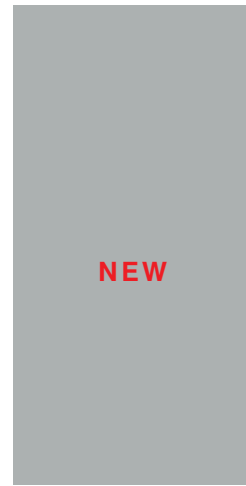
GLAZING - RETAIL  
(CLEAR)



DARK SPANDREL  
(BM 1673)



LIGHT SPANDREL  
(BM 1599)



STONE  
GRAY/BEIGE



STONE DIMENSION: (12" H X 24" W)  
ORIENTATION: RUNNING BOND  
REFERENCE: DIMENSION AND ORIENTATION  
FROM NEIGHBORHOOD CONTEXT MATERIALS  
SUCH AS LIGHT TERRACOTA & BRICK

WOOD  
COMPOSITE  
PANELS -  
SOFFITS



GUARD RAIL /  
ACCENT BAND  
(TITANIUM COLOR)



CMU  
CASTLE  
WHITE



MULLION - 1 / METALLIC  
PANEL FASCIA  
(DURANAR SILVERSTORM)



CONCRETE



## DRB RECOMMENDATION MEETING 11.18.2015

GLAZING - RESIDENTIAL



GLAZING - RETAIL



DARK SPANDREL



LIGHT SPANDREL



STONE COLORS  
BEIGE



GRAY



GUARD RAIL /  
ACCENT BAND



MULLION - 1 / METALLIC  
PANEL FASCIA



WOOD  
COMPOSITE  
PANELS -  
SOFFITS



CMU  
CASTLE  
WHITE



CONCRETE





REC #1 - 11.18.2015

Light blue spandrel revised to light grey to emphasize residential bay modulation and to provide more variety in color palette

Removed balconies to accentuate projecting bays

Open railing system helps accentuate the modulated/projecting glass bays

Window color changed to match lighter retail glazing and increase contrast between spandrel colors

Light gray/beige stone

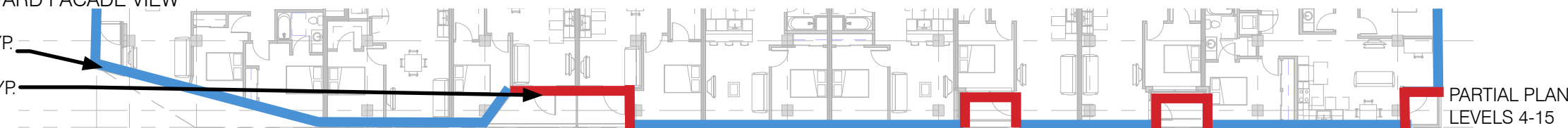


HARVARD FACADE VIEW



DARK SPANDREL LOCATION, TYP.

LIGHT SPANDREL LOCATION, TYP.



PARTIAL PLAN LEVELS 4-15

# MATERIALS AND COLOR

Removed balconies to emphasize massing

New light gray spandrel in recesses and at returns in recesses

New lighter window color matches retail for consistency.

Painted decks to help emphasize modulation

Added new retail corner



VIEW FROM HARVARD STREET



# MATERIALS AND COLOR

Titanium wraps from Madison to west facade into inside corner to emphasize Madison mass.

Revisions to green roof landscaping plan to improve "fifth" facade facing towards taller neighboring buildings.

Lightened window color

Changed spandrel to light gray to add contrast

Beige/light gray stone complements CMU color

Loading dock for grocery with doors to reduce noise and visual access.



REC #1 - 11.18.2015

VIEW OF WEST ELEVATION



# MATERIALS AND COLOR



**ELEVATION - EAST (HARVARD)**

SOFFITS: WOOD COMPOSITE PANELS (UNDERSIDE OF SOFFIT)

