

1001 BROADWAY

CITY OF SEATTLE DESIGN REVIEW

RECOMMENDATION MEETING

DPD PROJECT #3019050

NOVEMBER 18, 2015

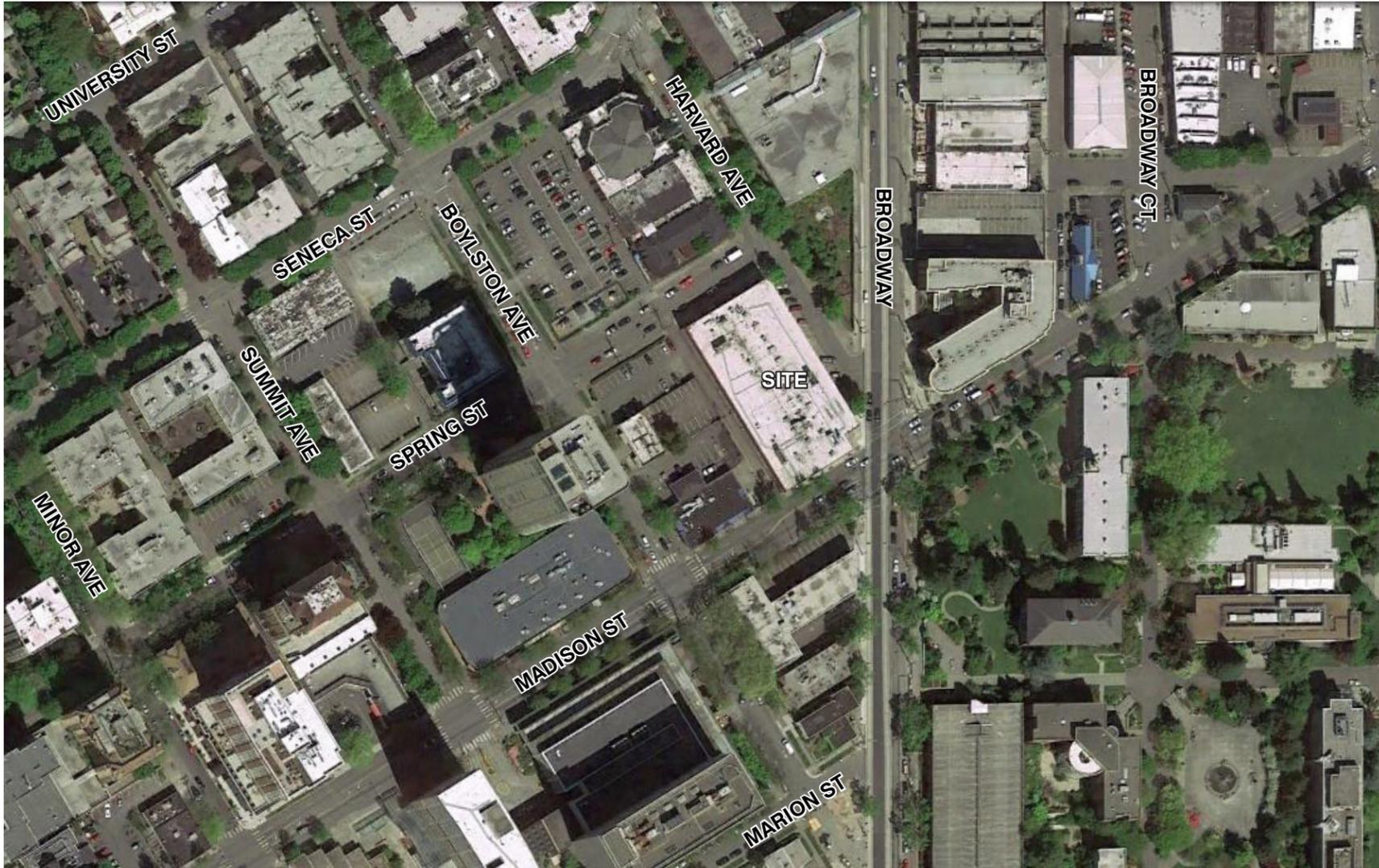
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SITE & DEVELOPMENT INFORMATION



EXISTING SITE:

The existing site occupies half a block at the intersection of Madison Street and Broadway. Harvard Avenue runs along the northeast edge of the site, Spring Street bounds the site on the north, and an alley runs along the rear property line. There is an existing 3-story medical office building on the site with some retail uses on Harvard and on Madison and a parking entrance on Harvard Ave. There is an approximate ten foot grade change from the south corner to the lowest point at the east corner of the site.

ZONING & OVERLAY DESIGNATION:

The site is zoned NC3P-160 (Neighborhood Commercial) and is in the First Hill Urban Center Village. Madison and Broadway are principle pedestrian streets. Adjacent zones include NC3-65, NC3-85, NC3-160, HR, MIO-70 and MIO-160.

NEIGHBORHOOD DEVELOPMENT & USES:

This site is located at the intersection of several different uses, including Seattle University to the east, Swedish Medical campus to the south, the Broadway business district to the north, and a mix of commercial and residential uses in the high-rise zone to the west.

DEVELOPMENT OBJECTIVES:

The applicant proposes a mixed-use building that includes a two-story grocery at the base, grocery-related offices and mechanical on the 3rd floor, 14 residential stories above, and five stories of underground parking.

DEPARTURES:

See page 44 for requested departures.

PROPOSED BUILDING SUMMARY: (all numbers approximate)

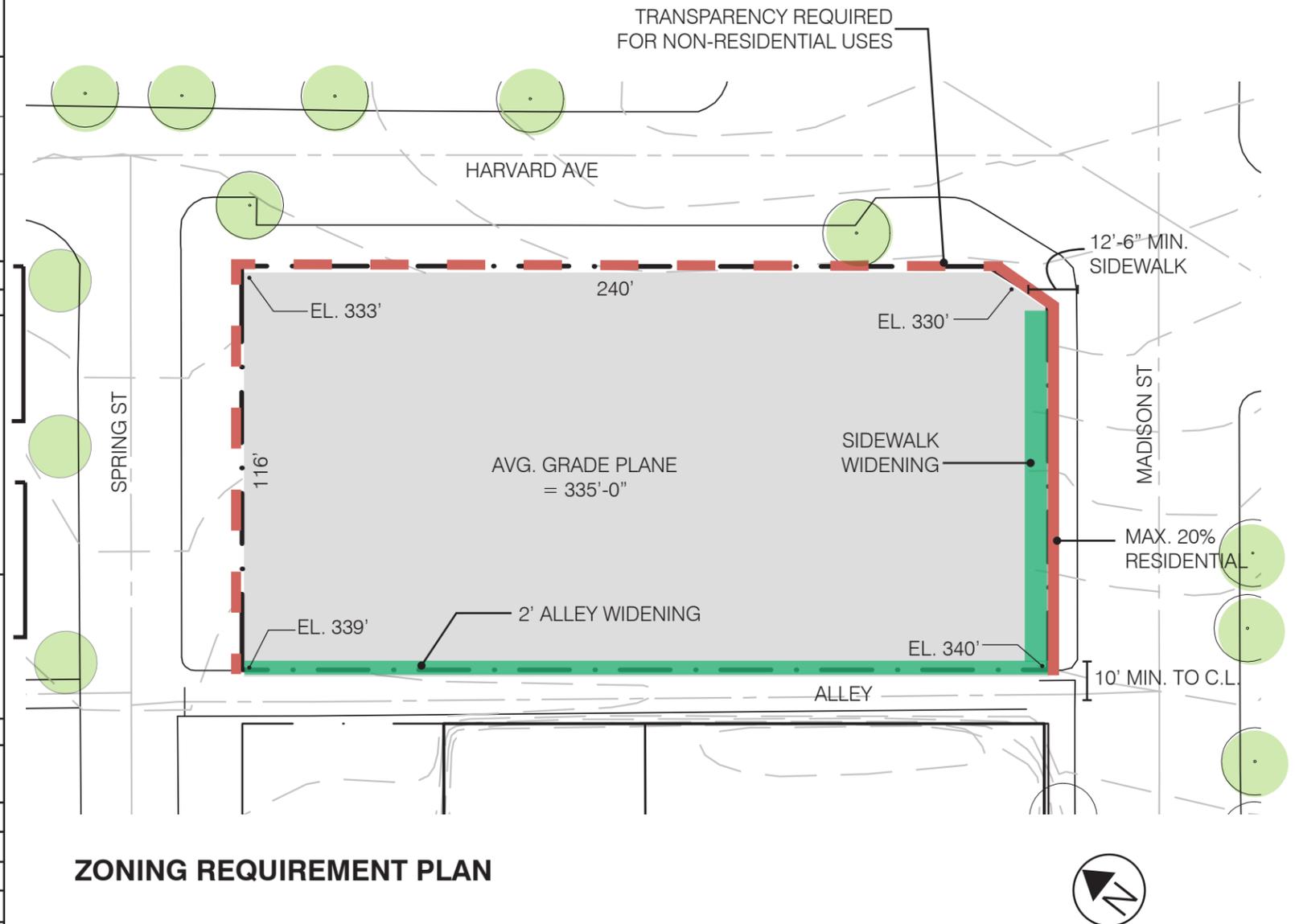
Proposed Uses:	Grocery, Residential, Ancillary Parking & Food Producing Greenhouse
Structure Height:	160' Above Average Grade, Plus Rooftop Mechanical
Number of Residential Units:	265
Building Area:	480,109 SF
Residential Area:	246,602 SF
Retail Related Area:	49,393 SF
Number of Parking Stalls:	358
Number of Bicycle Spaces:	99



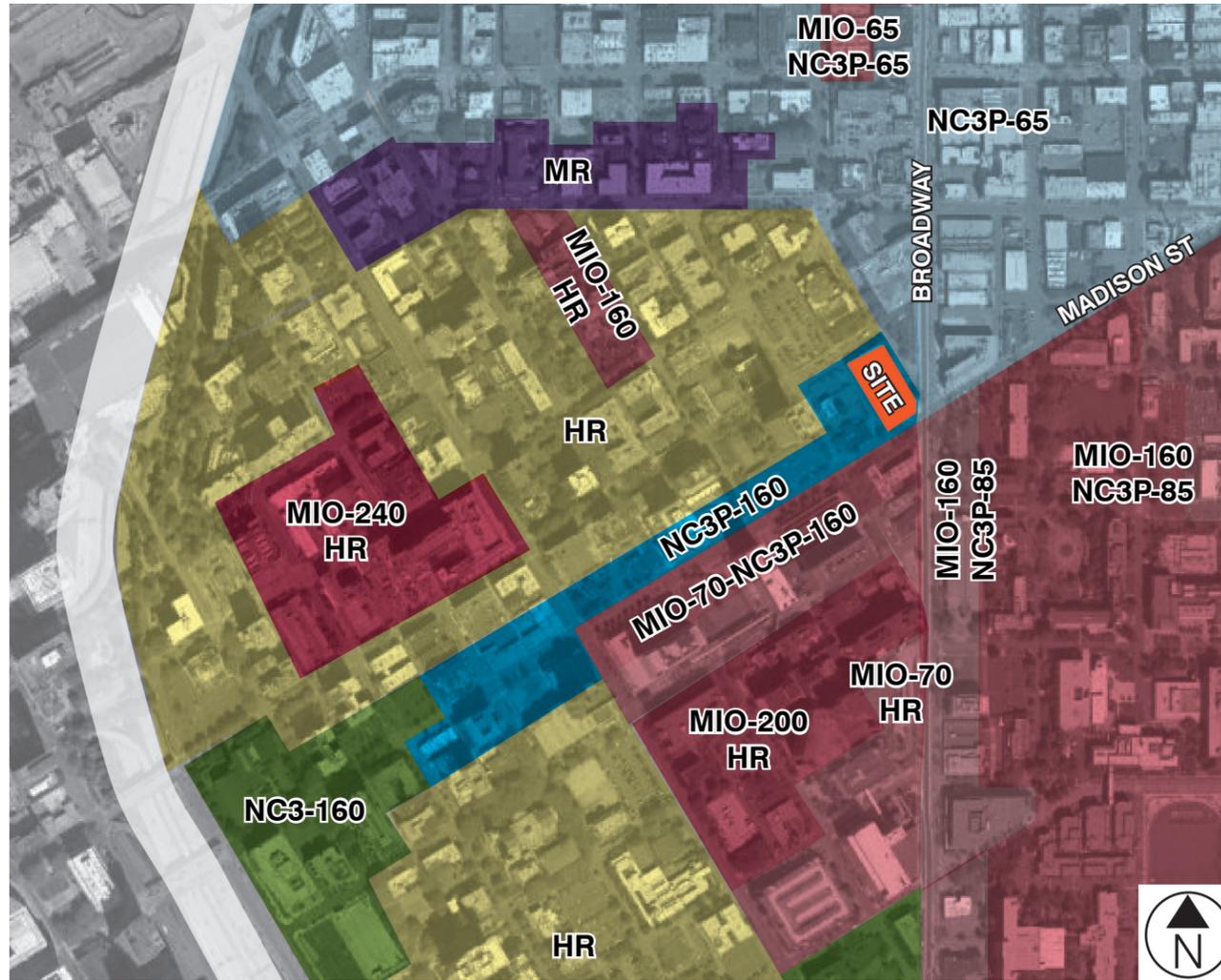
URBAN CENTER VILLAGE OVERLAYS

ZONING REQUIREMENTS

ZONING OVERVIEW	
Zone	NC3P-160
Adjacent zones	NC3-160, NC3-85, NC3-65, HR, MIO-70, MIO-160
Zoning overlay	First Hill Urban Center Village
R.O.W. Designation	Madison: Principal arterial, principal pedestrian street Broadway: Minor arterial, principal pedestrian street Spring: Neighborhood Green Street
Permitted uses	Eating and drinking establishments, lodging, offices, general sales and services, residential, live-work. Residential uses limited to 20% of street-level, street-facing facades. On a principal pedestrian street, 80% of the street-level street-facing facade shall including eating and drinking establishments or general sales & services (partial list)
DEVELOPMENTAL POTENTIAL	
Lot size	28,695 sf
Allowable FAR	7.0 for all uses 5.0 for any single use within a mixed-use structure Gross floor area not counted toward FAR: <ul style="list-style-type: none"> Gross floor area underground All residential floor area in the First Hill Urban center Village on lots zoned NC3 with a 160' height limit All portions of a story that extend no more than 4' above existing or finished grade, whichever is lower Area of rooftop, food-producing greenhouse
Structure height	160' base height allowed Rooftop features: <ul style="list-style-type: none"> Max. 25% of roof area; 50% if food-producing greenhouse incl. 15' above base ht for mech. equip. and food-producing grnhse 16' above base height for stair and elevator penthouse
Setbacks	None required
STREET-LEVEL STANDARDS	
Blank facade	Limited to 40% of street-level, street-facing facade and 20' in width.
Transparency	60% minimum at non-residential uses.
Height	Non-residential uses: minimum 13' Floor to floor
Depth	Non-residential uses: 30' average, 15' minimum depth
PARKING REQUIREMENTS	
Automobiles	No minimum required in an urban center
Parking access	If access is not provided from alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines as approved by the Director
Bicycles	Nonresidential: 1 per 12,000 sf long term 1 per 2,000 sf short term Residential: 1 spot per 4 units



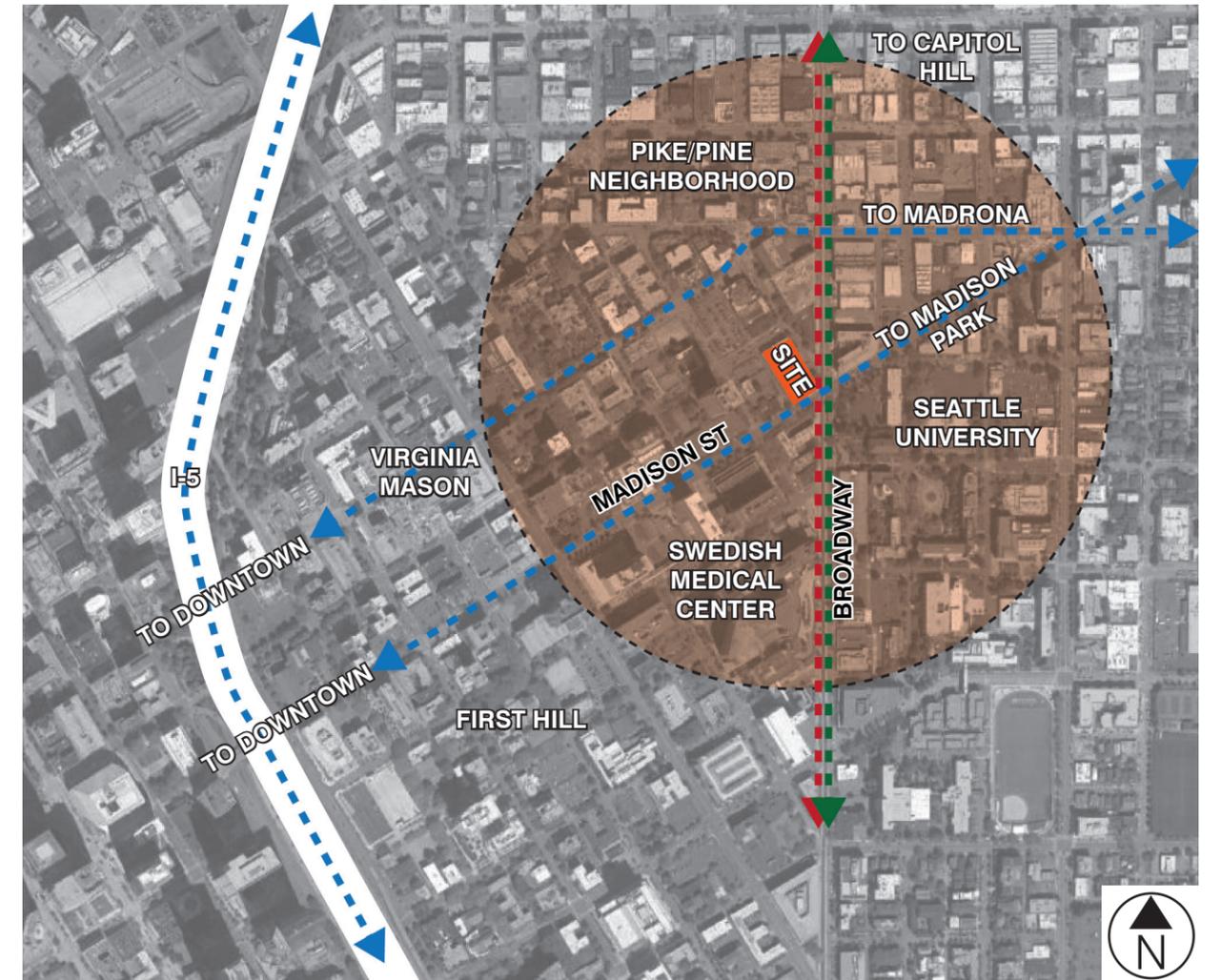
ZONING & URBAN CONTEXT



ZONING

ZONING KEY

	NC3P NEIGHBORHOOD COMMERCIAL 3 PEDESTRIAN
	NC3 NEIGHBORHOOD COMMERCIAL 3
	MIO MAJOR INSTITUTION OVERLAY
	HR HIGHRISE
	MR MIDRISE

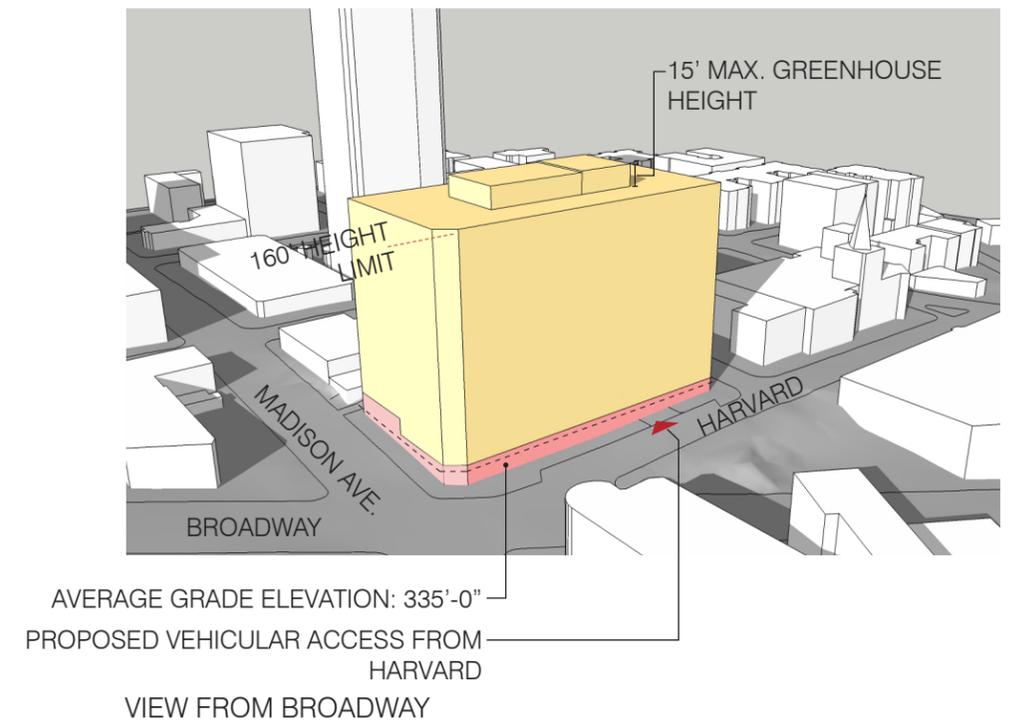
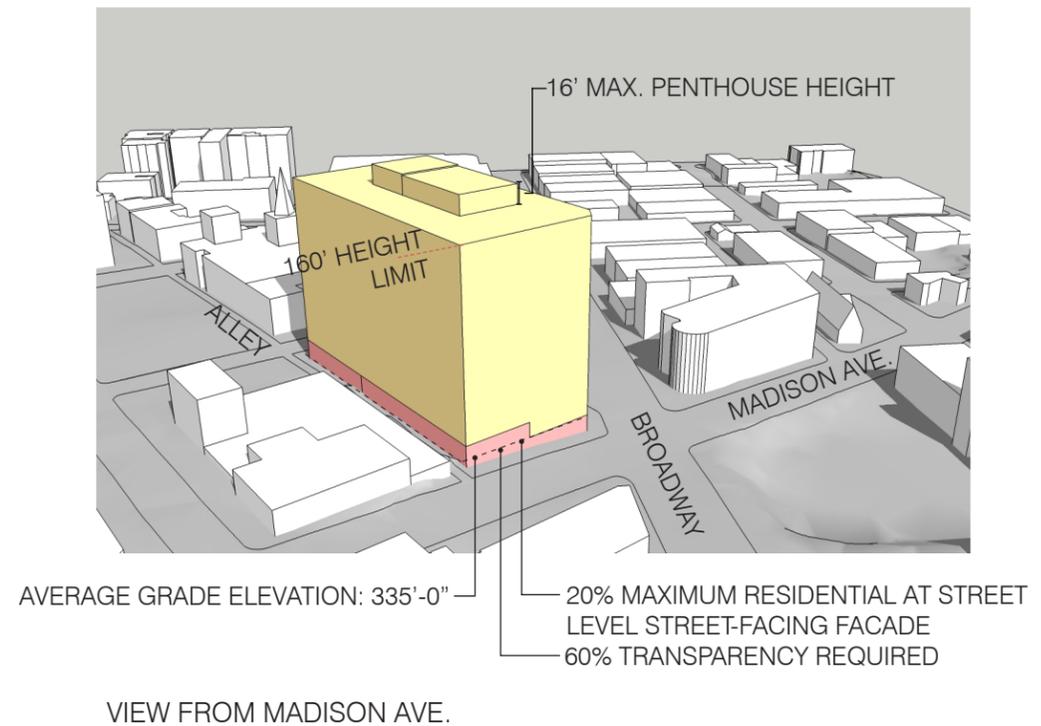
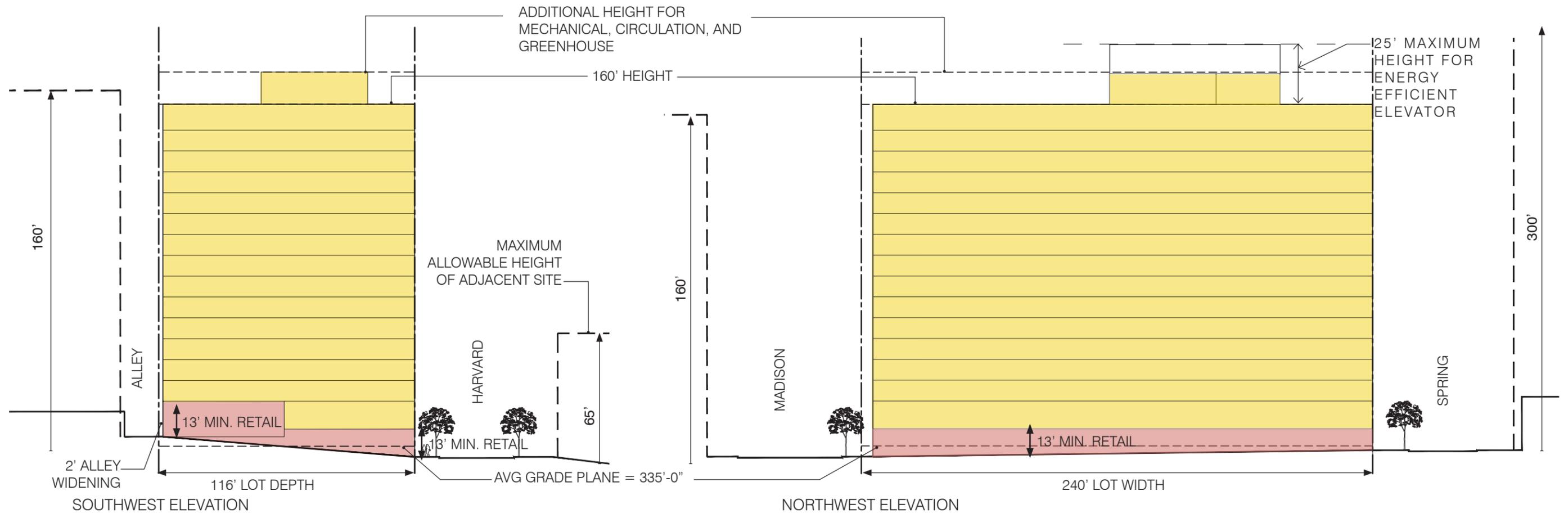