MULLION - 1: GREY

DARK SPANDREL: BM 1673

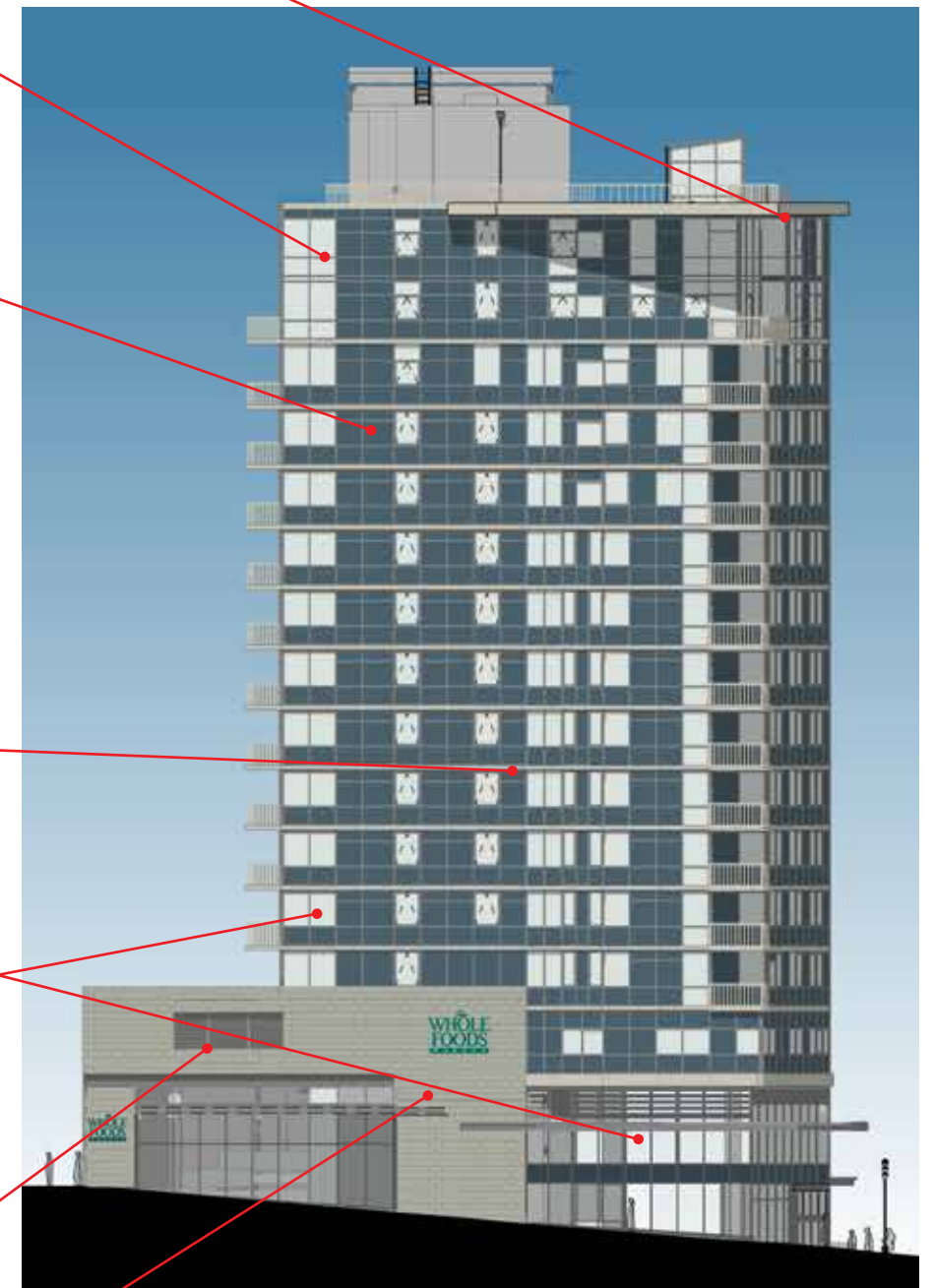
LIGHT SPANDREL:

GUARD RAIL: SIMILAR TO ALPOLIC TITANIUM

RESIDENTIAL AND RETAIL GLAZING: CLEAR

MECHANICAL SCREENING AND WALLS: GREY

STONE



**ELEVATION - SOUTH (MADISON)**



# MATERIALS AND COLOR



SPRING ST.

MADISON ST.

**ELEVATION - WEST (ALLEY)**



MECHANICAL SCREENING AND WALLS: GREY



MULLION - 1: GREY



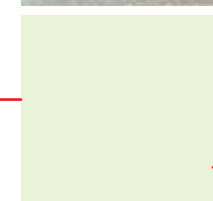
DARK SPANDREL: BM 1673



LIGHT SPANDREL:



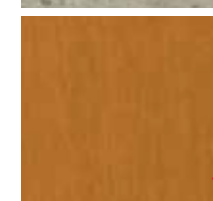
GUARD RAIL: SIMILAR TO ALPOLITIC TITANIUM