SITE CONNECTIVITY

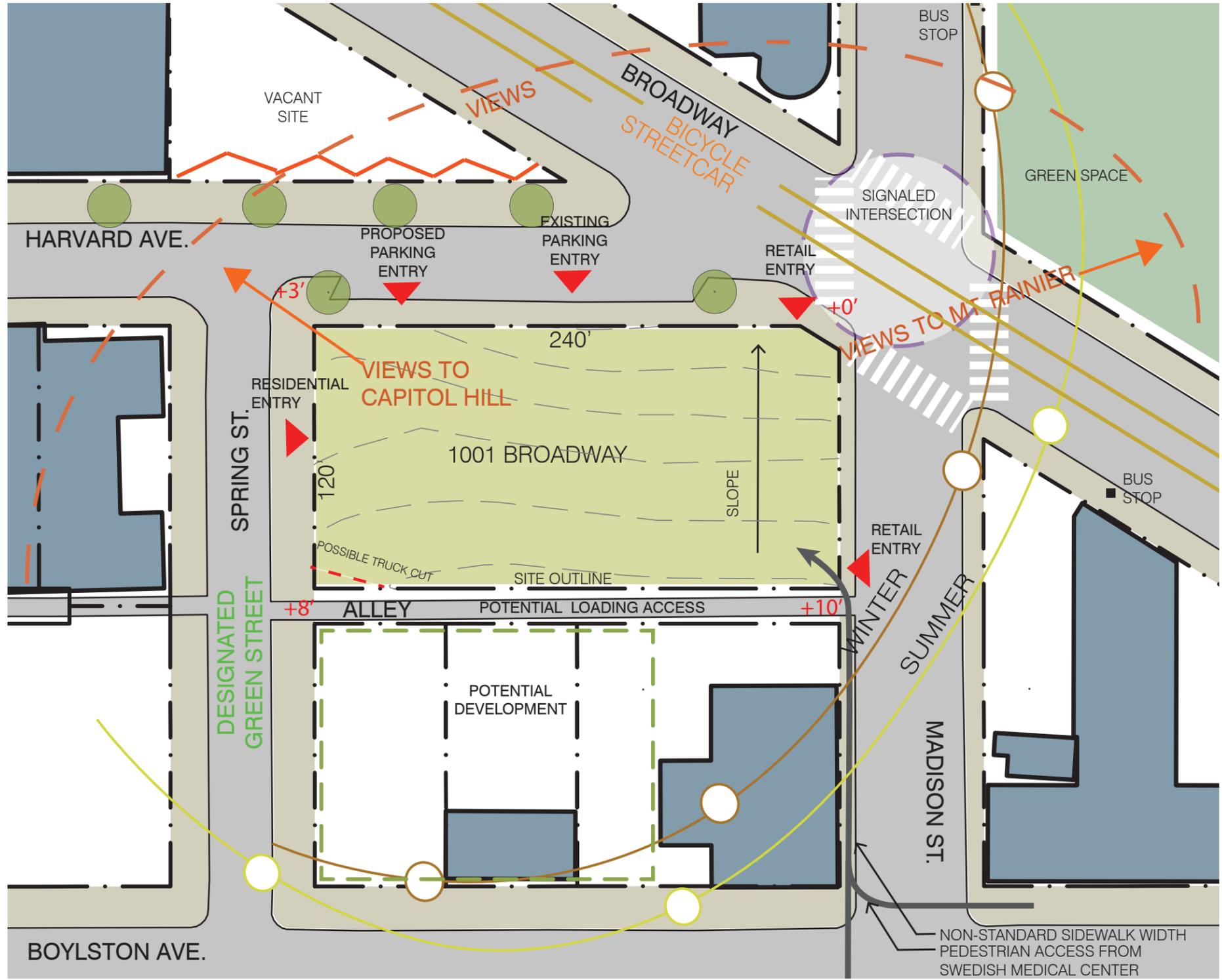
SITE CONNECTIVITY KEY

	ARTERIAL OR FREEWAY
	STREETCAR
	DEDICATED BIKE LANE
	1/4 MILE WALKABLE RADIUS

ZONING REQUIREMENTS



OPPORTUNITIES & CHALLENGES



OPPORTUNITIES

- Develop site to full potential
- Five-way intersection creates a very visible site
- Views over Seattle U campus to Mt. Rainier
- Site is well connected to surrounding neighborhoods and downtown
- Site takes advantage of recent and future transit improvements to light rail and bike lanes
- Strong pedestrian connections to surrounding major institutions

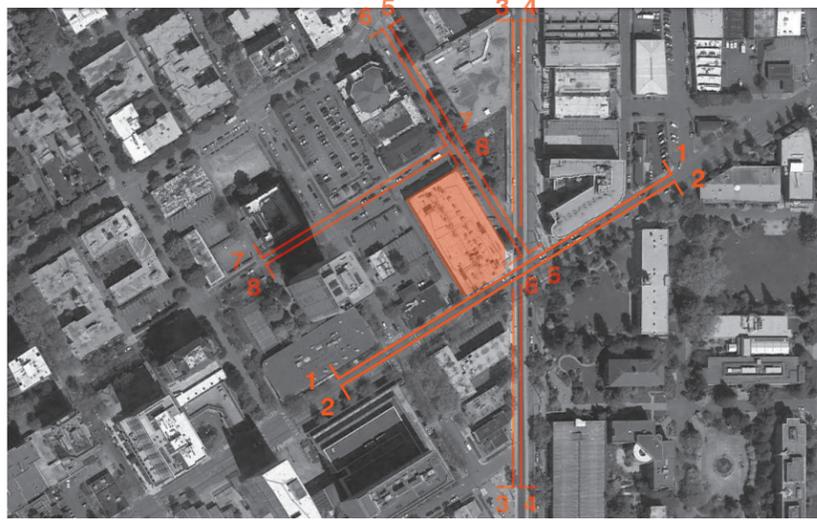
CHALLENGES

- Sloped site creates challenges for vehicular access
- Five-way intersection is a challenging pedestrian environment that needs improvement
- Context has diverse scale and architectural character
- Alley is at higher elevation, making parking access difficult
- Access required for large service trucks
- Sloped sidewalk presents challenge to pedestrian-friendly environment
- Four sides of building face four different contexts

OPPORTUNITIES & CHALLENGES



STREETSCAPES



KEY PLAN

PROJECT SITE



1 MADISON ST. LOOKING TOWARD THE SITE



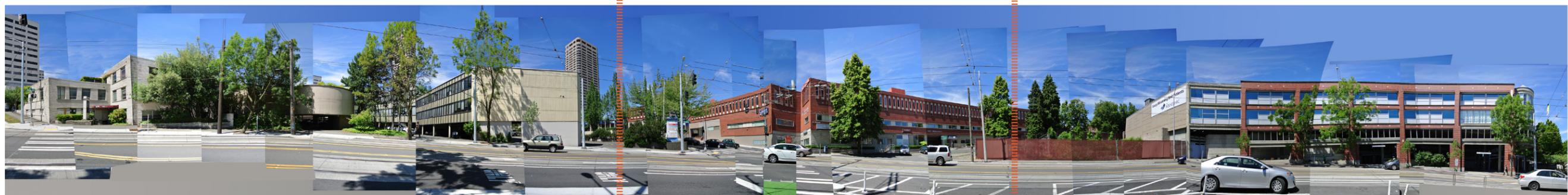
2 MADISON ST. LOOKING AWAY FROM THE SITE





KEY PLAN

PROJECT SITE



3 BROADWAY LOOKING TOWARD THE SITE



4 BROADWAY LOOKING AWAY FROM THE SITE



STREETSCAPES



KEY PLAN



5 HARVARD AVE LOOKING AWAY FROM THE SITE

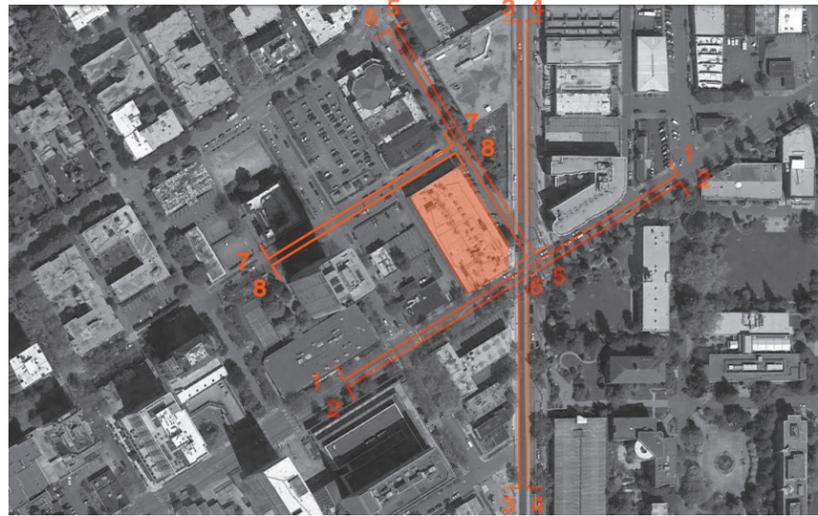
PROJECT SITE



6 HARVARD AVE LOOKING TOWARD THE SITE

SPRING ST

SENECA ST



KEY PLAN



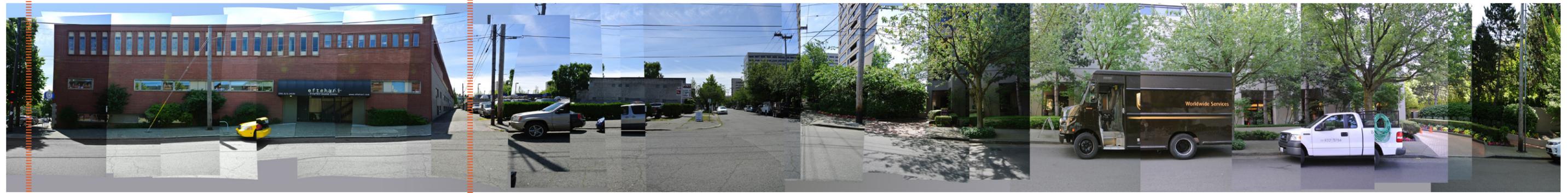
8A ALLEY LOOKING SOUTH



7 SPRING STREET LOOKING AWAY FROM THE SITE

PROJECT SITE

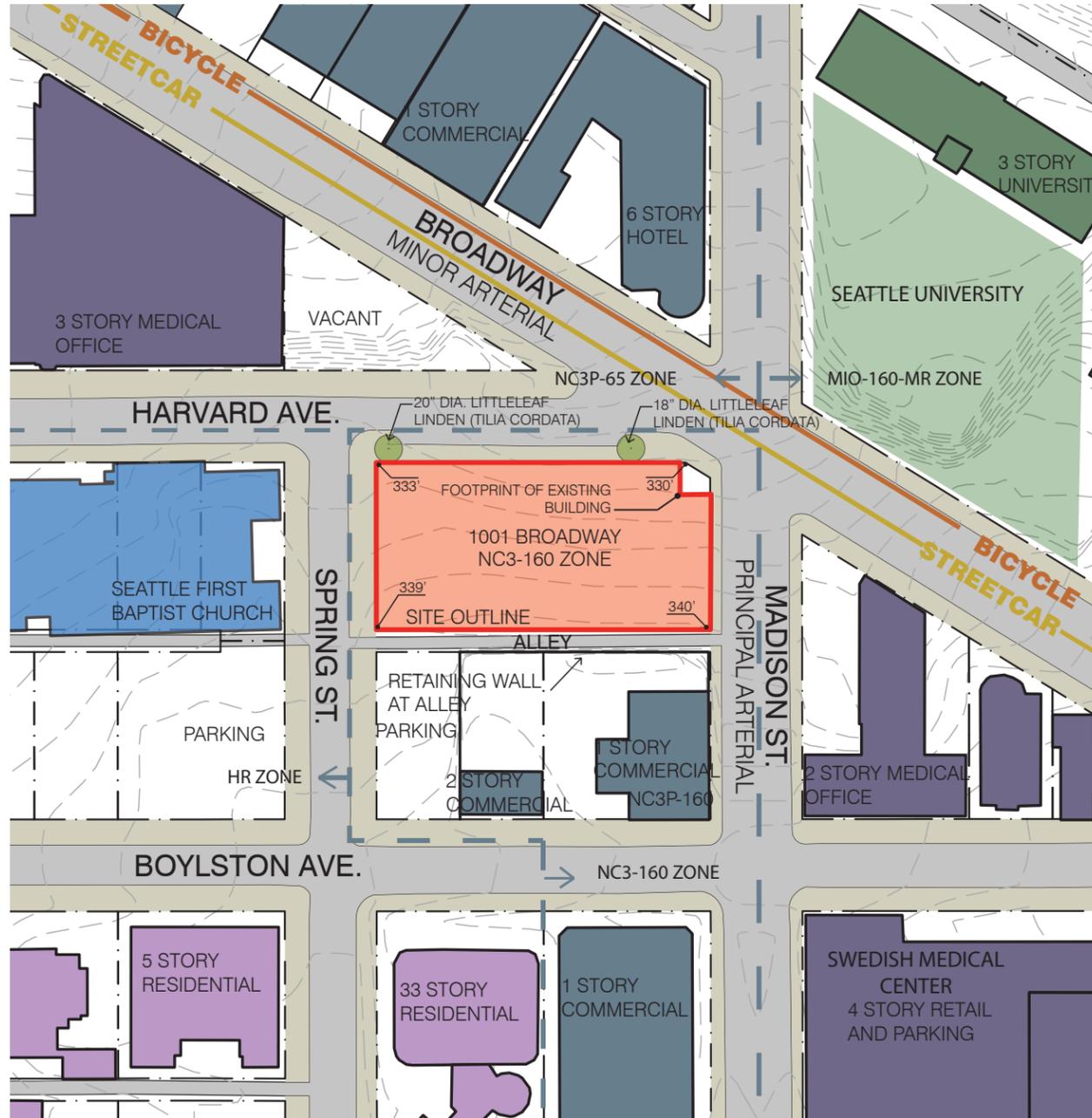
BOYLSTON AVE



8 SPRING STREET LOOKING TOWARD THE SITE

BOYLSTON AVE

SITE ANALYSIS



EXISTING SITE PLAN



- Existing uses are loosely grouped by the cardinal directions
- Varied building footprints
- Buildings typically hold the street's edge

KEY

- PROJECT SITE
- RESIDENTIAL
- COMMERCIAL
- MEDICAL
- UNIVERSITY
- RELIGIOUS



URBAN CONTEXT



- Design all four facades
- 3 distinct neighborhoods:
 First Hill: Swedish Medical Center and high rise
 Capitol Hill - NC3-65
 Seattle University



VIEW FROM MADISON & BROADWAY - MARCH 4, 2015

7) DESIGN REVIEW, DESIGN CONCEPT/SCALE

- Board liked strong street wall on Madison and stronger corner presence of the chamfer.
- Modulation, fenestration, architectural details and materials should break down the scale of the façade.
- A more defined modulation was necessary on all four façades to break down the scale and width of the tower.
- The fenestration should support a solid architectural concept and modulation in the upper levels.
- Recommends a quality, high-endurance material given the scale of the structure.



VIEW FROM MADISON & HARVARD - MARCH 4, 2015

8) DESIGN REVIEW, CURB BULB/PLAZA

- The plaza and curb bulb open space should be adequately sized to service the large number of users to the site (similar to Westlake and Denny.)
- The fenestration wrapping the corner at Madison and Broadway was very successful.
- Provide additional ground level building setback at the corner.



VIEW LOOKING EAST ON MADISON - MARCH 4, 2015

9) DESIGN REVIEW, MADISON ST. AT EDG

- The façade be developed to include substantial glazing and utilize other treatments to create a safe, inviting pedestrian experience.
- Show how the building will accommodate safe exiting onto Madison Street.



VIEW LOOKING SOUTHEAST ON SPRING - MARCH 4, 2015

10) DESIGN REVIEW, SPRING ST.

- Active, transparent uses be included on the corner of Spring Street and Harvard Street and the corner of Spring Street and the alley.
- Create a space that is safe, inviting, and emphasizes the pedestrian experience and sense of entry.
- An upper level setback may be appropriate on Spring Street to reinforce and enhance the pedestrian scale.
- Not supportive of the street façade that included blank walls with history boards and textured materials.



PREFERRED OPTION BACK VIEW - MARCH 4, 2015

OTHER

- Roof be developed as a fifth façade and include substantial green roof
- Additional detail showing how the alley façade would be designed to mitigate a long blank wall
- Provide a lighting plan for each façade with an emphasis on pedestrian scale lighting below the tree canopy

DESIGN CONCEPT AND SCALE

A tri-partite architectural design with a distinctive base, middle, top, serves to properly structure the building consistently with the surrounding neighborhood.

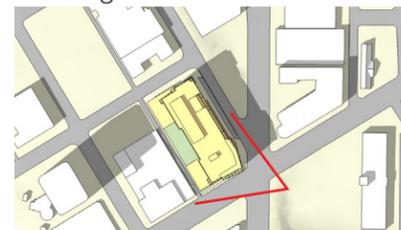
Projecting roof soffit at corner massing.

Emphasize gateway corner chamfer expression.

Light and dark glass spandrels added to emphasize residential bay modulation.

Titanium colored accent bands to emphasize chamfer.

Varied color stone added to help break up facade and to provide tie to historical First Hill Neighborhood.



EDG RENDERING

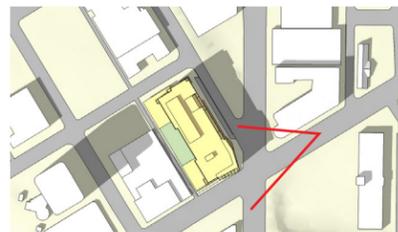
VIEW AT MADISON AND BROADWAY

DESIGN PROPOSAL

DESIGN CONCEPT AND SCALE



GATEWAY VIEW LOOKING WEST ON MADISON



DESIGN PROPOSAL

DESIGN CONCEPT AND SCALE



Upper level setbacks help moderate the visual massing along the facade, add interest to the top of the facade.

Food-producing greenhouse expressed.

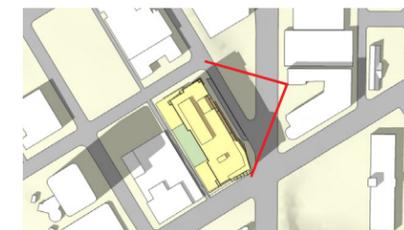
Light and dark glass spandrels added to emphasize residential bay modulation and to provide more variety in color palette

Open railing system helps accentuate the modulated/projecting glass bays.

Projecting roof soffit at corner massing.

Multistory street level retail at base visually connect and harmonize the facade.

Future NC3P-65 development block.



VIEW AT HARVARD AND BROADWAY

DESIGN PROPOSAL

MADISON STREET ELEVATION

Glass window wall system and stone panels as high quality materials.

Metal mechanical louvers to match the adjacent stone color.

Spandrel glazing panels (in front of concrete shearwall) provided with varied colors and pattern.

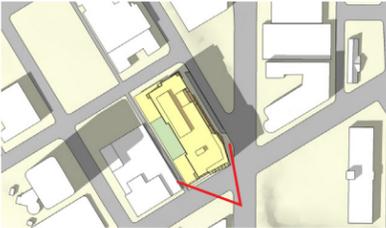
Pedestrian experience enhanced through the use of stone, composite wood paneling, metal band which creates a warm, modern, and inviting second level entry for retail grocer.

Curtainwall glazing system extended for full length of facade to create a continuous street retail expression.

Metal canopy continuous at retail entrance provides pedestrian weather protection and unifies south and eastern facades at the streetscape.



VIEW AT MADISON ST. ELEVATION



DESIGN PROPOSAL

CURB BULB / PLAZA

2,600 square feet plaza with built-in and informal seating opportunities and gathering areas will allow for circulation, landscaping, and merchandising area for the grocery store.

Metal canopy continuous at retail entrance provides pedestrian weather protection and unifies south and eastern facades at streetscape.

South and east solar exposure for plaza.

Grocery prepared food and eating section area on the second level overlooking plaza.

Clear glazing at retail level emphasizes indoor/outdoor connection.

Multi-level retail space at the corner of Madison, Broadway, and Harvard inspires an active streetscape.

Retail entrance at the intersection of Madison and Broadway visually prominent and reinforces the gateway expression.



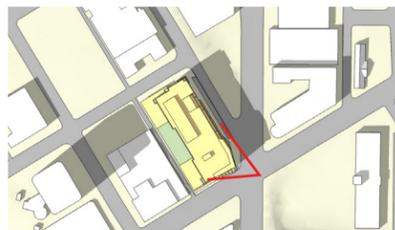
VIEW AT HARVARD AND BROADWAY

EDG RENDERING

DESIGN PROPOSAL

CURB BULB / PLAZA

Planters and seat walls to create “safe and protected” areas to sit.



DESIGN PROPOSAL

RESIDENTIAL ENTRY ON SPRING STREET



Exterior and interior finish materials (wood and stone) are blended to harmonize the pedestrian's experience.

Distinctive multi-story butt-glazed clear glass curtain wall system to tie together residential entry with amenity spaces above.

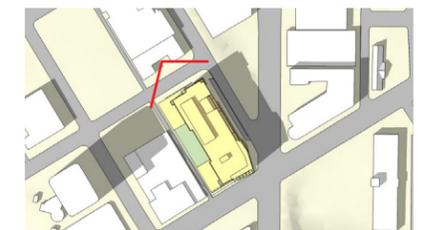
Super-graphic on stone wall, continuous from interior to exterior.

Extended glass at residential entry closer to the sidewalk.

Entry canopy with wood soffit designed to be distinct from retail canopies.

Residential entrance signage.

Tall wood doors at residential entry to enhance the sense of entry.



DESIGN PROPOSAL

DESIGN CONCEPT AND SCALE

Resident amenity and green roof spaces on roof.

Building modulation provided with light and dark glass spandrel panels to emphasize modulation on residential portion.

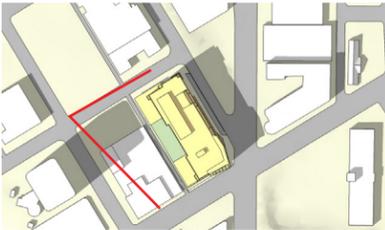
Green roofs at lower roofs to help improve the "fifth" facade.

Exterior terrace.

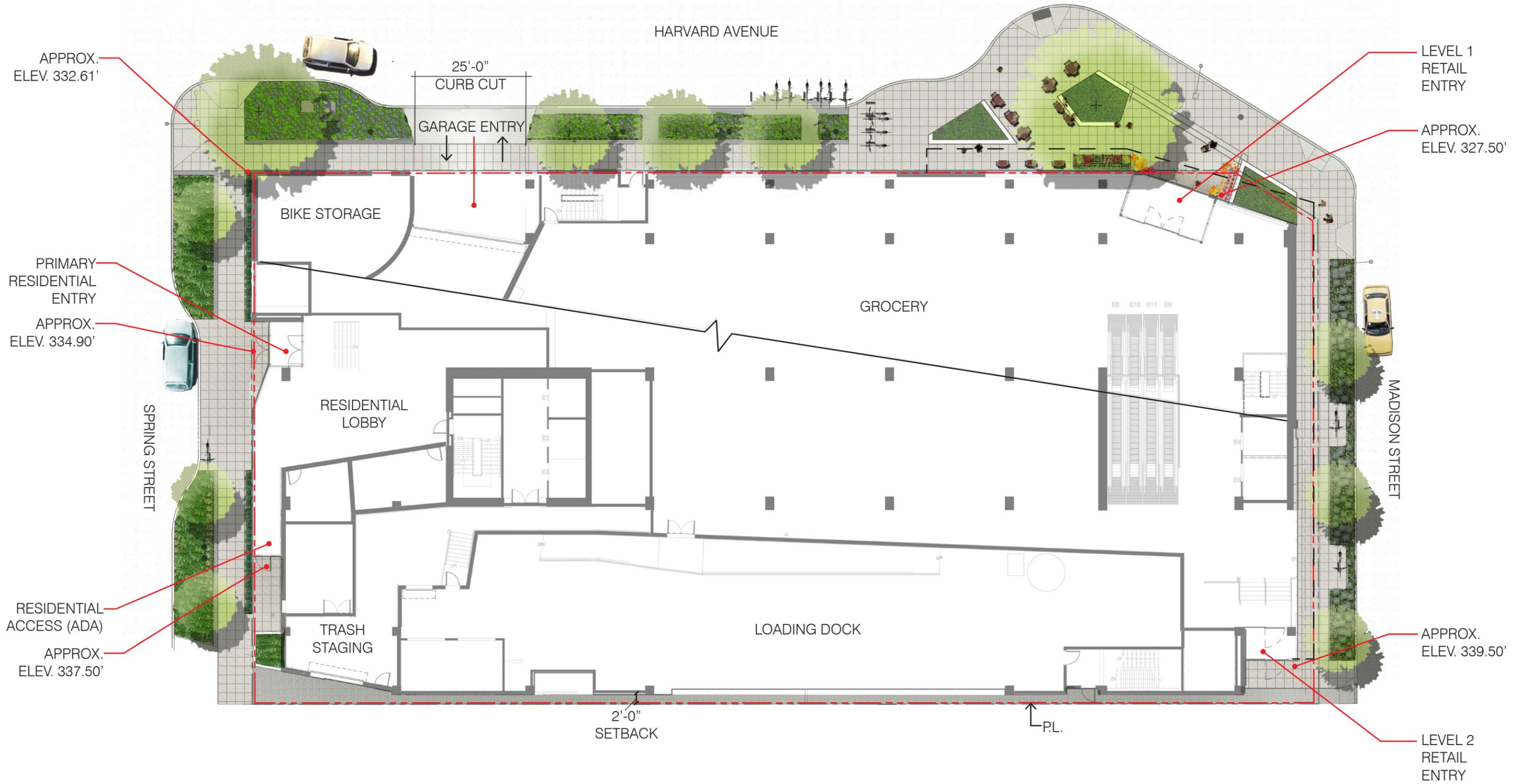
Two-story amenity space.

Loading dock for grocery with doors to reduce noise and visual access.

Stone wraps into alley and ground face CMU provided to mitigate long blank wall.

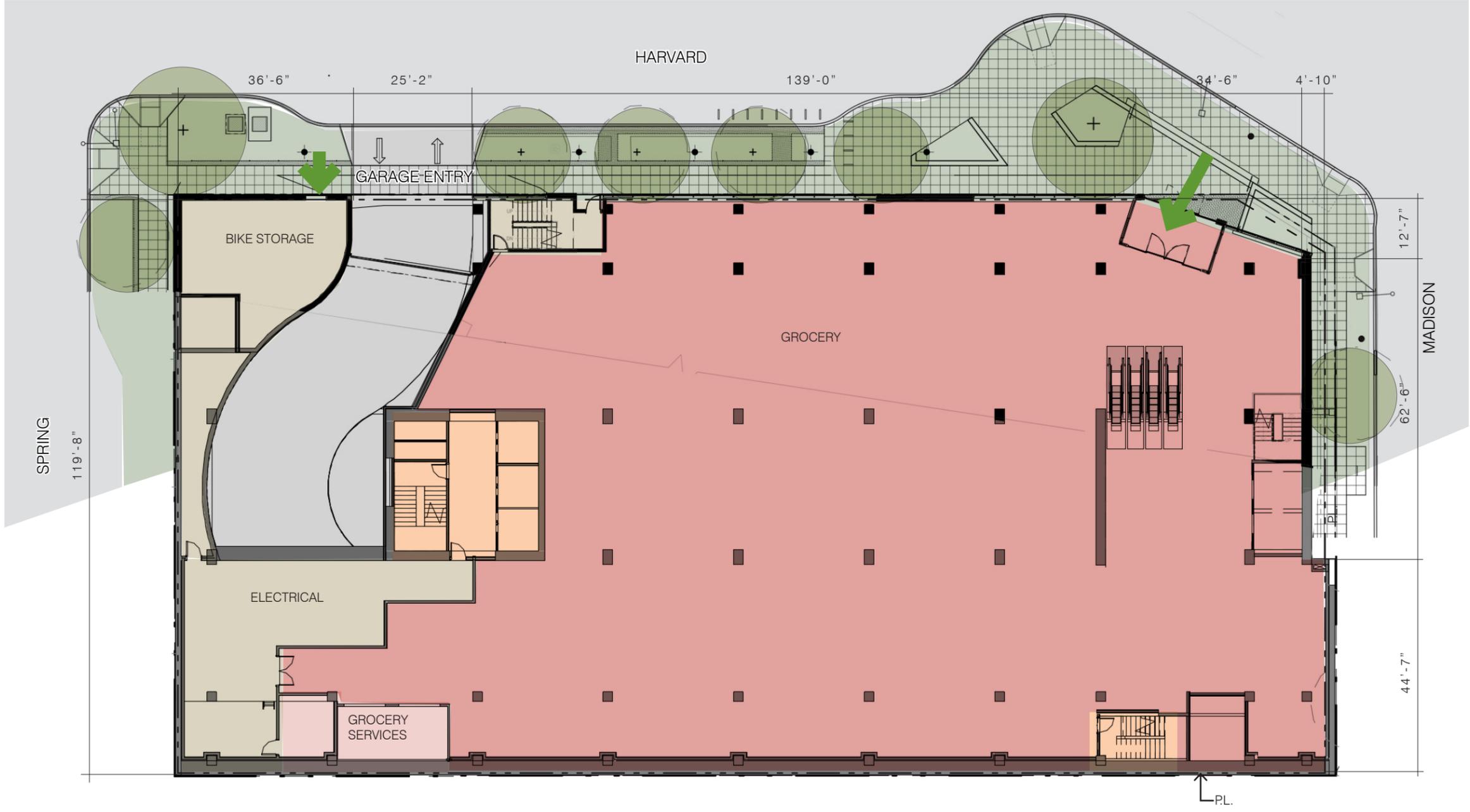


SITE PLAN



FLOOR PLANS

- KEY
- GROCERY
 - GROCERY SERVICES
 - RESIDENTIAL
 - RESIDENTIAL SERVICES
 - SHARED BUILDING SERVICES
 - PARKING
 - COMMON SPACES
 - OUTDOOR AMENITY



LEVEL 1 PLAN: GROCERY

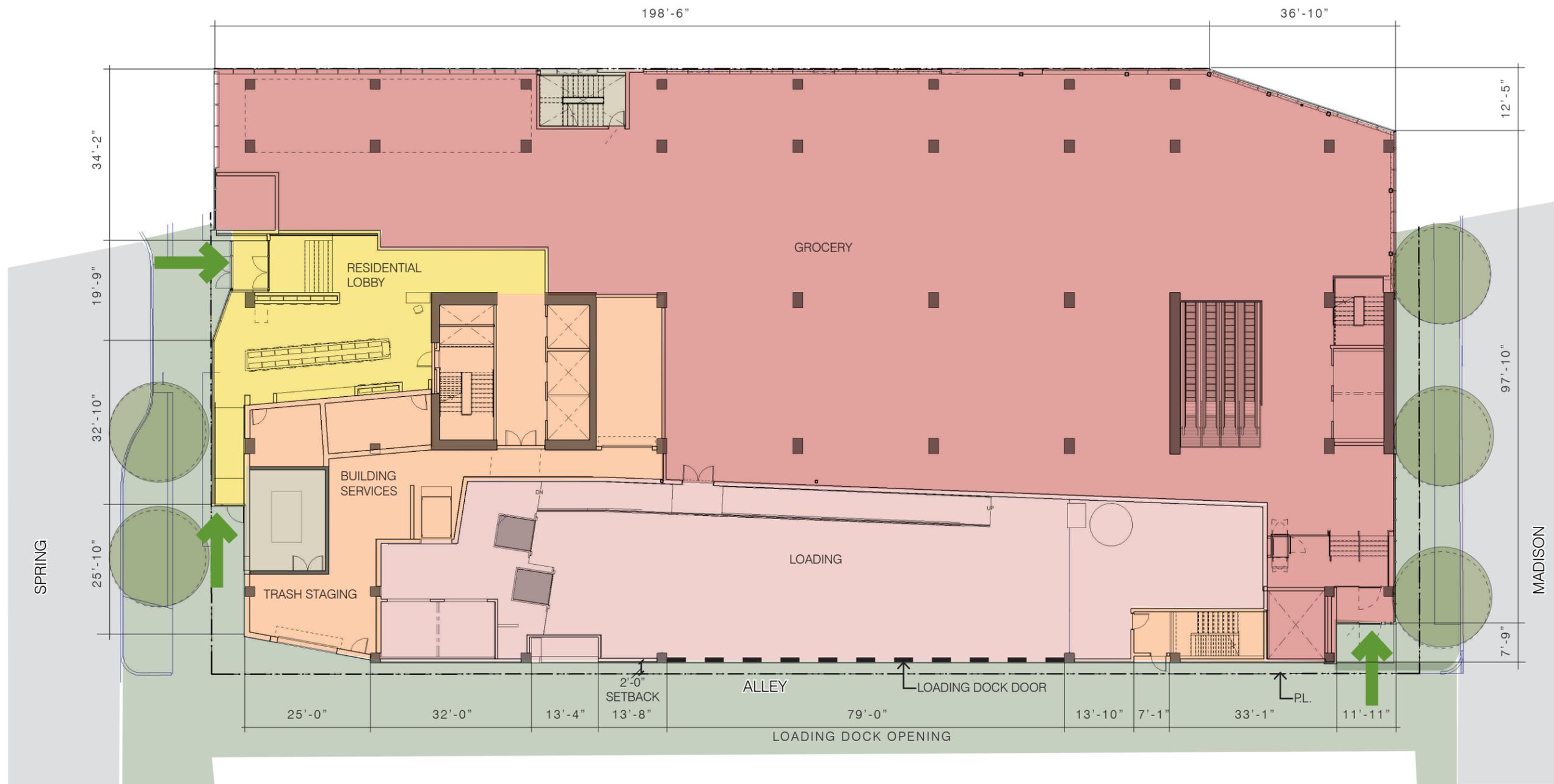
PEDESTRIAN ACCESS



FLOOR PLANS

KEY

- GROCERY
- GROCERY SERVICES
- RESIDENTIAL
- RESIDENTIAL SERVICES
- SHARED BUILDING SERVICES
- PARKING
- COMMON SPACES
- OUTDOOR AMENITY



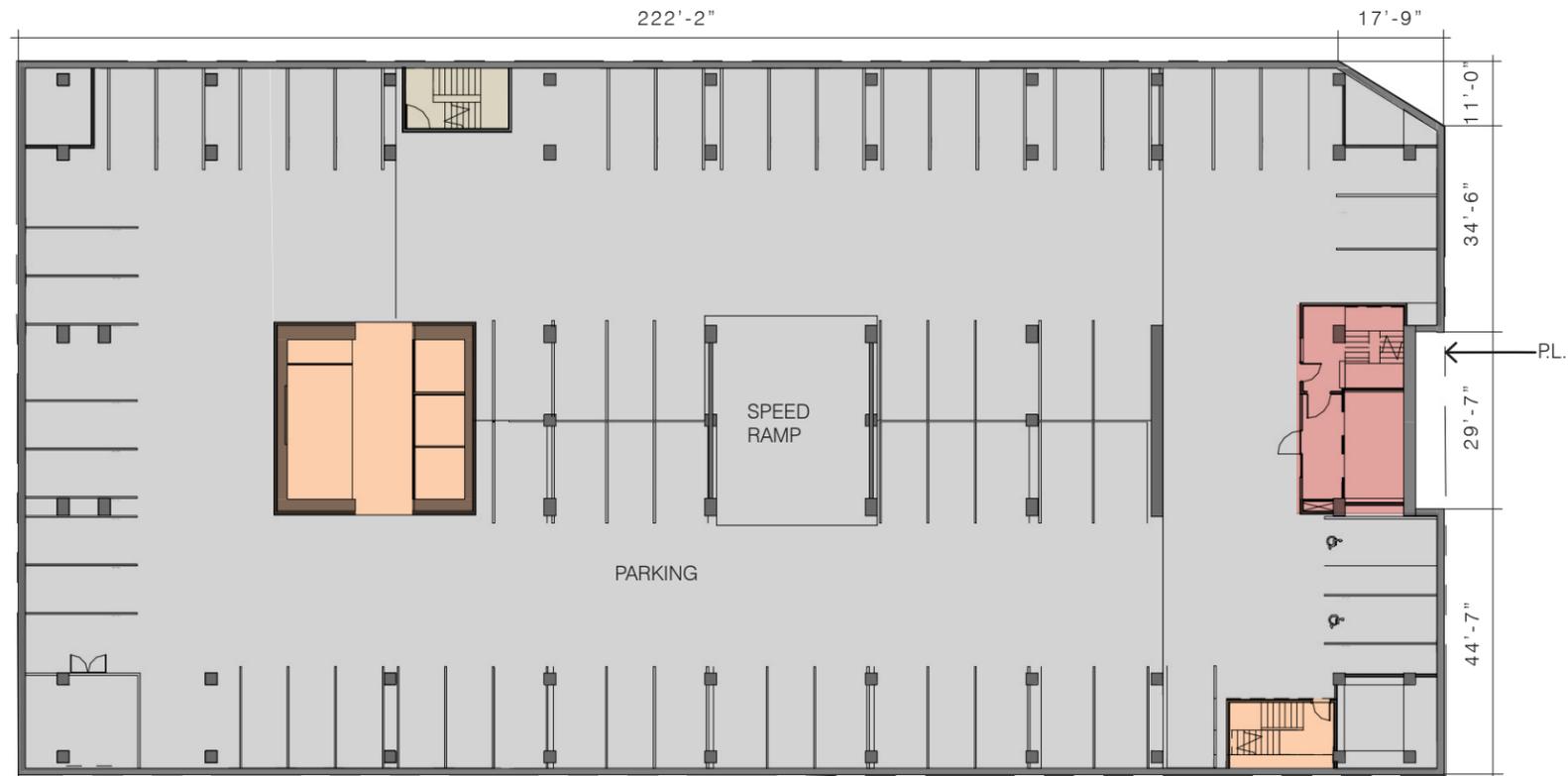
PEDESTRIAN ACCESS

LEVEL 2 PLAN: RESIDENTIAL ENTRY, GROCERY, LOADING DOCK

FLOOR PLANS

KEY

- GROCERY
- GROCERY SERVICES
- RESIDENTIAL
- RESIDENTIAL SERVICES
- SHARED BUILDING SERVICES
- PARKING
- COMMON SPACES
- OUTDOOR AMENITY



P2 LEVEL PLAN: TYPICAL PARKING LEVEL



LEVEL 3 PLAN: PODIUM LEVEL, AMENITIES, GROCERY OFFICES



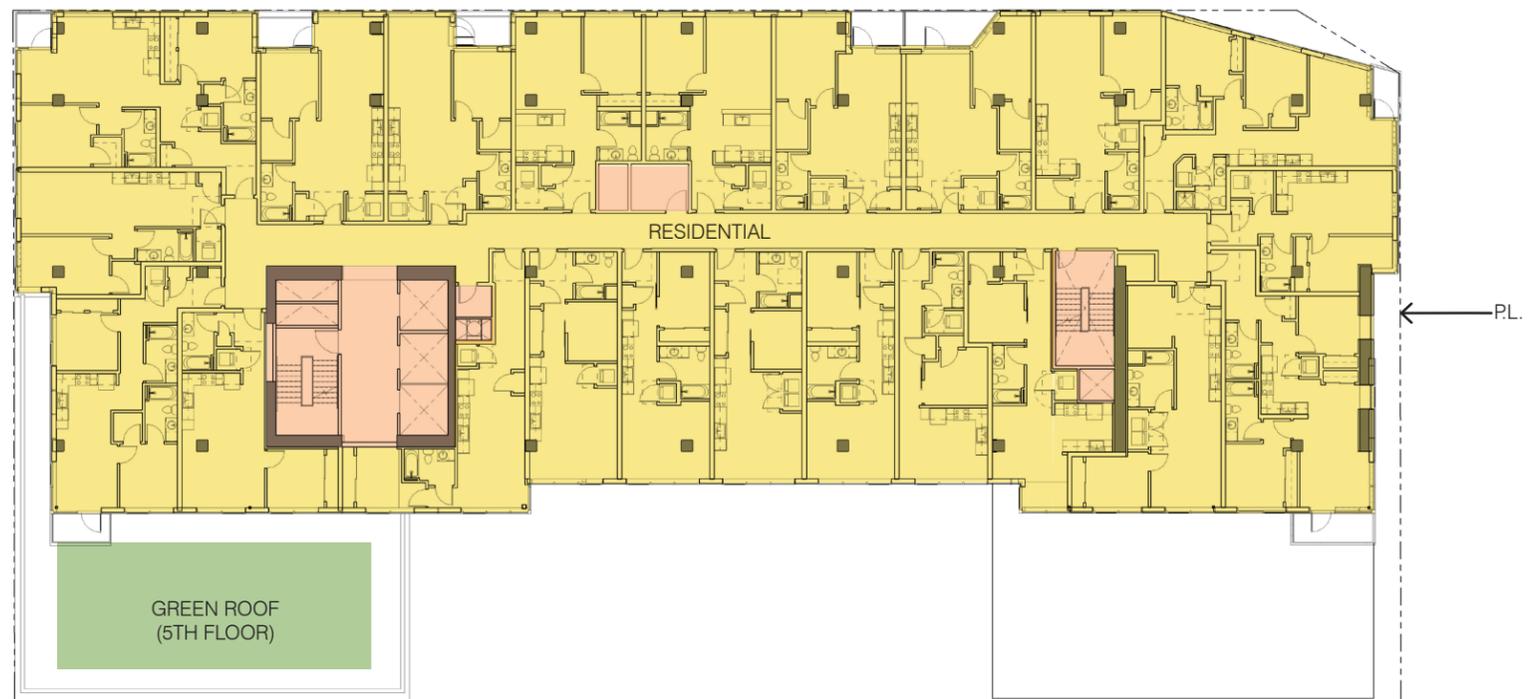
FLOOR PLANS

KEY

- GROCERY
- GROCERY SERVICES
- RESIDENTIAL
- RESIDENTIAL SERVICES
- SHARED BUILDING SERVICES
- PARKING
- COMMON SPACES
- OUTDOOR AMENITY



LEVEL 4 PLAN: RESIDENTIAL, AMENITIES



LEVELS 5-15 PLAN: TYPICAL RESIDENTIAL FLOOR PLAN



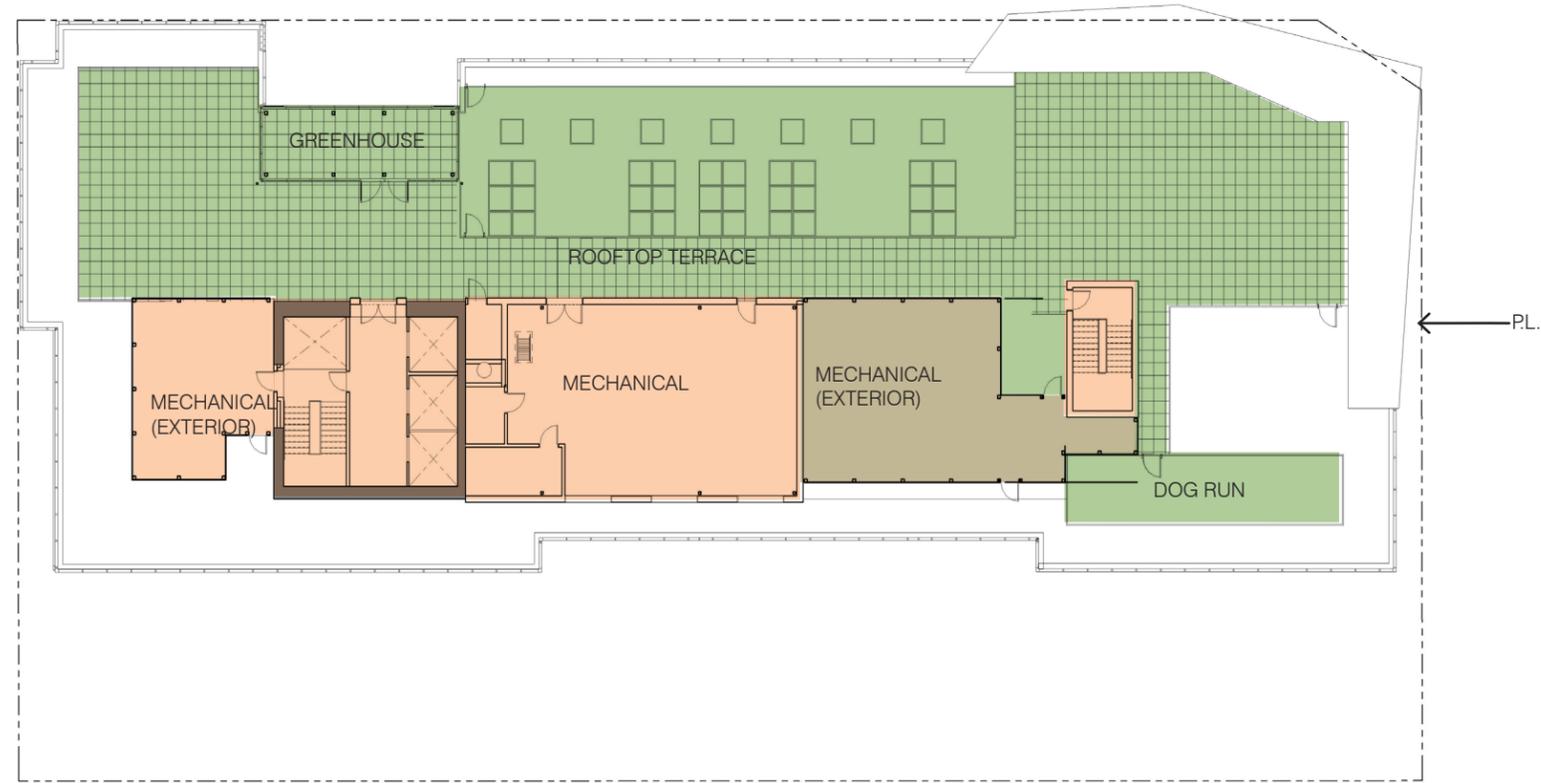
FLOOR PLANS

KEY

- GROCERY
- GROCERY SERVICES
- RESIDENTIAL
- RESIDENTIAL SERVICES
- SHARED BUILDING SERVICES
- PARKING
- COMMON SPACES
- OUTDOOR AMENITY