RESIDENTIAL AND RETAIL GLAZING: CLEAR



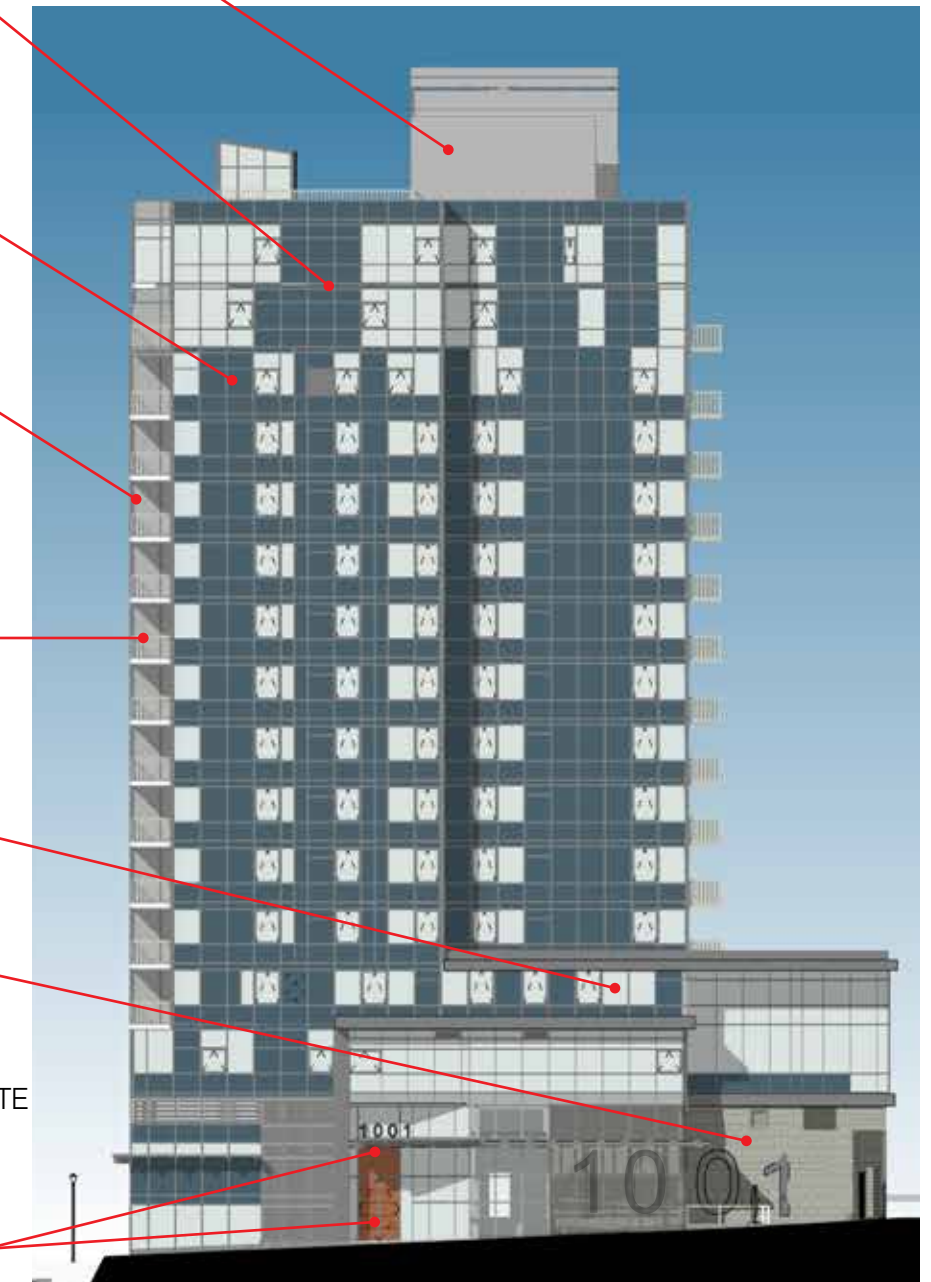
STONE



WOOD COMPOSITE PANELS (UNDERSIDE OF SOFFIT & DOOR)



CMU: GROUND FACE CASTLE WHITE



HARVARD AVE.