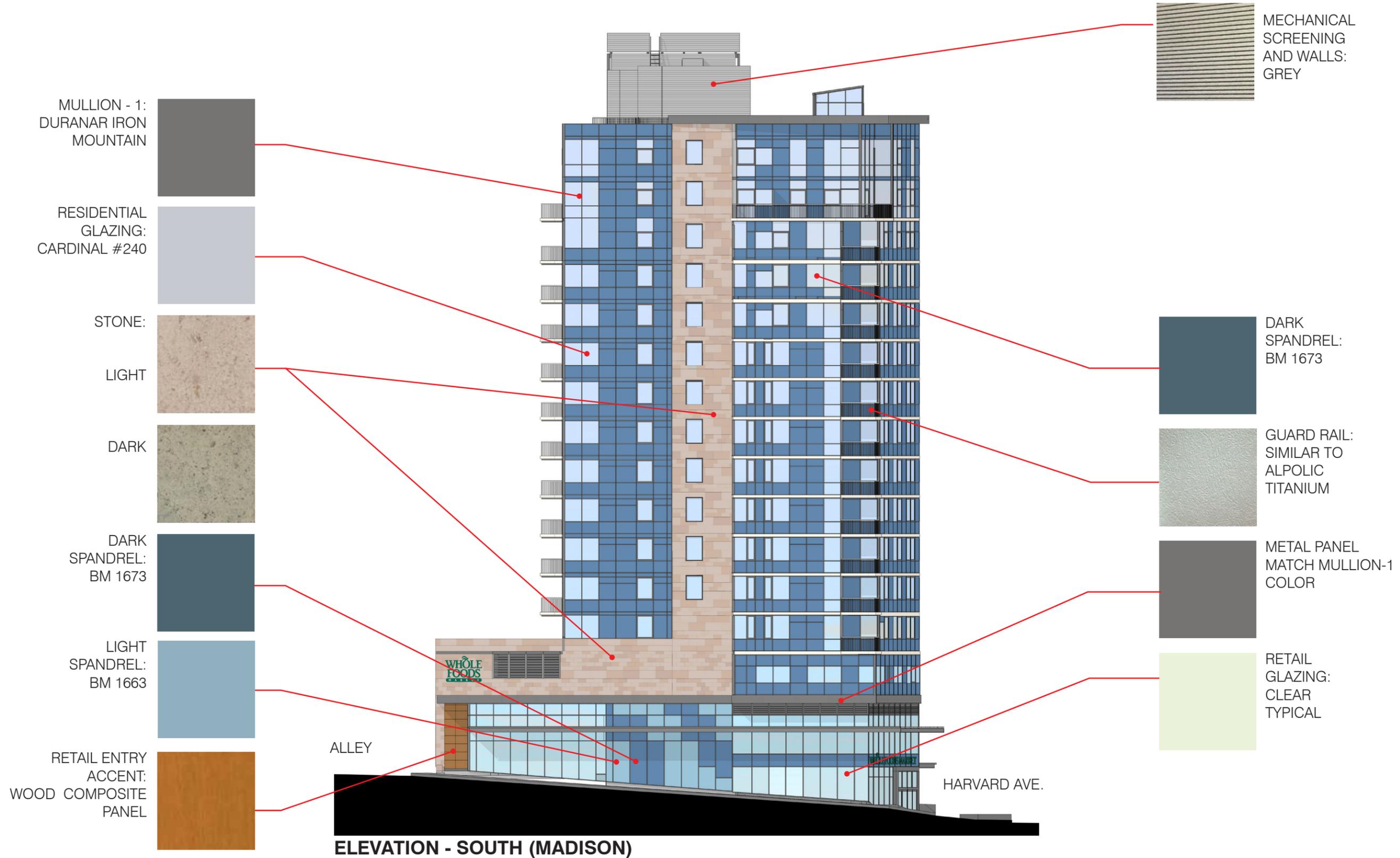


LEVEL 16 PLAN: RESIDENTIAL, AMENITY



ROOF PLAN: GREENHOUSE, TERRACE, MECHANICAL





ELEVATION

SOFFITS: WOOD COMPOSITE PANELS (UNDERSIDE OF SOFFIT)



MULLION - 1: DURANAR IRON MOUNTAIN



DARK SPANDREL: BM 1673



LIGHT SPANDREL: BM 1663



RESIDENTIAL GLAZING: CARDINAL #240



RETAIL GLAZING: CLEAR



MECHANICAL SCREENING AND WALLS: GREY



GUARD RAIL: SIMILAR TO ALPOLIC TITANIUM



STONE: LIGHT



DARK



ELEVATION - EAST (HARVARD)

MULLION - 1:
DURANAR IRON
MOUNTAIN



DARK
SPANDREL:
BM 1673



RESIDENTIAL
GLAZING:
CARDINAL #240



SOFFITS: WOOD
COMPOSITE
PANELS



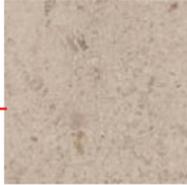
RESIDENTIAL
LOBBY ENTRY
DOOR:
WOOD



MECHANICAL
SCREENING
AND WALLS:
GREY



GUARD RAIL:
SIMILAR TO
ALPOLIC
TITANIUM



STONE:
LIGHT



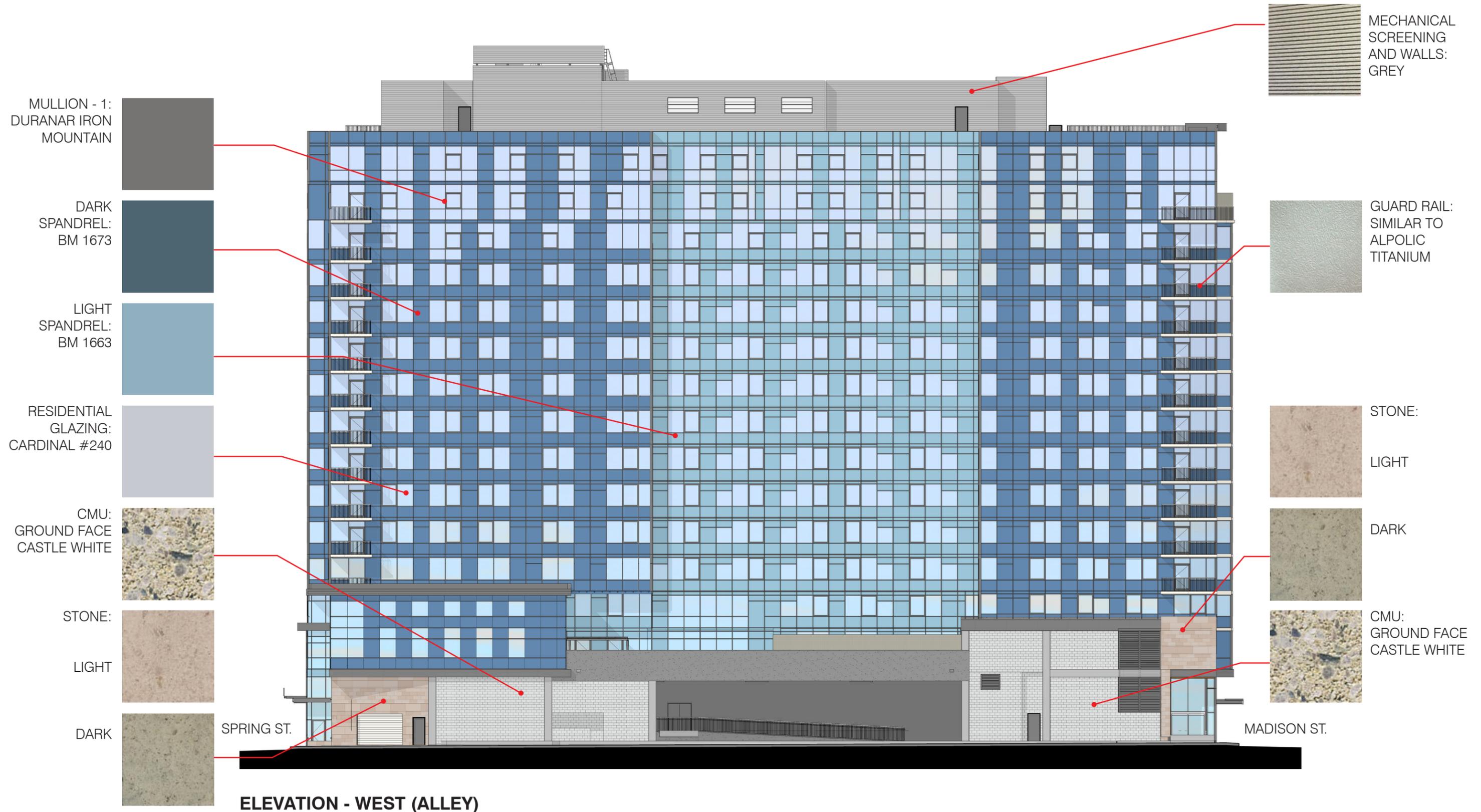
DARK

HARVARD AVE.

ALLEY

ELEVATION - NORTH (SPRING)

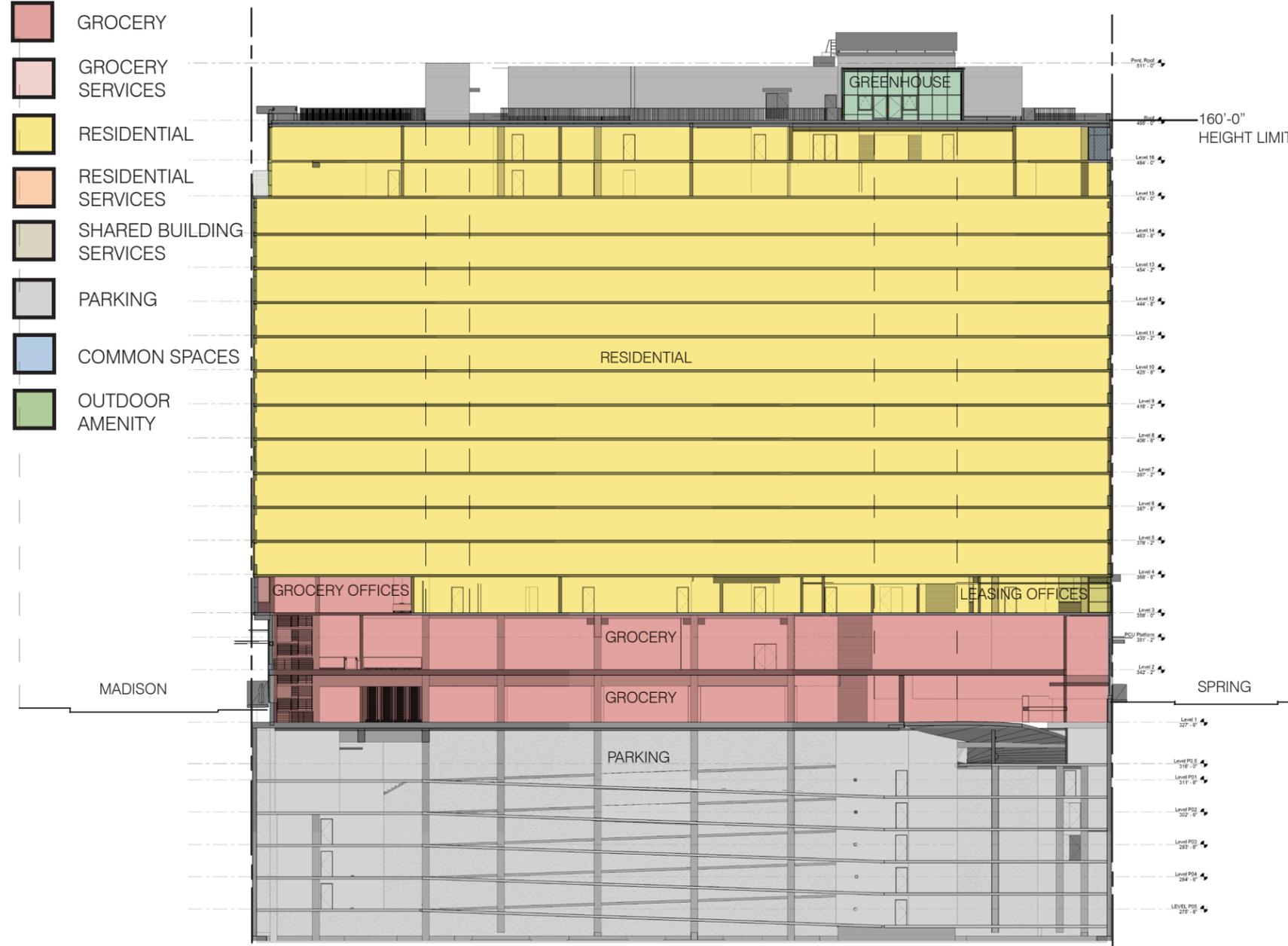
ELEVATION



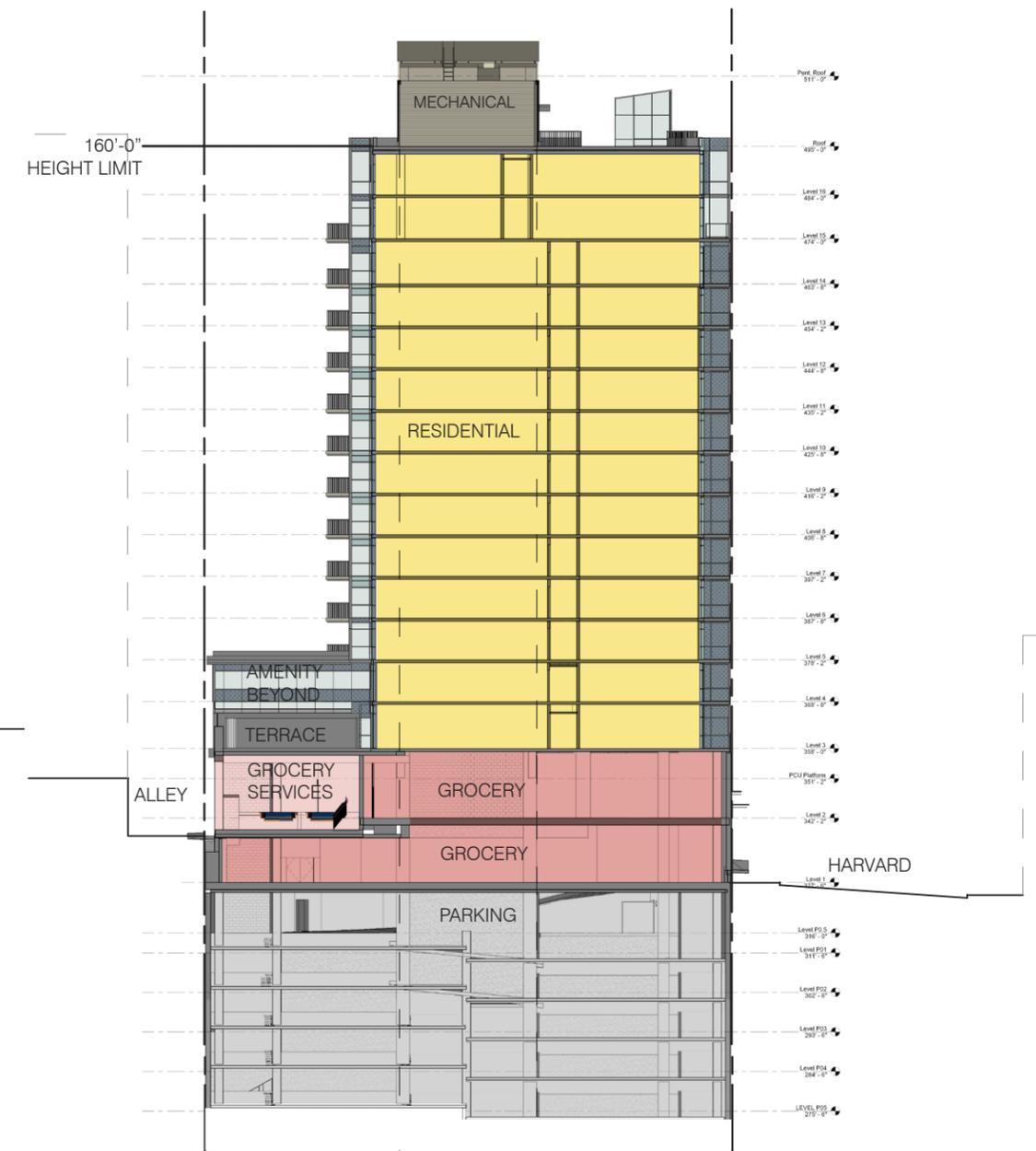
BUILDING SECTIONS

KEY

- GROCERY
- GROCERY SERVICES
- RESIDENTIAL
- RESIDENTIAL SERVICES
- SHARED BUILDING SERVICES
- PARKING
- COMMON SPACES
- OUTDOOR AMENITY



LONGITUDINAL SECTION



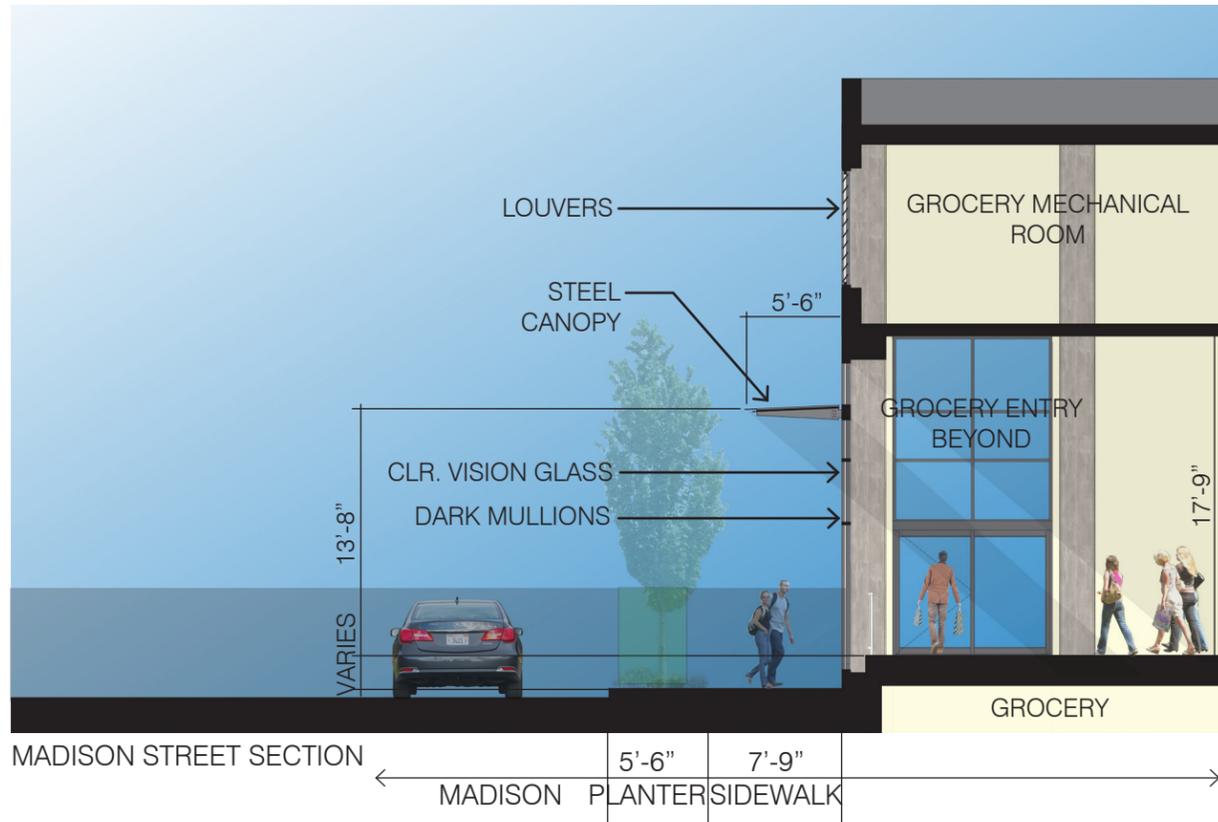
TRANSVERSE SECTION



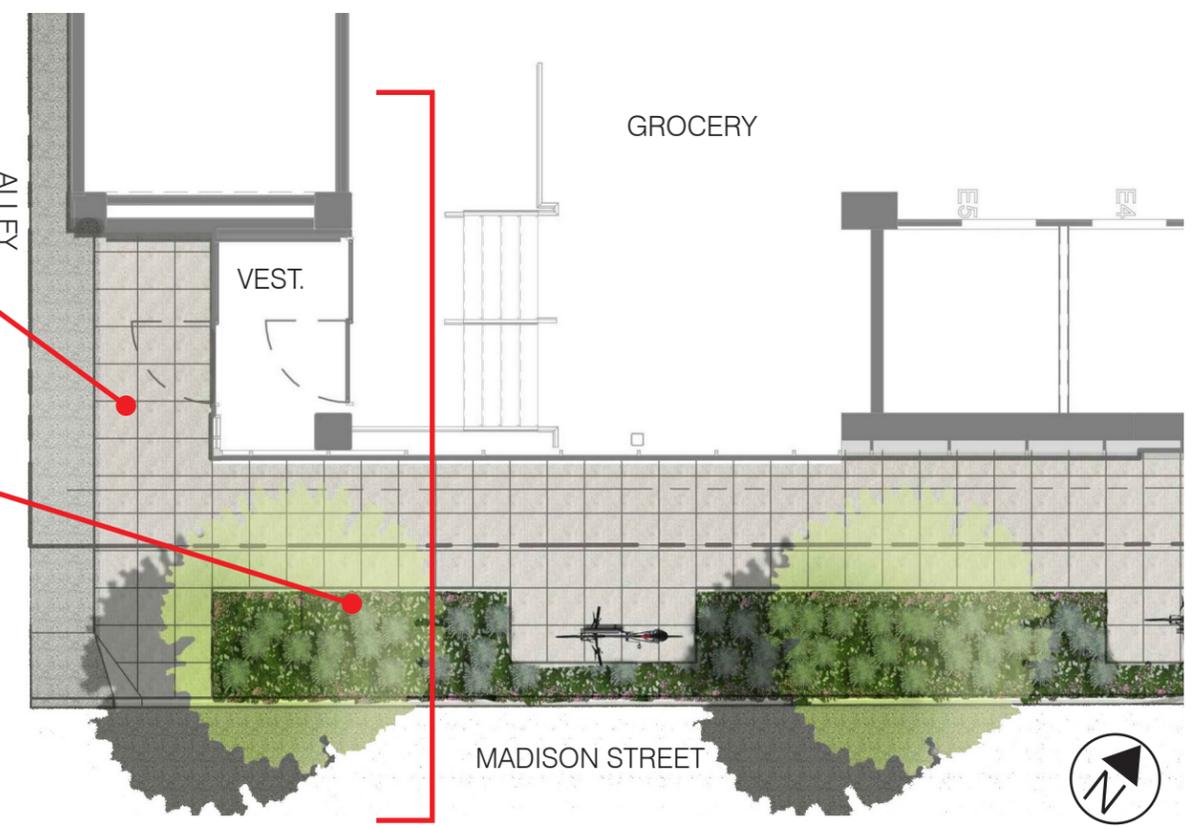
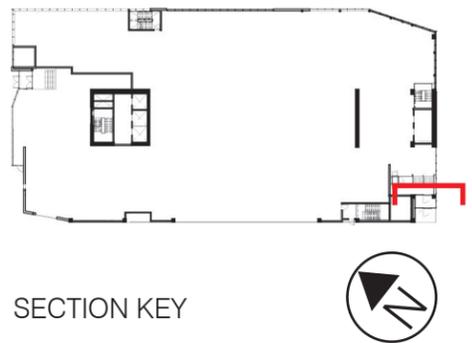
SECTION KEY



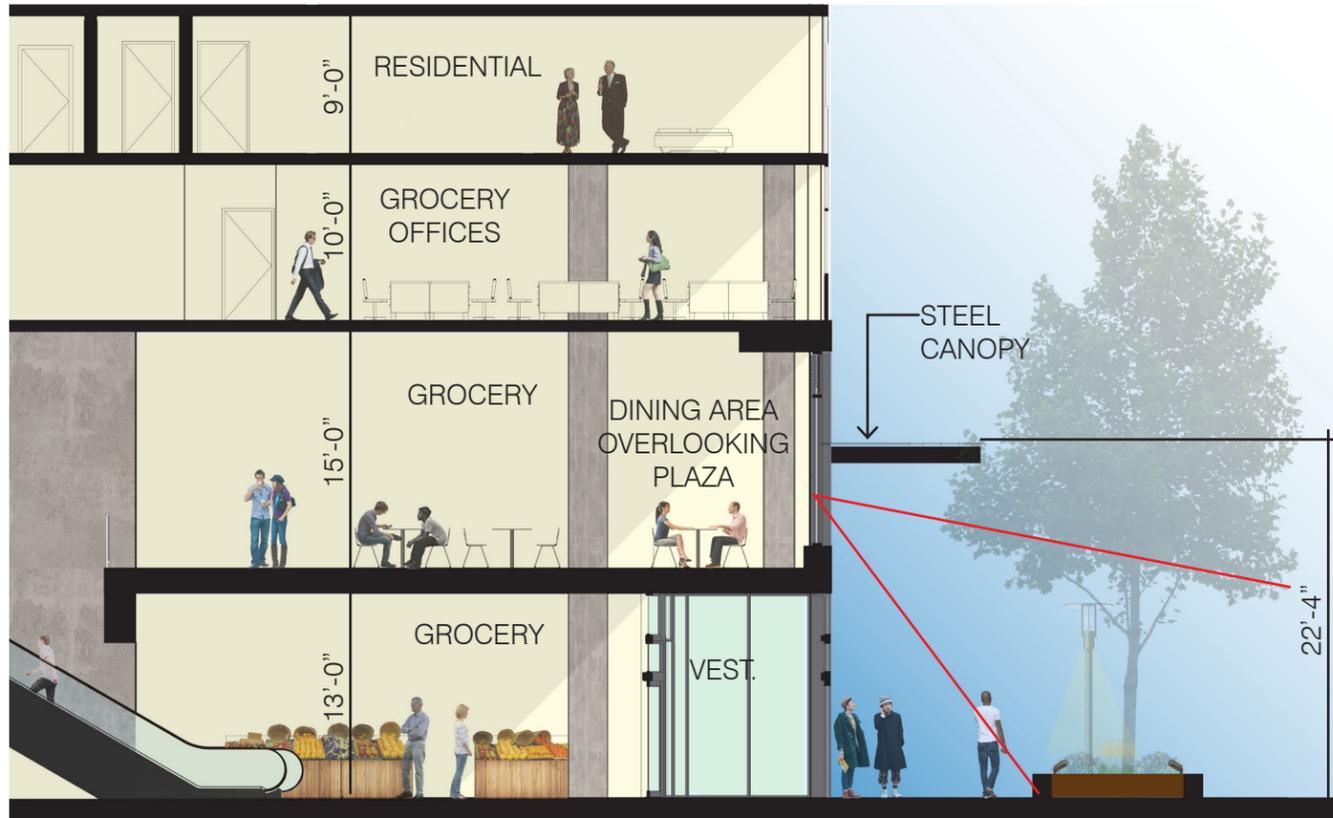
PEDESTRIAN EXPERIENCE - MADISON STREET



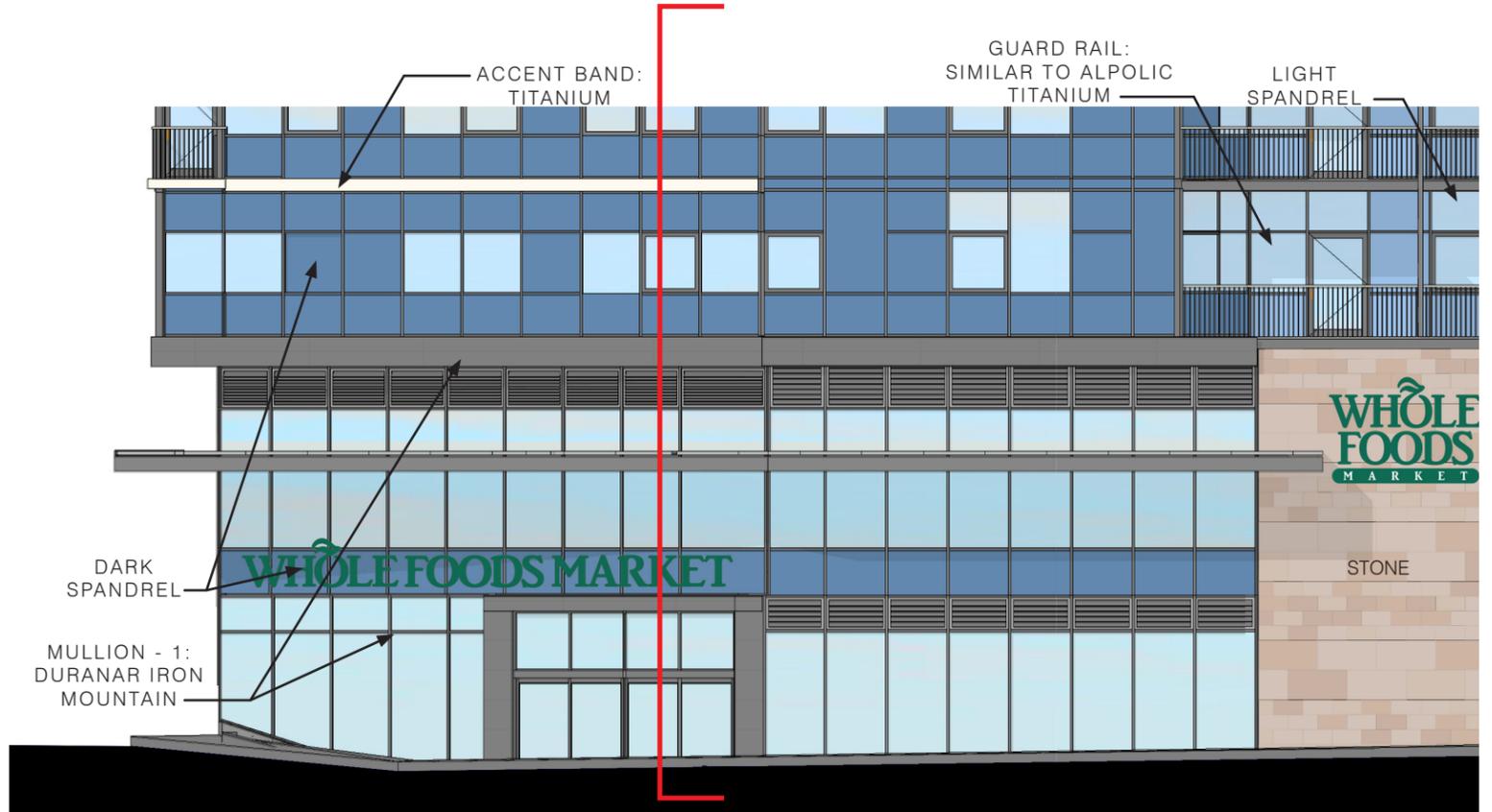
CITY OF SEATTLE STD. 2' X 2' CIP CONCRETE SIDEWALK



PEDESTRIAN EXPERIENCE - HARVARD AVENUE AND MADISON STREET



SECTION AT GROCERY STORE ENTRY
HARVARD AND MADISON



EAST ELEVATION

CITY OF SEATTLE STD. 2' X 2' CIP
CONCRETE SIDEWALK

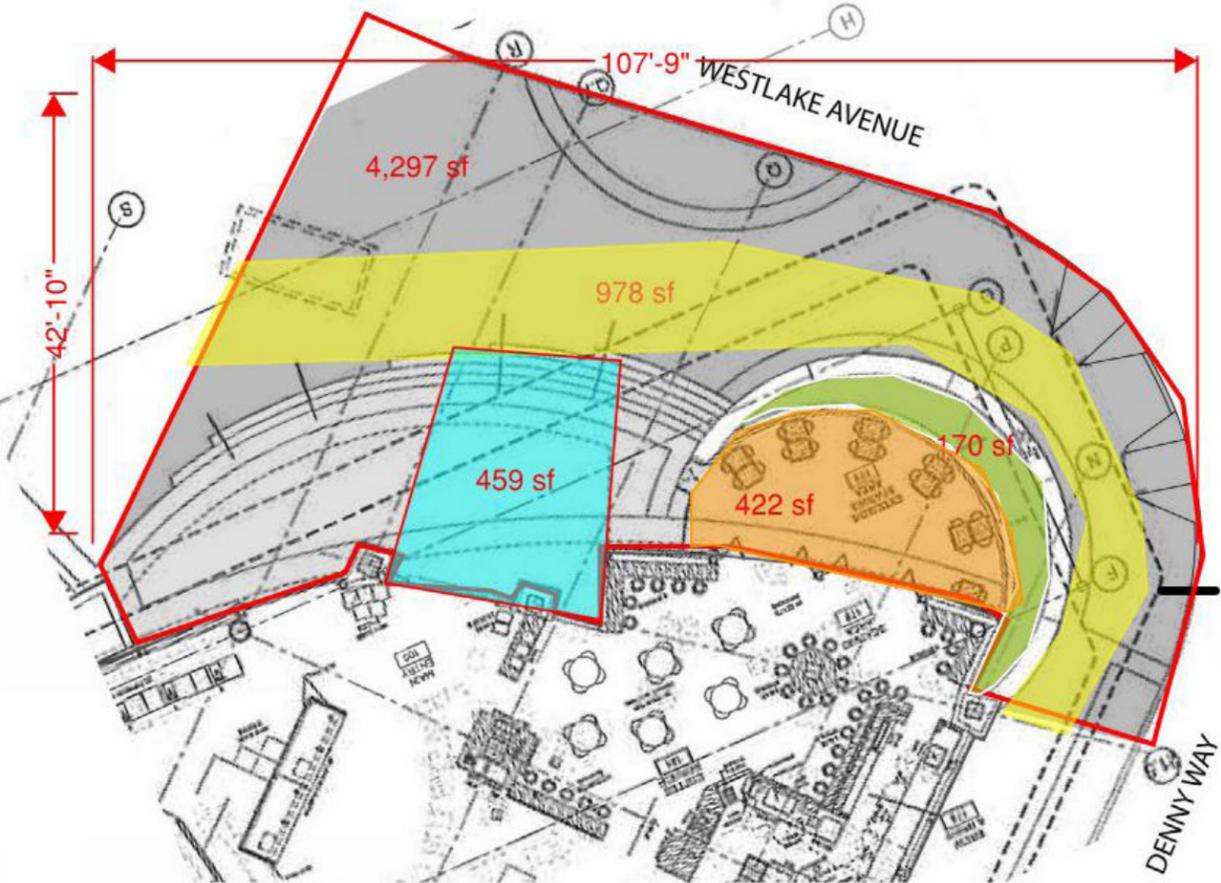


SECTION KEY

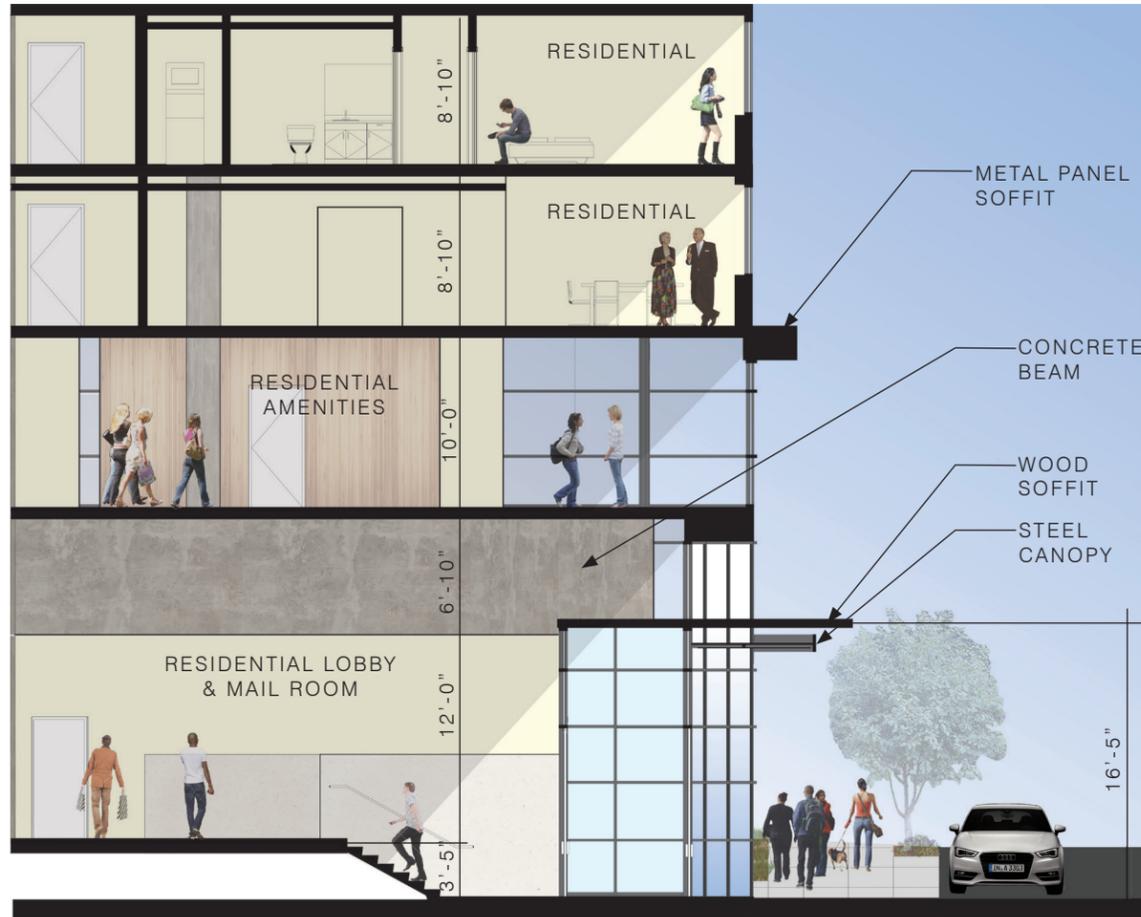


PLAZA DIAGRAM

TOTAL SF:	WESTLAKE PLAZA	OUR PROJECT (SF)
REQUIRED SIDEWALK:	4297 SF	2843 SF
LANDSCAPING:	978 SF	1712 SF
ENTRANCE CLEAR AREA:	170 SF	297 SF
AREAS FOR TABLES AND CHAIRS:	459 SF	334 SF
SEAT WALL SPACE:	422 SF	476 SF
# OF SEATS:	0 SF	63 SF
	22-25	25-30



PEDESTRIAN EXPERIENCE - SPRING STREET



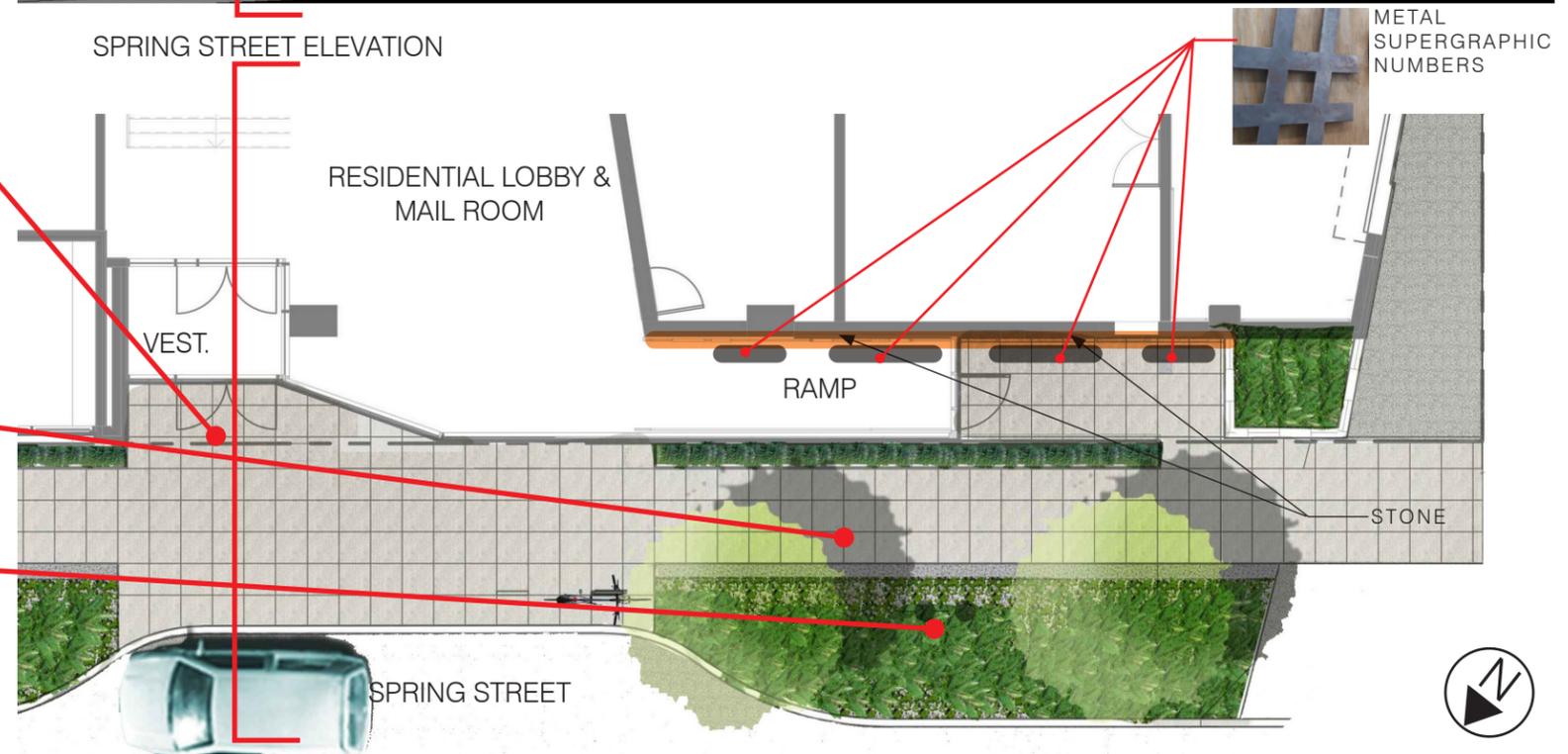
SECTION AT RESIDENTIAL ENTRY
SPRING STREET

SECTION KEY



SPRING STREET ELEVATION

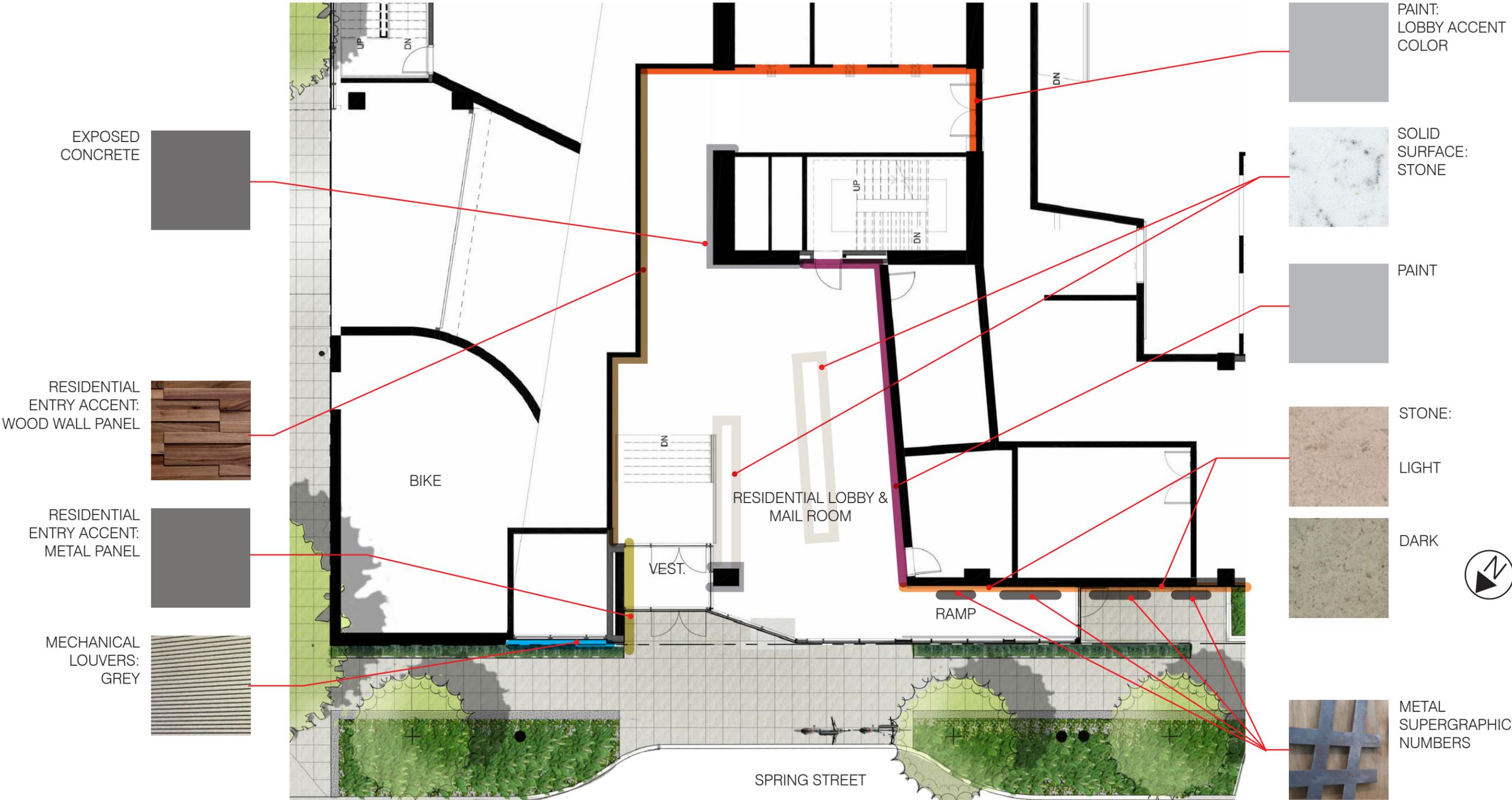
CITY OF SEATTLE STD. 2' X 2' CIP CONCRETE SIDEWALK