ALLEY

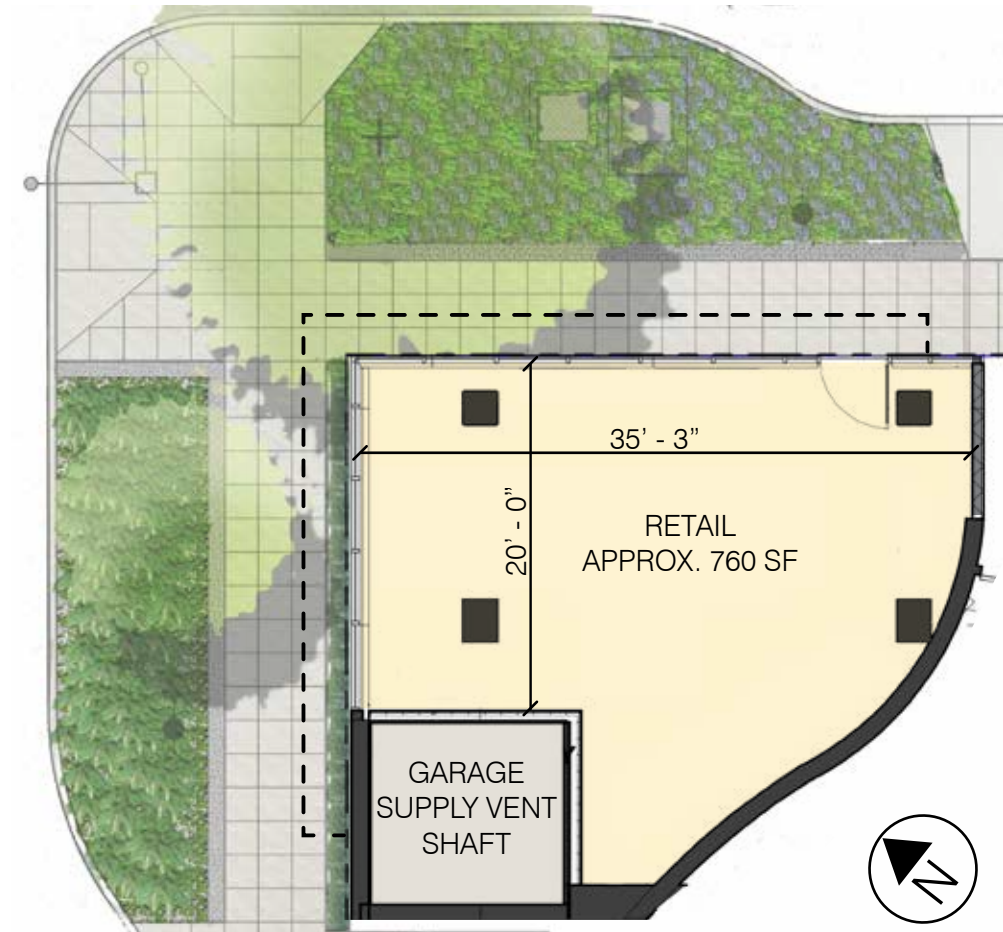
**ELEVATION - NORTH (SPRING)**

# SPRING STREET

## EXAMPLES OF SIMILAR RETAIL SPACES



**NOTE:** Inspirational images only - programming of space to be determined



**NEW RETAIL SPACE**  
An active retail space will be provided at the corner of Spring and Harvard.



VIEW FROM CORNER OF SPRING AND HARVARD



LEVEL 1 PLAN



REC #1 - 11.18.2015

New light gray spandrel in recesses and at returns in recesses

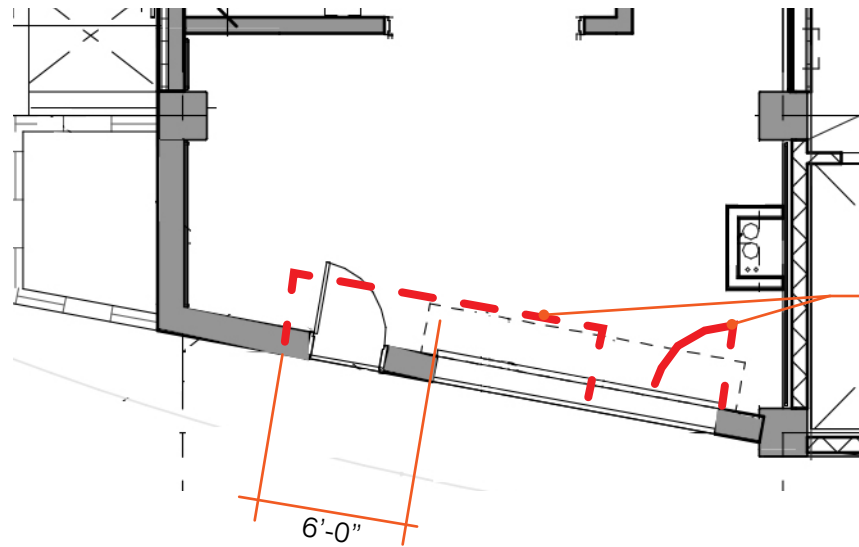
New active retail at corner



VIEW FROM SPRING STREET

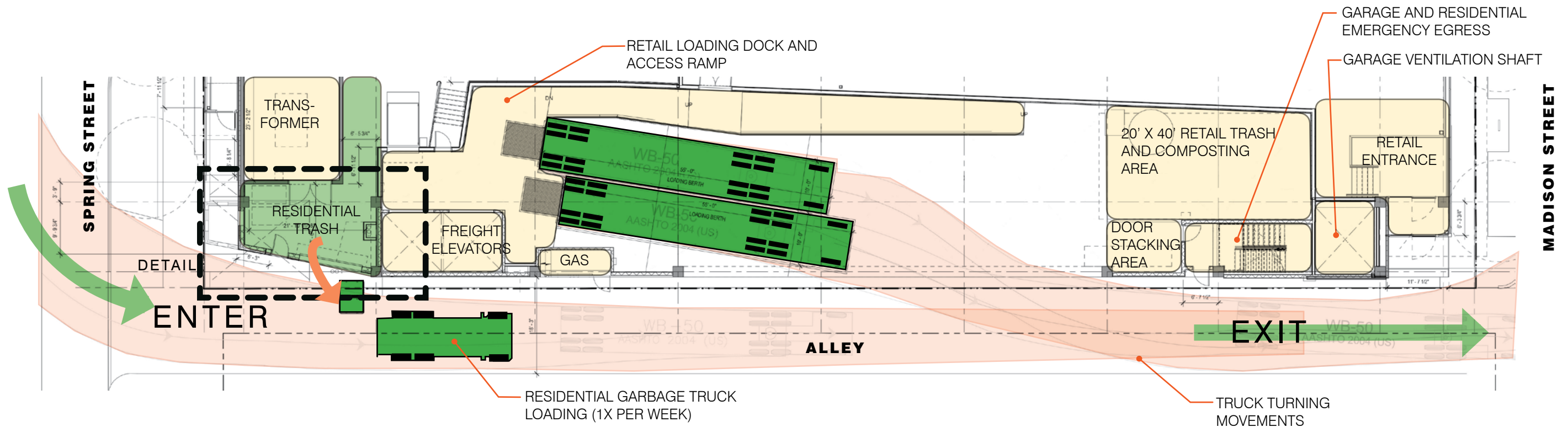


# ALLEY TRASH/TRUCK DIAGRAM



- Roll-up door moved 6 feet further away from Spring Street
- Previous location of roll-up and man-doors