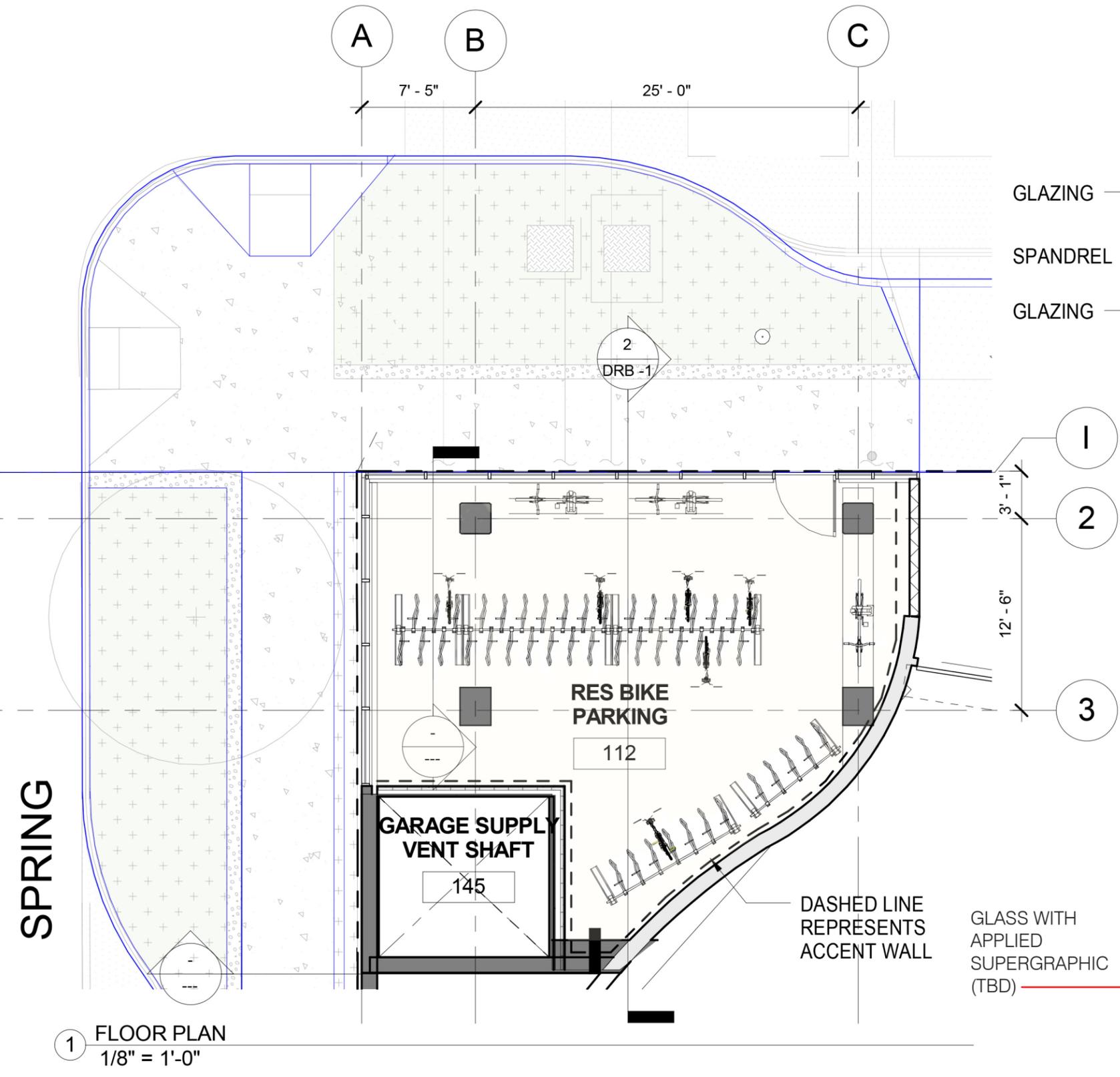
SPRING STREET



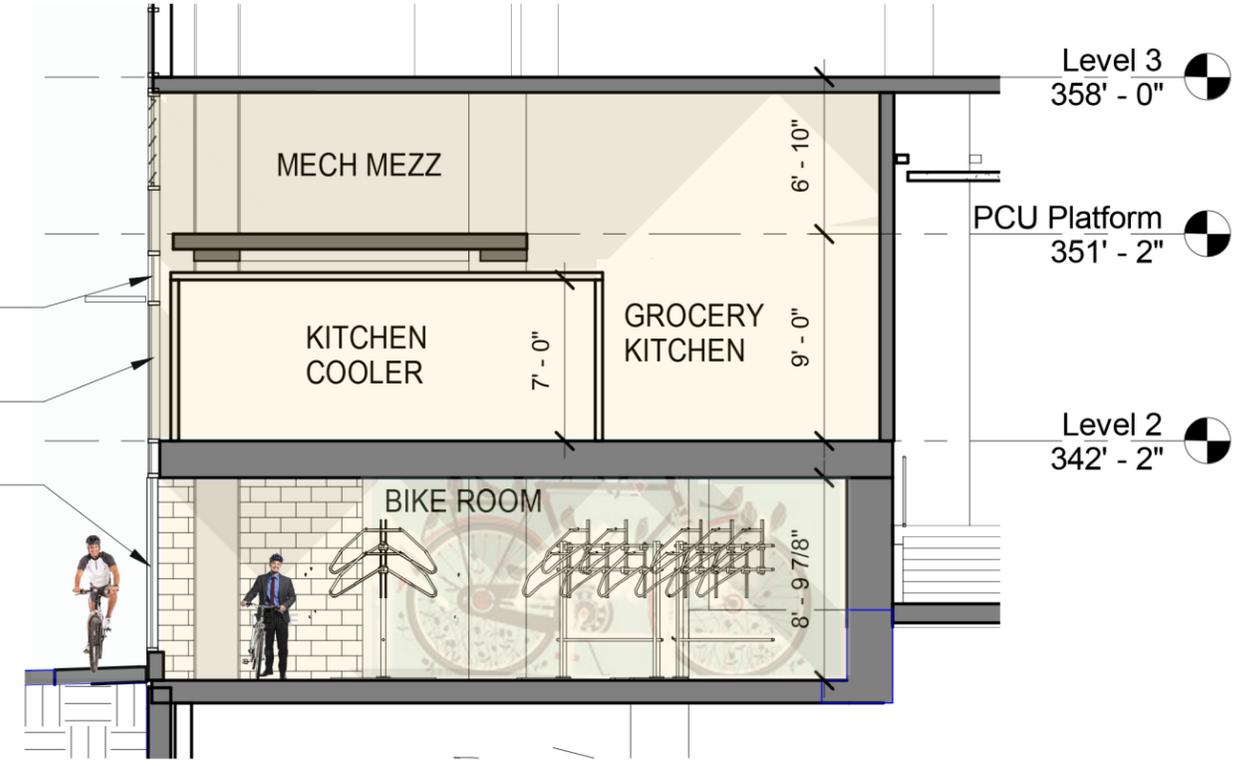
MATERIAL EXPERIENCE - RESIDENTIAL LOBBY



BIKE ROOM DIAGRAMS



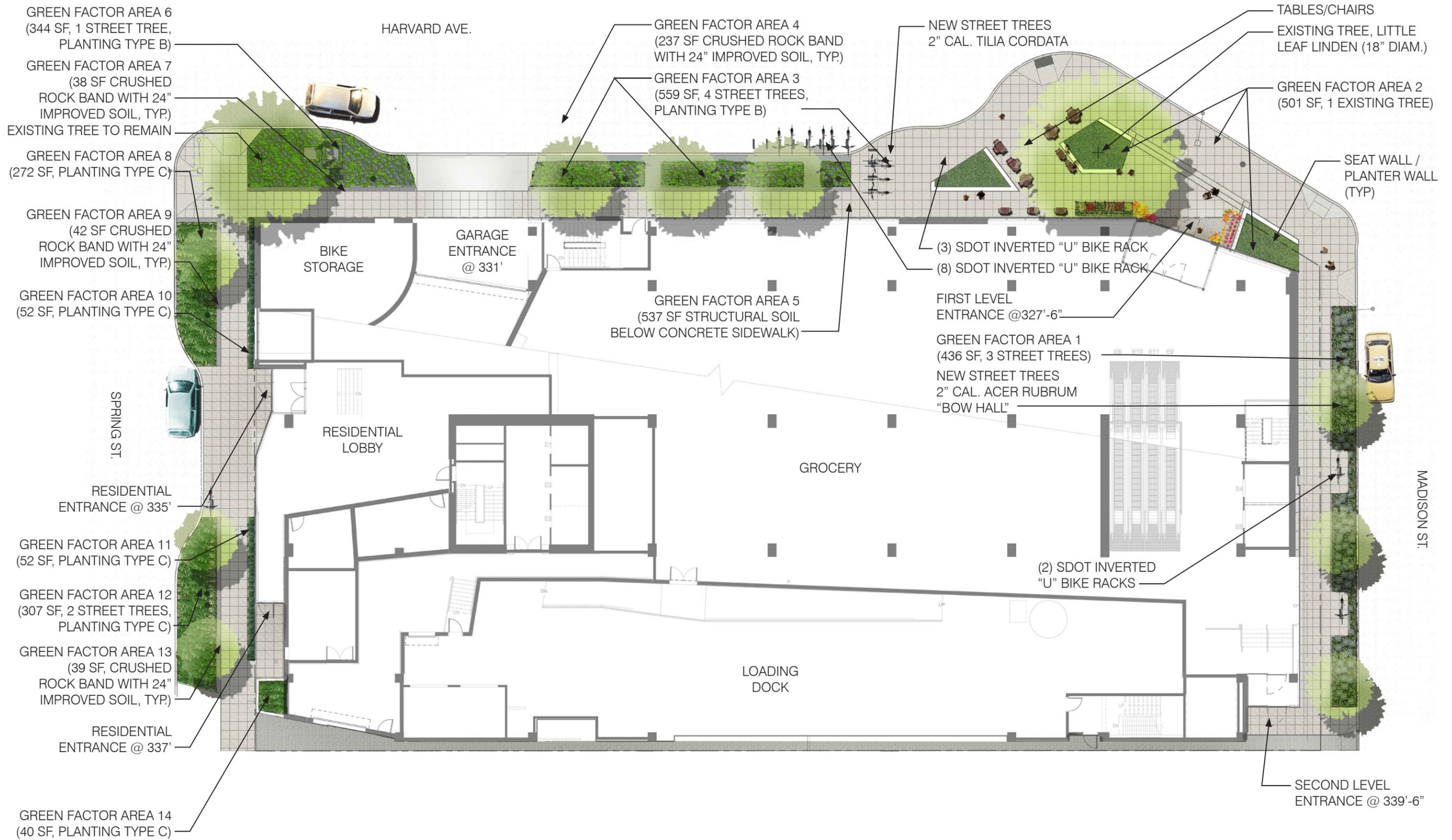
1 FLOOR PLAN
1/8" = 1'-0"



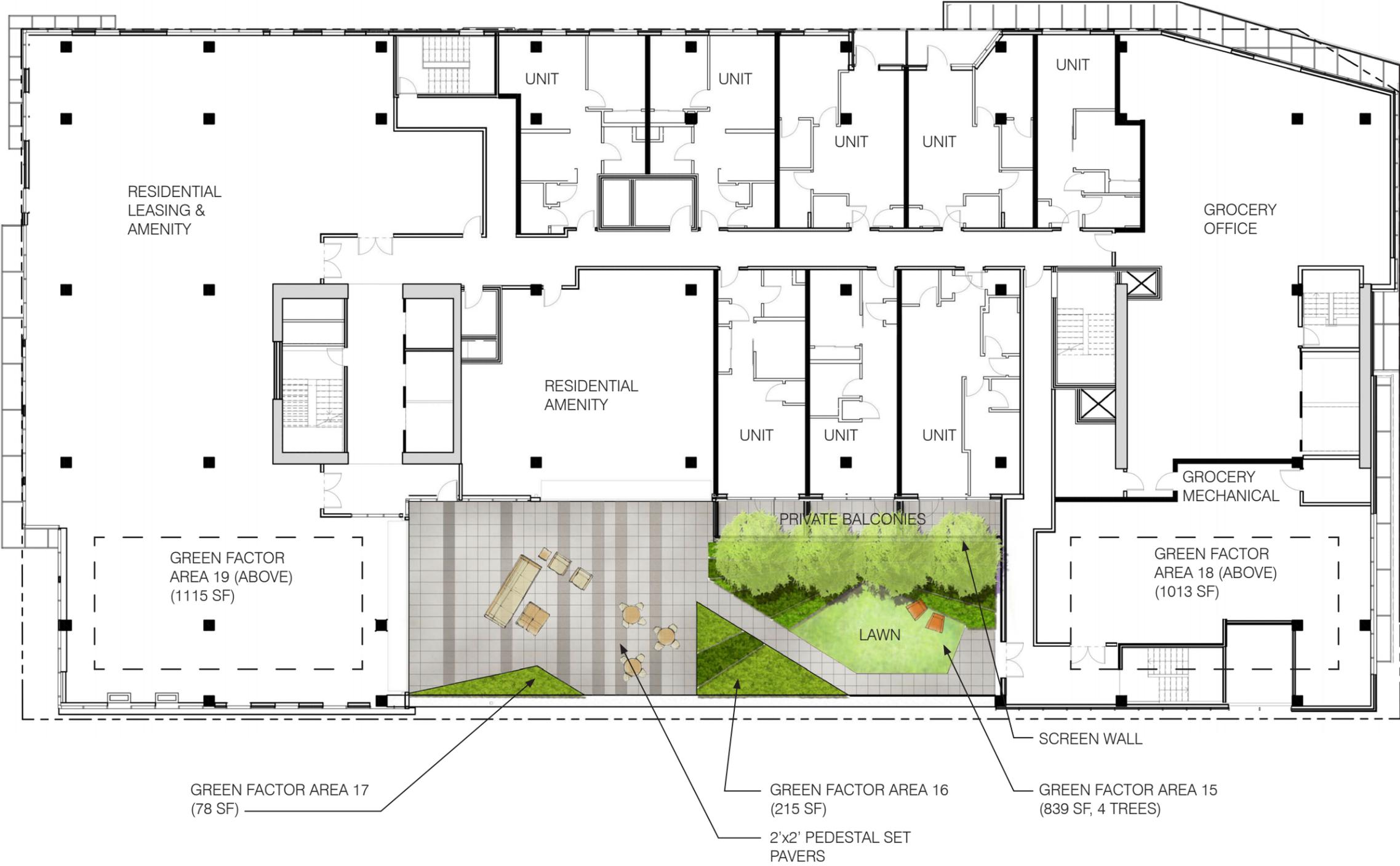
2 Section
1/8" = 1'-0"



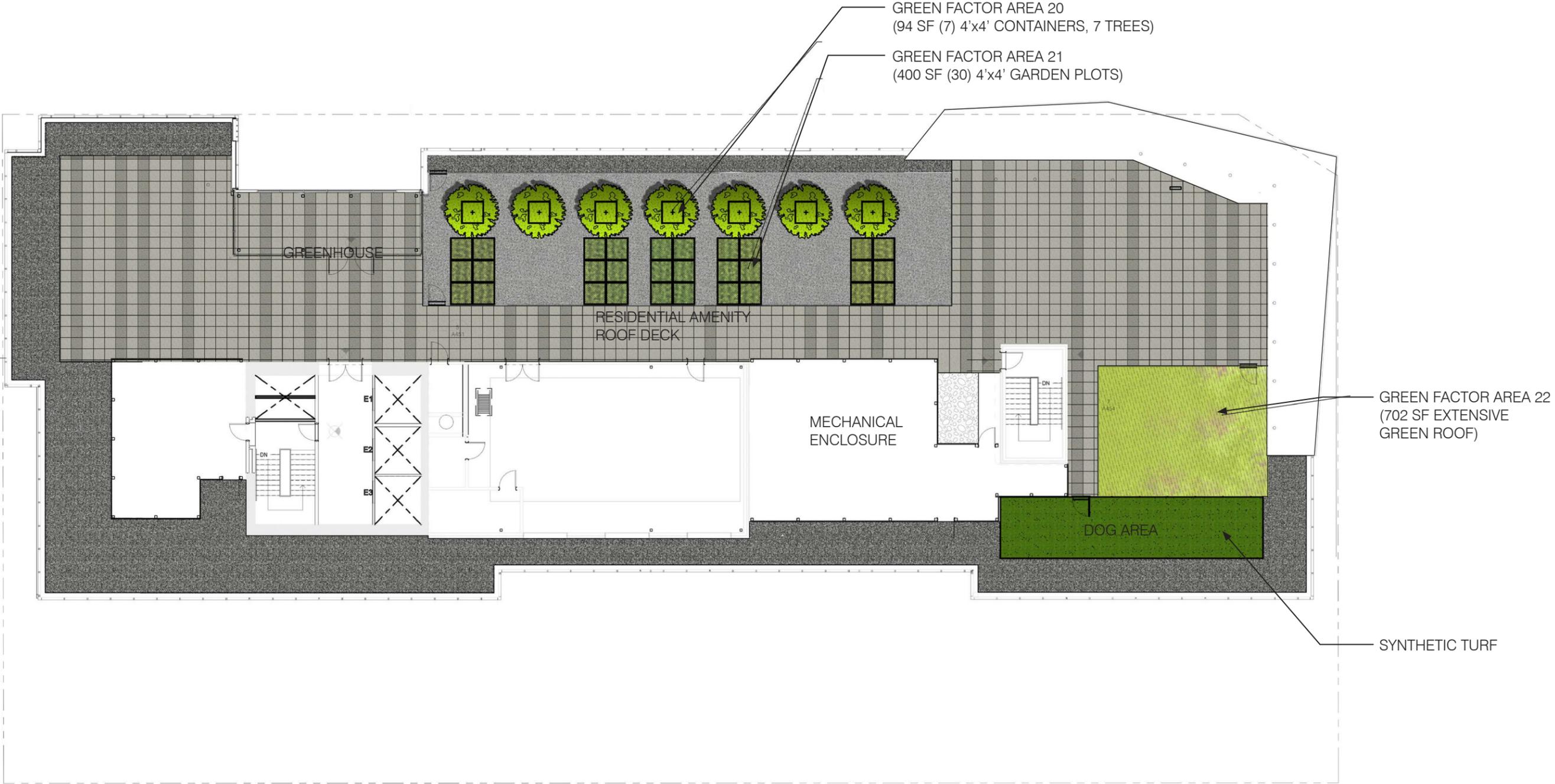
LANDSCAPE - STREET LEVEL



LANDSCAPE - TERRACE PLAN



LANDSCAPE - ROOF PLAN



DEPARTURE REQUESTS

#	Code Requirement	Departure Requested	How This Departure Better Meets the Design Guidelines
1	Façade Setback (SMC 23.47A.008.A.3) Street-level street-facing façades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or approved landscaped or open spaces are provided.	The applicant proposes to provide façade setback on the corner of the Alley & Madison of 17'-0" from the property line.	Portions of our street level facades at the alley on both Madison and Spring are greater than 10 feet from property line. These setbacks are provided as a safety measure so that we can provide greater visibility around the corners of the building at the alley which will have increased truck traffic due to the loading dock off the alley. The building is also setback from the property line to allow for required sidewalk width. Design Guidelines: PL1:A2, B1 & DC1: B1
2	Sight Triangle (SMC 23.54.030.G.1) A sight triangle is required on the exit side of a two-way driveway greater than 22 feet wide.	The applicant proposes to provide mirrors or other safety measures instead of the sight triangle for the garage exiting access drive aisle.	Eliminating the sight triangles minimizes the appearance of the driveway, which would otherwise dominate the street-level façade. Design Guidelines: DC1:B1, C1
3	Street Use (SMC 23.47A.005.C.1.d) Residential uses in all NC and C zones: Residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations; (d.) at street level within a zone that has a height limit of 85 feet or higher, except as provided in subsection 23.47A.005.C.2	The applicant proposes to provide 83.9% of residential multifamily entry lobby & bike parking along Spring Street.	The residential entry lobby will be active and open with visibility similar to a commercial space. A strong accessible connection to the street includes 'super graphic' address numbers along a feature wall at an interior entry ramp. A height change from the sidewalk to the residential entry delineates privacy while open glazing promotes security and interaction with the street. The shared retail and residential bike parking has clear glazing with a visually active retail feel. Design Guidelines: CS2:B2, PL1:A2, PL2:B1, PL3:A1, C1, PL4: B2,B3
4	Parking Space Size/ Distribution (SMC 23.54.030 (B) & (B.2.c) Commercial parking spaces when provided are required to be- 35% minimum 'S' size (7.5 ft x 15ft) and 35% minimum 'L' size (8.5 ft x 19 ft)	The applicant proposes to provide 10 spaces (8%) 'L' size parking stalls and no 'S' size stalls. A larger and a smaller medium size stall are provided - M(a) (64 spaces) 53%= 9 ft x17ft, M(b) (50 spaces) 40%= 8 ft x17ft	Currently, no parking is required on the site and the proposed below ground retail spaces and residential spaces contribute to serving multiple uses on the site. The size distribution of retail spaces among those provided meets the intent of diverse space sizing within the zoning code. Design Guidelines: DC1: B1,C1-C3

NIGHT VIEW





PREFERRED COLOR SCHEME



ALTERNATE COLOR SCHEME

DESIGN PROPOSAL - OPTIONS



PREFERRED COLOR SCHEME



ALTERNATE COLOR SCHEME

VIEW AT MADISON AND BROADWAY INTERSECTION



MASSING / SCALE

- The massing and architectural concept should articulate a strong corner gateway presence
- The tower width is unusual for the residential context north of Madison Street.
- Modulation, fenestration, architectural details and materials should break down the scale of the façade



- Window wall system on residential levels
- Chamfered corner mass to emphasize gateway corner
- Added eye brow at the top of the corner mass
- Added accent bands on corner gateway element
- Stepped back upper two levels



- Added additional lighter spandrel glass color to recessed portions to enhance modulation and provide variety of colors
- Revised balcony guardrails to be more open to express modulation
- Added second stone color and proposed new pattern



- Revised color of accent bands on chamfer section
- Revised rendering to more accurately depict reflectivity of glass
- Reoriented stone pattern to be horizontal – referencing historical masonry buildings in neighborhood

VIEW AT MADISON AND HARVARD



MADISON AND BROADWAY CORNER

- Additional ground level building setback at the corner of Madison Street and Broadway would enhance the curb bulb plaza design.
- The plaza and curb bulb open space should be adequately sized to service the large number of users to the site.
- Use the plaza at Westlake and Denny as an example of successful place making



- Chamfered building back at street level to give more area to plaza
- Reflected chamfer at street level up to upper levels
- Moved main entrance towards the north to tie plaza to interior spaces better
- Deleted louvers near entrance to increase transparency
- Added accent bands on corner gateway element



- Added composite wood soffits
- Added metal panel frame at main entrance
- Revised balcony guardrails to be more open
- Simplified canopy to follow chamfer
- Added seat walls raised planters to provide additional seating areas



- Added second planter and seat walls to provide more secure and protected seating
- Revised stone pattern
- New perspective to better show plaza seating area

EDG

MUP

MUP Correction #1

CURRENT



VIEW LOOKING EAST ON MADISON

MADISON STREET

- Support for the two commercial entries along Madison Street but concerns regarding the mid-section of the façade.
- The façade should be developed to include substantial glazing and utilize other treatments to create a safe, inviting pedestrian experience.