DETAIL



APPROVED  
DRB REC #1

APPROVED  
DRB REC #1

APPROVED  
DRB REC #1

#	Code Requirement	Departure Requested	How This Departure Better Meets the Design Guidelines
1	<b>Façade Setback</b> (SMC 23.47A.008.A.3) Street-level street-facing façades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or approved landscaped or open spaces are provided.	The applicant proposes to provide façade setback on the corner of the Alley & Madison of 17'-0" from the property line.	Portions of our street level facades at the alley on both Madison and Spring are greater than 10 feet from property line. These setbacks are provided as a safety measure so that we can provide greater visibility around the corners of the building at the alley which will have increased truck traffic due to the loading dock off the alley. The building is also setback from the property line to allow for required sidewalk width.  Design Guidelines: PL1:A2, B1 & DC1: B1
2	<b>Sight Triangle</b> (SMC 23.54.030.G.1) A sight triangle is required on the exit side of a two-way driveway greater than 22 feet wide.	The applicant proposes to provide mirrors or other safety measures instead of the sight triangle for the garage exiting access drive aisle.	Eliminating the sight triangles minimizes the appearance of the driveway, which would otherwise dominate the street-level façade.  Design Guidelines: DC1:B1, C1
3	<b>Street Use</b> (SMC 23.47A.005.C.1.d) Residential uses in all NC and C zones: Residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations; (d.) at street level within a zone that has a height limit of 85 feet or higher, except as provided in subsection 23.47A.005.C.2	The applicant proposes to provide 73% of residential multifamily entry lobby and building support spaces along Spring Street.	The residential entry lobby will be active and open with visibility similar to a commercial space. A strong accessible connection to the street includes 'super graphic' address numbers along a feature wall at an interior entry ramp. A height change from the sidewalk to the residential entry delineates privacy while open glazing promotes security and interaction with the street.  Design Guidelines: CS2:B2, PL1:A2, PL2:B1, PL3:A1, C1, PL4: B2,B3
4	<b>Parking Space Size/ Distribution</b> (SMC 23.54.030 (B) & (B.2.c) Commercial parking spaces when provided are required to be- 35% minimum 'S' size (7.5 ft x 15ft) and 35% minimum 'L' size (8.5 ft x 19 ft)	The applicant proposes to provide 10 spaces (8%) 'L' size parking stalls and no 'S' size stalls. A larger and a smaller medium size stall are provided - M(a) (64 spaces) 53%= 9 ft x17ft, M(b) (50 spaces) 40%= 8 ft x17ft	Currently, no parking is required on the site and the proposed below ground retail spaces and residential spaces contribute to serving multiple uses on the site. The size distribution of retail spaces among those provided meets the intent of diverse space sizing within the zoning code.  Design Guidelines: DC1: B1,C1-C3
5	<b>Street-Level Development Standards</b> (SMC 23.47A.008.B3) Non-residential uses at street level shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level façade.	For the retail space located on the corner of Spring and Harvard, the applicant is proposing a space that meets the minimum depth requirement but which averages roughly 25 feet	This space was originally identified as a bike storage room but the Design Review Board has urged the applicant to provide a pocket retail space for this location. Due to the programmatic constraints in this corner of the building, the retail space cannot gain extra space to meet this requirement. The applicant does agree with the Board that retail is a better use for this corner and will provide for an more active and vibrant corner.  Design Guidelines: CS2: B2, PL1: B1, PL2: B3.
6	<b>Street-Level Development Standards</b> (SMC 23.47A.008.B4) Non-residential uses at street level shall have a floor-to-floor height of at least 13 feet.	For the retail space on the corner of Spring and Harvard the applicant is proposing a floor-to-floor height of 10'-5"	For a similar reason to departure #5 above, the applicant agrees with the Board that retail is a better use for this corner and will provide for an more active and vibrant corner.  Design Guidelines: CS2: B2, PL1: B1, PL2: B3.



VIEW AT MADISON AND BROADWAY



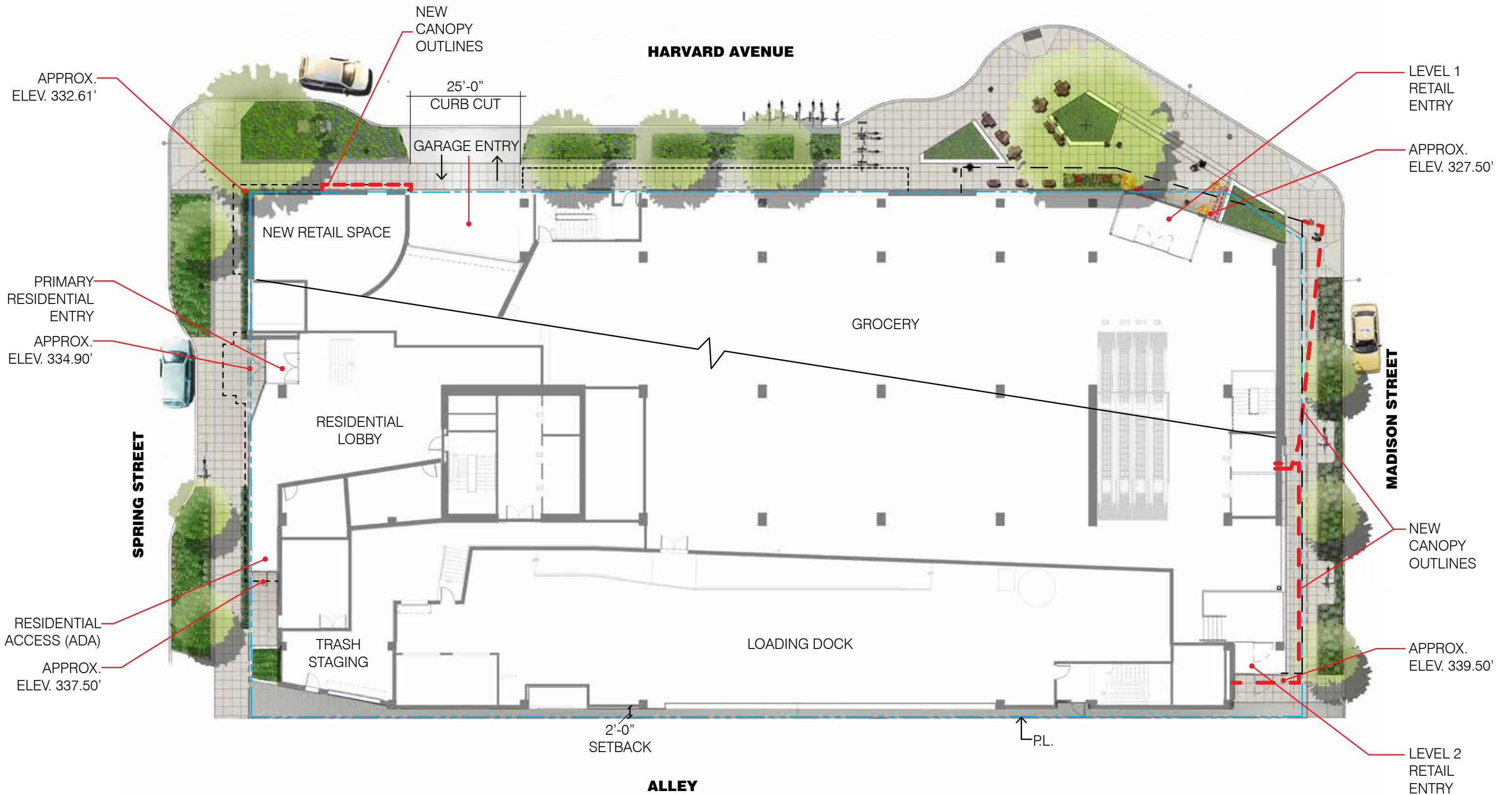
VIEW ON HARVARD STREET



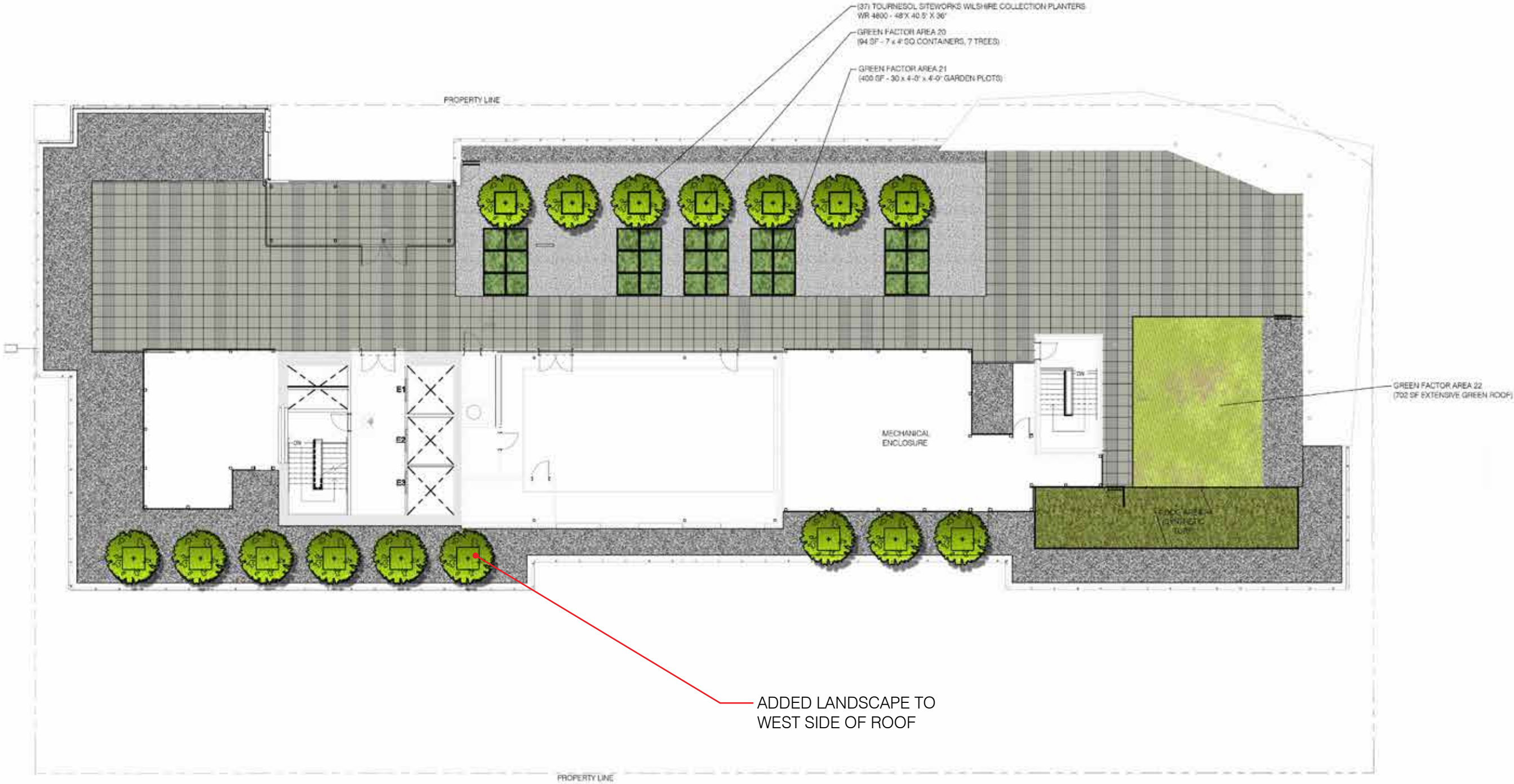


# APPENDIX

# SITE PLAN

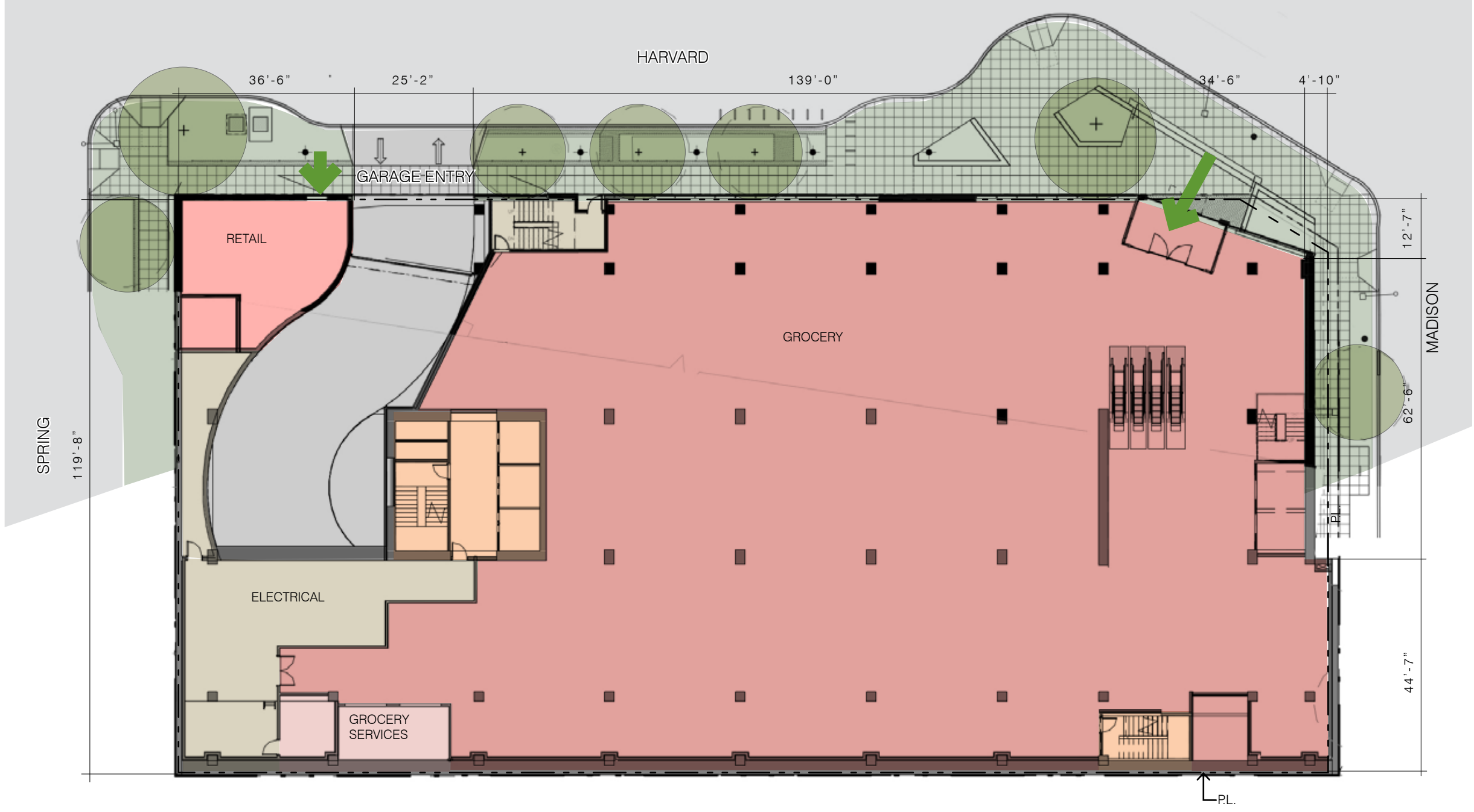


LANDSCAPE ROOF PLAN



# FLOOR PLANS

- KEY
- GROCERY
  - GROCERY SERVICES
  - RESIDENTIAL
  - RESIDENTIAL SERVICES
  - SHARED BUILDING SERVICES
  - PARKING
  - COMMON SPACES
  - OUTDOOR AMENITY