- Reduced the amount of louvers along Madison
- Added stone to exterior shearwall and towards alley to help solidify the expression
- Extended glass at street level toward Broadway
- Pushed out tower mass at corner to emphasize gateway element



- Revised view to better depict the façade treatments
- Extended glazing to sidewalk and over shearwall to provide continuous retail expression at street
- Lined up canopy to tie together the two ends of the façade
- Added additional materials (wood and metal fascia)



- Reoriented stone pattern to be horizontal – referencing historical masonry buildings in neighborhood
- Revised color of louvers at alley to match stone treatment



VIEW LOOKING EAST ON SPRING STREET

SPRING STREET

- Active, transparent uses should be included on the corner of Spring Street and Harvard Street and the corner of Spring Street and the alley.
- The design should create a space that is safe, inviting, and emphasizes the pedestrian experience and sense of entry.



- Extended residential lobby toward the alley
- Deleted wood façade treatment and replaced with stone and wrapped the stone around into the alley
- Chamfered corner at alley
- Added a planter at alley entrance



- Revised view to better depict façade
- Moved lobby entrance to line up better with program inside
- Expressed residential lobby and amenity space above it with clear curtainwall glazing
- Added canopy above bike room on corner
- Eliminated balcony on L2 to help emphasize Lobby expression



- Developed glass pattern on bike room exterior walls
- Reduced louver height
- Extended glass down to sidewalk to help increase visibility into bike room

APPENDIX

APPENDIX - SITE CONTEXT - SURROUNDING USES



KEY

- INSTITUTIONAL
- MIXED-USE
- RESIDENTIAL
- COMMERCIAL
- OFFICE
- CHURCH

BUILDING INDEX

1. STARBUCKS
2. SHELL GAS STATION
3. QFC
4. BROADWAY & EAST PIKE BUILDING
5. UNION MANOR APARTMENTS
6. KNIGHTS OF COLUMBUS
7. FIRE STATION 25
8. BARTELL DRUGS
9. GILDA'S CLUB SEATTLE
10. NEW MIXED-USE DEVELOPMENT
11. APARTMENTS
12. APARTMENTS
13. APARTMENTS
14. APARTMENTS
15. CHARBONNEAU APARTMENTS
16. APARTMENTS
17. MAXMILLIAN APARTMENTS
18. SEATTLE BAPTIST CHURCH
19. POLYCLINIC
20. COMMERCIAL SPACE
21. GARAGE BILLIARDS
22. SILVER CLOUD HOTEL
23. IHOP
24. PHILLIP'S CLEANERS
25. VIVA APARTMENTS- MIXED USE
26. MIXED USE
27. FIRST HILL PLAZA CONDOMINIUMS
28. RITE AID
29. MONEYTREE
30. SWEDISH FAMILY MEDICINE
31. SEATTLE UNIVERSITY
32. ADMINISTRATION BUILDING - SU
33. FINE ARTS BUILDING - SU
34. COPPINS WELL MIXED-USE
35. SWEDISH CANCER INSTITUTE
36. PARKING GARAGE - SU
37. SWEDISH MEDICAL CENTER
38. ST. IGNATIUS CHAPEL
39. LUMA CONDOMINIUMS (FUTURE)
40. FUTURE MIXED-USE DEVELOPMENT



5 UNION MANOR APARTMENTS



6 KNIGHTS OF COLUMBUS



19 POLYCLINIC



21 GARAGE BILLIARDS



29 MONEYTREE



34 COPPINS WELL APARTMENTS

NEIGHBORHOOD CONTEXT MAP

APPENDIX - SITE CONTEXT - SURROUNDING USES



8 BARTELL DRUGS



10 NEW MIXED USE



18 SEATTLE FIRST BAPTIST CHURCH



22 SILVER CLOUD HOTEL



25 VIVA APARTMENTS



27 FIRST HILL PLAZA CONDOMINIUMS



35 SWEDISH CANCER INSTITUTE



37 SWEDISH MEDICAL CENTER



38 ST. IGNATIUS CHAPEL

DESIGN CUES

The surrounding buildings have a diverse architectural character that represents a wide variety of eras. There are, however, some common themes:

- Materials for multistory buildings are good quality and durable, including masonry, stone, and concrete.
- The urban pattern is consistent across building types, with structures typically built to the sidewalk edge.
- The surrounding uses are generally grouped, with Swedish anchoring medical uses to the south, retail to the north along Broadway and on the north side of Madison, and Seattle University a strong presence to the east. Residential buildings are found in the neighborhood to the west.
- Seattle University's large landscaped areas create views for lower levels of a building and open up for territorial views from upper floors.
- There is a pattern of long and tall facades related to buildings at Swedish, Seattle University and First Hill residential neighborhood.



39 LUMA CONDOMINIUMS (FUTURE)

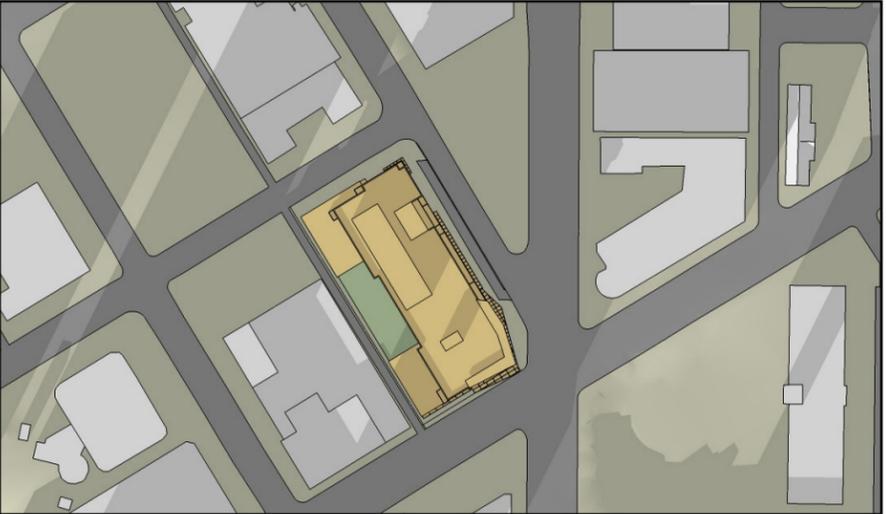
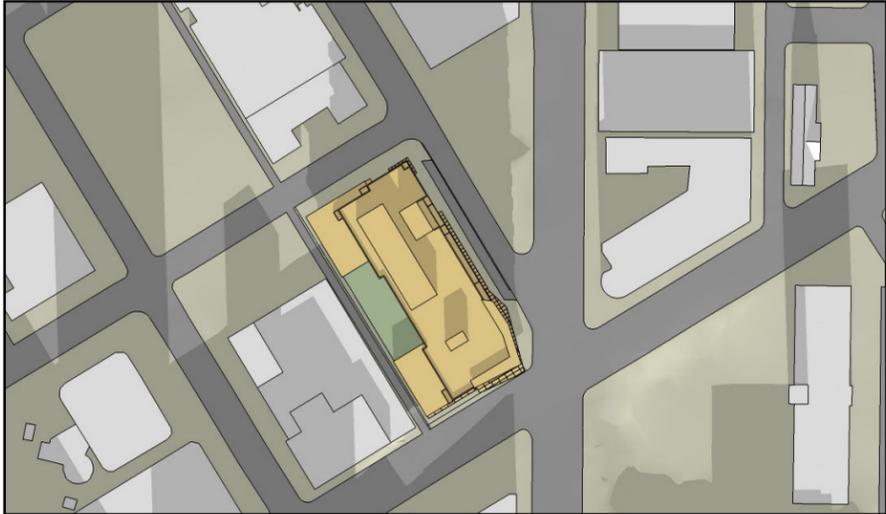
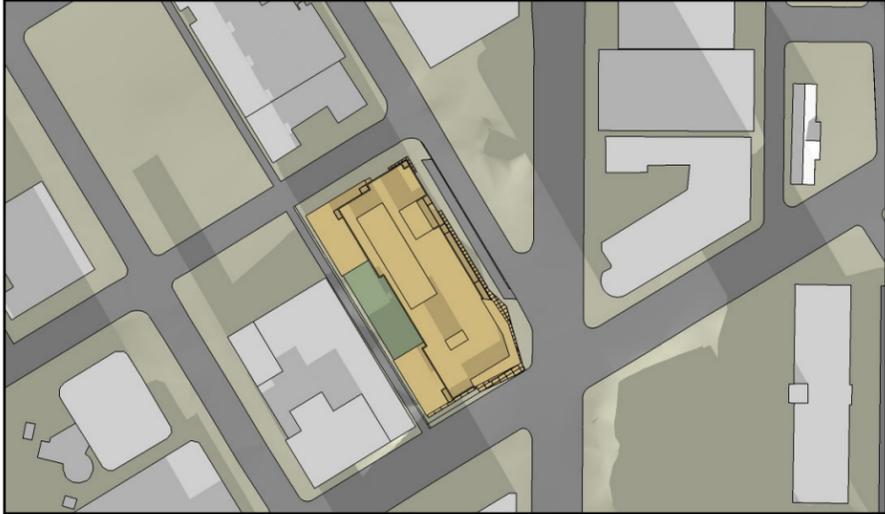
APPENDIX - SUN ANGLE STUDIES

10:00 AM

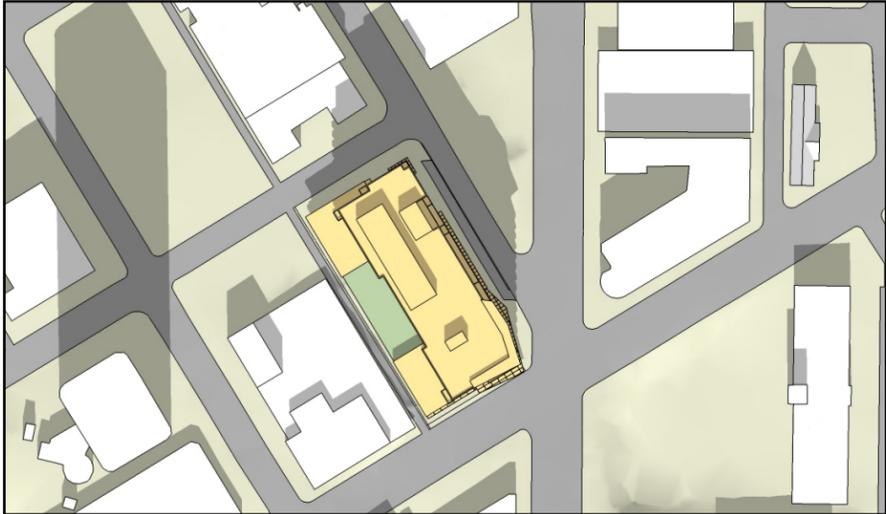
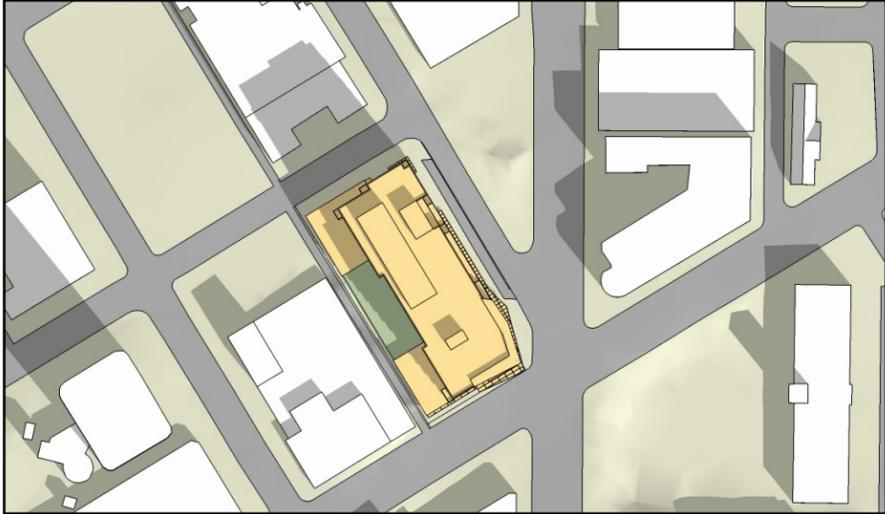
12:00 PM

2:00 PM

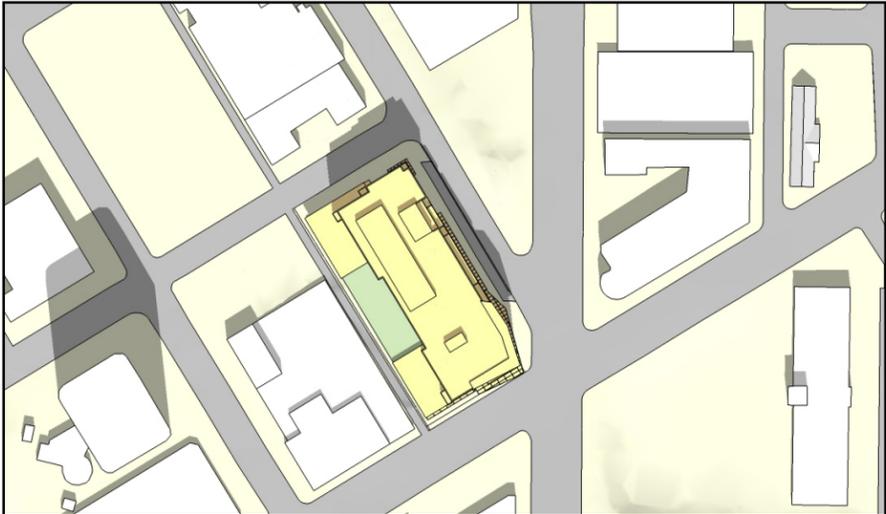
WINTER SOLSTICE



EQUINOX

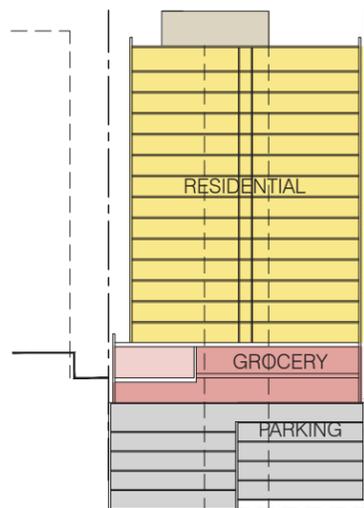
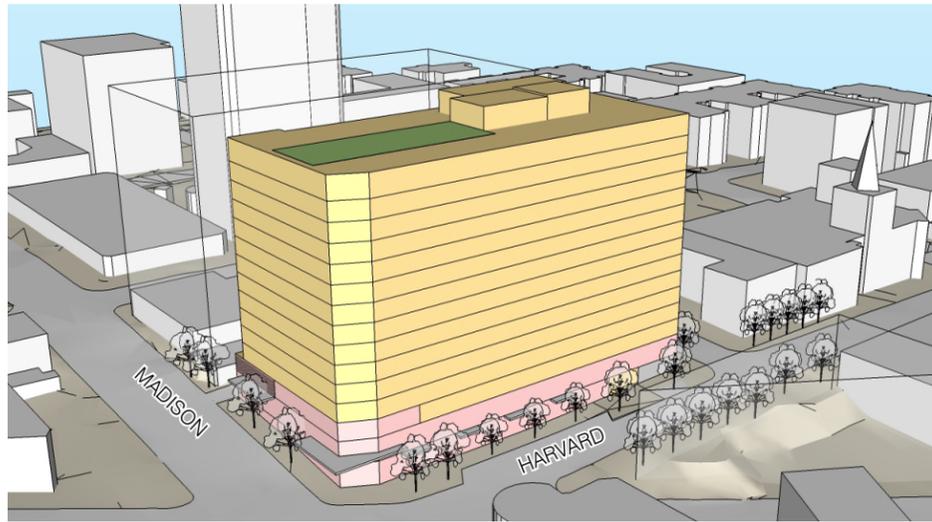


SUMMER SOLSTICE



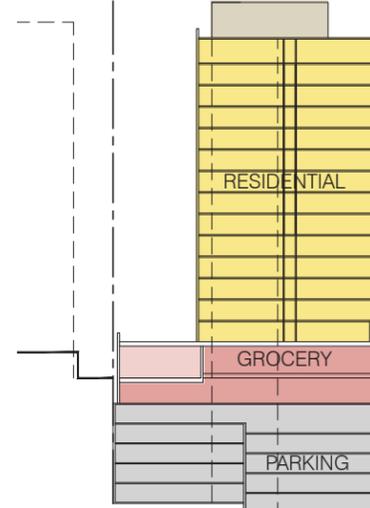
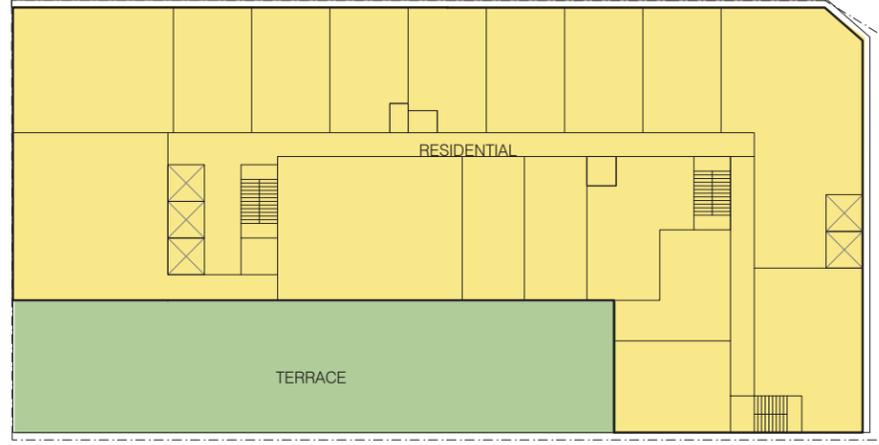
EARLY DESIGN GUIDANCE MASSING SUMMARY

SCHEME A | CODE COMPLIANT SCHEME



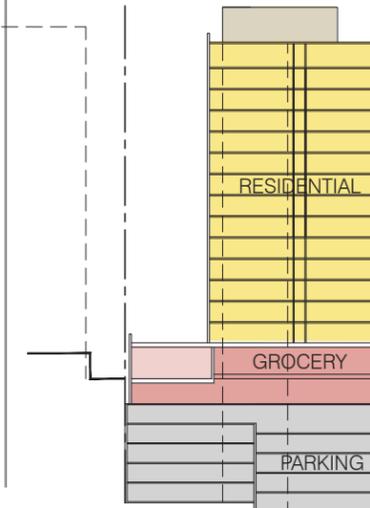
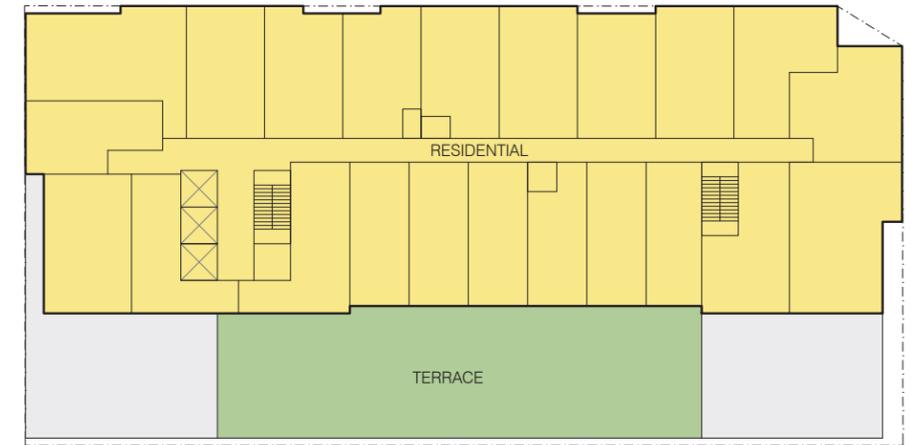
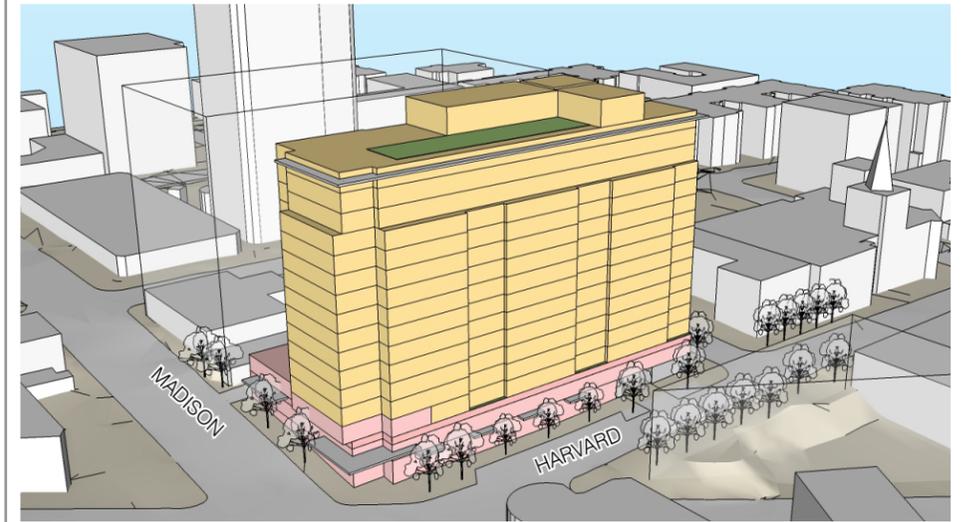
- Residential tower maximizes building area
- Typical residential floor plate = 25,125 sf
- Maximum residential floor plate
- Total Area = 501,800 sf
- Parking entrance off alley

SCHEME B

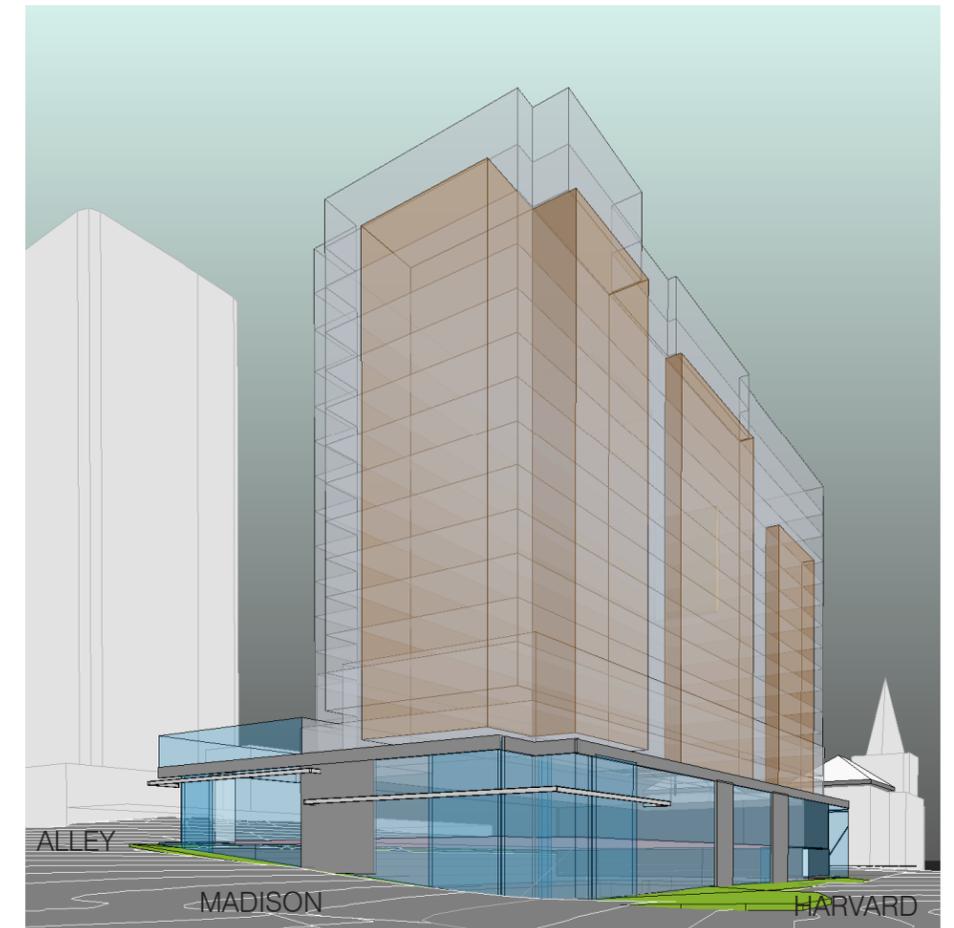
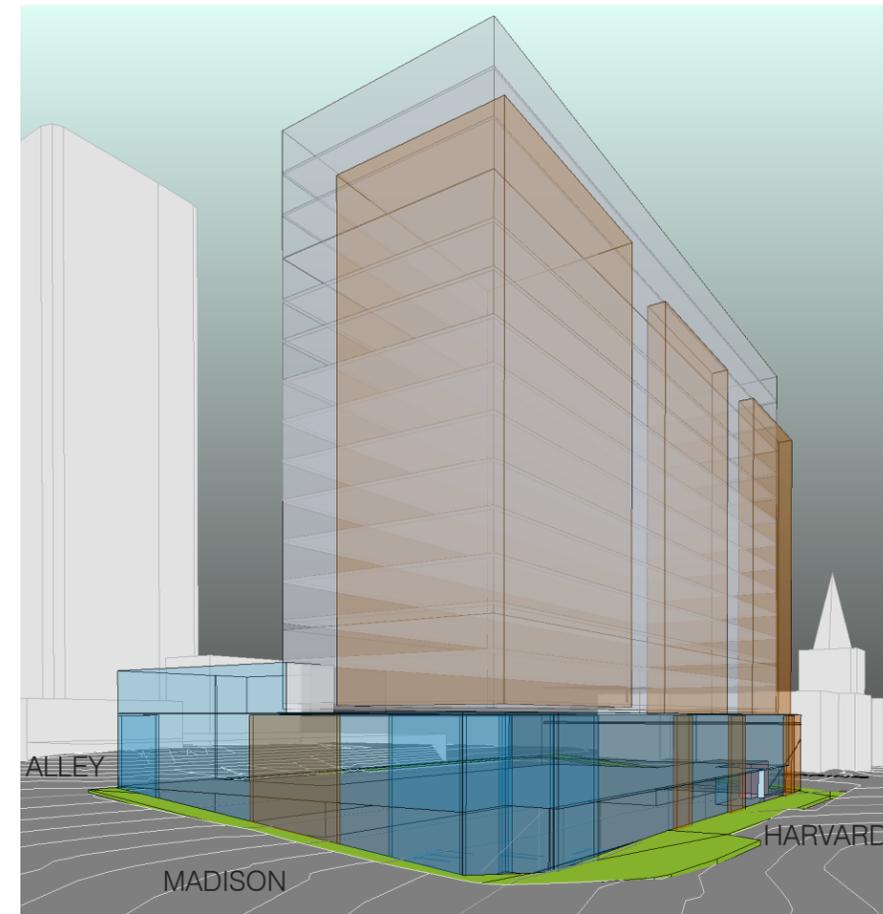
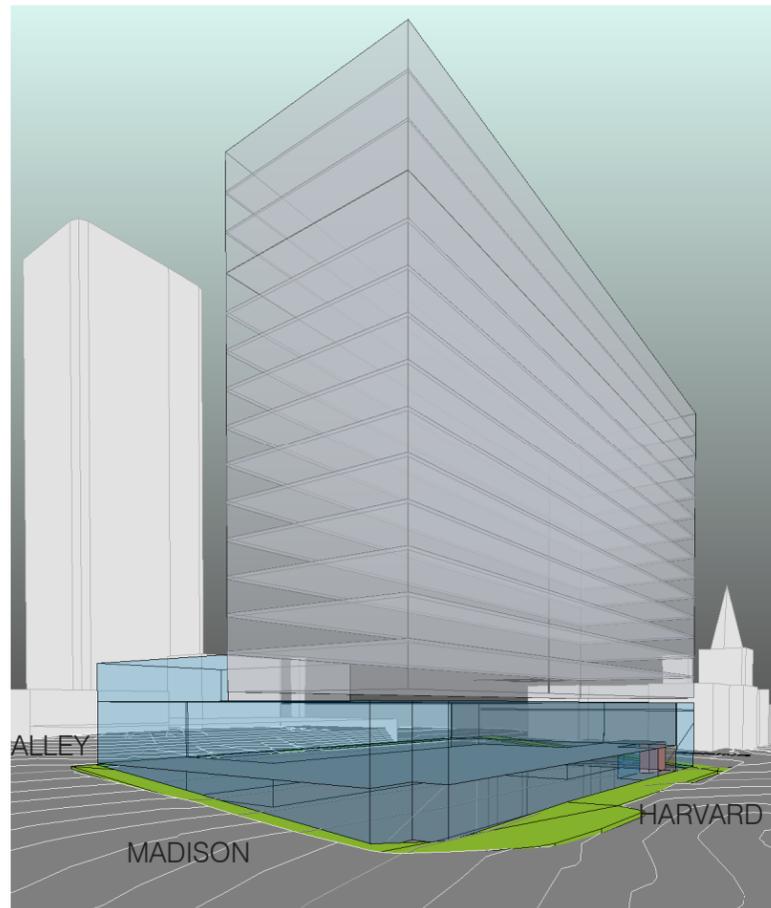


- "L"-shaped tower
- Typical residential floor plate = 21,250 sf
- Total Area = 485,463 sf
- Parking entrance off Harvard

SCHEME C | PREFERRED SCHEME



- Residential floors are a simple bar set back from the alley
- Typical residential floor plate = 19,278 sf
- Total Area = 467,500 sf
- Parking entrance off Harvard



STEP 1 - MIXED USE MASSING

Stepped podium defines uses
 First Hill context informs slender residential tower
 Corner grocery identity
 Grocery transparency creates connection to pedestrian environment

STEP 2 - MODULATION AND BUILDING ENTRIES

Modulated facade reduces mass of the building
 Modulation creates four distinct facades
 Program informs projections to create units
 Expressed residential entrance on Spring
 Multiple grocery entries activate the sidewalk
 Add podium accent materials

STEP 3 - BUILDING ACCENTS AND PEDESTRIAN ORIENTED DESIGN

Architectural design elements:
 -Push and pull modulations
 -Eroded massing
 -Podium "gasket"
 Articulate corner at Madison and Broadway
 Unique grocery entrance
 Details at street level contribute to pedestrian-oriented spaces

*Colors and shading patterns shown on these drawings are for illustration purposes only and not intended to propose material or color specifications

MATERIAL BOARD

GLAZING - RESIDENTIAL



DARK SPANDREL



LIGHT SPANDREL



STONE COLORS



MULLION - 1 / METAL
PANEL FASCIA



GUARD RAIL / ACCENT BAND



GLAZING - RETAIL



WOOD COMPOSITE
PANELS - SOFFITS



CMU



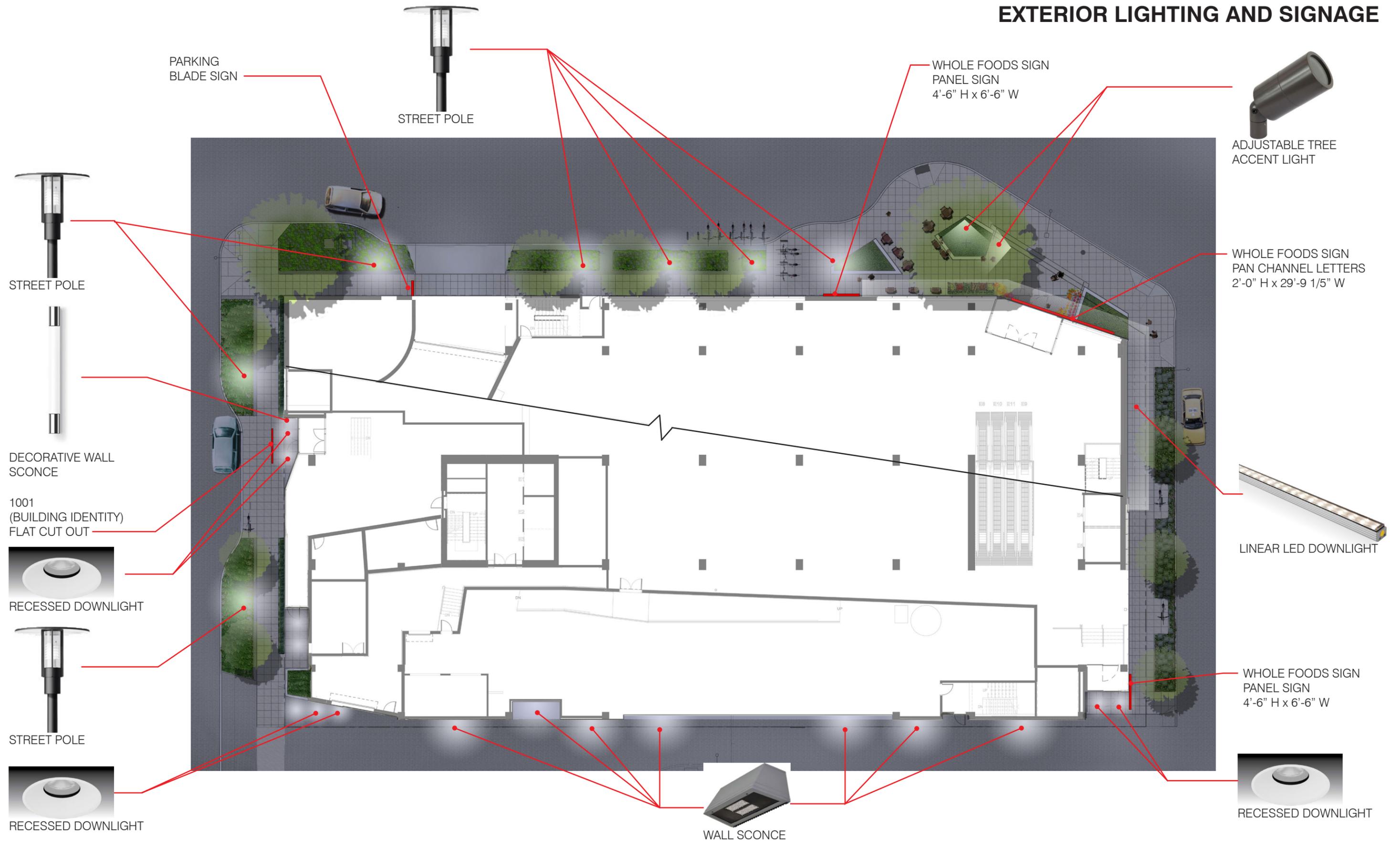
CONCRETE



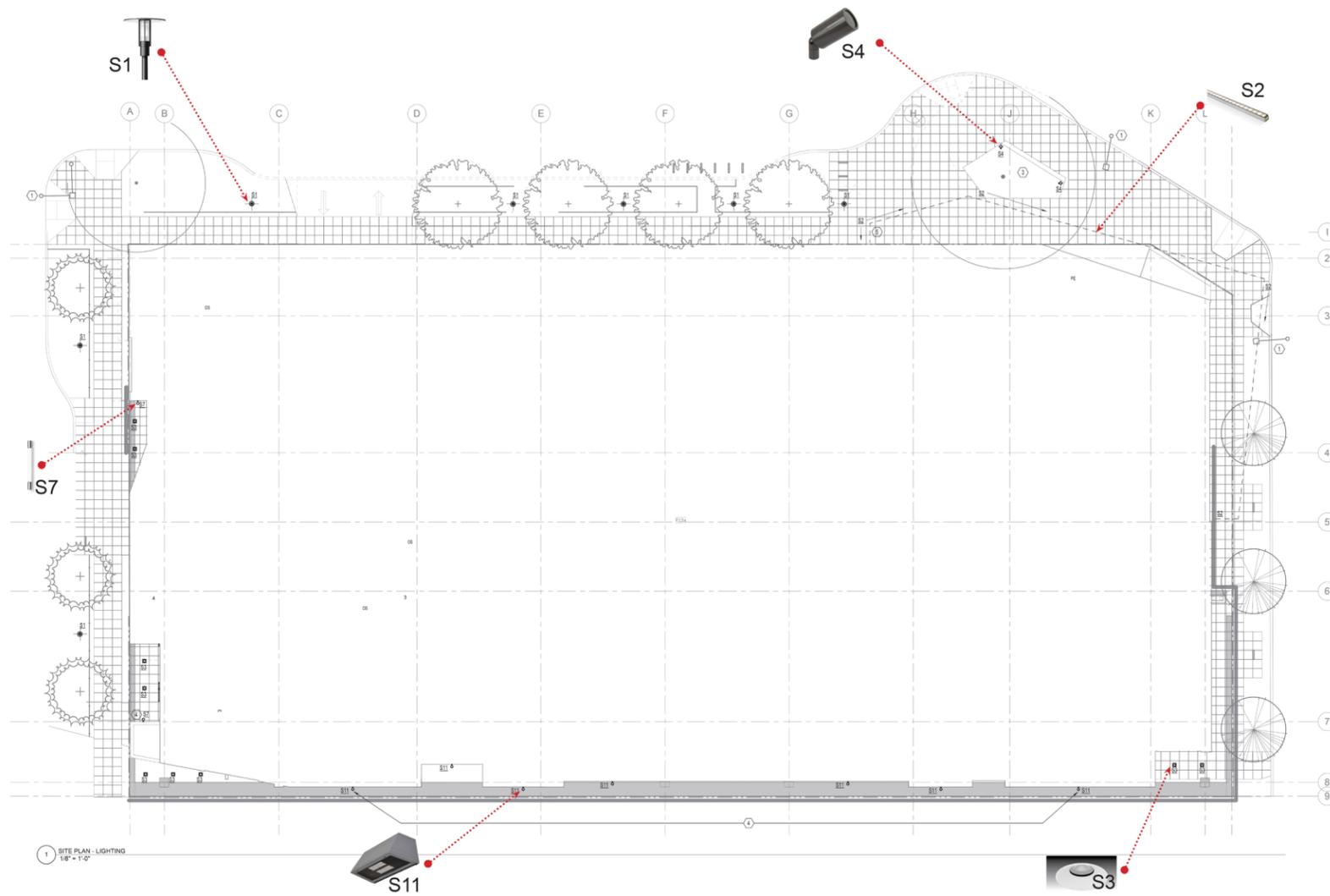
FINISH LEGEND

STONE - 1	LIGHT
STONE - 2	DARK
MULLION - 1	UC92530 DURANAR IRON MOUNTAIN
LIGHT SPANDREL	BM 1663
DARK SPANDREL	BM 1673
WOOD COMPOSITE PANEL	FINLAND COLOR
GLAZING RESIDENTIAL	CARDINAL #240
GLAZING - RETAIL	CLEAR
CONCRETE	NATURAL
CMU	GROUND FACE
	CASTLE WHITE
GUARD RAIL	ALPOLIC TITANIUM

EXTERIOR LIGHTING AND SIGNAGE



APPENDIX - EXTERIOR LIGHTING - SITE



S1 Pedestrian scale street pole similar to local street poles.



S2 Linear LED downlight hidden in main canopy structure.



S3 Recessed small aperture downlight in vestibules and soffits.



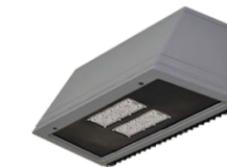
S4 Adjustable tree accent.



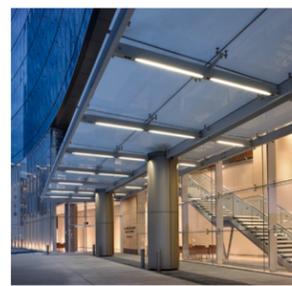
S7 Decorative entry marker wall sconce.



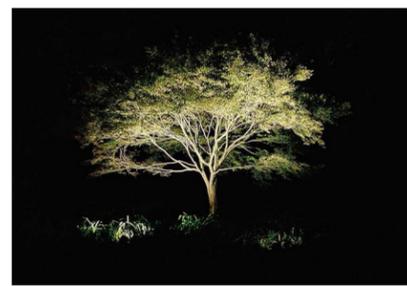
S11 Full cutoff wall sconce in alley.



Neighborhood pedestrian pole.

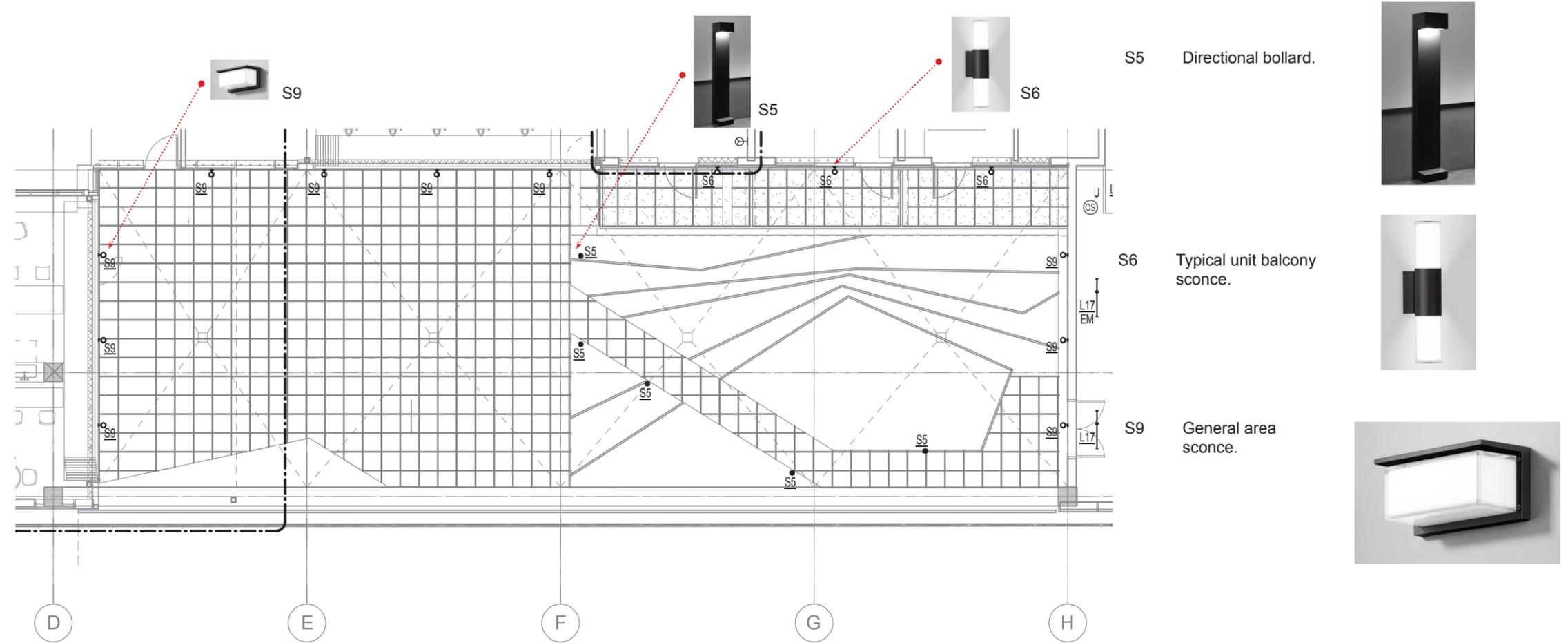


Linear lighting embedded in canopy members.



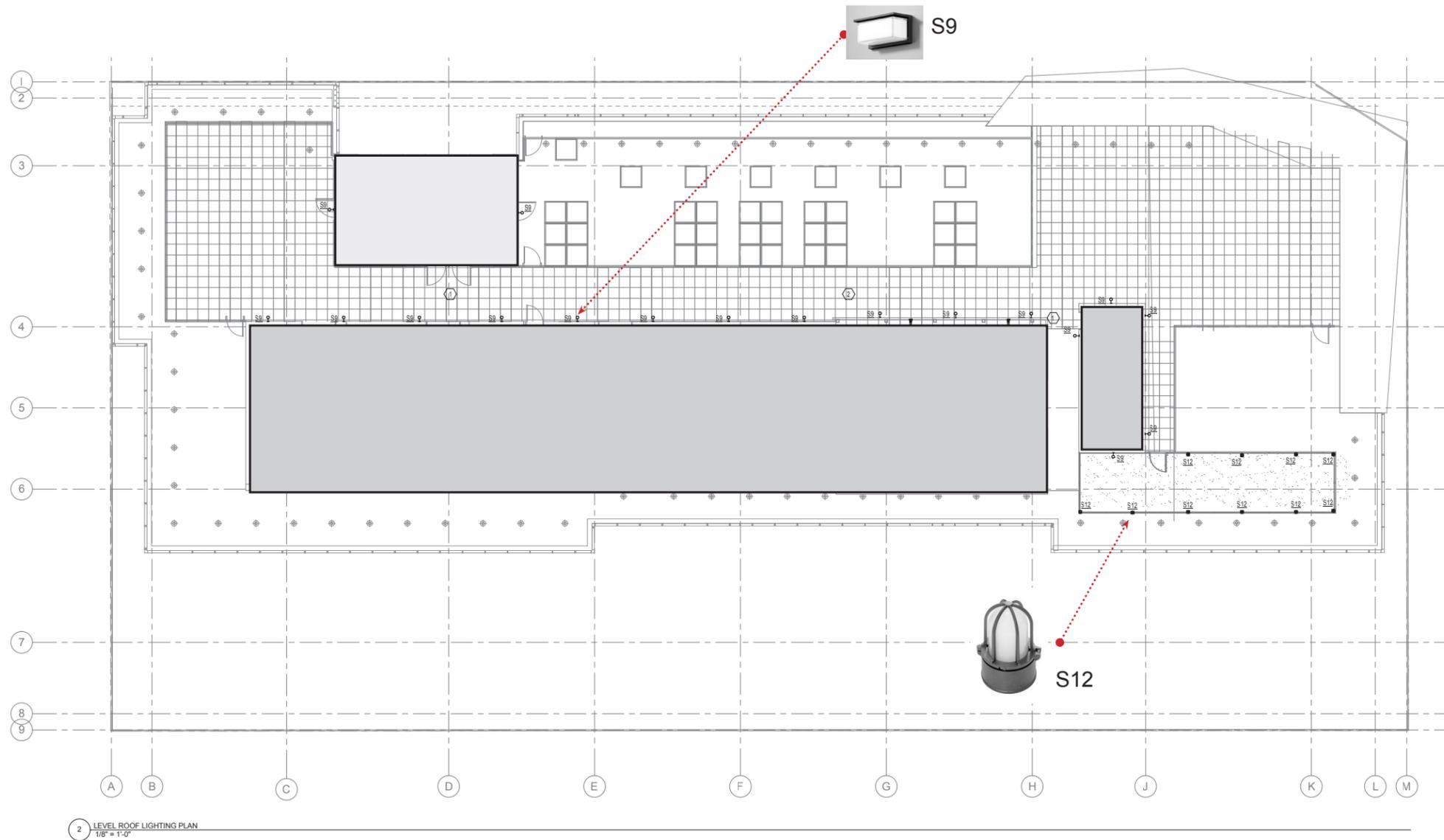
Tree uplighting.

APPENDIX - EXTERIOR LIGHTING - LEVEL 3 TERRACE



Pathway illumination with bollards.

APPENDIX - EXTERIOR LIGHTING - ROOF



S9 General area sconce.



S12 Area light mounted on fence post at dog run.



2 LEVEL ROOF LIGHTING PLAN
1/8" = 1'-0"