**LEVEL 1 PLAN: GROCERY**

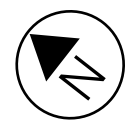
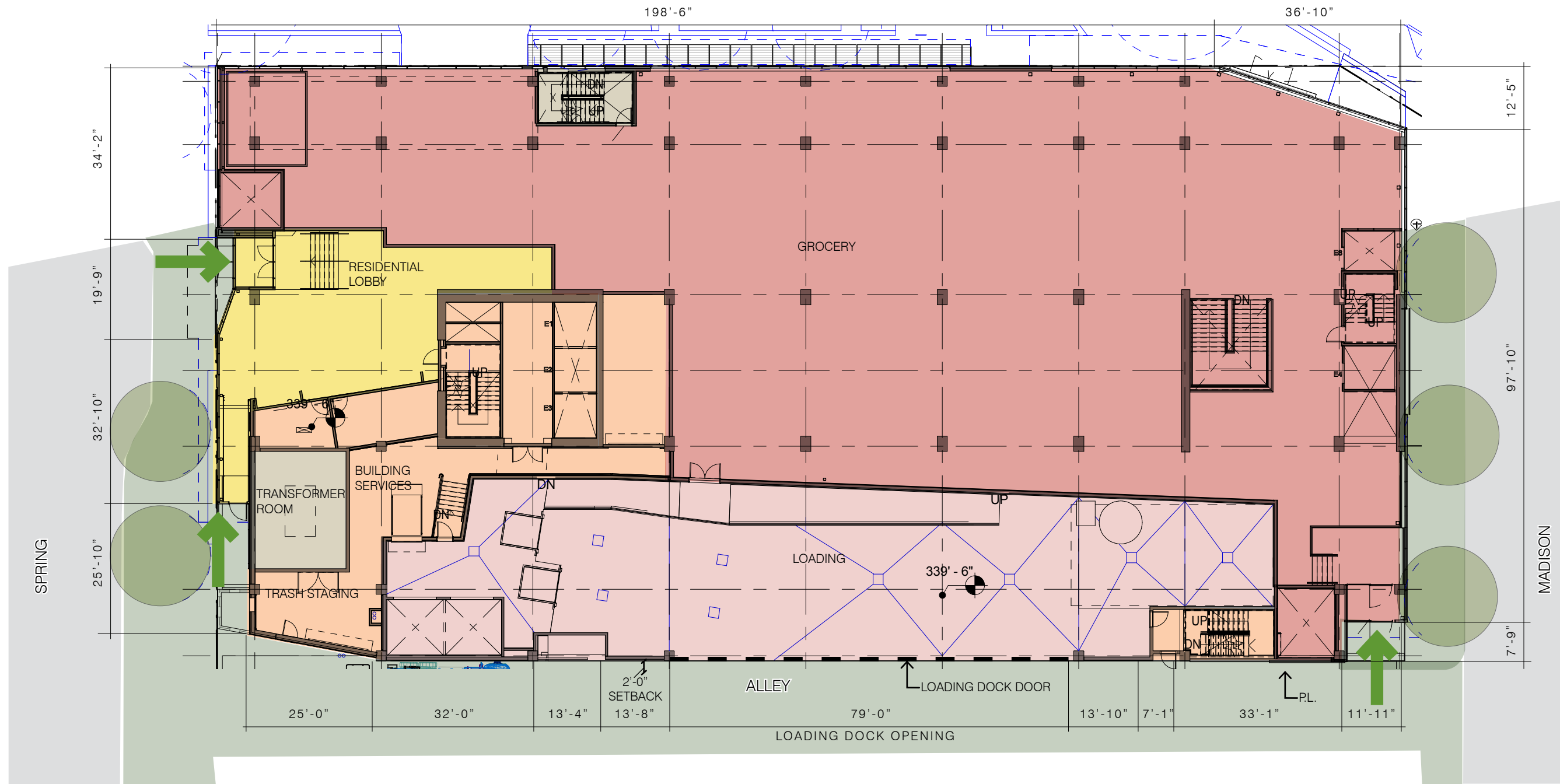
PEDESTRIAN ACCESS



# FLOOR PLANS

## KEY

- GROCERY
- GROCERY SERVICES
- RESIDENTIAL
- RESIDENTIAL SERVICES
- SHARED BUILDING SERVICES
- PARKING
- COMMON SPACES
- OUTDOOR AMENITY



PEDESTRIAN ACCESS

## LEVEL 2 PLAN: RESIDENTIAL ENTRY, GROCERY, LOADING DOCK

# SPANDREL GLASS COLOR DIAGRAM



VIEW FROM THE NORTHEAST